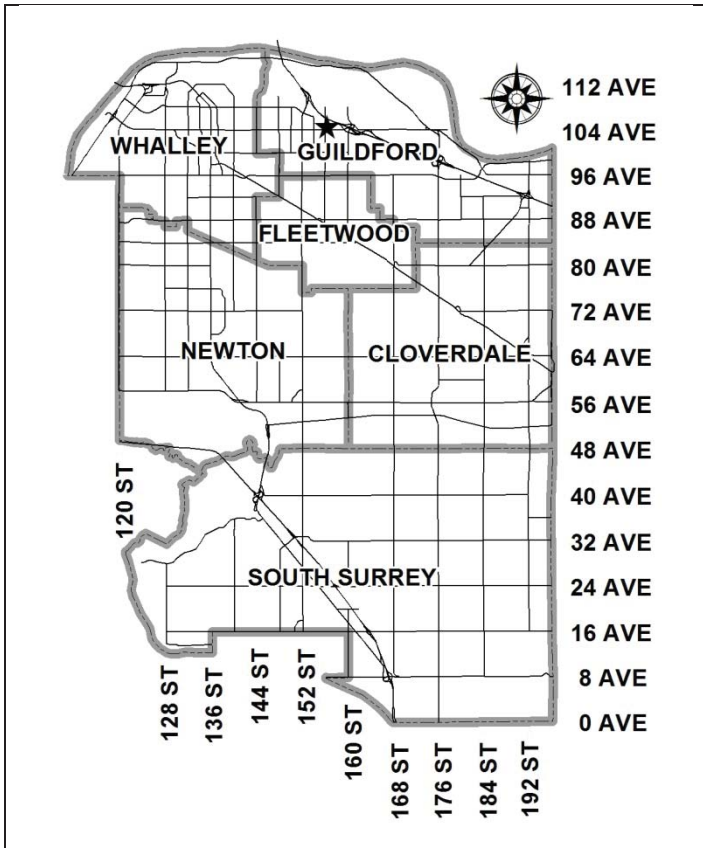


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0488-00

Planning Report Date: January 8, 2018



**PROPOSAL:**

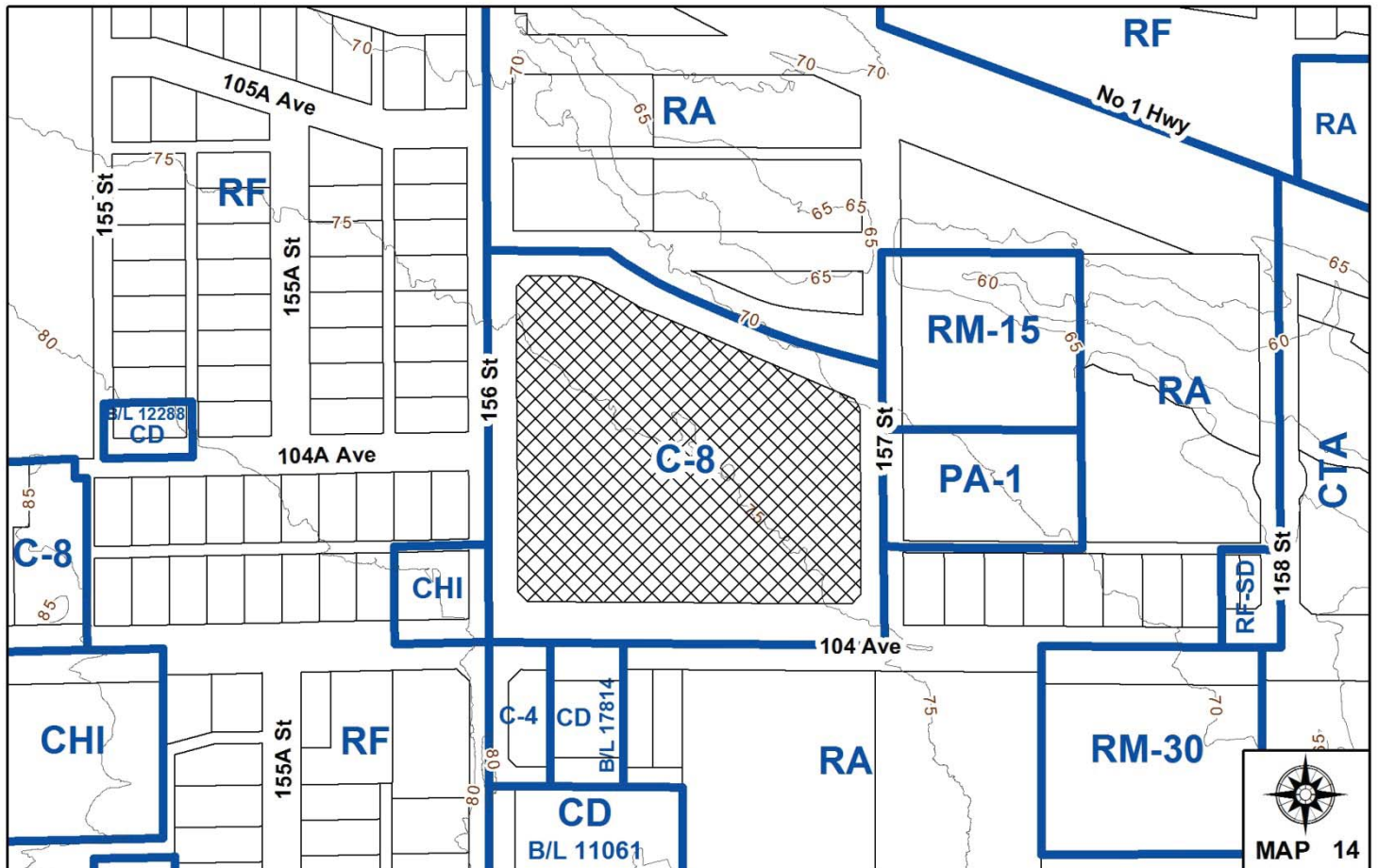
- **Development Permit**

to allow for proposed design changes to a previously approved commercial development including a comprehensive sign design package.

**LOCATION:** 15615 - 104 Avenue

**ZONING:** C-8

**OCP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Sign By-law through a comprehensive sign design package to allow a total of 101 fascia and directional signs on the site.

### RATIONALE OF RECOMMENDATION

- Complies with the OCP Commercial designation.
- The proposed Development Permit Amendment is consistent with the overall quality and character of the development established under the existing DP (No. 7913-0189-00) with modifications to the site plan, number of proposed buildings, building specific designs and signage.
- The proposed Development Permit includes a comprehensive sign design package which will form part of the DP. The proposed signage is high quality and appropriate in size and scale for the proposed commercial development. The increase in fascia signage is supportable in lieu of free-standing signage.
- The proposed density and building forms continue to be appropriate for this part of Guilford and in particular along 104<sup>th</sup> Avenue.
- The proposed development conforms to the goal of achieving higher density development along the future rapid transit corridor of 104<sup>th</sup> Avenue with the addition of a second storey to one of the buildings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7917-0488-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) submission of a finalized landscaping plan and securities to the specifications and satisfaction of the Planning and Development Department; and
  - (b) registration of a Section 219 Restrictive Covenant prohibiting the development or construction of any freestanding signs on the subject site.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix IV.

Ministry of Transportation & Infrastructure (MOTI): No objections to the proposed development.

SITE CHARACTERISTICS

Existing Land Use: Recently approved, unconstructed, commercial development.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 105 Ave):	Large residential lots and recently acquired Park land adjacent to Guilford Brook	Urban	RA

Direction	Existing Use	OCP Designation	Existing Zone
East (Across 157 Street ):	Assembly Hall, Townhouses and Single detached homes	Urban	RM-15/PA-1/RA
South (Across 104 Avenue):	Neighbourhood commercial store, apartment and single detached homes	Urban & Multiple Residential	RA/CD (By-law no. 17814)/C-4
West (Across 156 Street ):	Animal hospital and single detached homes	Multiple Residential & Commercial	RF/CHI

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site is located in Guilford at the northeast corner of 104 Avenue and 156 Street.
- The original Development Permit (No. 7913-0189-00) for the subject site received final approval in December, 2016. This development application included a Development Permit, OCP Amendment, Rezoning and a Development Variance Permit to allow for a commercial development.
- This previous development proposed a total of seven (7) commercial buildings. Six (6) of the buildings were proposed as one-storey retail commercial buildings with one (1) building containing offices located on the second floor. The combined floor area of all buildings was 10,665 sq.m. (114,800 sq.ft.).
- All buildings were located along the exterior of the site and oriented toward the street with parking located internally.
- The applicant, Overwaitea Food Group, proposed to construct a large format grocery store as the anchor tenant to be situated at the northwest corner of the site with a second anchor tenant proposed at the southwest corner of the site.
- The remaining buildings and commercial retail units (CRU's) ranged in size from 500 sq.m. (5,382 sq.ft.) to 615 sq.m. (6,620 sq. ft.) with the exception of Building C which was proposed to be 2,098 sq.m. (22,581 sq.ft.).
- The applicant chose at that time to defer detailed signage for the project to a separate Development Permit application.

### Current Proposal

- The site is currently vacant and before proceeding with building permit applications, the applicant is seeking many changes to the overall site plan, landscaping plans and building designs, while still maintaining the general character of the original development under DP No. 7913-0189-00.
- The most significant changes include:
  - the elimination of one (1) building (CRU F) along 104<sup>th</sup> Avenue, at the entrance to the site with six (6) buildings now proposed;
  - the addition of second floor office in the Anchor B building;
  - changes to CRU C to accommodate a proposed daycare tenant and including the addition of a rooftop outdoor play area;
  - The roofline of Anchor A, a large format grocery store, has changed to be in alignment with the prototypical "swoosh" associated with tenant branding; and
  - Corner feature boxes, including signage, have been better designed and integrated into the building form.
- The total proposed floor area of all the buildings is 12,844 sq. m (138,260 sq.ft.) compared with 10,665 sq.m. (114,800 sq.ft.) under the original development application.
- The proposed floor area is well below the maximum permissible (FAR) of 0.80 at 0.52.
- The proposed development remains consistent with the site context, near a future rapid transit corridor in Guilford.
- The proposed Development Permit includes a comprehensive sign design package, which is discussed later in the report.

### DESIGN PROPOSAL AND REVIEW

- The building form and character remains consistent with the approved original DP No. 7913-0189-00.
- The building design for all buildings with the exception of the grocery store utilizes a modern form, with portions of the buildings roof line raised at differing elevations to emphasize the vertical nature of the design. Similarly this treatment is supported on many of the buildings (see Buildings C, E, and G) with the inclusion of a vertical/rectilinear design element which is raised from the building's façade and which also extends beyond the roof line. This treatment results in an undulating roof form which creates visual interest.
- The building design also emphasizes the corners of the individual buildings, many of which are also raised at differing elevations. Some of these corners incorporate signage.

- The site will include a number of pedestrian-oriented features along both 104 Avenue and 156 Street (e.g. split multi-use pathway to support and take advantage of the future transit infrastructure. Individual unit entries for Buildings D, E, and G at the southwest corner of the site are oriented externally towards City streets and internally towards the parking area to provide two-sided retail, which is typical of many urban developments and encouraged.
- Providing unit entries to the commercial frontages that front City streets and transit will help to enliven these spaces and avoid a condition where these spaces are considered the back of the building. It is hoped that by providing active spaces along the street that transit will be more effectively utilized. The entries should also provide a benefit for future commercial tenants by providing transit users direct convenient access to the stores or services.
- The design of the building also includes weather protection over unit entries for both the internal and street-oriented frontages. The weather protection at the southwest corner of the site will provide additional amenity for pedestrians using transit but more generally the weather protection will support pedestrian movement around the site by offering relief from the elements.
- Building materials include the extensive use of aluminum composite siding (silver colour), EIFS (stucco) in shades of brown, grey and wrought iron colours throughout the development. Aluminum composite siding, which is a higher quality building material, is used in areas which are visible from public view (e.g. along 104 Avenue) and which is complemented by the different shades of EIFS throughout the development.
- All retail store fronts throughout the development are completed with extensive glazing in the form of a clear aluminum store front systems. Additional detailing is achieved with the provision of wood (cedar utilizing a transparent finish) on all buildings. The wood is used extensively between the individual CRUs to identify them as separate from one another and also on the ends of the buildings to provide additional detailing on the corner features.

### Parking and Access

- The current development proposal provides a total of 504 parking spaces, which exceeds the previous parking provision under the original DP of 489 parking spaces. An average ratio of 5.5 stall per 100 sq.m. of building area is applied to the site. A combination of surface (163) and below ground (341) parking is provided.
- Vehicular access to the site for shoppers will be available from all adjacent City streets (156 Street, 157 Street, 104 Avenue and 105 Avenue).
- For 104 Avenue, access will be limited to right-in and right-out only whereas for 156 Street, access will be limited to left-in and right-in and right-out. Site access from these streets will be to the ground floor level by way of internal drive aisles that will connect to the surface level parking.
- Full movement access to the site will be available from both 157 Street and 105 Avenue. Site access from these streets will be to the underground parking level.

Landscaping

- The applicant has maintained the proposed pathways to support pedestrian movement, particularly along 156 Street and along the 104 Avenue frontages.
- 156 Street is identified as part of the City’s future greenway network. In response to this condition, and to support the retail frontages and the proposed corner plaza at the intersection of 104 Avenue and 156 Street, the proposed multi-use pathway will be split into two separate pathways, 2.0-metre (6 ft.) wide and 3.0-metre (10 ft.) wide pathways, which will be separated by a 1.5-metre (5 ft.) wide landscape strip.
- The split pathway will only exist south of the driveway on 156 Street where bus stops will be located. Separating the pathway will provide visual interest by breaking up the amount of hard surfaces. The split pathway will also support transit by separating those that may be trying to access transit from those that are commuting through the area along 156 Street. A standard 4.0-metre (13 ft.) wide multi-use pathway will be provided north of the driveway which will more appropriately respond to the commercial interface with the grocery store at this location.
- The boulevard design along bus service areas is coordinated with onsite landscaping at the southwest corner of the site to support the pedestrian demand. To achieve this, the street trees which are normally provided in the boulevard will be located and planted adjacent the property line, within tree grates. This design will provide a continuous hard surface boulevard to support the loading and unloading of buses.
- The development will also add to the public realm through the provision of two small plaza spaces that will support pedestrian activity. The first is located at the southwest corner of the site adjacent the intersection at 156 Street and 104 Avenue. The plaza is characterized by specialty concrete paving with decorative banding around it. The plaza is surrounded by a number of trees and shrubs and will provide two basalt benches for pedestrian enjoyment.
- A second, smaller plaza is provided to the east of Buildings E along 104 Avenue. The plaza will incorporate benches for pedestrian use within landscaping.

Signage

- In order to avoid subsequent Development Permit applications for signage, a comprehensive sign design package is included as part of the proposed Development Permit.

<ul style="list-style-type: none"> <li>• There are a total of 101 fascia signs proposed across the site, which include 11 directional signs. 71 fascia signs are permitted based on the number of CRU’s.</li> </ul>
<ul style="list-style-type: none"> <li>• 60 of the signs are proposed for CRU premise frontages.</li> </ul>
<ul style="list-style-type: none"> <li>• 30 of the signs are specific to corner feature signs for third party advertising (in lieu of freestanding signage)</li> </ul>
<ul style="list-style-type: none"> <li>• The remaining eleven (11) signs are for underground parking identification and direction.</li> </ul>

- The Sign By-law allows for a maximum of two (2) fascia signs for each premises except for premises greater than 3,000 sq. m (32,293 sq.ft.) in area which may have one (1) additional sign.

- There are a total of 35 CRU's proposed, including Anchor buildings A and B. A total of 71 fascia signs are permitted (two (2) fascia signs per premise frontage with the exception of Anchor A which is permitted to have three (3) signs as the area of the building is greater than 3,000 sq.m. (32,293 sq.ft.)).
- The two anchor buildings (Anchor A and Anchor B) are both proposing additional fascia signs in order to reflect standard company signage branding. The number of fascia signs permitted for Anchor A and B are five (5), combined. The total number of fascia signs proposed is nine (9), excluding corner feature signs.
- Anchor A and B buildings are the largest buildings within the development and the additional signage is not out of scale with the building size.
- Fifty-one (51) signs are proposed for CRU premise frontages, excluding Anchor A and B, which are in compliance with the Sign By-law.
- A variance is required to allow for an increase in the total sign area. The sign area permitted is 296 sq.m (3,186 sq.ft.) and the total sign area proposed is 368 sq.m. (3,966 sq.ft.).
- Thirty (30) signs are corner feature signs located on Anchor A and B, CRU E and CRU G.
- These signs are considered third party advertising, which is restricted to a maximum of 30% of the total copy area under the Sign By-law.
- The proposed development does not have any freestanding signs and is using the corner feature sign boxes in lieu of freestanding signage.
- The Advisory Design Panel, under application 13-0189-00, recommended the avoidance of freestanding signs. The applicant has responded by integrating signage into the design of the building. Staff are supportive of the signage as a reflection of the building design, form and massing.
- All signs within the corner feature sign area must be individualized channel letters.
- Although the corner feature signs are fascia signs they will function as free-standing signage in that they will provide 100% of the copy area for third party advertising.
- The applicant will register a Section 219 Restrictive Covenant to prohibit the future construction of freestanding signs on the site.



Proposed Variances to the Sign By-law:

	<b>Proposed Variances</b>	<b>Sign By-law Requirement</b>	<b>Rationale</b>
<b>1</b>	To allow (30) additional fascia signs on the site.	A maximum of two (2) fascia signs are permitted for each premises, except for premises greater than 3,000 sq. m in area may have one (1) additional sign (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed buildings, number of CRU's and general scale of the development. The identification signage at the building corners has been integrated into the design of the building and is modest in scale and colour.
<b>2</b>	To allow for increased third party advertising up to 100% of the copy area for proposed corner feature signs.	Third party advertising is permitted provided it does not exceed 30% of the total copy area. (Part 1 Section 6 (1)).	The applicant is not proposing free-standing signage (and will not be permitted to do so). The identification signage at the building corners has been integrated into the design of the building and is modest in scale and colour. The proposed amount of third party advertising is not significantly greater than permitted.
<b>3</b>	To increase the total allowable sign area from 296 sq.m. (3,186 sq.ft.) to 368 sq.m. (3,966 sq.ft.)	Total sign area for the building on the site cannot exceed 1 sq. m of premise frontage (Part 5, Section 27. 2.(b)).	The total sign area permitted is 296 sq.m. (3,186 sq.ft.). The total proposed is 368 sq.m. (3,966 sq.ft.). The proposed signage is considered appropriate based on the scale of the development.
<b>4</b>	To increase the copy area for a proposed fascia sign (Sign 'Sc' on Building Anchor A) from 50% to 78%.	Copy area is not permitted to exceed 50% of the total sign area (Part 5, Section 27. 2.(c)).	One fascia sign situated on Anchor A (Sign 'Sc') is proposed to have a copy area in excess of 50% at 78%. The subject sign is a high quality design.

TREES

- An Arborist assessment and tree preservation and removal plan was provided as part of the original development application. The trees proposed for retention and removal are unchanged.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 5, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is zoned C-8 and located in Guilford along the 104<sup>th</sup> Avenue future rapid transit corridor.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The development is Commercial with a small amount of Institutional/Daycare use. The development is less than the permissible density of 0.80 FAR, at 0.52.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The site does incorporate Low Impact Development Standards, including absorbent soils, on-lot infiltration trenches and sediment control devices.. Guildford Brook, a Class A watercourse, was conveyed to the City as part of the original development application.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The subject site is located along the 104<sup>th</sup> future rapid transit corridor. The site will be connected to off-site pedestrian and multi-use paths, covered outdoor waiting areas.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The entrances to the site provide a visual line into the site.</li> <li>• Windows and lighting have been utilized to provide natural surveillance.</li> <li>• The landscape and lighting are designed to encourage direct foot and vehicular traffic</li> <li>• The site is designed to limit access to the loading area</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• Green certification is not proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Tables
Appendix III.	Site Plan, Building Elevations, Landscape Plans, Signage Package and Perspectives.
Appendix IV	Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural Plans prepared by Abbarch Architecture Inc. and dated January 2, 2018 and Landscape Plans prepared by Mary Chan Yip dated December 18, 2018.

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

IM/da

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: C-8

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		24,842.4
Road Widening area		
Undevelopable area		
Net Total		24,842.4
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		36.6
Paved & Hard Surfaced Areas		51.3
Total Site Coverage		87.9
SETBACKS ( in metres)		
Front		4.4
Rear		4.4
Side #1 -South		1.9
Side #2 - North		4.4
BUILDING HEIGHT (in metres/storeys)		
Principal	12m	11.7m
Accessory		
NUMBER OF RESIDENTIAL UNITS		NA
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		NA
FLOOR AREA: Commercial		
Retail		9,074.02
Office		1,794.98
Total		10,869.00
FLOOR AREA: Industrial		NA
FLOOR AREA: Institutional		1,975.86
TOTAL BUILDING FLOOR AREA		12,844.86

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		NA
# of units/ha /# units/acre (net)		NA
FAR (gross)		0.35
FAR (net)	0.80	0.52
AMENITY SPACE (area in square metres)		NA
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		401
Industrial		
		81
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		504
Number of accessible stalls		20
Number of small cars		2
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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## PROPOSED SIGN BY-LAW VARIANCES

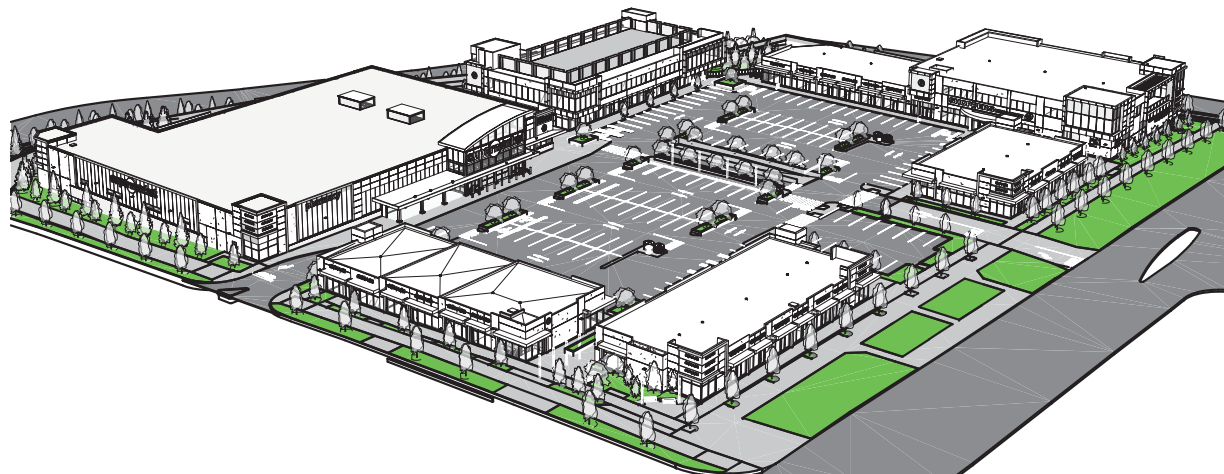
	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow (30) additional fascia signs on the site.	A maximum of two (2) fascia signs are permitted for each premises, except for premises greater than 3,000 sq. m in area may have one (1) additional sign (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed buildings, number of CRU's and general scale of the development. The identification signage at the building corners has been integrated into the design of the building and is modest in scale and colour.
2	To allow for increased third party advertising up to 100% of the copy area for proposed corner feature signs.	Third party advertising is permitted provided it does not exceed 30% of the total copy area. (Part 1 Section 6 (11).	The applicant is not proposing free-standing signage (and will not be permitted to do so). The identification signage at the building corners has been integrated into the design of the building and is modest in scale and colour. The proposed amount of third party advertising is not significantly greater than permitted.
3	To increase the total allowable sign area from 296 sq.m. (3,186 sq.ft.) to 368 sq.m. (3,966 sq.ft.)	Total sign area for the building on the site cannot exceed 1 sq. m of premise frontage (Part 5, Section 27. 2.(b)).	The total sign area permitted is 296 sq.m. (3,186 sq.ft.). The total proposed is 368 sq.m. (3,966 sq.ft.). The proposed signage is considered appropriate based on the scale of the development.
4	To increase the copy area for a proposed fascia sign (Sign 'Sc' on Building Anchor A) from 50% to 78%.	Copy area is not permitted to exceed 50% of the total sign area (Part 5, Section 27. 2.(c)).	One fascia sign situated on Anchor A (Sign 'Sc') is proposed to have a copy area in excess of 50% at 78%. The subject sign is a high quality design.



# GUILDFORD VILLAGE

ABBARCH PROJECT 2312

REISSUED FOR DEVELOPMENT PERMIT - JAN. 02, 2018



## DRAWING PACKAGE LIST

### SITE PACKAGE

DP-0.0.0	COVER SHEET
DP-0.0.1	SITE STATISTICS
DP-0.0.2	SITE STATISTICS
DP-0.0.3	SITE SURVEY PLAN
DP-1.0.0	SITE BASE PLAN
DP-1.1.0	SITE KEY PLAN
DP-1.1.1	ENLARGED SITE PLAN - NORTHWEST
DP-1.1.2	ENLARGED SITE PLAN - NORTHEAST
DP-1.1.3	ENLARGED SITE PLAN - SOUTHWEST
DP-1.1.4	ENLARGED SITE PLAN - SOUTHEAST
DP-1.2.0	UNDERGROUND PARKING KEY PLAN
DP-1.2.1	UNDERGROUND PARKING - NORTHWEST
DP-1.2.2	UNDERGROUND PARKING - NORTHEAST
DP-1.2.3	UNDERGROUND PARKING - SOUTHWEST
DP-1.2.4	UNDERGROUND PARKING - SOUTHEAST
DP-1.3.0	STREETSCAPE ELEVATIONS
DP-1.4.0	SITE SECTIONS
DP-1.7.0	UNDERGROUND PARKING ENTRANCE
DP-1.8.0	SITE DETAILS
DP-1.8.1	SITE DETAILS
DP-1.8.2	SITE DETAILS

### BUILDING PLANS

DP-2.1.1	ANCHOR A - ROOF PLAN
DP-2.2.0	ANCHOR B - 2ND LEVEL FLOOR PLAN
DP-2.2.1	ANCHOR B - ROOF PLAN
DP-2.3.0	CRU C - MAIN LEVEL FLOOR PLAN
DP-2.3.1	CRU C - 2ND FLOOR & ROOF PLAN
DP-2.4.1	CRU D - ROOF PLAN
DP-2.5.1	CRU E - ROOF PLAN
DP-2.6.1	CRU G - ROOF PLAN

### BUILDING ELEVATIONS

DP-3.1.0	ANCHOR A - ELEVATIONS
DP-3.2.0	ANCHOR B - ELEVATIONS
DP-3.2.1	ANCHOR B - ELEVATIONS
DP-3.3.0	CRU C - ELEVATIONS
DP-3.4.0	CRU D - ELEVATIONS
DP-3.5.0	CRU E - ELEVATIONS
DP-3.6.0	CRU G - ELEVATIONS

### BUILDING SECTIONS

DP-4.1.0	ANCHOR A - SECTIONS & ELEVATIONS
DP-4.2.0	ANCHOR B - SECTIONS
DP-4.3.0	CRU C - SECTIONS
DP-4.4.0	CRU D - SECTIONS
DP-4.5.0	CRU E - SECTIONS
DP-4.6.0	CRU G - SECTIONS

### SITE PERSPECTIVES

DP-5.1.0	OVERALL SITE PERSPECTIVES
DP-5.1.1	OVERALL SITE PERSPECTIVES



Engaging Design™

VANCOUVER, BC 604.669.4041  
TORONTO, ON 416.340.8441





SOUTHWEST SITE PERSPECTIVE



NORTHEAST SITE PERSPECTIVE

SHEET NOTES

1	2010	2010	2010	2010	2010	2010	2010	2010	2010
1	2010	2010	2010	2010	2010	2010	2010	2010	2010
1	2010	2010	2010	2010	2010	2010	2010	2010	2010
1	2010	2010	2010	2010	2010	2010	2010	2010	2010
1	2010	2010	2010	2010	2010	2010	2010	2010	2010
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1	2010	2010	2010	2010	2010	2010	2010	2010	2010



GUILDFORD VILLAGE  
1000 AVENUE & 15th STREET, SURREY BC



SCALE

SHEET TITLE  
OVERALL SITE PERSPECTIVES

PROJECT NO.	2010
DRAWN BY:	JL
CHECKED BY:	HL
DATE:	05/09/17
SCALE:	
SHEET:	

DP-5.1.0

ARCHITECTURE BY: THE JIM HUTTON GROUP, 1000 AVENUE & 15th STREET, SURREY BC



SOUTHEAST SITE PERSPECTIVE



NORTHWEST SITE PERSPECTIVE

SHEET NOTES

1	REVISED	10/10/11	REVISED
2	REVISED	10/10/11	REVISED
3	REVISED	10/10/11	REVISED
4	REVISED	10/10/11	REVISED
5	REVISED	10/10/11	REVISED
6	REVISED	10/10/11	REVISED
7	REVISED	10/10/11	REVISED
8	REVISED	10/10/11	REVISED
9	REVISED	10/10/11	REVISED
10	REVISED	10/10/11	REVISED



THE JIM HUTTON GROUP

GUILDFORD VILLAGE

1000 AVENUE & 1500 STREET, SARASOTA, FL 34231



ABBARCH

Engaging Design™

ARCHITECTURE INTERIOR DESIGN LANDSCAPE ARCHITECTURE

1000 AVENUE & 1500 STREET, SARASOTA, FL 34231

SCALE:

SHEET TITLE:

OVERALL SITE PERSPECTIVES

PROJECT NO. 2112

DESIGNED BY: HJ, JC, JR, JL

CHECKED BY: JL

DATE: 09/11/11

SCALE:

SHEET:

DP-5.1.1

# SITE STATISTICS

Legal Description	PID: 030-036-241 Lot 1 Section 22 Block 5 North Range 1 West New Westminster District Plan EPP61085
Civic Address	15615 - 104 Avenue, Surrey, BC
Registered Property Owner	673168 B.C. Ltd. 18th floor, 1067 West Cordova Street, Vancouver, BC V6C 1C7
Beneficial Owner	Jim Pattison Developments Ltd. 18th floor, 1067 West Cordova Street, Vancouver, BC V6C 1C7
Developer	Overwaita Food Group Limited Partnership 19855 92A Avenue, Langley, BC V1M 3B6
Site Zoning	Proposed C-8 Zone

## AREA & PARKING CALCULATIONS

### Parking Statistics (As per City of Surrey Standards)

Stall & Aisle Sizes Required:							
	Stall Width		Stall Depth		Aisle Width		
	ft-in	m	ft-in	m	ft-in	m	
Two Way 90°:	9'-6"	2.90	18'-0"	5.50	20'-0"	6.10	
	9'-0"	2.74	18'-0"	5.50	22'-0"	6.70	
	8'-6"	2.60	18'-0"	5.50	23'-0"	7.00	
Barrier-Free:	12'-2"	3.70	18'-0"	5.50			
Loading:	13'-0"	4.00	30'-0"	9.20	25'-0"	7.60	

Stall & Aisle Sizes Provided:							
	Stall Width		Stall Depth		Aisle Width		
	ft-in	m	ft-in	m	ft-in	m	
Staff:	8'-6"	2.60	19'-0"	5.80	25'-0"	7.60	
General:	9'-0"	2.74	19'-0"	5.80	25'-0"	7.60	
Supermarket:	10'-0"	3.05	19'-0"	5.80	30'-0"	9.10	
Barrier-Free:	12'-2"	3.70	19'-0"	5.80	25'-0"	7.60	
Loading:	13'-0"	4.00	30'-0"	9.20	25'-0"	7.60	

Required Parking Spaces Per Use	
<b>1 Child Care Centre</b>	
	1 space per employee + equal # of parking spaces for drop off
<b>2 Eating Establishment</b> (area based off GFA + decks, terraces, balconies)	
<b>a</b>	Category 1 [area < 150m <sup>2</sup> (1,615 ft <sup>2</sup> )] 3 parking spaces
<b>b</b>	Category 2 [150m <sup>2</sup> (1,615 ft <sup>2</sup> ) ≤ area < 950m <sup>2</sup> (10,225 ft <sup>2</sup> )] 10 parking spaces per 100 m <sup>2</sup>
<b>3 General Service Use</b>	3 parking spaces per 100 m <sup>2</sup>
<b>4 Neighbourhood Pub</b>	10 parking spaces per 100 m <sup>2</sup>
<b>5 Office Use</b>	2.5 parking spaces per 100 m <sup>2</sup>
<b>6 Personal Service Use</b>	3 parking spaces per 100 m <sup>2</sup>
<b>7 Retail Store</b>	
<b>a</b>	Category 1 [area < 372m <sup>2</sup> (4,000 ft <sup>2</sup> )] 2.75 parking spaces per 100 m <sup>2</sup>
<b>b</b>	Category 2 [150m <sup>2</sup> (1,615 ft <sup>2</sup> ) ≤ area < 950m <sup>2</sup> (10,225 ft <sup>2</sup> )] 3 parking spaces per 100 m <sup>2</sup>
<b>8 Recreational Facility</b>	3 parking spaces per 100 m <sup>2</sup>

Required Bicycle Spaces Per Use	
<b>1 General Service and Eating Establishment</b> (area based off GFA + decks, terraces, balconies)	
<b>a</b>	Secure Bicycle parking [area ≤ 2,000m <sup>2</sup> (21,528 ft <sup>2</sup> )] 0.06 Bicycles per 100m <sup>2</sup>
<b>b</b>	General Bicycle spaces 0.06 Bicycles per 100m <sup>2</sup>
<b>2 Retail Store</b> [area ≤ 4,645m <sup>2</sup> (50,000 ft <sup>2</sup> )]	0.1 Bicycles per 100m <sup>2</sup>

Required Barrier Free Spaces	
Required Parking Spaces	Required Parking Spaces for Persons with Disabilities
301-400	4

BICYCLE PARKING REQUIRED:			
Secure Bicycle Parking			
	Required	2	Stalls
	Provided	8	Stalls
General Bicycle Parking			
	Required	8	Stalls
	Provided	50	Stalls

## BUILDING COVERAGE BREAKDOWN:

	BLDG	Level	Area (ft <sup>2</sup> )	(m <sup>2</sup> )
	Anchor A	Main Floor	40,047	3,720.49
	Anchor B	Main Floor	22,262	2,068.21
	CRU C	2nd Floor	12,622	1,172.62
	CRU D	Main Floor	7,818	726.31
	CRU E	Main Floor	9,190	853.78
	CRU G	Main Floor	5,913	549.33
	TRANSIT STAFF	Underground	820	76.18
Building Area (excl. U/G Structures) Total:			97,852	9,090.74
Net Site Area			267,401	24,842.37
Site Coverage (max 50%)			(Building Area / Site Area)	36.6 %

## GROSS FLOOR AREA BREAKDOWN:

BUILDING NAME	RETAIL	OFFICE	INSTL. / ASSEM.	LINE TOTAL	GROSS PERCENTAGE
ANCHOR A	3,720.49 m <sup>2</sup>	326.93 m <sup>2</sup>	-	4,047.42 m <sup>2</sup>	11.12%
ANCHOR B	2,068.21 m <sup>2</sup>	1,468.05 m <sup>2</sup>	-	3,536.26 m <sup>2</sup>	9.71%
CRU C	896.70 m <sup>2</sup>	-	1,899.68 m <sup>2</sup>	2,796.38 m <sup>2</sup>	7.68%
CRU D	726.31 m <sup>2</sup>	-	-	726.31 m <sup>2</sup>	1.99%
CRU E	853.78 m <sup>2</sup>	-	-	853.78 m <sup>2</sup>	2.35%
CRU G	549.33 m <sup>2</sup>	-	-	549.33 m <sup>2</sup>	1.51%
TRANSIT	-	-	76.18 m <sup>2</sup>	76.18 m <sup>2</sup>	0.21%
MECH + ELEC	259.20 m <sup>2</sup>	-	-	259.20 m <sup>2</sup>	0.71%
<b>GROSS TOTAL</b>	<b>9,074.02 m<sup>2</sup></b>	<b>1,794.98 m<sup>2</sup></b>	<b>1,975.86 m<sup>2</sup></b>	<b>12,844.86 m<sup>2</sup></b>	<b>35.28%</b>
<b>NET TOTAL</b>	<b>GROSS FLR AREA / NET LOT AREA = 12,844.9 m<sup>2</sup> / 24,842.4 m<sup>2</sup> = 51.71 %</b>				

### LOT AREA CALCULATION:

GROSS LOT AREA = 36,404.5 m<sup>2</sup>  
 <ROAD WIDENING AREA = 4,808.5 m<sup>2</sup>>  
 <UNDEVELOPABLE AREA = 6,753.6 m<sup>2</sup>>  
 NET LOT AREA = 24,842.4 m<sup>2</sup>

2312 GUILDFORD VILLAGE								
BLDG	Level	Unit	Area (ft²)	(m²)	Use	Pkg Req	Comments	
Anchor A - OFB	MECH SHAFT		42	3.90				
	MF		40,005	3,716.59				
	UG		3,519	326.93				
		<b>Total</b>	<b>43,566</b>	<b>4,047.42</b>	<b>7b</b>	<b>121</b>	<b>(incl. both levels and mech shaft)</b>	
Anchor B	UG	Mech + Elec	400	37.16				
	Stairs + Elev		756	70.23				
	MF	Unit B1		15,041	1,397.35	7b	42	
		Unit B2		1,006	93.46	3	3	
		Unit B3		1,010	93.83	3	3	
		Unit B4		1,010	93.83	3	3	
		Unit B5		1,010	93.83	3	3	
		Unit B6		1,005	93.37	3	3	
		Unit B7		1,424	132.29	3	4	
			<b>Total Main Floor</b>	<b>22,262</b>	<b>2,048.21</b>			<b>(incl. stairs+ elev)</b>
	Stairs + Elev		647	60.11				
	2nd	Suite 1		2,638	245.08			West
		Suite 2 - JPD		4,686	435.34			South
		Outdoor patio		428	39.76			
		Suite 3		2,777	257.99			North/center
		Suite 4		2,766	256.97			East
		Washrooms		600	55.74			
		Corridor + Closet		1,260	117.06			
			<b>Total 2nd Floor</b>	<b>15,882</b>	<b>1,468.05</b>	<b>5</b>	<b>36</b>	<b>(incl. stairs + elev and patio)</b>
	CRU C	UG	Mech + Elec	250	23.23			
Stairs + Elev + ACC			1,260	117.06				
MF		Unit C1		775	72.00	8	3	
		Unit C2		1,001	93.00	8	3	
		Unit C3		1,059	98.38	8	3	
		Unit C4		1,085	100.80	3	3	
		Unit C5		1,085	100.80	6	3	
		Unit C6		1,085	100.80	7a	3	
		Unit C7		1,085	100.80	7a	3	
		Unit C8		1,217	113.06	7a	3	
		<b>Total Main Floor</b>	<b>9,452</b>	<b>896.70</b>			<b>(incl. stairs + elev)</b>	
Stairs + Elev			621	57.69				
2nd		Day Care		12,001	1,114.93	1	78	purple diagonal hatched area (assume 39 employees)
			<b>Total 2nd Floor</b>	<b>12,422</b>	<b>1,172.62</b>			<b>(incl. stairs + elev)</b>
Stairs + Elev			661	61.41				
Roof		Vestibule		156	14.49			
Roof		Day Care - Play area		7,009	651.16			fenced area (orange hatch)
	<b>Total Roof</b>	<b>7,826</b>	<b>727.06</b>			<b>(incl. stairs + elev)</b>		

CRU D	UG	Mech + Elec	475	44.13				
	Stair + Elev		476	44.22				
	MF	Unit D1		1,066	99.03	7a	3	
		Unit D2		1,073	99.68	6	3	
		Unit D3		1,074	99.78	2a	3	
		Unit D4		1,073	99.69	6	3	
		Unit D5		1,074	99.78	2a	3	
		Unit D6		1,630	151.43	2a	5	
Patio		352	32.70	2a	1			
	<b>Total Main</b>	<b>7,818</b>	<b>726.31</b>			<b>(incl. stairs + elev + Patio)</b>		
CRU E	UG	Mech + Elec	850	78.97				
	MECH SHAFT		69	6.41				
	Stair		104	9.66				
	MF	Unit E1		988	91.79	3	3	
		Unit E2		992	92.16	3	3	
		Unit E3		993	92.25	3	3	
		Unit E4		992	92.16	3	3	
		Unit E5		994	92.35	3	3	
		Unit E6		992	92.16	2a	3	
		Unit E7		993	92.25	2a	3	
		Unit E8		981	91.14	2a	3	
Patio		1,092	101.45	2a	3			
	<b>Total Area</b>	<b>9,190</b>	<b>853.78</b>			<b>(incl. Mech. shaft, stairs and patio)</b>		
CRU F			-			<b>REMOVED</b>		
CRU G	UG	Mech + Elec	815	75.72				
	Stair		104	9.66				
	MF	Unit G1		1,151	106.93	3	3	
		Unit G2		1,154	107.21	6	3	
		Unit G3		1,154	107.21	2a	3	
		Unit G4		1,154	107.21	2a	3	
		Unit G5		1,196	111.11	3	3	
	<b>Total Area</b>	<b>5,913</b>	<b>549.33</b>			<b>(incl. stairs)</b>		
TRANSIT STAFF	UG		820	76.18	5	3		
		Total Pkg Required				384		
		Parking Provided:	Visitor			464		
			Barrier Free Stalls			20		
			Parent			7		
			Staff			13		
		Total Parking Provided				504		
			Total above ground			163		
			Total underground			341		
		Parking Ratio Provided						
			5.5 stalls/100 m²					
			5.2 stalls/1000 S.F.					

**SUBDIVISION PLAN OF**  
**PARCEL ONE (EXPLANATORY PLAN 10354) OF LOT A, PLAN 4913**  
**LOT 1, PLAN 10836 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 2, PLAN 10836 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT "A", PLAN 13644 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT "B", PLAN 13644 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT "C", PLAN 13644**  
**LOT 1, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 2, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 3, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 4, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 5, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOT 6, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLANS LMP54233 AND BCP35342**  
**LOT 7, PLAN 14826 EXCEPT: PART DEDICATED ROAD ON PLAN BCP35342**  
**LOTS 8 TO 11 INCLUSIVE, PLAN 14826**

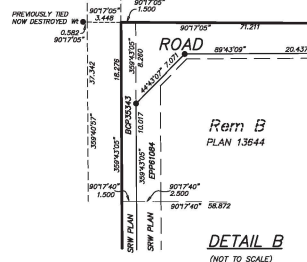
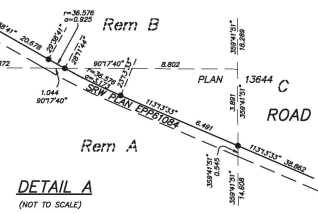
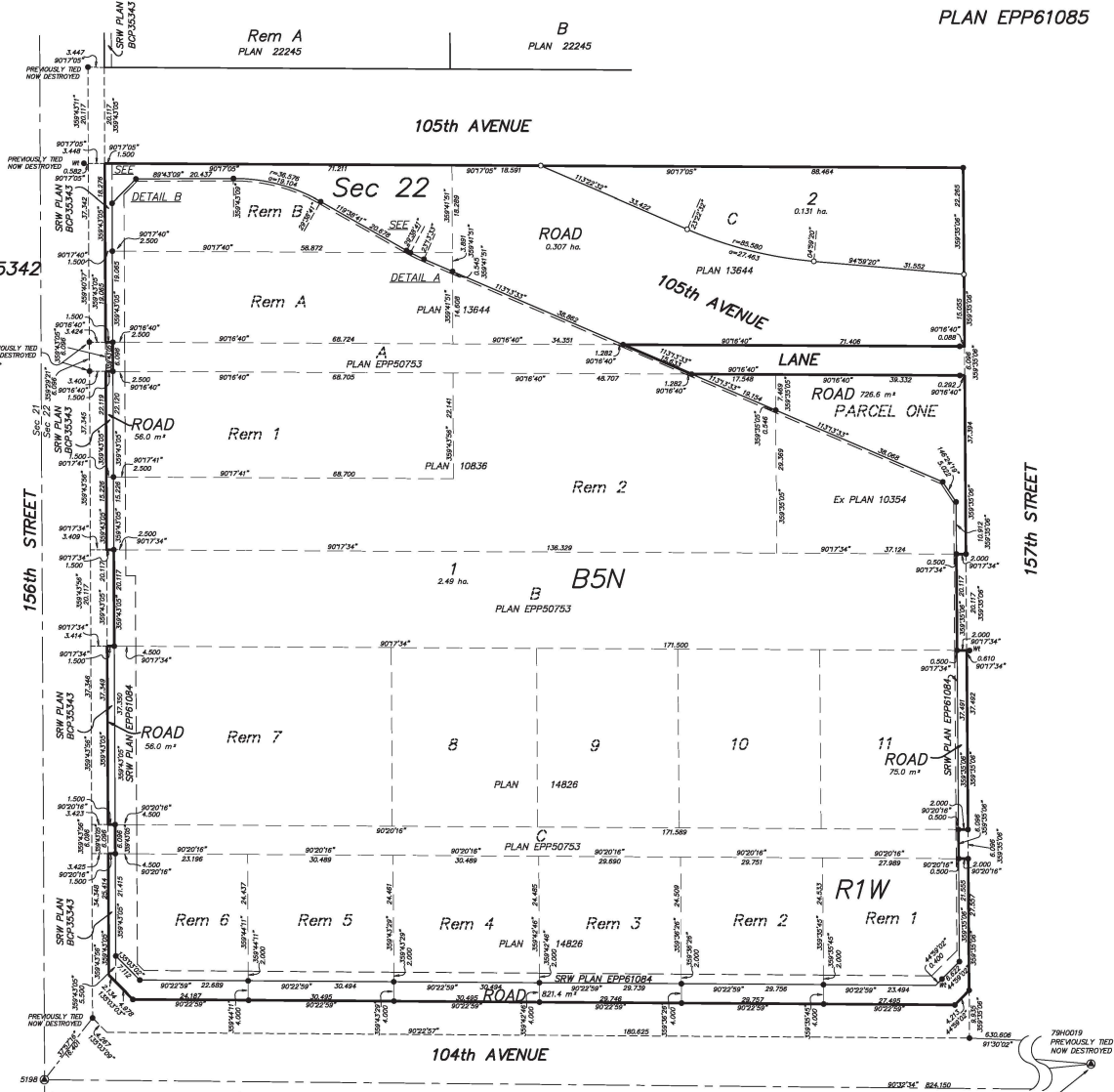
**AND**  
**PARCEL A, PARCEL B, AND PARCEL C, PLAN EPP50753**  
**ALL WITHIN SECTION 22, BLOCK 5 NORTH, RANGE 1 WEST, NEW WESTMINSTER DISTRICT**

BCGS 926.017

ALL DISTANCES ARE IN METRES  
 THE INTENDED PLOT SIZE OF THIS PLAN IS 864mm IN WIDTH BY 560mm IN HEIGHT  
 (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500



PLAN EPP61085



- LEGEND :**
- ⊙ INDICATES CONTROL MONUMENT FOUND
  - INDICATES STANDARD IRON POST FOUND
  - INDICATES STANDARD IRON POST PLACED

INTEGRATED SURVEY AREA No.1, CITY OF SURREY, MAD83 (CSRS) 4.0.0.BC.1.0VRD  
 GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN  
 GEODETIC CONTROL MONUMENTS 5198 AND 79H0019  
 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10  
 THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY  
 ACHIEVED ARE DERIVED FROM THE MASCOIT PUBLISHED COORDINATES AND STANDARD  
 DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5198 AND 79H0019  
 UNLESS OTHERWISE SPECIFIED, TO COMPUTE GRID DISTANCES,  
 METREY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED  
 FACTOR OF 0.9985820 WHICH HAS BEEN DERIVED FROM  
 GEODETIC CONTROL MONUMENTS 5198 AND 79H0019  
 THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNERS

**MURRAY & ASSOCIATES**  
 PROFESSIONAL LAND SURVEYORS  
 201-12448 82nd AVENUE  
 SURREY, BC V3W 3E9  
 (604) 597-9189

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT  
 (CITY OF SURREY)

THIS PLAN LIES WITHIN THE JURISDICTION OF THE  
 APPROVING OFFICER FOR THE CITY OF SURREY

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED  
 ON THE 12th DAY OF APRIL, 2016  
 GREGORY MARSTON BOLS 794  
 FILE 9131-08A

DATA: NAD83(CRS) 4.0.0.BC.1.0VRD  
 UTM ZONE 10  
 NORTHING: 5448784.780 m  
 EASTING: 616318.026 m  
 POINT COMBINED SCALE FACTOR: 0.9985824  
 ESTIMATED HORIZONTAL POSITIONAL ACCURACY: 0.02 m

DATA: NAD83(CRS) 4.0.0.BC.1.0VRD  
 UTM ZONE 10  
 NORTHING: 5448784.780 m  
 EASTING: 616318.026 m  
 POINT COMBINED SCALE FACTOR: 0.9985866  
 ESTIMATED HORIZONTAL POSITIONAL ACCURACY: 0.01 m

SHEET NOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
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- 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED



GUILDFORD VILLAGE

104th AVENUE & 154th STREET, SARASOTA, FL



DATE: 09/18/14

SCALE: 1" = 30'

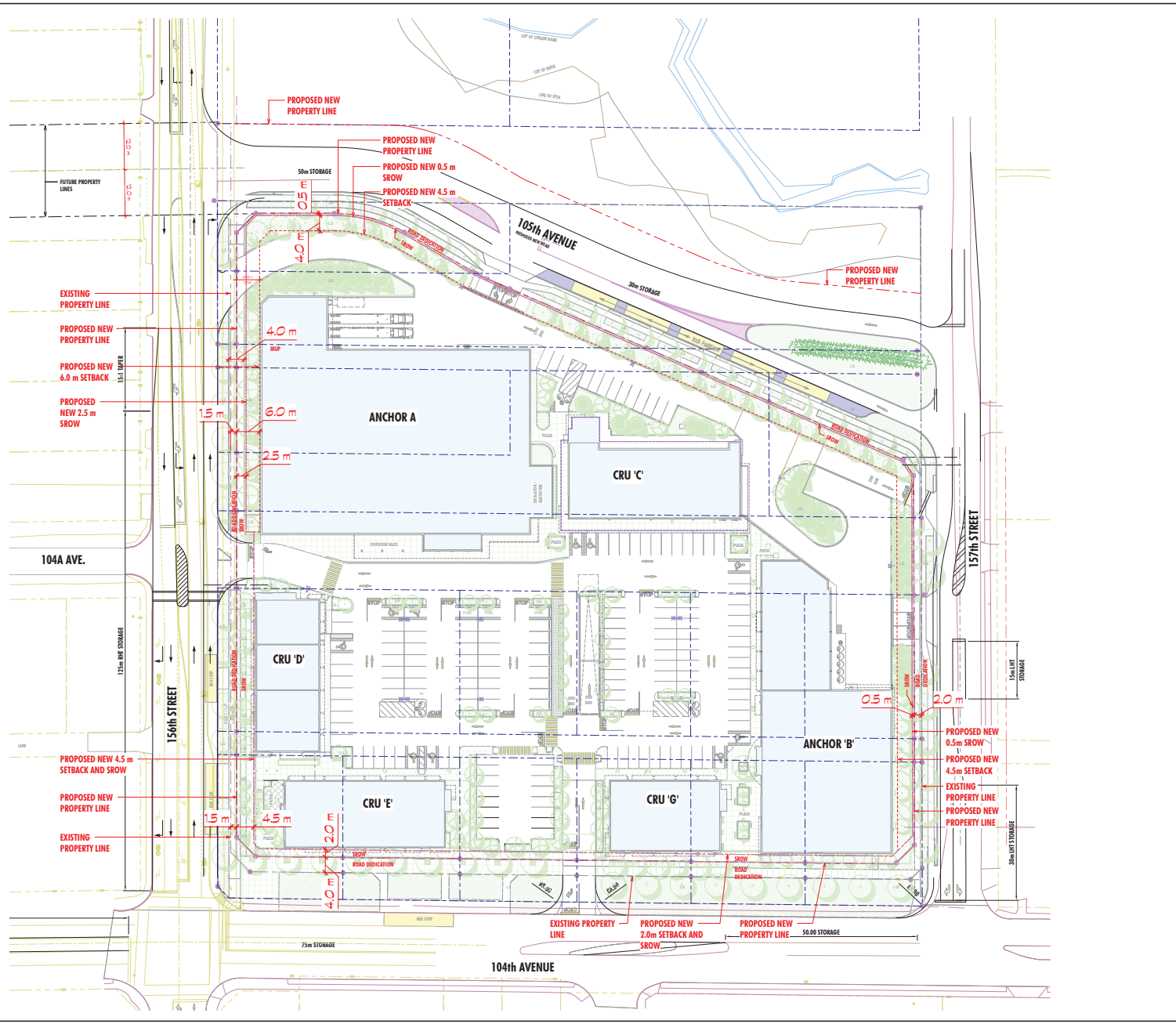
SHEET: DP-1.0.0

SHEET TITLE  
SITE BASE PLAN

PROJECT NO: 2012  
 DRAWN BY: JC  
 CHECKED BY: HL  
 DATE: 09/18/14  
 SCALE: 1" = 30'  
 SHEET: DP-1.0.0

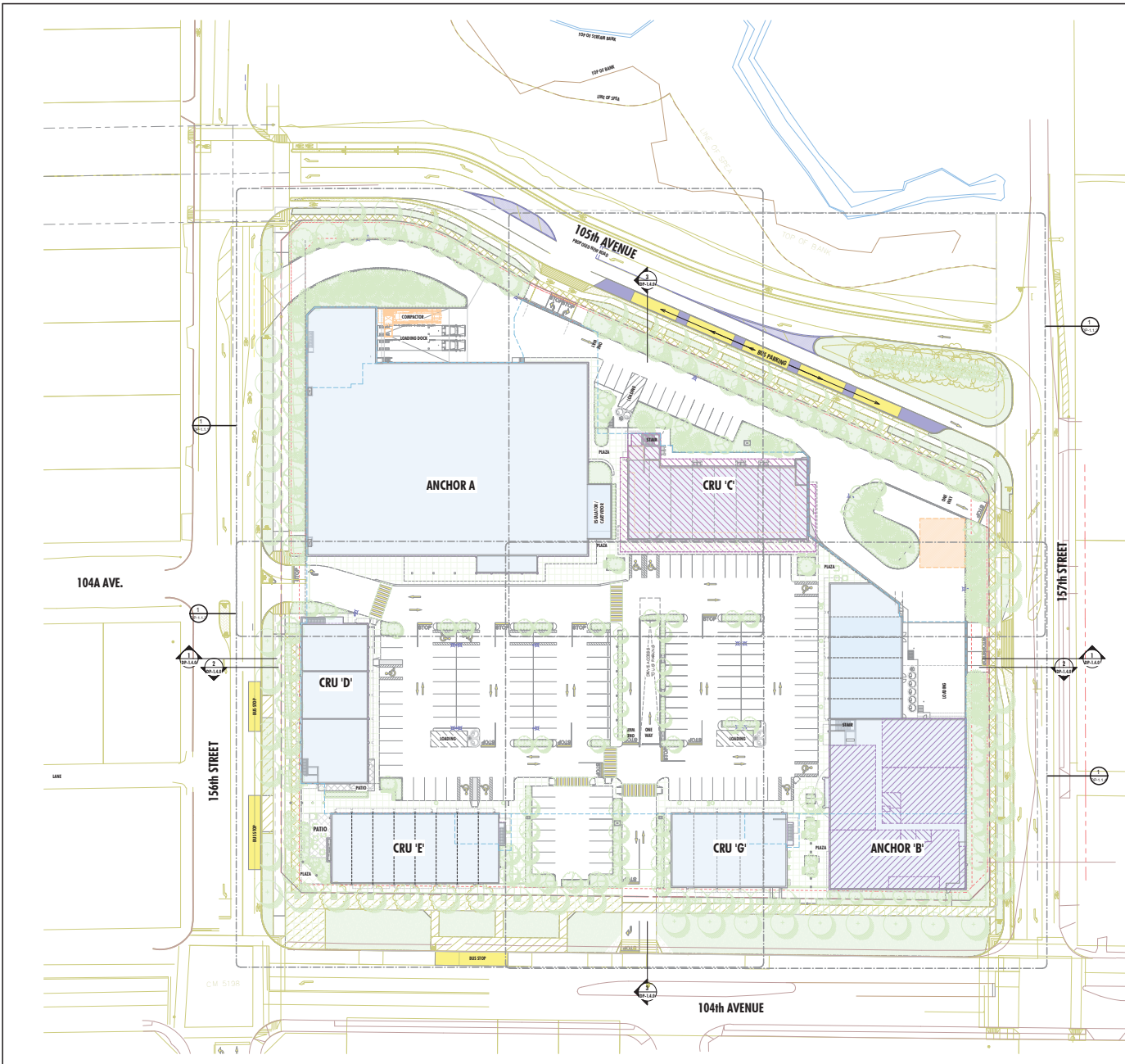


DP-1.0.0



ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

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- SITE SYMBOL LEGEND**
- CONCRETE LETDOWN
  - CURB TYPE BEE DETAILS
  - BIKE RACK
  - LAMP STANDARD
  - PAINTED ACCESSIBLE PARKING SIGN
  - LANDSCAPING
  - PAINTED RAMPING ARROWS
  - PAINTED STOP LINE
  - PAINTED CROSSBARR
  - PROPERTY LINE
  - HEAVY DUTY ASPHALT
  - MAIN ENTRANCE MARKER
  - SECONDARY ENTRANCE MARKER
  - PICK-UP WINDOW MARKER
  - PEDESTRIAN ACCESS
  - PLANTER BED (MAX. 70" (2-4') ABOVE ADJACENT GRADE)
  - GRADES BY CIVIL
  - GRADES BY ARCHITECTURAL
  - CATCH BASIN

**VEHICLES**

**PASSENGER VEHICLE**

REF TO SCALE

OVERALL LENGTH	15,100 mm
OVERALL WIDTH	2,800 mm
WHEEL BASE (FRONT REAR)	4,300 mm
STEERING LOCK ANGLE	4.000 DEG
TURN OVERSPEED	4.000 RPM
LOCK TO LOCK TIME	8 SECONDS
MINIMUM TURNING RADIUS (DIAM)	4.000 M

**POWERED GOOD TRANSPORT**

REF TO SCALE

GENERIC SIZE FOR REFERENCE ONLY

OVERALL LENGTH	7,472 (23,850) mm
OVERALL WIDTH	2,500 (7,620) mm
STEERING LOCK ANGLE	25.8°
LOCK TO LOCK TIME	8 SECONDS

**SHEET NOTES**

1	156th STREET	156th STREET
2	157th STREET	157th STREET
3	104th AVENUE	104th AVENUE
4	105th AVENUE	105th AVENUE
5	156th STREET	156th STREET
6	157th STREET	157th STREET
7	104th AVENUE	104th AVENUE
8	105th AVENUE	105th AVENUE
9	156th STREET	156th STREET
10	157th STREET	157th STREET
11	104th AVENUE	104th AVENUE
12	105th AVENUE	105th AVENUE
13	156th STREET	156th STREET
14	157th STREET	157th STREET
15	104th AVENUE	104th AVENUE
16	105th AVENUE	105th AVENUE
17	156th STREET	156th STREET
18	157th STREET	157th STREET
19	104th AVENUE	104th AVENUE
20	105th AVENUE	105th AVENUE
21	156th STREET	156th STREET
22	157th STREET	157th STREET
23	104th AVENUE	104th AVENUE
24	105th AVENUE	105th AVENUE
25	156th STREET	156th STREET
26	157th STREET	157th STREET
27	104th AVENUE	104th AVENUE
28	105th AVENUE	105th AVENUE
29	156th STREET	156th STREET
30	157th STREET	157th STREET
31	104th AVENUE	104th AVENUE
32	105th AVENUE	105th AVENUE
33	156th STREET	156th STREET
34	157th STREET	157th STREET
35	104th AVENUE	104th AVENUE
36	105th AVENUE	105th AVENUE
37	156th STREET	156th STREET
38	157th STREET	157th STREET
39	104th AVENUE	104th AVENUE
40	105th AVENUE	105th AVENUE
41	156th STREET	156th STREET
42	157th STREET	157th STREET
43	104th AVENUE	104th AVENUE
44	105th AVENUE	105th AVENUE
45	156th STREET	156th STREET
46	157th STREET	157th STREET
47	104th AVENUE	104th AVENUE
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49	156th STREET	156th STREET
50	157th STREET	157th STREET



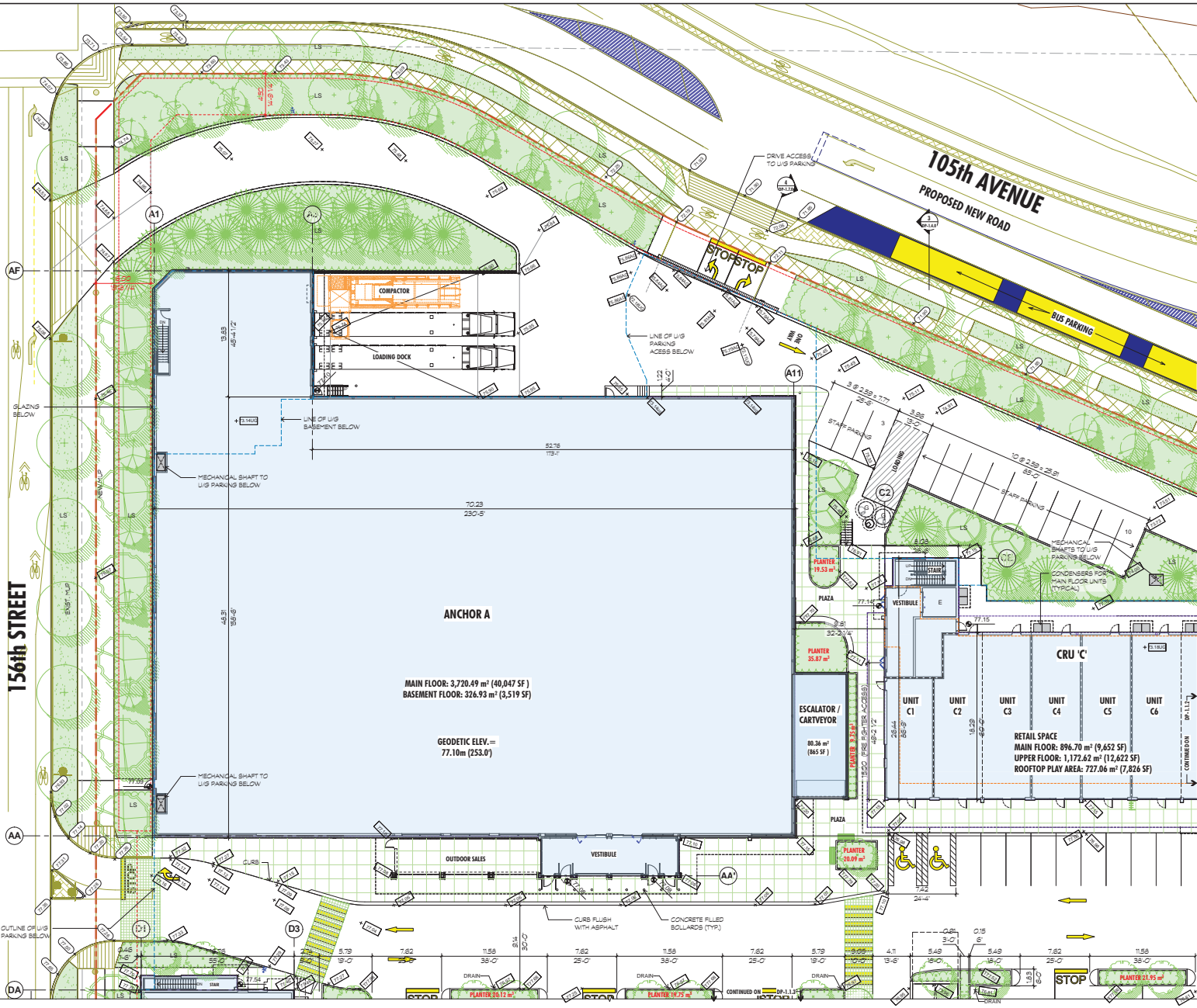
**GUILDFORD VILLAGE**  
 104th AVENUE & 156th STREET, SARASOTA, FL



**SHEET TITLE**  
 SITE KEY PLAN

PROJECT NO.	2312
DESIGNED BY	MS, JC
CHECKED BY	MSR, HA, AJ
DATE	03/09/17
SCALE	1" = 50'
SHEET	

DP-1.1.0



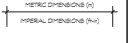
**SHEET NOTES**

**SITE LEGEND**

- (ELEV) SPOT ELEVATION BY CIVIL ENGINE (P. NAME)
- (ELEV) SPOT ELEVATION BY ARCHITECT (P. NAME)
- (ELEV) ABOVE GROUND SPOT ELEVATION (P. NAME)
- (ELEV) UNDERGROUND SPOT ELEVATION (P. NAME)
- (ELEV) TOP OF PLANTER WALL SPOT ELEVATION (P. NAME)
- (ELEV) LANDINGS SPOT ELEV. AT EXT. CODES (P. NAME)

- - - - - EXISTING PROPERTY LINE
- - - - - PROPOSED NEW PROPERTY LINE
- - - - - STATUTORY RIGHT OF WAY
- - - - - REQUIRED BUILDING SETBACK
- - - - - LINE OF UNDERGROUND STRUCTURE BELOW
- - - - - LINE OF BUILDING AT SECOND LEVEL
- - - - - LINE OF BUILDING AT ROOF/FLOOR LEVEL (LAND)
- - - - - LINE OF CANOPY / OVERHANG ABOVE

**SITE DIMENSION STANDARDS**



**NOTE**  
 GRASSES SHOWN ARE PRELIMINARY  
 GRASSES ONLY FINAL FINISH GRASSES  
 MAY VARY FROM SHOWN.

• (ELEV) FINISH FLOOR FINISH
• (ELEV) FINISH FLOOR FINISH
• (ELEV) FINISH FLOOR FINISH FINISH
• (ELEV) FINISH FLOOR FINISH FINISH
• (ELEV) FINISH FLOOR FINISH FINISH
• (ELEV) FINISH FLOOR FINISH FINISH
• (ELEV) FINISH FLOOR FINISH FINISH
• (ELEV) FINISH FLOOR FINISH FINISH



**GUILDFORD VILLAGE**

1000 AVENUE & 105th STREET, SURREY BC



DATE: \_\_\_\_\_

**SHEET TITLE**  
 ENLARGED SITE PLAN - NORTHWEST

PROJECT NO.	2012
DESIGNED BY	ML/SC
CHECKED BY	ML
DATE	10/19/17
SCALE	1" = 100'
SHEET	



**DP-1.1.1**

NORTH ARROW LOCATED BY THE CLIENT. CHECKED BY THE ARCHITECT. DATE: 10/19/17

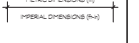


SHEET NOTES

SITE LEGEND

- (00.00) SPOT ELEVATION BY CIVIL ENG. (in meters)
- (00.00) SPOT ELEVATION BY ARCHITECT (in meters)
- (00.00) ABOVE GROUND SPOT ELEVATION (in meters)
- (00.00) UNDERGROUND SPOT ELEVATION (in meters)
- (00.00) TOP OF PLANTER WALL SPOT ELEVATION (in meters)
- (00.00) LANDING SPOT ELEV. AT EXT. DOOR (in meters)
- - - - - EXISTING PROPERTY LINE
- - - - - PROPOSED NEW PROPERTY LINE
- - - - - STATUTORY RIGHT OF WAY
- - - - - REQUIRED BUILDING SETBACK
- - - - - LINE OF UNDERGROUND STRUCTURE BELOW
- - - - - LINE OF BUILDING AT SECOND LEVEL
- - - - - LINE OF BUILDING AT ROOFTOP LEVEL (L&L)
- - - - - LINE OF CANOPY / OVERHANG ABOVE

SITE DIMENSION STANDARDS



NOTE  
 GRADES SHOWN ARE PRELIMINARY  
 GRADES ONLY. FINAL FINISHED GRADES  
 MAY VARY FROM SHOWN.

00.00	EXISTING GROUND
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR
00.00	PROPOSED FINISH FLOOR



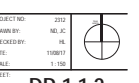
GUILDFORD VILLAGE

10th AVENUE & 15th STREET, SURREY BC

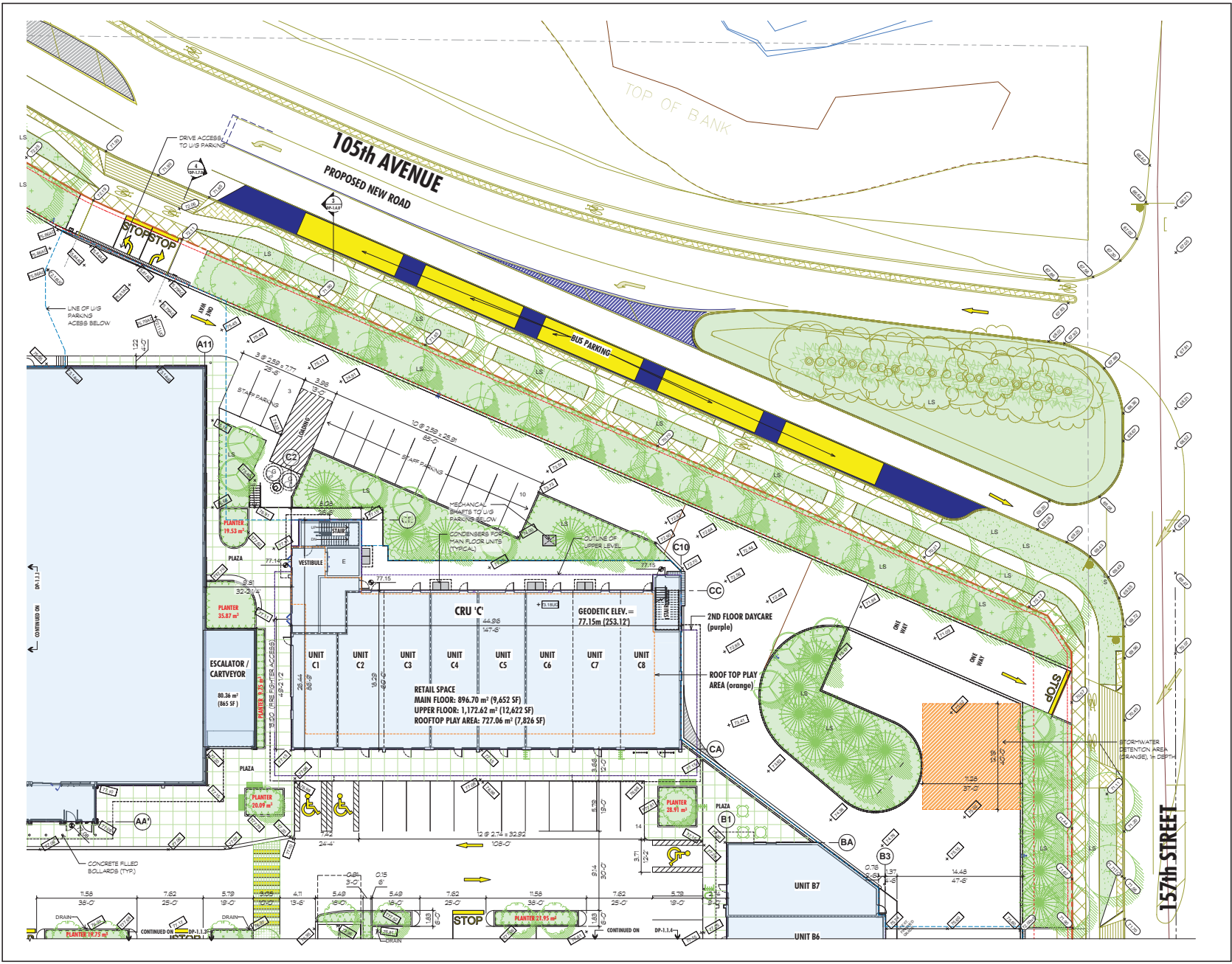


PROJECT NO. 2012  
 DRAWING NO. 100-02  
 CHECKED BY: JL  
 DATE: 10/09/17  
 SCALE: 1:100  
 SHEET

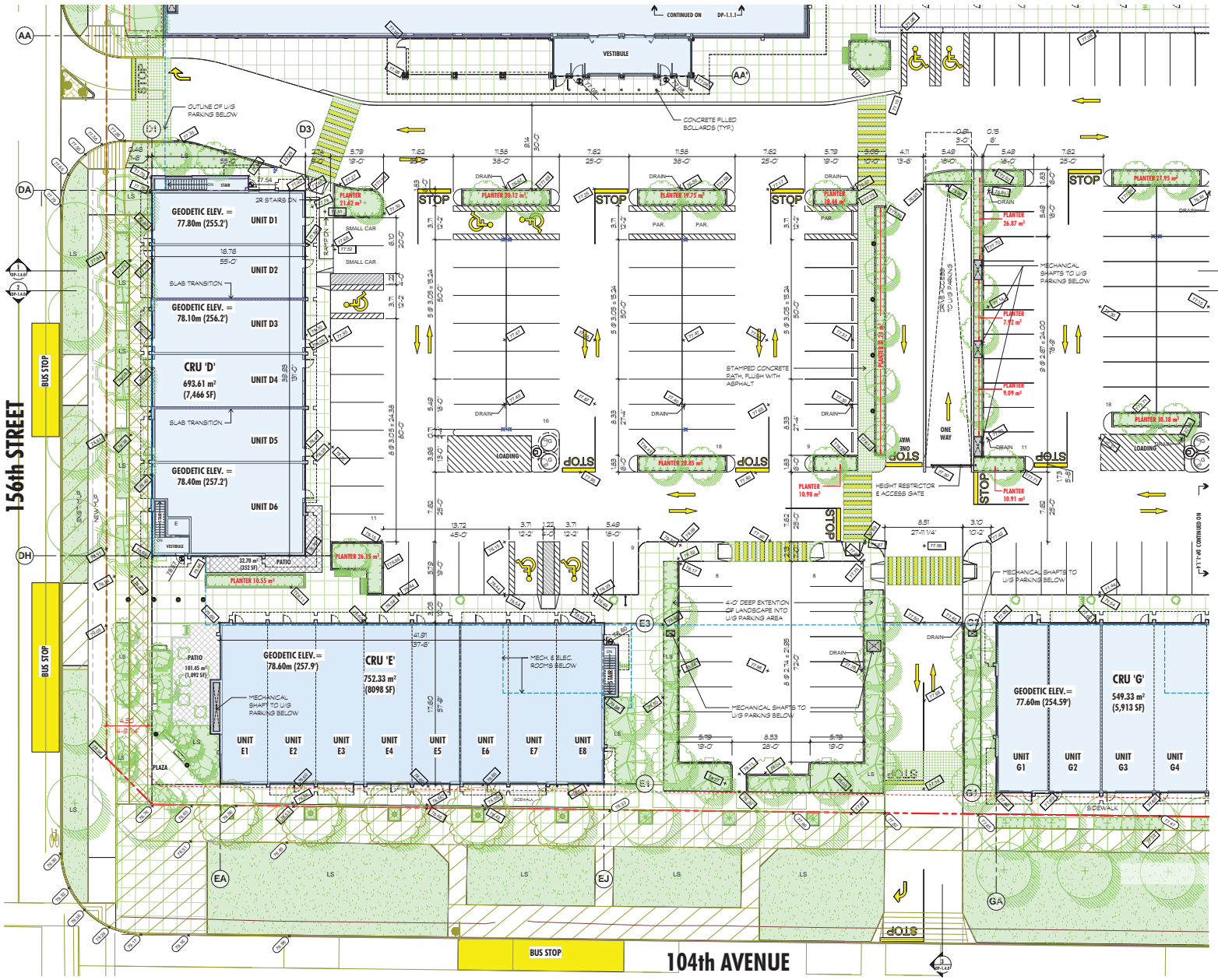
SHEET TITLE  
 ENLARGED SITE PLAN -  
 NORTHEAST



DP-1.1.2



NORTH ARROW LOCATED ON SHEET DP-1.1.1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.



**SHEET NOTES**

**SITE LEGEND**

- (00.00) SPOT ELEVATION BY CIVIL ENGR. (F. NAME)
- (00.00) SPOT ELEVATION BY ARCHITECT (F. NAME)
- (00.00) ABOVE GROUND SPOT ELEVATION (F. NAME)
- (00.00) UNDERGROUND SPOT ELEVATION (F. NAME)
- (00.00) TOP OF PLANTER WALL SPOT ELEVATION (F. NAME)
- (00.00) LANDSC SPOT ELEV. AT ENT DOOR (F. NAME)
- EXISTING PROPERTY LINE
- - - PROPOSED NEW PROPERTY LINE
- - - STATUTORY RIGHT OF WAY
- - - REQUIRED BUILDING SETBACK
- - - LINE OF UNDERGROUND STRUCTURE BELOW
- - - LINE OF BUILDING AT SECOND LEVEL
- - - LINE OF BUILDING AT ROOFTOP LEVEL (L.N.D.)
- - - LINE OF CANOPY / OVERHANG ABOVE

**SITE DIMENSION STANDARDS**

- METRIC DIMENSIONS (M)
- IMPERIAL DIMENSIONS (F'-IN)

NOTE: GRADES SHOWN ARE PRELIMINARY. GRADES ONLY FINAL FINISHED GRADES. FINALLY PLOTTED SHOWN.

1	156TH STREET	156TH STREET
2	156TH STREET	156TH STREET
3	156TH STREET	156TH STREET
4	156TH STREET	156TH STREET
5	156TH STREET	156TH STREET
6	156TH STREET	156TH STREET
7	156TH STREET	156TH STREET
8	156TH STREET	156TH STREET
9	156TH STREET	156TH STREET
10	156TH STREET	156TH STREET
11	156TH STREET	156TH STREET
12	156TH STREET	156TH STREET
13	156TH STREET	156TH STREET
14	156TH STREET	156TH STREET
15	156TH STREET	156TH STREET
16	156TH STREET	156TH STREET
17	156TH STREET	156TH STREET
18	156TH STREET	156TH STREET
19	156TH STREET	156TH STREET
20	156TH STREET	156TH STREET
21	156TH STREET	156TH STREET
22	156TH STREET	156TH STREET
23	156TH STREET	156TH STREET
24	156TH STREET	156TH STREET
25	156TH STREET	156TH STREET
26	156TH STREET	156TH STREET
27	156TH STREET	156TH STREET
28	156TH STREET	156TH STREET
29	156TH STREET	156TH STREET
30	156TH STREET	156TH STREET
31	156TH STREET	156TH STREET
32	156TH STREET	156TH STREET
33	156TH STREET	156TH STREET
34	156TH STREET	156TH STREET
35	156TH STREET	156TH STREET
36	156TH STREET	156TH STREET
37	156TH STREET	156TH STREET
38	156TH STREET	156TH STREET
39	156TH STREET	156TH STREET
40	156TH STREET	156TH STREET
41	156TH STREET	156TH STREET
42	156TH STREET	156TH STREET
43	156TH STREET	156TH STREET
44	156TH STREET	156TH STREET
45	156TH STREET	156TH STREET
46	156TH STREET	156TH STREET
47	156TH STREET	156TH STREET
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50	156TH STREET	156TH STREET
51	156TH STREET	156TH STREET
52	156TH STREET	156TH STREET
53	156TH STREET	156TH STREET
54	156TH STREET	156TH STREET
55	156TH STREET	156TH STREET
56	156TH STREET	156TH STREET
57	156TH STREET	156TH STREET
58	156TH STREET	156TH STREET
59	156TH STREET	156TH STREET
60	156TH STREET	156TH STREET
61	156TH STREET	156TH STREET
62	156TH STREET	156TH STREET
63	156TH STREET	156TH STREET
64	156TH STREET	156TH STREET
65	156TH STREET	156TH STREET
66	156TH STREET	156TH STREET
67	156TH STREET	156TH STREET
68	156TH STREET	156TH STREET
69	156TH STREET	156TH STREET
70	156TH STREET	156TH STREET
71	156TH STREET	156TH STREET
72	156TH STREET	156TH STREET
73	156TH STREET	156TH STREET
74	156TH STREET	156TH STREET
75	156TH STREET	156TH STREET
76	156TH STREET	156TH STREET
77	156TH STREET	156TH STREET
78	156TH STREET	156TH STREET
79	156TH STREET	156TH STREET
80	156TH STREET	156TH STREET
81	156TH STREET	156TH STREET
82	156TH STREET	156TH STREET
83	156TH STREET	156TH STREET
84	156TH STREET	156TH STREET
85	156TH STREET	156TH STREET
86	156TH STREET	156TH STREET
87	156TH STREET	156TH STREET
88	156TH STREET	156TH STREET
89	156TH STREET	156TH STREET
90	156TH STREET	156TH STREET
91	156TH STREET	156TH STREET
92	156TH STREET	156TH STREET
93	156TH STREET	156TH STREET
94	156TH STREET	156TH STREET
95	156TH STREET	156TH STREET
96	156TH STREET	156TH STREET
97	156TH STREET	156TH STREET
98	156TH STREET	156TH STREET
99	156TH STREET	156TH STREET
100	156TH STREET	156TH STREET



**GUILDFORD VILLAGE**

1004 AVENUE & 156TH STREET, SURREY BC



SHEET NO.

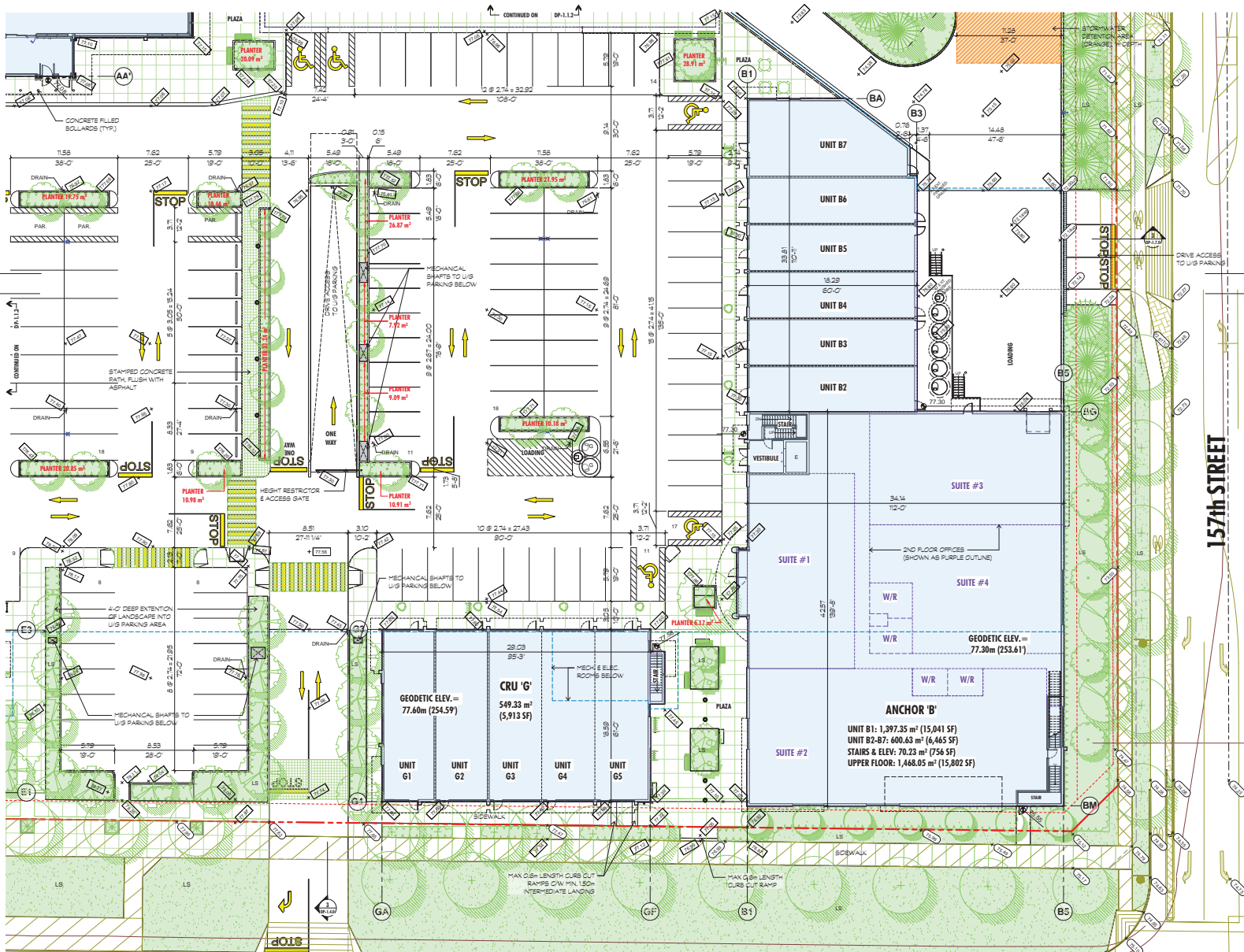
**ENLARGED SITE PLAN - SOUTHWEST**

PROJECT NO.	2012
DESIGNED BY	ML/JC
CHECKED BY	ML
DATE	10/01/17
SCALE	1" = 10'
SHEET	



**DP-1.1.3**

ABBARCH ENGINEERING DESIGN INC. 1004 AVENUE & 156TH STREET, SURREY BC, V4A 1A1



**SHEET NOTES**

**SITE LEGEND**

- (ELEV) SPOT ELEVATION BY CIVIL ENG. (in meters)
- (ELEV) SPOT ELEVATION BY ARCHITECT (in meters)
- (ELEV) ABOVE GROUND SPOT ELEVATION (in meters)
- (ELEV) UNDERGROUND SPOT ELEVATION (in meters)
- (ELEV) TOP OF PLANTER WALL SPOT ELEVATION (in meters)
- (ELEV) LANDING SPOT ELEV. AT ENT. DOOR (in meters)
- EXISTING PROPERTY LINE
- - - PROPOSED NEW PROPERTY LINE
- - - STATUTORY RIGHT OF WAY
- - - REDUCED BUILDING SETBACK
- - - LINE OF UNDERGROUND STRUCTURE BELOW
- - - LINE OF BUILDING AT SECOND LEVEL
- - - LINE OF BUILDING AT ROOFTOP LEVEL (L.N.D.)
- - - LINE OF CANOPY / OVERHANG ABOVE

**SITE DIMENSION STANDARDS**

- METRIC DIMENSIONS (m)
- IMPERIAL DIMENSIONS (ft-in)

**NOTE**  
 GRADES SHOWN ARE PRELIMINARY GRADES ONLY. FINAL FINISHED GRADES MAY VARY FROM SHOWN.

- 1. CRU 'G' - PROPOSED FLOOR FINISH
- 2. SUITE #1 - PROPOSED FLOOR FINISH
- 3. SUITE #2 - PROPOSED FLOOR FINISH
- 4. SUITE #3 - PROPOSED FLOOR FINISH
- 5. SUITE #4 - PROPOSED FLOOR FINISH
- 6. ANCHOR 'B' - PROPOSED FLOOR FINISH
- 7. CRU 'G' - PROPOSED ROOF FINISH
- 8. CRU 'G' - PROPOSED ROOF FINISH
- 9. CRU 'G' - PROPOSED ROOF FINISH
- 10. CRU 'G' - PROPOSED ROOF FINISH
- 11. CRU 'G' - PROPOSED ROOF FINISH
- 12. CRU 'G' - PROPOSED ROOF FINISH
- 13. CRU 'G' - PROPOSED ROOF FINISH
- 14. CRU 'G' - PROPOSED ROOF FINISH
- 15. CRU 'G' - PROPOSED ROOF FINISH
- 16. CRU 'G' - PROPOSED ROOF FINISH
- 17. CRU 'G' - PROPOSED ROOF FINISH
- 18. CRU 'G' - PROPOSED ROOF FINISH
- 19. CRU 'G' - PROPOSED ROOF FINISH
- 20. CRU 'G' - PROPOSED ROOF FINISH



**GUILDFORD VILLAGE**

1004 AVENUE & 104th STREET, SURREY BC



DATE: 10/08/17  
 SCALE: 1" = 10'-0"

**SHEET TITLE**  
 ENLARGED SITE PLAN - SOUTHEAST

PROJECT NO.	2312
DESIGNED BY	ML/JC
CHECKED BY	ML
DATE	10/08/17
SCALE	1" = 10'-0"
SHEET	

DP-1.1.4

NORTH POINT DESIGN INC. 16100 - 161st Street, Surrey, BC V4N 1V7

SHEET NOTES

- 1. SHALL BE OCCUPIED FOR GP
- 2. SHALL BE OCCUPIED FOR GP
- 3. SHALL BE OCCUPIED FOR GP
- 4. SHALL BE OCCUPIED FOR GP
- 5. SHALL BE OCCUPIED FOR GP
- 6. SHALL BE OCCUPIED FOR GP
- 7. SHALL BE OCCUPIED FOR GP
- 8. SHALL BE OCCUPIED FOR GP
- 9. SHALL BE OCCUPIED FOR GP
- 10. SHALL BE OCCUPIED FOR GP
- 11. SHALL BE OCCUPIED FOR GP
- 12. SHALL BE OCCUPIED FOR GP
- 13. SHALL BE OCCUPIED FOR GP



GUILDFORD VILLAGE  
1040 AVENUE & 15th STREET, SURREY BC

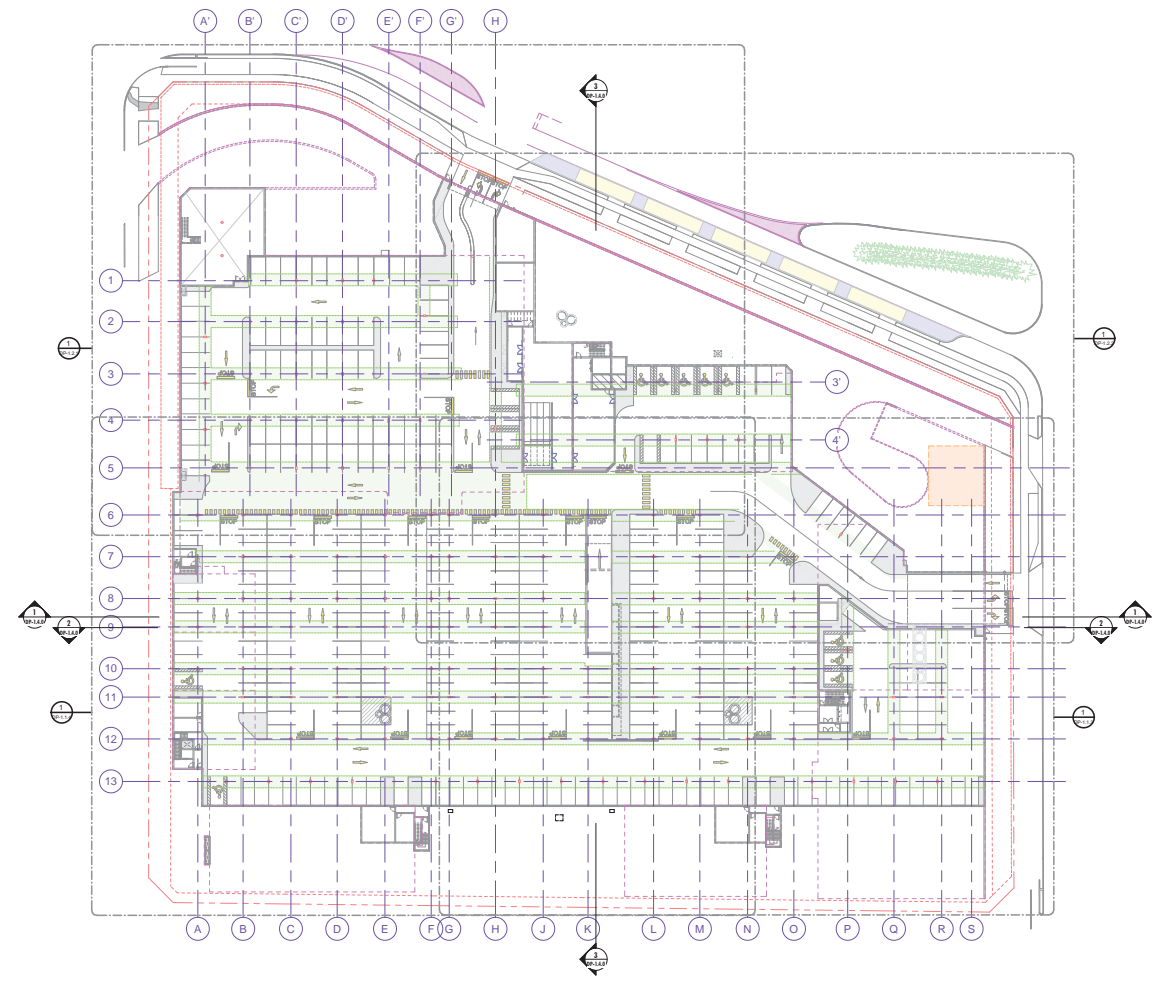


PROJECT NO: 2112  
DESIGNED BY: HJ  
CHECKED BY: MBR, HJAU  
DATE: 03/09/17  
SCALE: AS SHOWN

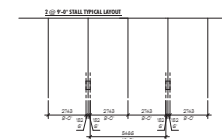
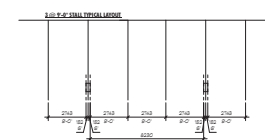
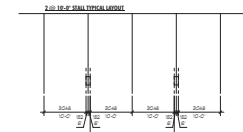
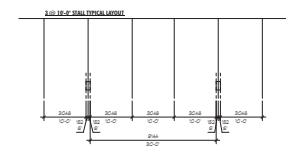
SHEET TITLE  
UNDERGROUND PARKING KEY PLAN

PROJECT NO: 2112  
DESIGNED BY: HJ  
CHECKED BY: MBR, HJAU  
DATE: 03/09/17  
SCALE: AS SHOWN

DP-1.2.0

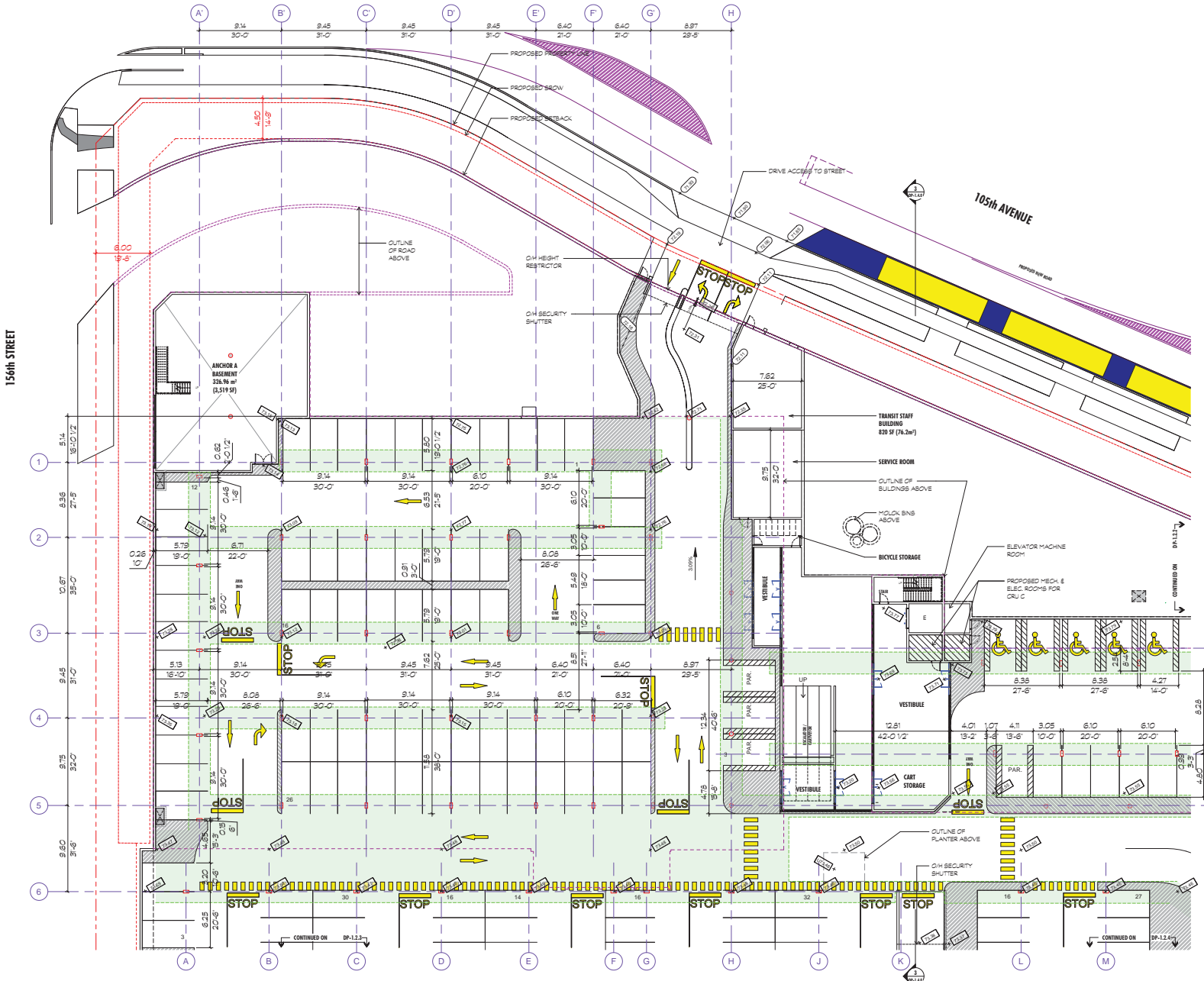


UNDERGROUND PARKING  
SCALE: 1:300



TYPICAL STALL CONFIGURATION  
SCALE: 10:1

NORTH: 01/10/17 10:48 AM BY: HJAU. User: hutton@jimhutton.com, hutton@jimhutton.com



**SHEET NOTES**

**U/G PARKING LEGEND**

- 4 (20.0) BROF ELEVATION BY CHALKING (0 mm)
- 4 (20.0) BROF ELEVATION BY ADJUSTED (0 mm)
- 4 (20.0) BROF ELEVATION UNDER PLANTER (0 mm)
- - - EXISTING PROPERTY LINE
- - - PROPOSED NEW PROPERTY LINE
- - - STATUTORY RIGHT OF WAY
- - - REQUIRED BUILDING SETBACK
- - - LINE OF STRUCTURE / ROAD ABOVE
- - - LINE OF BUILDING ABOVE
- - - LINE OF PLANTERS ABOVE
- - - LINE OF SLABAND ABOVE

**SITE DIMENSION STANDARDS**

- ↑ METRIC DIMENSIONS (M)
- ↑ IMPERIAL DIMENSIONS (F-T)

**NOTE**  
SHADES SHOWN ARE PRELIMINARY  
SHADES ONLY FINAL PAVED SPACES MAY VARY FROM SHOWN.

- 1. (0.0) BROF FINISH FLOOR UP
- 2. (0.0) BROF FINISH FLOOR UP
- 3. (0.0) BROF FINISH FLOOR UP
- 4. (0.0) BROF FINISH FLOOR UP
- 5. (0.0) BROF FINISH FLOOR UP
- 6. (0.0) BROF FINISH FLOOR UP
- 7. (0.0) BROF FINISH FLOOR UP
- 8. (0.0) BROF FINISH FLOOR UP
- 9. (0.0) BROF FINISH FLOOR UP



**GUILDFORD VILLAGE**

10th AVENUE & 156th STREET, SURREY BC



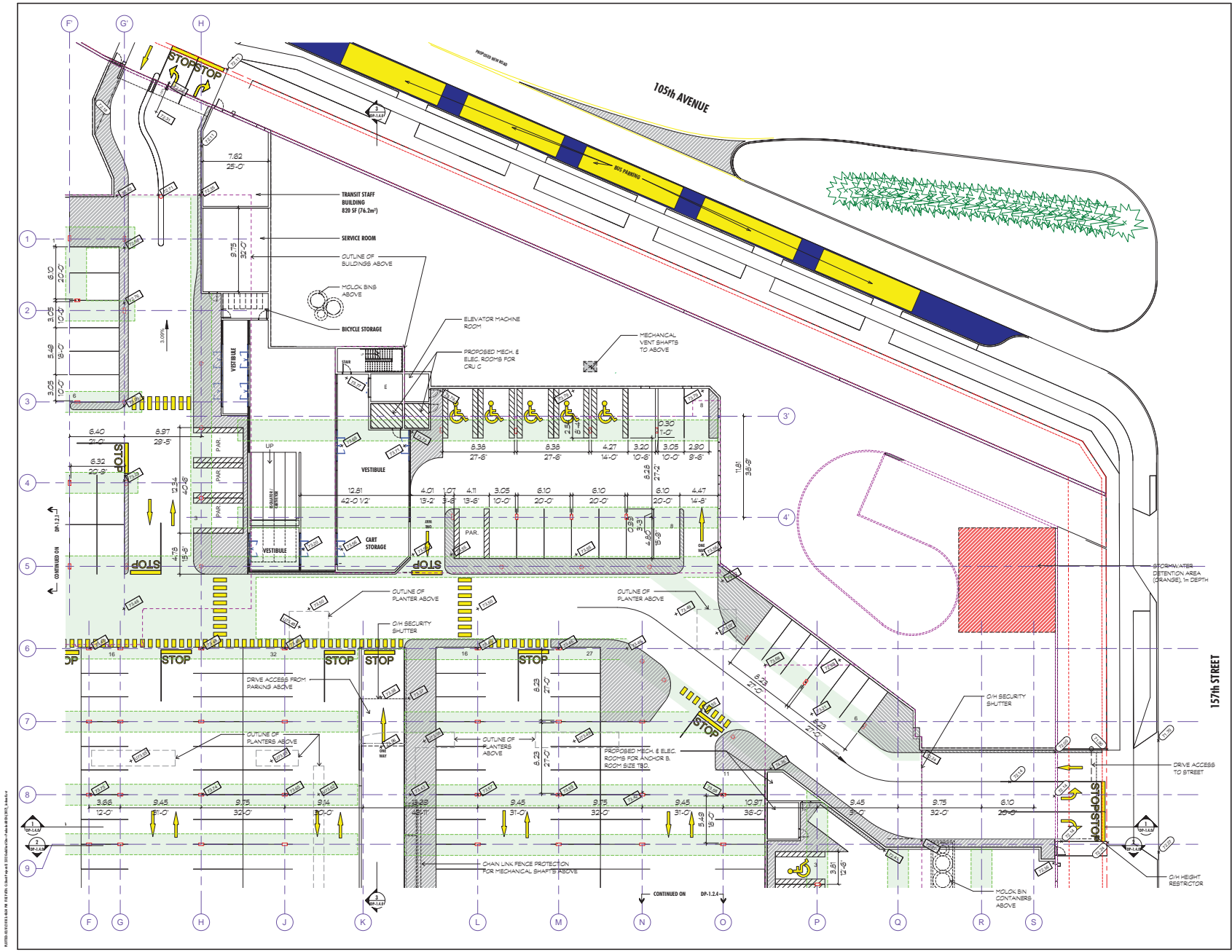
DATE: 10/11/17  
SCALE: 1" = 12'-0"

**SHEET TITLE**  
UNDERGROUND PARKING - NORTHWEST

PROJECT NO: 2312  
DESIGNED BY: AL  
CHECKED BY: AL  
DATE: 10/11/17  
SCALE: 1" = 12'-0"

**DP-1.2.1**

NOTES: 1. THIS SHEET IS THE PROPERTY OF THE CONSULTANT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.



**SHEET NOTES**

**U/G PARKING LEGEND**

- ◀ 0.00 SPOT ELEVATION BY CIVL END (p-name)
- ◀ 1.000 SPOT ELEVATION BY ARCHITECT (p-name)
- ◀ 2.000 SPOT ELEVATION UNDER PLANTER (p-name)
- EXISTING PROPERTY LINE
- - - PROPOSED NEW PROPERTY LINE
- - - STATUTORY RIGHT OF WAY
- - - REQUIRED BUILDING SETBACK
- - - LINE OF STRUCTURE / ROAD ABOVE
- - - LINE OF BUILDING ABOVE
- - - LINE OF PLANTERS ABOVE
- - - LINE OF SUBBAND ABOVE

**SITE DIMENSION STANDARDS**

- METRIC DIMENSIONS (M)
- IMPERIAL DIMENSIONS (N/A)

**NOTE**  
 GRASSES SHOWN ARE PRELIMINARY  
 GRASSES ONLY FINAL PLANTED GRASSES  
 MAY VARY FROM SHOWN.

1	105th Avenue	105th Avenue
2	105th Avenue	105th Avenue
3	105th Avenue	105th Avenue
4	105th Avenue	105th Avenue
5	105th Avenue	105th Avenue
6	105th Avenue	105th Avenue
7	105th Avenue	105th Avenue
8	105th Avenue	105th Avenue
9	105th Avenue	105th Avenue



**GUILDFORD VILLAGE**

105th Avenue & 157th Street, Surrey BC



SCALE

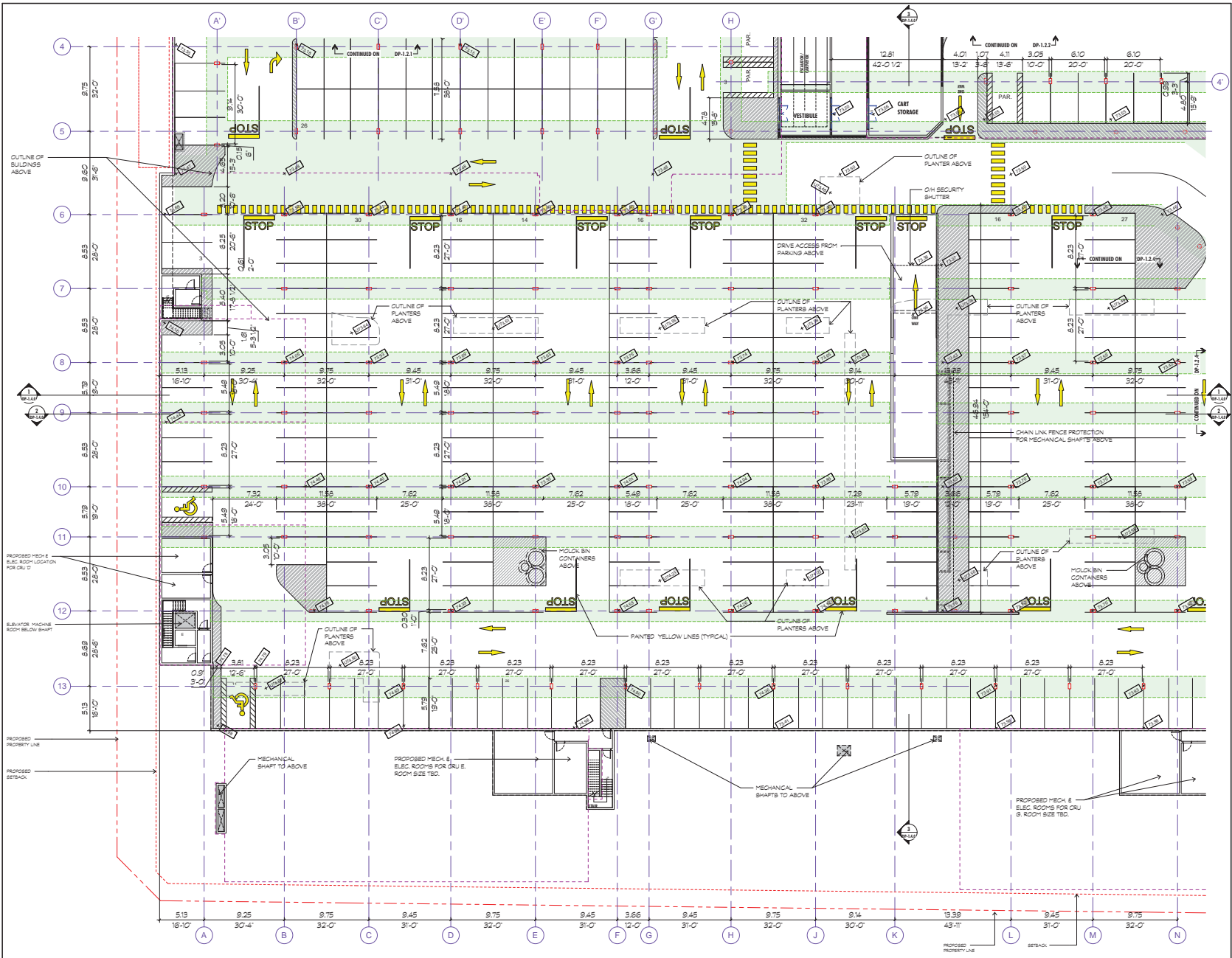
**SHEET TITLE**  
 UNDERGROUND PARKING -  
 NORTHEAST

PROJECT NO.	2310
DESIGNED BY	AMM
CHECKED BY	CMH
DATE	10/01/17
SCALE	1:150
SHEET	



**DP-1.2.2**

NORTH ARROW LOCATED BY THE USER. Check for updates to this sheet.



**SHEET NOTES**

**U/G PARKING LEGEND**

- ⊕ 8.00' SPOT ELEVATION BY CIVIL ENG. (in meters)
- ⊕ 8.00' SPOT ELEVATION BY ARCHITECT (in meters)
- ⊕ 8.00' SPOT ELEVATION UNDER PLANTER (in meters)
- EXISTING PROPERTY LINE
- - - - PROPOSED NEW PROPERTY LINE
- · - · - STATUTORY RIGHT OF WAY
- · - · - REQUIRED BUILDING SETBACK
- · - · - LINE OF STRUCTURE / ROAD ABOVE
- · - · - LINE OF BUILDING ABOVE
- · - · - LINE OF PLANTERS ABOVE
- · - · - LINE OF SLAB AND ABOVE

**ASCE DIMENSION STANDARDS**

- METRIC DIMENSIONS (M)
- - - IMPERIAL DIMENSIONS (F-T)

**NOTE**  
 GRADES SHOWN ARE PRELIMINARY GRADES ONLY. FINAL FINISHED GRADES MAY VARY FROM SHOWN.

- 1. CHECK FOR PROPOSED TOP UP
- 2. CHECK FOR PROPOSED TOP UP
- 3. CHECK FOR PROPOSED TOP UP
- 4. CHECK FOR PROPOSED TOP UP
- 5. CHECK FOR PROPOSED TOP UP
- 6. CHECK FOR PROPOSED TOP UP
- 7. CHECK FOR PROPOSED TOP UP
- 8. CHECK FOR PROPOSED TOP UP
- 9. CHECK FOR PROPOSED TOP UP
- 10. CHECK FOR PROPOSED TOP UP
- 11. CHECK FOR PROPOSED TOP UP
- 12. CHECK FOR PROPOSED TOP UP
- 13. CHECK FOR PROPOSED TOP UP



**GUILDFORD VILLAGE**

1000 AVENUE & 15th STREET, SURREY BC



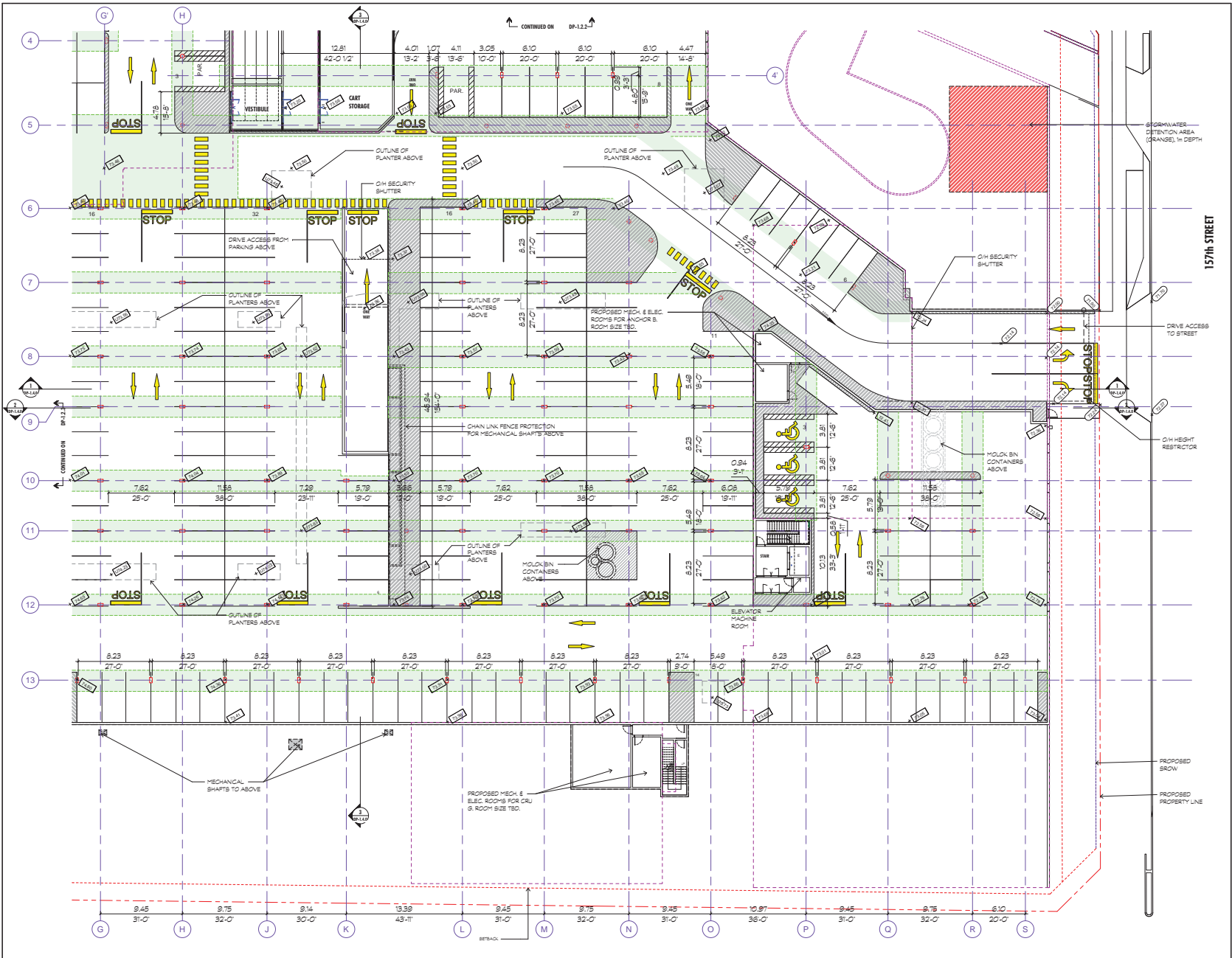
PROJECT NO. 2112  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 10/09/11  
 SCALE: 1" = 12'-0"

SHEET TITLE  
**UNDERGROUND PARKING - SOUTHWEST**



PROJECT NO. 2112  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 10/09/11  
 SCALE: 1" = 12'-0"

**DP-1.2.3**



**SHEET NOTES**

**U/G PARKING LEGEND**

- ◻ (8.00) SPOT ELEVATION BY CIVIL ENG. (2' MIN.)
- ◻ (8.00) SPOT ELEVATION BY ARCHITECT (2' MIN.)
- ◻ (8.00) SPOT ELEVATION UNDER PLANTER (2' MIN.)
- EXISTING PROPERTY LINE
- - - - - PROPOSED NEW PROPERTY LINE
- - - - - FACTORY RIGHT OF WAY
- - - - - REQUIRED BUILDING SETBACK
- - - - - LINE OF STRUCTURE / ROAD ABOVE
- - - - - LINE OF BUILDING ABOVE
- - - - - LINE OF PLANTERS ABOVE
- - - - - LINE OF SLAB/AND ABOVE

**SITE DIMENSION STANDARDS**



**NOTE**  
GRADES SHOWN ARE PRELIMINARY GRADES ONLY. FINAL FINISHED GRADES MAY VARY FROM SHOWN.

1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00
1.00	1.00	1.00	1.00



**GUILDFORD VILLAGE**  
100 AVENUE & 15th STREET, SUDBURY, ONT.



**SEAL**

**SHEET TITLE**  
UNDERGROUND PARKING - SOUTHEAST

PROJECT NO.	2112
DESIGNED BY	HL
CHECKED BY	HL
DATE	10/11/11
SCALE	1:100
SHEET	

**DP-1.2.4**

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS. DIMENSIONS IN PARENTHESES ARE IN FEET AND INCHES.





**SHEET NOTES**

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METERS  
 ALL SPACES UNLESS OTHERWISE NOTED ARE IN METERS

1	104th AVENUE STREETScape
2	156th STREET STREETScape
3	105th AVENUE STREETScape
4	157th STREET STREETScape
5	INTERIOR NORTH STREETScape
6	INTERIOR SOUTH STREETScape



**GUILDFORD VILLAGE**  
 104th AVENUE & 156th STREET, SURREY BC



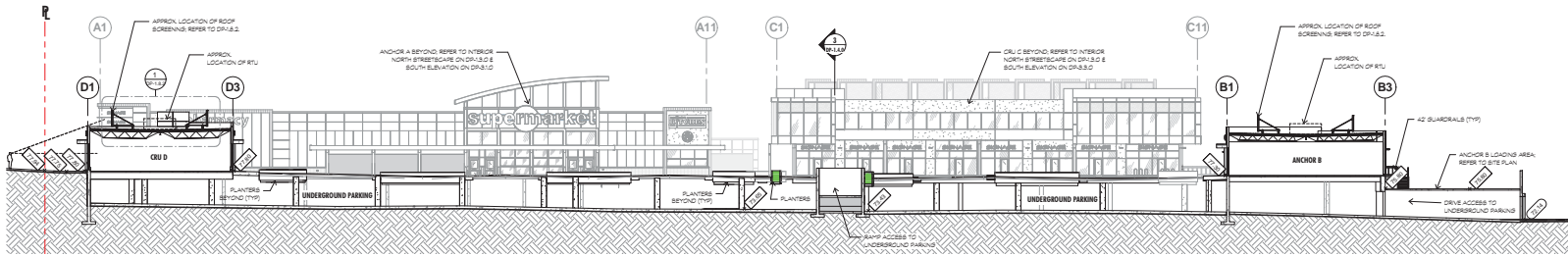
PROJECT NO: 2012  
 DRAWING NO: 104  
 CHECKED BY: MRB, HAU  
 DATE: 06/20/14  
 SCALE: 1:200  
 SHEET: 104

**SHEET TITLE**  
 STREETScape ELEVATIONS

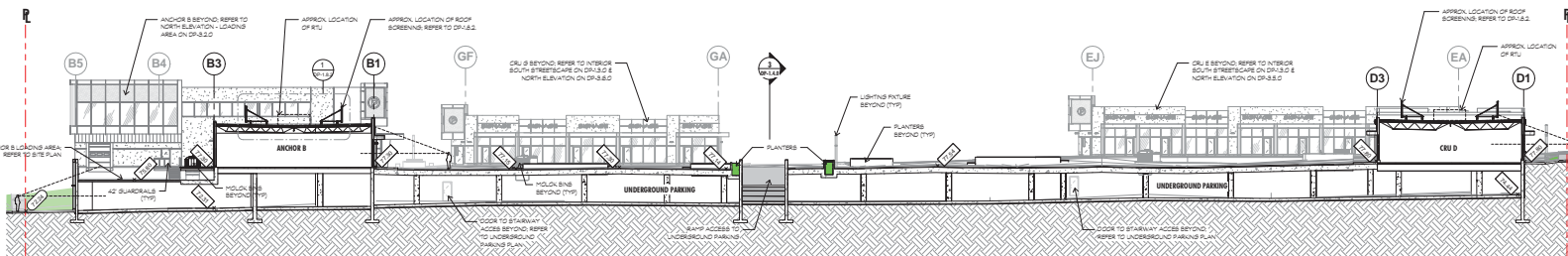
PROJECT NO: 2012  
 DRAWING NO: 104  
 CHECKED BY: MRB, HAU  
 DATE: 06/20/14  
 SCALE: 1:200  
 SHEET: 104

**DP-1.3.0**

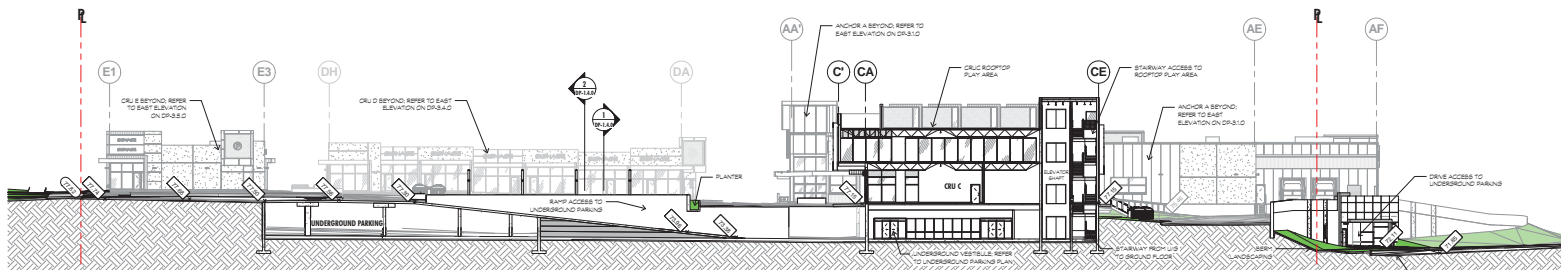
NORTH: 104th AVENUE & 156th STREET, SURREY BC, 2014



1 SITE SECTION - NORTH  
SCALE: 1/200



2 SITE SECTION - SOUTH  
SCALE: 1/200



3 SITE SECTION - WEST  
SCALE: 1/200

SHEET NOTES

1	1	1	1
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GUILDFORD VILLAGE  
1000 AVENUE & 15th STREET, SARASOTA, FL

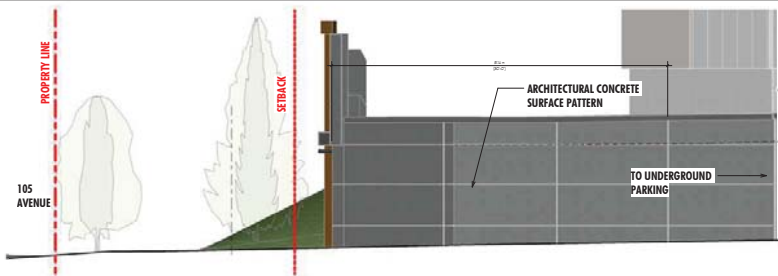


DATE: 10/20/17  
SCALE: 1/200

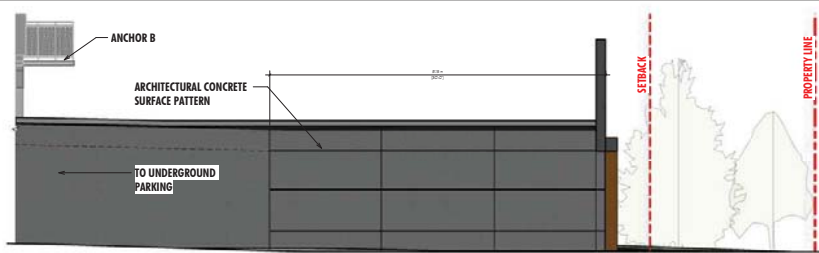
SHEET TITLE: SITE SECTIONS

PROJECT NO:	2312
DESIGNED BY:	JL
CHECKED BY:	HL
DATE:	10/20/17
SCALE:	1/200
SHEET:	

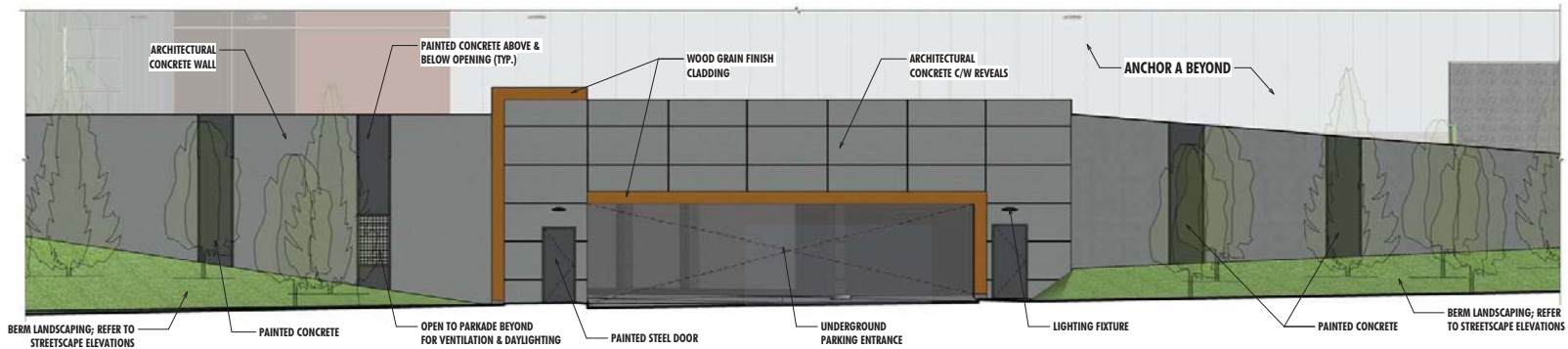
DP-1.4.0



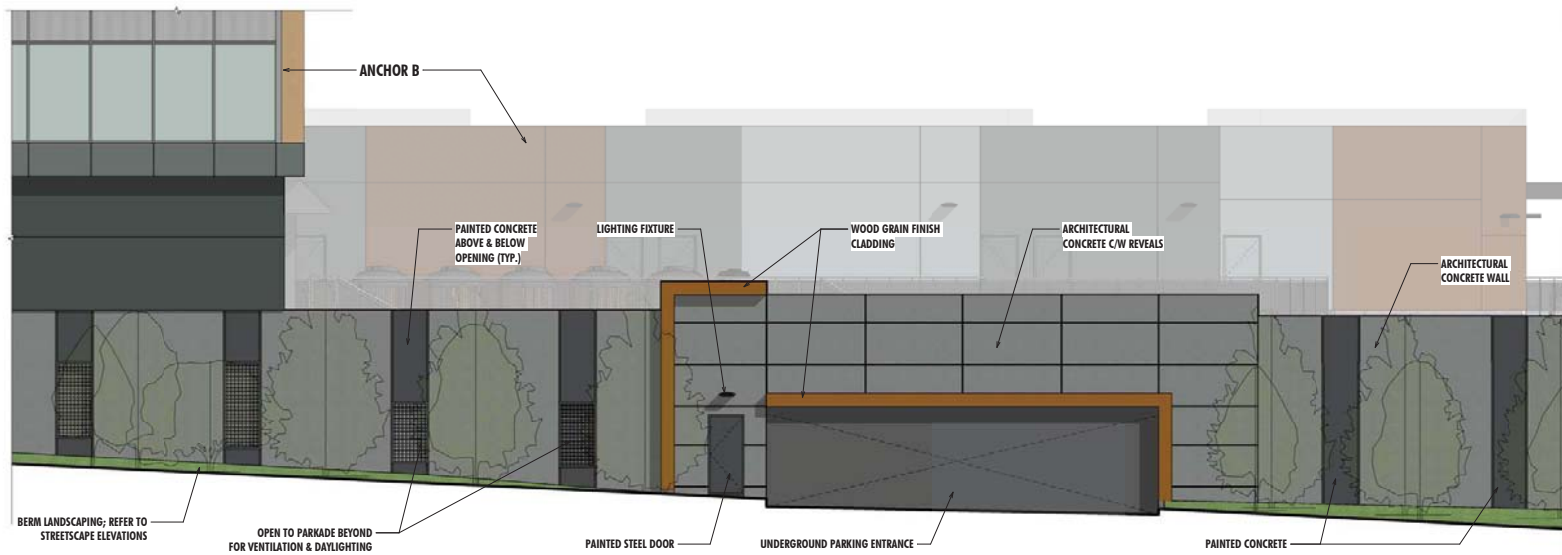
ELEVATION OF UNDERGROUND DRIVE ACCESS FROM 105AVE  
SCALE: 1/48



ELEVATION OF UNDERGROUND DRIVE ACCESS FROM 157 ST  
SCALE: 1/48



105th AVE UNDERGROUND ENTRANCE  
SCALE: 1/50



157th STREET UNDERGROUND ENTRANCE  
SCALE: 1/48

SHEET NOTES

1	105th AVE UNDERGROUND ENTRANCE
2	157th STREET UNDERGROUND ENTRANCE
3	105th AVE UNDERGROUND DRIVE ACCESS FROM 105AVE
4	157th STREET UNDERGROUND DRIVE ACCESS FROM 157ST
5	105th AVE UNDERGROUND DRIVE ACCESS FROM 105AVE
6	157th STREET UNDERGROUND DRIVE ACCESS FROM 157ST
7	105th AVE UNDERGROUND DRIVE ACCESS FROM 105AVE
8	157th STREET UNDERGROUND DRIVE ACCESS FROM 157ST
9	105th AVE UNDERGROUND DRIVE ACCESS FROM 105AVE
10	157th STREET UNDERGROUND DRIVE ACCESS FROM 157ST



THE JIM PATTERSON GROUP

GUILDFORD VILLAGE

105th AVENUE & 156th STREET, SARASOTA, FL

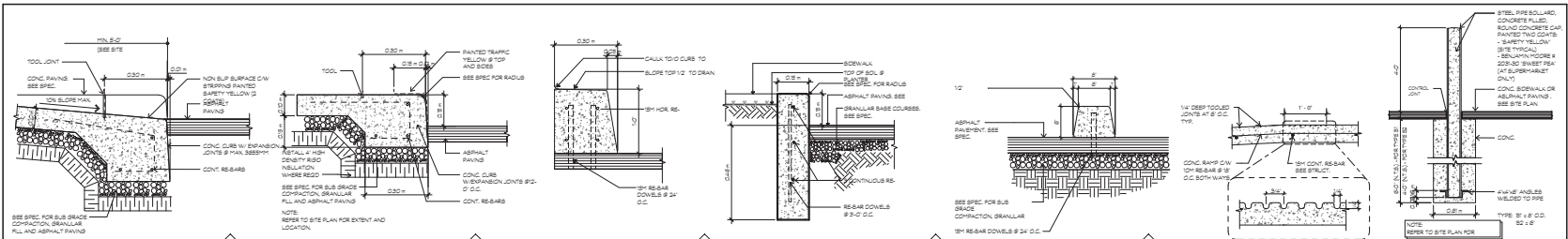


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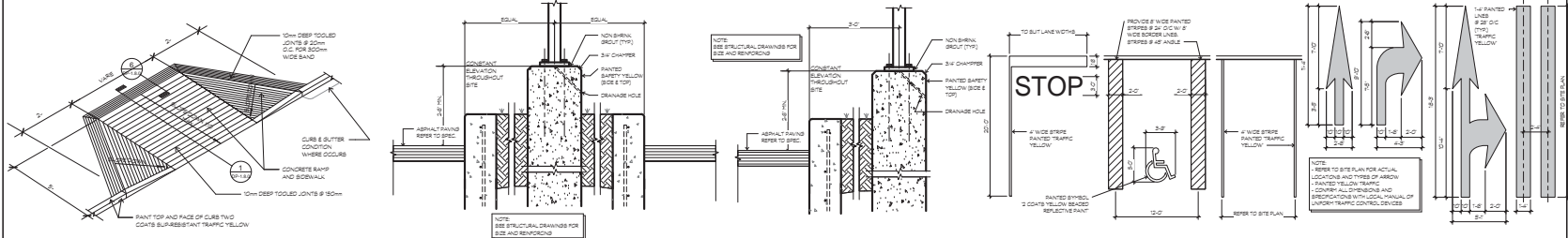
SHEET TITLE  
UNDERGROUND PARKING  
ENTRANCE

PROJECT NO.	2012
DESIGNED BY	JC
CHECKED BY	HL
DATE	09/20/14
SCALE	AS SHOWN
SHEET	

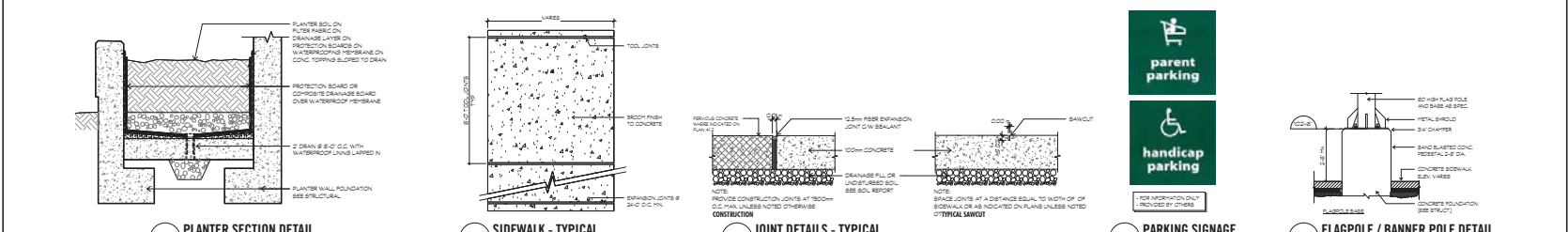
DP-1.7.0



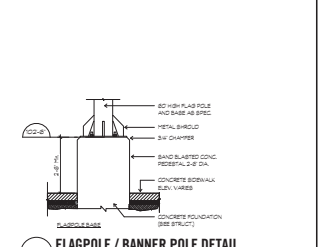
1 CURB TYPE 1 - DROP RAMP (CURB CUT) SCALE: 1:1.8  
 2 CURB TYPE 2 - CURB & SIDEWALK SCALE: 1:1.8  
 3 CURB TYPE 3 - TRUCKING CURB SCALE: 1:1.8  
 4 CURB TYPE 4 - BARRIER CURB DETAIL SCALE: 1:1.8  
 5 CURB TYPE 5 - WHEEL STOP SCALE: 1:1.8  
 6 CURB RAMP SECTION SCALE: 1:1.2  
 7 BOLLARD SCALE: 1:24



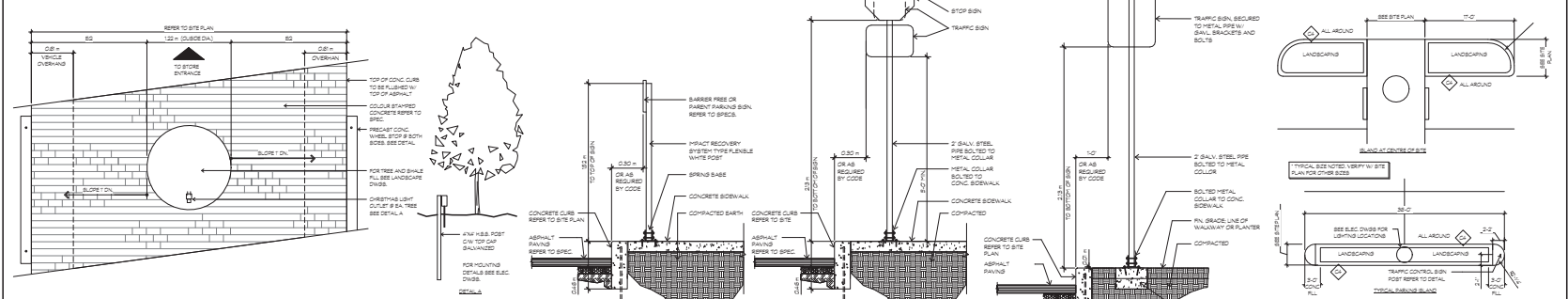
8 PAINTED DIRECTIONAL SYMBOLS SCALE: 1:48  
 9 STOP SCALE: 1:1  
 10 LAMP BASE @ CURB SCALE: 1:1.8  
 11 LAMP DETAIL @ ISLAND SCALE: 1:1.8



12 DROP RAMP CURB DETAIL SCALE: 1:24  
 13 PLANTER SECTION DETAIL SCALE: 1:12  
 14 SIDEWALK - TYPICAL SCALE: 1:24  
 15 JOINT DETAILS - TYPICAL SCALE: 1:1.5



16 PARKING SIGNS SCALE: 1:12



17 FLAGPOLE / BANNER POLE DETAIL SCALE: 1:24  
 18 PARKING ISLAND DETAILS SCALE: 1:96  
 19 CENTER WALKWAY PLANTER DETAIL SCALE: 1:24  
 20 TRAFFIC SIGN SCALE: 1:18

SHEET NOTES

1	SEE PLAN FOR EXISTING UTILITIES
2	SEE PLAN FOR EXISTING UTILITIES
3	SEE PLAN FOR EXISTING UTILITIES
4	SEE PLAN FOR EXISTING UTILITIES
5	SEE PLAN FOR EXISTING UTILITIES
6	SEE PLAN FOR EXISTING UTILITIES
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13	SEE PLAN FOR EXISTING UTILITIES
14	SEE PLAN FOR EXISTING UTILITIES
15	SEE PLAN FOR EXISTING UTILITIES
16	SEE PLAN FOR EXISTING UTILITIES
17	SEE PLAN FOR EXISTING UTILITIES
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20	SEE PLAN FOR EXISTING UTILITIES



GUILDFORD VILLAGE

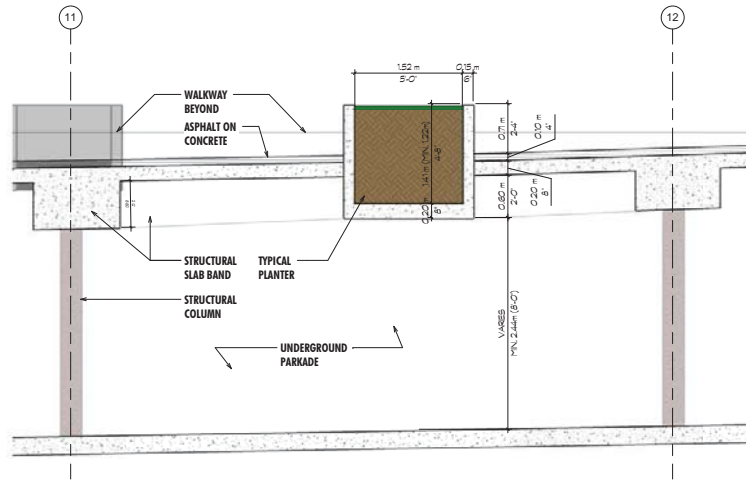
1000 AVENUE & 15th STREET, SURREY BC



SHEET TITLE: SITE DETAILS

PROJECT NO.	2310
DESIGNED BY	HL
CHECKED BY	HL
DATE	03/10
SCALE	As Noted
SHEET	

DP-1.8.0



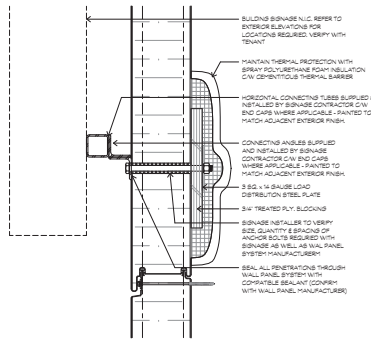
**PLANTER CROSS SECTION**  
SCALE: 1/2"



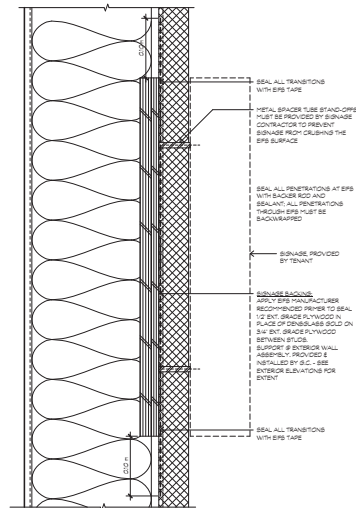
**GARBAGE CONTAINER**

**GREASE CONTAINER**

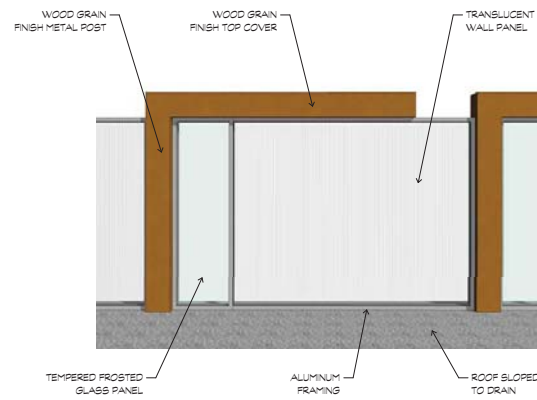
**MOLOK BINS**  
SCALE: N.T.S.



**TYP. SUPERMARKET SIGNAGE CONNECTION DETAIL**  
SCALE: 1/2"



**TYP. CRU SIGNAGE CONNECTION DETAIL**  
SCALE: 1/2"



**CRU C - ROOF FENCE**  
SCALE: N.T.S.

**SHEET NOTES**

1	SEAL	EPDM	RESISTANT TO EPDM
2	SEAL	EPDM	RESISTANT TO EPDM
3	SEAL	EPDM	RESISTANT TO EPDM
4	SEAL	EPDM	RESISTANT TO EPDM
5	SEAL	EPDM	RESISTANT TO EPDM
6	SEAL	EPDM	RESISTANT TO EPDM
7	SEAL	EPDM	RESISTANT TO EPDM
8	SEAL	EPDM	RESISTANT TO EPDM
9	SEAL	EPDM	RESISTANT TO EPDM
10	SEAL	EPDM	RESISTANT TO EPDM



**GUILDFORD VILLAGE**

1000 AVENUE & 1500 STREET, SURREY BC



**SHEET TITLE**  
**SITE DETAILS**

PROJECT NO.	2012
DESIGNED BY	HL
CHECKED BY	HL
DATE	09/20/14
SCALE	AS SHOWN
SHEET	

**DP-1.8.1**

\*NOTE: PRELIMINARY SAMPLE ROOF EQUIPMENT SCREEN SHOWN; FINAL PRODUCT MAY DIFFER THAN SHOWN.



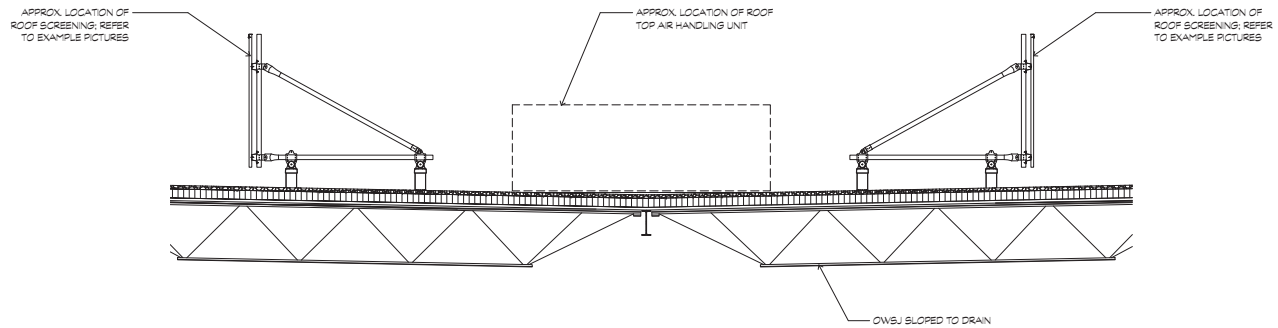
EXAMPLE PICTURE OF ROOF EQUIPMENT SCREEN\*



EXAMPLE PICTURE OF ROOF EQUIPMENT SCREEN\*



EXAMPLE PICTURE OF ROOF SCREEN LOUVER\*



ROOF EQUIPMENT SCREENING DETAIL  
SCALE: 1:25



EXAMPLE PICTURE OF ROOF EQUIPMENT SCREEN\*



EXAMPLE PICTURE OF ROOF SCREEN BASE CONNECTION\*

SHEET NOTES

1	10/15/17	ISSUED FOR PERMITS
2	10/26/17	ISSUED FOR PERMITS
3	11/01/17	ISSUED FOR PERMITS
4	11/01/17	ISSUED FOR PERMITS
5	11/01/17	ISSUED FOR PERMITS
6	11/01/17	ISSUED FOR PERMITS
7	11/01/17	ISSUED FOR PERMITS
8	11/01/17	ISSUED FOR PERMITS
9	11/01/17	ISSUED FOR PERMITS
10	11/01/17	ISSUED FOR PERMITS



GUILDFORD VILLAGE  
1000 AVENUE & 1500 STREET, SARASOTA, FL 34231



SCALE: \_\_\_\_\_

SHEET TITLE  
SITE DETAILS

PROJECT NO.	2312
DESIGNED BY	JL
CHECKED BY	HL
DATE	12/05/17
SCALE	1:25
SHEET	

DP-1.8.2

SCALE:

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18	11/15/20	REVISED PLAN	08
19	11/15/20	REVISED PLAN	09
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100	11/15/20	REVISED PLAN	90

CLIENT:

PROJECT:

**SHOPPING CENTRE**  
104TH AVE & 156TH ST  
SURREY, BC

DRAWING TITLE:

**LANDSCAPE  
TREE PLAN**

DATE: 11.14.20  
SCALE: 1"=30'-0"  
DRAWN: [initials]  
DESIGN: [initials]  
CHKD: [initials]

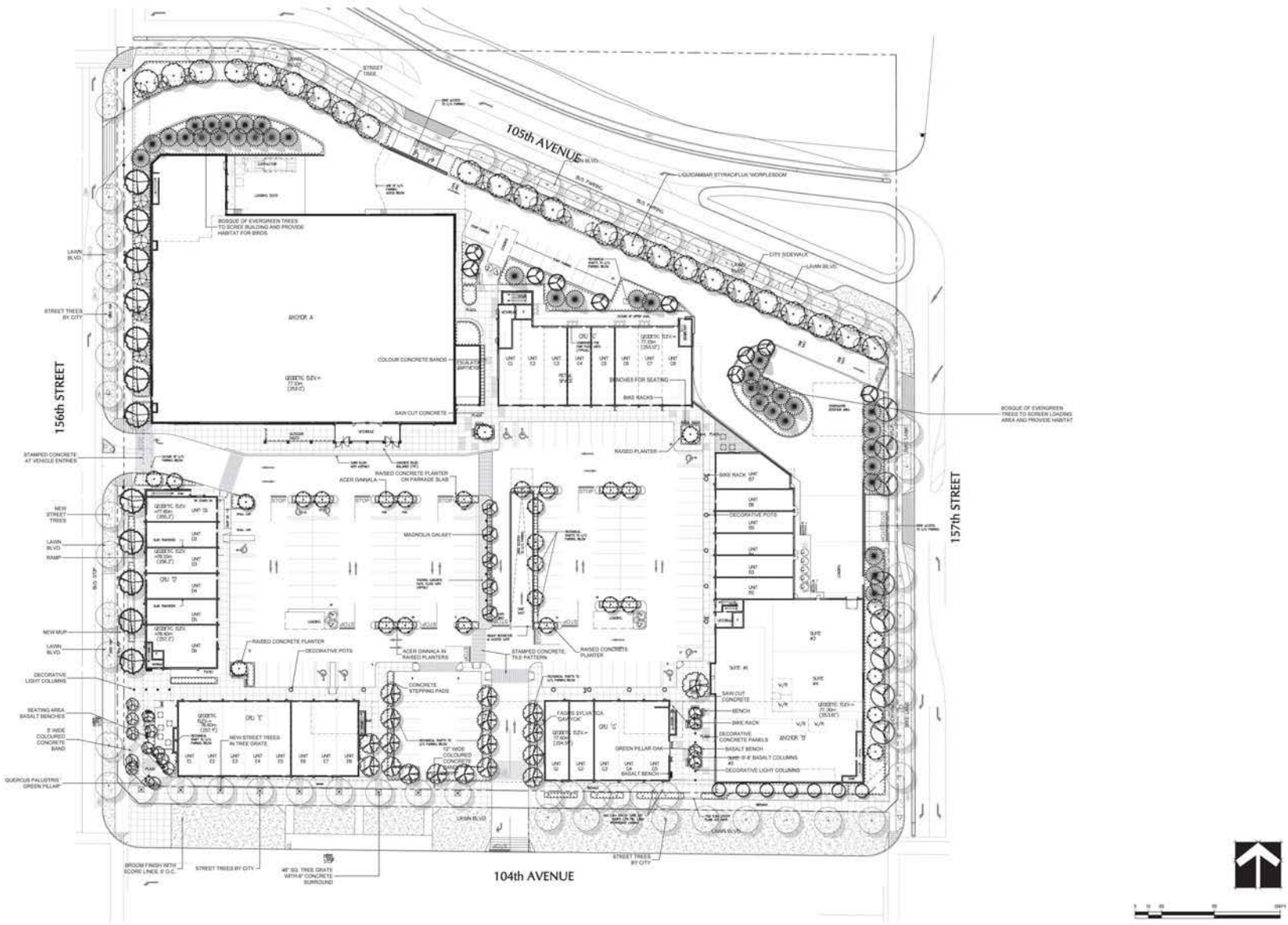
**L1**

OF 5

PMG PROJECT NUMBER: 13-111

KEY		SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
10	10	(Symbol)	ACER DINGHII	VINE MAPLE	3.0M HT. DBH, 3 STEM CLUMP
11	11	(Symbol)	ACER DINGHII	AMUR MAPLE	SCM CAL, 1.8M STD, 6AB
12	12	(Symbol)	CERCOPHYLLUM JAPONICUM	KATSURBA TREE	SCM CAL, 1.8M STD, 6AB
13	13	(Symbol)	FAGUS SYLVATICA GARYOVIC	HARTWIGS OAK (SARAYCA BEECH)	SCM CAL, 1.8M STD, 6AB
14	14	(Symbol)	LIQUIDAMBAR STRYACIUM WORPLENDORF	HOOP PINE	SCM CAL, 2.0M STD, 1.8M
15	15	(Symbol)	LIQUIDAMBAR STRYACIUM WORPLENDORF	LIQUIDAMBAR STRYACIUM WORPLENDORF	SCM CAL, 1.8M STD, 6AB
16	16	(Symbol)	PRUNUS SEROTINA	AMERICAN BLACK CHERRY	2.0M HT. 6AB
17	17	(Symbol)	PRUNUS SEROTINA AMANDUSKY	AMANDUSKY FLOWERING CHERRY	SCM CAL, 1.8M STD, 6AB
18	18	(Symbol)	QUERCUS PALUSTRIS GREEN PILLAR	GREEN PILLAR PINE	SCM CAL, 1.8M STD, 6AB
19	19	(Symbol)	QUERCUS PALUSTRIS GREEN PILLAR	GREEN PILLAR PINE	SCM CAL, 1.8M STD, 6AB

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAL. STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT A PLACE OF THEIR CHOICE. \* AREA OF SEARCH TO INCLUDE LOWERY MARKET AND FRASER HILLS. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. \* ADVISE A MEMBER OF THE DESIGN TEAM PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. \* SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD. \* SEPARATION OF CONTAINERS OF AVAILABLE. ALL LANDSCAPE MATERIAL AND INFORMATION MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE GLASSERY.

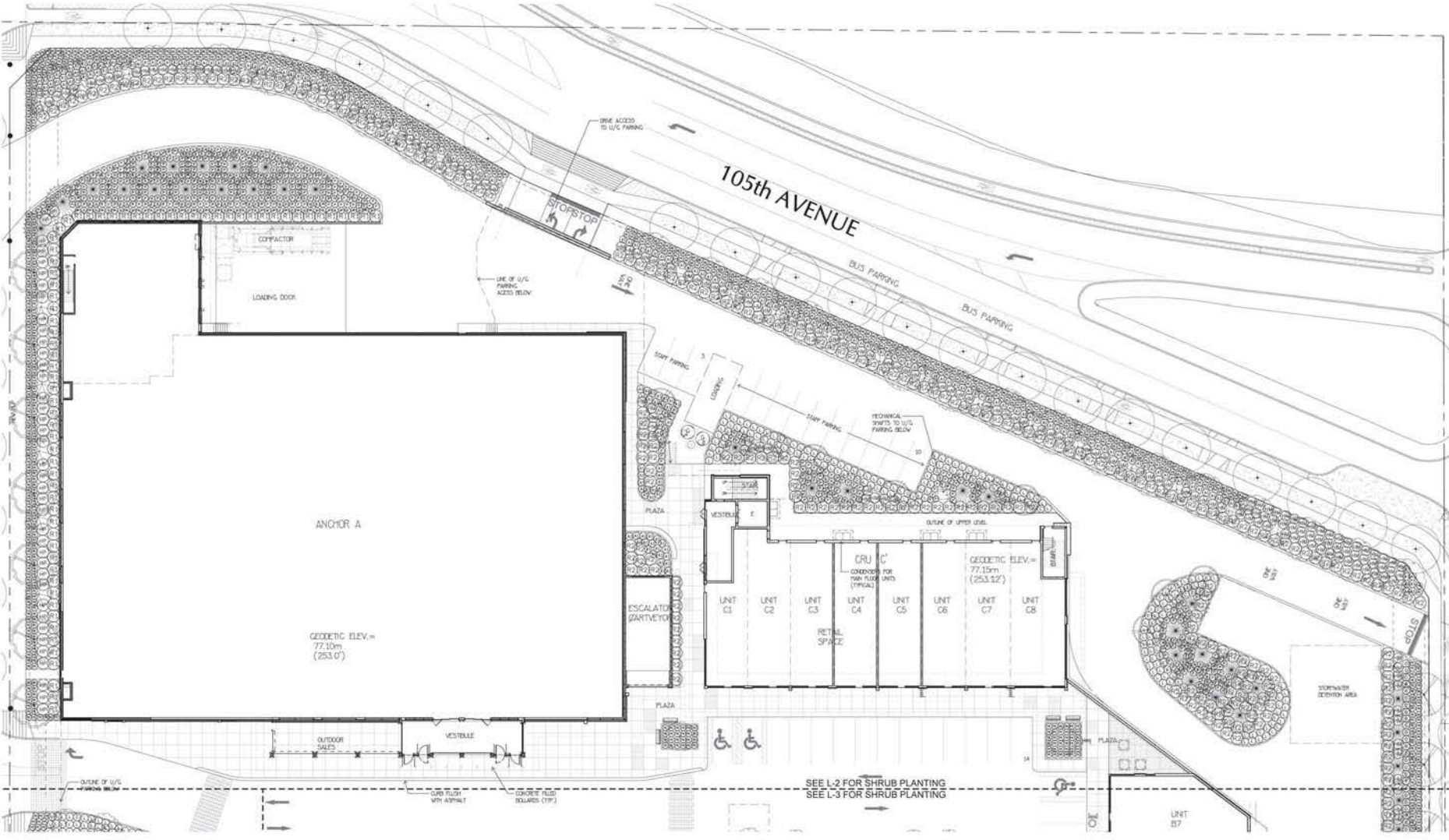




BSL:

PLANT SCHEDULE		SHRUBS		PMG PROJECT NUMBER: 13-111
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
380		AZALEA JAPONICA PURPLE SPLENDOUR	AZALEA RED VIOLET	#1 POT 25CM
234		HYDRANGEA SANCHEZIIA 'NORD-BLUE'	NORD-BLUE HYDRANGEA BLUE	#3 POT 30CM
38		HYDRANGEA PANICULATA 'BIG BEN'	BIG BEN HYDRANGEA	#1 POT 30CM
244		ILEX ORNATA 'GREEN THUMB'	HOLLY COMPACT	#3 POT 30CM
161		MADEIRA DOMESTICA 'MOONBAY'	DWARF HEAVILY BAMBOO	#3 POT 30CM
285		RHOODENDRON 'ANNA KRUSCHKE'	RHOODENDRON BLUE	#3 POT US STOCK
89		RHOODENDRON 'COTTON CANDY'	RHOODENDRON LIGHT PINK	#3 POT 30CM
<b>GRASSES</b>				
83		CALAMAGROSTIS ACUTIFLOIA 'MAIL FORESTER'	FEATHER REED GRASS	#2 POT
131		HELICTOTRICHON BEMPIERIVENSIS	BLUE OAT GRASS	#1 POT
635		IMPATIENS CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT
1117		Pennisetum orientale	ORIENTAL POGONIA GRASS	#1 POT
461		STIPA TENASSIBA	MEXICAN FEATHER GRASS	#1 POT
<b>OTHERS</b>				
231		LONGERA PILEATA	PRIVET-HONEYSCALE	#1 POT 25CM
583		POLYSTECHUM MANTUM	WESTERN SWORD FERN	#1 POT 25CM

NOTES - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR OPTIMUM CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



NO.	DATE	REVISION DESCRIPTION	DR
11	17.06.23	ISSUE FOR PLAN	BSL
10	17.06.23	ISSUE FOR CONSTRUCTION	BSL
09	17.06.23	ISSUE FOR PLAN	BSL
08	17.06.23	ISSUE FOR PLAN	BSL
07	17.06.23	ISSUE FOR PLAN	BSL
06	17.06.23	ISSUE FOR PLAN	BSL
05	17.06.23	ISSUE FOR PLAN	BSL
04	17.06.23	ISSUE FOR PLAN	BSL
03	17.06.23	ISSUE FOR PLAN	BSL
02	17.06.23	ISSUE FOR PLAN	BSL
01	17.06.23	ISSUE FOR PLAN	BSL

CLIENT:

PROJECT:  
**SHOPPING CENTRE**  
104TH AVE & 156TH ST  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 23.04.23  
SCALE: 1/8"=1'-0"  
DRAWN: MM  
CHKD: MCV  
PMG PROJECT NUMBER: 13-111

**L2**  
OF 5

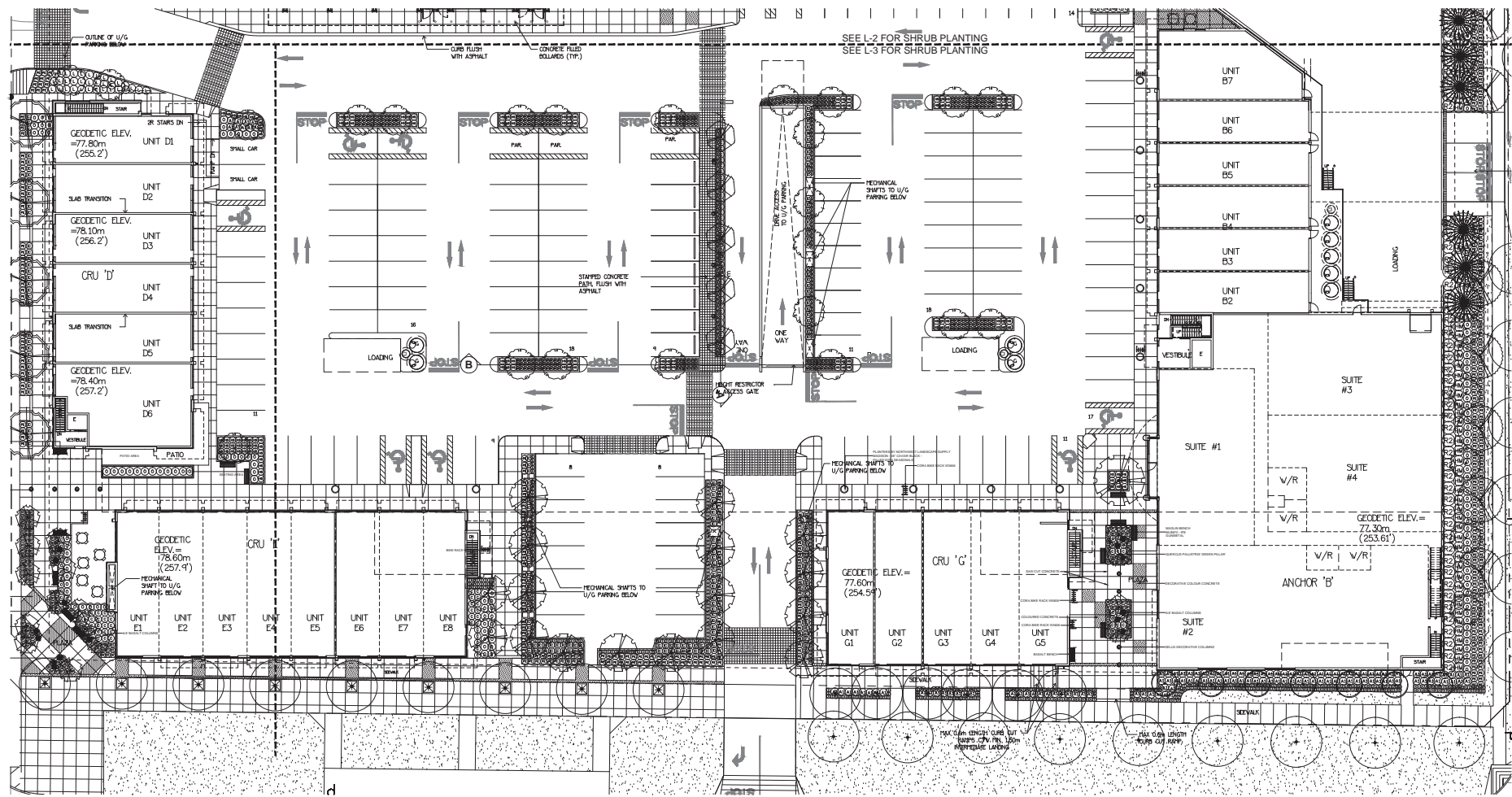


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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
P: 604-294-0011 F: 604-298-0022

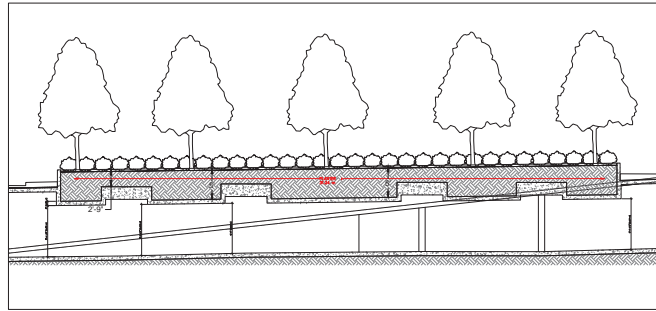
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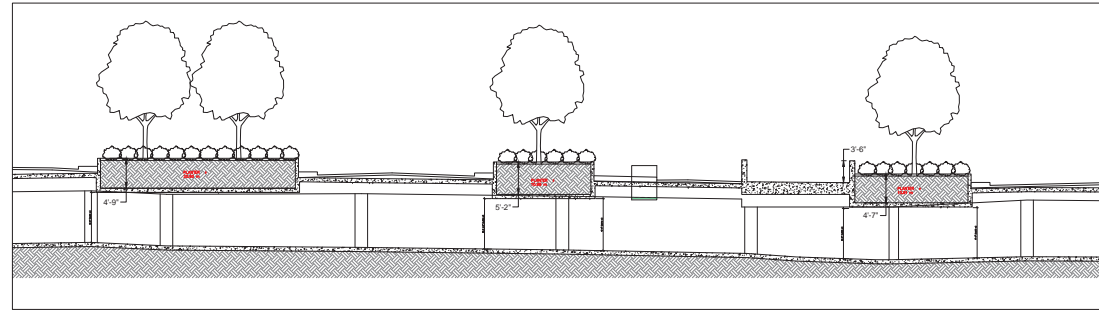
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12	27 MAR 13	ASB PLANNING CONSULTATION	DC
11	07 FEB 13	NEW SITE PLAN	DC
10	26 NOV 12	NEW SITE PLAN / MODIFICATION	DC
9	29 DEC 12	REVISIONS	DC
8	26 MAR 12	CONCEPT SITE PLAN	MM
7	16 FEB 12	MODIFIED CONCEPT	DC
6	16 JUL 11	NEW SITE / COMMENTS	DC
5	24 JUL 11	NEW SITE PLAN	DC
4	24 MAR 11	NEW SITE PLAN	DC
3	18 APR 11	CITY SUBMISSION	DC
2	18 APR 11	NEW SITE PLAN	DC/DA
1	18 MAR 11	NEW SITE PLAN	DC

NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:



SECTION A  
1/8"=1'-0"



SECTION B  
1/8"=1'-0"

PROJECT:

**SHOPPING CENTRE**  
104TH AVE & 156TH ST  
SURREY, BC

DRAWING TITLE:

**LANDSCAPE SHRUB PLAN**

DATE: 13 JUL 30 DRAWING NUMBER:

SCALE: 1/8"=1'-0"

DRAWN: MM

DESIGN: MM

CHKD: MCY

**L3**

OF 5



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**pmg**  
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p. 604.294-0011 f. 604.294-0022

SEAL:



BASALT COLUMNS



LIGHT COLUMNS



BASALT BENCHES



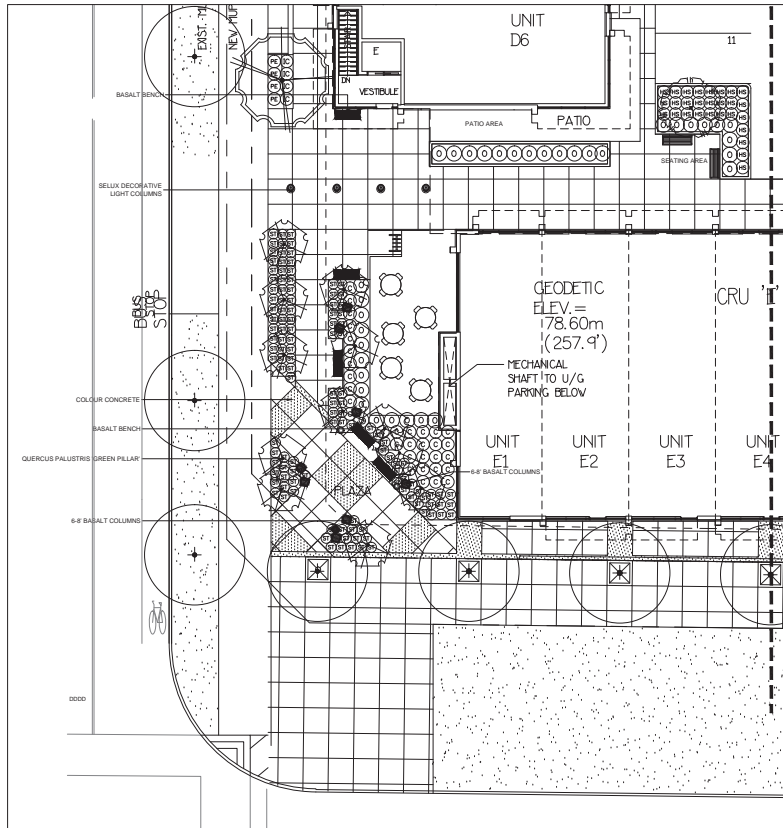
SAW CUT CONCRETE



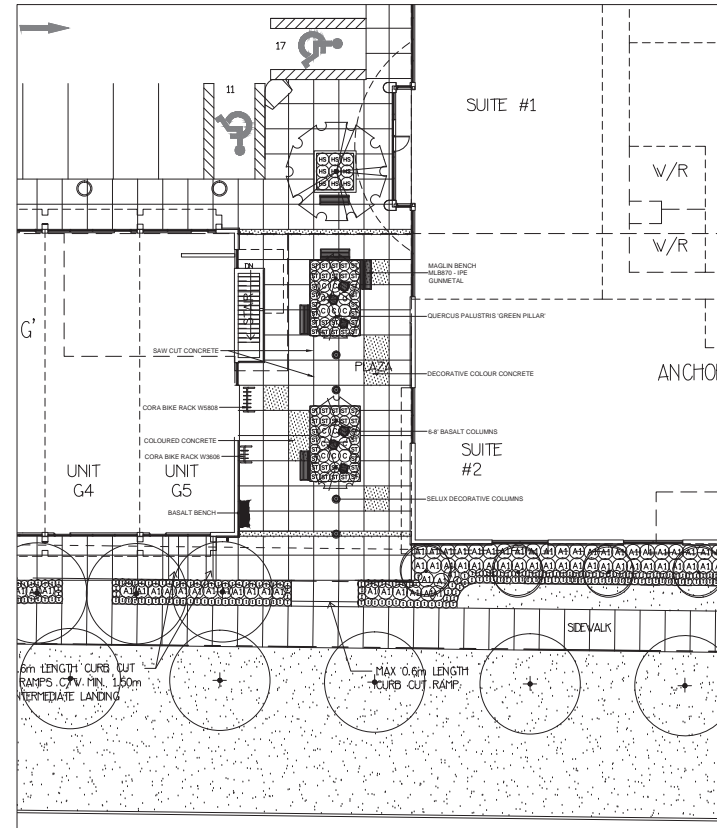
COLUMNAR TREES



COLUMNAR GRASSES



S.W. ENTRY PLAZA



104TH AVENUE ENTRY PLAZA

NO.	DATE	REVISION DESCRIPTION	DR.
13	17 JUL 13	NEW SITE PLAN	DD
12	27 JUN 13	ASB PLAN CORRECTIONS	DD
11	17 JUL 12	NEW SITE PLAN	DD
10	26 NOV 12	NEW SITE PLAN, MODIFICATIONS	DD
9	14 DEC 12	REVISIONS	DD
8	26 MAR 12	SCHEMATIC SITE PLAN	MM
7	16 FEB 12	NEW SITE CONCEPT	DD
6	16 JUL 12	NEW SITE CONCEPT	DD
5	14 JUL 12	NEW SITE PLAN	DD
4	14 MAR 12	NEW SITE PLAN	DD
3	14 MAR 12	CITY SUBMISSION	DD
2	14 MAR 12	NEW SITE PLAN	DD/NA
1	14 MAR 12	NEW SITE PLAN	DD

NO. DATE REVISION DESCRIPTION DR.

CLIENT:  
  
PROJECT:  
**SHOPPING CENTRE**  
104TH AVE & 156TH ST  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE PLAZA**

DATE: 13 JUL 30 DRAWING NUMBER:  
SCALE: 1"=10'-0"  
DRAWN:  
DESIGN: MM  
CHKD: MCV

**L4**  
OF 5



Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, V5G 6C9 P: 604-294-0011 F: 604-294-2022

SCALE:

DATE:

SCALE:

DESIGN: MM

CHECK: MCV

DATE: 13.01.20 DRAWING NUMBER: 13-111

PROJECT: SHOPPING CENTRE

104TH AVE & 156TH ST SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: 13.01.20 DRAWING NUMBER: 13-111

SCALE:

DESIGN: MM

CHECK: MCV

DATE: 13.01.20 DRAWING NUMBER: 13-111

PROJECT: SHOPPING CENTRE

104TH AVE & 156TH ST SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: 13.01.20 DRAWING NUMBER: 13-111

SCALE:

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104TH AVE & 156TH ST SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: 13.01.20 DRAWING NUMBER: 13-111

SCALE:

DESIGN: MM

CHECK: MCV



PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 31.0 METALS LANDSCAPE STRUCTURES
31.1 Verify that drawings and production material is completely drafted and acceptable before printing work.
31.2 Verify that drawings and production material is completely drafted and acceptable before printing work.
31.3 Provide cast iron or cast-steel drainage inlets. Use 300mm dia. PVC Pipe fitted with drain covers specifically designed for this purpose.

31.01 (EXISTING) HARDWARE Provide or upgrade prior to this section

- 1. Insure: The client of 'subcontractor' agreement to provide sufficient care to newly installed plant material for a minimum period of 12 months or longer the long term success of the plants.
2. Maintenance Period: Provide maintenance of installed landscaping for 12 months following submittal completion.
3. Schedule: Provide a schedule of anticipated work and submit a designated representative of client.
4. Materials: Comply with Part Two of this specification.

31.02 GRASS ESTABLISHMENT

- 1. Grasses: Use established and approved species for lawns and other areas.
2. Seeding: Prepare a schedule of anticipated work and submit a designated representative of client.
3. Irrigation: Provide a schedule of anticipated work and submit a designated representative of client.

31.03 PLANTING AND MAINTENANCE

- 1. Planting: Provide a schedule of anticipated work and submit a designated representative of client.
2. Maintenance: Provide a schedule of anticipated work and submit a designated representative of client.
3. Irrigation: Provide a schedule of anticipated work and submit a designated representative of client.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

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3. Irrigation: Provide a schedule of anticipated work and submit a designated representative of client.

PART ONE GENERAL REQUIREMENTS

- 1.1 INTENTION OF COSTING TREES
1.2 A physical barrier must be installed to delineate drainage areas. Refer to physical barrier A-1.
1.3 No machine trenching or work with vegetation retention areas or under trees to be retained shall be allowed.

1.2 TESTING

- 1.1 Current field tests that are essential for all grading methods will be used on this site.
1.2 New tests shall be used for all grading methods that are essential for all grading methods.

1.3 SUBMITTALS

- 1.1 Alternatives products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.
1.2 Submittals to consist of product sample or manufacturer's product description.

1.4 SITE REVIEW

- 1.1 Review site conditions with the Landscape Architect prior to the start of work.
1.2 Conduct site visits to observe existing conditions and to determine the extent of work to be performed.

1.5 VARIATION

- 1.1 Variations from the contract documents shall be approved by the Landscape Architect.
1.2 Variations shall be approved by the Landscape Architect.

1.6 WARRANTY

- 1.1 The Contractor warrants that the work shall be completed in accordance with the contract documents.
1.2 The Contractor warrants that the work shall be completed in accordance with the contract documents.

PART TWO SCOPE OF WORK

1.1 SCOPE OF WORK

- 1.1 Other conditions of contract apply.
1.2 Work includes installation of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally in accordance with the contract documents.
1.3 Removal of Existing Trees: Where shown on drawings.
1.4 Finish Grading and Landscaping: Grading and landscaping in accordance with the contract documents.

1.2 MATERIALS

Table with columns: Material Name, Quantity, Unit, and Notes. Includes items like Gravel, Sand, and Soil.

1.3 FINISH GRADING AND LANDSCAPING

Table with columns: Material Name, Quantity, Unit, and Notes. Includes items like Topsoil, Sand, and Gravel.

1.4 PLANTING AND MAINTENANCE

Table with columns: Plant Name, Quantity, Unit, and Notes. Includes items like Grass, Shrubs, and Trees.

1.5 IRRIGATION

- 1.1 Irrigation system shall be installed in accordance with the contract documents.
1.2 Irrigation system shall be installed in accordance with the contract documents.

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# GUILDFORD VILLAGE - SIGNAGE PACKAGE

ABBARCH PROJECT 2312

ISSUED FOR DEVELOPMENT PERMIT - JANUARY 2, 2018

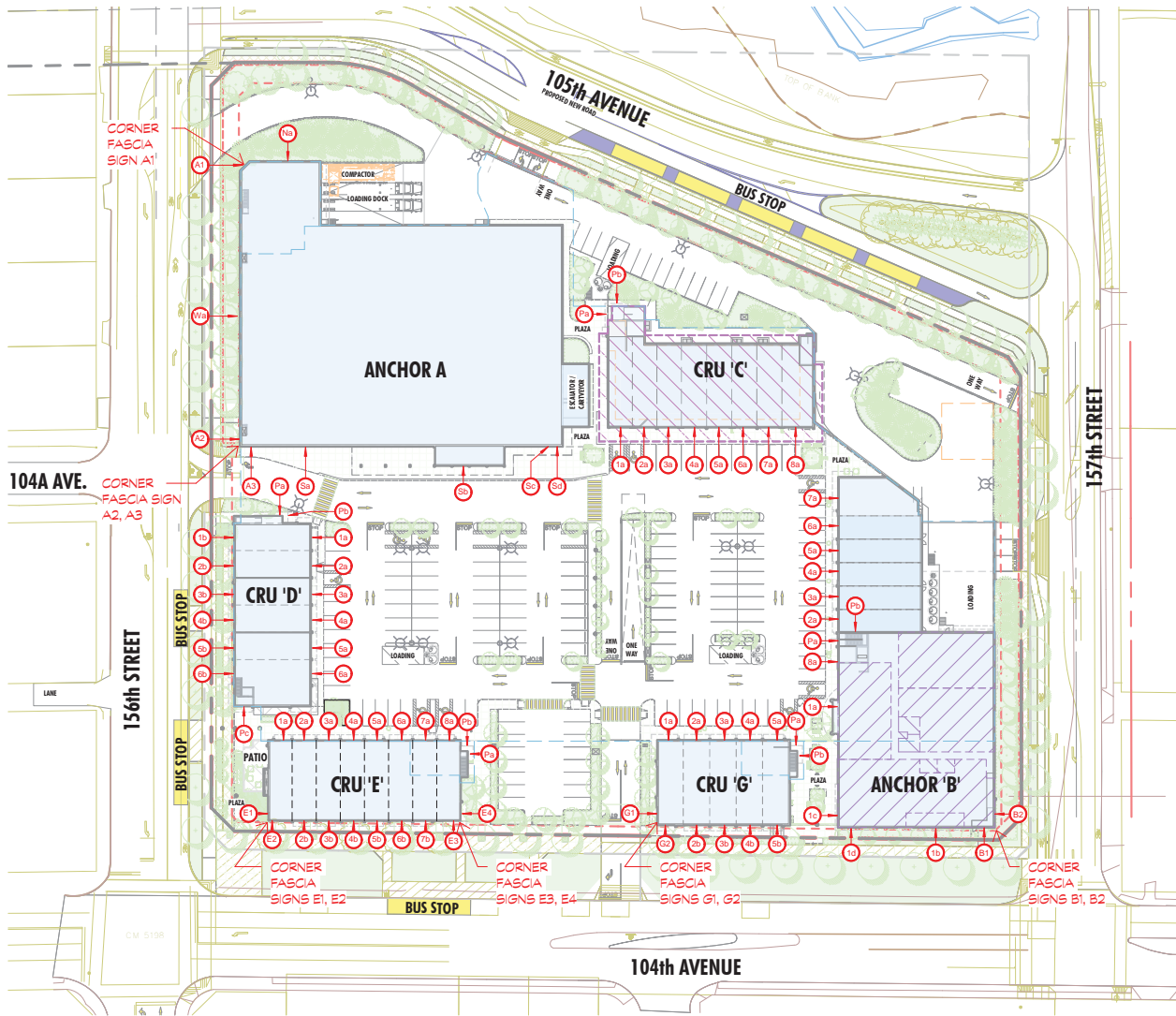
## DRAWING PACKAGE LIST

0-DP 0.0	COVER SHEET
0-DP 0.1	KEY PLAN & SUMMARY CALCULATIONS
A-DP 1.0	ANCHOR A - PLAN
A-DP 1.1	ANCHOR A - FASCIA
A-DP 1.2	ANCHOR A - FASCIA
A-DP 1.3	ANCHOR A - CORNER FASCIA
B-DP 1.0	ANCHOR B - PLAN
B-DP 1.1	ANCHOR B - WAYFINDING & FASCIA
B-DP 1.2	ANCHOR B - FASCIA
B-DP 1.3	ANCHOR B - CORNER FASCIA
C-DP 1.0	CRU C - PLAN
C-DP 1.1	CRU C - WAYFINDING & FASCIA
D-DP 1.0	CRU D - PLAN
D-DP 1.1	CRU D - WAYFINDING & FASCIA
E-DP 1.0	CRU E - PLAN
E-DP 1.1	CRU E - WAYFINDING & FASCIA
E-DP 1.2	CRU E - CORNER FASCIA
G-DP 1.0	CRU G - PLAN
G-DP 1.1	CRU G - WAYFINDING & FASCIA
G-DP 1.2	CRU G - CORNER FASCIA



*Engaging Design™*

VANCOUVER, BC 604.669.4041  
TORONTO, ON 416.340.8441



**TOTAL LOT SIGNAGE AREA**

Building	Premises (Tenant)	Max sign area allowed (S.F.)	(m <sup>2</sup> )	Sign area provided (S.F.)	(m <sup>2</sup> )
Anchor A	Save-On Foods	759.24	70.54	775.11	72.01
	Corner Fascia			404.08	37.54
	<b>Anchor A Sub-Total</b>	<b>759.24</b>	<b>70.54</b>	<b>1179.19</b>	<b>109.55</b>
Anchor B	Shoppers	386.83	35.94	354.35	32.92
	Units B2-B7 + Office Signage	364.23	33.83	197.41	18.14
	Corner Fascia			300.00	28.00
	U/G Parking Entry			31.80	2.95
	<b>Anchor B Sub-Total</b>	<b>751.06</b>	<b>69.77</b>	<b>884.94</b>	<b>82.21</b>
CRU C	Units C1-C8	483.92	44.96	225.61	20.96
	U/G Parking Entry			31.80	2.95
	<b>CRU C Sub-Total</b>	<b>483.92</b>	<b>44.96</b>	<b>257.41</b>	<b>23.91</b>
CRU D	Units D1-D6	429.79	39.93	335.40	31.16
	U/G Parking Entry			20.99	1.95
	<b>CRU D Sub-Total</b>	<b>429.79</b>	<b>39.93</b>	<b>356.39</b>	<b>33.11</b>
CRU E	Units E1-E8	451.12	41.91	394.82	36.68
	Corner Fascia E1-E4			430.56	40.00
	U/G Parking Entry			13.99	1.30
	<b>CRU E Sub-Total</b>	<b>451.12</b>	<b>41.91</b>	<b>839.37</b>	<b>77.98</b>
	Units G1-G5	311.68	28.96	253.81	23.58
CRU G	Corner Fascia G1-G2			180.83	16.80
	U/G Parking Entry			13.99	1.30
	<b>CRU G Sub-Total</b>	<b>311.68</b>	<b>28.96</b>	<b>448.64</b>	<b>41.68</b>
	<b>Total</b>	<b>3186.74</b>	<b>296.06</b>	<b>3965.94</b>	<b>368.43</b>
	Breakdown as follows:				
				2530.52	235.05
				1336.86	122.34
				112.57	10.458

**TOTAL NUMBER OF SIGNS WITHIN DEVELOPMENT**

Building	Sign Type	Number	Additional Comments
Anchor A	Tenant signs	6	3 allowed per bylaw, variance required for remaining 3
	Corner Fascia	10	Corner Fascia A1: 4 signage boxes Corner Fascia A2 ans A3: 3 signs boxes each
	Underground Parking	0	
	<b>Anchor A Sub-Total</b>	<b>16</b>	
	Anchor B	Shoppers	4
Units B2-B7 + Office Signage		7	1 sign per Tenant
Corner Fascia		6	Corner Fascia B1 ans B2: 3 signs boxes each
U/G Parking Entry		2	
<b>Anchor B Sub-Total</b>		<b>19</b>	
CRU C	Units C1-C8	8	1 sign per Tenant
	U/G Parking Entry	2	
	<b>CRU C Sub-Total</b>	<b>10</b>	
CRU D	Units D1-D6	12	2 signs per Tenant
	U/G Parking Entry	3	
	<b>CRU D Sub-Total</b>	<b>15</b>	
CRU E	Units E1-E8	14	Units E2-E7: 2 fascia signs each Units E1 and E8: 1 fascia sign each
	Corner Fascia E1-E4	10	Corner Fascia E1 and E2: 3 signage boxes Corner Fascia E3 ans E4: 2 signs boxes each
	U/G Parking Entry	2	
	<b>CRU E Sub-Total</b>	<b>26</b>	
	CRU G	Units G1-G5	9
Corner Fascia G1-G2		4	Corner Fascia E1 and E2: 2 signage boxes
U/G Parking Entry		2	
<b>CRU G Sub-Total</b>		<b>15</b>	
Total # of Tenant Fascia Signs within development			60
Total # of Corner Fascia Signs within development			30
Total # of U/G Parking Signs within development			11
Total # of signs within the Development			101

Fascia Signage designed per Surrey Signage Bylaws	
<b>Definitions:</b>	<b>Part 5 Sections:</b>
Premises	27 (2)(a)
Premises Frontage	27 (2)(a.1)(ii)
	27 (2)(b)



**ABBARCH**  
 Engaging Design™  
 VANCOUVER, BC 604.668.0041  
 TORONTO, ON 416.340.8441

<b>PROJECT:</b> GUILDFORD VILLAGE - SIGNAGE PACKAGE			
<b>SHEET TITLE:</b> KEY PLAN & SUMMARY CALCULATIONS		<b>REVISION:</b>	<b>SKETCH NO:</b> 0-DP 0.1
<b>SCALE:</b> 1 : 1000	<b>DRAWN BY:</b> JB	<b>DATE:</b> 01/02/2018	<b>PROJECT NO:</b> 2312
		<b>REFER:</b>	

# 156th STREET

CORNER FASIA SIGN A1

A1

Wa

CORNER FASIA SIGN A2, A3

A2

STOP

A3

Sa

Sb

Sc

Sd

Na

STOP STOP

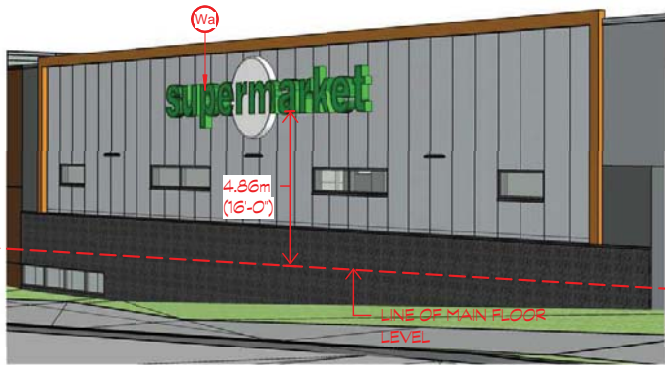
ONE WAY

## ANCHOR A

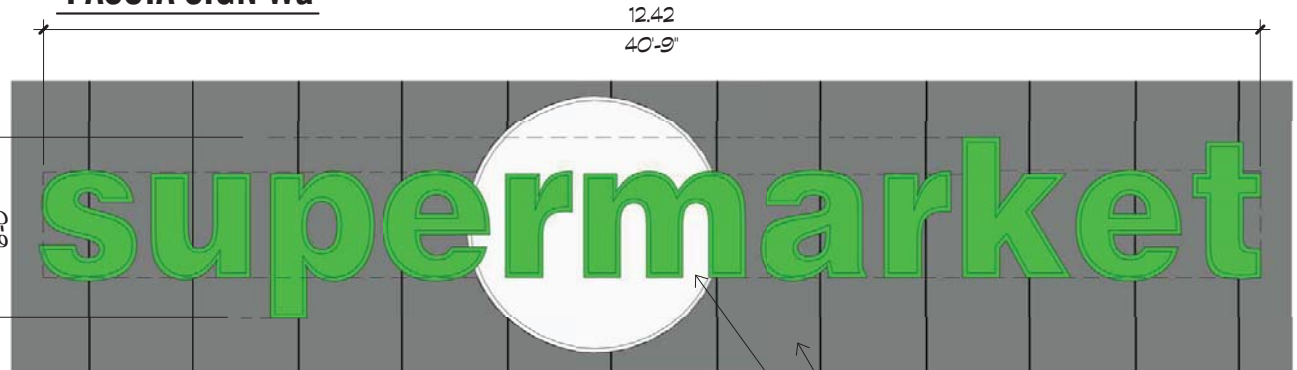
MAIN FLOOR: 3,720.49 m<sup>2</sup> (40,047 SF)  
 BASEMENT FLOOR: 326.93 m<sup>2</sup> (3,519 SF)



PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
SHEET TITLE: ANCHOR A - PLAN		REVISION:	SKETCH NO: A-DP 1.0
SCALE: 1 : 350	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
REFER:			

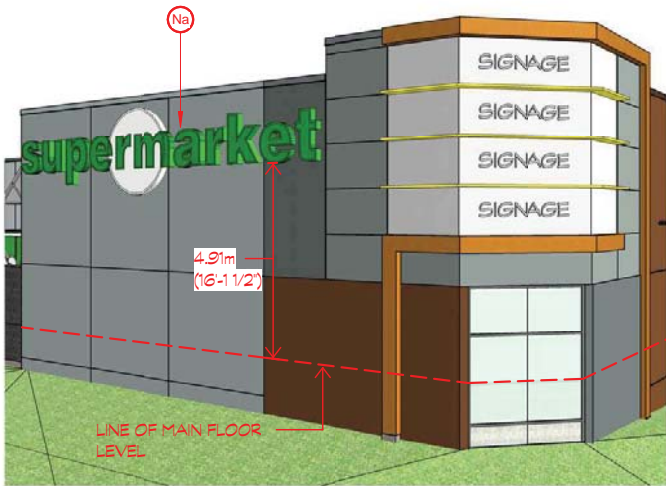


### FASCIA SIGN Wa

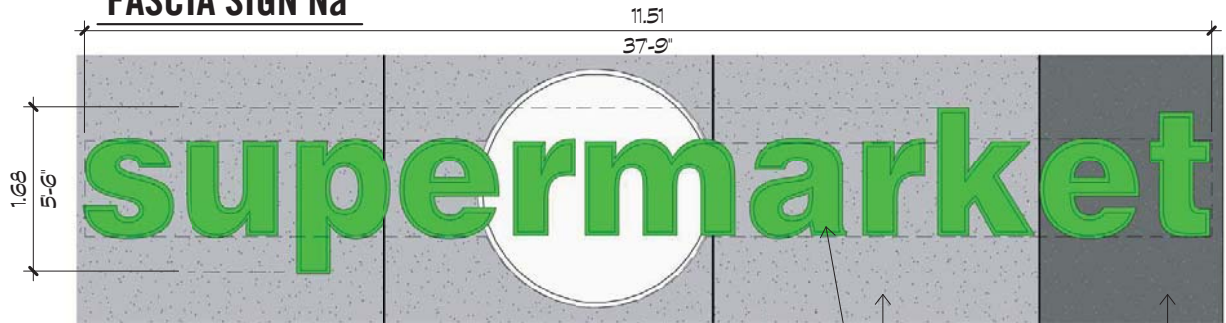


\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

INSULATED METAL PANEL PREFINISHED TO MATCH KINGSPAN 'DOVE GRAY'  
CHANNEL LETTERING ON SIGNAGE SUPPORT RAILS BY TENANT



### FASCIA SIGN Na



\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

CHANNEL LETTERING ON SIGNAGE SUPPORT RAILS BY TENANT  
EIFS COLOUR TO MATCH BM 2124-20 'TROUT GRAY'  
EIFS BEHIND LETTERING COLOUR TO MATCH BM 2124-40 'THUNDERCLOUD GRAY'

### SIGNAGE AREA CALCULATIONS

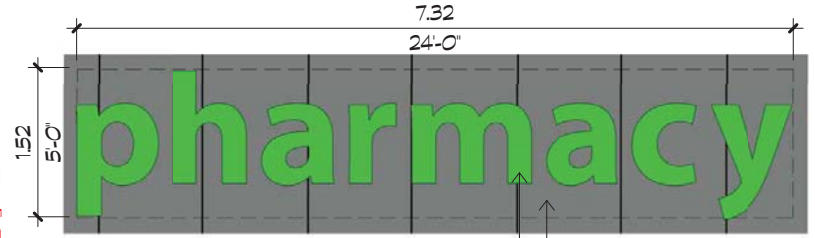
ELEVATION	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)
NORTH	Na	* 1.66 m x 11.51 m (5'-6" X 37'-9")	13.96 m <sup>2</sup> (150.23 S.F.)
SOUTH	Sa	1.52 m x 7.31 m (5'-0" X 24'-0")	11.15 m <sup>2</sup> (120.00 S.F.)
	Sb	* 1.22 m x 14.68 m (4'-0" X 48'-2")	22.96 m <sup>2</sup> (247.12 S.F.)
	Sc	1.52 m x 4.27 m (5'-0" X 14'-0")	6.5 m <sup>2</sup> (70.00 S.F.)
	Sd	* 1.22 m x 1.22 m (4'-0" X 4'-0")	1.18 m <sup>2</sup> (12.71 S.F.)
WEST	Wa	* 1.84 m x 12.42 m (6'-0" X 40'-9")	16.26 m <sup>2</sup> (175.02 S.F.)
CORNER FASCIA	A1	4.27 m x 3.05 m (14'-0" X 10'-0")	12.82 m <sup>2</sup> (138.00 S.F.)
	A2 AND A3	3.20 m x 3.88 m (10'-6" X 12'-8.75")	24.72 m <sup>2</sup> (266.00 S.F.)
<b>ANCHOR A TOTAL:</b>			<b>109.55 m<sup>2</sup> (775.12 S.F.)</b>

\*OVERALL DIMENSIONS

 Engaging Design™ VANCOUVER, BC 604.568.4041 TORONTO, ON 416.340.8441	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: ANCHOR A - FASCIA		REVISION:	SKETCH NO: A-DP 1.1
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
	REFER:			



### FASCIA SIGN Sa



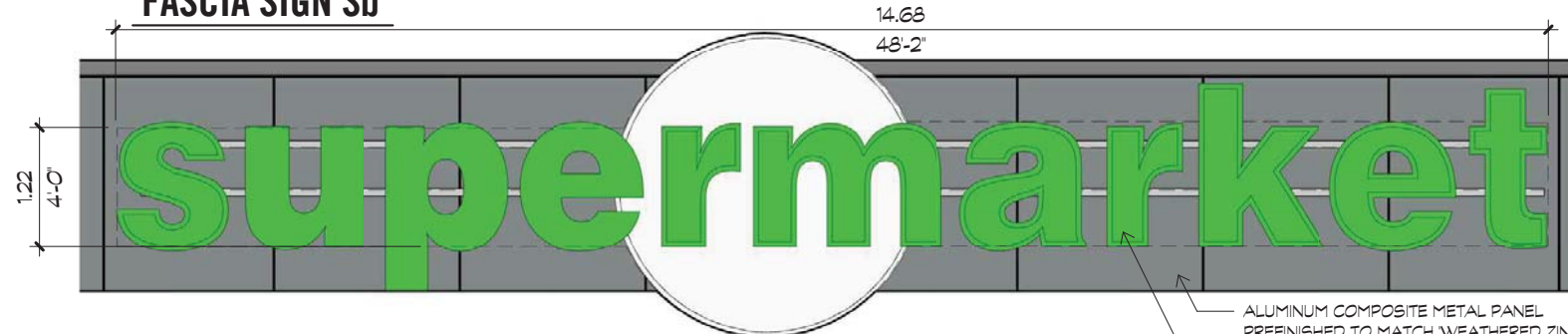
\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

\*VARIANCE REQUIRED FOR ADDITIONAL FASCIA SIGNS PER SIGNAGE BYLAW PART 5, SECTION 27 (2)(a)

INSULATED METAL PANEL PREFINISHED TO MATCH KINGSPAN DOVE GRAY

CHANNEL LETTERING ON SIGNAGE SUPPORT RAILS BY TENANT

### FASCIA SIGN Sb

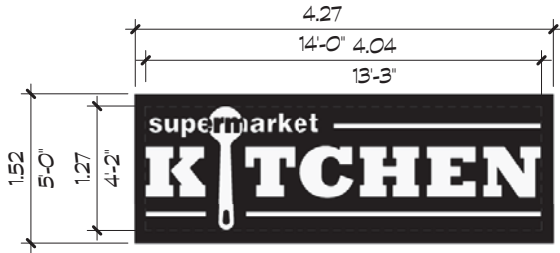


\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

ALUMINUM COMPOSITE METAL PANEL PREFINISHED TO MATCH WEATHERED ZINC

CHANNEL LETTERING ON SIGNAGE SUPPORT RAILS BY TENANT

### FASCIA SIGN Sc



\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

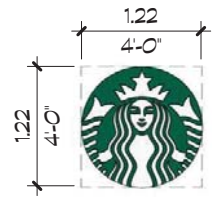
\*VARIANCE REQUIRED FOR ADDITIONAL FASCIA SIGN PER SIGNAGE BYLAW PART 5, SECTION 27 (2)(a), (2)(c)

**SIGN AREA** = 1.52m (5'-0") x 4.27m (14'-0") = 6.50m<sup>2</sup> (69.97 ft<sup>2</sup>)

**COPY AREA** = 1.27m (4'-2") x 4.04m (13'-3") = 5.13m<sup>2</sup> (55.21 ft<sup>2</sup>)

% COPY AREA = 78.9%

### FASCIA SIGN Sd



\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

\*VARIANCE REQUIRED FOR ADDITIONAL FASCIA SIGNS PER SIGNAGE BYLAW PART 5, SECTION 27 (2)(a)

<p>Engaging Design™</p> <p>VANCOUVER, BC 604.568.4041 TORONTO, ON 416.340.8441</p>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: ANCHOR A - FASCIA		REVISION:	SKETCH NO: A-DP 1.2
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
	REFER:			



## SOUTHWEST CORNER

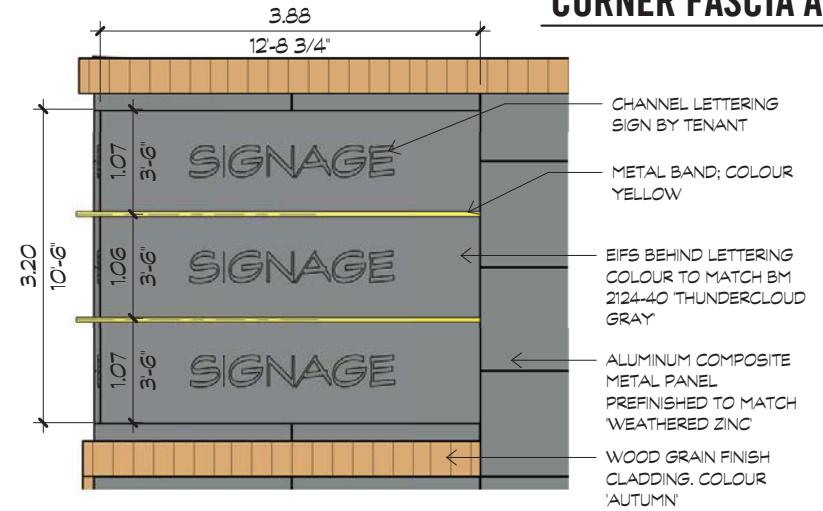


CORNER FASCIA A2 (WEST FACE) - SIGNAGE AREA: 12.36m<sup>2</sup> (133 S.F.)

CORNER FASCIA A3 (SOUTH FACE) - SIGNAGE AREA: 12.36m<sup>2</sup> (133 S.F.)

4.75m  
(15'-7")

## CORNER FASCIA A2 & A3



CHANNEL LETTERING SIGN BY TENANT

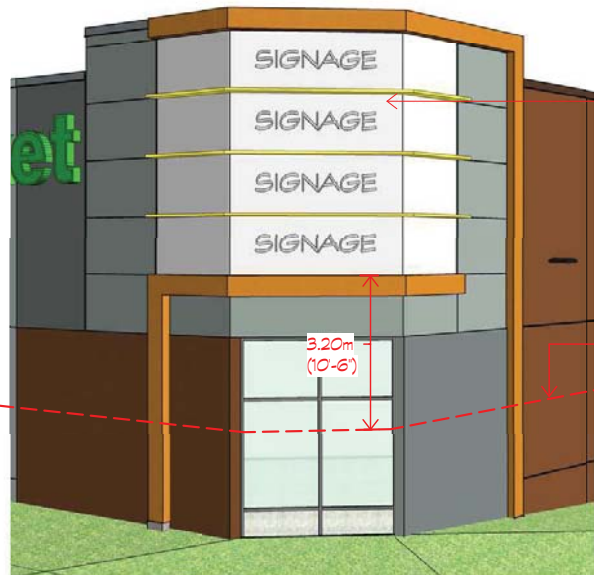
METAL BAND; COLOUR YELLOW

EIFS BEHIND LETTERING COLOUR TO MATCH BM 2124-40 THUNDERCLOUD GRAY

ALUMINUM COMPOSITE METAL PANEL PREFINISHED TO MATCH WEATHERED ZINC

WOOD GRAIN FINISH CLADDING. COLOUR 'AUTUMN'

## NORTHWEST CORNER

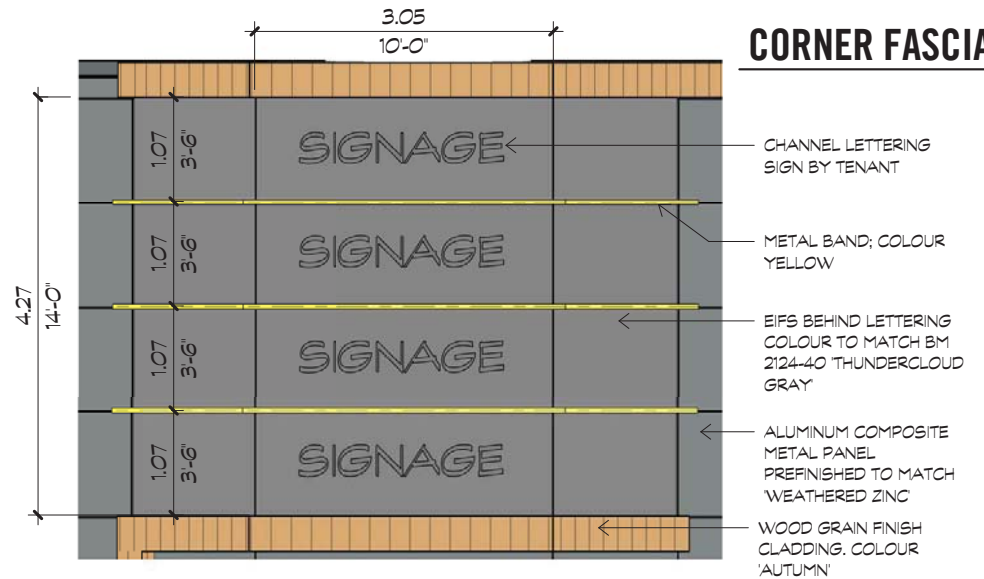


CORNER FASCIA A1 (NORTHWEST FACE) - SIGNAGE AREA: 12.82m<sup>2</sup> (138 S.F.)

LINE OF MAIN FLOOR LEVEL

3.20m  
(10'-6")

## CORNER FASCIA A1




CHANNEL LETTERING SIGN BY TENANT

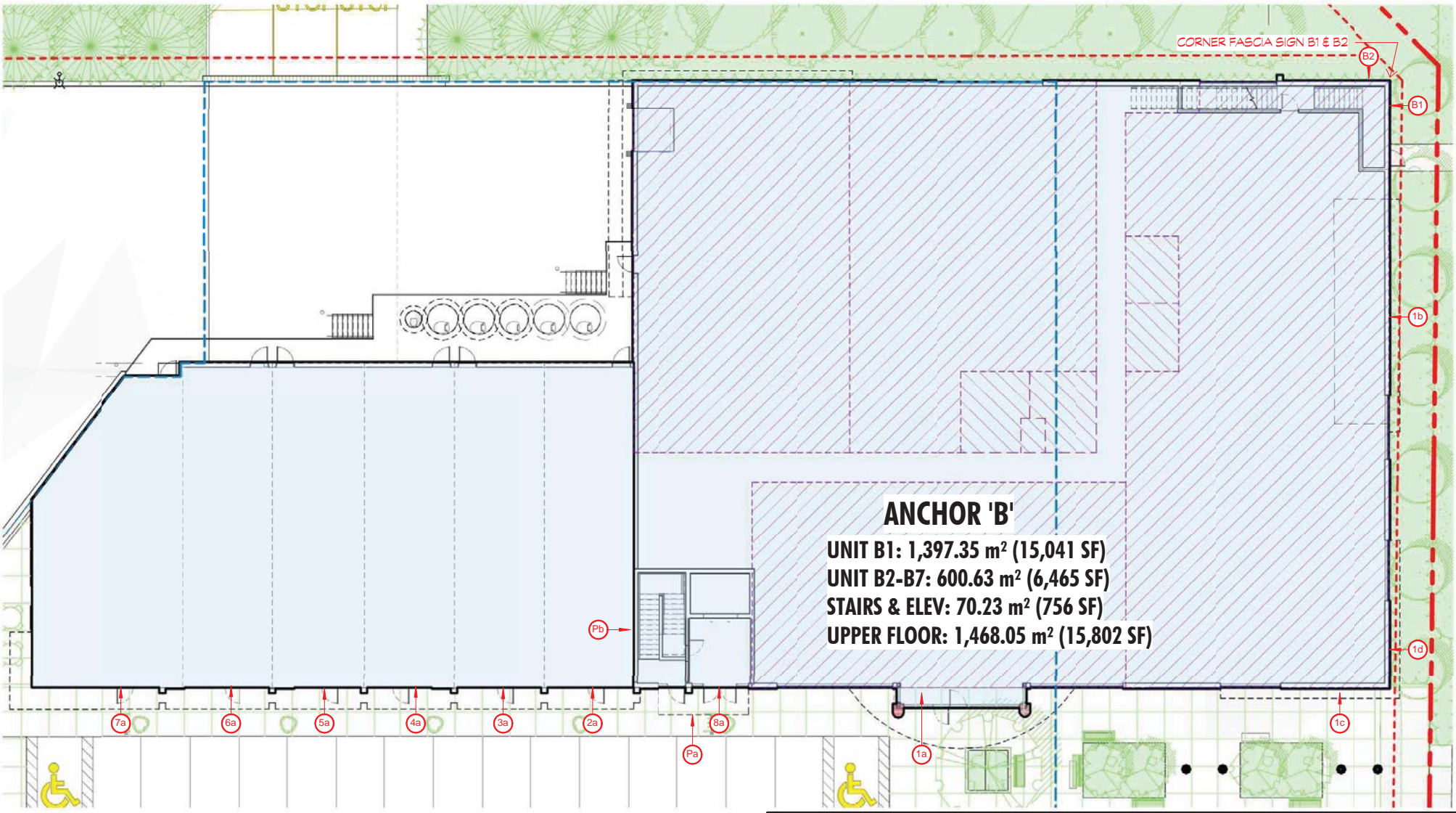
METAL BAND; COLOUR YELLOW

EIFS BEHIND LETTERING COLOUR TO MATCH BM 2124-40 THUNDERCLOUD GRAY

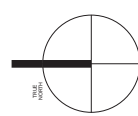
ALUMINUM COMPOSITE METAL PANEL PREFINISHED TO MATCH WEATHERED ZINC


WOOD GRAIN FINISH CLADDING. COLOUR 'AUTUMN'

 Engaging Design™ VANCOUVER, BC 604.668.4041 TORONTO, ON 416.340.8441	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: ANCHOR A - CORNER FASCIA		REVISION:	SKETCH NO: A-DP 1.3
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
				REFER:

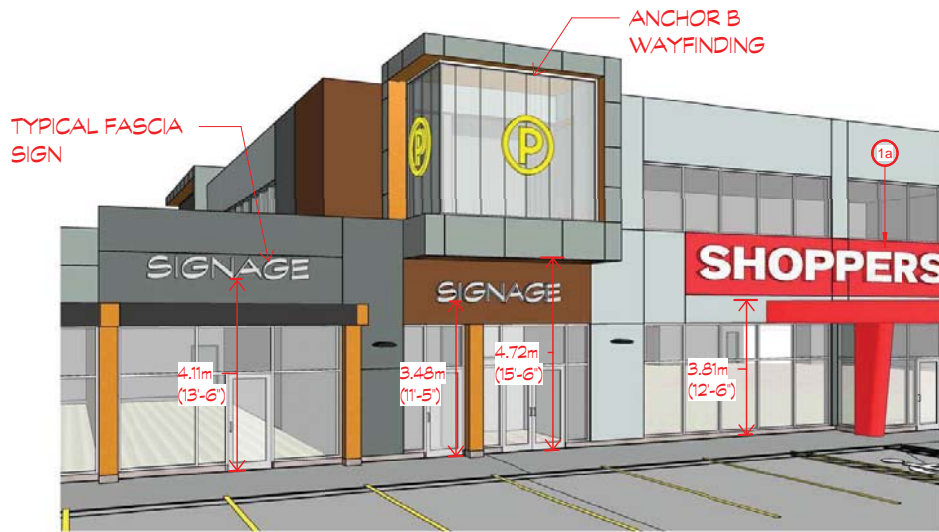


**ANCHOR 'B'**  
 UNIT B1: 1,397.35 m<sup>2</sup> (15,041 SF)  
 UNIT B2-B7: 600.63 m<sup>2</sup> (6,465 SF)  
 STAIRS & ELEV: 70.23 m<sup>2</sup> (756 SF)  
 UPPER FLOOR: 1,468.05 m<sup>2</sup> (15,802 SF)

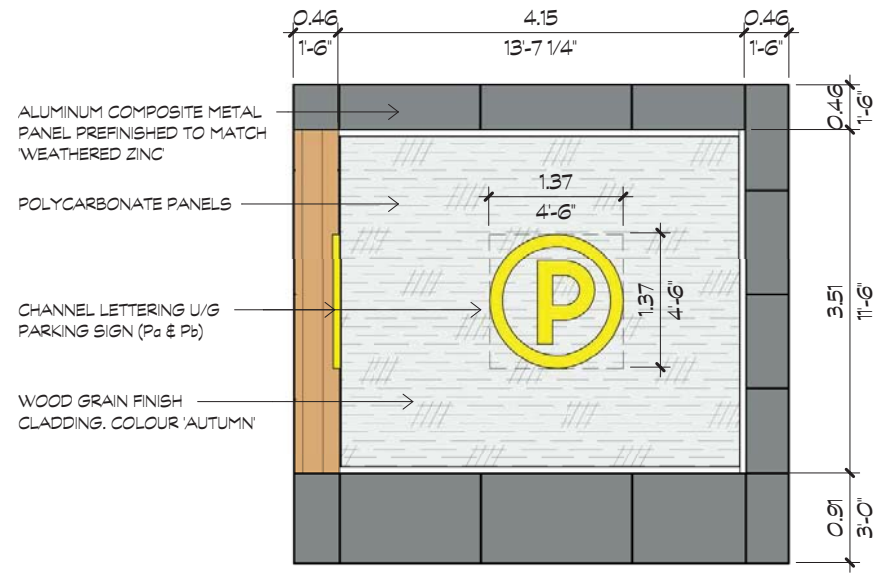


 <b>ABBARCH</b> <i>Engaging Design™</i> <small>VANCOUVER, BC 604.568.4041        TORONTO, ON 416.340.8441</small>		PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE	
SHEET TITLE: ANCHOR B - PLAN		REVISION:	SKETCH NO: <b>B-DP 1.0</b>
SCALE: 1 : 200	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
		REFER:	

1/2/2018 4:09:08 PM  
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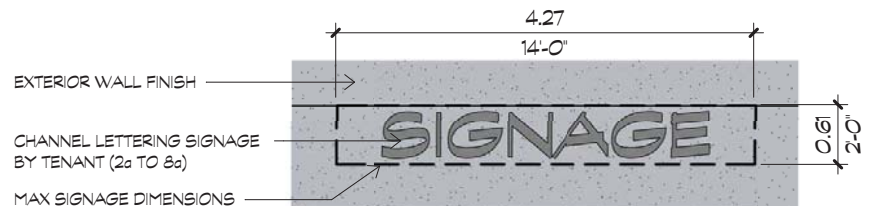
## ANCHOR B WAYFINDING



## SIGNAGE AREA CALCULATIONS

PREMISES (TENANT)	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)	PREMISES TOTAL m <sup>2</sup> (S.F.)
UNIT B1	1a	1.83 m x 17.36 m (3'-0.25" X 56'-11.5")	14.24 m <sup>2</sup> (153.06 S.F.)	32.92 m <sup>2</sup> (354.35 S.F.)
	1b	1.44 m x 9.55 m (4'-8.75" X 31'-4")	11.44 m <sup>2</sup> (123.14 S.F.)	
	1c AND 1d	1.88 m x 1.93 m (6'-2" X 6'-4")	3.63 m <sup>2</sup> (39.06 S.F.)	
UNIT B2	2a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT B3	3a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT B4	4a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT B5	5a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT B6	6a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT B7	7a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
OFFICE SIGNAGE	8a	0.61 m x 4.27 m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
U/G PARKING ENTRY	Pa AND Pb	1.37 m x 1.37 m (4'-6" X 4'-6")	1.48 m <sup>2</sup> (15.9 S.F.)	2.95 m <sup>2</sup> (31.80 S.F.)
CORNER FASCIA	B1 AND B2	3.15 m x 4.53 m (10'-4" X 14'-10.25")	14.0 m <sup>2</sup> (150.0 S.F.)	28 m <sup>2</sup> (300.0 S.F.)
* OVERALL DIMENSIONS			<b>ANCHOR B TOTAL:</b>	<b>82.21 m<sup>2</sup> (884.94 S.F.)</b>

## TYPICAL FASCIA SIGN



 <b>ABBARCH</b> <i>Engaging Design™</i> <small>VANCOUVER, BC 604.568.0041  TORONTO, ON 416.340.8441</small>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: ANCHOR B - WAYFINDING & FASCIA		REVISION:	SKETCH NO: B-DP 1.1
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
			REFER:	



**FASCIA SIGN 1a**

17.36  
56'-11 1/2"



\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

EIFS BEHIND LETTERING COLOUR TO MATCH BM 2087-10 'NEON RED'

CHANNEL LETTERING SIGNAGE BY TENANT

**FASCIA SIGN 1b**

9.55  
31'-4"

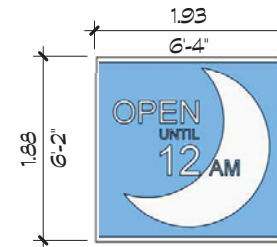


\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

EIFS BEHIND LETTERING COLOUR TO MATCH BM 2096-30 'GRANDFATHER CLOCK BROWN'

CHANNEL LETTERING SIGNAGE BY TENANT

**FASCIA SIGN 1c & 1d**



\*FASCIA SIGN DESIGN FOR CONCEPT PURPOSE ONLY. FINAL DESIGN TO BE DETERMINED BY TENANT

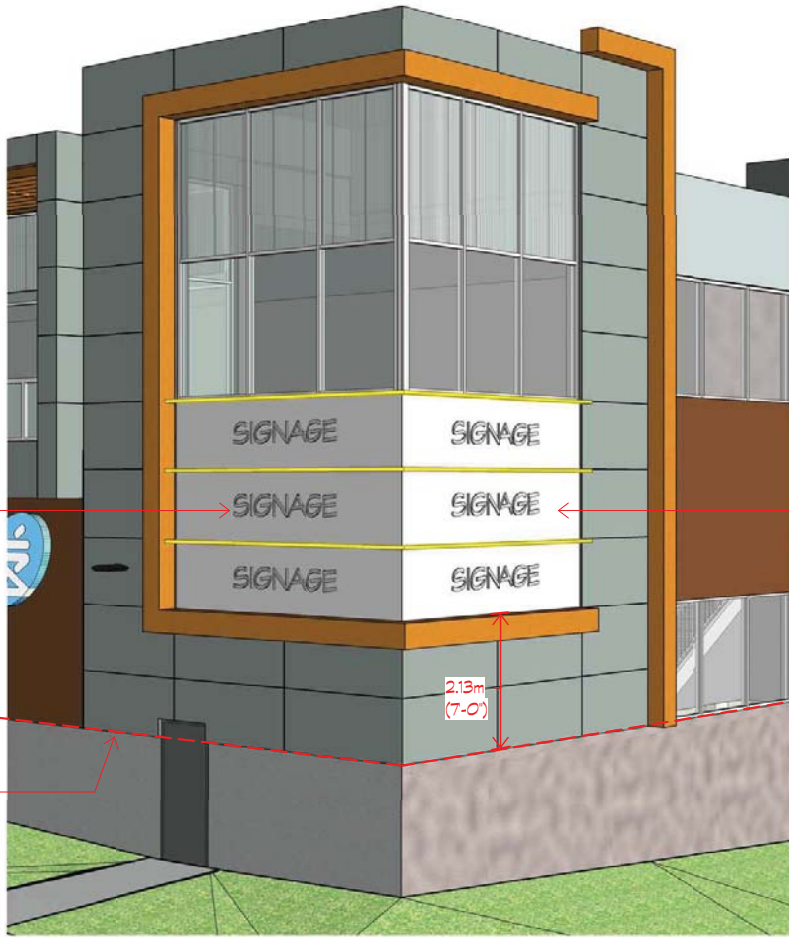
\*VARIANCE REQUIRED FOR ADDITIONAL FASCIA SIGN PER SIGNAGE BYLAW PART 5, SECTION 27 (2)(c)



Engaging Design™  
VANCOUVER, BC 604.568.0041  
TORONTO, ON 416.340.8441

PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE				
SHEET TITLE: ANCHOR B - FASCIA		REVISION:	SKETCH NO: B-DP 1.2	
SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312	REFER:

# SOUTHEAST CORNER



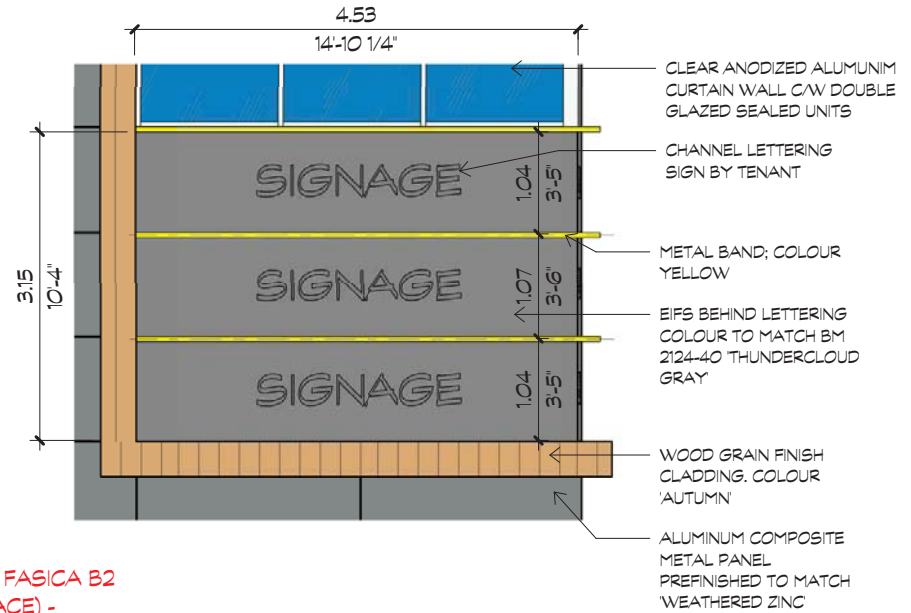
CORNER FASIA B1  
(SOUTH FACE) -  
SIGNAGE AREA:  
14.0m<sup>2</sup> (150 S.F.)

CORNER FASIA B2  
(EAST FACE) -  
SIGNAGE AREA:  
14.0m<sup>2</sup> (150 S.F.)

LINE OF MAIN FLOOR  
LEVEL

2.13m  
(7'-0")

# CORNER FASCIA B1 & B2



CLEAR ANODIZED ALUMINUM  
CURTAIN WALL, C/W DOUBLE  
GLAZED SEALED UNITS


CHANNEL LETTERING  
SIGN BY TENANT

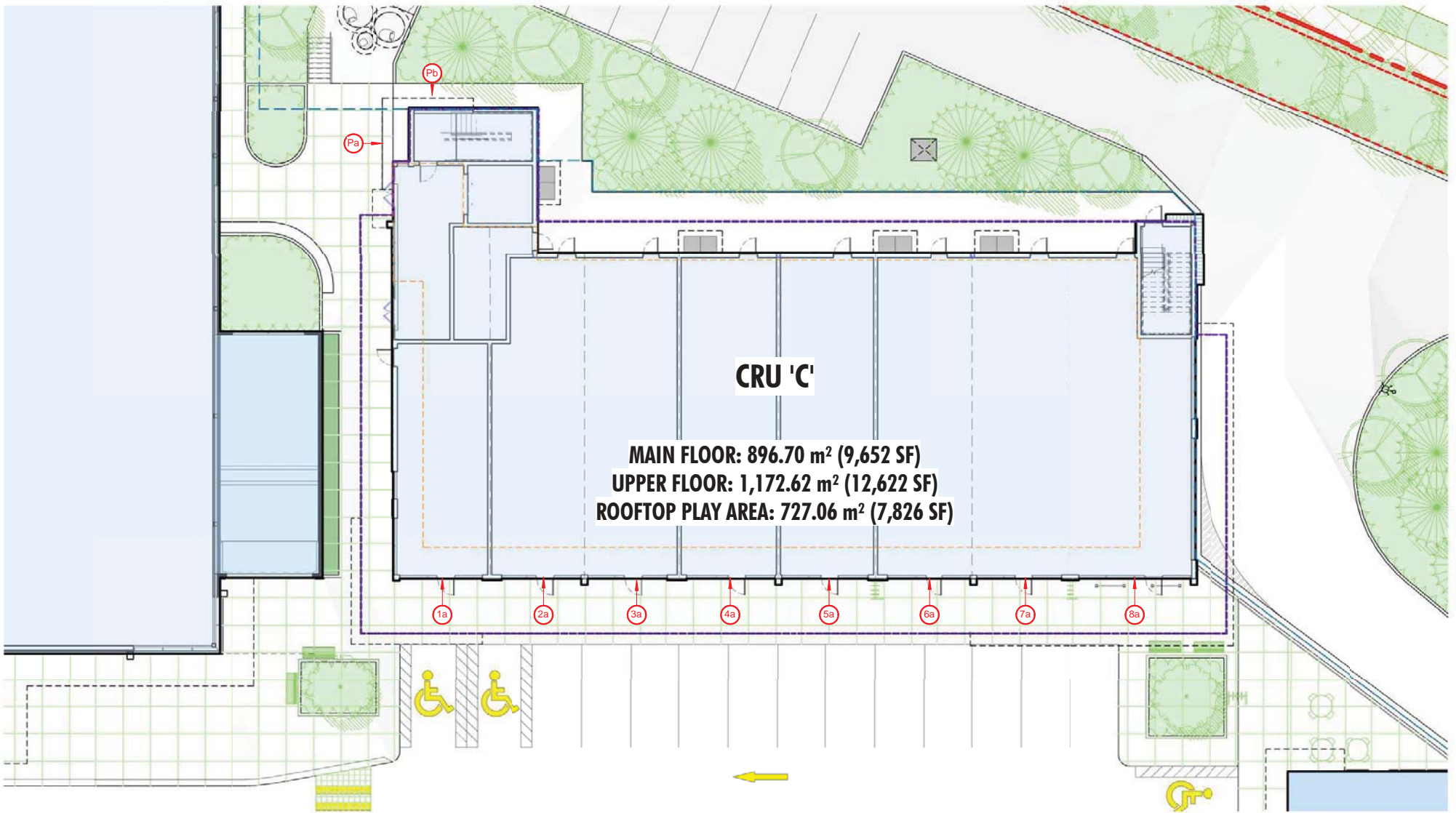
METAL BAND; COLOUR  
YELLOW


EIFS BEHIND LETTERING  
COLOUR TO MATCH BM  
2124-40 THUNDERCLOUD  
GRAY

WOOD GRAIN FINISH  
CLADDING, COLOUR  
'AUTUMN'

ALUMINUM COMPOSITE  
METAL PANEL  
PREFINISHED TO MATCH  
WEATHERED ZINC

 Engaging Design™ VANCOUVER, BC 604.668.4041 TORONTO, ON 416.340.8441	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: ANCHOR B - CORNER FASCIA		REVISION:	SKETCH NO: B-DP 1.3
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312



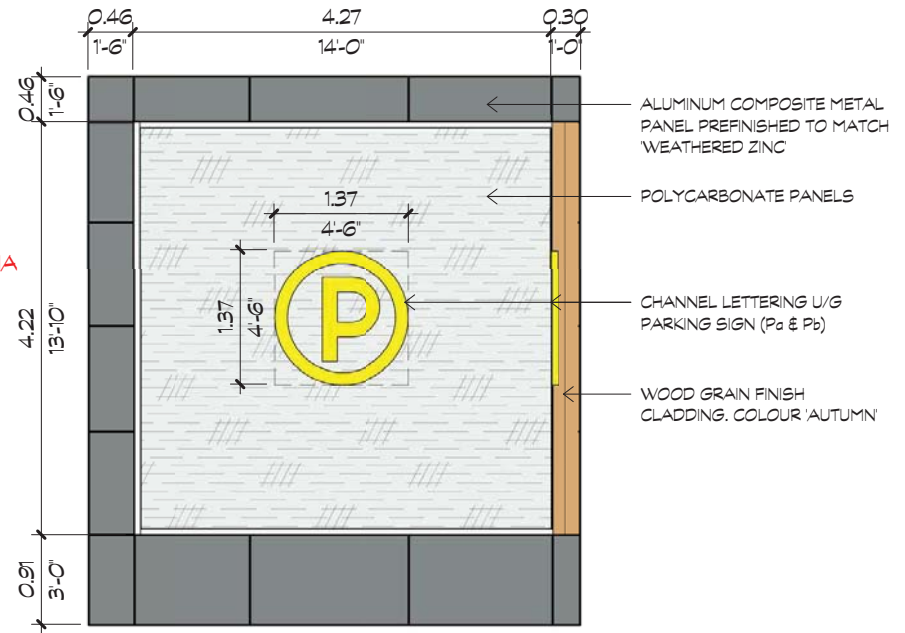
 <b>ABBARCH</b> Engaging Design™ VANCOUVER, BC 604.668.4041 TORONTO, ON 416.340.8441		PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE	
SHEET TITLE: CRU C - PLAN		REVISION:	SKETCH NO: <b>C-DP 1.0</b>
SCALE: 1 : 200	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
		REFER:	

CRU C WAYFINDING

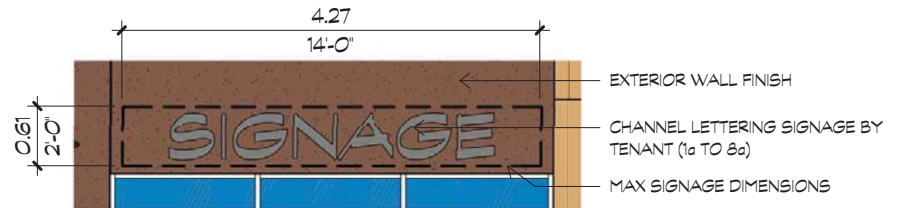


TYPICAL FASCIA SIGN

### CRU C WAYFINDING



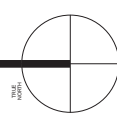
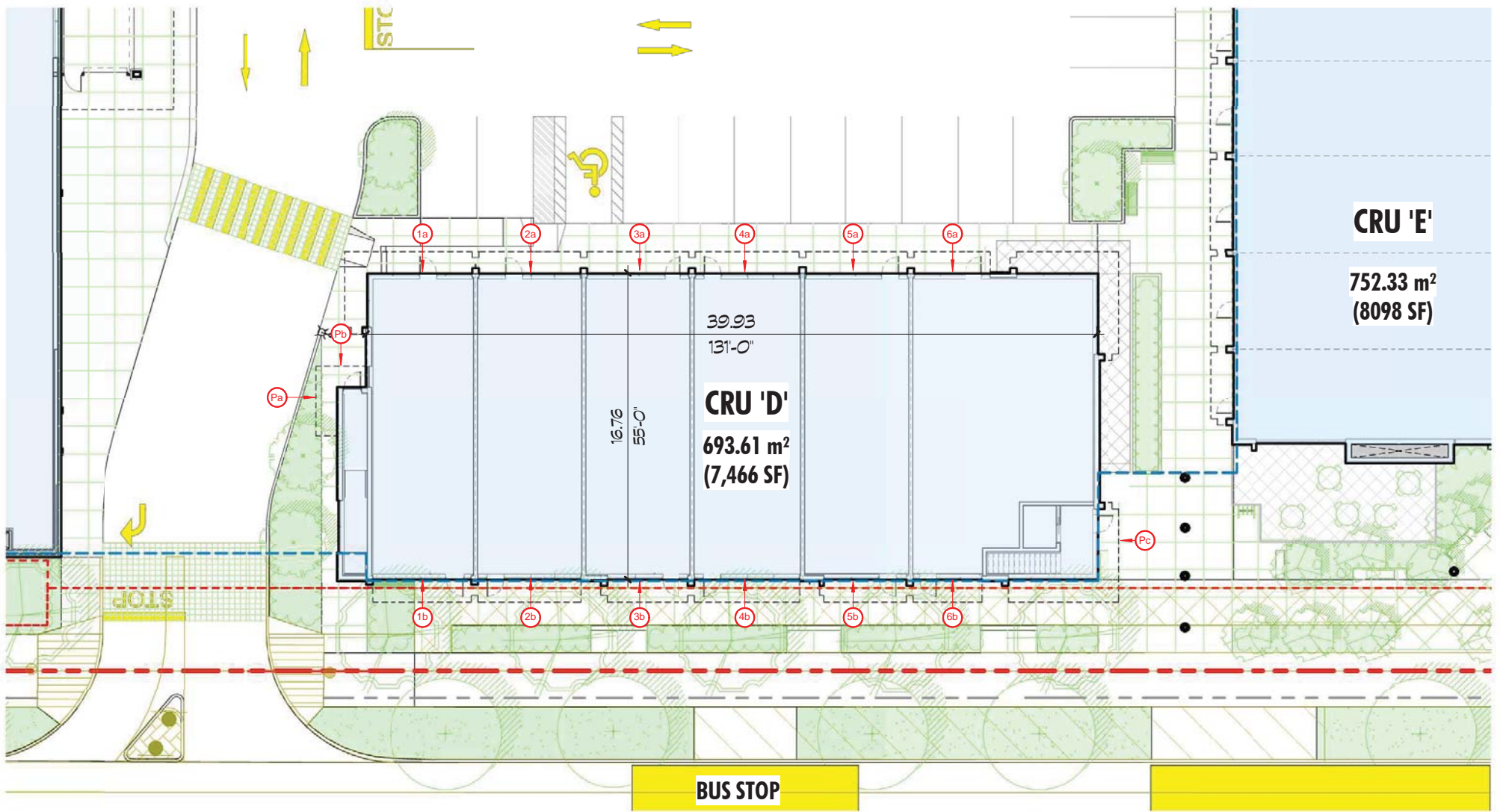
### TYPICAL FASCIA SIGN



### SIGNAGE AREA CALCULATIONS

PREMISES (TENANT)	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)	PREMISES TOTAL m <sup>2</sup> (S.F.)
UNIT C1	1a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C2	2a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C3	3a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C4	4a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C5	5a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C6	6a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C7	7a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT C8	8a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
U/G PARKING ENTRY	Pa AND Pb	*1.37 m x 1.37m (4'-6" X 4'-6")	1.48 m <sup>2</sup> (15.9 S.F.)	2.95 m <sup>2</sup> (31.80 S.F.)
* OVERALL DIMENSIONS			<b>CRU C TOTAL:</b>	<b>23.91 m<sup>2</sup> (257.41 S.F.)</b>

<p><b>ABBARCH</b> Engaging Design™ VANCOUVER, BC 604.568.0041 TORONTO, ON 416.340.8441</p>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: CRU C - WAYFINDING & FASCIA		REVISION:	SKETCH NO: <b>C-DP 1.1</b>
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
				REFER:



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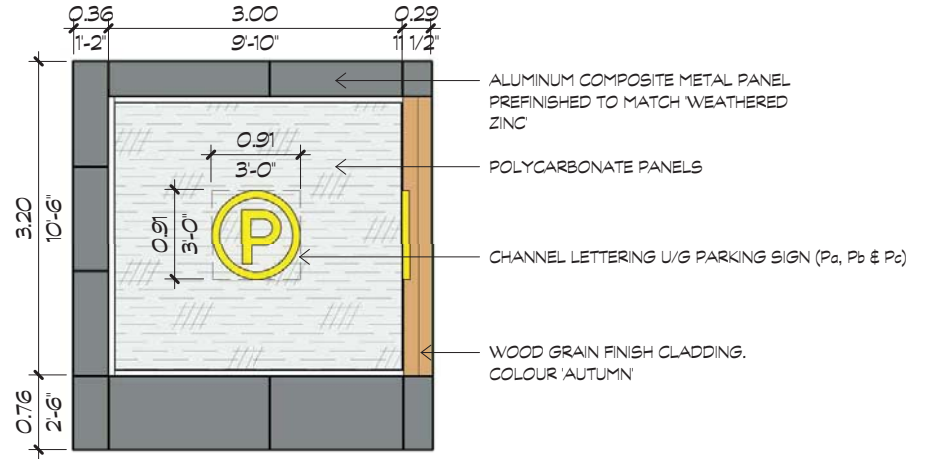
PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
SHEET TITLE: CRU D - PLAN		REVISION:	SKETCH NO: D-DP 1.0
SCALE: 1 : 200	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
REFER:			

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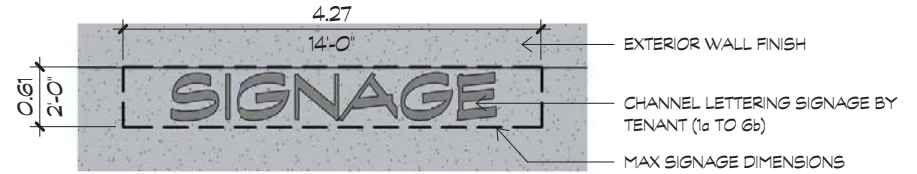




## CRU D WAYFINDING



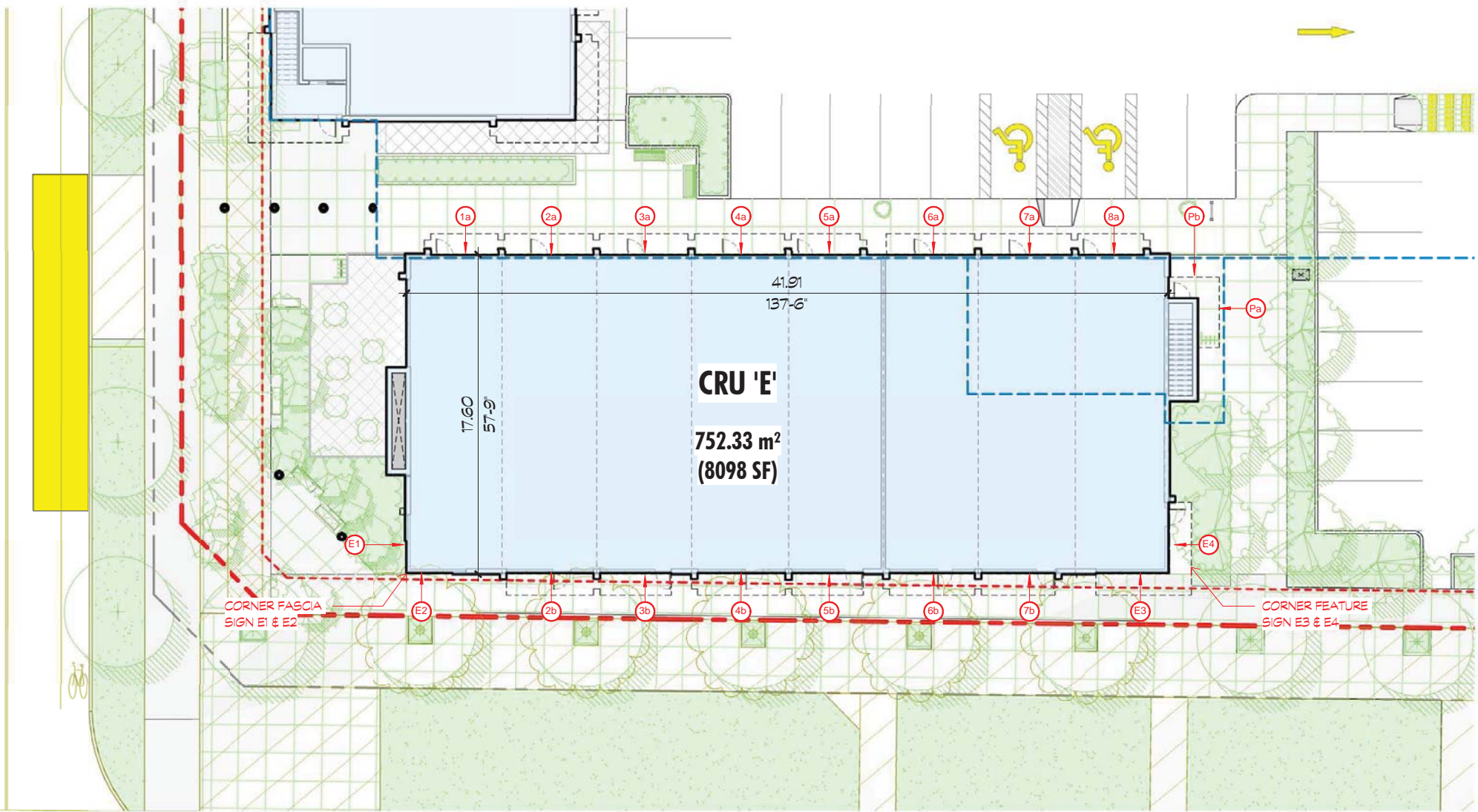
## TYPICAL FASCIA SIGN




## SIGNAGE AREA CALCULATIONS

PREMISES (TENANT)	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)	PREMISES TOTAL m <sup>2</sup> (S.F.)
UNIT D1	1a AND 1b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT D2	2a AND 2b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT D3	3a AND 3b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT D4	4a AND 4b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT D5	5a AND 5b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT D6	6a 6b	0.61 m x 4.27m (2'-0" X 14'-0") 0.61 m x 3.83m (2'-0" X 12'-6 3/4")	2.62 m <sup>2</sup> (28.19 S.F.) 2.34 m <sup>2</sup> (25.13 S.F.)	4.96 m <sup>2</sup> (53.32 S.F.)
U/G PARKING ENTRY	Pa AND Pb	* 0.91 m x 0.91m (3'-0" X 3'-0")	0.65 m <sup>2</sup> (7.0 S.F.)	1.30 m <sup>2</sup> (14.0 S.F.)
U/G PARKING ENTRY	Pc	* 0.91 m x 0.91m (3'-0" X 3'-0")	0.65 m <sup>2</sup> (7.0 S.F.)	0.65 m <sup>2</sup> (7.0 S.F.)
* OVERALL DIMENSIONS			<b>CRU D TOTAL:</b>	<b>33.11 m<sup>2</sup> (356.39 S.F.)</b>

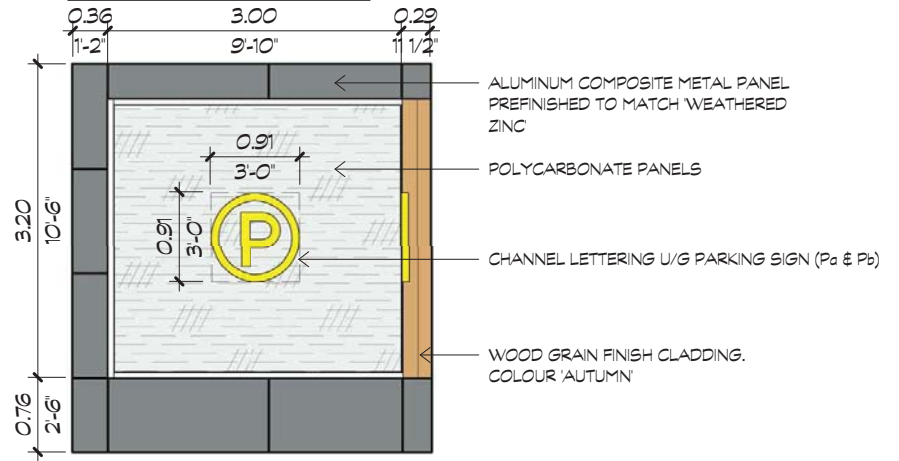
 <b>ABBARCH</b> Engaging Design™ <small>VANCOUVER, BC 604.668.0041          TORONTO, ON 416.340.8441</small>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: CRU D - WAYFINDING & FASCIA		REVISION:	SKETCH NO: D-DP 1.1
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312



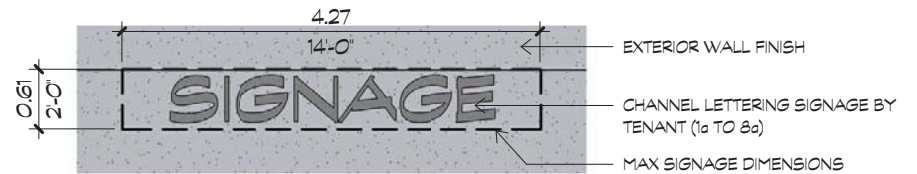
 <b>ABBARCH</b> Engaging Design™ <small>VANCOUVER, BC 604.668.4041          TORONTO, ON 416.340.8441</small>		PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE	
SHEET TITLE: CRU E - PLAN		REVISION:	SKETCH NO: <b>E-DP 1.0</b>
SCALE: 1 : 200	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
		REFER:	



### CRU E WAYFINDING



### TYPICAL FASCIA SIGN

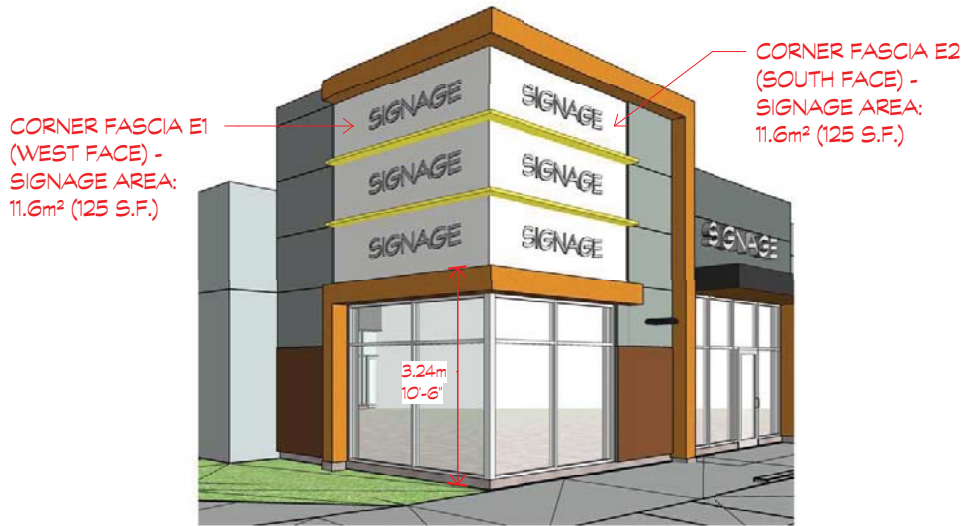


### SIGNAGE AREA CALCULATIONS

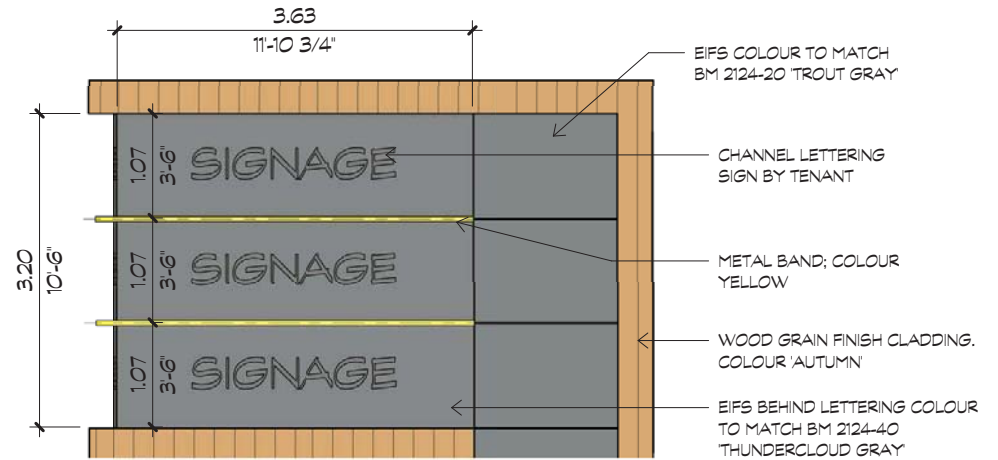
PREMISES (TENANT)	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)	PREMISES TOTAL m <sup>2</sup> (S.F.)
UNIT E1	1a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT E2	2a AND 2b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E3	3a AND 3b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E4	4a AND 4b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E5	5a AND 5b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E6	6a AND 6b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E7	7a AND 7b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT E8	8a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
U/G PARKING ENTRY	Pa AND Pb	0.91 m x 0.91m (3'-0" X 3'-0")	0.65 m <sup>2</sup> (7.0 S.F.)	1.30 m <sup>2</sup> (14.0 S.F.)
CORNER FASCIA	E1 AND E2 E3 AND E4	3.20 m x 3.36 m (10'-6" X 11'-10.75") 2.13 m x 3.94 m (7'-0" X 12'-11")	11.60 m <sup>2</sup> (125.0 S.F.) 8.40 m <sup>2</sup> (90.0 S.F.)	23.20 m <sup>2</sup> (250.0 S.F.) 16.80 m <sup>2</sup> (180.0 S.F.)
OVERALL DIMENSIONS			<b>CRU E TOTAL:</b>	<b>77.98 m<sup>2</sup> (839.37 S.F.)</b>

 <b>ABBARCH</b> <i>Engaging Design™</i> <small>VANCOUVER, BC 604.568.0041 TORONTO, ON 416.340.8441</small>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: CRU E - WAYFINDING & FASCIA		REVISION:	SKETCH NO: E-DP 1.1
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
	REFER:			

## SOUTHWEST CORNER



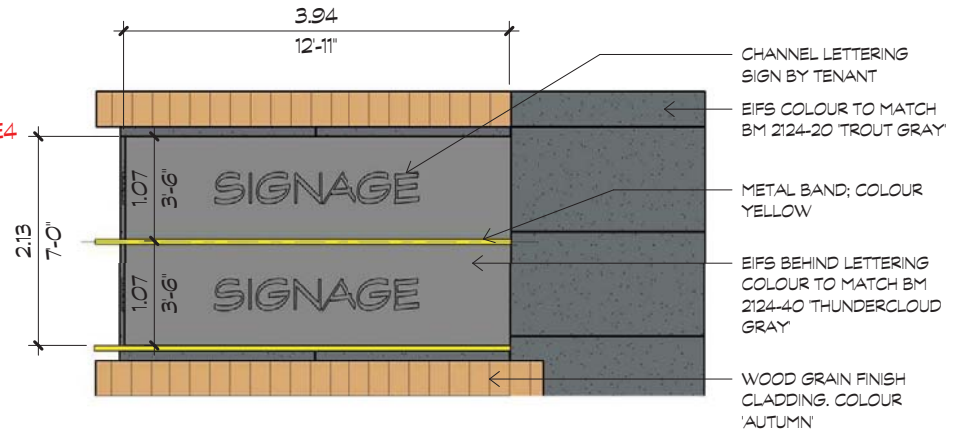
## CORNER FASCIA E1 & E2




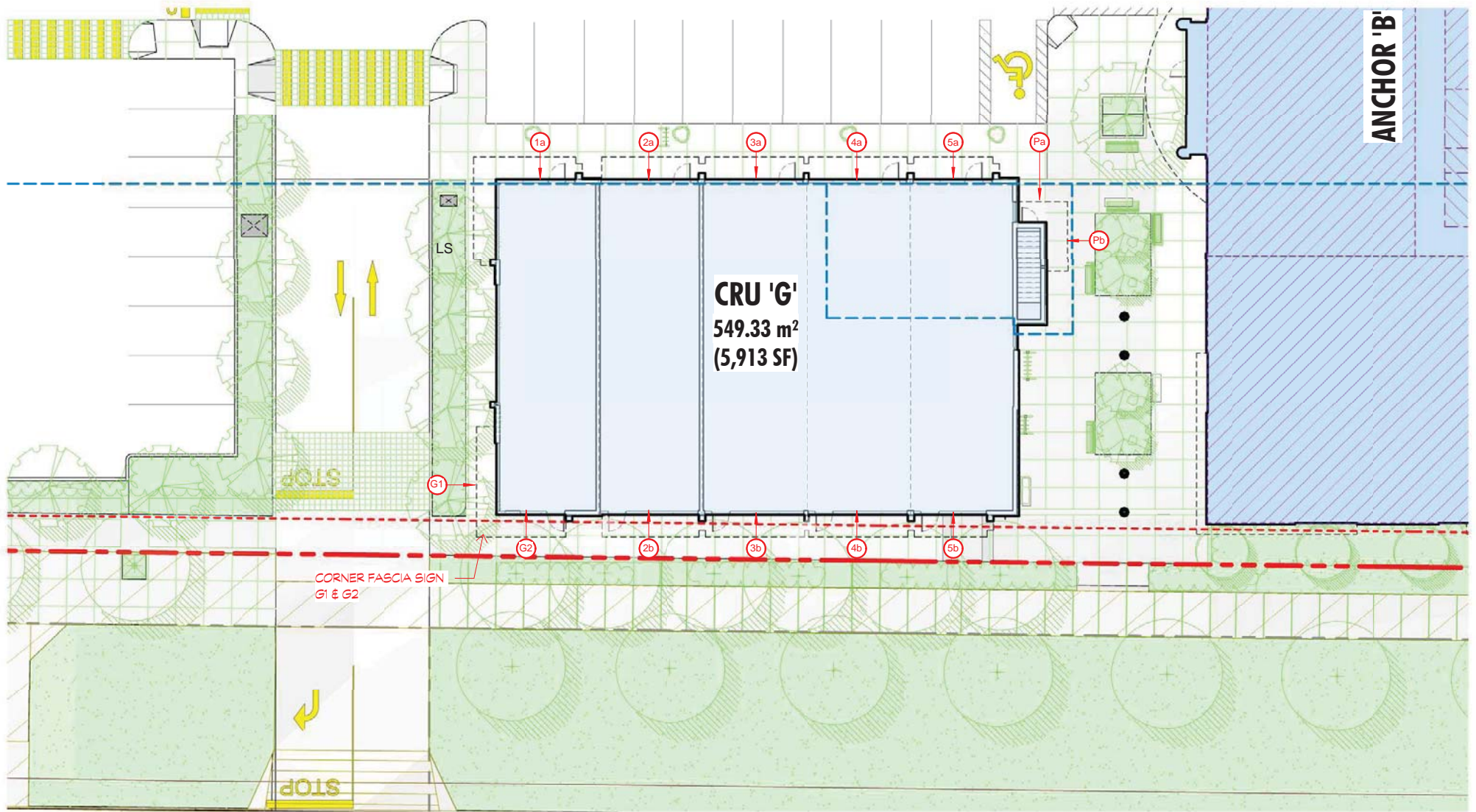
## SOUTHEAST CORNER



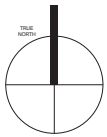
## CORNER FASCIA E3 & E4




 Engaging Design™ VANCOUVER, BC 604.668.4041 TORONTO, ON 416.340.8441	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			REVISION:	SKETCH NO: E-DP 1.2
	SHEET TITLE: CRU E - CORNER FASCIA		SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018
					REFER:



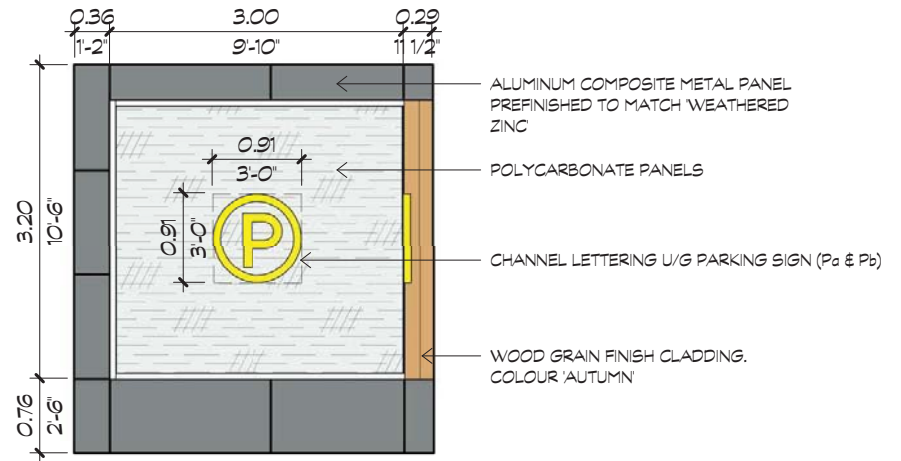
CORNER FASCIA SIGN  
G1 & G2



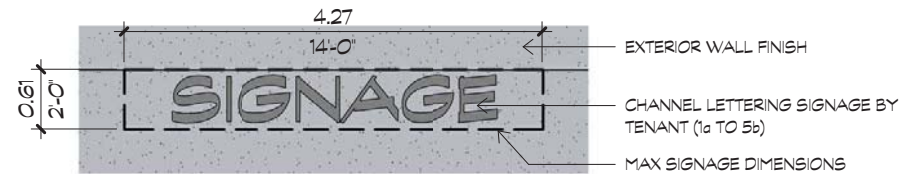
 <b>ABBARCH</b> <i>Engaging Design™</i> <small>VANCOUVER, BC 604.668.0041  TORONTO, ON 416.340.8441</small>		PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE		
		SHEET TITLE: CRU G - PLAN	REVISION:	SKETCH NO: G-DP 1.0
SCALE: 1 : 200	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312	REFER:



## CRU G WAYFINDING



## TYPICAL FASCIA SIGN



### SIGNAGE AREA CALCULATIONS

PREMISES (TENANT)	SIGNS	SIZE PER SIGN (HxW)	SIGNAGE AREA m <sup>2</sup> (S.F.)	PREMISES TOTAL m <sup>2</sup> (S.F.)
UNIT G1	1a	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	2.62 m <sup>2</sup> (28.19 S.F.)
UNIT G2	2a AND 2b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT G3	3a AND 3b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT G4	4a AND 4b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
UNIT G5	5a AND 5b	0.61 m x 4.27m (2'-0" X 14'-0")	2.62 m <sup>2</sup> (28.19 S.F.)	5.24 m <sup>2</sup> (56.38 S.F.)
U/G PARKING ENTRY	Pa AND Pb	0.91 m x 0.91m (3'-0" X 3'-0")	0.65 m <sup>2</sup> (7.0 S.F.)	1.30 m <sup>2</sup> (14.0 S.F.)
CORNER FASCIA	G1 AND G2	2.16 m x 3.94 m (7'-1" X 12'-11")	8.40 m <sup>2</sup> (90.0 S.F.)	16.80 m <sup>2</sup> (180.0 S.F.)
* OVERALL DIMENSIONS			<b>CRU G TOTAL:</b>	<b>41.68 m<sup>2</sup> (448.64 S.F.)</b>

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	SHEET TITLE: CRU G - WAYFINDING & FASCIA		REVISION:	SKETCH NO: G-DP 1.1
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312
	REFER:			

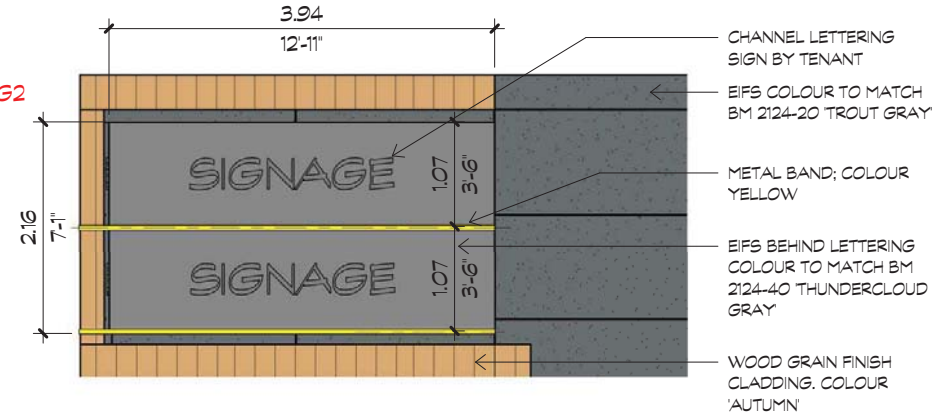
# SOUTHWEST CORNER


CORNER FASCIA G1  
(WEST FACE) -  
SIGNAGE AREA:  
8.4m<sup>2</sup> (90 S.F.)

CORNER FASCIA G2  
(SOUTH FACE) -  
SIGNAGE AREA:  
8.4m<sup>2</sup> (90 S.F.)



# CORNER FASCIA G1 & G2



 <b>ABBARCH</b> <i>Engaging Design™</i> <small>VANCOUVER, BC 604.568.4041 TORONTO, ON 416.340.8441</small>	PROJECT: GUILDFORD VILLAGE - SIGNAGE PACKAGE			
	SHEET TITLE: CRU G - CORNER FASCIA		REVISION:	SKETCH NO: <b>G-DP 1.2</b>
	SCALE: 1 : 50	DRAWN BY: JB	DATE: 1/2/2018	PROJECT NO: 2312

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**TO:           Manager, Area Planning & Development  
              - North Surrey Division  
              Planning and Development Department**

**FROM:       Development Services Manager, Engineering Department**

**DATE:       December 22, 2017**

**PROJECT FILE:   7817-0488-00  
                          XC: 7813-0189-00**

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**RE:           Engineering Requirements (Commercial)  
              Location: 15615 104 Avenue**

**DEVELOPMENT PERMIT AMENDMENT**

This site was created and is to be serviced through City Project 7913-0189-00. Its Servicing Agreement is with the applicant for execution.

At this point in time the Engineering Department has no concerns with the proposed Development Permit Amendment. Any changes required to the servicing plan due to this amendment can be addressed through an amendment to the Servicing Agreement 7813-0189-00.

Rémi Dubé, P.Eng.  
Development Services Manager

KMH