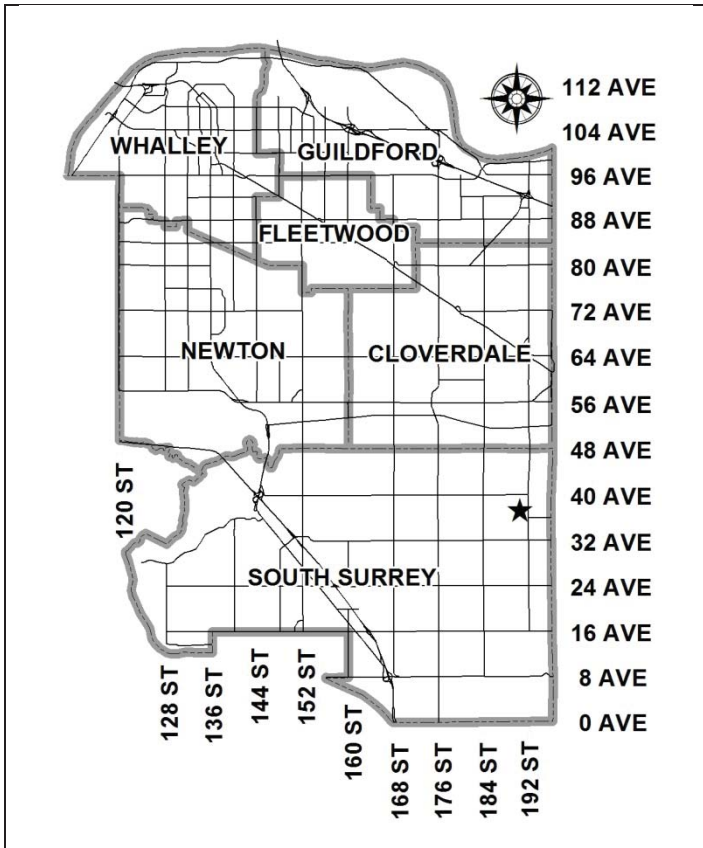


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0479-00

Planning Report Date: January 8, 2018



PROPOSAL:

- **Development Permit**

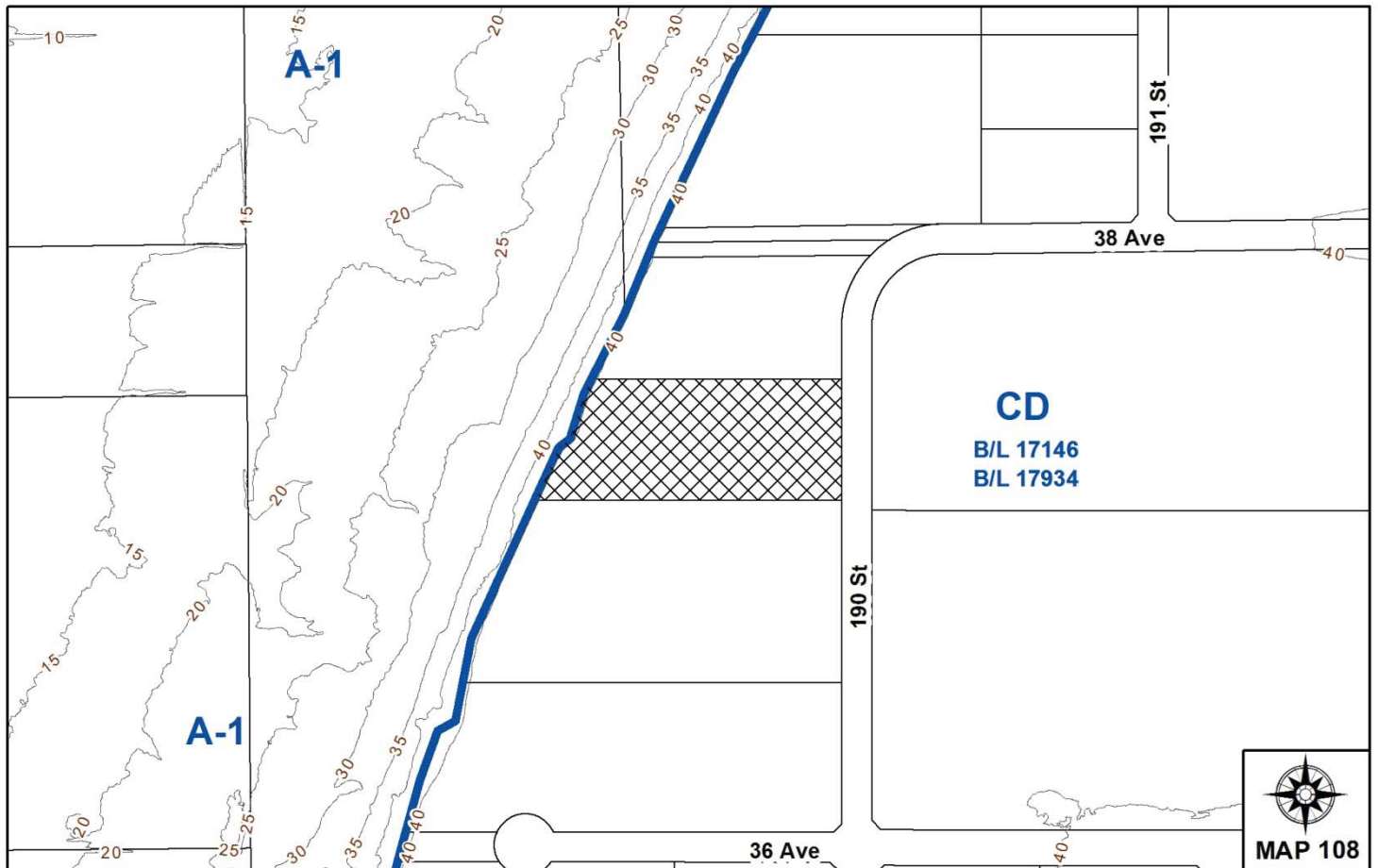
to permit the development of a multi-tenant industrial building.

LOCATION: 3757 - 190 Street

ZONING: CD (By-law No. 17146 and 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval to vary the Sign By-law through a comprehensive sign design package.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing variances to the Sign By-law.

RATIONALE OF RECOMMENDATION

- Complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The applicant is proposing signage that will project 0.3 metre (1 ft.) from the building which is not permitted under the Sign By-law. The proposed increased projection for the signs will facilitate visibility and wayfinding. The proposed signage is of high-quality, is well-coordinated and provides visual interest to the architecture of the building.
- The form and character of the proposed building are appropriate for this part of Campbell Heights and consistent with the guidelines outlined in the General Development Permit and Design guidelines for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0479-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (b) registration of a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site; and
 - (c) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix IV.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: The site is a vacant pre-serviced lot, devoid of trees and vegetation.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North:	Vacant industrial land	Business Park	CD (By-law No. 17146 and 17934)
East (Across 190 Street):	Vacant industrial land	Business Park	CD (By-law No. 17146 and 17934)
South:	Vacant industrial land (under Development Application No. 7917-0538-00)	Business Park	CD (By-law No. 17146 and 17934)
West:	Park	Open Space Corridor/Buffer	A-1

DEVELOPMENT CONSIDERATIONS

Context

- The subject 1.51 hectare (3.73 acres) site is located on the west side of 190 Street, south of 38 Avenue. The site is designated Mixed Employment in the Official Community Plan (OCP) and Business Park in the Campbell Heights Local Area Plan.
- The site is bounded by mixed-employment lands to the north, east and south, and by a City-owned greenbelt to the west. The greenbelt is part of the Biodiversity Conservation Strategy and was purchased as part of a previous application.
- The property was rezoned from A-1 to CD (based on IB-2) as part of Development Application No. 7910-0032-00, that also created design guidelines through a General Development Permit. Development Application No. 7914-0294-00 further subdivided the area into the current lots.
- CD By-law No. 17146, as amended by By-law No. 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The site was cleared and serviced for development under the original rezoning and subdivision applications. There are no trees or vegetation on the site.

Proposal

- The applicant is proposing a Development Permit for a multi-tenant industrial building that will contain 7 units.
- The development proposes a gross floor area of 6,104 square metres (65,700 sq. ft.), representing a net floor area ratio (FAR) of 0.46, which is less than the 1.0 FAR permitted in the CD (By-law No. 17146 and 17934) Zone.
- The applicant is Powerhouse Building Solutions Inc., and they propose to occupy the larger unit at the western portion of the site, and lease the other 6 units. Powerhouse Building Solutions currently has an office in Campbell Heights and a warehouse in South Westminster, and this development will allow them to consolidate the office and warehouse under one building.
- The development comprises of a multi-tenant building for 4 to 7 different users. The owner will be occupying the larger unit for Powerhouse Building Solutions Inc.

Hazard Lands – Steep Slope Interface

- The western side of the subject site is adjacent to a Hazard Lands Development Permit Area for steep slopes located within the greenbelt to the west. A geotechnical report was prepared as part of Development Application No. 7908-0266-00, whereby a 5 metre (16 ft.) setback was established from the slope area. A restrictive covenant is registered on title delineating the setback and protecting the area from any construction work. In addition, CD By-law No. 17146 requires that all buildings be setback at least 5 metres (16 ft.) from the west property line.

- The applicant has provided confirmation from a geotechnical engineer that the proposed development poses no risk to the steep slope area.
- As part of this development proposal, the setback is being protected in accordance with the CD By-law and the restrictive covenant registered on title. As the proposed development will be setback sufficiently from the steep slopes, and the entire 5 metre setback is proposed to be landscaped, staff has no concerns from a hazard lands perspective.

Air Emissions

- At the April 3, 2017 Regular Council –Land Use meeting, Council instructed staff to review the City’s business park zones and subsequently provide a report regarding the Metro Vancouver air emissions permitting process.
- Because the review of the business park zones has not been completed, staff are recommending that the applicant register a restrictive covenant to prohibit any business that requires a Metro Vancouver air quality permit from locating on the site.
- If any applicable amendments to the business park zones are completed before the subject application receives final approval, the requirement for the restrictive covenant may no longer apply.

PRE-NOTIFICATION

On December 23, 2017 a development sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comments. The LCWS has indicated no objection to the proposal. Staff have received no other responses for the proposal.

DESIGN PROPOSAL AND REVIEW

Building and Site Design

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the OCP, and is reflective of the existing design standards within the area, as well as guidelines from General Development Permit No. 7910-0032-00 which regulates development in this portion of Campbell Heights. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The building is proposed to have a modern linear appearance. The building is proposed as a concrete tilt-up with longboard metal cladding in Light Pine colour, vision glazing and spandrel glazing. Colours for the concrete panels are proposed in grey and brown.
- Glazing and detailed reveal lines break up the building façade along 190 Street. A weather protection canopy is proposed at the principal building entrance, which frames the entrance to the building on 190 Street.

Signage

- A free standing sign is proposed close to the main entrance, which will show the site address, complex name and includes space for 6 tenants. The sign is 2.4 metres (8 ft.) in height and 1.8 metres (6 ft.) in width. The sign is proposed in concrete and longboard material in Light Pine colour to match the building. The sign is architecturally coordinated with the building including for materials and colours.
- The applicant is proposing channel letter fascia signs on projecting blades along the south façade. To facilitate wayfinding given the shape of the building and vehicular movements, the signs are proposed as projecting signs. A maximum of 7 signs are proposed, with a maximum one signage per premise. The proposed signage meets the maximum sign area permitted under the Sign By-law, is of high-quality, and well-coordinated. The scale of the signage is appropriate for the building and the Campbell Heights context.
- The applicant proposes to vary the Sign By-law by way of a comprehensive sign design package and Development Permit, to permit fascia signs to project 0.91 metres (3 ft.) from the building, as described in Appendix II. The Sign By-law does not allow projections more than 0.5 metres (1.6 ft.) from the building face. The Sign By-law allows Council to vary the Sign By-law through approval of a Development Permit that contains a comprehensive sign design package.

Landscaping

- The proposed landscaping consists of a 7.5 metres (25 ft.) wide landscape strip along 190 Street, a 5.0 metres (16 ft.) wide landscape strip along the west property line, adjacent to the greenbelt, and a 1.5 metre (5 ft.) wide landscape strip along the south property line.
- Landscaping has been designed with high quality drought resistant planting.
- Benches are provided at the principal entrance off of 190 Street.
- The landscaping plans have been reviewed by staff and found to be generally acceptable.

Access and Parking

- Two accesses are proposed to the site: the northern one will be used for staff and loading, and the southern one for vehicles only (staff and visitors). A 7.5 metre (25 ft.) two-way drive aisle is proposed along the north portion of the site, and a 6 metre (20 ft.) vehicle drive aisle is proposed along the southern portion of the site. The main pedestrian entrance is adjacent to the vehicle access.
- The proposal includes a total of 90 parking stalls, which exceeds the minimum 88 parking spaces required under the Zoning By-law. This includes 3 disabled parking and 20 tandem parking spaces. Most of the parking is located along the south property line, with some stalls for staff located between the loading bays and along the northeast portion of the site. There are 24 loading stalls proposed.

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The proposed development includes 1,002 square metres (10,785 sq. ft.) of mezzanine office space, which represents approximately 17% of the proposed ground floor area. The applicant has agreed to register a Section 219 Restrictive Covenant restricting the maximum mezzanine space to be constructed to avoid a situation where there may be insufficient parking for the future development of the site. The applicant is providing two (2) extra parking stalls, so the mezzanine space will be limited to 21.5%.

TREES

- An arborist report was not required as there are currently no trees and little vegetation on the property.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies the site as within the Campbell Heights BCS management area, with a High ecological value.
- The BCS further identifies the GIN area adjacent to the subject site as having a High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommended Corridor was achieved through the previous rezoning and subdivision Development Application No. 7910-0032-00. Because the corridor was achieved through the previous application, a Sensitive Ecosystems Development Permit is not required for this application.
- The development proposal enhances the BCS corridor by providing a minimum 5 metres (16 ft.) landscape buffer and fencing along the west boundary of the subject site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 10, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development incorporates rain water management design: <ul style="list-style-type: none"> ○ Absorbent soils (minimum 300 mm in depth); ○ On-lot infiltration trenches or sub-surface chambers; ○ Bio-swales; ○ Natural landscaping; and

Sustainability Criteria	Sustainable Development Features Summary
	<ul style="list-style-type: none"> ○ Sediment control devices.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> ● Bicycle parking will be provided on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> ● CPTED principles haven been incorporated on the site design
6. Green Certification (F1)	<ul style="list-style-type: none"> ● N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> ● N/A

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City staff and found acceptable.
- The proposed development was evaluated based on compliance with the design guidelines approved under General Development Permit No. 7910-0032-00, the Campbell Heights Local Area Plan Design Guidelines and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Tables
- Appendix III. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix IV. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Krahn Group of Companies and KD Planning & Design Ltd., respectively, dated November 27, 2017 and November 23, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 and 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		15,102.31 m ² (3.73 acres)
Net Total		15,102.31 m ² (3.73 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	40.22%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	7.5 m
Side #1 (N)	7.5 m	22 m
Side #2 (S)	7.5 m	15.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	11 m
Accessory	6 m	n/a
FLOOR AREA: Industrial	15,102.31 m ²	6,882.30 m ²
DENSITY		
FAR (net)	1.0	0.46
PARKING (number of stalls)		
Industrial	88	90
Number of tandem parking stalls	50% (44 stalls)	20
Number of accessible stalls		3
Number of small cars		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow all fascia signs to project 0.92 metres (3 ft.) from the building face.	The <i>sign</i> shall not project more than 0.5 m (1.6 ft.) in front of the building face to which it is attached. (Part 5, Section 27(2)(f))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building, and the additional projection will assist with wayfinding. Furthermore, the signs are of high-quality and are architecturally well coordinated with the building.



Krahn
GROUP OF COMPANIES

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400-34077 GLADYS AVENUE, ABBOTSFORD B.C. V2S 2E8
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115-2025 WESTHILL BLVD, VANCOUVER B.C. V6M 2C4
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Integrated
POWER SOLUTIONS

POWER
POWERHOUSE BUILDING SOLUTIONS INC.

6	13.12.2017	RE-ISSUED FOR DEVELOPMENT
5	11.27.2017	RE-ISSUED FOR DEVELOPMENT
4	05.10.2017	ISSUED FOR DEVELOPMENT
3	22.08.2017	ISSUED FOR DRG REVIEW
2	15.08.2017	ISSUED FOR OF REVIEW
1	11.08.2017	ISSUED FOR OF REVIEW
NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

POWER-HOUSE BUILDING SUPPLIES

3757 190 STREET, SURREY, BC

SHEET LIST

ARCHITECTURAL

- DP1.1 COVER PAGE
- DP1.2 PERSPECTIVES
- DP1.3 PERSPECTIVES
- DP2.1 SITE PLAN
- DP2.2 FIRE TRUCK SIMULATIONS
- DP2.2 SITE PLAN - BASE
- DP2.3 SITE SECTIONS, STREETSCAPE
- DP2.4 SHADOW STUDIES
- DP2.5 SITE & FREE STANDING SIGN DETAILS
- DP2.6 SIGN & SCREEN WALL DETAILS
- DP3.1 FLOOR PLANS
- DP3.2 TYP. UNIT OFFICE LAYOUT
- DP3.3 ROOF PLAN
- DP4.1 ELEVATIONS
- DP4.2 ELEVATIONS
- DP5.1 BUILDING SECTIONS

STRUCTURAL

MECHANICAL

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT
1952 BRACKMAN WAY
SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA

BUILDING DESIGN

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CONTACT: DARREN CRUIKSHANKS

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CIVIL

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CONTACT: STUART MACGREGOR

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CONTACT: CHAD NIWRANSKI

LANDSCAPE

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CONTACT: SUZANNE GRATHAM

larry podhora / architect
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME
POWER-HOUSE BUILDING SUPPLIES

PROJECT ADDRESS
3757 190 STREET, SURREY, BC

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COVER PAGE

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1 PERSPECTIVE VIEW 1
SCALE:



2 PERSPECTIVE VIEW 2
SCALE:

NO.	DATE	YMD	DESCRIPTION
6	13.12.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
5	11.27.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
4	05.10.2017		ISSUED FOR DEVELOPMENT PERMIT
3	22.08.2017		ISSUED FOR DRG REVIEW PERMIT
2	15.08.2017		ISSUED FOR OF REVIEW PERMIT
1	11.08.2017		ISSUED FOR OF REVIEW PERMIT

ISSUES AND REVISIONS

SEAL

larry podhora / architect
1982 BROOKMAN WAY, NORTH SAARIC, B.C. V6C 5C7

PROJECT NAME
**POWER-HOUSE
BUILDING SUPPLIES**

PROJECT ADDRESS
3757 190 STREET, SURREY, BC

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PERSPECTIVES

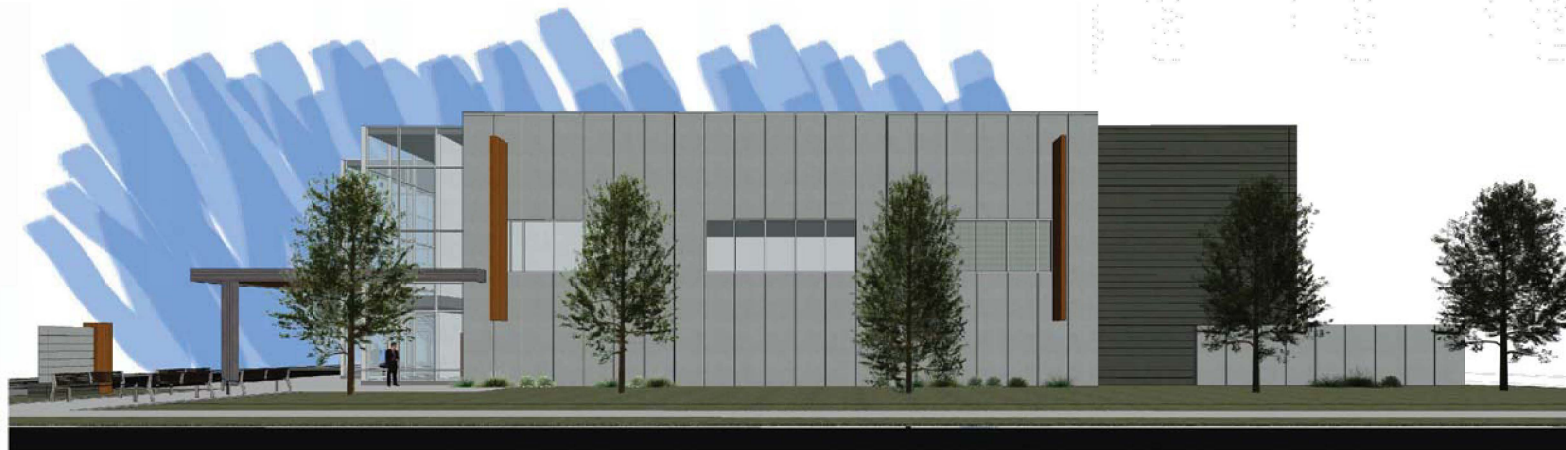
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1 PERSPECTIVE VIEW 3
SCALE:



2 PERSPECTIVE VIEW 4
SCALE:



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VANCOUVER OFFICE
115 200 WEST 41ST VANCOUVER B.C. V6B 5C4
T: 604 264-8863 F: 604 264-8865 WWW.KRAHN.COM



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4	06.10.2017		ISSUED FOR DEVELOPMENT PERMIT
3	22.08.2017		ISSUED FOR DRG REVIEW
2	16.08.2017		ISSUED FOR OF REVIEW
1	11.08.2017		ISSUED FOR OF REVIEW
NO.	DATE	YMD	DESCRIPTION
ISSUES AND REVISIONS			

SEAL

larry podhora / architect
1882 BROADWAY WYV, NORTH SAARIC, B.C. V6C 5C7

PROJECT NAME
**POWER-HOUSE
BUILDING SUPPLIES**

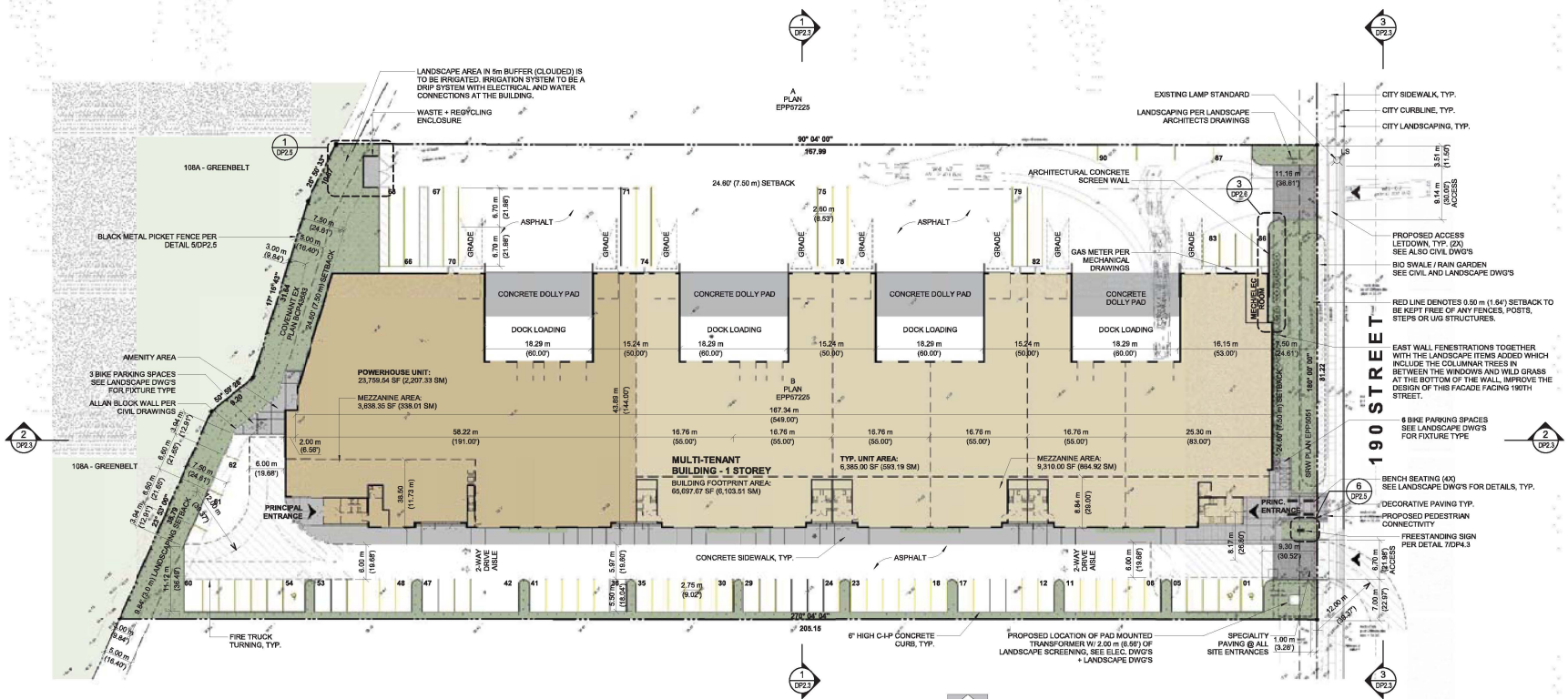
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PERSPECTIVES

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PROJECT NO.: 170548-A
DRAWING NO.:

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PROJECT DATA

CIVIC ADDRESS: 3757 190 STREET, SURREY, BC
 LEGAL ADDRESS: LOT B SECTION 28 TOWNSHIP 7 PLAN EPP97225 NWD
 ZONING: CD (COMPREHENSIVE DEVELOPMENT)
 BUILDING USE: MIXED-USE LIGHT INDUSTRIAL

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING:
 CURRENT: CD (COMPREHENSIVE DEVELOPMENT)
 PROPOSED: IL (LIGHT IMPACT INDUSTRIAL)

2. SITE AREA:
 192,559.87 SF [3.73 acres] [15,162.31 m²] [1.51 hectare]

3. SITE COVERAGE + BUILDING AREA:
 BUILDING FOOTPRINT AREA CALCULATIONS

PROP. SITE BLDG	BLDG	MAX. SITE COVERAGE	MAX. SITE AREA (SF)	MAX. SITE COVERAGE (SM)
40.22%	56,897.87	16,103.81	40,095	16,103.81

 GROSS FLOOR AREA CALCULATIONS

OCCUPANCY	LEVEL	AREA (SF)	AREA (SM)
INDUSTRIAL	MAIN FLOOR	83,295.46	8,860.34
OFFICE	MEZZANINE	10,785.03	1,001.96
GROSS FLOOR AREA		74,080.49	6,862.30

 PROPOSED FAR ALLOWABLE FAR: N/A
 NOTE: GFA AND FAR CALC'S EXCLUDE STAIRS ON ALL LEVELS.

4. BUILDING HEIGHT:
 MAXIMUM HEIGHT: 60.00' (18.00m)
 PROPOSED HEIGHT: 36.00' (10.97m)

5. REQUIRED SETBACKS:
 FRONT YARD SETBACK: 25.00' (7.50m)
 REAR YARD SETBACK: 25.00' (7.50m)
 SIDE YARD SETBACK: 25.00' (7.50m)
 SIDE YARD SETBACK FLANKING STREET: 25.00' (7.50m) OR 0.00' (0.00m)

6. LANDSCAPING REQUIREMENTS
 ALONG THE DEVELOPED SIDES OF THE LOT WHICH ADJACENT A HIGHWAY, A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES [5 FT.] IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.

7. PARKING AND LOADING: INDUSTRY LIGHT IMPACT

1 SPACE PER 1,078.00 SF (100.00 SM) GFA

OCCUPANCY	LEVEL	AREA (SF)	STALLS
INDUSTRIAL	MAIN FLOOR	83,295.46	58.88
TOTAL STALLS			58.88

REQUIRED: 1 SPACE PER 430.00 SF (39.84 SM) GFA

OFFICE: 12,948.39 SF 30.11
 TOTAL STALLS: 30.11

TOTAL STALLS REQUIRED: 88 (88.35)
 TOTAL STALLS PROVIDED: 90

PARKING DIMENSIONS:
 STANDARD STALL: 9.02' (2.75m) W x 18.04' (5.50m) L
 SMALL CAR STALL: 9.02' (2.75m) W x 16.07' (4.90m) L
 ACCESSIBLE STALL: 12.12' (3.70m) W x 18.04' (5.50m) L
 PARALLEL STALL: 8.59' (2.60m) W x 21.96' (6.70m) L
 DRIVE ALLE @ 90 DEG: 21.96' (6.70m) W

TOTAL LOADING STALLS PROVIDED: 24.00

LOADING DIMENSIONS:
 13.12' (4.00m) W x 30.18' (9.20m) L

1 SITE PLAN
 SCALE: 1" = 30'-0"



2 CONTEXT MAP
 SCALE: 1" = 300'-0"

NO.	DATE	DESCRIPTION	
6	13.12.2017	RE-ISSUED FOR DEVELOPMENT PERMIT	
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ISSUES AND REVISIONS

SCALE

larry podhora / architect
 1983 BROOKMAN HWY, NORTH SAATCHI, B.C. V6C 1C7

PROJECT NAME
POWER-HOUSE BUILDING SUPPLIES

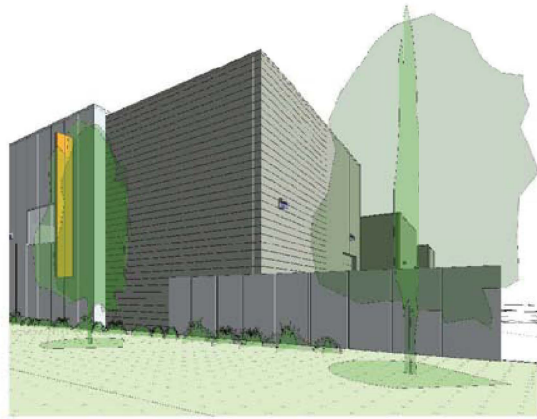
PROJECT ADDRESS
 3757 190 STREET, SURREY, BC

DRAWING TITLE
SITE PLAN

SCALE	As Indicated
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CHECKED	LPD/C
PROJECT NO.	170548-A
DRAWING NO.	

DP2.1

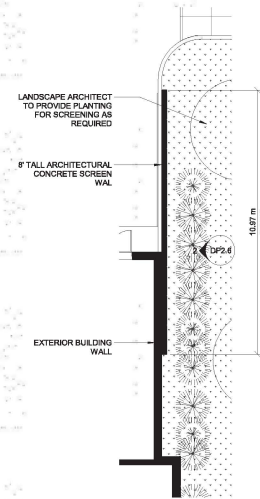
THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



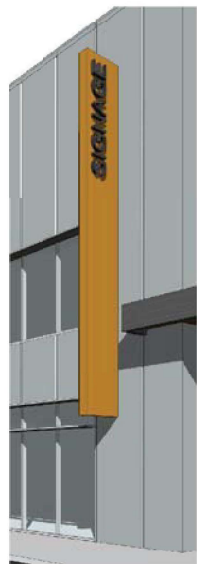
1 8' TALL CONCRETE SCREEN WALL - PERSPECTIVE
SCALE:



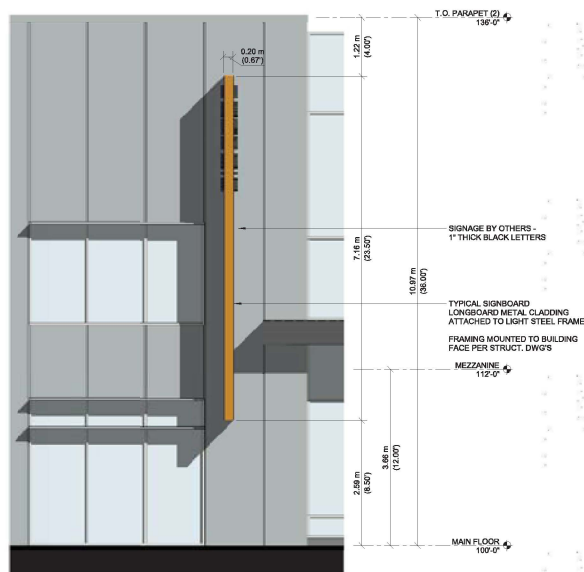
2 8' TALL CONCRETE SCREEN WALL - EAST ELEVATION
SCALE: 1/8" = 1'-0"



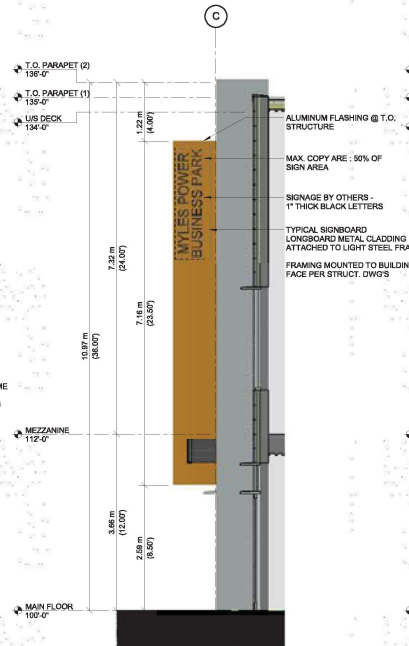
3 8' TALL CONCRETE SCREEN WALL
SCALE: 1/8" = 1'-0"



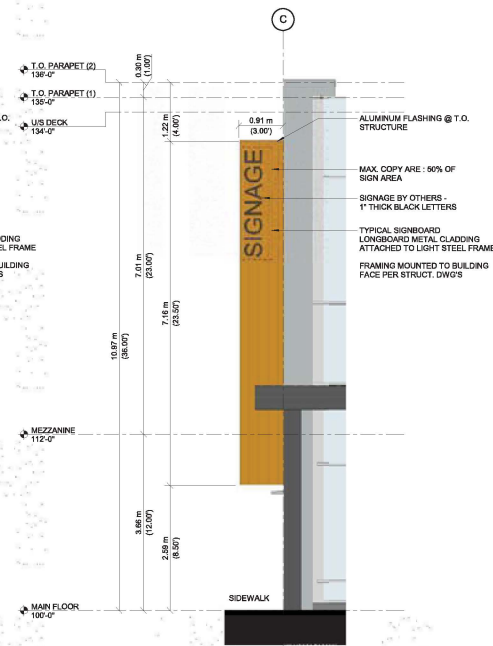
4 TYP. SIGNBOARD PERSPECTIVE
SCALE:



5 TYP. SIGNBOARD - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6 POWERHOUSE SIGN BOARD - SIDE ELEVATION
SCALE: 1/4" = 1'-0"



7 TYP. SIGNBOARD - SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DATE	YMD	DESCRIPTION
6	13.12.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
5	11.27.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
4	05.10.2017		ISSUED FOR DEVELOPMENT PERMIT
3	22.08.2017		ISSUED FOR DRG REVIEW
2	15.08.2017		ISSUED FOR OF REVIEW
1	11.08.2017		ISSUED FOR OF REVIEW

NO. DATE YMD DESCRIPTION

ISSUES AND REVISIONS

SEAL

larry podhora / architect
1982 BROADMAN WAY, NORTH SAARIC, B.C. V6C 1K7

PROJECT NAME
POWER-HOUSE BUILDING SUPPLIES

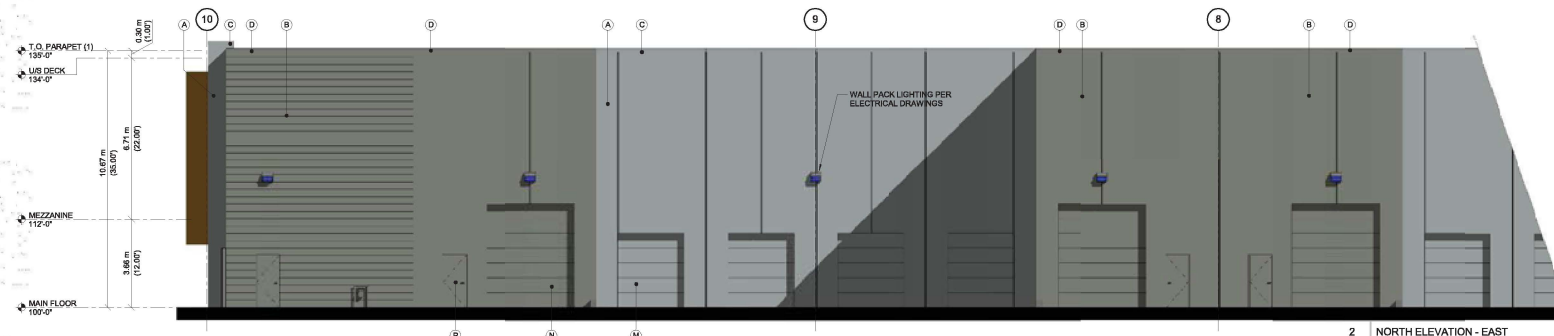
PROJECT ADDRESS
3757 190 STREET, SURREY, BC

DRAWING TITLE
SIGN & SCREEN WALL DETAILS

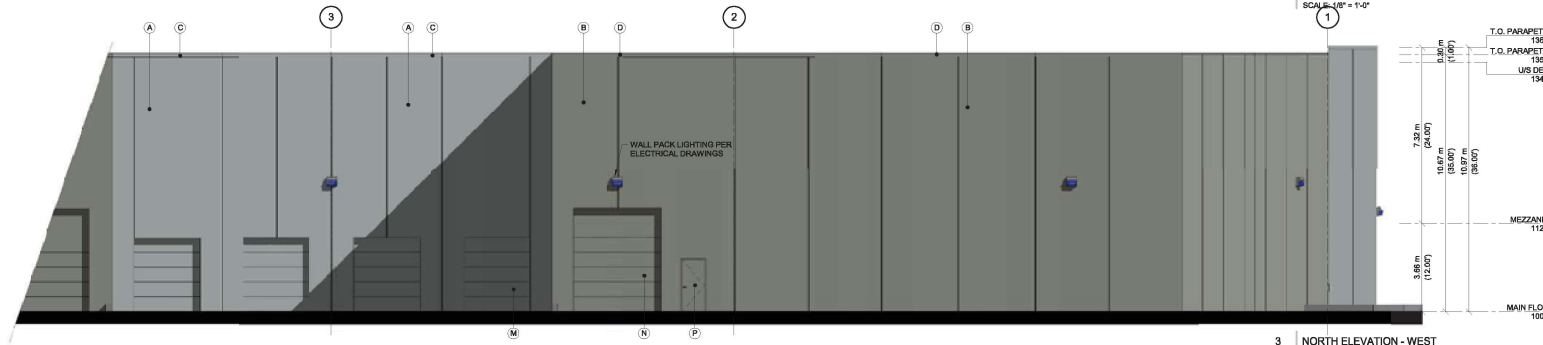
SCALE	As Indicated
DRAWN	Author
CHECKED	Checker
PROJECT NO.	170548-A
DRAWING NO.	

DP2.6

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2 NORTH ELEVATION - EAST
SCALE: 1/8" = 1'-0"



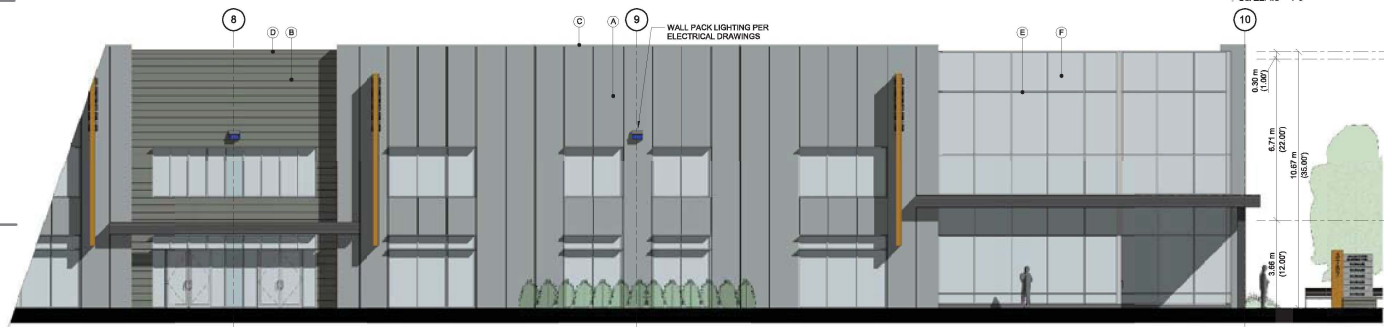
3 NORTH ELEVATION - WEST
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

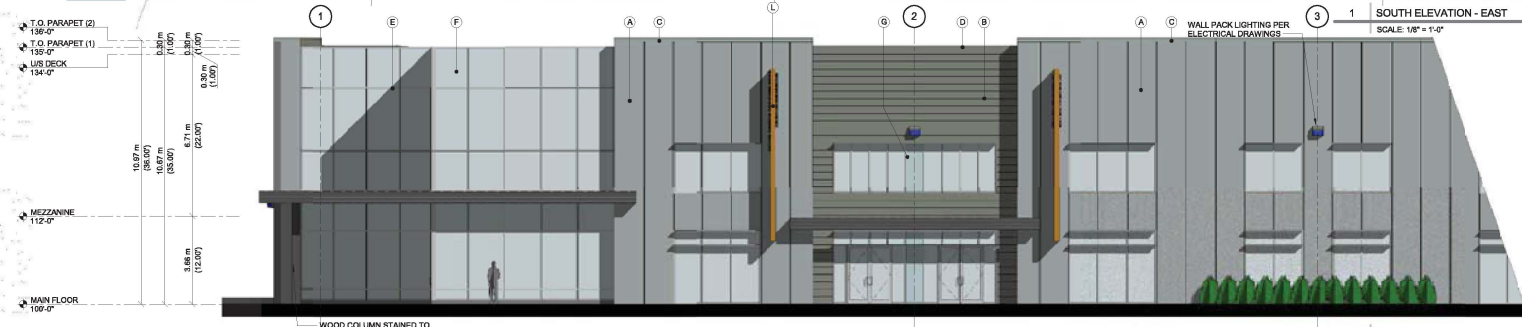
A	CONCRETE TILT-UP PANEL	PAINTED: C1
B	CONCRETE TILT-UP PANEL	PAINTED: C2
C	PRE-FORMED ALUMINUM FLASHING	PAINTED: C1
D	PRE-FORMED ALUMINUM FLASHING	PAINTED: C2
E	THERMALLY BROKEN EXTRUDED ALUMINUM MULLION	GLAZING COLOUR 1
F	VISION GLAZING	SPANDREL COLOUR 1
G	SPANDREL GLAZING	PRE-FINISHED: LIGHT PINE
L	LONGBOARD METAL CLADDING	PAINTED: C1
M	METAL OVERHEAD DOOR	PAINTED: C2
N	METAL OVERHEAD DOOR	PAINTED: C1
P	METAL MAN DOOR	PAINTED: C2

PROJECT COLOURS

C1	BENJAMIN MOORE	MARINA GRAY - 1599
C2	BENJAMIN MOORE	COS COB STONEWALL - 1483
GLAZING - COLOUR 1		
SPANDREL - COLOUR 1		



1 SOUTH ELEVATION - EAST
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION - WEST
SCALE: 1/8" = 1'-0"

WOOD COLUMN STAINED TO MATCH LONGBOARD CLADDING, TYP. (20)

NO.	DATE	YMD	DESCRIPTION
6	13.12.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
5	11.27.2017		RE-ISSUED FOR DEVELOPMENT PERMIT
4	06.10.2017		ISSUED FOR DEVELOPMENT PERMIT
3	22.08.2017		ISSUED FOR DRG REVIEW
2	18.08.2017		ISSUED FOR OF REVIEW
1	11.08.2017		ISSUED FOR OF REVIEW

ISSUES AND REVISIONS

SCALE

larry podhora / architect
1982 BROADWAY WYV, NORTH SAUVAGE, B.C. V6L 5Z7

PROJECT NAME
POWER-HOUSE BUILDING SUPPLIES

PROJECT ADDRESS
3757 190 STREET, SURREY, BC

DRAWING TITLE
ELEVATIONS

SCALE: 1/8" = 1'-0"
DRAWN: LS
CHECKED: LP
PROJECT NO.: 170548-A
DRAWING NO.

DP.2

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LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE ENTRANCE
- METAL PICKET FENCE
- BENCH
- BIKE RACK

3	14/19/17	RE-USED FOR DP
4	23/11/17	RE-USED FOR DP
3	22/11/17	RE-USED FOR REVIEW
2	05/19/17	RE-USED FOR DP
1	11/08/17	ISSUED FOR REVIEW
NO.	DATE: (dmy)	DESCRIPTION:
ISSUES & REVISIONS:		
SCALE:		



PROJECT NAME:
POWER-HOUSE BUILDING SUPPLIES

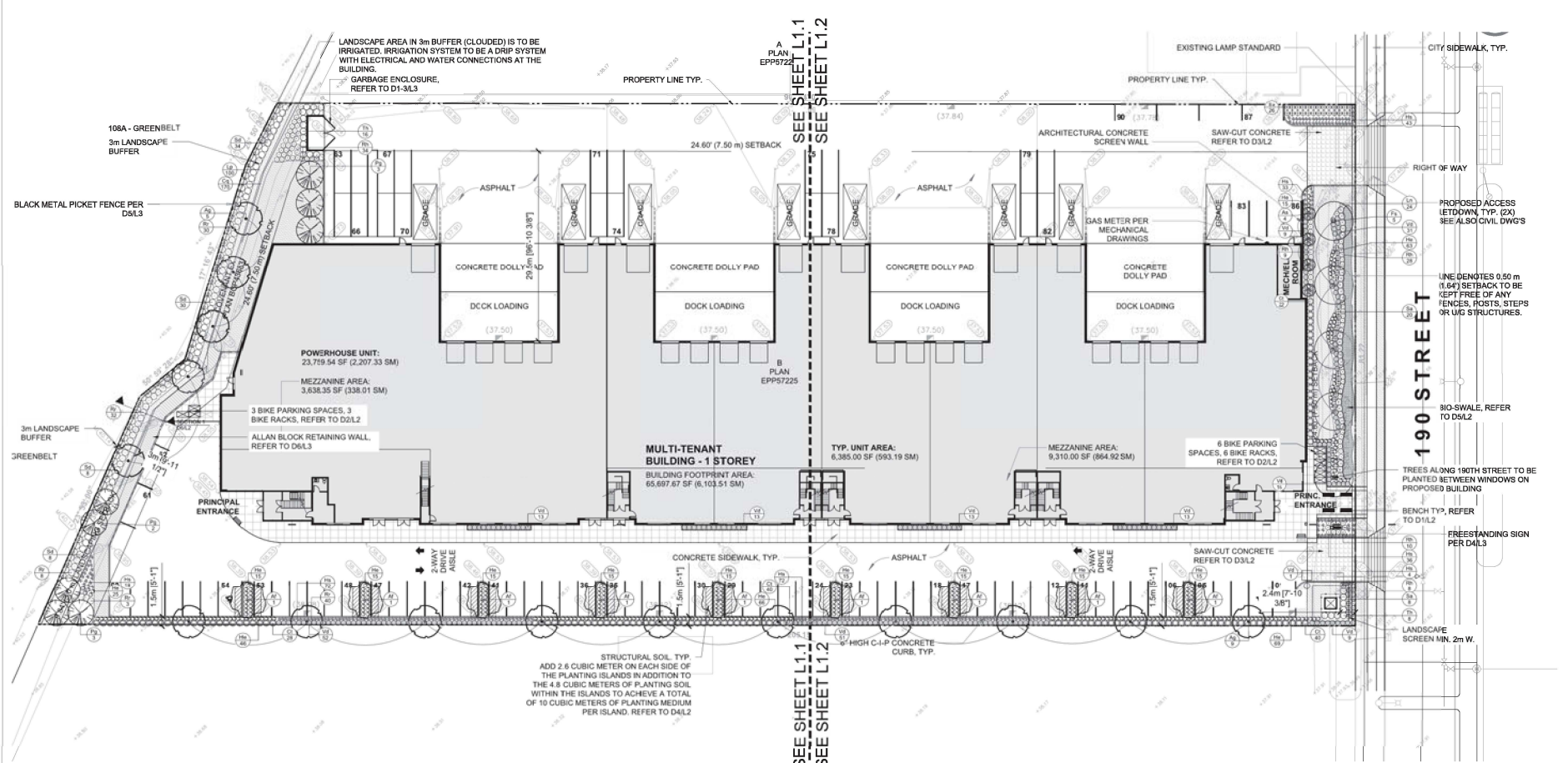
PROJECT ADDRESS:
3787 190TH STREET SURREY, BC

DRAWING TITLE:
OVERALL LANDSCAPE PLAN, LAND NOTES

SCALE: 1:500
DRAWN: RM
CHECKED: ST
PROJECT NO: 170149

DRAWING NO:
L1

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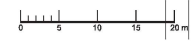


- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
Af	5	Acer freemanii	Freeman's Maple	5cm cal.	As shown	W.B.
Ag	15	Acer ginnala 'Flame'	Flame Maple	5cm cal.	As shown	W.B.
Fe	5	Fagus sylvatica	European Beech	5cm cal.	As shown	W.B.
CONIFEROUS TREES						
Pg	8	Picea glauca densata	White Spruce	2.5m ht.	As shown	W.B.
SHRUBS						
As	4	Amenlandier canadensis	Serviceberry	1.5m ht.	As shown	B & B
Ci	130	Choisya ternata	Mexican Orange Blossom	60cm ht.	1m	#3 Pot
Ln	23	Lonicera nitida 'Lemon Beauty'	Boxleaf honeysuckle	50cm ht.	0.6m	#2 Pot
Rh	89	Rhododendron 'English Roseum'	English Roseum Rhododendron	50cm ht.	0.6m	#2 Pot
Rr	73	Rosa rugosa	Rugosa Rose	50cm ht.	1m	#3 Pot
Sa	54	Spiraea albiflora	Japanese White Spiraea	50cm ht.	0.6m	#2 Pot
Sd	80	Spiraea douglasii	Douglas Spiraea	60cm ht.	1m	#3 Pot
Th	24	Thuja occidentalis 'Smargad'	Emerald Green Cedar	1.5m ht.	1m	B & B
Vd	220	Viburnum davidii	David's Viburnum	50cm ht.	0.6m	#2 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
Cg	170	Cornus amomum	Cornus			#1 Pot
Hs	400	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily			#1 Pot
Hs	278	Helictotrichon sempervirens	Blue Cat Grass			#1 Pot
Lp	100	Lupinus polyphylus	Large-Leaved Lupine			#1 Pot



LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE ENTRANCE
- METAL PICKET FENCE
- BENCH
- BIKE RACK

8	14/10/17	RE-ISSUED FOR DP
4	23/11/17	RE-ISSUED FOR DP
3	22/11/17	RE-ISSUED FOR REVIEW
2	09/10/17	RE-ISSUED FOR DP
1	11/08/17	ISSUED FOR REVIEW

NO. DATE: (mm/yy) DESCRIPTION
ISSUES & REVISIONS:

SCALE:



PROJECT NAME:

**POWER-HOUSE
BUILDING SUPPLIES**

PROJECT ADDRESS:
**3787 190th STREET
SURREY, BC**

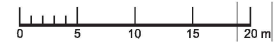
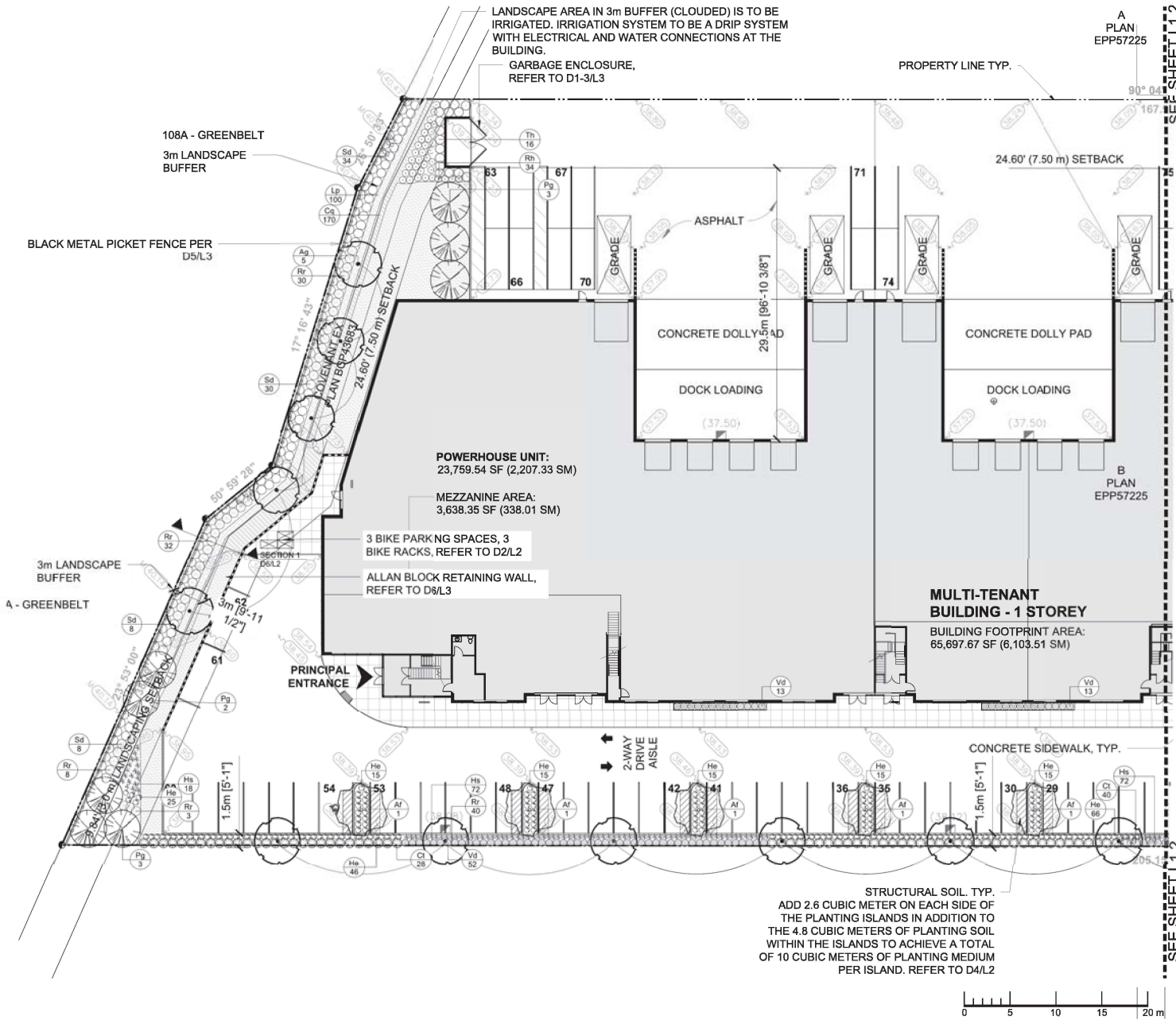
DRAWING TITLE:
ENLARGEMENT PLAN

SCALE:	1:200
DRAWN:	RM
CHECKED:	ST
PROJECT NO.:	170148

DRAWING NO.:

L1.1

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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Dec 19, 2017** PROJECT FILE: **7817-0479-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3757-190 Street**

DEVELOPMENT PERMIT

The applicant requests a Development Permit in order to construct a multi-tenant industrial building with a floor area approximately 6,855.00 sq.m. including office space. There are no engineering requirements relative to the Development Permit.

BUILDING PERMIT

The site is being serviced under Surrey Project 7814-0294-00 for which works have not been fully completed yet. Some of these works may be required prior to issuance of the Building Permit.

The following are to be addressed prior to issuance of the Building Permit:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7814-0294-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required;
- Construct driveway letdowns to City standard (11.0m concrete driveway at 3.0 m offset from property line); and
- Design/Construct on site infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7814-0294-00 and Restrictive Covenants on title.

The applicant is advised to review the sustainable drainage and water quality control restrictive covenants registered on title prior to submitting building permit application.



Rémi Dubé, P.Eng.
Development Services Manager
LR1