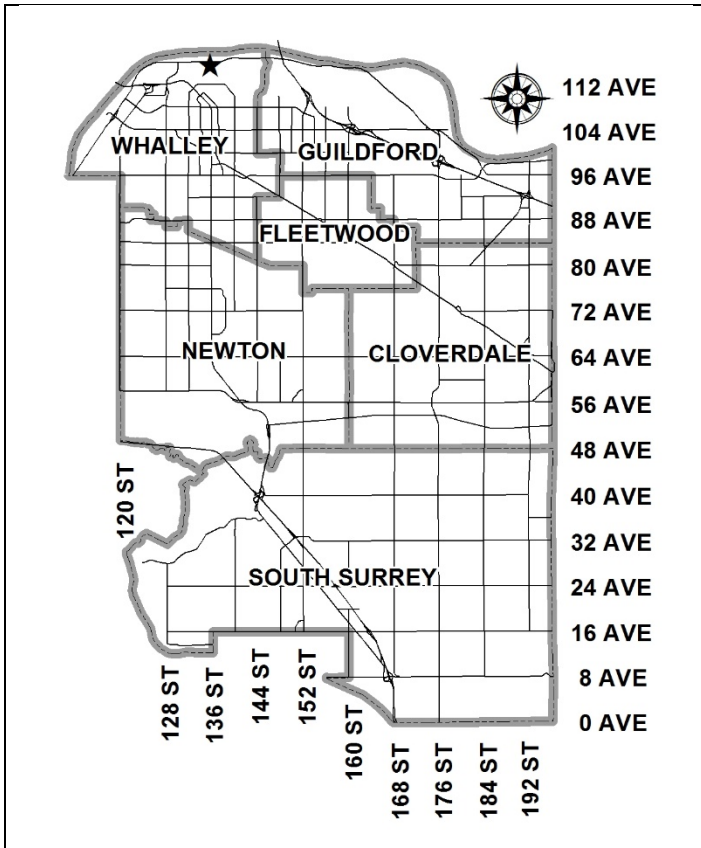


City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7917-0470-00
 7917-0470-01

Planning Report Date: May 27, 2019



PROPOSAL:

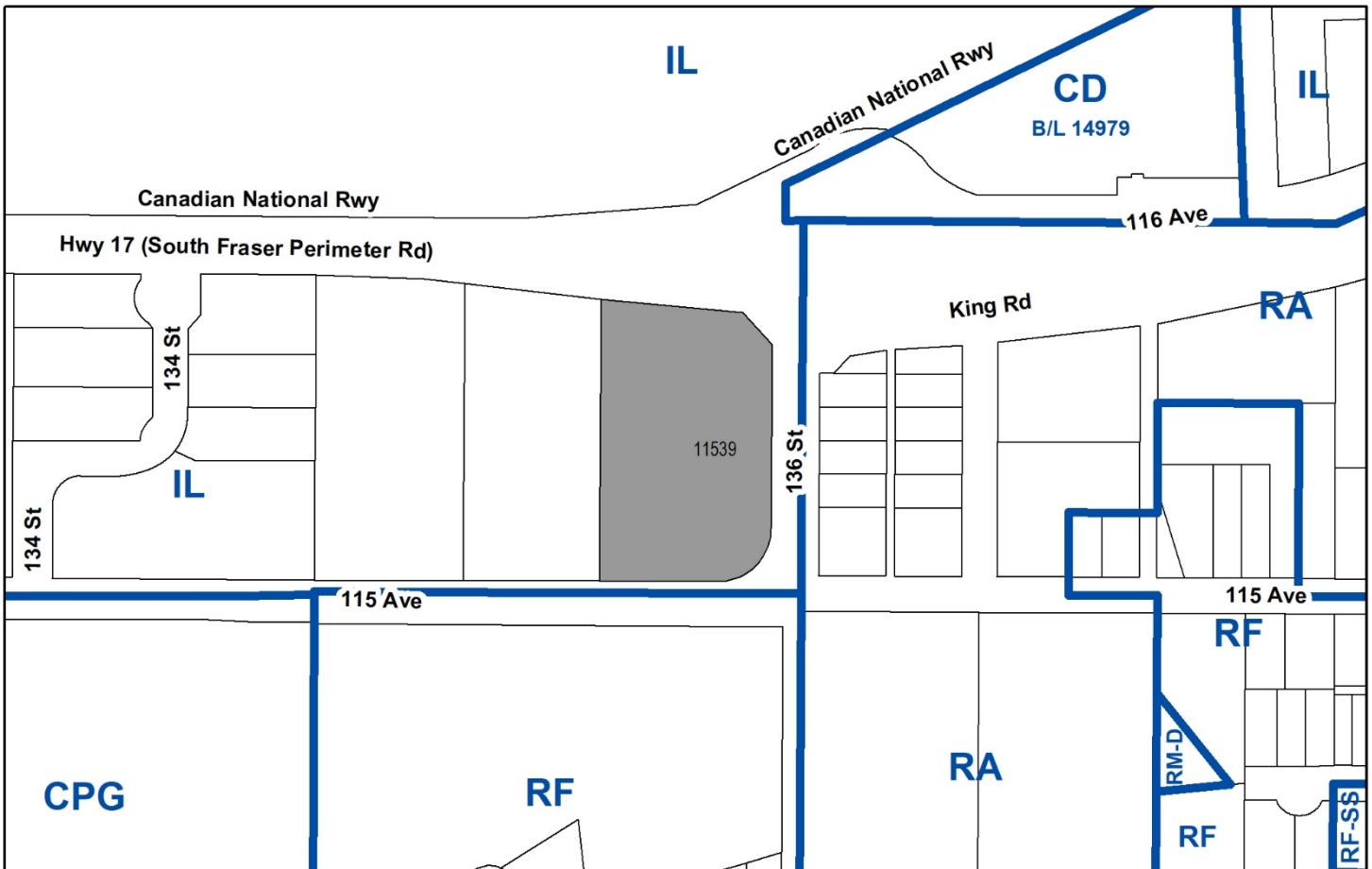
- Development Permit
- Development Variance Permit

to reduce the minimum streamside setback area for a Class A/O Ditch, as measured from top-of-bank, in order to accommodate an industrial warehouse building on the lot.

LOCATION: 11539 - 136 Street

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft the Sensitive Ecosystems (Streamside) Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A variance is proposed to reduce the minimum streamside setback area for a Class A/O Ditch from 10 metres (33 ft.) to 5 metres (16 ft.), as measured from top-of-bank.

RATIONALE OF RECOMMENDATION

- A Class A/O Ditch runs along the east property boundary of the subject site and is located within the 136 Street road allowance.
- A Development Permit (No. 7917-0470-00) to permit an industrial warehouse building on the site received approval to draft by Council on May 7, 2018 and is close to Development Permit and Building Permit issuance. A soil permit for the site has also been issued and the site has completed pre-loading requirements.
- The subject ditch was previously considered to be a Class C watercourse, which does not classify as a "stream" and does not have setback or retention requirements associated with this classification. It has subsequently been determined, through additional environmental reports and review, that the watercourse classification is an A/O Ditch. The setback requirements for an A/O ditch is 10 metres (33 ft.) from top-of-bank.
- Adhering to the required setbacks under the Zoning By-law would not leave adequate space to allow for a functional industrial warehouse building with the required parking.
- The project Qualified Environmental Consultant (QEP) has submitted an Ecosystem Development Plan (EDP) and detailed Riparian Areas Regulations (RAR) Assessment which recommends a RAR Streamside Protection and Enhancement Area (SPEA) setback of 5 metres (16 ft.)
- The applicant's QEP has provided an Ecosystem Development Plan (EDP) a Riparian Restoration Plan and a Construction Environmental Management Plan (CEMP) which propose the following measures:
 - The applicant will be required to register a combined Statutory Right-of-Way and Restrictive Covenant (SRW/RC) against the property to protect the Streamside Protection Area;
 - An additional 5-metre (16.5-ft.) wide combination Statutory Right-of-Way / Restrictive Covenant for No-Build will be established outside of the Streamside Protection Area;

-
- The proposed Streamside Protection Area will be improved through the removal of invasive species as well as the planting of native tree and shrub species and the installation of coarse woody debris, which are to be maintained and monitored by the applicant's QEP for a minimum of five (5) years; and
 - Securities will be held by the City to ensure that the recommendations of the accepted EDP/CEMP are followed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Sensitive Ecosystems (Streamside Areas) Development Permit No. 7917-0470-01, generally in accordance with the attached drawing (Appendix II and IV) and the Ecosystem Development Plan prepared by Hemmera and dated May 15, 2019.
2. Council approve Development Variance Permit No. 7917-0470-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum streamside setback area for a Class A/O Ditch from 10 metres (33 ft.) to 5 metres (15 ft.), as measured from top-of-bank.
3. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) registration of a combination Statutory Right-of-Way/Restrictive Covenant over the identified Streamside Protection Area;
 - (c) submission of a finalized Impact Mitigation Plan by the project Environmental Consultant, including a landscaping plan and cost estimate, to the specifications and satisfaction of the Planning and Development Department; and
 - (d) payment of the securities for the proposed planting and restoration plan outlined in the Ecosystem Development Plan.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant pre-loaded industrial land.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across South Fraser Perimeter Road):	CN Rail yard	Industrial	IL
East (Across 136 Street):	Vacant lot and single family homes; development application to construct a greater Vancouver sanitary overflow station	Industrial	RA
South (Across 115 Avenue):	Bolivar Park	Urban	RF
West:	Industrial warehouse/outdoor storage	Industrial	IL

DEVELOPMENT CONSIDERATIONSBackground

- The subject site, 13577 - 115 Avenue, is located along the South Fraser Perimeter Road in Bridgeview and is 1.47 hectares (3.63 ac.) in area.
- The site is designated Industrial in the Official Community Plan (OCP), zoned "Light Impact Industrial Zone (IL)", and is currently a vacant pre-loaded site.
- A Class A/O Ditch runs along the east property boundary of the subject site and is located within the 136 Street road allowance.
- There are existing industrial lands to the north and west, a future Greater Vancouver sanitary overflow station (under Development Application No. 7918-0101-00) to the east and Bolivar Park to the south.
- The approval to draft a Form and Character Development Permit, (Development Application No. 17-0470-00), received approval from Council at the May 7, 2018 Regular Council – Land Use meeting. The Development Permit (17-0470-00) is to allow for a 7,426 square metre (79,931 sq. ft.) multi-tenant industrial warehouse building.
- When the Development Permit was initially brought forward to Council in 2018, the subject ditch was considered to be a Class C watercourse, both by City staff and the environmental consultant. This classification meant that no setback or retention requirements were associated with the ditch. A soil permit for the site has also been issued on this basis, and the site has completed pre-loading requirements.

- It has subsequently been determined, through additional environmental reports, review and site visits, that the watercourse classification along 136 Street is an A/O Ditch. The Class C watercourse classification remains for the portion of the ditch along 115 Avenue.

Current Proposal

- The required streamside setback, under Surrey Zoning By-law, for a Class A/O Ditch is 10 metres (33 ft.). Increasing the setback to 10 metres (33 ft.) for the project would result in the elimination of 32 parking stalls and a reduced site and building area.
- The site is constrained in size and accommodating the 10 metre (33 ft.) streamside setback would result in reduced warehouse depths and loading areas, which would restrict the functionality of the industrial units.
- In addition, and in consideration of the fact that the Development Permit (7917-0470-00) received initial support from Council at the May 7, 2019 Council meeting, the current proposal is close to Development Permit and Building Permit issuance.
- In order to accommodate the existing building footprint, the applicant proposes to comply with the Riparian Areas Regulations (RAR) for streamside setbacks. As detailed below, the proposed streamside setback for the A/O ditch along the 136 Street is 5 metres (16 ft.).
- The Qualified Environmental Professional (QEP) conducted a detailed Riparian Areas Regulations (RAR) Assessment report which recommends an RAR Streamside Protection and Enhancement Area (SPEA) measured from the high water mark, equivalent to 5 metres (16 ft.) from the established top-of-bank.
- The applicant's QEP has provided an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP) which has been found to be acceptable by staff.

DESIGN PROPOSAL AND REVIEW

- In order to achieve the additional 5 metre (16 ft.) setback along 136 Street, the site plan has been adjusted to accommodate the existing building footprint and design.
- The parking spaces have been shifted to include parallel stalls along portions of the edges of the site. The required number of parking spaces proposed are consistent with the previous proposal.
- There has been a reduction in the amount of landscaping along the north property line from 3.5 metres (11 ft.) to 1.5 metres (5 ft.) and some of the landscaping islands within the parking area have been removed.
- The site plan and building footprint remain generally consistent with what was previously endorsed by Council in 2018.
- In order to accommodate the ditch within the road allowance, staff have eliminated the requirements for a sidewalk along the frontages.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum streamside setback area for a Class A/O Ditch from 10 metres (33 ft.) to 5 metres (16 ft.), as measured from top-of-bank.

Applicant's Reasons:

- Compliance with the required streamside setback area of the Surrey Zoning By-law would significantly impact the ability to construct a functional industrial warehouse building and required parking.
- The approval to draft the Form and Character Development Permit was approved based on the elimination of the Class C ditch. The requirement to comply with the required streamside setback is contrary to previous direction by staff and would render the building not functional.

Staff Comments:

- The applicant's Qualified Environmental Professional (QEP) conducted a detailed Riparian Areas Regulations (RAR) Assessment report which recommends an RAR Streamside Protection and Enhancement Area (SPEA) measured from the high water mark equivalent to 5 metres (16 ft.) from the established top-of-bank.
- The applicant's QEP has provided an Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP), which proposes the following measures:
 - The proposed 5 metre (16-ft.) Streamside Protection Area, as measured from top-of-bank, includes both the RAR SPEA and the accepted geotechnical setback;
 - The proposed Streamside Protection Area will be protected through the registration of a combination Statutory Right-of-Way / Restrictive Covenant (SRW/RC) for 'No-Build' and access;
 - An additional 5-metre (16.5-ft.) wide combination Statutory Right-of-Way / Restrictive Covenant for No-Build will be established outside of the Streamside Protection Area. This will provide for additional access to the riparian area and will remain accessible to the property owner for their use.
 - The proposed Streamside Protection Area will be improved through the removal of invasive species as well as the planting of native tree and shrub species and the installation of coarse woody debris to remediate the previously disturbed riparian areas and promote wildlife enhancement value. Proposed works are to be maintained and monitored by the applicant's QEP for a minimum of five (5) years; and

- Securities, equal to 100% of the total landscaping costs, will be held by the City to ensure that the recommendations of the accepted EDP/IMP are followed. The project QEP will be required to submit yearly monitoring reports with security release tied to the successful installation, inspection and establishment of the enhancement planting in a 'free-growing' stage.
- The EDP and CEMP were reviewed by staff and found to be acceptable. Protection of the Streamside Protection Area, through the registration of a combination SRW/RC, conforms to the minimum acceptable safeguarding requirements of the Sensitive Ecosystems DP3 Guidelines.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV	Environmental Report Site Plan
Appendix V	Development Variance Permit No. 7917-0470-00

INFORMATION AVAILABLE ON FILE

- Environmental Report (Ecosystem Development Plan) Prepared by Hemmera dated May 15, 2019.
- Complete Set of Architectural and Landscape Plans prepared by Krahn Group of Companies and dated May 21, 2019.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

IM/cm

DEVELOPMENT DATA SHEET

Existing Zoning: IL

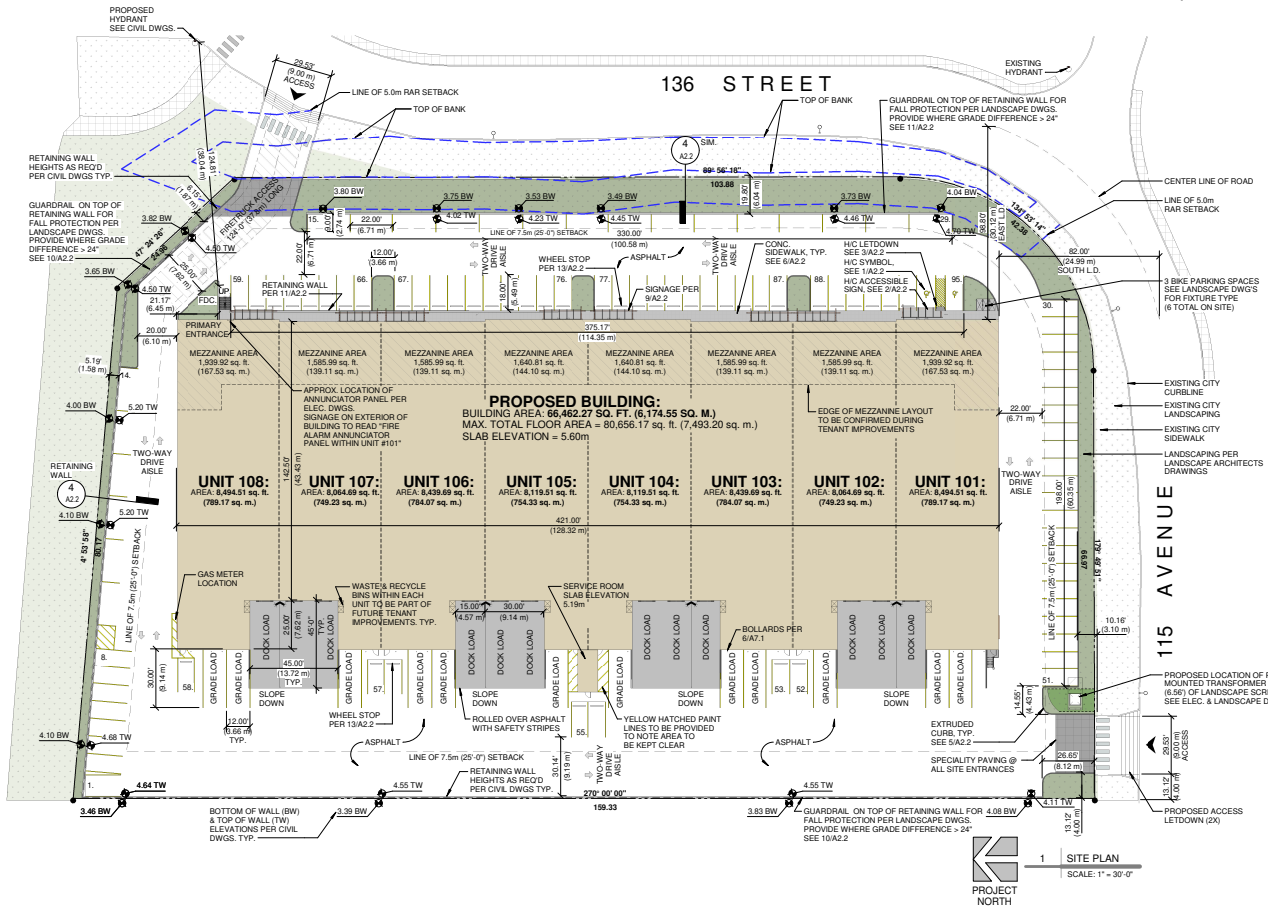
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		14,676 sq. m
Undevelopable area		
Net Total		14,676 sq. m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	42%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	14 m
Rear	7.5 m	9.8 m
Side (West)	7.5 m	23 m
Side (East)	7.5 m	21 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18.0 m	12 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		7,426 sq. m
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		7,426 sq.m

*If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.51
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	95	95
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		95
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



1 SITE PLAN
SCALE 1" = 30'-0"

PROJECT DATA

CIVIC ADDRESS: 11539 - 136 STREET, SURREY, BC

LEGAL ADDRESS: LOT 277, BLOCK 5N SECTION 10 RANGE 2W PLAN NWPK213 NWD EXCEPT PART 1 DEDICATED ROAD ON PLANS EPP218 & EPP309

ZONING: IL - LIGHT INDUSTRIAL

BUILDING USE: SHELL SPECIFICATION

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: IL (LIGHT INDUSTRIAL)

2. SITE AREA: 157,978.86 sq. ft. (3.63 ACRES) [14,676.25 sq. m. (1.47 HA.)]

3. SITE COVERAGE & BUILDING AREAS:
TOTAL SITE AREA: 157,978.86 sq. ft. (14,676.25 SQ M)
BUILDING AREA: 66,462.27 sq. ft. (6,174.55 SQ M)
FLOOR AREA: 79,931.02 sq. ft. (7,425.83 SQ M)

ALLOWABLE SITE COVERAGE: 60%

PROPOSED SITE COVERAGE: 42.1%

ALLOWABLE FAR: 1.00

PROPOSED FAR: 0.51

4. BUILDING HEIGHT: MAXIMUM HEIGHT: 18.0m [60 ft.] MAX. PERMITTED

PROPOSED HEIGHT: 12.09m [39' - 8"]

5. REQUIRED SETBACKS:
FRONT YARD (115 AVE): 7.5m [25 ft.]
SIDE YARD (FLANKING STREET): 7.5m [25 ft.]
SIDE YARD (WEST): 7.5m [25 ft.]
REAR YARD (NORTH): 7.5m [25 ft.]

6. LANDSCAPING REQUIREMENTS: ALONG THE DEVELOPED SIDES OF THE LOT WHICH ADJUT A HIGHWAY. A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES (5 FT.) IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.

7. PARKING AND LOADING:

INDUSTRY LIGHT IMPACT: 1 SPACE PER 1,075 sq. ft. OF GROSS FLOOR AREA

OFFICE: 2.5 SPACES PER 1,075 sq. ft. OF GROSS FLOOR AREA

PARKING STALLS REQUIRED: INDUSTRIAL: 66,425.63 / 1,075 = 61.79 SPACES

OFFICE - MEZZANINE: 13,508.42 / 1,075 = 12.5 - 31.41 STALLS

PARKING REQUIRED: 94 (93.20) STALLS

PARKING STALLS PROVIDED: 95 STALLS PROVIDED

LOADING STALLS PROVIDED: 12 STALLS PROVIDED

STALL DIMENSIONS:

STANDARD STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG [22'-0" (6.7 M) DRIVE AISLE]
10'-0" (2.90 M) WIDE, 18'-0" (5.5 M) LONG [20'-0" (6.1 M) DRIVE AISLE]

ACCESSIBLE STALL DIMENSIONS: 12'-0" (3.7 M) WIDE, 18'-0" (5.5 M) LONG

SMALL CAR STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 16'-0" (4.9 M) LONG (MAX. 35% OF REQ'D PARKING)

LOADING STALL DIMENSIONS: 13'-0" (4.0 M) WIDE, 30'-0" (9.2 M) LONG [25'-0" (7.5 M) MANUEVING AISLE]

- 2019/05/16 REISSUED FOR DFP
 - 2019/03/28 REISSUED FOR BUILDING PERMIT
 - 2019/03/14 REISSUED FOR BUILDING PERMIT
 - 2019/03/08 REISSUED FOR DFP
 - 2019/01/30 REISSUED FOR DFP
 - 2019/01/14 REISSUED FOR BUILDING PERMIT
 - 2018/11/22 REISSUED FOR BUILDING PERMIT
 - 2018/11/02 REISSUED FOR PRELIM
 - 2018/10/17 ISSUED FOR CLIENT REVIEW
 - 2018/09/28 REISSUED FOR PRELIM
 - 2018/08/16 ISSUED FOR BUILDING PERMIT
 - 2018/05/30 CONSULTANT COORDINATION
 - 2018/03/28 DEVELOPMENT PERMIT RE-ISSUE
 - 2018/03/01 DEVELOPMENT PERMIT RE-ISSUE
 - 2018/02/20 DEVELOPMENT PERMIT RE-ISSUE
 - 2017/12/22 DEVELOPMENT PERMIT RE-ISSUE
 - 2017/09/27 FOR DEVELOPMENT PERMIT
 - 2017/06/23 FOR CLIENT REVIEW
- NO. DATE Y/M/D DESCRIPTION
- ISSUES AND REVISIONS

SCALE

100 BRADSHAW WAY NORTH/SURREY B.C. V0S 2C2

larry podhora architecture inc

PROJECT NAME

SITE DEVELOPMENT FOR DAKASH INVESTMENTS

PROJECT ADDRESS

11539 - 136 STREET SURREY, BRITISH COLUMBIA CANADA

DRAWING TITLE

SITE PLAN

SCALE	As indicated
DRAWN	LOP/BSS
CHECKED	CO
PROJECT NO.	170131
DRAWING NO.	A2.1

LEGEND

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	SAWCUT CONCRETE DRIVEWAY

	BIKE RACK
	RETAINING WALL
	GUARD RAIL

14	22/05/19	RE-ISSUED FOR DP
13	18/05/19	ISSUED FOR REVIEW
12	05/04/19	ISSUED FOR CONSTRUCTION
11	19/03/19	ISSUED FOR RE-CP
10	14/03/19	ISSUED FOR RE-CP
9	21/02/19	ISSUED FOR DP COMMENTS
8	18/01/19	ISSUED FOR BP
7	25/09/18	ISSUED FOR PRICING
6	15/06/18	ISSUED FOR BP
5	28/05/18	ISSUED FOR RE-CP
4	06/03/18	ISSUED FOR RE-CP
3	21/02/18	ISSUED FOR RE-CP
2	22/12/17	ISSUED FOR RE-CP
1	27/09/17	ISSUED FOR DP

NO. DATE (MM/DD) DESCRIPTION

ISSUES & REVISIONS

SEAL:



PROJECT NAME:

DAKASH INDUSTRIAL

PROJECT ADDRESS:

**11539 136 STREET
SURREY, BC**

DRAWING TITLE:

**OVERALL LANDSCAPE
PLAN AND NOTES**

SCALE:

1:300

DRAWN: **JT**

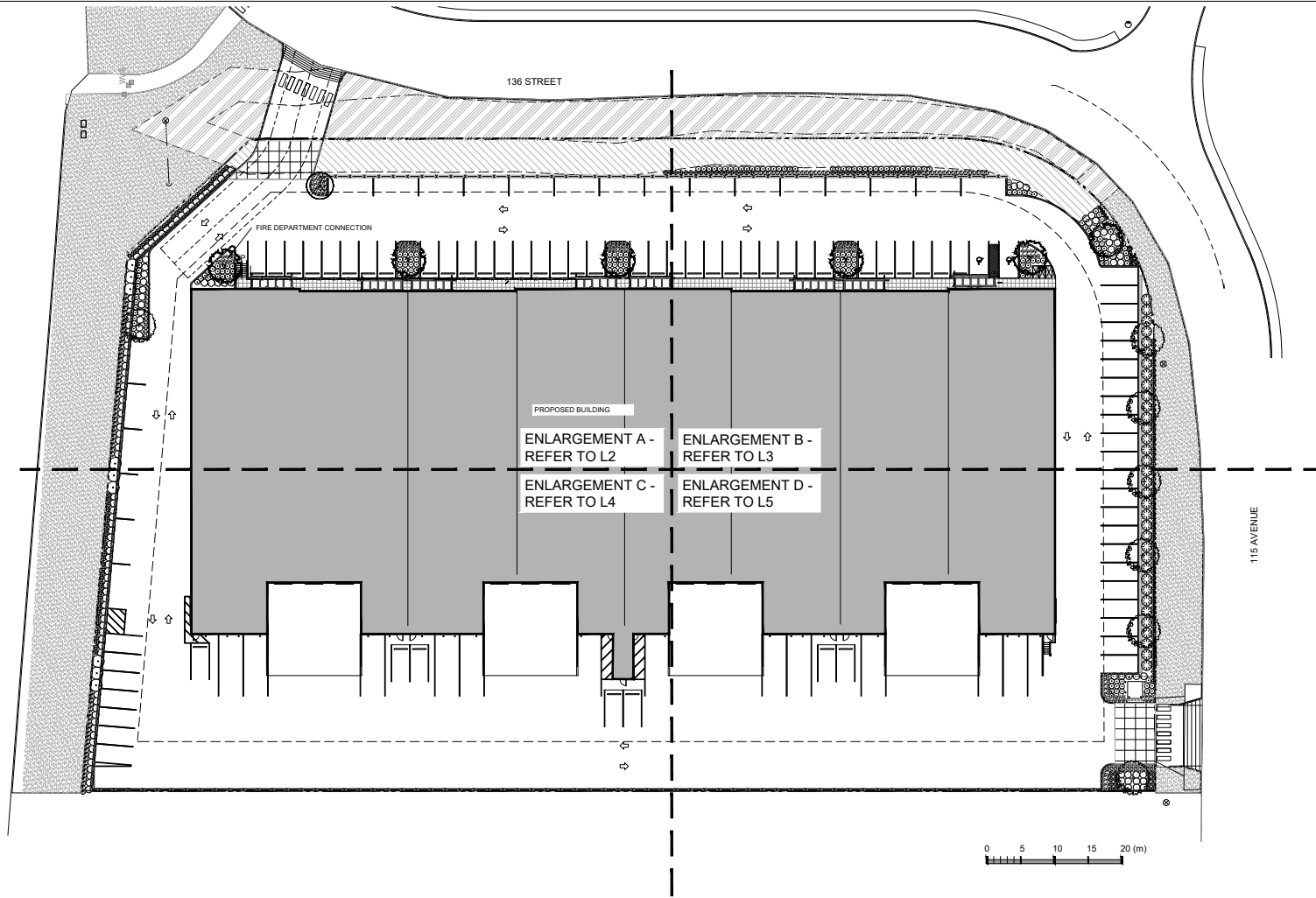
CHECKED: **ST**

PROJECT NO: **170131**

DRAWING NO:

L1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

LIST OF DRAWINGS

- | | |
|-----|----------------------------------|
| L1 | OVERALL LANDSCAPE PLAN AND NOTES |
| L2 | ENLARGEMENT A |
| L3 | ENLARGEMENT B |
| L4 | ENLARGEMENT C |
| L5 | ENLARGEMENT D |
| L7 | DETAILS AND NOTES |
| L8 | DETAILS |
| L9 | WALL SECTIONS |
| L10 | GRADING PLAN |

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

14	22/05/19	RE-ISSUED FOR DP
13	18/05/19	ISSUED FOR REVIEW
12	05/04/19	ISSUED FOR CONSTRUCTION
11	19/03/19	ISSUED FOR RE-CP
10	14/03/19	ISSUED FOR RE-CP
9	21/02/19	ISSUED FOR CP COMMENTS
8	18/01/19	REISSUED FOR BP
7	25/09/18	ISSUED FOR PRICING
6	15/06/18	ISSUED FOR BP
5	29/05/18	ISSUED FOR RE-CP
4	06/03/18	ISSUED FOR RE-CP
3	21/02/18	ISSUED FOR RE-CP
2	20/12/17	ISSUED FOR RE-CP
1	27/09/17	ISSUED FOR DP

NO. DATE (MM) DESCRIPTION
ISSUES & REVISIONS

SEAL:



PROJECT NAME:
DAKASH INDUSTRIAL

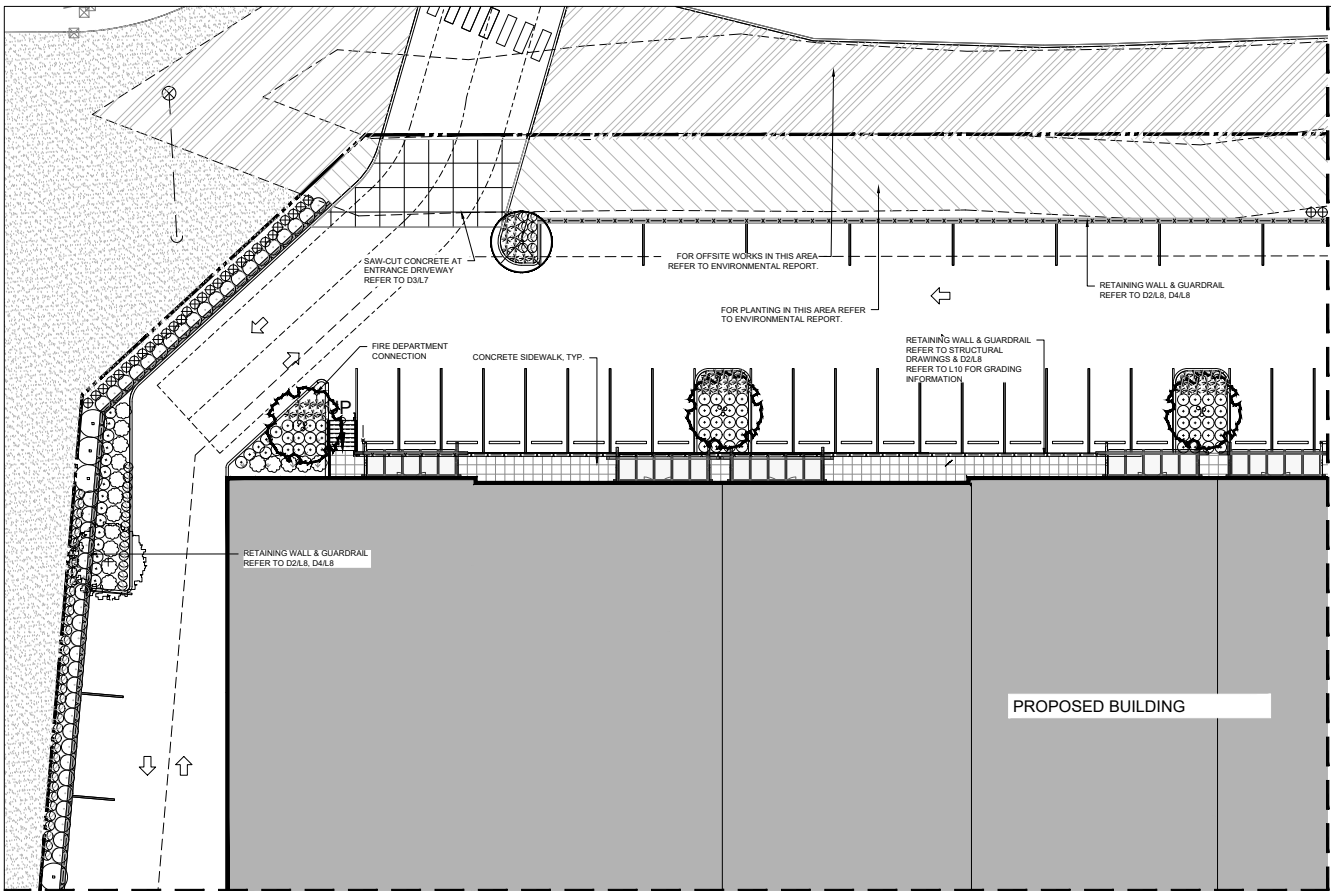
PROJECT ADDRESS:
**11539 136 STREET
SURREY, BC**

DRAWING TITLE:
ENLARGEMENT A

SCALE: 1:50
DRAWN: JT
CHECKED: ST
PROJECT NO.: 170131

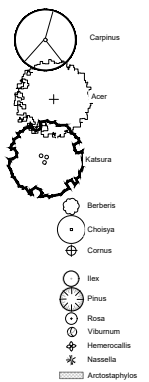
DRAWING NO.: **L2**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



ENLARGEMENT A

NOTE:
1. PLANT QUANTITIES ARE SITE TOTALS.
2. SHRUB BEDS GO TO PROPERTY LINES



QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES					
7	Acer palmatum 'Sango-kaku'	Coral Bark Maple	6 cm cal.	As per plan	W.B.
1	Carpinus betulus fastigiata	Fastigiata European Hornbeam	6 cm. cal.	As per plan	W.B.
6	Cercidiphyllum japonicum	Katsura Tree	6 cm cal.	As per plan	W.B.
SHRUBS					
16	Berberis thunbergii 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
9	Choisyia ternata 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
167	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht	0.75m	#1 pot
72	Ilex glabra	Inkberry	50cm ht.	1m	#2 pot
35	Pinus mugo pumillo	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
197	Rosa 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot
119	Viburnum davidii	David Viburnum	50cm ht	0.6m	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES					
113	Arctostaphylos uva-ursi	Bearberry		0.45m	#1 pot
14	Hemerocallis Stella D'Oro	Stella D'Oro Daylily		0.6m	#1 pot
146	Nassella tenuissima	Mexican Feather Grass		0.45m	#1 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

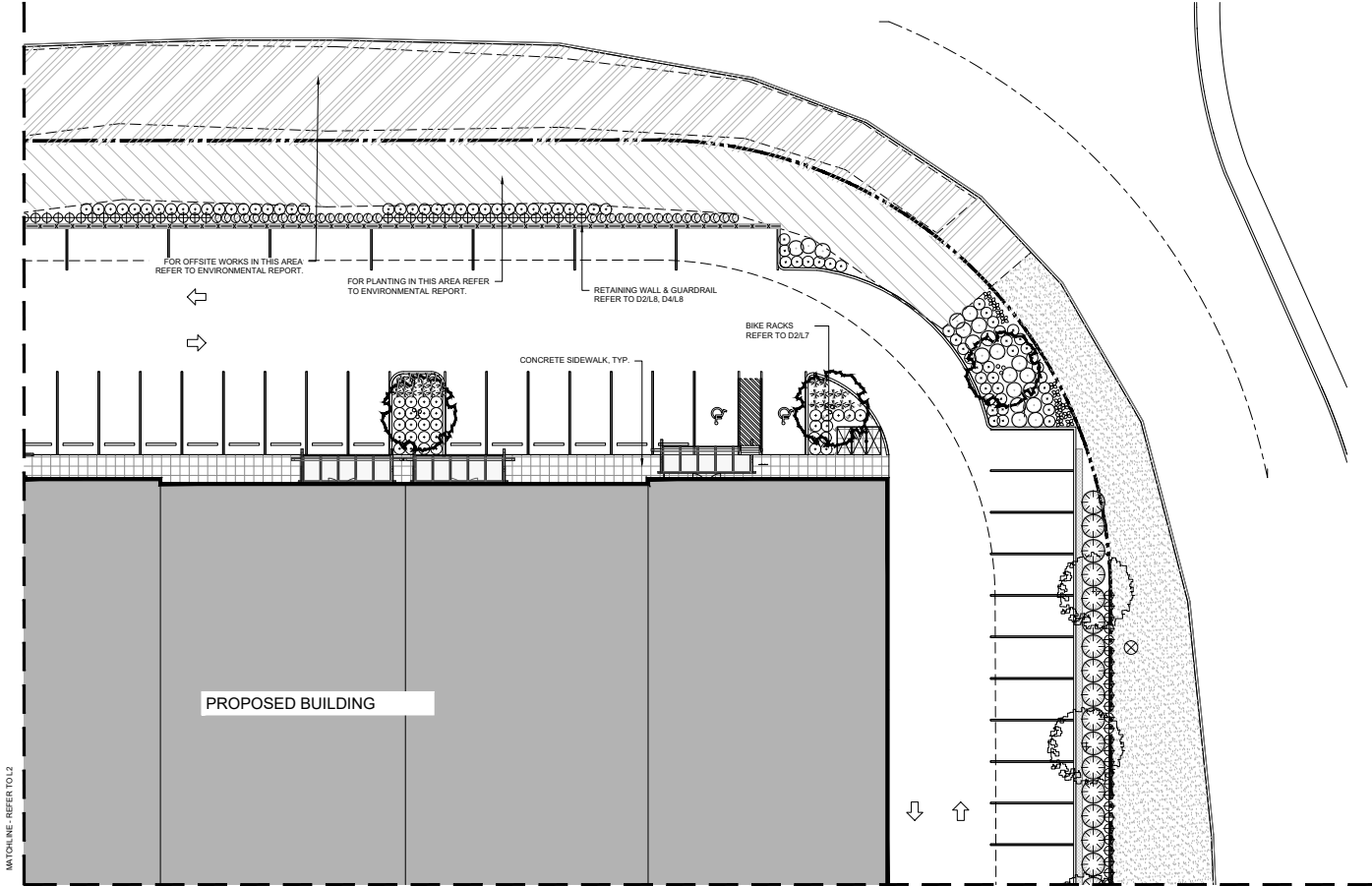


LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

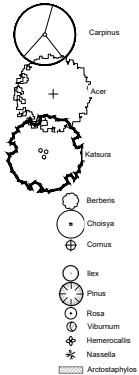
- 14 22/05/19 RE-ISSUED FOR DP
- 13 18/05/19 ISSUED FOR REVIEW
- 12 05/04/19 ISSUED FOR CONSTRUCTION
- 11 18/03/19 ISSUED FOR RE-CP
- 10 14/03/19 ISSUED FOR RE-CP
- 9 21/02/19 ISSUED FOR CP COMMENTS
- 8 18/01/19 REISSUED FOR BP
- 7 25/09/18 ISSUED FOR PRICING
- 6 15/06/18 ISSUED FOR BP
- 5 26/05/18 ISSUED FOR RE-CP
- 4 06/03/18 ISSUED FOR RE-CP
- 3 21/02/18 ISSUED FOR RE-CP
- 2 22/12/17 ISSUED FOR RE-CP
- 1 27/09/17 ISSUED FOR DP

NO. DATE (MM) DESCRIPTION
ISSUES & REVISIONS
SEAL:



MATCHLINE - REFER TO L2

MATCHLINE - REFER TO L5



PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES					
7	<i>Acer palmatum</i> 'Sango-kaku'	Coral Bark Maple	6 cm cal.	As per plan	W.B.
1	<i>Carpinus betulus fastigiata</i>	Fastigate European Hornbeam	6 cm cal.	As per plan	W.B.
6	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6 cm cal.	As per plan	W.B.
SHRUBS					
16	<i>Berberis thunbergii</i> 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
9	<i>Choisya ternata</i> 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
167	<i>Cornus sericea</i> 'Kelsy'	Kelsy's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot
72	<i>Ilex glabra</i>	holberry	50cm ht.	1m	#2 pot
35	<i>Pinus mugo</i> pumilio	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
197	<i>Rosa</i> 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot
118	<i>Viburnum davidii</i>	David Viburnum	50cm ht.	0.6m	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES					
113	<i>Arctostaphylos uva-ursi</i>	Bearberry		0.45m	#1 pot
14	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily		0.6m	#1 pot
146	<i>Nassella tenuissima</i>	Mexican Feather Grass		0.45m	#1 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

ENLARGEMENT B

- NOTE:
1. PLANT QUANTITIES ARE SITE TOTALS.
 2. SHRUB BEDS GO TO PROPERTY LINES



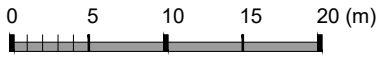
PROJECT NAME:
DAKASH INDUSTRIAL

PROJECT ADDRESS:
11539 136 STREET
SURREY, BC

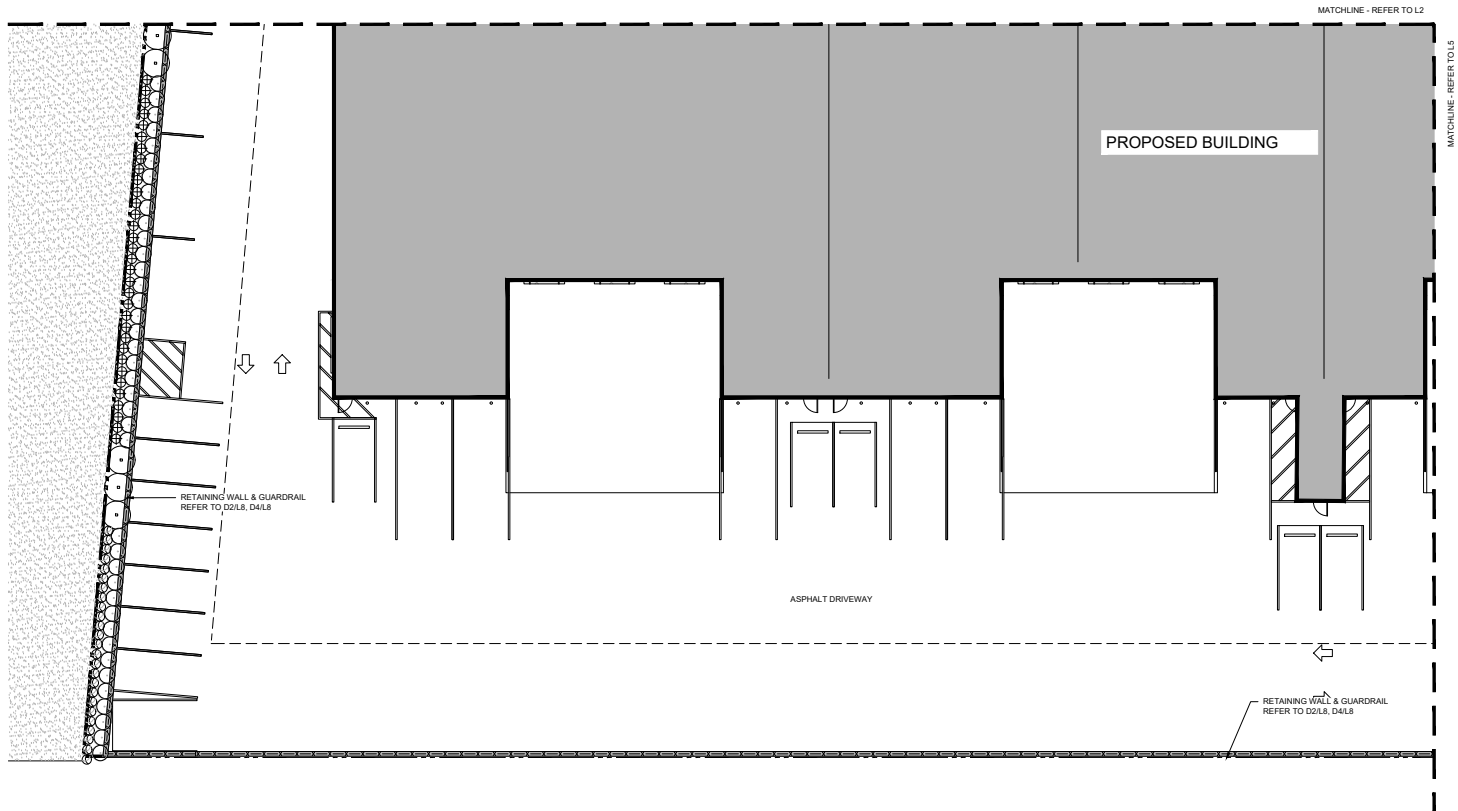
DRAWING TITLE:
ENLARGEMENT B

SCALE: 1:50
DRAWN: JT
CHECKED: ST
PROJECT NO.: 170131

DRAWING NO.: **L3**



THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



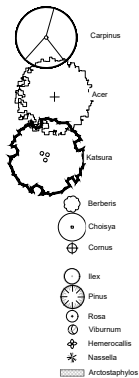
LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

14	22/05/19	RE-ISSUED FOR DP
13	18/05/19	ISSUED FOR REVIEW
12	05/04/19	ISSUED FOR CONSTRUCTION
11	19/03/19	ISSUED FOR RE-OP
10	14/03/19	ISSUED FOR RE-OP
9	21/02/19	ISSUED FOR DP COMMENTS
8	18/01/19	REISSUED FOR BP
7	25/09/18	ISSUED FOR PRICING
6	15/06/18	ISSUED FOR BP
5	26/05/18	ISSUED FOR RE-OP
4	06/03/18	ISSUED FOR RE-OP
3	21/02/18	ISSUED FOR RE-OP
2	20/12/17	ISSUED FOR RE-OP
1	27/09/17	ISSUED FOR DP

NO. DATE (MM) DESCRIPTION
ISSUES & REVISIONS

SEAL:



PLANT LIST						
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION	
DECIDUOUS TREES						
7	Acer palmatum 'Sango-kaku'	Coral Bark Maple	6 cm cal.	As per plan	W.B.	
1	Carpinus betulus fastigiata	Festigate European Hornbeam	6 cm. cal.	As per plan	W.B.	
6	Cercidiphyllum japonicum	Katsura Tree	6 cm cal.	As per plan	W.B.	
SHRUBS						
16	Berberis thunbergii 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot	
9	Choisya ternata 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot	
167	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot	
72	Ilex glabra	inkberry	50cm ht.	1m	#2 pot	
35	Pinus mugo pumilio	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot	
197	Rosa 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot	
118	Viburnum davidii	David Viburnum	50cm ht.	0.6m	#2 pot	
PERENNIALS, GROUND COVERS, AND GRASSES						
113	Arcostaphylos uva-ursi	Bearberry		0.45m	#1 pot	
14	Hemerocallis Stella D'Oro	Stella D'Oro Daylily		0.6m	#1 pot	
146	Nassella tenuissima	Mexican Feather Grass		0.45m	#1 pot	

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

ENLARGEMENT C

NOTE:

1. PLANT QUANTITIES ARE SITE TOTALS.
2. SHRUB BEDS GO TO PROPERTY LINES



PROJECT NAME:
DAKASH INDUSTRIAL

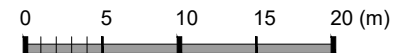
PROJECT ADDRESS:
**11539 136 STREET
SURREY, BC**

DRAWING TITLE:
ENLARGEMENT C

SCALE: 1:50
DRAWN: JT
CHECKED: ST
PROJECT NO: 170131
DRAWING NO:

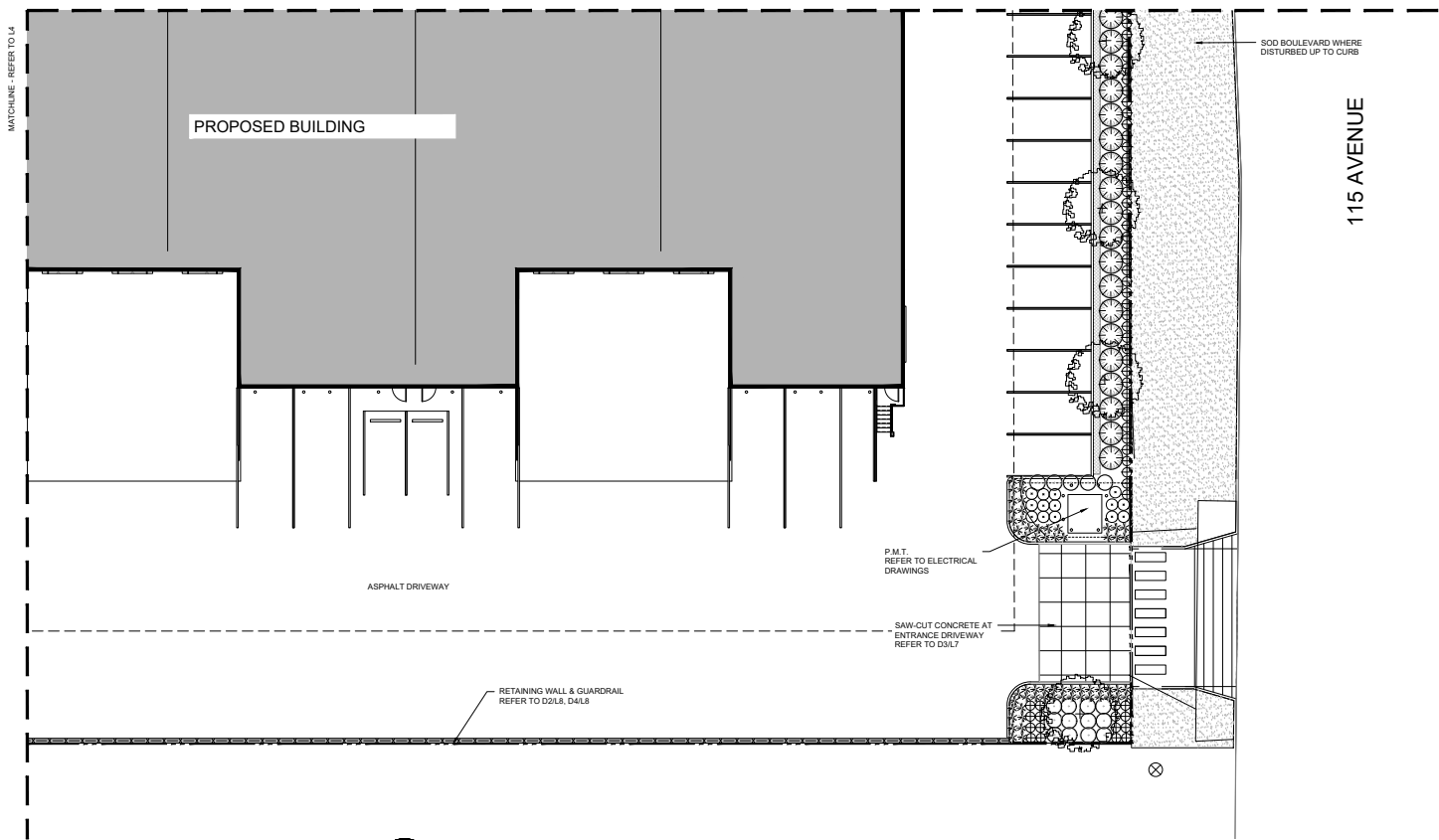
L4

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



MATCHLINE - REFER TO L3

MATCHLINE - REFER TO L4



ABBOTSFORD OFFICE
400 - 3407 GLADYS AVE ABBOTSFORD, BC V2G 2E9
T: 604-852-8881 F: 604-852-1580 www.krahn.com

VANCOUVER OFFICE
230 - 4011 KENNEDY ST VANCOUVER, BC V3R 4Y3
T: 604-204-8882 F: 604-204-8885 www.krahn.com



LEGEND

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	SAWCUT CONCRETE DRIVEWAY

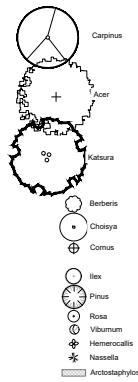
	BIKE RACK
	RETAINING WALL
	GUARD RAIL

14	22/05/19	RE-ISSUED FOR DP
13	18/05/19	ISSUED FOR REVIEW
12	05/04/19	ISSUED FOR CONSTRUCTION
11	19/03/19	ISSUED FOR RE-OP
10	14/03/19	ISSUED FOR RE-OP
9	21/02/19	ISSUED FOR DP COMMENTS
8	18/01/19	REISSUED FOR BP
7	25/09/18	ISSUED FOR PRICING
6	15/06/18	ISSUED FOR BP
5	29/05/18	ISSUED FOR RE-OP
4	06/03/18	ISSUED FOR RE-OP
3	21/02/18	ISSUED FOR RE-OP
2	20/12/17	ISSUED FOR RE-OP
1	27/09/17	ISSUED FOR DP

NO. DATE (MM/DD) DESCRIPTION

ISSUES & REVISIONS

SEAL:



PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES					
7	<i>Acer palmatum 'Sango-kaku'</i>	Coral Bark Maple	6 cm cal.	As per plan	W.B.
1	<i>Carpinus betulus fastigiata</i>	Fastigate European Hornbeam	6 cm. cal.	As per plan	W.B.
6	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6 cm cal.	As per plan	W.B.
SHRUBS					
16	<i>Berberis thunbergii 'cherry bomb'</i>	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
9	<i>Choisya ternata 'Sundance'</i>	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
167	<i>Cornus sericea 'Kelsey'</i>	Kelsey's Dwarf Red-Osier Dogwood	30cm ht	0.75m	#1 pot
72	<i>Ilex glabra</i>	Inkberry	50cm ht.	1m	#2 pot
35	<i>Pinus mugo pumillo</i>	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
197	<i>Rosa 'Hansa'</i>	Hansa Rose	50cm ht.	0.75m	#2 pot
119	<i>Viburnum davidii</i>	David Viburnum	50cm ht	0.6m	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES					
113	<i>Arctostaphylos uva-ursi</i>	Bearberry		0.45m	#1 pot
14	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily		0.6m	#1 pot
146	<i>Nassella tenuissima</i>	Mexican Feather Grass		0.45m	#1 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

ENLARGEMENT D

NOTE:
 1. PLANT QUANTITIES ARE SITE TOTALS.
 2. SHRUB BEDS GO TO PROPERTY LINES



PROJECT NAME:

DAKASH INDUSTRIAL

PROJECT ADDRESS:

11539 136 STREET

SURREY, BC

DRAWING TITLE:

ENLARGEMENT D

SCALE: 1:50

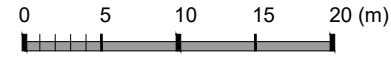
DRAWN: JT

CHECKED: ST

PROJECT NO: 170131

DRAWING NO:

L5



THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY

- BIKE RACK
- RETAINING WALL
- GUARD RAIL

14	22/05/19	RE-ISSUED FOR DP
13	18/05/19	ISSUED FOR REVIEW
12	05/04/19	ISSUED FOR CONSTRUCTION
11	19/03/19	ISSUED FOR RE-CP
10	14/03/19	ISSUED FOR RE-CP
9	21/02/19	ISSUED FOR CP COMMENTS
8	18/01/19	REISSUED FOR BP
7	25/09/18	ISSUED FOR PRICING
6	15/06/18	ISSUED FOR BP
5	29/05/18	ISSUED FOR RE-CP
4	06/03/18	ISSUED FOR RE-CP
3	21/02/18	ISSUED FOR RE-CP
2	20/12/17	ISSUED FOR RE-CP
1	27/09/17	ISSUED FOR DP

NO. DATE (MM/DD) DESCRIPTION

ISSUES & REVISIONS

SEAL:



PROJECT NAME:

DAKASH INDUSTRIAL

PROJECT ADDRESS:

**11539 136 STREET
SURREY, BC**

DRAWING TITLE:

**OFF-SITE
LANDSCAPE PLAN**

SCALE: 1:300

DRAWN: JT

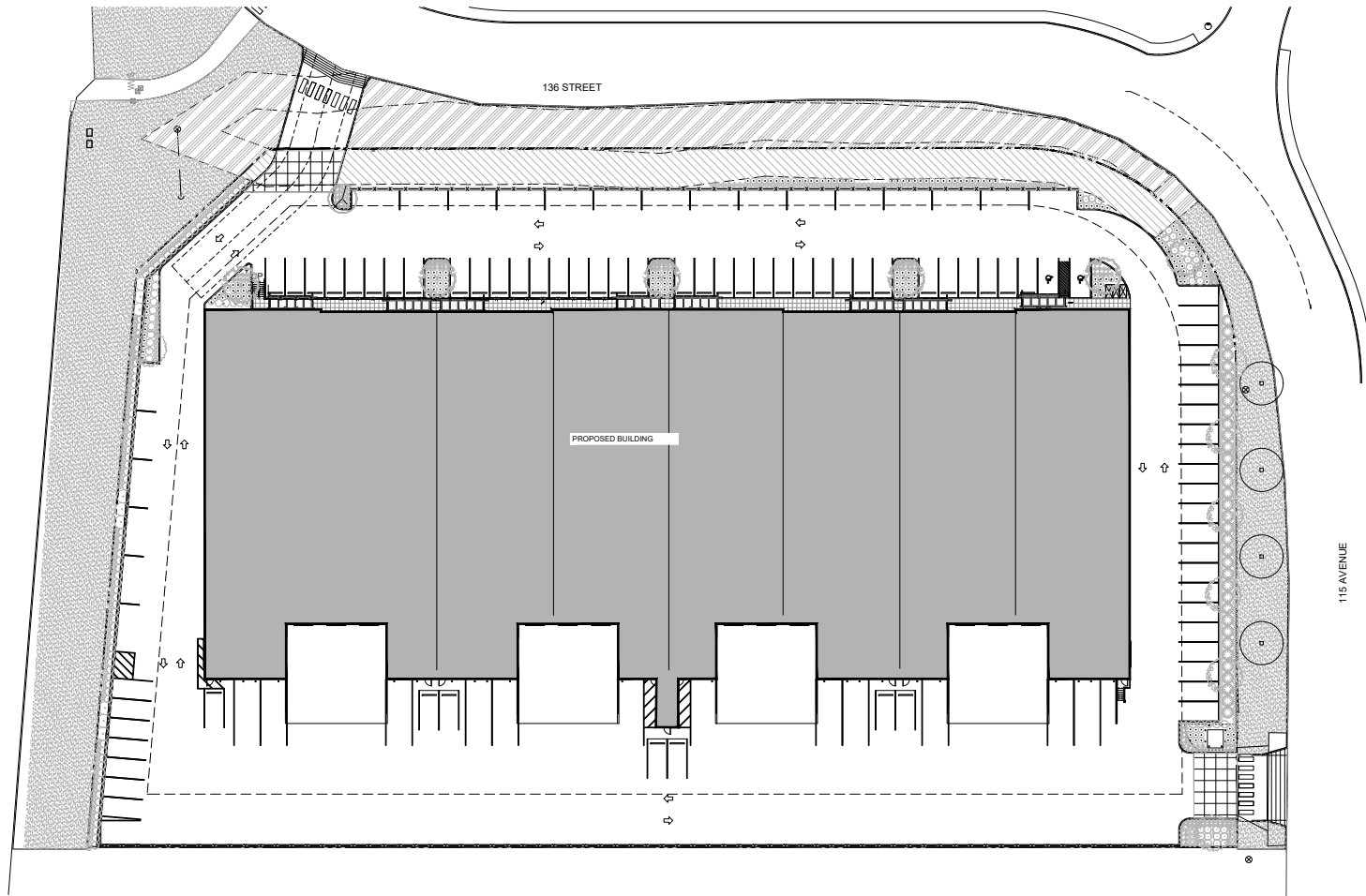
CHECKED: ST

PROJECT NO: 170131

DRAWING NO:

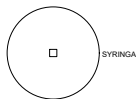
L6

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



PLANT LIST - OFF SITE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES					
4	<i>Syringa reticulata</i> 'Ivory Silk Lilac'	Ivory Silk Lilac	6 cm cal.	As per plan	W.B.



SYRINGA

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 22, 2019** PROJECT FILE: **7817-0470-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 11539 136 Street**

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

Works and Services

- Install topsoil and sod boulevard, street lighting, and street trees along 115 Avenue.
- Provide driveway accesses to the site per City standards.
- Construct water and sanitary mains along 115 Avenue to service the site.
- Implement onsite water quality/sediment control treatment features.
- Construct onsite storm mitigation features as determined through detailed design in conformance to Bridgeview-North Slope Integrated Stormwater Management Plan (ISMP).
- Provide water, sanitary, and storm sewer service connections to the site.

A creek has been identified adjacent to this site, which requires protection in accordance with DFO/MWLAP Land Development Guidelines and Best Management Practices.

A Servicing Agreement and pre-construction meeting are required prior to Building Permit issuance.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/Development Variance Permit.

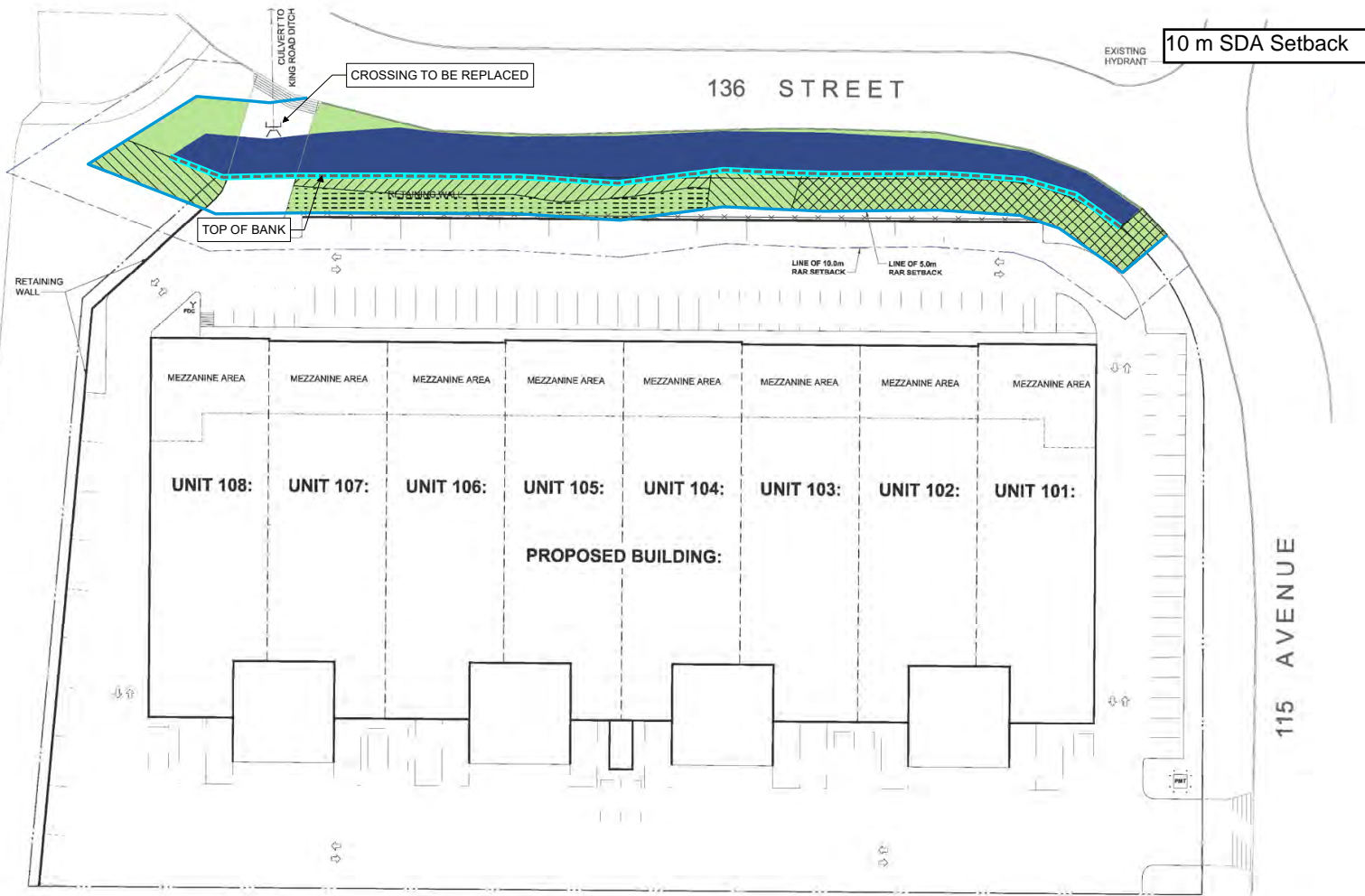
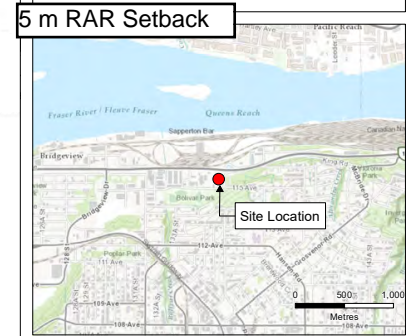


Tommy Buchmann, P.Eng.
Development Services Manager

AY

Ditch Classification
13577 115 Ave, Surrey, BC

Site Plan

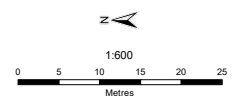


- Legend**
- × × × Fence
 - Line of 5.0 m RAR Setback
 - Top of Bank
 - Class A/O Fish Habitat
 - Riparian Setback and Restoration Area
- Restoration Areas**
- ▨ A mix of native and invasive species (remove invasives, retain natives, and plant gaps)
 - ▩ Primarily invasive species (remove invasives and plant)
 - ▧ Primarily native species coverage (retain)
 - ⋯ Primarily sand/gravel from pre-load (plant)

- Notes**
1. All mapped features are approximate and should be used for discussion purposes only.
 2. This map is not intended to be a "stand-alone" document, but a visual aid of the information contained within the referenced Report. It is intended to be used in conjunction with the scope of services and limitations described therein.

Sources

- Contains information licensed under the Open Government Licence - BC
- Inset Basemap: ESRI World Topographic Map



NAD 1983 UTM Zone 10N
Page Size: 11" x 17"

DRAFT
For Discussion Purposes Only

Path: D:\Documents\102826_01\102826_01\102826_01\102826_01.dwg, 102826_01.dwg, 102826_01.dwg, 102826_01.dwg

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0470-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-067-416
 Lot 277 Section 10 Block 5 North Range 2 West New Westminster District Plans 62313
 Except: Part Dedicated Road on Plans EPP216 and EPP3309

11539 - 136 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Table B.1 of Part 7A “Streamside Protection”, the minimum streamside setback area for a Class A/O Ditch is reduced from 10 metres (33 ft.) to 5 metres (16 ft.), as measured from top-of-bank.

5. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

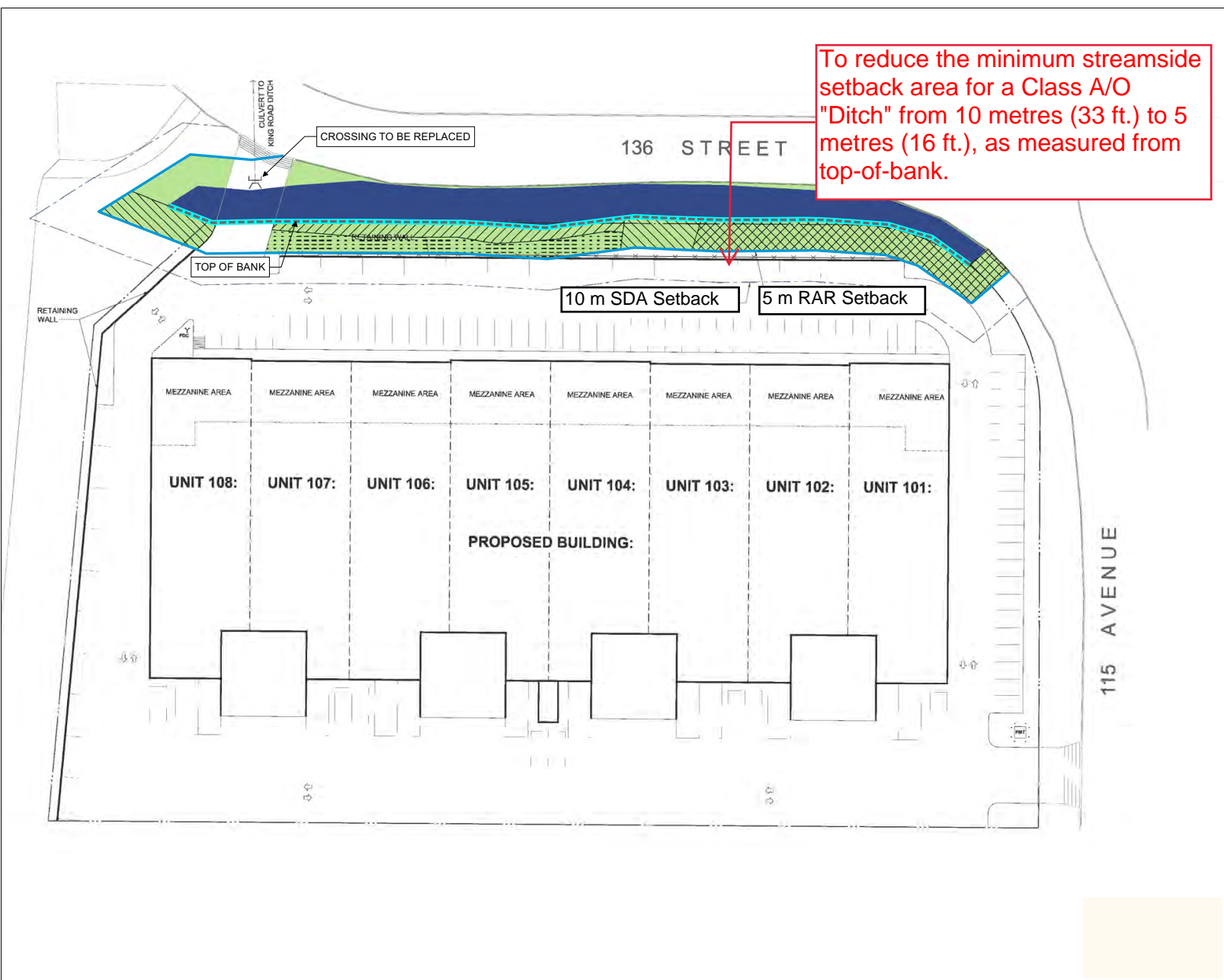
City Clerk – Jennifer Ficocelli

Ditch Classification
13577 115 Ave, Surrey, BC

Site Plan



To reduce the minimum streamside setback area for a Class A/O "Ditch" from 10 metres (33 ft.) to 5 metres (16 ft.), as measured from top-of-bank.

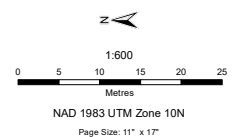


- Legend**
- × × × Fence
 - Line of 5.0 m RAR Setback
 - Top of Bank
 - Class A/O Fish Habitat
 - Riparian Setback and Restoration Area
- Restoration Areas**
- ▨ A mix of native and invasive species (remove invasives, retain natives, and plant gaps)
 - ▩ Primarily invasive species (remove invasives and plant)
 - ▧ Primarily native species coverage (retain)
 - ⋯ Primarily sand/gravel from pre-load (plant)

- Notes**
1. All mapped features are approximate and should be used for discussion purposes only.
 2. This map is not intended to be a "stand-alone" document, but a visual aid of the information contained within the referenced Report. It is intended to be used in conjunction with the scope of services and limitations described therein.

Sources

- Contains information licensed under the Open Government Licence - BC
- Inset Basemap: ESRI World Topographic Map



Path: D:\Documents\10176\10176.dwg, 10/25/2018, 10:50:51 AM