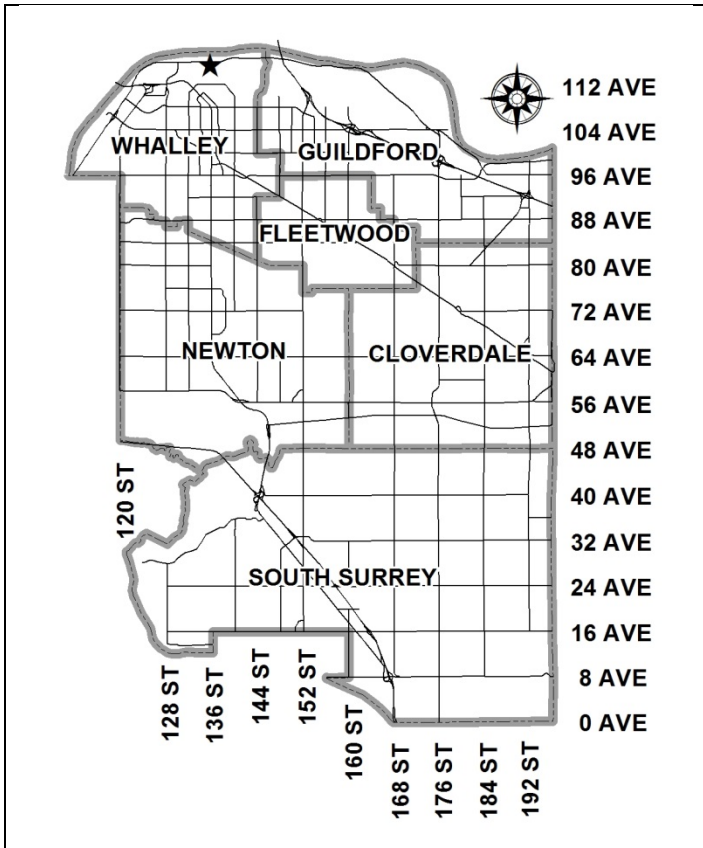


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0470-00

Planning Report Date: May 7, 2018



**PROPOSAL:**

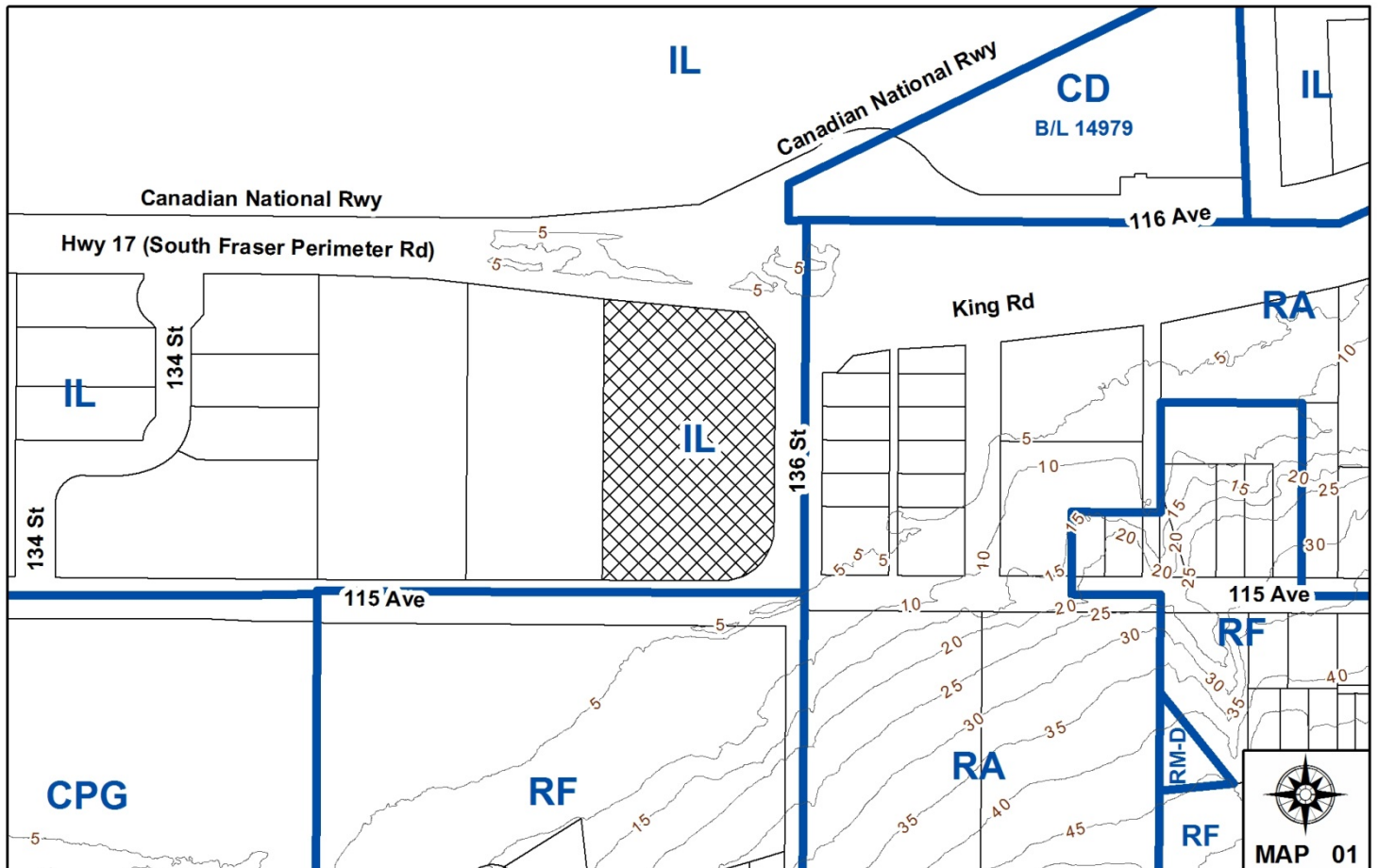
- **Development Permit**

to permit the development of an industrial warehouse building in Bridgeview.

**LOCATION:** 13577 - 115 Avenue

**ZONING:** IL

**OCP DESIGNATION:** Industrial



MAP 01

### RECOMMENDATION SUMMARY

- Approval to draft Form and Character and Hazard Lands Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- The proposed density and building form are contextually appropriate for Bridgeview. The proposal makes efficient use of industrial land, consistent with Official Community Plan (OCP) policies and the City's Employment Lands Strategy.
- The proposed building incorporates high quality design features and materials appropriate for the site, which is adjacent to the South Fraser Perimeter Road (SFPR).

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No.7917-0470-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) final approval from the Ministry of Transportation & Infrastructure;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) registration of a Section 219 Restrictive Covenant to indicate the development is situated within a floodplain and to ensure habitable building area meets the 200 year floodplain construction level;
  - (g) registration of a Section 219 Restrictive Covenant to require that the full parking requirements be satisfied should additions to the second storey floor area be proposed in the future; and
  - (h) final approval from Fire Services regarding the proposed development.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	On-site landscaping should complement the nearby, off-site, Biodiversity Conservation Corridor.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval granted.
Surrey Fire Department:	The City of Surrey Bylaw No.19108 for Public Safety E-Comm Radio Amplification applies to this building.

SITE CHARACTERISTICS

Existing Land Use: Vacant, pre-loaded industrial land.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across South Fraser Perimeter Road):	CN Rail yard	Industrial	IL
East (Across 136 Street):	Vacant lot and single family homes; development application to construct a greater Vancouver sanitary overflow station	Industrial	RA
South (Across 115 Avenue):	Bolivar Park	Urban	RF
West:	Industrial warehouse/outdoor storage	Industrial	IL

DEVELOPMENT CONSIDERATIONSSite Context

- The subject site, 13577 - 115 Avenue, is located along the South Fraser Perimeter Road in Bridgeview and is 1.47 hectares (3.63 ac.) in area.
- The site is designated Industrial in the Official Community Plan (OCP), zoned "Light Impact Industrial Zone (IL)", and is currently vacant.
- There are existing industrial lands to the north and west, a future Greater Vancouver sanitary overflow station (under Development Application No. 7918-0101-00) to the east and Bolivar Park to the south.

Development Proposal

- A Development Permit is proposed for a multi-tenant industrial warehouse building.



- The proposal is to allow a two-storey industrial building with a total floor area of 6,154 square metres (66,237 sq.ft.). The proposed building height of 12.1 metres (40 ft.) and floor area ratio of 0.51 are less than the allowable 18 metres (60 ft.) maximum building height and 1.0 floor area ratio under the IL zone. The proposed building setbacks exceed the minimum requirement of 7.5 metres (25 ft.) of the IL Zone.
- The allowable floor area of potential future mezzanine is 1,334 square metres (14,420 sq. ft.) or 23% of the ground floor area. This is based on the additional on-site parking available to accommodate this potential mezzanine space.

#### Access, Parking and Circulation

- There are two (2) proposed accesses to the site. One access is off of 115 Avenue to the south and one is off of 136 Street to the east. Direct access to the South Fraser Perimeter Road is not permitted by the Ministry of Transportation and Infrastructure.
- There are a total of 97 surface parking stalls proposed, which include 34 stalls to allow for future mezzanine floor area.
- In order to ensure full parking requirements are satisfied should additions to the second storey floor area be proposed, a Section 219 Restrictive Covenant is required.
- The width of the proposed drive-aisle along the north side of the building is 4.5 metres (15 ft.), which is sufficient for one-way traffic. A Do Not Enter sign will be posted at the west entrance to this drive aisle.

#### PRE-NOTIFICATION

- A Development Proposal Sign was installed on the subject site on November 16, 2017 to inform adjacent owners about the proposed development. No phone calls or correspondence have been received by the City in response.

#### DESIGN PROPOSAL AND REVIEW

- The building is proposed to front 136 Street with the main entrances located along this street. The entrance designs incorporate strong elements that create a sense of individualized units with wood beam and glass canopies above the unit entrances.
- There are twelve (12) loading bays located at the rear of the building along the west property line.
- The building is primarily constructed of concrete tilt up panel. Glazing reliefs are incorporated within the concrete panels to provide for articulation.
- A variety of accent materials including extensive low 'E' glazing, decorative composite metal paneling and vertical concrete panels are utilized.

- The building incorporates high quality architectural design features and building materials and will serve to establish higher industrial design standards in the area.
- The proposed signage consists of fascia signs located above the unit entrances and consist of individualized channel letters. The proposed signage complies with the Sign By-law.
- An outdoor seating/break area is proposed at the south end of the site. This area is proposed to include a table and benches. Additional space for planting is required in order to make this a functional space.
- The proposed building is to be constructed at 5.5 metres (18 ft.) geodetic elevation, which is above the 200 year flood level, as determined by the Ministry of Environment. A Section 219 Restrictive Covenant is required in order to ensure that the building is constructed above the minimum flood elevation.

### Landscaping

- Significant landscaping is proposed along the north side of the site, adjacent to the South Fraser Perimeter Road. The width of the landscaping buffer along the north edge ranges between 3.5 metres (11.3 ft.) and 7.3 metres (24 ft.).
- A retaining wall is proposed within the north landscape area and has been setback from the property line in order to allow for landscape screening in front of the retaining wall adjacent to the South Fraser Perimeter Road. The retaining wall is required because of pre-loading that has been placed on the site due to soil conditions in the area.
- A 3.0 metre (10 ft.) landscape buffer is proposed along 136 Street and along 115 Avenue.
- In addition to proposed frontage landscaping, landscaped islands are proposed within the surface area parking and will be planted with trees and shrubs.
- Katsura and Green Vase Japanese trees are proposed on-site along with a variety of shrubs, including cherry Bomb Japanese, Dwarf Dogwood, and Hansa Rose are proposed.
- The driveway and walkway entrances are proposed to be constructed of natural grey sawcut concrete.

### Development Permit -Hazard Lands

- The subject site is situated within the Fraser River floodplain, and is therefore within a Hazard Lands Development Permit Area for Flood Prone Areas.
- The proposed building is to be constructed at 5.5 metres (18 ft.) geodetic elevation, which is above the 200 year flood level, as determined by the Ministry of Environment. Illustrations confirming the minimum building elevation are incorporated into the Development Permit drawings.
- A Section 219 Restrictive Covenant is required in order to acknowledge the development is situated within a floodplain and to ensure habitable building area meets the 200 year floodplain construction level.

- The subject site is within a Development Permit Area for Streamside protection. There is a Class C watercourse adjacent to the frontages along 115 Avenue and 136 Street. This watercourse has been approved for elimination subject to confirmation of the classification from a Qualified Environmental Professional. There is also a Class A/O ditch located across 136 Street. The setback requirement for this A/O ditch is 10 metres (33 ft.) and the subject property is outside of the required setback. Because of the reasons outlined above, a Development Permit for Streamside protection is not required.

### TREES

- Shan Tennyson, ISA Certified Arborist of KD Planning, prepared a statement confirming that there are no existing on-site or off-site trees impacted by the development.
- Boulevard street trees will be planted on 136 Street and 115 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including the Katsura and Green Vase Japanese varieties.
- There are no existing on-site trees and therefore no contribution to the Green City Fund is required.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	• Existing industrial lands consistent with the OCP designation
2. Density & Diversity (B1-B7)	• The proposed density complies with the existing IL zone.
3. Ecology & Stewardship (C1-C4)	• Low Impact Development Standards are incorporated including bio-swales, sediment controls and perforated pipe systems.
4. Sustainable Transport & Mobility (D1-D2)	• A bus stop is located four blocks from the site.
5. Accessibility & Safety (E1-E3)	• The building is designed to be barrier free and accessible.
6. Green Certification (F1)	• Not proposed

Sustainability Criteria	Sustainable Development Features Summary
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• A Development Proposal Sign was installed on the subject site.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets  
 Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective  
 Appendix III. Engineering Summary

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Larry Podhora Architecture Inc. and KD Planning, respectively, dated March 26, 2018.

*original signed by Ron Gill*

Jean Lamontagne  
 General Manager  
 Planning and Development

IM/da

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		14,676 sq. m
Undevelopable area		
Net Total		14,676 sq. m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	42%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
Front	7.5 m	14 m
Rear	7.5 m	9.8 m
Side (West)	7.5 m	23 m
Side (East)	7.5 m	21 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18.0 m	12 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		6,153 sq. m
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		6,153 sq.m

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.51
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	95	97
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		97
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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# SITE DEVELOPEMENT for DAKASH INVESTMENTS

13577 - 115 AVENUE  
SURREY, BRITISH COLUMBIA  
CANADA

## SHEET LIST

### ARCHITECTURAL

- DP0.1 COVER PAGE
- DP0.2 PERSPECTIVES
- DP2.0 SITE PLAN, CONTEXT PLAN, ZONING ANALYSIS
- DP2.1 SITE SECTIONS, STREET SCAPE
- DP2.1 SITE PLAN - BASE -old
- DP2.2 SITE DETAILS
- DP3.0 FLOOR PLANS
- DP3.1 ROOF PLAN
- DP4.1 ELEVATIONS
- DP5.1 BUILDING SECTIONS

### STRUCTURAL

S1.0 Unnamed

### MECHANICAL

M1.0 Unnamed

### ELECTRICAL

E1.0 Unnamed

### LANDSCAPE

L1.0 Unnamed

### CIVIL

C1.0 Unnamed

## PROJECT TEAM

### ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT  
1952 BRACKMAN WAY  
SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA

### BUILDING DESIGN

KRAHN ENGINEERING LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: NAME

### STRUCTURAL

KRAHN ENGINEERING LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.294.6662 F. 604.294.6665

CONTACT: NAME

### CIVIL

KM CIVIL CONSULTANTS LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: NAME

### MECHANICAL

KD MECHANICAL CONSULTANTS LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: NAME

### LANDSCAPE

KM CIVIL CONSULTANTS LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: NAME

### ELECTRICAL

KD ELECTRICAL CONSULTANTS LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: NAME

### INTERIOR DESIGNER

KG INTERIOR DESIGN LTD.  
400 - 34077 GLADYS AVENUE  
ABBOTSFORD B.C. V2S 2E8  
P. 604.853.8831 F. 604.853.1580

CONTACT: SUZANNE GRATHAM

NO.	DATE YMD	DESCRIPTION
6.	2018/03/26	DEVELOPMENT PERMIT RE-ISSUE
5.	2018/03/01	DEVELOPMENT PERMIT RE-ISSUE
4.	2018/02/20	DEVELOPMENT PERMIT RE-ISSUE
3.	2017/12/22	DEVELOPMENT PERMIT RE-ISSUE
2.	2017/09/27	FOR DEVELOPMENT PERMIT
1.	2017/06/23	FOR CLIENT REVIEW

### ISSUES AND REVISIONS

SEAL



**larry podhora|architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME

**SITE DEVELOPEMENT  
for DAKASH  
INVESTMENTS**

PROJECT ADDRESS

**13577 - 115 AVENUE  
SURREY, BRITISH COLUMBIA  
CANADA**

DRAWING TITLE

**COVER PAGE**

SCALE

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CHECKED CG

PROJECT NO. 170131

DRAWING NO.

**DP0.1**

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4	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
3	2017/12/22		DEVELOPMENT PERMIT RE-ISSUE
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ISSUES AND REVISIONS

SEAL



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SURREY, BRITISH COLUMBIA  
CANADA**

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**PERSPECTIVES**

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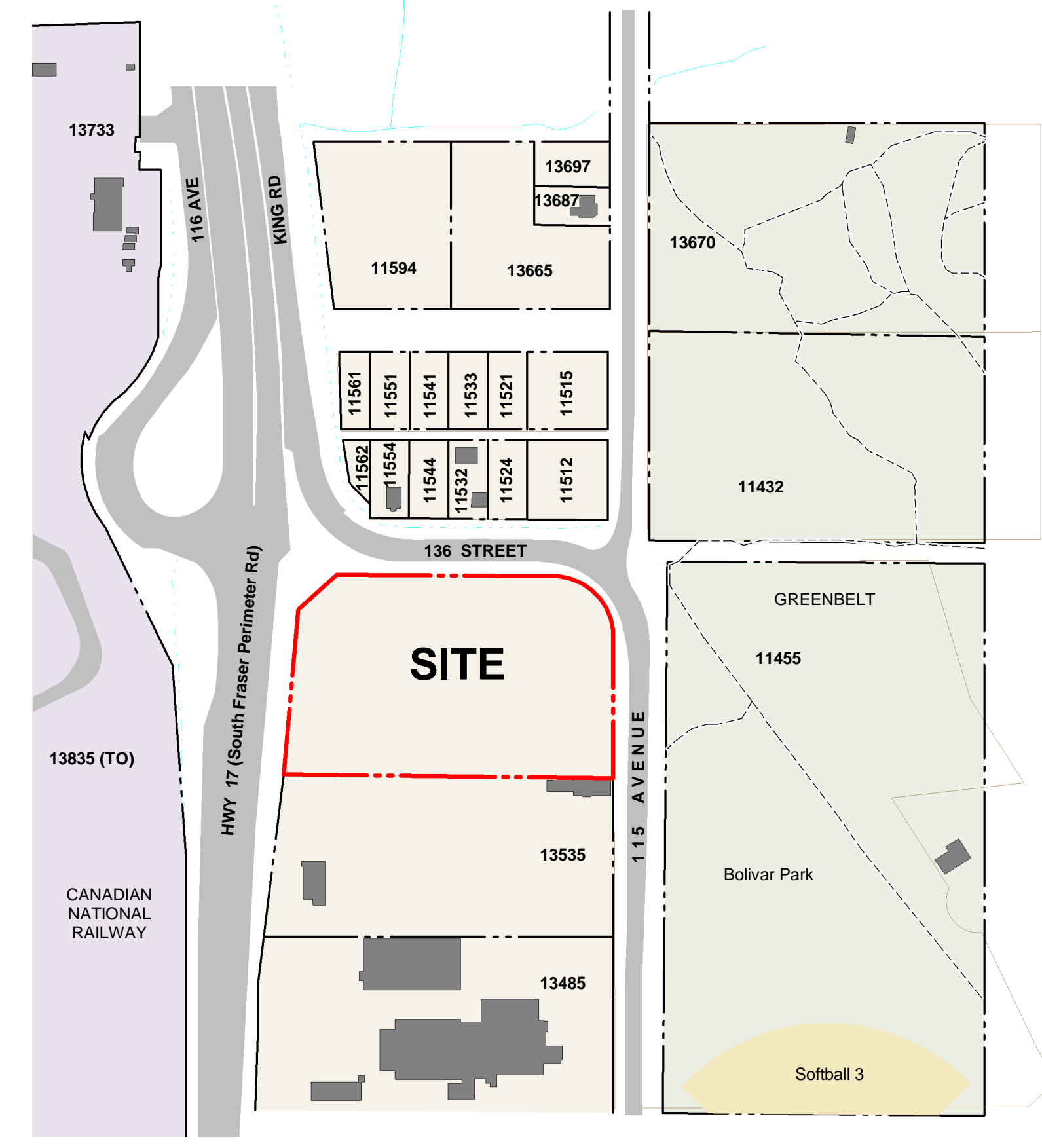
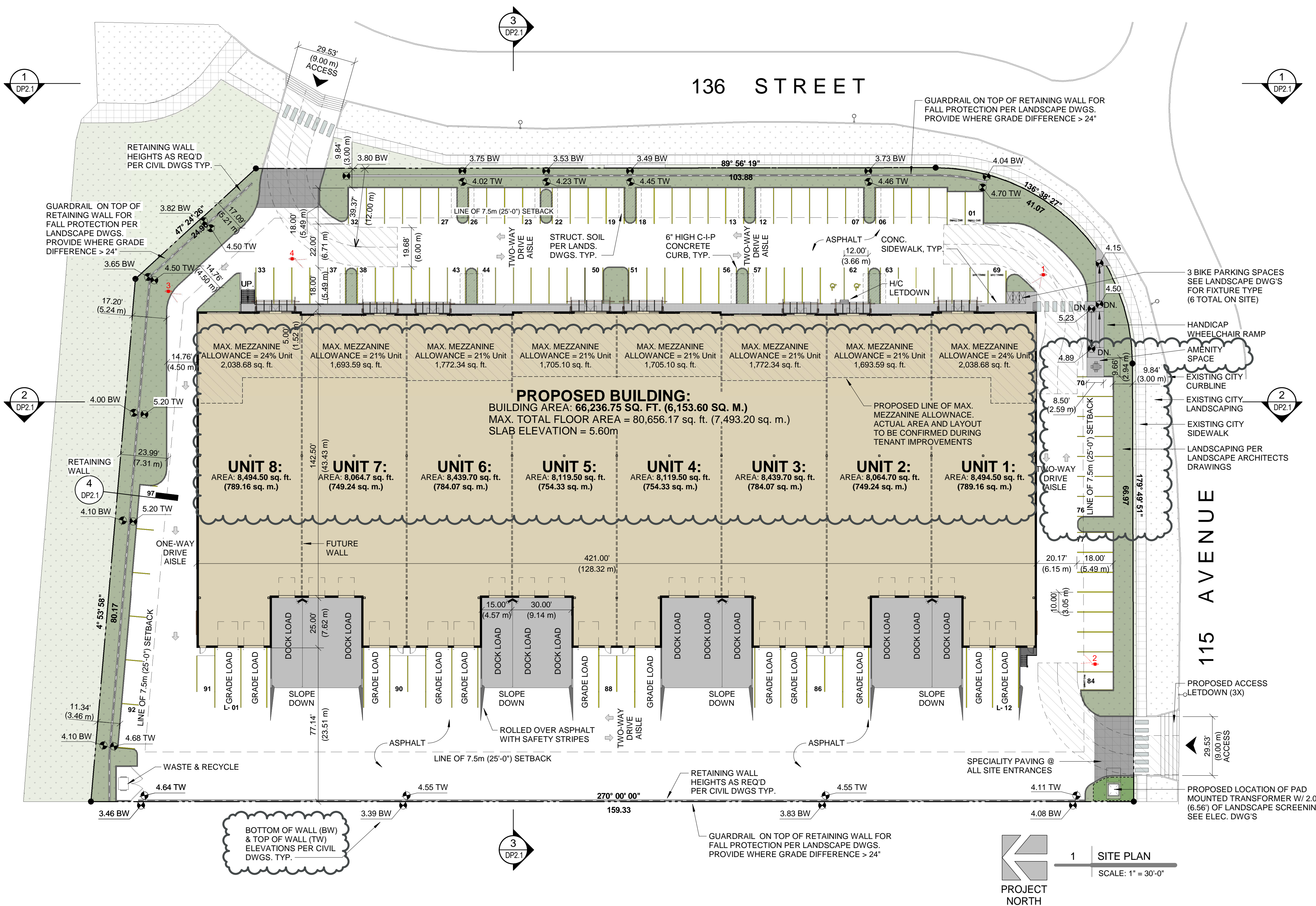
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**larry podhora | architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME  
**SITE DEVELOPMENT for DAKASH INVESTMENTS**

PROJECT ADDRESS  
**13577 - 115 AVENUE SURREY, BRITISH COLUMBIA CANADA**

DRAWING TITLE  
**SITE PLAN, CONTEXT PLAN, ZONING ANALYSIS**

SCALE: As indicated  
DRAWN: LGP/BSS  
CHECKED: CG  
PROJECT NO.: 170131  
DRAWING NO.: DP2.0

**PROJECT DATA**

CIVIC ADDRESS: 13577 - 115 AVENUE, SURREY, BC  
LEGAL ADDRESS: LOT 277, SECTION 10, BLOCK 5 NORTH RANGE 2 WEST, NWD PLAN 62313  
ZONING: IL - LIGHT INDUSTRIAL  
BUILDING USE: SHELL SPECIFICATION

**ZONING BYLAW ANALYSIS (CITY OF SURREY)**

**1. ZONING:** IL (LIGHT INDUSTRIAL)  
**2. SITE AREA:** 157,973.86 sq. ft. (3.63 ACRES) [14,676.25 sq. m. (1.47 HA)]  
**3. SITE COVERAGE + BUILDING AREAS:**  
TOTAL SITE AREA: 157,973.86 SQ FT (14,676.25 SQ M)  
BUILDING AREA: 66,236.75 sq. ft. (6,153.60 SQ M)  
ALLOWABLE SITE COVERAGE: 60%  
PROPOSED SITE COVERAGE: 41.9%  
ALLOWABLE FAR: 1.00  
PROPOSED FAR: 0.51

**4. BUILDING HEIGHT:**  
MAXIMUM HEIGHT: 18.0m [60 ft] MAX. PERMITTED  
PROPOSED HEIGHT: 12.09m [39' - 8"]  
**5. REQUIRED SETBACKS:**  
FRONT YARD (115 AVE): 7.5m [25 ft]  
SIDE YARD (FLANKING STREET): 7.5m [25 ft]  
SIDE YARD (WEST): 7.5m [25 ft]  
REAR YARD (NORTH): 7.5m [25 ft]  
**6. LANDSCAPING REQUIREMENTS:**  
ALONG THE DEVELOPED SIDES OF THE LOT WHICH ABUT A HIGHWAY, A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES (5 FT.) IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.  
**7. PARKING AND LOADING:**  
**INDUSTRY/LIGHT IMPACT:** 1 SPACE PER 1,075 sq.ft. OF GROSS FLOOR AREA  
**OFFICE:** 2.5 SPACES PER 1,075 sq.ft. OF GROSS FLOOR AREA

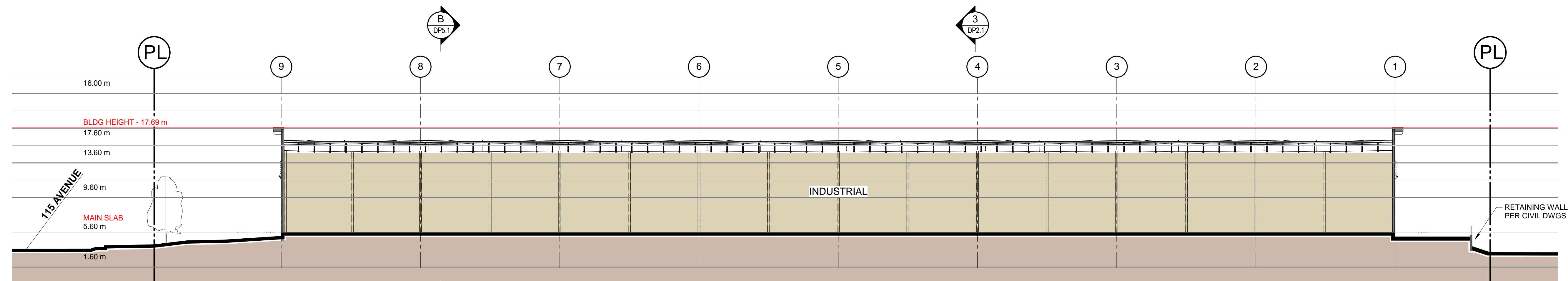
**PARKING STALLS REQUIRED:** INDUSTRIAL - CURRENT DEVELOPMENT: 66,236.75 / 1,075 = 61.62 SPACES  
OFFICE - FUTURE MEZZANINE ALLOWANCE (23%): 14,419.42 / 1,075 x 2.5 = 33.53 STALLS  
PARKING REQUIRED: 95 (95.15) STALLS  
**PARKING STALLS PROVIDED:** 97 STALLS PROVIDED  
**LOADING STALLS PROVIDED:** 12 STALLS PROVIDED  
**STALL DIMENSIONS:**  
STANDARD STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG [22'-0" (6.7 M) DRIVE AISLE] 10'-0" (2.90 M) WIDE, 18'-0" (5.5 M) LONG [20'-0" (6.1 M) DRIVE AISLE]  
ACCESSIBLE STALL DIMENSIONS: 12'-0" (3.7 M) WIDE, 18'-0" (5.5 M) LONG  
SMALL CAR STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 16'-0" (4.9 M) LONG (MAX. 35% OF REQ'D PARKING)  
LOADING STALL DIMENSIONS: 13'-0" (4.0 M) WIDE, 30'-0" (9.2 M) LONG [25'-0" (7.5 M) MANOEUVRING AISLE]

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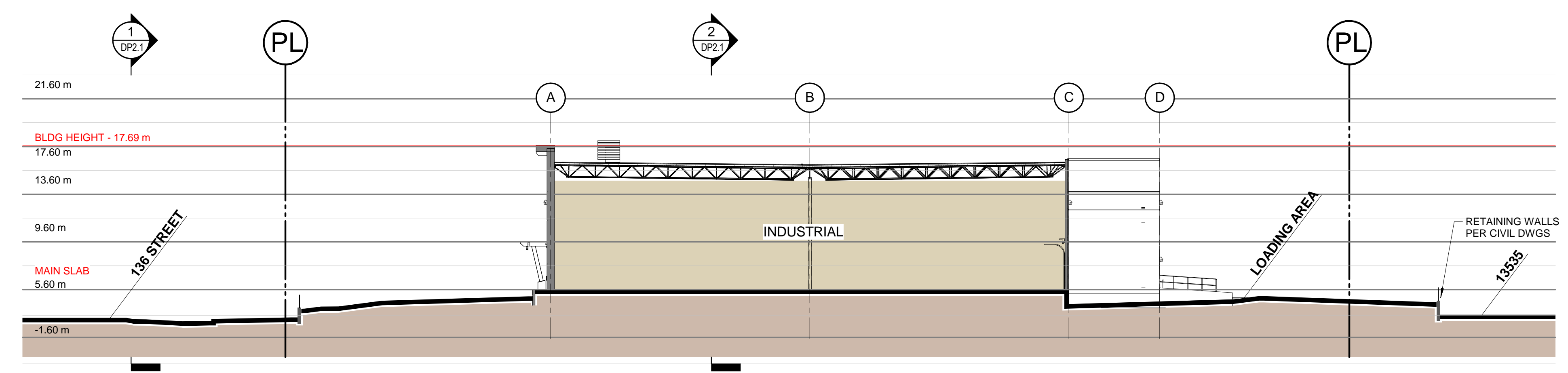




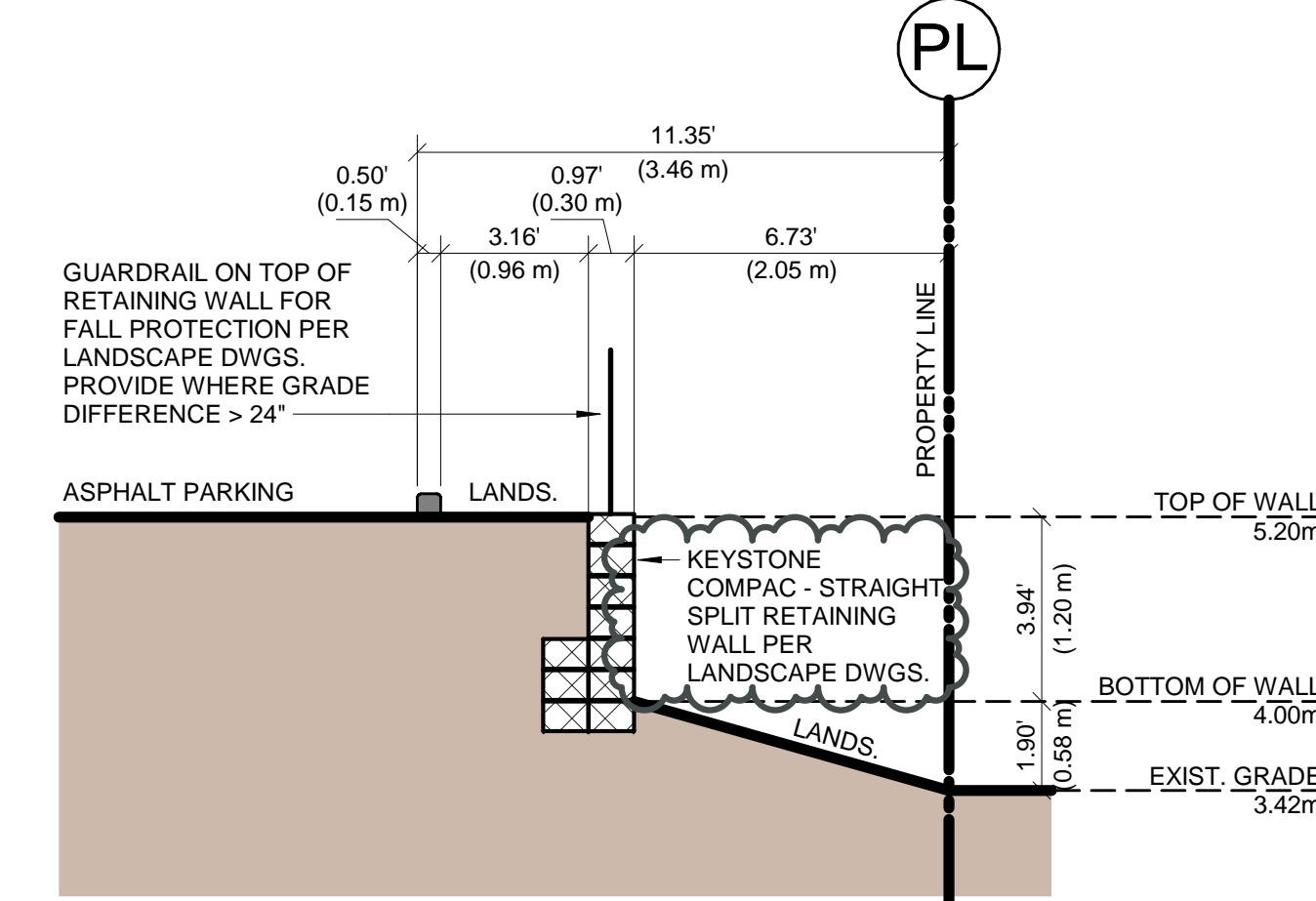
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SCALE: 3/64" = 1'-0"



2 | SITE SECTION  
SCALE: 3/64" = 1'-0"



3 | SITE SECTION  
SCALE: 3/64" = 1'-0"



4 | RETAINING WALL SECTION  
SCALE: 1/4" = 1'-0"

NO.	DATE	YMD	DESCRIPTION
6.	2018/03/26		DEVELOPMENT PERMIT RE-ISSUE
5.	2018/03/01		DEVELOPMENT PERMIT RE-ISSUE
4.	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
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ISSUES AND REVISIONS

SEAL



**larry podhora architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME  
**SITE DEVELOPMENT for DAKASH INVESTMENTS**

PROJECT ADDRESS  
**13577 - 115 AVENUE  
SURREY, BRITISH COLUMBIA  
CANADA**

DRAWING TITLE  
**SITE SECTIONS, STREET SCAPE**

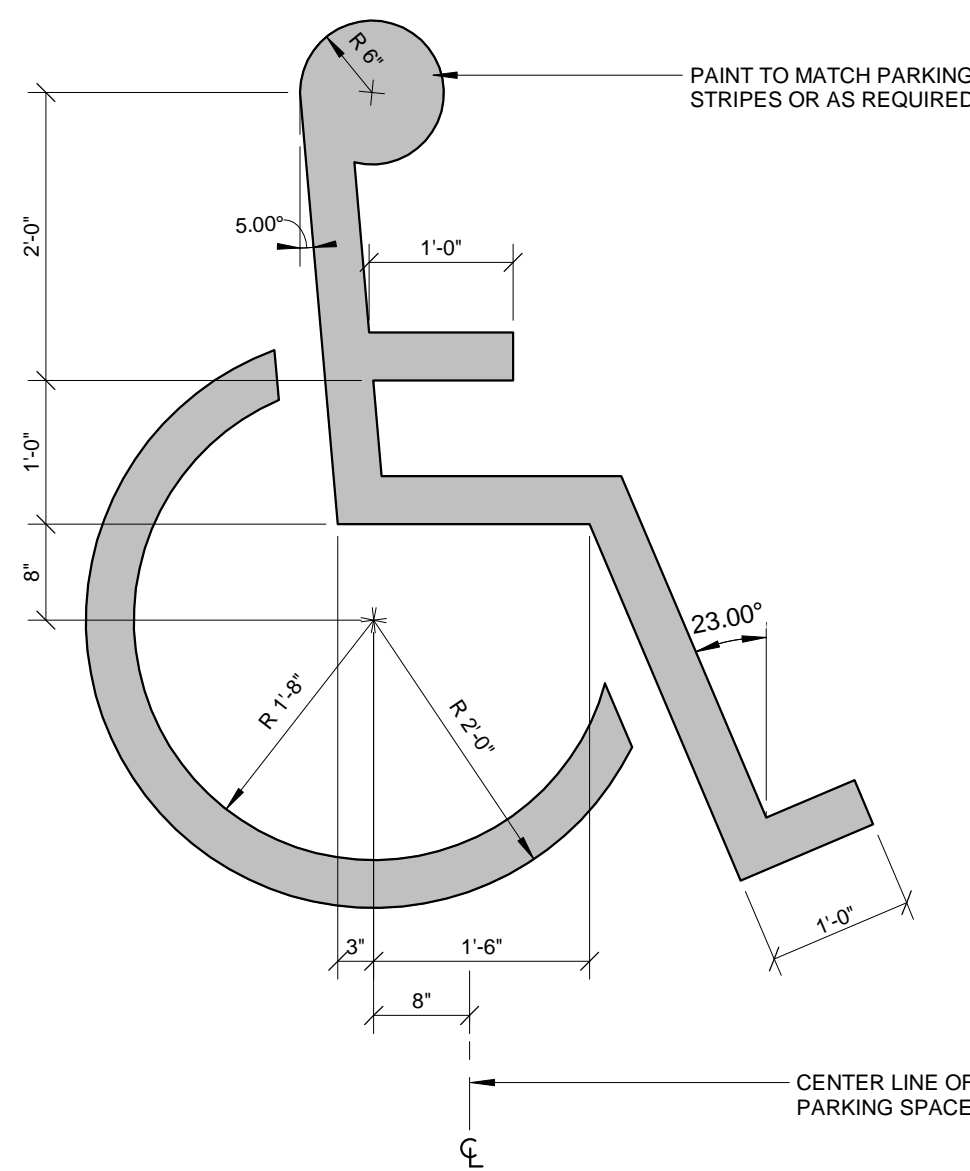
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PROJECT NO.	170131
DRAWING NO.	

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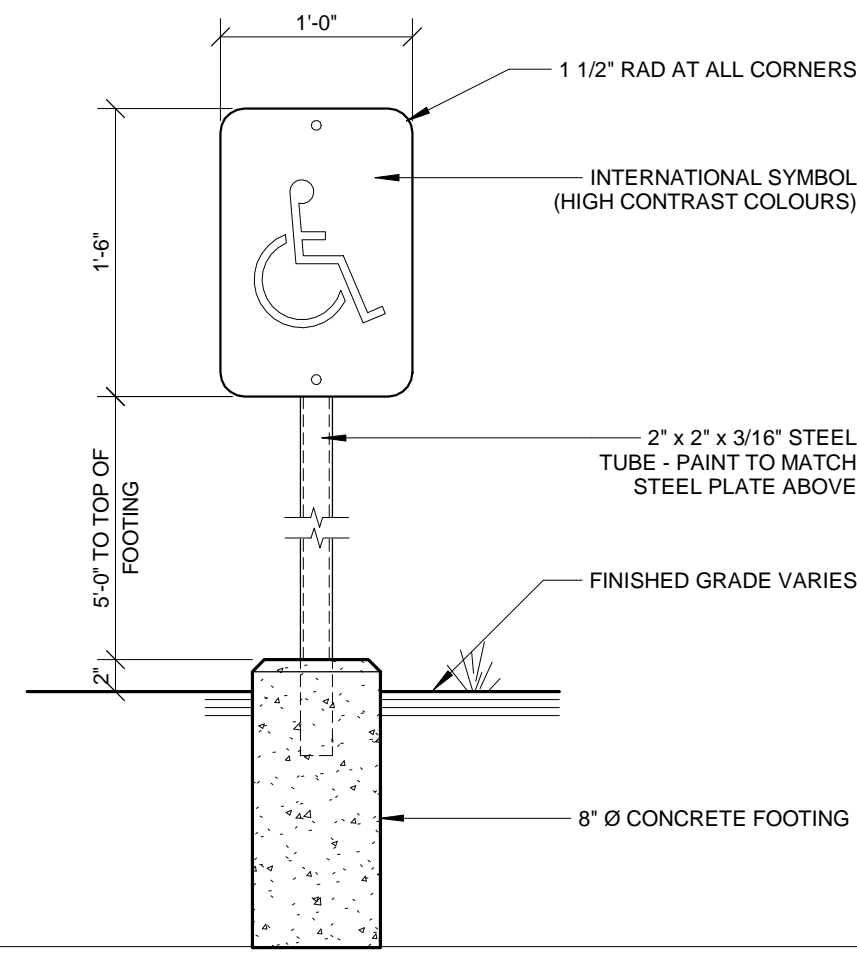
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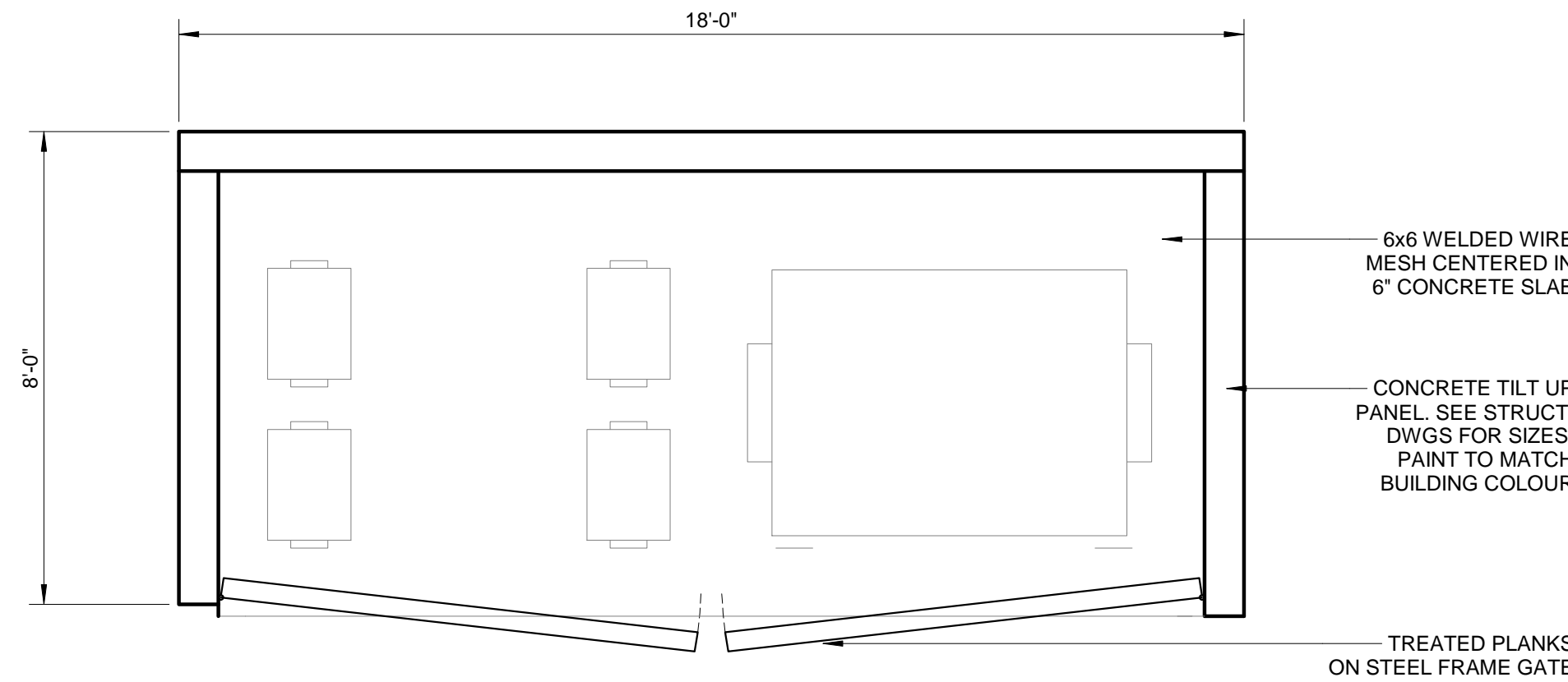


**1 ACCESSIBLE PAINTED SIGN**  
SCALE: 3/4" = 1'-0"

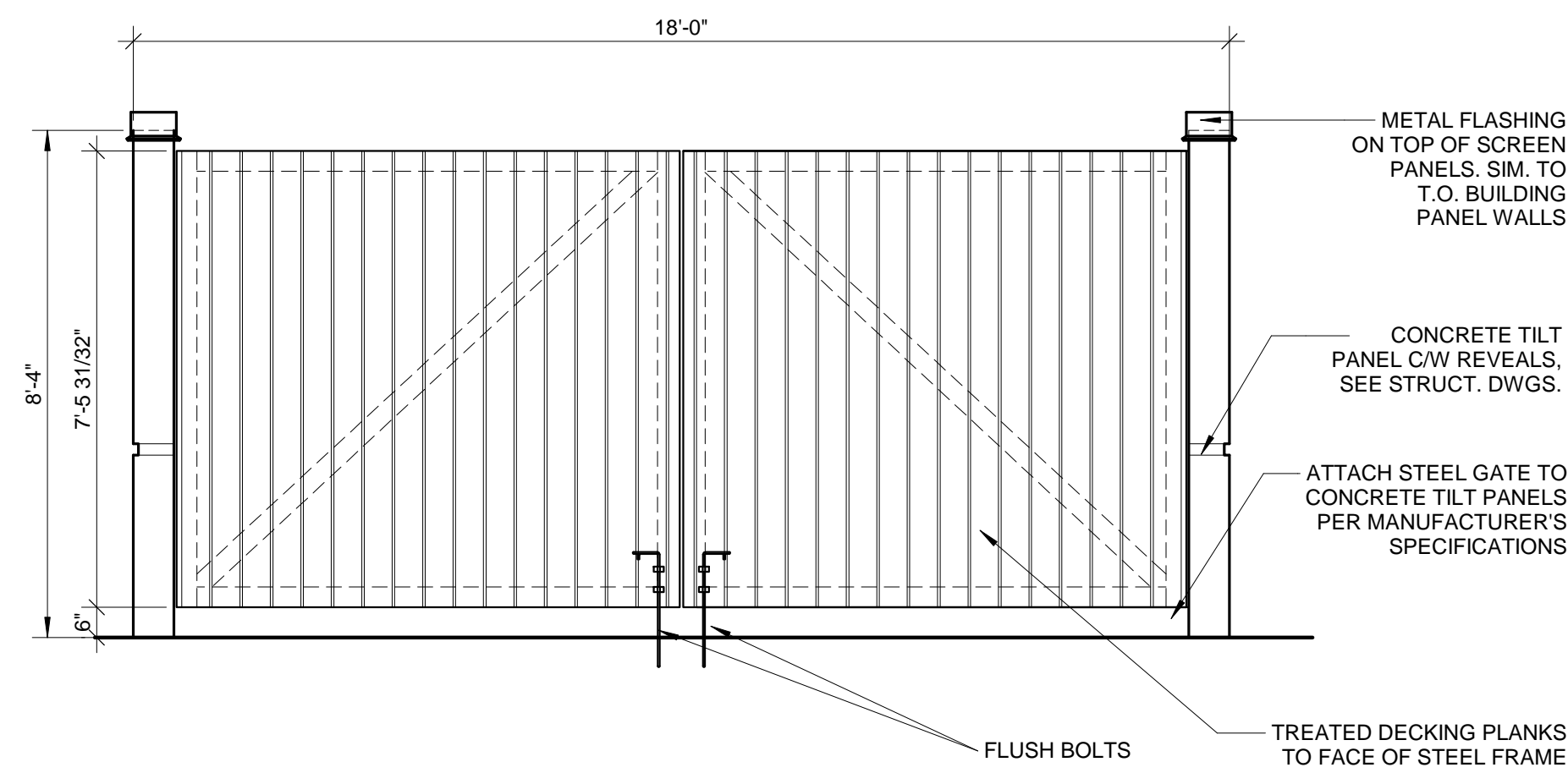


- NOTE:**
- SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
  - SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 3'-0" CLEAR.
  - MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION
  - WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

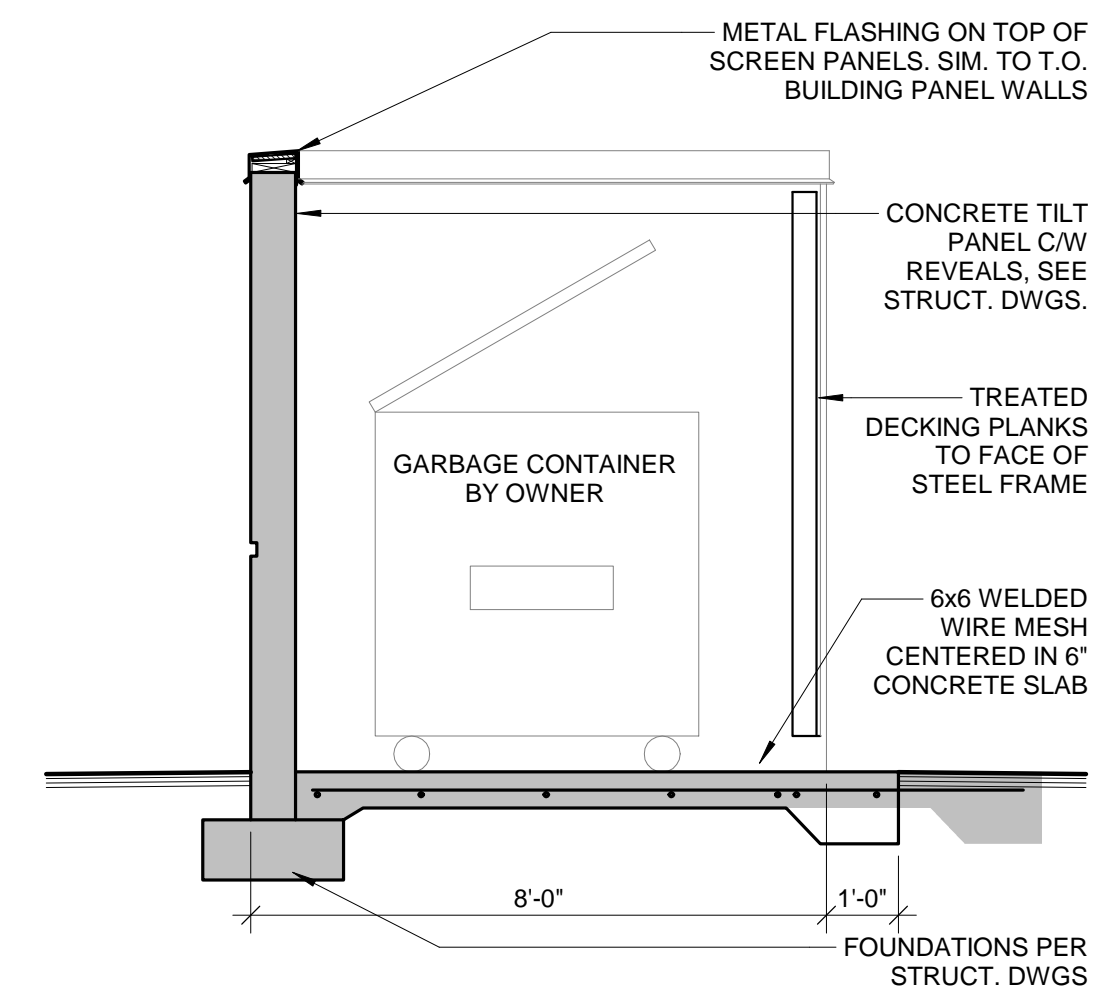
**2 ACCESSIBLE SIGN**  
SCALE: 1" = 1'-0"



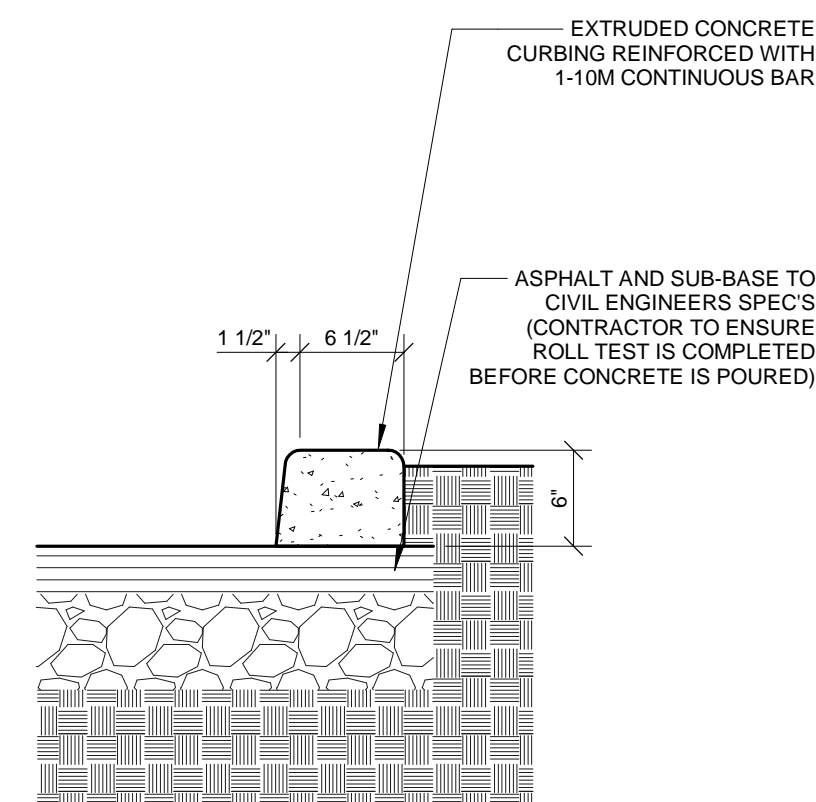
**PLAN**



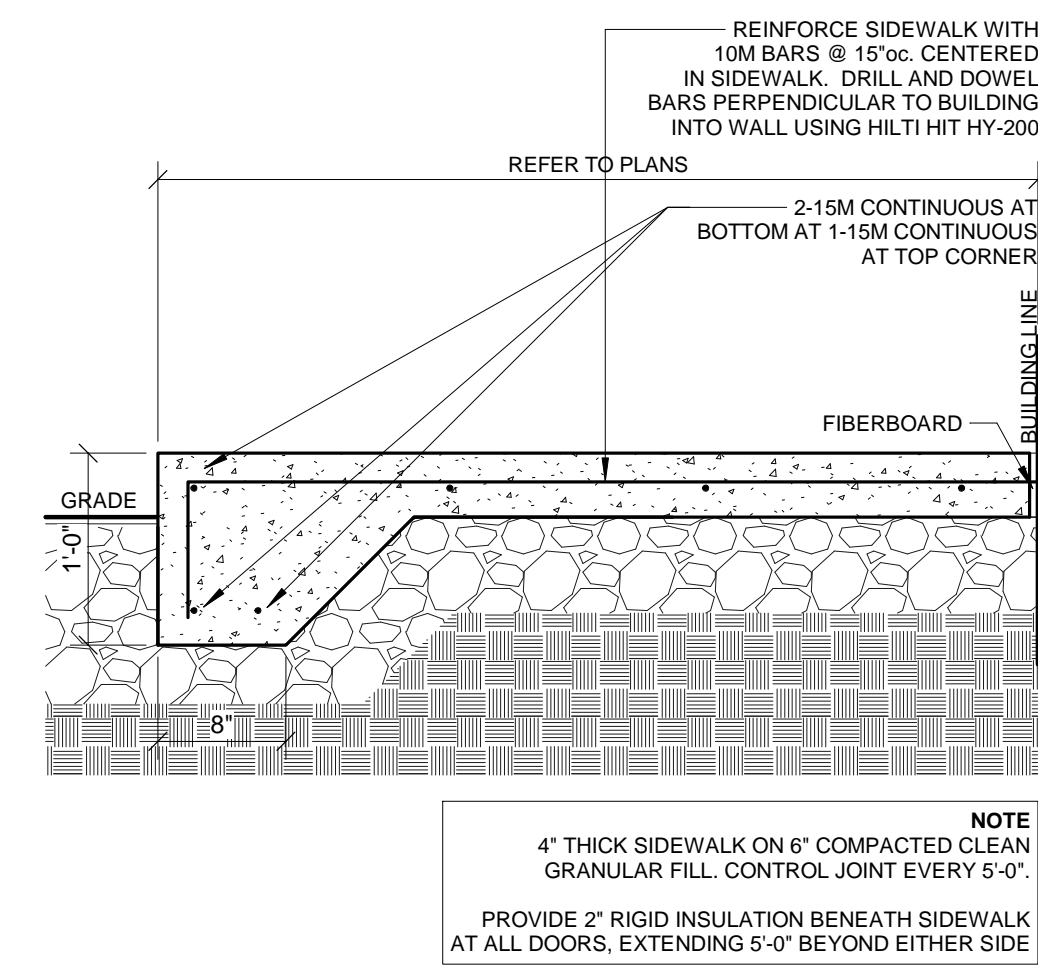
**ELEVATION**



**SECTION**

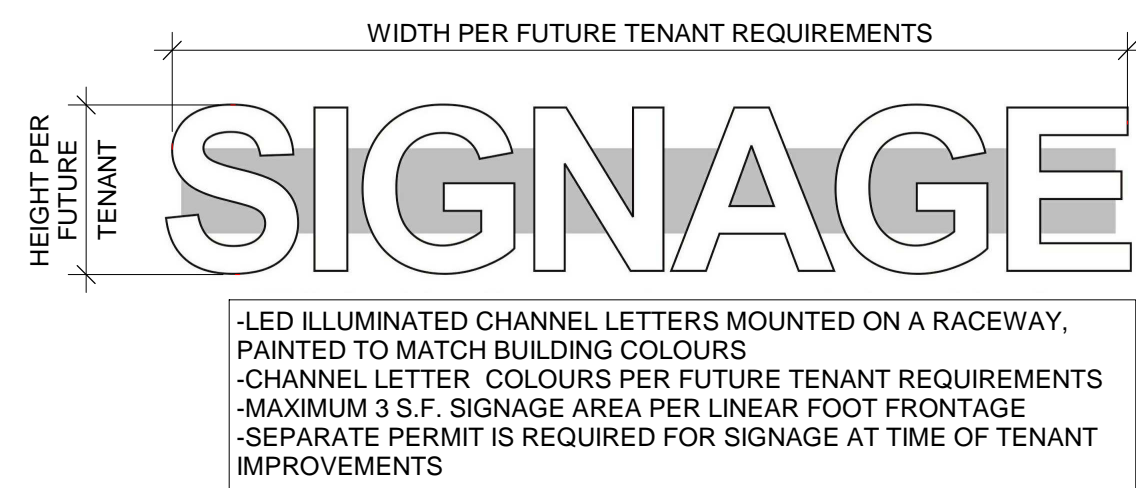


**3 EXTRUDED CURB**  
SCALE: 1" = 1'-0"

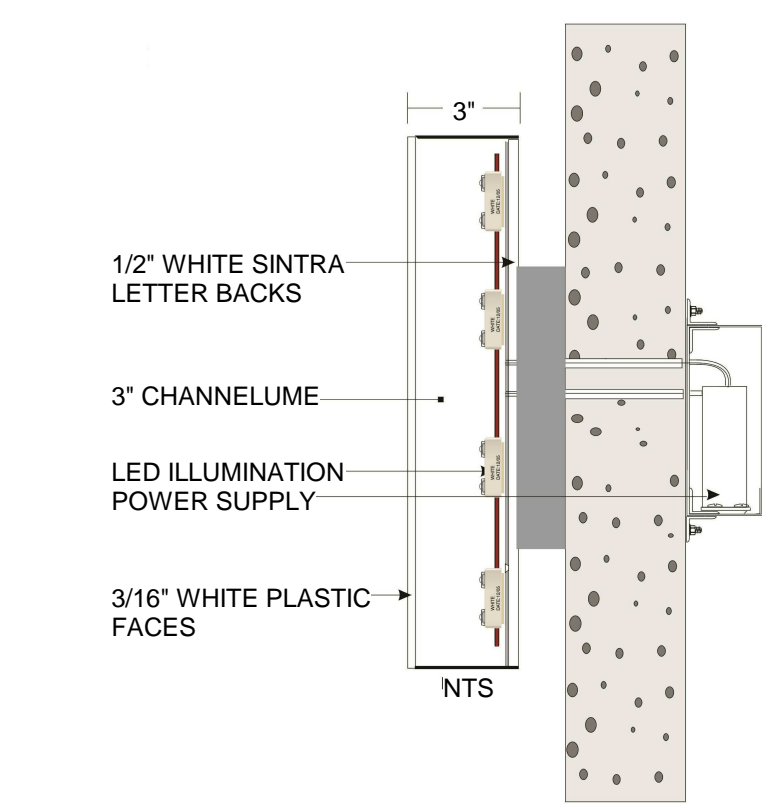


**4 SIDEWALK DETAIL**  
SCALE: 1" = 1'-0"

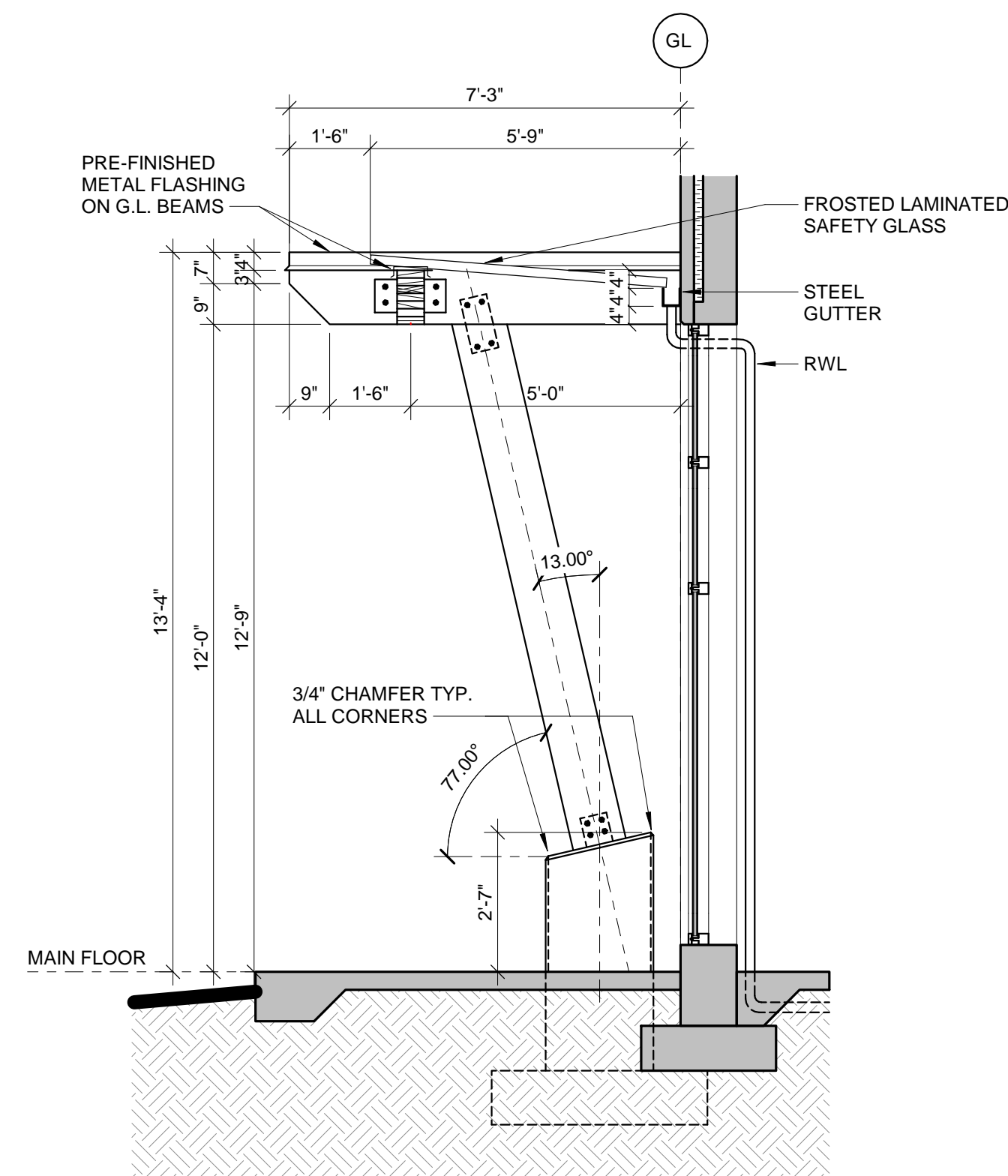
**5 WASTE + RECYCLING ENCLOSURE**  
SCALE: 3/8" = 1'-0"



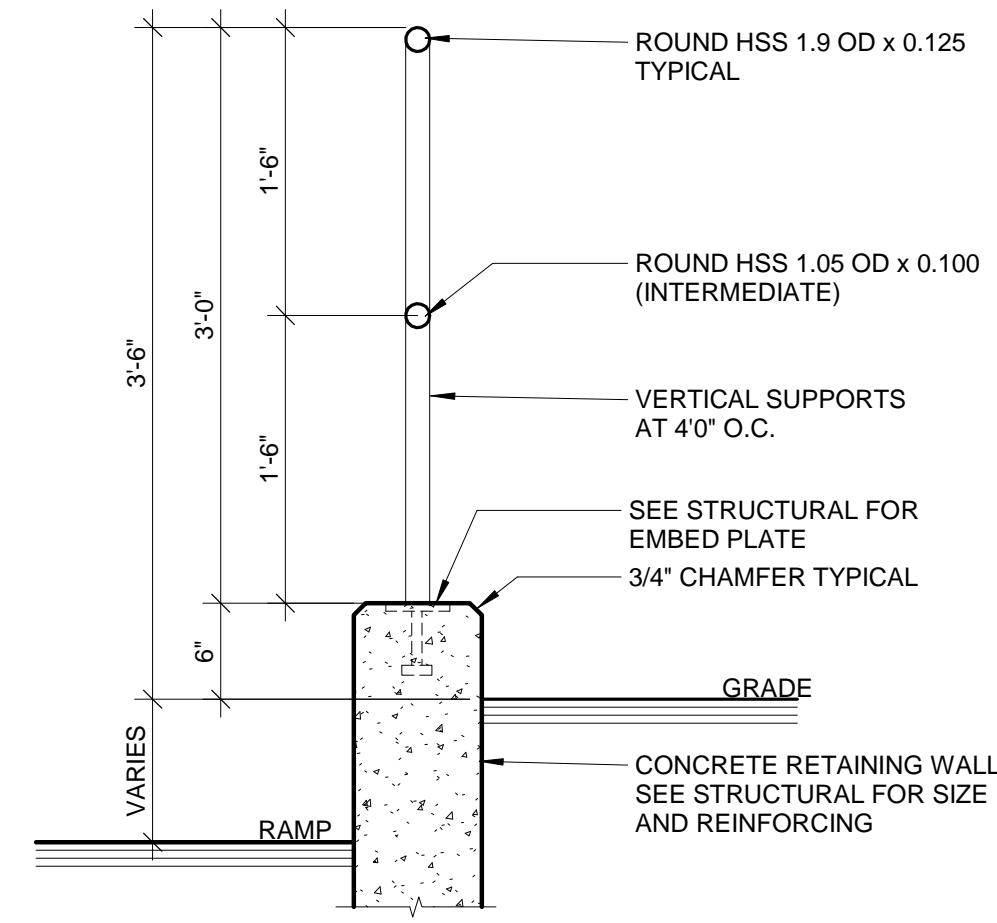
**8 TYPICAL BUILDING FASCIA SIGNAGE**  
SCALE: 3/32" = 1'-0"



**9 TYPICAL BUILDING FASCIA SIGNAGE DETAIL**  
SCALE: 1/16" = 1'-0"

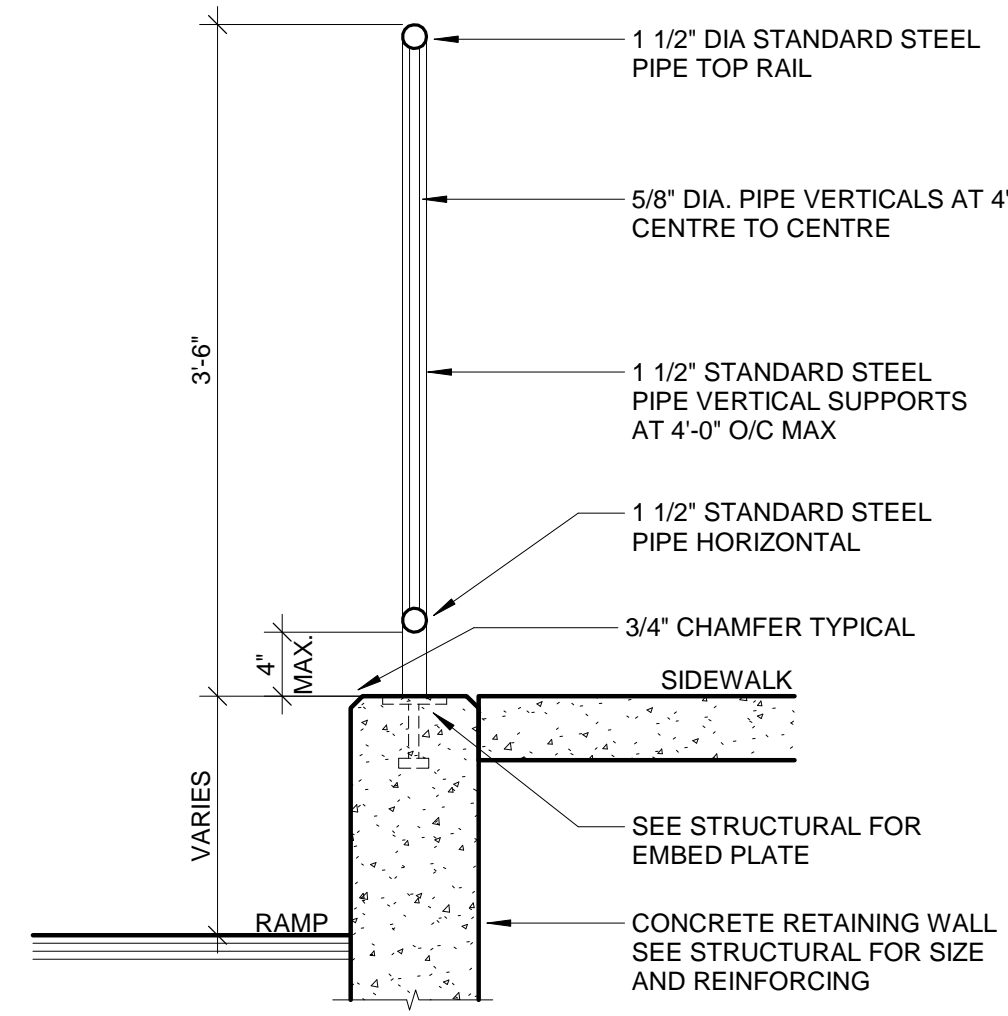


**10 CANOPY SECTION**  
SCALE: 3/8" = 1'-0"



GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE DIFFERENCE IN ELEVATION BETWEEN TWO ADJACENT GRADES EXCEEDS 24"

**6 RETAINING WALL GUARDRAIL**  
SCALE: 1" = 1'-0"



GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE DIFFERENCE IN ELEVATION BETWEEN TWO ADJACENT GRADES EXCEEDS 24"

**7 RETAINING WALL GUARDRAIL - FRONT**  
SCALE: 1" = 1'-0"

NO.	DATE	YMD	DESCRIPTION
6.	2018/03/26		DEVELOPMENT PERMIT RE-ISSUE
5.	2018/03/01		DEVELOPMENT PERMIT RE-ISSUE
4.	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
3.	2017/12/22		DEVELOPMENT PERMIT RE-ISSUE
2.	2017/09/27		FOR DEVELOPMENT PERMIT
1.	2017/06/23		FOR CLIENT REVIEW

ISSUES AND REVISIONS



**larry podhora architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME  
**SITE DEVELOPMENT for DAKASH INVESTMENTS**

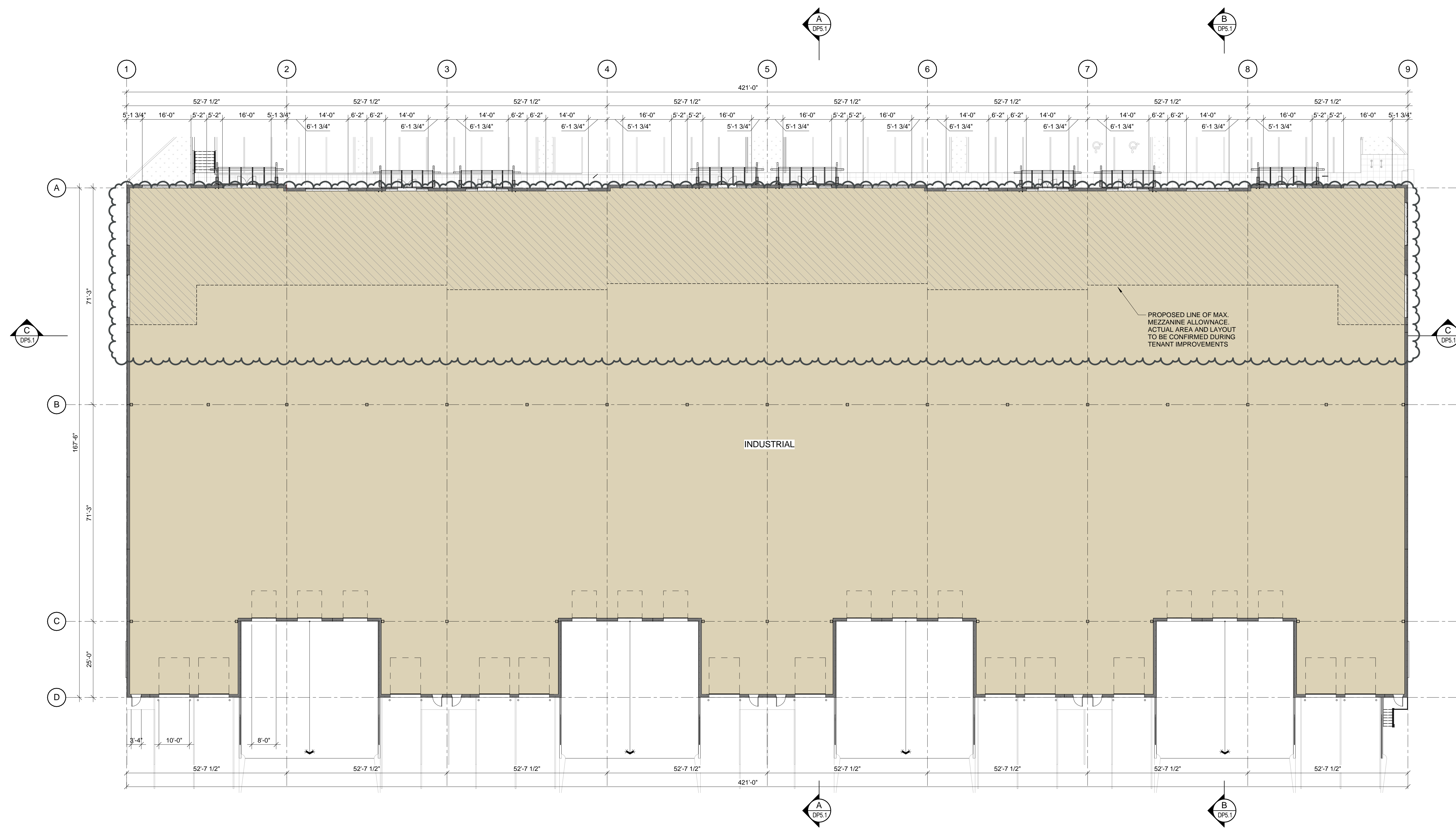
PROJECT ADDRESS  
**13577 - 115 AVENUE SURREY, BRITISH COLUMBIA CANADA**

DRAWING TITLE  
**SITE DETAILS**

SCALE	As indicated
DRAWN	LGP/BSS
CHECKED	CG
PROJECT NO.	170131
DRAWING NO.	

**DP2.2**





NO.	DATE	YMD	DESCRIPTION
6.	2018/03/26		DEVELOPMENT PERMIT RE-ISSUE
5.	2018/03/01		DEVELOPMENT PERMIT RE-ISSUE
4.	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
3.	2017/12/22		DEVELOPMENT PERMIT RE-ISSUE
2.	2017/09/27		FOR DEVELOPMENT PERMIT
1.	2017/06/23		FOR CLIENT REVIEW

ISSUES AND REVISIONS

SEAL



**larry podhora architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME  
**SITE DEVELOPMENT  
for DAKASH  
INVESTMENTS**

PROJECT ADDRESS  
**13577 - 115 AVENUE  
SURREY, BRITISH COLUMBIA  
CANADA**

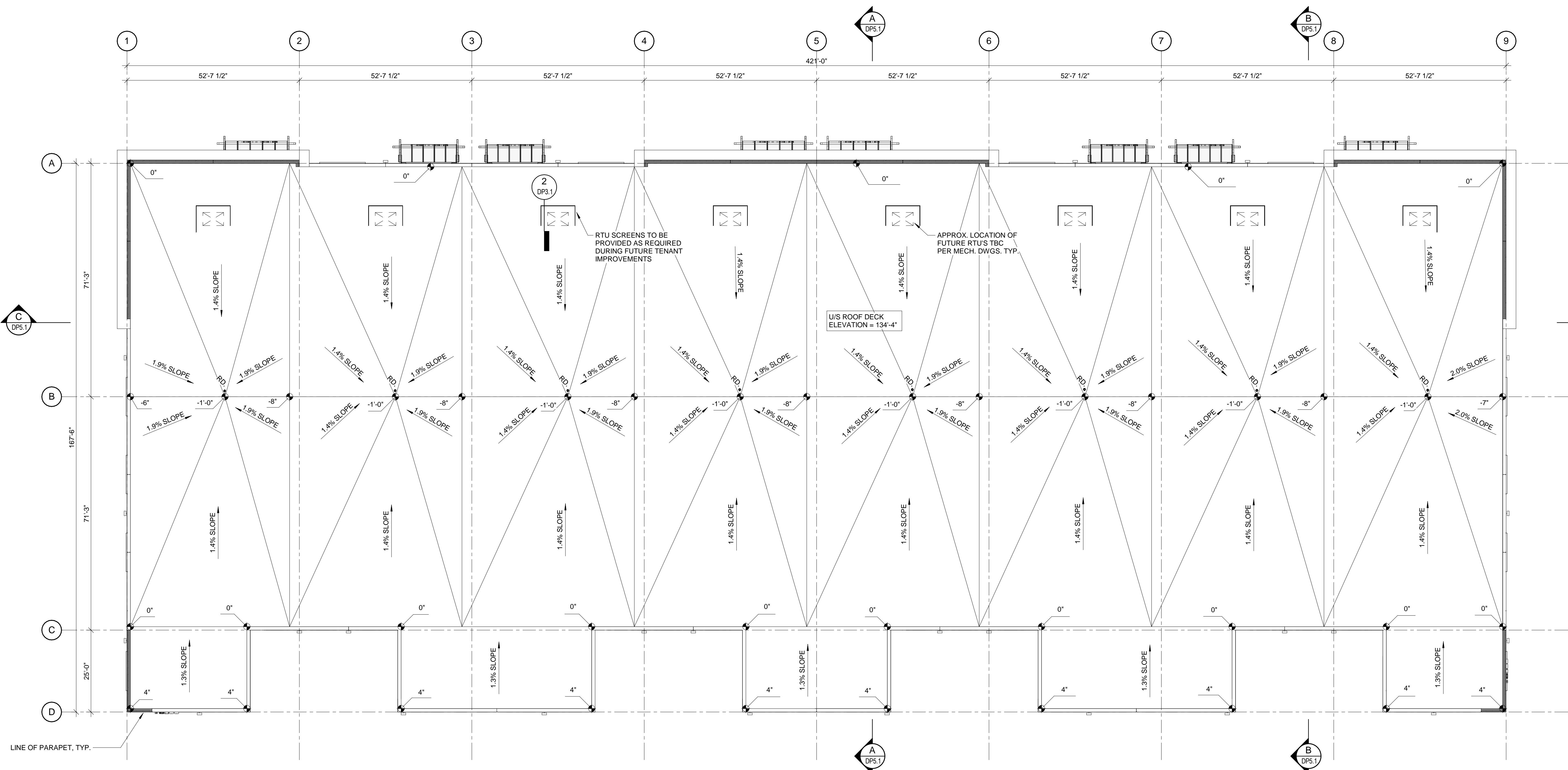
DRAWING TITLE  
**FLOOR PLANS**

PROJECT NORTH

A MAIN FLOOR  
SCALE: 1/16" = 1'-0"

SCALE	1/16" = 1'-0"
DRAWN	LGP/BSS
CHECKED	CG
PROJECT NO.	170131
DRAWING NO.	

**DP3.0**



**1 ROOF PLAN**  
SCALE: 1/16" = 1'-0"

NO.	DATE	YMD	DESCRIPTION
6	2018/03/26		DEVELOPMENT PERMIT RE-ISSUE
5	2018/03/01		DEVELOPMENT PERMIT RE-ISSUE
4	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
3	2017/12/22		DEVELOPMENT PERMIT RE-ISSUE
2	2017/09/27		FOR DEVELOPMENT PERMIT
1	2017/06/23		FOR CLIENT REVIEW

ISSUES AND REVISIONS

NO.	DATE	YMD	DESCRIPTION

SEAL



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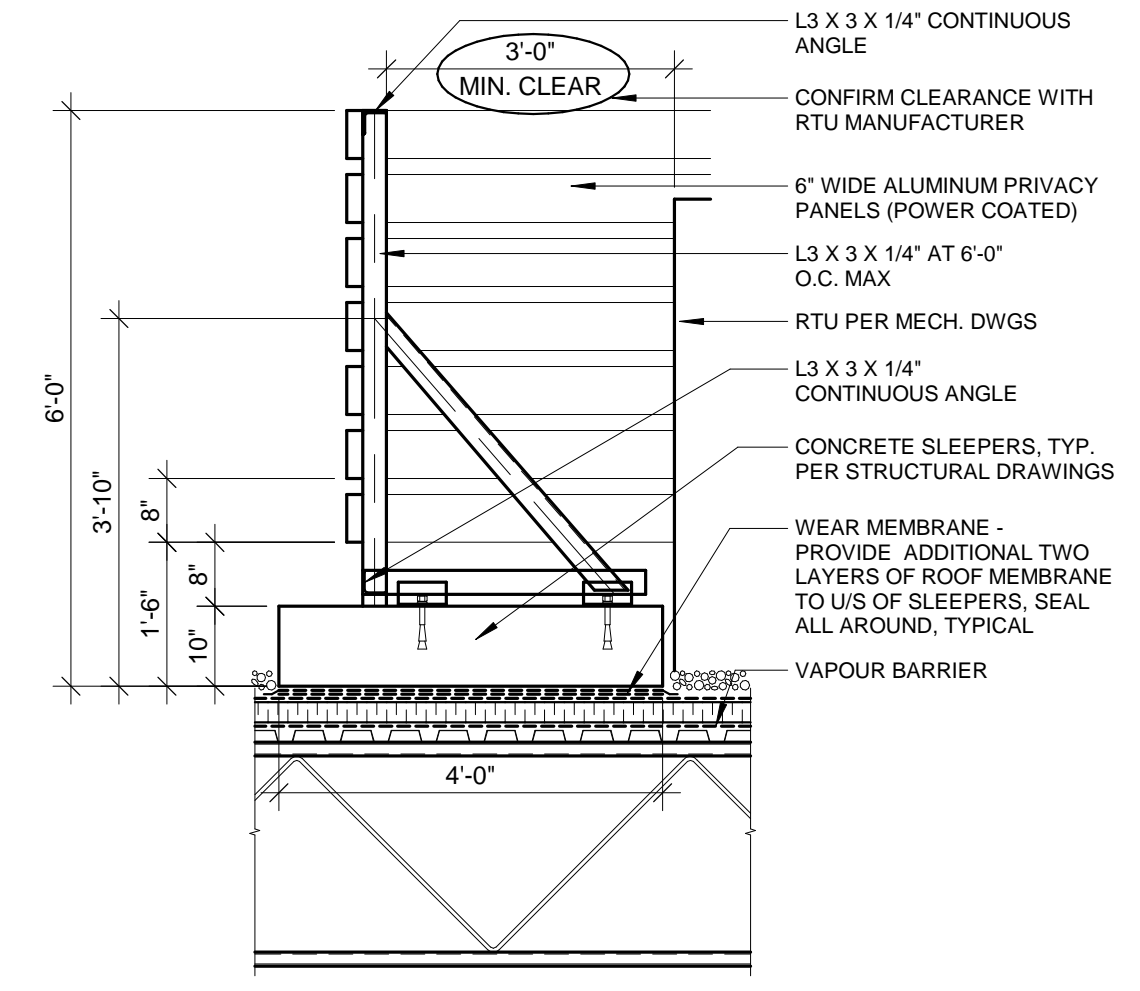
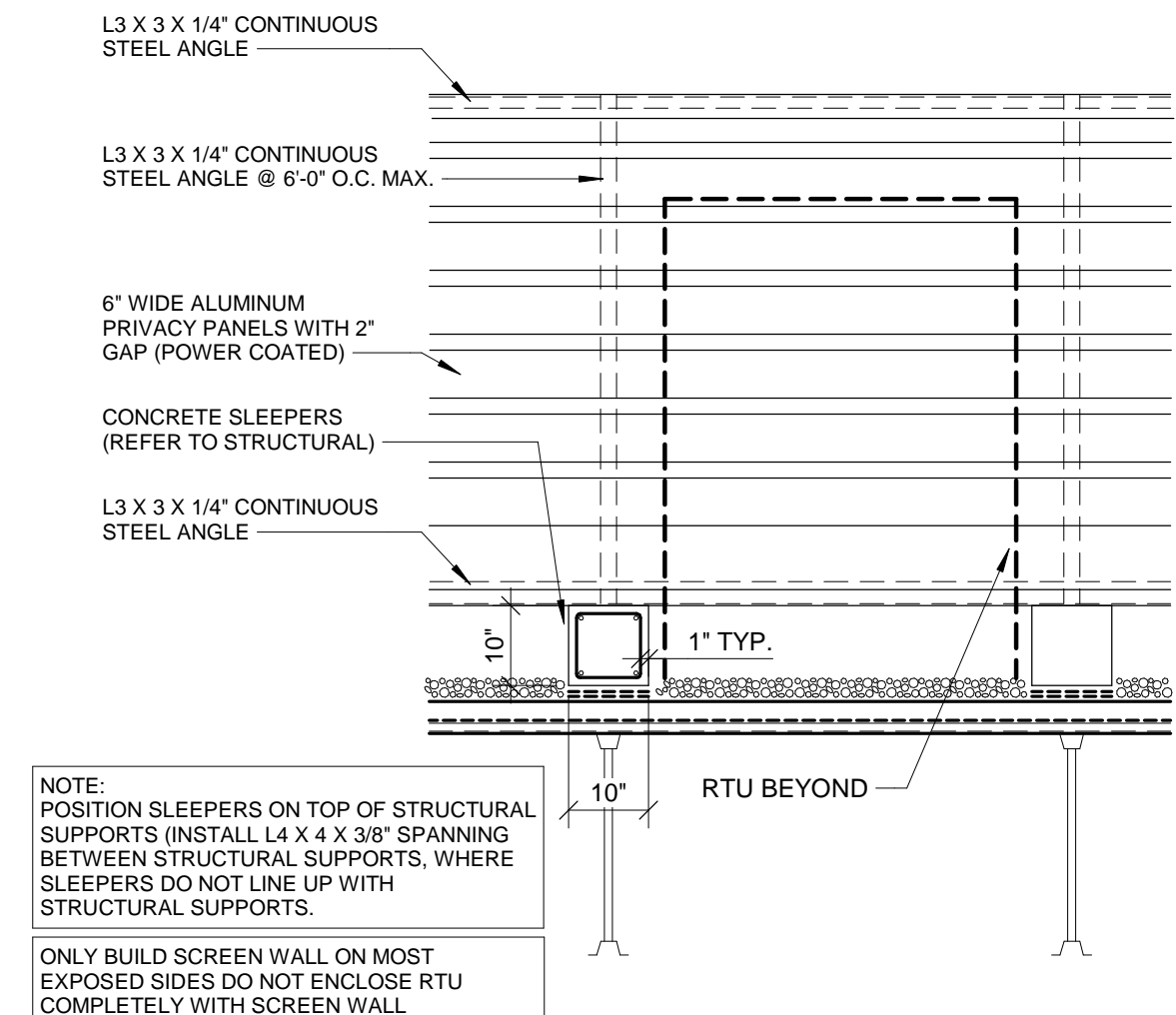
PROJECT NAME  
**SITE DEVELOPMENT for DAKASH INVESTMENTS**

PROJECT ADDRESS  
**13577 - 115 AVENUE SURREY, BRITISH COLUMBIA CANADA**

DRAWING TITLE  
**ROOF PLAN**

SCALE	As indicated
DRAWN	LGP/BSS
CHECKED	CG
PROJECT NO.	170131
DRAWING NO.	

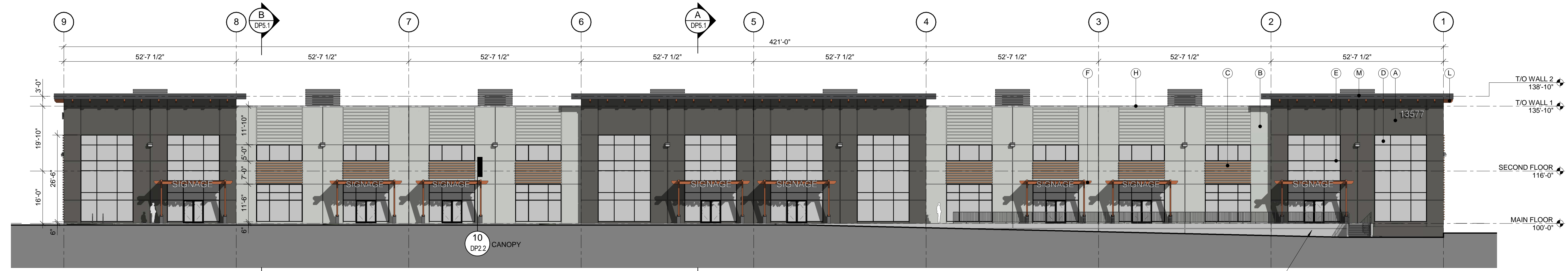
**DP3.1**



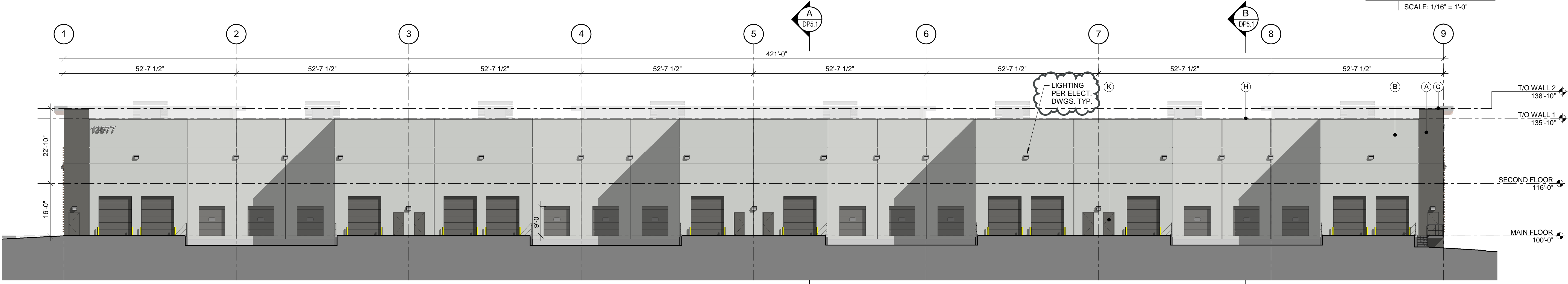
**2 ROOF TOP UNIT SCREEN**  
SCALE: 1/2" = 1'-0"

C:\Users\lbrun\Desktop\Revit Local File\170131-A\_Dakash Investments\_Central\_basiss\h.rvt

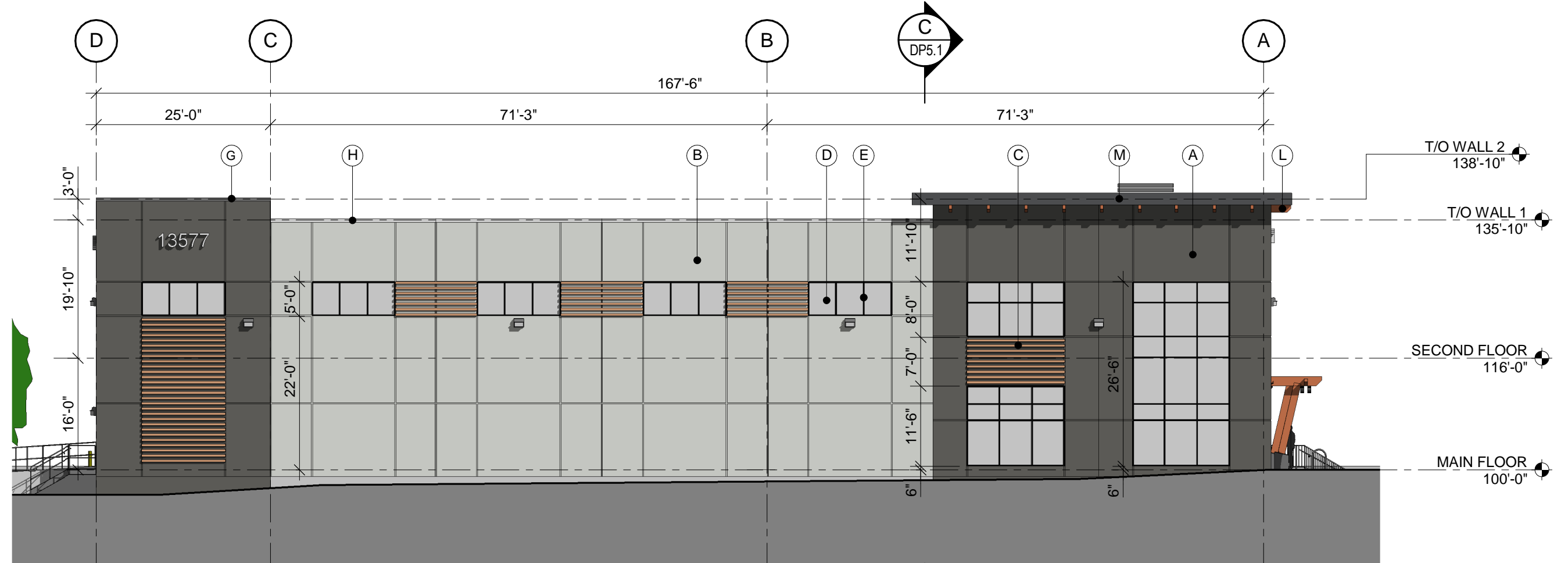




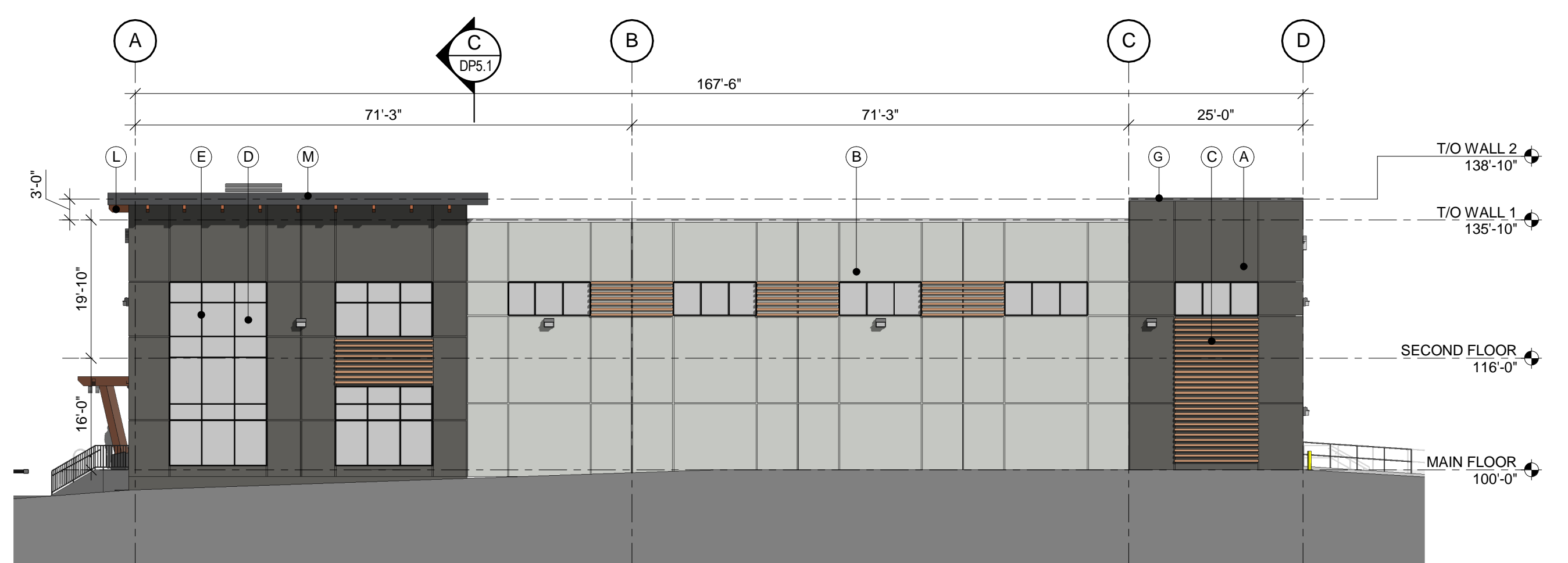
**1 EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**4 NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"

**MATERIAL LEGEND:**

A. TILT UP CONCRETE PAINTED:	BENJAMIN MOORE - CHARCOAL GRAY		G. CAP FLASHING PRE-FINISHED:	TO MATCH ADJACENT COLOR - A	
B. TILT UP CONCRETE PAINTED:	BENJAMIN MOORE - PENTHOUSE CSP 35		H. CAP FLASHING PRE-FINISHED:	TO MATCH ADJACENT COLOR - B	
C. ALUMINUM FAUX WOOD PRE-FINISHED	LONGBOARD - LIGHT FIR		J. OVERHEAD DOOR - TYPE 1 PAINTED:	CHARCOAL GRAY	
D. VISUAL GLAZING - TYPE 1 PRE-FINISHED:	CLEAR		K. DOOR PAINTED:	CHARCOAL GRAY	
E. ANODIZED ALUMINUM PRE-FINISHED:	BLACK		L. GLULAM CANOPY SUPPORT STAINED:	NATURAL COLOUR STAIN TO OWNER'S APPROVAL	
F. GLULAM/GLASS CANOPY STAINED:	NATURAL COLOUR STAIN TO OWNER'S APPROVAL		M. AL13 ALUMINUM PANEL CANOPY MIDNIGHT PRE-FINISHED:		

6.	2018/03/26	DEVELOPMENT PERMIT RE-ISSUE	
5.	2018/03/01	DEVELOPMENT PERMIT RE-ISSUE	
4.	2018/02/20	DEVELOPMENT PERMIT RE-ISSUE	
3.	2017/12/22	DEVELOPMENT PERMIT RE-ISSUE	
2.	2017/09/27	FOR DEVELOPMENT PERMIT	
1.	2017/06/23	FOR CLIENT REVIEW	
NO.	DATE	YMD	DESCRIPTION
<b>ISSUES AND REVISIONS</b>			
SEAL			



**larry podhora|architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME  
**SITE DEVELOPMENT for DAKASH INVESTMENTS**

PROJECT ADDRESS  
**13577 - 115 AVENUE SURREY, BRITISH COLUMBIA CANADA**

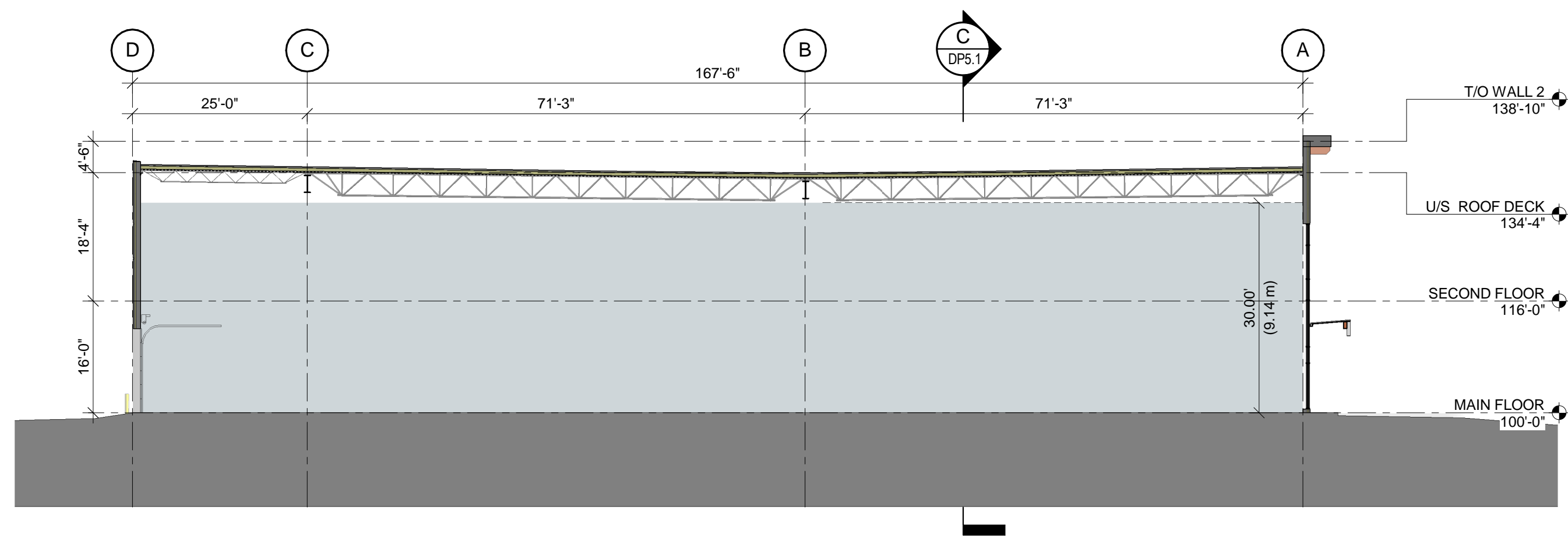
DRAWING TITLE  
**ELEVATIONS**

SCALE	As indicated
DRAWN	LGP/BSS
CHECKED	CG
PROJECT NO.	170131
DRAWING NO.	

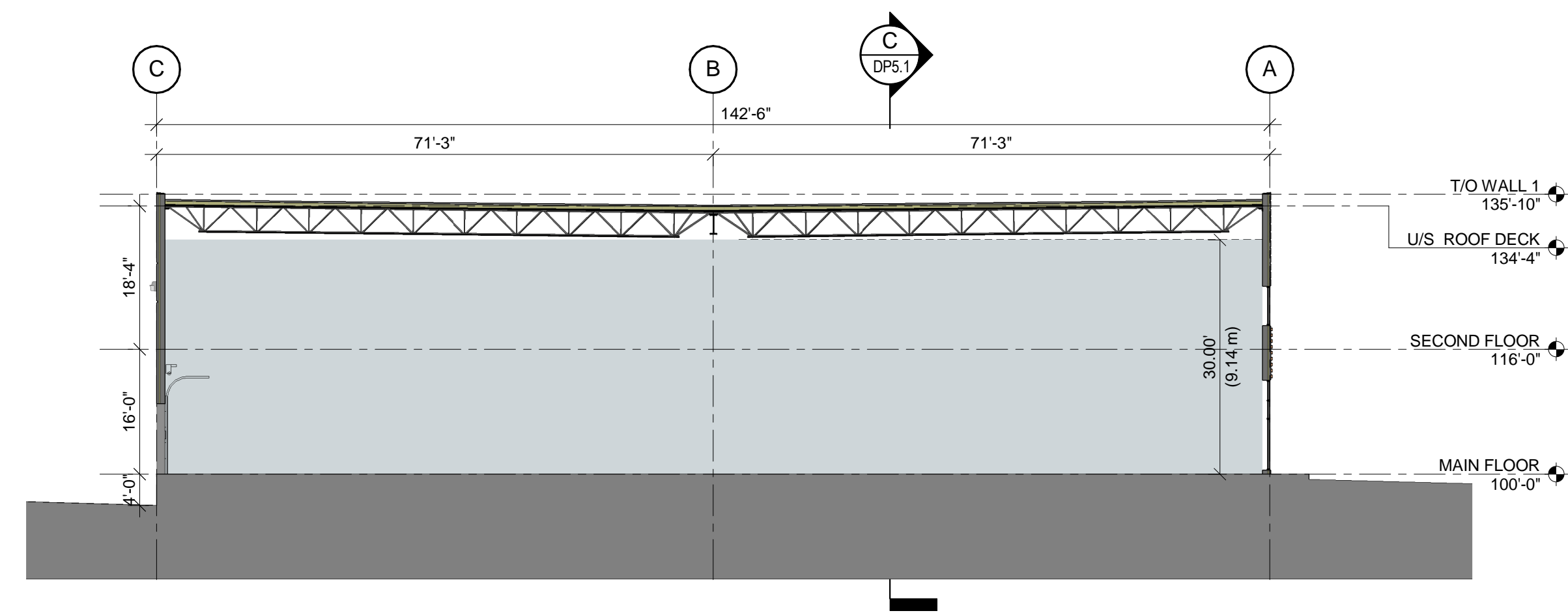
**DP4.1**

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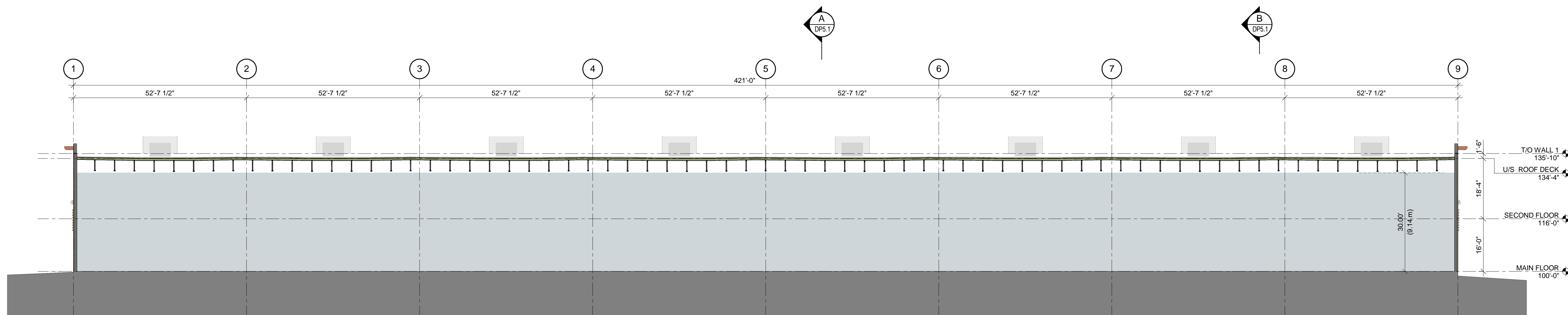
C:\Users\larry\OneDrive\Work\170131\_A\_Dakash\Investments\_Cemetal\_basisthru.rvt



**A SECTION**  
SCALE: 1/16" = 1'-0"



**B SECTION**  
SCALE: 1/16" = 1'-0"



**C SECTION**  
SCALE: 1/16" = 1'-0"

NO.	DATE	YMD	DESCRIPTION
6	2018/03/26		DEVELOPMENT PERMIT RE-ISSUE
5	2018/03/01		DEVELOPMENT PERMIT RE-ISSUE
4	2018/02/20		DEVELOPMENT PERMIT RE-ISSUE
3	2017/12/22		DEVELOPMENT PERMIT RE-ISSUE
2	2017/09/27		FOR DEVELOPMENT PERMIT
1	2017/06/23		FOR CLIENT REVIEW

ISSUES AND REVISIONS

SEAL



**larry podhora architecture inc**  
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME

**SITE DEVELOPEMENT  
for DAKASH  
INVESTMENTS**

PROJECT ADDRESS

**13577 - 115 AVENUE  
SURREY, BRITISH COLUMBIA  
CANADA**

DRAWING TITLE

**BUILDING SECTIONS**

SCALE 1/16" = 1'-0"

DRAWN LGP/BSS

CHECKED CG

PROJECT NO. 170131

DRAWING NO.

**DP5.1**

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**LEGEND**

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- STRUCTURAL SOIL
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP
NO.	DATE: (d/m/y)	DESCRIPTION:
ISSUES & REVISIONS:		
SEAL:		



PROJECT NAME:  
**DAKASH INDUSTRIAL**

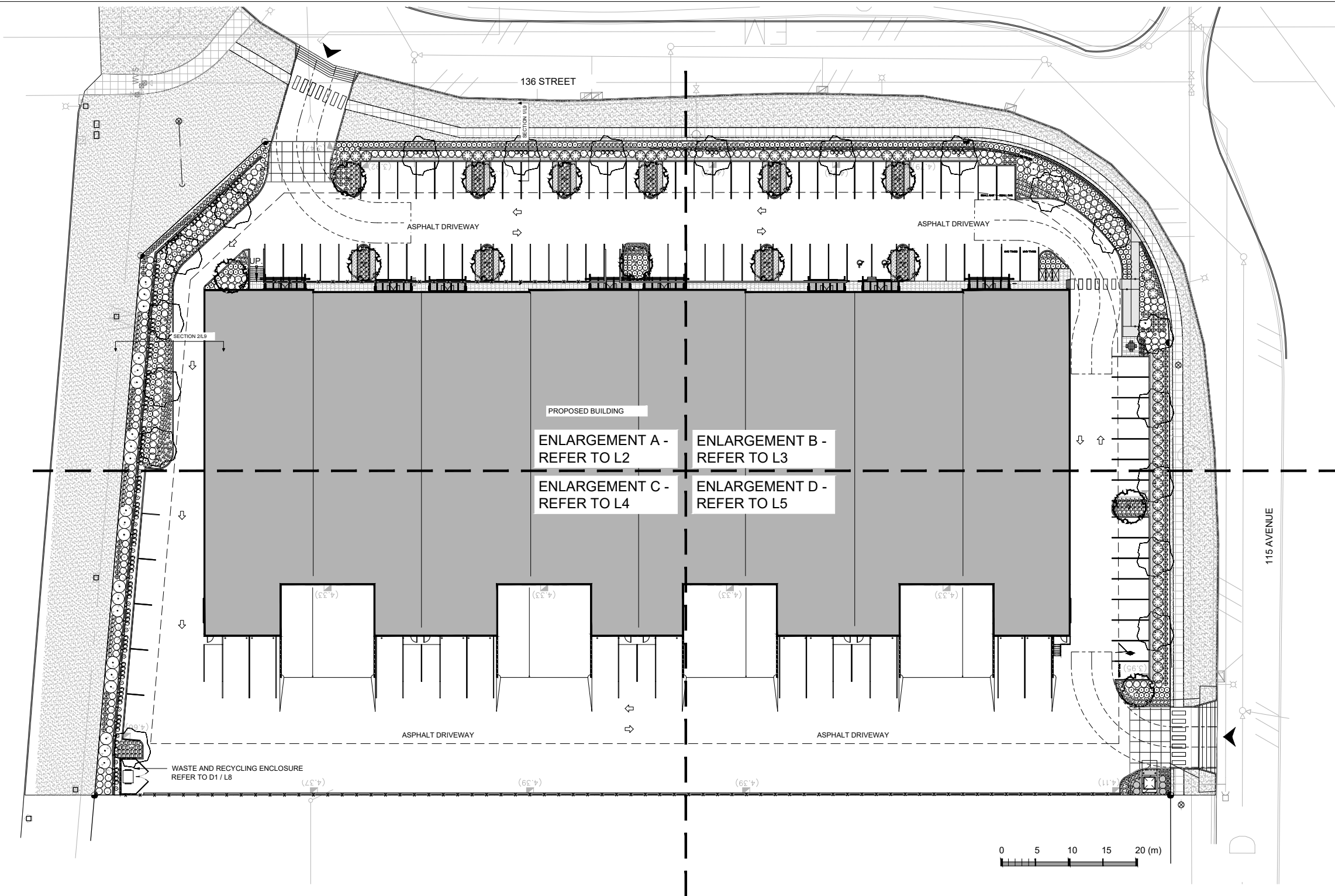
PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**OVERALL LANDSCAPE  
PLAN AND NOTES**

SCALE: 1:300  
DRAWN: JT  
CHECKED: ST  
PROJECT NO: 170131

DRAWING NO:  
**L1**

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- GENERAL NOTES**
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
  7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

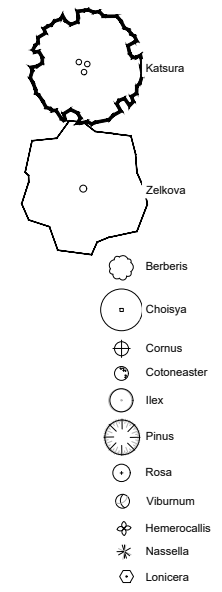
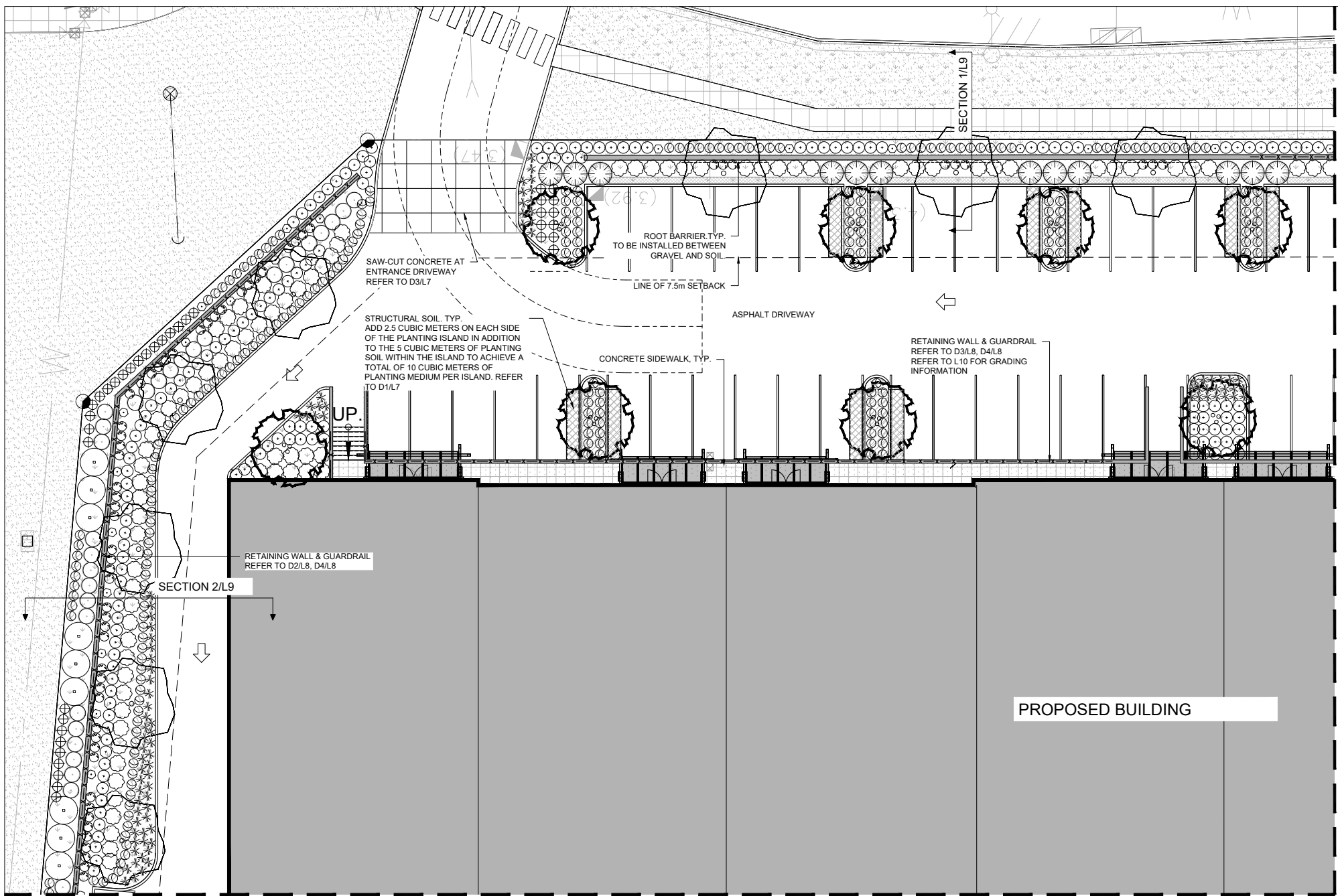
**LIST OF DRAWINGS**

- L1 OVERALL LANDSCAPE PLAN AND NOTES
- L2 ENLARGEMENT A
- L3 ENLARGEMENT B
- L4 ENLARGEMENT C
- L5 ENLARGEMENT D
- L6 OFF-SITE LANDSCAPE
- L7 DETAILS AND NOTES
- L8 DETAILS
- L9 WALL SECTIONS
- L10 GRADING PLAN

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- STRUCTURAL SOIL
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP
NO. DATE: (d/m/y) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		



QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>					
14	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6 cm cal.	As per plan	W.B.
19	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	6 cm cal.	As per plan	W.B.
<b>SHRUBS</b>					
128	<i>Berberis thunbergii</i> 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
28	<i>Choisya ternata</i> 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
155	<i>Cornus sericea</i> 'Kelsy'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot
115	<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster	30cm ht.	1m	#1 pot
103	<i>Ilex glabra</i>	Inkberry	50cm ht.	1m	#2 pot
52	<i>Pinus mugo</i> pumillo	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
273	<i>Rosa</i> 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot
376	<i>Viburnum davidii</i>	David Viburnum	50cm ht.	0.6m	#2 pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>					
59	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily		0.6m	#1 pot
195	<i>Nassella tenuissima</i>	Mexican Feather Grass		0.45m	#1 pot
<b>VINES</b>					
39	<i>Lonicera ciliosa</i>	Western Trumpet Honeysuckle		4 to 5m	#2 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

ENLARGEMENT A



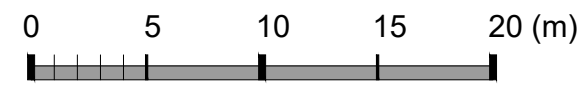
PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**ENLARGEMENT A**

SCALE: 1:150  
DRAWN: JT  
CHECKED: ST  
PROJECT NO: 170131








DRAWING NO: **L2**



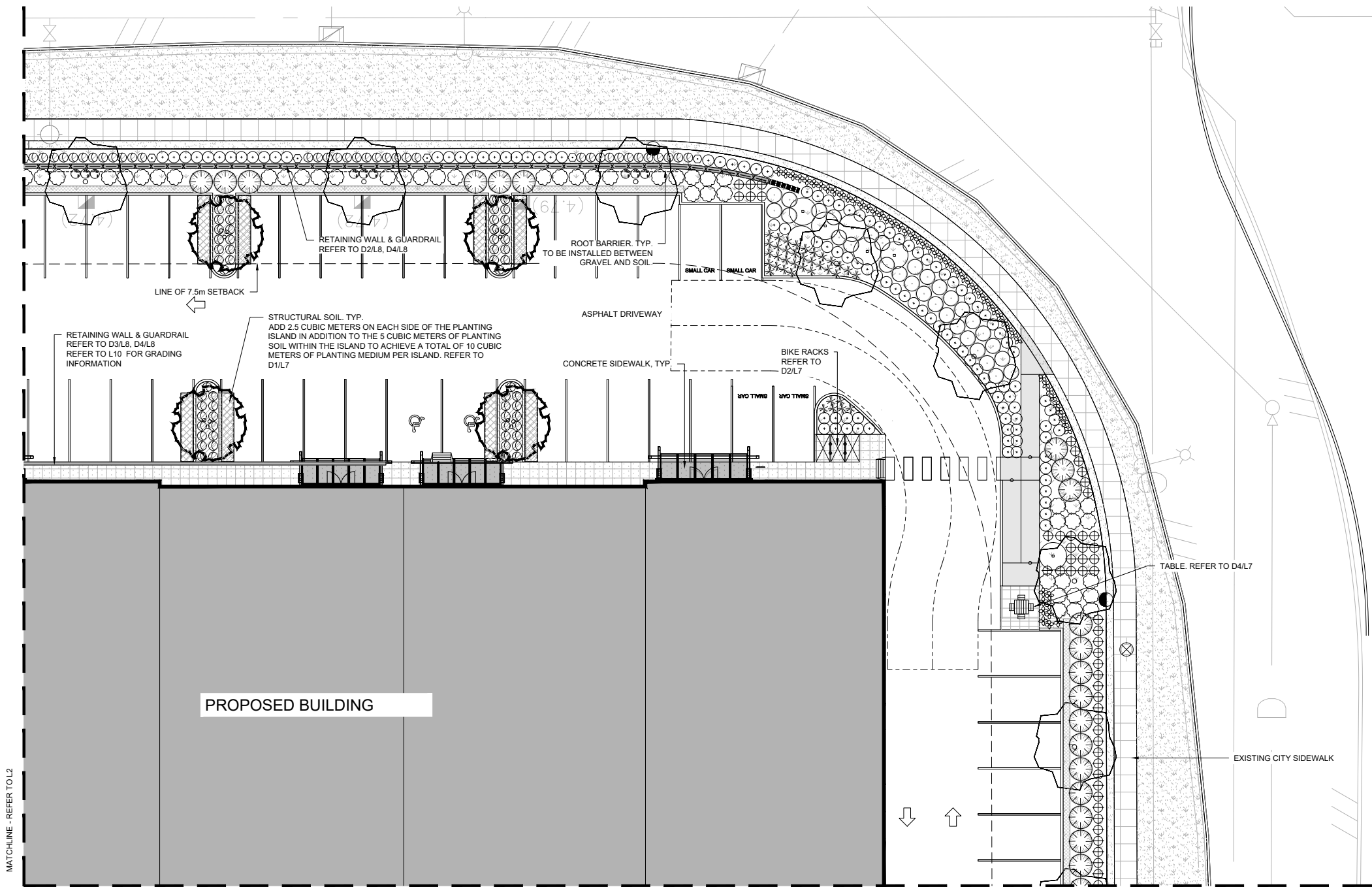
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**LEGEND**

-  TURF GRASS
-  CONCRETE SIDEWALK PAVING
-  SAWCUT CONCRETE DRIVEWAY
-  STRUCTURAL SOIL
-  BIKE RACK
-  RETAINING WALL
-  GUARD RAIL

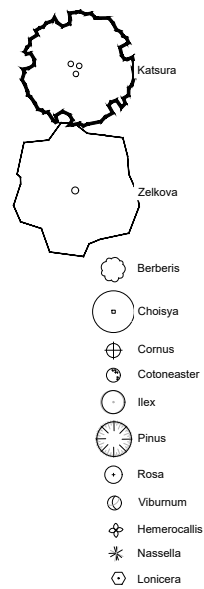
5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP
NO. DATE: (d/m/y) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		



PROPOSED BUILDING

MATCHLINE - REFER TO L2

MATCHLINE - REFER TO L5



PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>					
14	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6 cm cal.	As per plan	W.B.
19	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	6 cm cal.	As per plan	W.B.
<b>SHRUBS</b>					
128	<i>Berberis thunbergii</i> 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
28	<i>Choisya ternata</i> 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
155	<i>Cornus sericea</i> 'Kelsyi'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot
115	<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster	30cm ht.	1m	#1 pot
103	<i>Ilex glabra</i>	Inkberry	50cm ht.	1m	#2 pot
52	<i>Pinus mugo pumillo</i>	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
273	<i>Rosa 'Hansa'</i>	Hansa Rose	50cm ht.	0.75m	#2 pot
376	<i>Viburnum davidii</i>	David Viburnum	50cm ht.	0.6m	#2 pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>					
59	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily		0.6m	#1 pot
195	<i>Nassella tenuissima</i>	Mexican Feather Grass		0.45m	#1 pot
<b>VINES</b>					
39	<i>Lonicera ciliosa</i>	Western Trumpet Honeysuckle		4 to 5m	#2 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

## ENLARGEMENT B



PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**ENLARGEMENT B**

SCALE: 1:150

DRAWN: JT

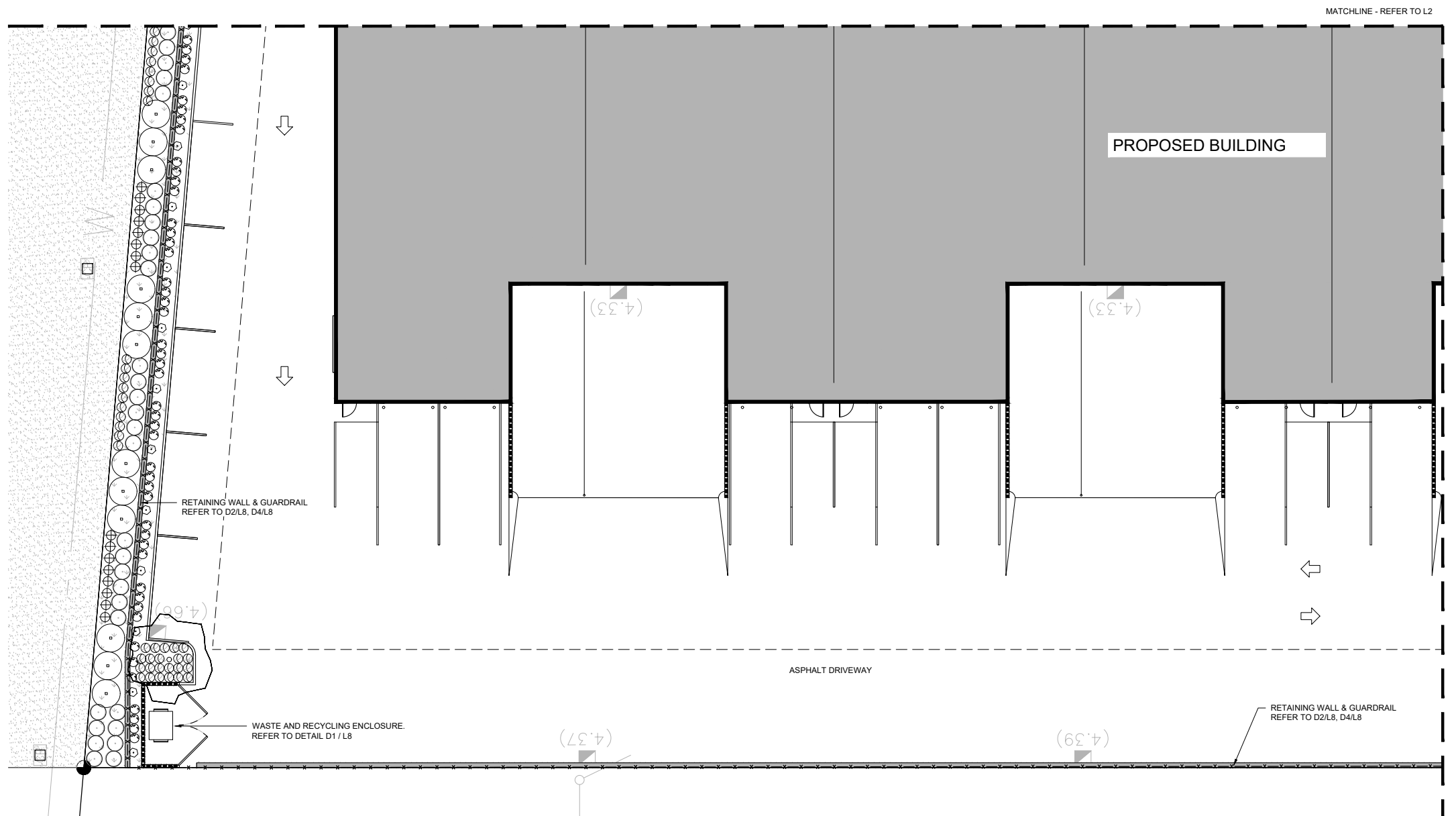
CHECKED: ST

PROJECT NO: 170131

DRAWING NO: **L3**



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**LEGEND**

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	SAWCUT CONCRETE DRIVEWAY
	STRUCTURAL SOIL
	BIKE RACK
	RETAINING WALL
	GUARD RAIL

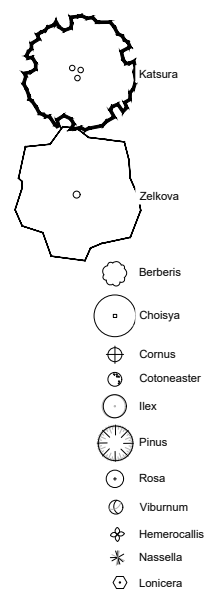
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4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP

NO. DATE: (d/m/y) DESCRIPTION:

ISSUES & REVISIONS:

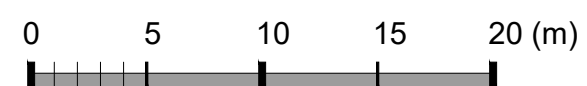
SEAL:

## ENLARGEMENT C



PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>					
14	Cercidiphyllum japonicum	Katsura Tree	6 cm cal.	As per plan	W.B.
19	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	6 cm cal.	As per plan	W.B.
<b>SHRUBS</b>					
128	Berberis thunbergii 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
28	Choisya ternata 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
155	Cornus sericea 'Kelsy'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot
115	Cotoneaster dammeri	Bearberry Cotoneaster	30cm ht.	1m	#1 pot
103	Ilex glabra	Inkberry	50cm ht.	1m	#2 pot
52	Pinus mugo pumillo	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
273	Rosa 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot
376	Viburnum davidii	David Viburnum	50cm ht.	0.6m	#2 pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>					
59	Hemerocallis Stella D'Oro	Stella D'Oro Daylily		0.6m	#1 pot
195	Nassella tenuissima	Mexican Feather Grass		0.45m	#1 pot
<b>VINES</b>					
39	Lonicera ciliosa	Western Trumpet Honeysuckle		4 to 5m	#2 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.



PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**ENLARGEMENT C**

SCALE: 1:150

DRAWN: JT

CHECKED: ST

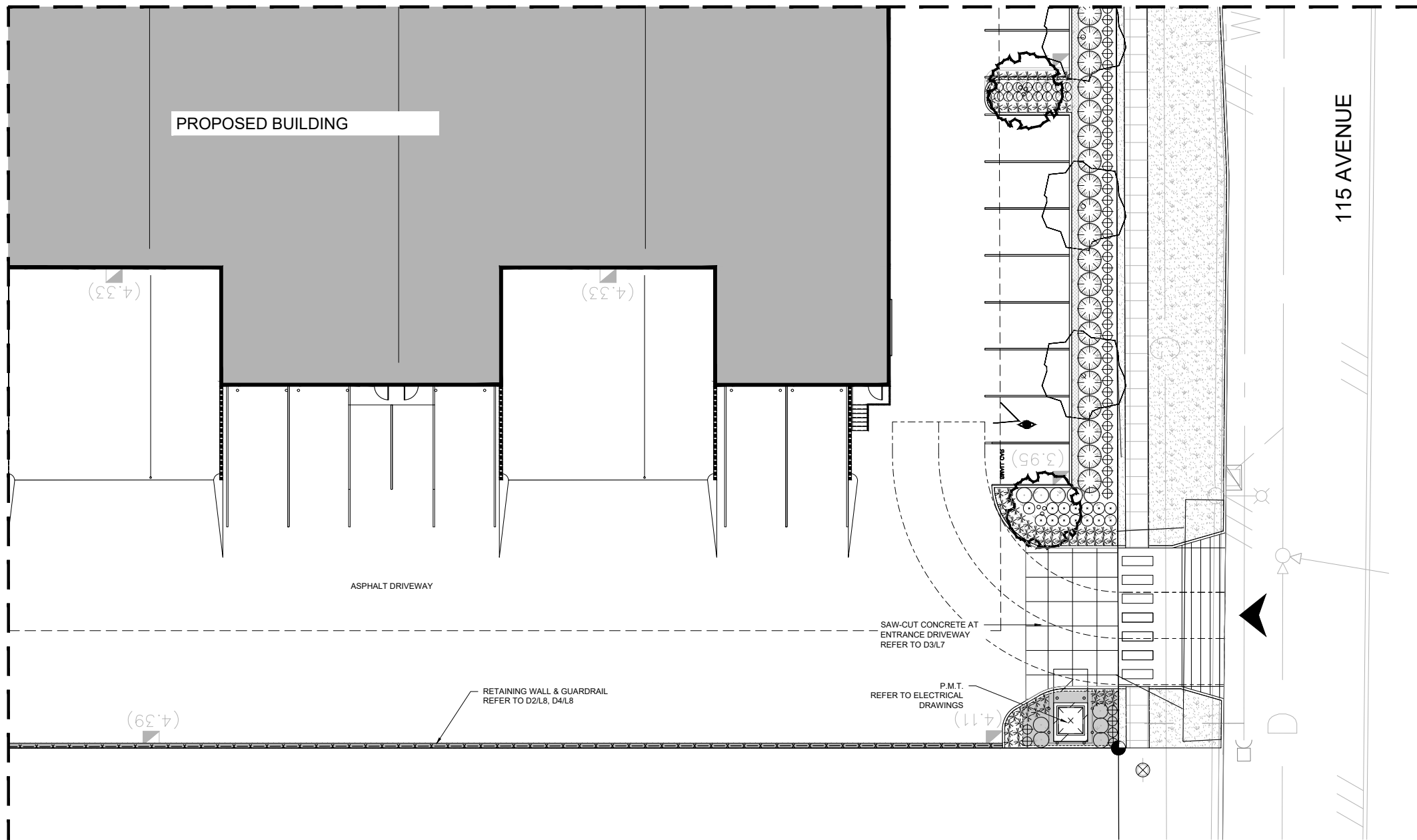
PROJECT NO: 170131

DRAWING NO: **L4**

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MATCHLINE - REFER TO L3

MATCHLINE - REFER TO L4



ABBOTSFORD OFFICE  
400 - 34077 GLADYS AVE. ABBOTSFORD, BC V2S 2E8  
T: 604.853.8831 F: 604.850.1580 www.krahn.com  
VANCOUVER OFFICE  
210 - 1311 KOOTENAY ST. VANCOUVER, BC V5K 4Y3  
T: 604.294.6662 F: 604.294.6665 www.krahn.com



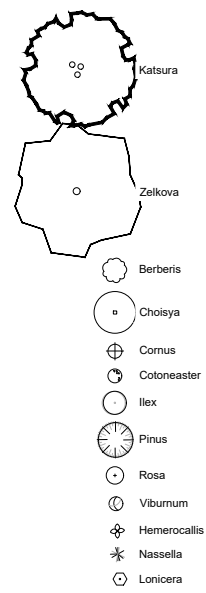
LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAWCUT CONCRETE DRIVEWAY
- STRUCTURAL SOIL
- BIKE RACK
- RETAINING WALL
- GUARD RAIL

NO.	DATE: (d/m/y)	DESCRIPTION:
5	26/03/18	ISSUED FOR RE-DP
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3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP

ISSUES & REVISIONS:

SEAL:



PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>					
14	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6 cm cal.	As per plan	W.B.
19	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	6 cm cal.	As per plan	W.B.
<b>SHRUBS</b>					
128	<i>Berberis thunbergii</i> 'cherry bomb'	Cherry Bomb Japanese Barberry	50cm ht.	1m	#2 pot
28	<i>Choisya ternata</i> 'Sundance'	Sundance Mexican Orange Blossom	60cm ht.	1.2m	#3 pot
155	<i>Cornus sericea</i> 'Kelsyi'	Kelsey's Dwarf Red-Osier Dogwood	30cm ht.	0.75m	#1 pot
115	<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster	30cm ht.	1m	#1 pot
103	<i>Ilex glabra</i>	Inkberry	50cm ht.	1m	#2 pot
52	<i>Pinus mugo pumillo</i>	Dwarf Mountain Pine	60cm ht.	1.2m	#5 pot
273	<i>Rosa</i> 'Hansa'	Hansa Rose	50cm ht.	0.75m	#2 pot
376	<i>Viburnum davidii</i>	David Viburnum	50cm ht.	0.6m	#2 pot
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>					
59	<i>Hemerocallis Stella D'Oro</i>	Stella D'Oro Daylily		0.6m	#1 pot
195	<i>Nassella tenuissima</i>	Mexican Feather Grass		0.45m	#1 pot
<b>VINES</b>					
39	<i>Lonicera ciliosa</i>	Western Trumpet Honeysuckle		4 to 5m	#2 pot

NOTE: PLANT QUANTITIES ARE SITE TOTALS.

ENLARGEMENT D



PROJECT NAME:

DAKASH INDUSTRIAL

PROJECT ADDRESS:

13577 115 STREET  
SURREY, BC

DRAWING TITLE:

ENLARGEMENT D

SCALE: 1:150

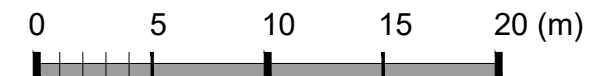
DRAWN: JT

CHECKED: ST

PROJECT NO: 170131

DRAWING NO:

L5



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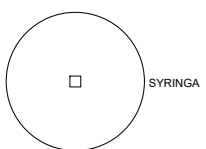
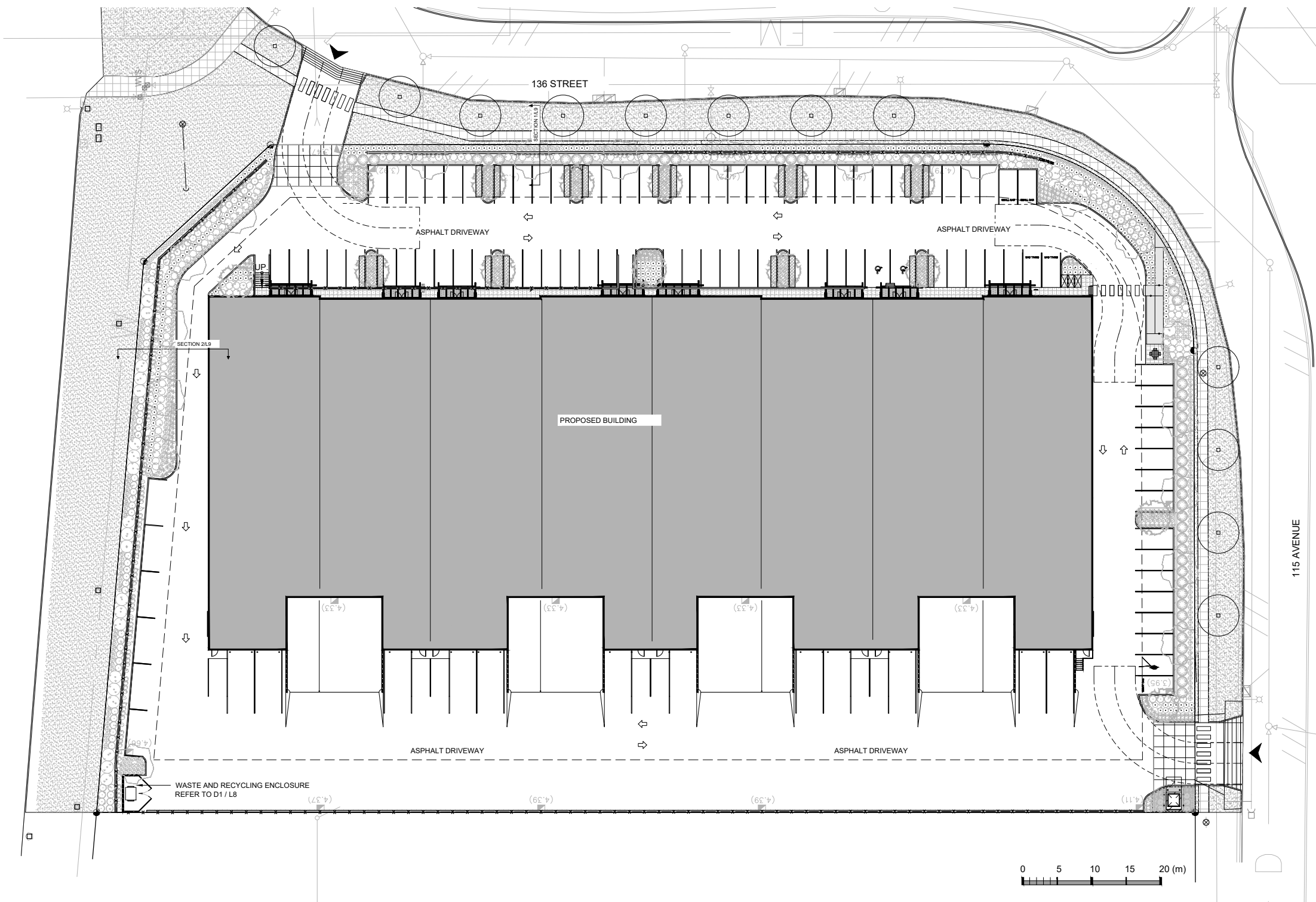


**LEGEND**

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	SAWCUT CONCRETE DRIVEWAY
	STRUCTURAL SOIL
	BIKE RACK
	RETAINING WALL
	GUARD RAIL

5	26/03/18	ISSUED FOR RE-DP
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1	27/09/17	ISSUED FOR DP

NO. DATE: (d/m/y) DESCRIPTION:  
ISSUES & REVISIONS:  
SEAL:



**PLANT LIST - OFF SITE**

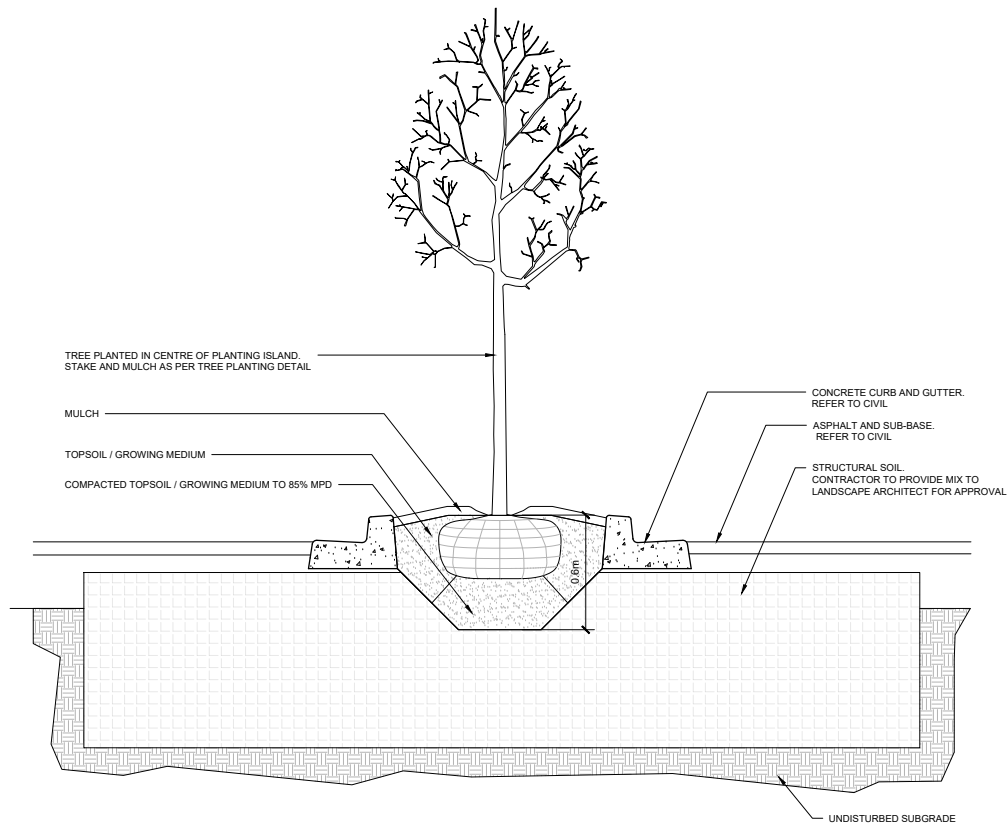
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>					
12	<i>Syringa reticulata</i> 'Ivory Silk Lilac'	Ivory Silk Lilac	6 cm cal.	As per plan	W.B.

PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**OFF-SITE  
LANDSCAPE PLAN**

SCALE: 1:300  
DRAWN: JT  
CHECKED: ST  
PROJECT NO: 170131  
DRAWING NO: **L6**

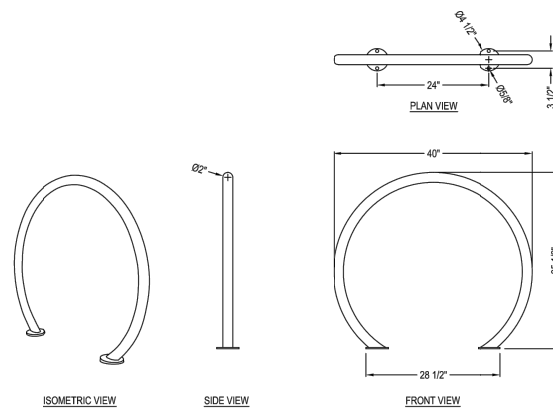


D1 STRUCTURAL SOIL AT PARKING ISLANDS

N.T.S.



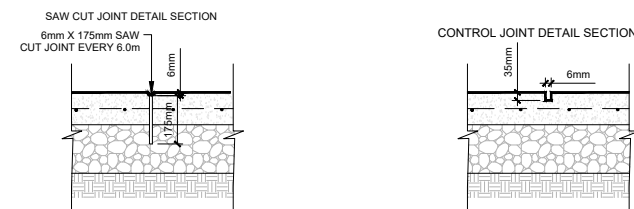
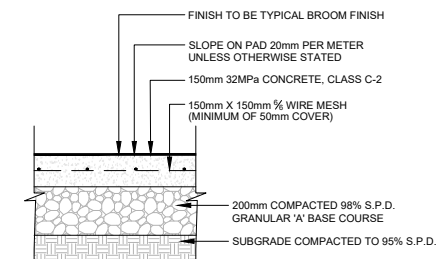
WISHBONE SITE FURNISHINGS  
 #109-27090 GLOUCESTER WAY  
 LANGLEY, BC V4W 3Y5  
 TOLL FREE: 1-866-626-0476  
 PHONE: (604) 626-0476  
 FAX: (604) 626-0496  
 www.WishboneLtd.com



NOTES:  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. DO NOT SCALE DRAWING  
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 4289-043.

D2 BIKE RACK

N.T.S.



NOTES:  
 1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINMENT.  
 2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.  
 3. SAW CUT JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.  
 4. CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDTH WALKWAY.  
 5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.  
 6. ALL DIMENSIONS ARE IN MILLIMETRES.

D3 SAW-CUT CONCRETE FOR DRIVEWAY ENTRANCE

N.T.S.



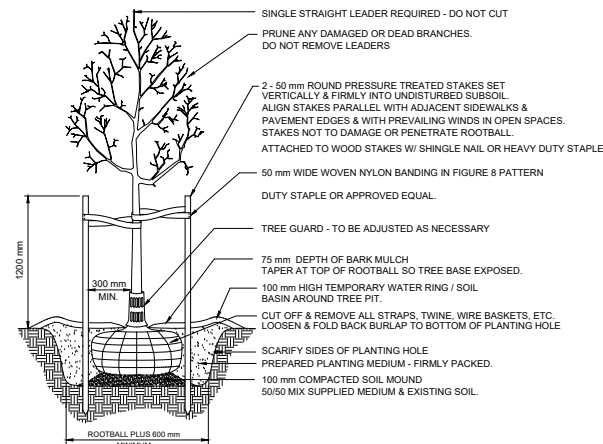
MODEL: MLPT400-S-BM  
 FINISH: GLOSS TITANIUM  
 MANUFACTURER: MAGLIN

D4 TABLE

N.T.S.

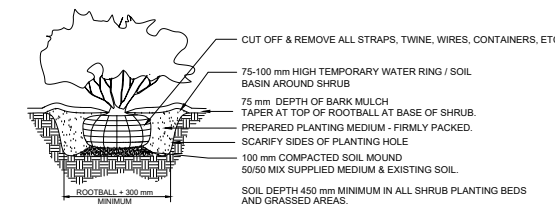
SODDING NOTES:  
 1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:  
 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS  
 40% CREEPING RED FESCUE  
 20% PERENNIAL RYEGRASS  
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE  
 AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.  
 2. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.  
 3. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.  
 4. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.  
 5. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.  
 6. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

PLANTING NOTES  
 1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.  
 2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.  
 3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.  
 4. TREE PROTECTION, PER THE MUNICIPAL DETAIL IF REQUIRED.  
 5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.  
 6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.  
 7. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.  
 8. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.  
 9. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:  
 9.1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.  
 9.2. Maintenance and additional installation of mulch  
 9.3. Weed removal  
 9.4. Disease control



DECIDUOUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.



5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP

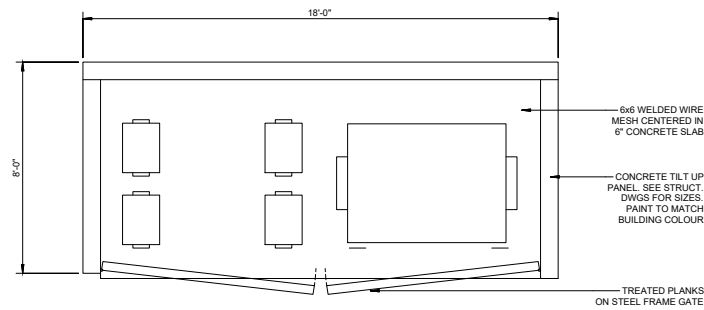
NO. DATE: (dmy) DESCRIPTION:  
 ISSUES & REVISIONS:

SEAL:  
 PROJECT NAME:  
 PROJECT ADDRESS:  
 13577 115 STREET  
 SURREY, BC  
 DRAWING TITLE:  
 DETAILS & NOTES  
 SCALE: AS NOTED  
 DRAWN: JT  
 CHECKED: ST  
 PROJECT NO: 170131  
 DRAWING NO:

DAKASH INDUSTRIAL

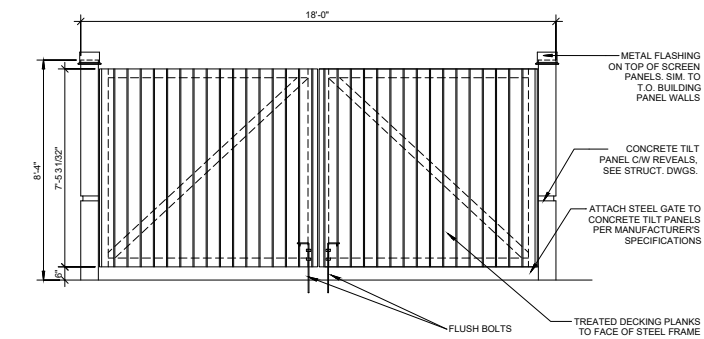
L7

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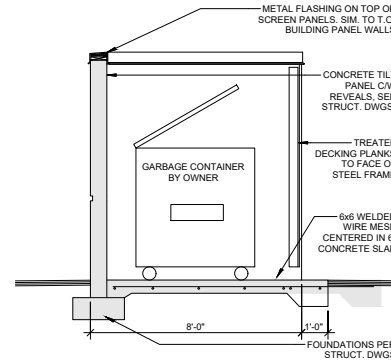


PLAN

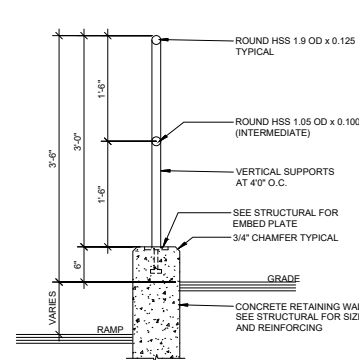
NOTE:  
REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER  
INFORMATION REGARDING GARBAGE ENCLOSURE AND  
RAILING



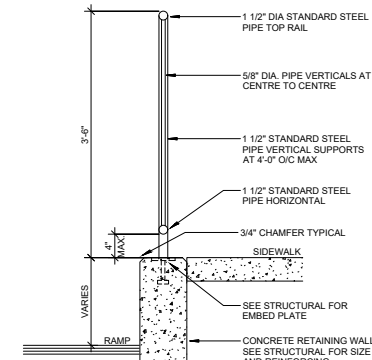
ELEVATION



SECTION



GUARDS TO BE INSTALLED IN ALL LOCATIONS  
WHERE THE DIFFERENCE IN ELEVATION BETWEEN  
TWO ADJACENT GRADES EXCEEDS 24"



GUARDS TO BE INSTALLED IN ALL LOCATIONS  
WHERE THE DIFFERENCE IN ELEVATION BETWEEN  
TWO ADJACENT GRADES EXCEEDS 24"

D1 GARBAGE ENCLOSURE

N.T.S.

D2 GUARDRAIL

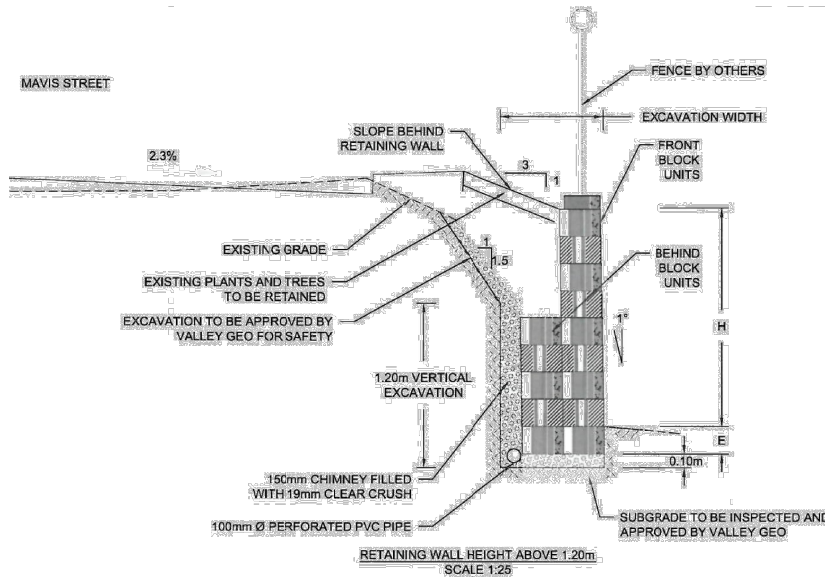
N.T.S.

D3 GUARDRAIL AT FRONT

N.T.S.

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4	06/03/18	ISSUED FOR RE-DP
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1	27/09/17	ISSUED FOR DP

NO. DATE: (dmy) DESCRIPTION:  
ISSUES & REVISIONS:  
SEAL:



VERTICAL DIMENSION (H)	KEYSTONE WALL HEIGHT		MINIMUM DEPTH OF WALL EMBEDMENT (E)	EXCAVATION WIDTH
	FRONT BLOCK UNITS	BEHIND BLOCK UNITS		
1.6m	5	5	0.2m	0.75m
1.4m	4	4	0.2m	0.75m
1.2m	3	3	0.2m	0.75m
1.0m	2	2	0.2m	0.75m
0.8m	2	2	0.2m	0.75m
< 0.6m	1	NO	0.2m	0.45m

\* DOUBLE BLOCKS WILL BE REQUIRED FOR WALL HIGHER THAN FOUR BLOCKS

NOTES:

- CONTRACTOR TO VERIFY ALL SERVICES
- EXCAVATIONS/CUTS AND SUBGRADE FOR WALL TO BE INSPECTED AND APPROVED BY VALLEY GEO PRIOR TO WALL CONSTRUCTION
- BLOCKS TO BE KEYSTONE BLOCKS WITH A 1" BATTER
- MINIMUM 100mm THICK, 19mm Ø CLEAR CRUSH BASE
- MINIMUM 150mm THICK, 19mm Ø CLEAR CRUSH DRAINAGE CHIMNEY
- 100mm Ø PERFORATED PVC DRAIN PIPE TO BE DAYLIGHTED OR CONNECTED TO EXISTING SERVICES
- WALL BACKFILL TO CONSIST OF VALLEY GEO APPROVED FREE-DRAINING GRANULAR MATERIAL, COMPACTED TO MINIMUM 95% OF SPMDD PLACED IN 300mm LIFTS
- WALL MUST HAVE A MINIMUM BURY OF 150mm OR AS SHOWN
- IF SLOUGHING OCCURS ON THE EXCAVATED CUT, MATERIAL IS TO BE REMOVED

D4 RETAINING WALL DETAIL

N.T.S.

PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

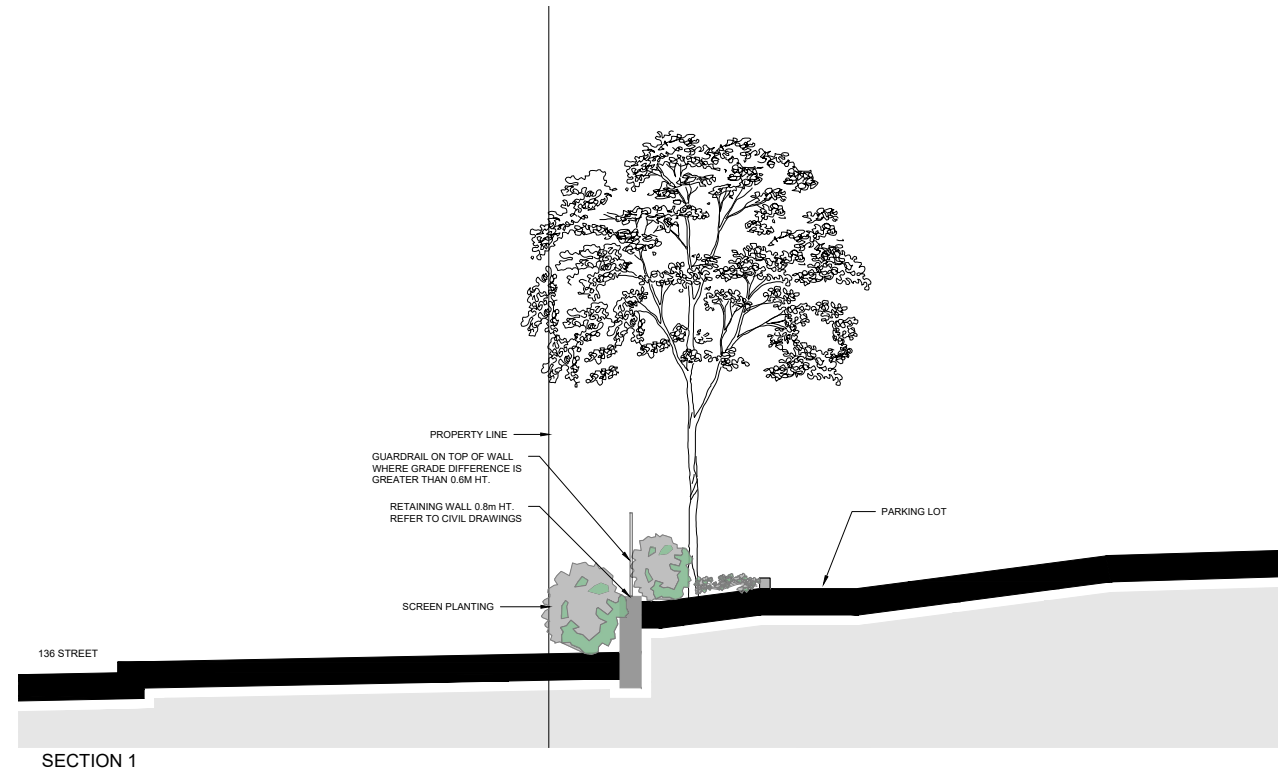
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**DETAILS**

SCALE: AS NOTED  
DRAWN: JT  
CHECKED: ST  
PROJECT NO: 170131

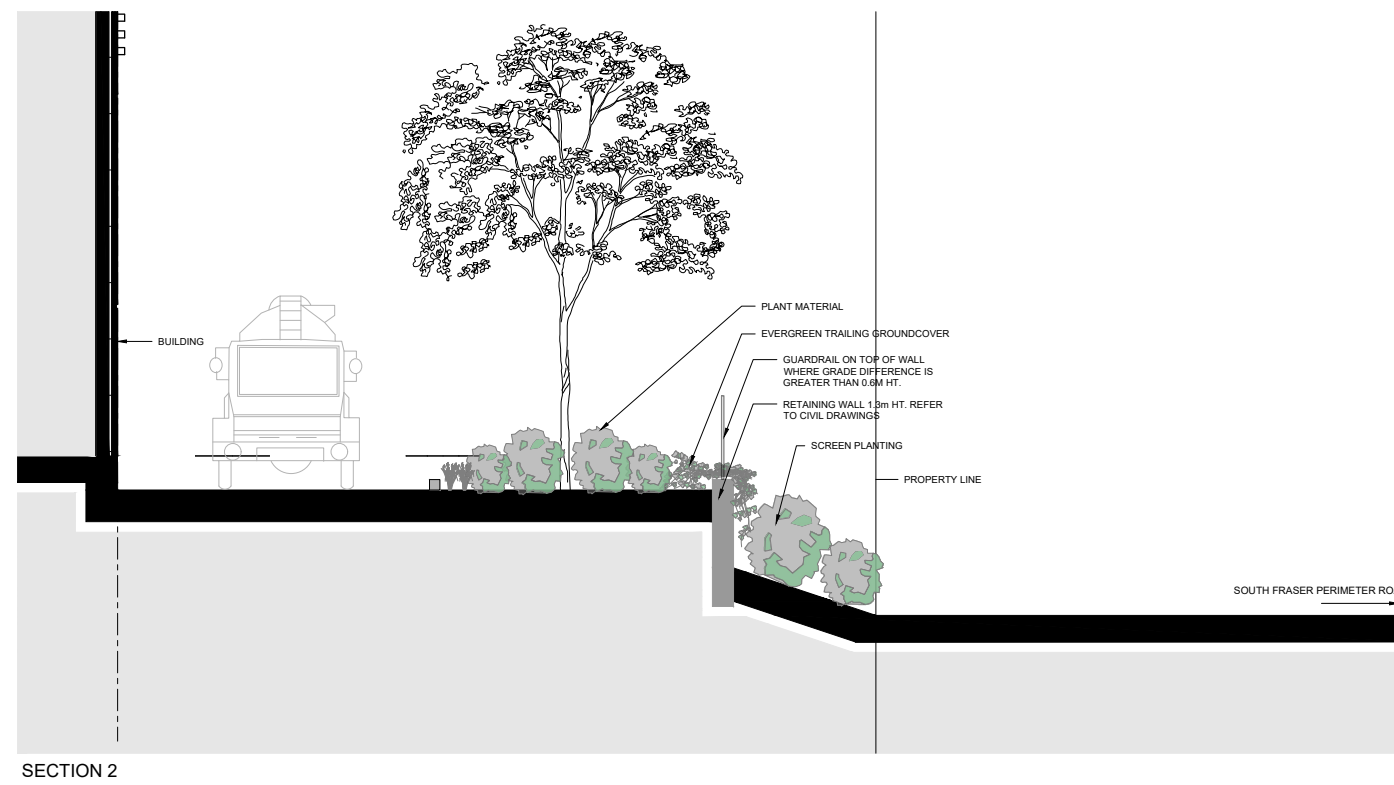
DRAWING NO:

**L8**





SECTION 1



SECTION 2

5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
2	22/12/17	ISSUED FOR RE-DP
1	27/09/17	ISSUED FOR DP

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ISSUES & REVISIONS:

SEAL:

PROJECT NAME:

**DAKASH INDUSTRIAL**

PROJECT ADDRESS:

**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:

**WALL SECTIONS**

SCALE: AS NOTED

DRAWN: JT








CHECKED: ST

PROJECT NO: 170131

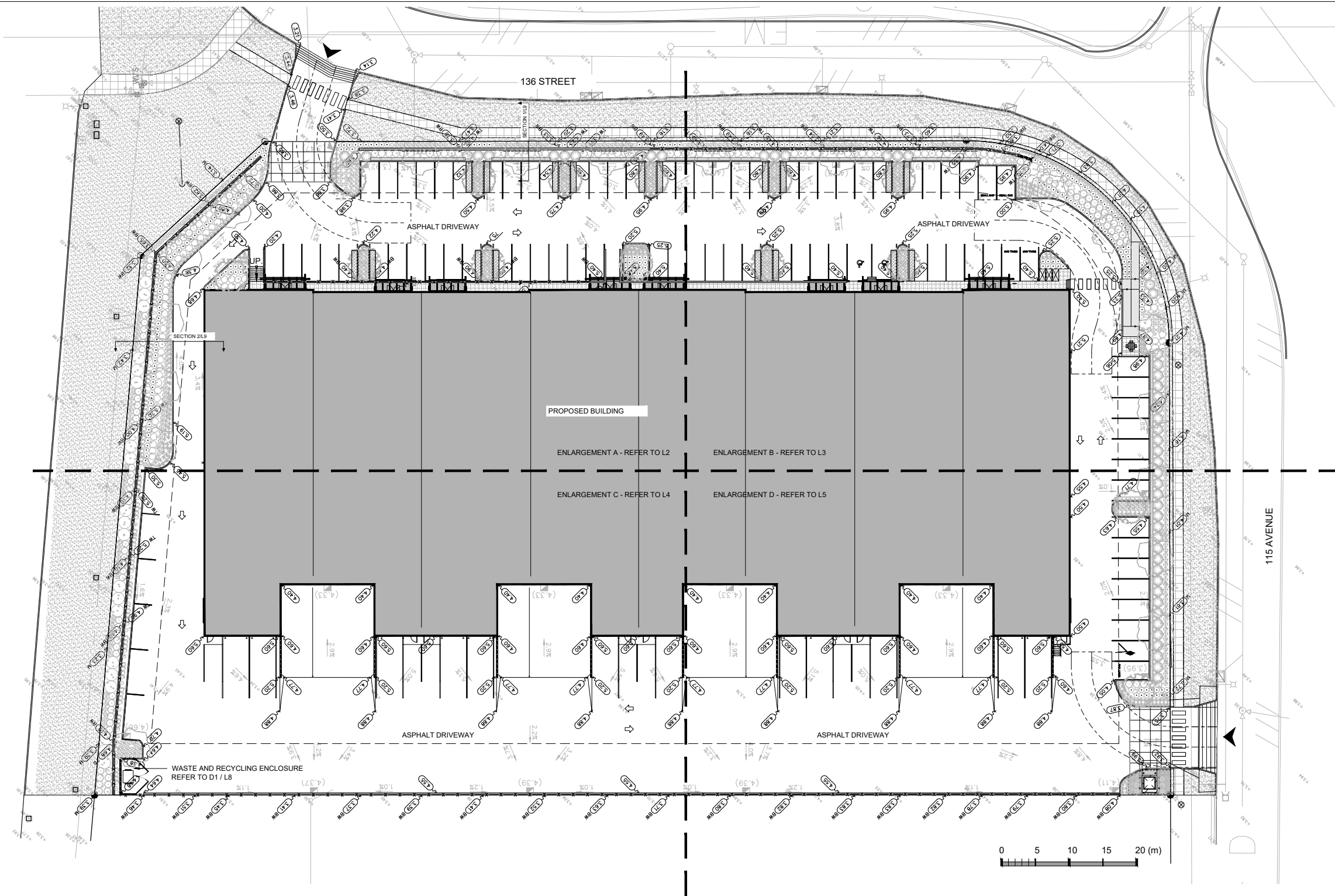
DRAWING NO:

**L9**

**LEGEND**

-  TURF GRASS
-  CONCRETE SIDEWALK PAVING
-  SAWCUT CONCRETE DRIVEWAY
-  STRUCTURAL SOIL
-  BIKE RACK
-  RETAINING WALL
-  GUARD RAIL

5	26/03/18	ISSUED FOR RE-DP
4	06/03/18	ISSUED FOR RE-DP
3	21/02/18	ISSUED FOR RE-DP
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1	27/09/17	ISSUED FOR DP
NO.	DATE: (d/m/y)	DESCRIPTION:
ISSUES & REVISIONS:		
SEAL:		



PROJECT NAME:  
**DAKASH INDUSTRIAL**

PROJECT ADDRESS:  
**13577 115 STREET  
SURREY, BC**

DRAWING TITLE:  
**GRADING PLAN**

SCALE: 1:300  
DRAWN: JT  
CHECKED: ST  
PROJECT NO: 170131

DRAWING NO:  
**L10**

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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 23, 2018** PROJECT FILE: **7817-0470-00**

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RE: **Engineering Requirements (Industrial)  
Location: 13577 115 Avenue**

#### **DEVELOPMENT PERMIT**

The applicant will be required to revise the site plan features at the northwest corner of the site, to provide unobstructed access by the City to the adjacent sanitary sewer. The statutory right-of-way corridor for City access is to be shown on the site plan.

#### **BUILDING PERMIT**

##### ***Property and Statutory Right-of-Way (SRW) Requirements***

- register onsite SRW corridor for City access to sanitary sewer at the northwest corner of the site

##### ***Works and Services***

- construct sidewalk for the site frontage together with completion of boulevard features
- install water main on 115 Avenue for the site frontage
- implement onsite water quality treatment features for the parking and drive aisle areas
- upgrade Loughheed sanitary pump station
- provide water, sanitary and storm sewer connections to service the site

A Servicing Agreement is required prior to issuance of the Building Permit.



Rémi Dubé, P.Eng.  
Development Services Manager  
KMH