

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0450-00

Planning Report Date: November 6, 2017

PROPOSAL:

- **Development Permit**

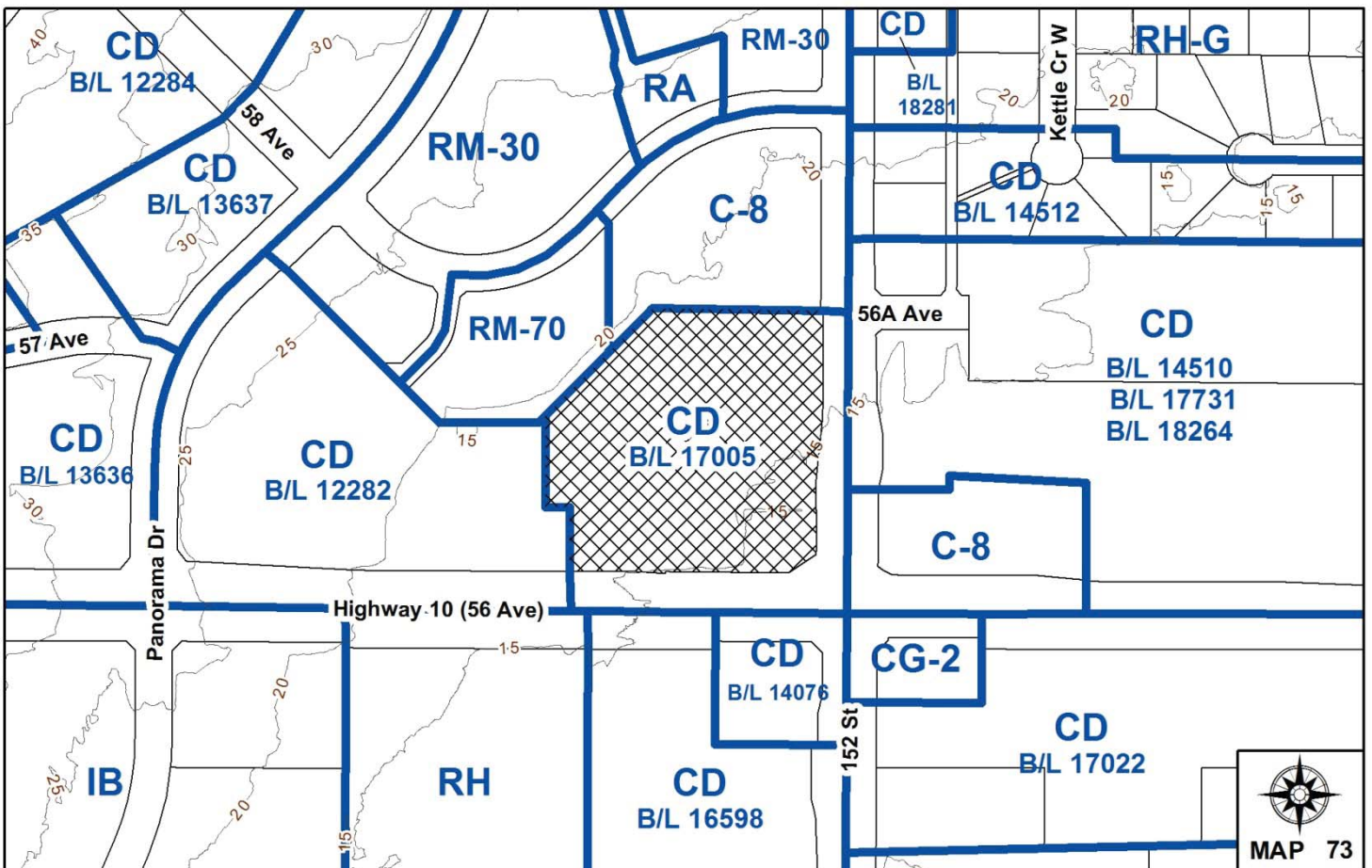
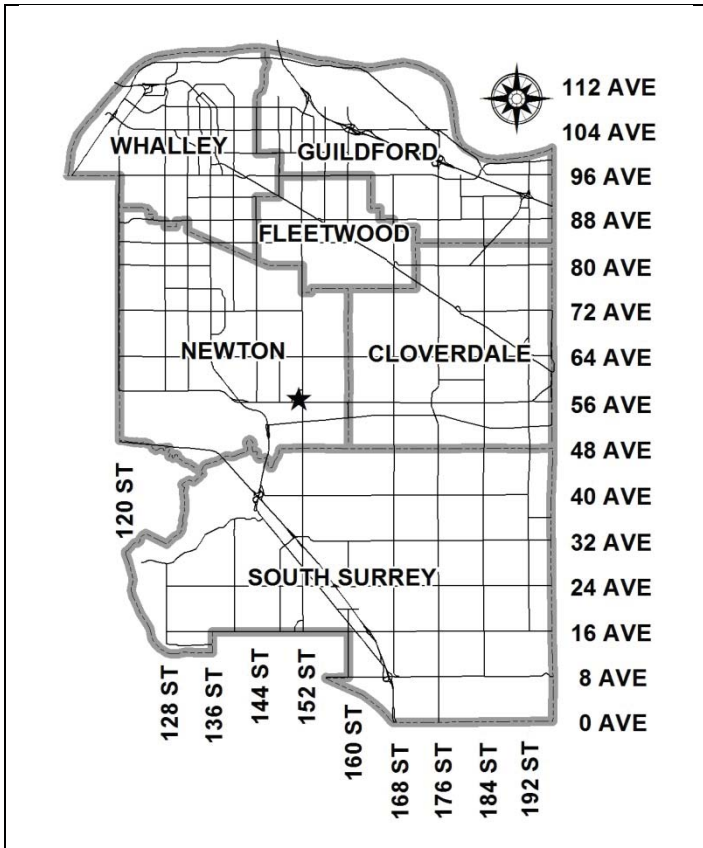
to permit exterior renovations to the Panorama Village Shopping Centre

LOCATION: 15157 - No 10 (56 Ave) Highway

ZONING: CD (By-law No. 17005)

OCP DESIGNATION: Commercial

NCP DESIGNATION: Commercial and Buffers



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the Panorama Village Shopping Centre will modernize and enhance the overall appearance of the site. Furthermore, the proposed renovations are consistent with the exterior renovations recently approved on the site to the west (Phase 1 of the Panorama Village Shopping Centre), through Development Application No. 7916-0292-00, which was issued on September 12, 2016.
- The proposed exterior renovations are attractive, well-designed and incorporate high quality materials. The proposed renovations expand the high-standard for the form, design and character of the renovations recently completed to the west.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7917-0450-00 (Appendix II) and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Multi-tenant commercial shopping centre.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Vacant land (commercial development and apartments are proposed to be developed under Development Application No. 7914-0286-00)	Commercial and Multi-Residential / Commercial and Apartments (65 upa max)	C-8 and RM-70
East (Across 152 Street):	Sullivan Square (multi-tenant commercial shopping centre)	Commercial / -	C-8 and CD (By-law No. 14510, as amended by 17731; and 18264)
South (Across Hwy No. 10):	Shell Gas Station and multi-tenant commercial building	Industrial / Gas Station and Business Park	CD (By-law Nos. 16598 and 14076)
West:	Multi-tenant commercial shopping centre (Phase 1 of the Panorama Village Shopping Centre)	Commercial and Multi-Residential / Commercial and Apartments (65 upa max)	CD (By-law No. 12282) and RM-70

DEVELOPMENT CONSIDERATIONSBackground

- The subject property is located on the northwest corner of Highway No. 10 (56 Avenue) and 152 Street, and zoned "Comprehensive Development Zone (CD)" (By-law No. 17005). The

property is designated "Commercial" in the Official Community Plan (OCP) and "Commercial" and "Buffers" in the South Newton Neighbourhood Concept Plan (NCP).

- The existing Panorama Village Shopping Centre was created under two applications: Development Application No. 7997-0227-00 (Phase 1, to the west), and Development Application No. 7904-0393-00 (Phase 2, subject site). The original approval for Phase 2 was for a 5,170 square metres (55,650 sq. ft.) commercial shopping centre that was comprised of five (5) one- and two-storey buildings.
- Modifications for both the permitted uses and the site design were approved under Development Permit No. 7907-0107-00. All the buildings on the site were built in 2008 and 2009. Further modifications to the permitted uses and signage were approved under Development Application No. 7909-0066-00.
- The site has two accesses on 152 Street (one north of the CIBC building and one just south of the building), one right-in access on Highway No. 10 (56 Avenue) and one from Panorama Drive. The two properties (Phases 1 and 2 of the Panorama Village Shopping Centre) are connected internally and share access and parking.
- Council recently approved Development Application No. 7916-0292-00 that allowed for exterior renovations for Phase 1 to the west.
- The applicant is now proposing upgrades to exterior materials and signage in Phase 2. The changes proposed in the subject site are consistent with the changes for Phase 1 to the west.

PRE-NOTIFICATION

Development Proposal Signs were installed on October 23, 2017 facing Highway No. 10 and facing 152 Street. To date, staff has received no comments regarding the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposed renovations include building façade upgrades to add higher-quality materials and tenant signage details. The proposal is consistent with the recent renovations that were completed on Phase 1 of the Panorama Village Shopping Centre to the west.
- The updated building materials will consist of fibre cement board cladding with matching clips (Deep Silver), longboard accent materials in a wood grain light cherry finish, pre-finished metal flashing (Charcoal Gray), painted window trim (Trout Gray), updated roof shingles (Dual Black) and new gutters. The applicant will maintain the existing brick veneer and individual storefronts.
- The proposed exterior renovations will greatly improve the overall appearance of the Panorama Village Shopping Centre by updating the façades to include modern design elements that consist of wood grain accent materials, fibre cement board cladding, and decorative aluminum profile outriggers for the placement of tenant signage above each unit.

- In addition, the applicant is proposing to install custom screens with perforated aluminum black powder coated finishing for a gas meter exposed along 152 Street in order to provide greater screening of mechanical equipment from public view. At present, the mechanical equipment is highly visible and, therefore, detracts from the appearance the applicant is striving to achieve with the proposed exterior renovations.

Fascia Signage

- The applicant is proposing a number of changes to the site's existing signage.
- One fascia sign will still be proposed, per premise, which complies with provisions in the Sign By-law, including for the maximum allowable sign area. Businesses with multiple facades, like Shoppers DrugMart and CIBC are allowed one sign per façade, as currently installed.
- Development Permit No. 7909-0066-00, issued on June 29, 2009 and Development Variance Permit No. 7914-0156-00, issued on November 03, 2014 allow for additional signs for CIBC, while the sign area is still below the maximum allowed in the Sign By-law. All signs are proposed to be replaced to be attached to the proposed aluminum profiles, matching the other buildings. No change to the dimensions or number of signs is proposed.
- The fascia signs will be either free-form (similar to calligraphy) or individual channel letters that will be mounted onto a decorative aluminum profile. The signage will be located above each unit entrance. The fascia signs will consist of a hidden raceways as well as background illumination. The maximum height for each individual channel letter and/or logos shall not exceed 0.5 metres (1.5 ft.).
- The proposed fascia signage is properly scaled and utilizes the existing exposed beams, located on the principal façade, to help frame the fascia sign band. The fascia sign band is located on an outrigger that consists of five (5) aluminum painted profiles with a total height of 0.9 metres (3 ft.), onto which are attached the free-form or individual channel letters. The sign band will not exceed 0.6 metres (2 ft.) in total height.
- No changes are proposed to the existing free-standing signs located on the site.

TREES

No changes to the existing landscape is being proposed as part of this amendment and none of the trees on the site will be impacted by the proposed renovations.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 21, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The subject property is located within the South Newton NCP.
2. Density & Diversity (B1-B7)	• The proposal complies with the density provisions in the CD Zone.
3. Ecology & Stewardship (C1-C4)	• n/a
4. Sustainable Transport & Mobility (D1-D2)	• n/a
5. Accessibility & Safety (E1-E3)	• n/a
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

ADVISORY DESIGN PANEL

The proposed multi-tenant building was not forwarded to the Advisory Design Panel (ADP) for comment but was reviewed internally by City staff and found to be generally acceptable in terms of form, design and character.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheet
Appendix II. Development Permit No. 7917-0450-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural Plans prepared by Urban Design Group Architects Ltd. dated September 12, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LFM/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17005)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Net Total		18,670 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		28%
Paved & Hard Surfaced Areas		61%
Total Site Coverage		89%
SETBACKS (in metres)		
Front (North)	7.5 m	
Rear (South)	7.5 m	
Side #1 (East)	5.5 m	
Side #2 (West)	7.5 m	
Side #3 (Structures)	2.2 m	
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m	9.6 m
Accessory	4.5 m	-
FLOOR AREA: Commercial	5,170 m ²	4,560 m ²
TOTAL BUILDING FLOOR AREA	5,170 m ²	4,560 m ²
DENSITY		
FAR (net)	0.80	0.24
PARKING (number of stalls)	137	182
Number of accessible stalls		6
Number of small cars		20

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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(the "City")

DEVELOPMENT PERMIT

NO.: 7917-0450-00

Issued To:

(the "Owner")

Address of Owner:

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-428-389
Lot 1 Section 10 Township 2 New Westminster District Plan BCP35145

15157 - No 10 (56 Ave) Hwy

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Appendix I which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7917-0450-00 (1) through to and including 7917-0450-00 (20) (the "Drawings").
2. Signage shall be installed in conformance with the Drawings 7917-0450-00 (7) through to and including 7917-0450-00 (20).
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Variances

The issuance of a development permit limits activity on the Land to that of strict compliance with all City bylaws, unless specific variances have been authorized by the development permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations or within reports which are inconsistent with City bylaw provisions and which have not been identified as variances below:

1. This development permit supplements and amends Development Permit Nos. 7997-0227-00, 7904-0393-00, 7907-0107-00, and 7909-0066-00 and Development Variance Permit Nos. 7997-0227-00, 7907-0107-00, 7909-0066-00 and 7914-0156-00.

D. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.

4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF _____, 20__.

ISSUED THIS _____ DAY OF _____, 20__.

Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: (Signature)

Name: (Please Print)

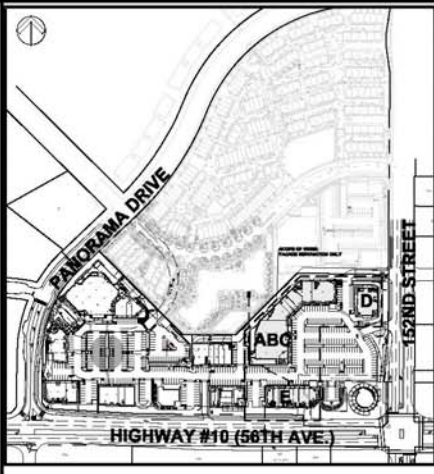


PANORAMA VILLAGE - PHASE 2 RENOVATIONS
SURREY, BC
For BENTALL KENNEDY (CANADA) LP

AERIAL KEY PLAN



SITE KEY PLAN



CONTACT LIST

ARCHITECT:
 AMBLER GROUP
 ARCHITECTS LTD.
 1000-10000 152nd Street
 Surrey, BC V3R 4G1
 Phone: 604-881-1120
 Fax: 604-881-1120
 Website: amblergroup.com

DRAWING LIST

ARCHITECTURAL	
A-0.0	COVER SHEET
A-0.1	CONTEXT PHOTOS SITE
A-0.2	CONTEXT PHOTOS NEIGHBOURHOOD
A-1.0	SITE PLAN
BUILDING ABC	
A-ABC 2.0.1	EXISTING FLOOR PLAN BUILDING ABC
A-ABC 2.0.2	EXISTING ROOF PLAN BUILDING ABC
A-ABC 3.1.1C	ELEVATIONS BUILDING ABC
A-ABC 3.1.2C	ELEVATIONS BUILDING ABC
A-ABC 3.2	MATERIALS AND FINISHER BUILDING ABC
A-ABC 3.4	SIGNAGE BUILDING ABC
BUILDING D	
A-D 2.0.1	EXISTING FLOOR PLAN BUILDING D
A-D 2.0.2	EXISTING ROOF PLAN BUILDING D
A-D 3.1C	ELEVATIONS BUILDING D
A-D 3.2	MATERIALS AND FINISHER BUILDING D
A-D 3.4	SIGNAGE BUILDING D
BUILDING E	
A-E 2.0.1	EXISTING FLOOR PLAN BUILDING E
A-E 2.0.2	EXISTING ROOF PLAN BUILDING E
A-E 3.1C	ELEVATIONS BUILDING E
A-E 3.2	MATERIALS AND FINISHER BUILDING E
A-E 3.4	SIGNAGE BUILDING E

PROJECT INFORMATION

GENERAL NOTE:
ALL WORK SHALL CONFORM WITH THE BC BUILDING CODE 2018. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. DISCREPANCIES FOUND ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK COMMENCING.
CIVIC ADDRESS
15157, 15173, 15161 Highway 10 (56 Ave), Surrey, BC. V3R8A5
LEGAL DESCRIPTION
PARCEL IDENTIFIER: 927-426-389 LOT 1, SECTION 16, TOWNSHIP 2, NEW WESTMINSTER DISTRICT PLAN BCP35145
ZONING CD-COMPREHENSIVE DEVELOPMENT ZONE
ISSUED FOR DEVELOPMENT PERMIT FOR:
COMMERCIAL BUILDINGS EXTERIOR RENOVATION: 'A', 'B', 'C', 'D' & 'E'

PANORAMA VILLAGE - PHASE 2 RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (56 Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

architects ltd
 420-745 BULFLOW ST
 VANCOUVER, BC V6C 2S6
 TELEPHONE 604-673-2324
 FAX 604-673-2324
 4801
COVER SHEET
 DATE: 2017-04-23
 DRAWN BY: AS-NETS
 CHECKED BY: [Signature]
 SCALE: A-0.0



A VIEW to BLDG ABC-1



B VIEW to BLDG ABC-2



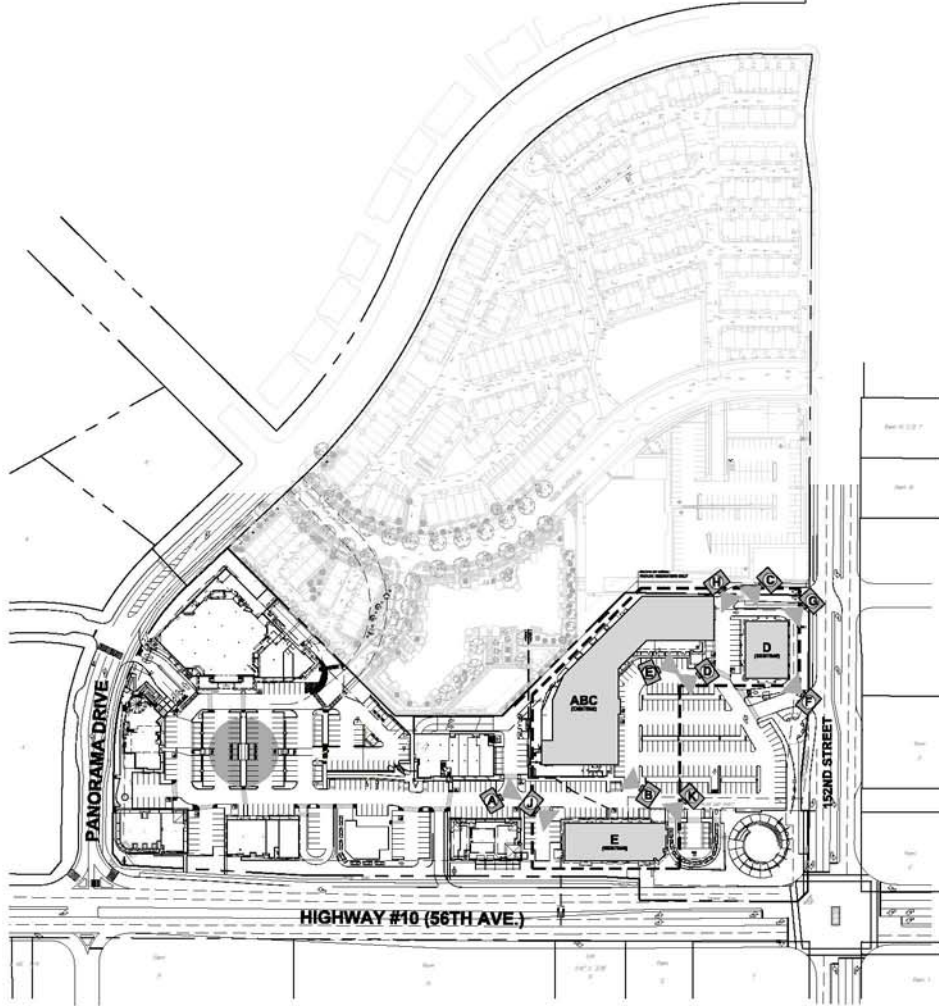
C VIEW to BLDG ABC-3



D VIEW to BLDG ABC-4



E VIEW to BLDG ABC-5



KEY PLAN
SCALE: 1:15



F VIEW to BLDG D-1



G VIEW to BLDG D-2



H VIEW to BLDG D-3



I VIEW to BLDG E-1



J VIEW to BLDG E-2

NO. REV.	DATE	DESCRIPTION

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Contractor

PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
FOR BENTALL KENNEDY (CANADA) LP



architects ltd.

420 - 745 THURLOW ST
VANCOUVER, BC V6C 2S8
TELEPHONE 604-687-7284

PROJECT NUMBER: 6807

DATE: 2018-08-15 (Final) Scale:

SHEET: 43 OF 103
DRAWN: KJ/PS
CHECKED: MJK/PS
DATE: 7/27

CONTEXT PHOTOS SITE

A-0.1



A VIEW from BLDG E-1



B VIEW from BLDG E-2



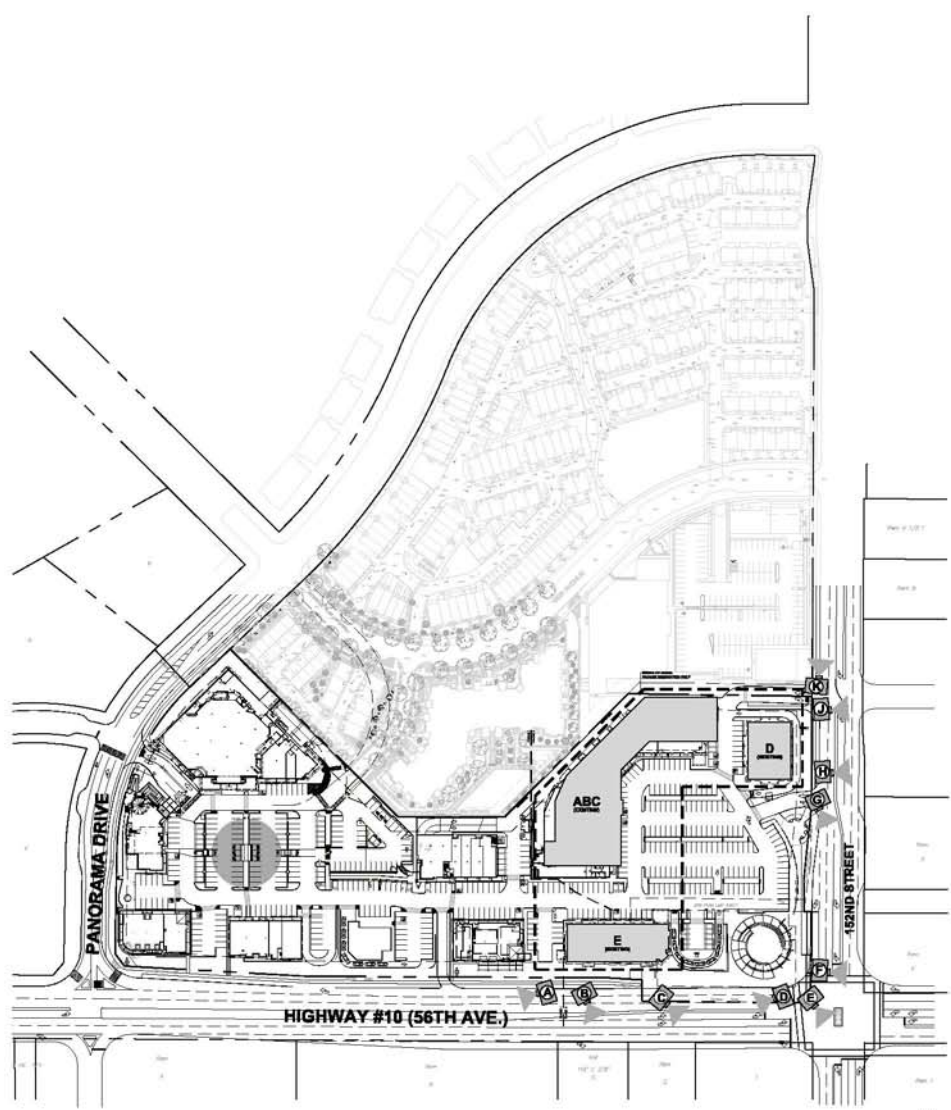
C VIEW from BLDG E-3



D VIEW from CROSSING-1



E VIEW from CROSSING-2



KEY PLAN
SCALE: 1:100



F VIEW from CROSSING-3



G VIEW from BLDG D-1



H VIEW from BLDG D-2



I VIEW from BLDG D-3



J VIEW from BLDG D-4

NO.	DATE	BY	DESCRIPTION

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consultant

PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC
For BENTALL KENNEDY (CANADA) LP

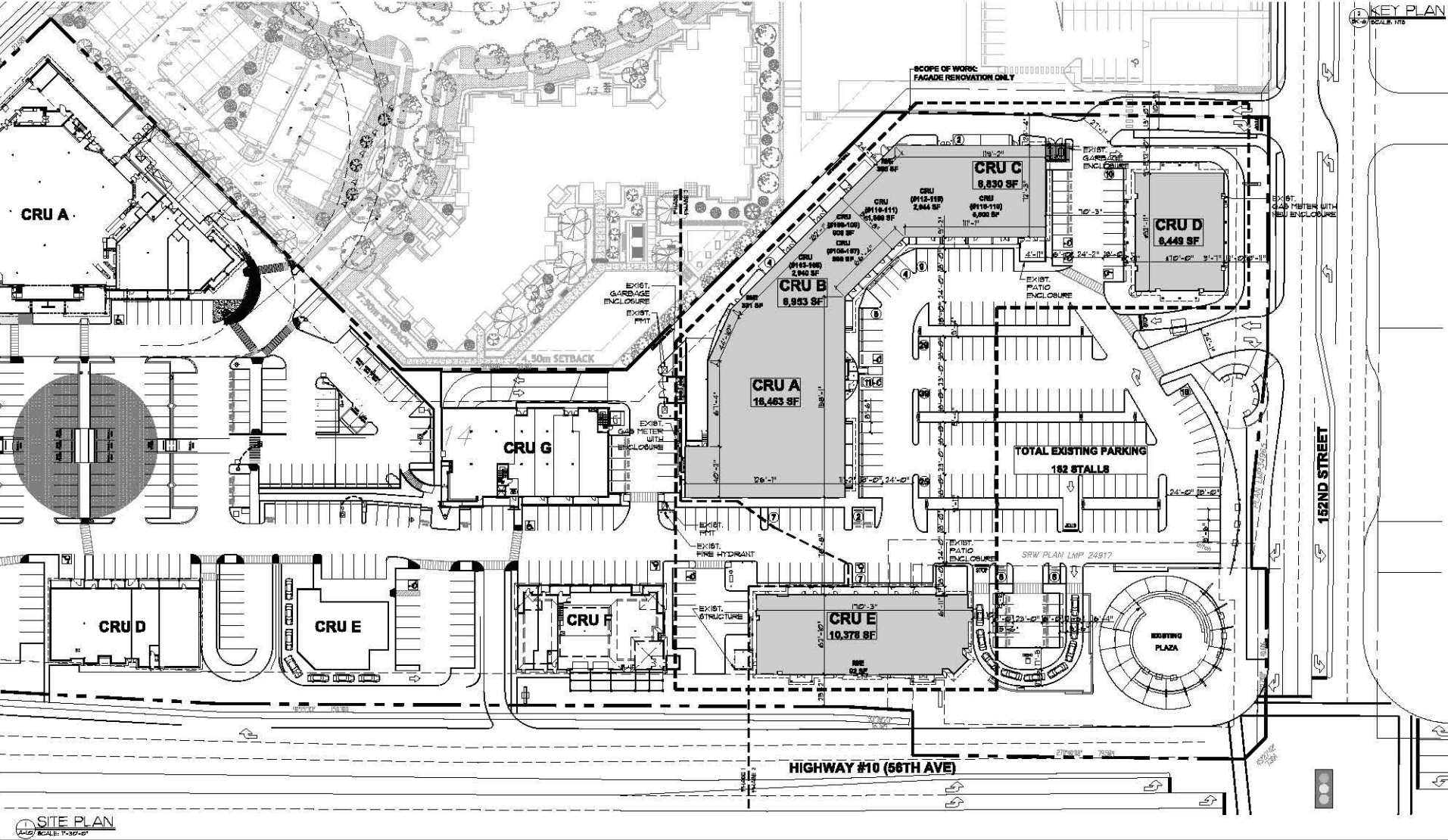
urban design group
 architects ltd.

420 - 745 THURLOW ST
 VANCOUVER, BC, V6E 0S5
 TELEPHONE: 604-276-7284

project number: 45010
 date: 2016-08-04
 scale: AS NOTED
 sheet: 45/45
 project: 7917

CONTEXT PHOTOS
 NEIGHBOURHOOD
A-02

SITE INFORMATION		GROSS FLOOR AREAS		PARKING REQUIREMENTS	
LEGAL DESCRIPTION	LOT 1 SECTION 10 TOWNSHIP 2 N RD PLAN BCPS846	EXISTING SHOPPING CENTRE PHASE 2	MAIN LEVEL	TOTAL REQUIRED PARKING (ROUNDED TO NEAREST WHOLE NO.)	187 STALLS
CIVIC ADDRESS	1517, 1533, 1517, 1541, 1545, 1549, 1515, 58 AVE. No. 10 Hwy. SURREY, BC	BUILDING A -	16,483 SF	TOTAL EXISTING PARKING	182 STALLS
EXISTING ZONING	C3 - COMPREHENSIVE DEVELOPMENT ZONE	BUILDING B -	6,953 SF	PARKING RATIO	3.7 STALLS/1000SF
TOTAL SITE AREA (PH 2)	203,891 SF (481 ACRES)	BUILDING C -	6,830 SF	PARKING BYLAW INFORMATION	
EXISTING G.F.A.	44,078 SF	BUILDING D -	6,449 SF	SHOPPING CENTRE - 54,000SF: 2.76 STALLS PER 1075SF of G.F.A., 4000SF TO 60,000SF: 3 STALLS PER 1075SF of G.F.A., 60,000SF: 2.6 STALLS PER 1075SF of G.F.A. (WITH A MIN OF 130 STALLS)	
PROPOSED LOT COVERAGE	44,078 SF / 200,881 SF X 100% = 24.4% MAX GDM	BUILDING E -	10,378 SF	REGULAR CAR STALL:	9'-0" (2.75m) x 18'-0" (5.5m) with 22'-0" (6.7m) DRIVE AISLE
NOTES:	PLANS HAVE BEEN DESIGNED TO BC93 2012	TOTAL EXISTING GROSS FLOOR AREA -	48,078 SF	REGULAR CAR STALL:	8'-0" (2.40m) x 18'-0" (5.5m) with 23'-0" (7.0m) DRIVE AISLE
GENERAL NOTE:	BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DISTRIBUTION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.	LESS SERVICE AREAS CAPACITY -	809 SF	HANDICAP CAR STALL (1 PER 100 STALLS):	12'-0" (3.7m) x 18'-0" (5.5m)
		TOTAL EXISTING LEASABLE FLOOR AREA -	48,284 SF	SMALL CAR STALL MAX 235':	8'-0" (2.40m) OR 9'-0" (2.75m) x 18'-0" (5.5m)
				LOADING SPACE MINIMUM SIZE:	13'-0" (4.0m) x 30'-0" (9.2m)
				MANOEUVRING AISLE WIDTH (LOADING SPACES):	26'-0" (7.9m)

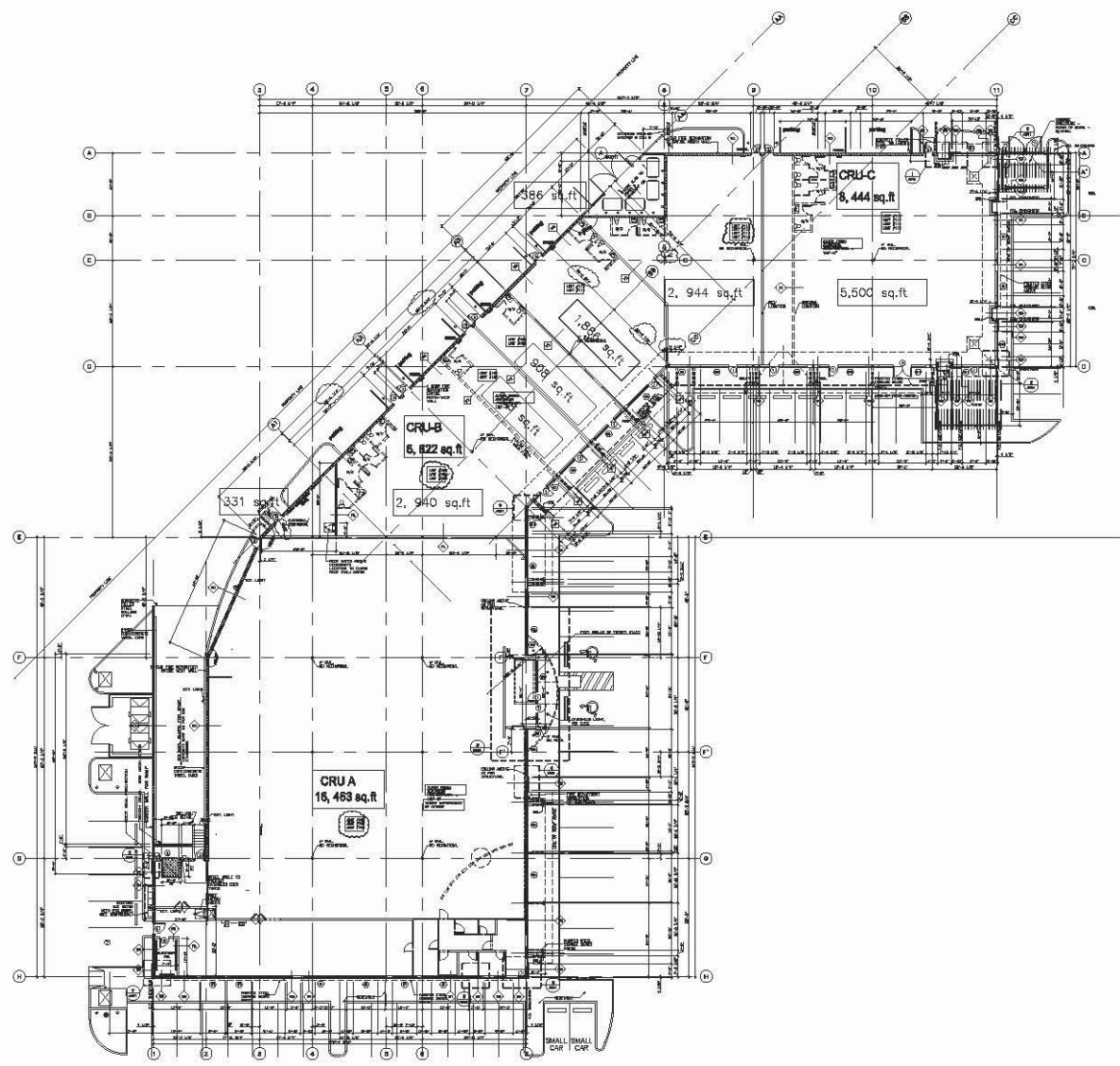


PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (58 AVE), SURREY, BC.
FOR BENTALL KENNEDY (CANADA) LP

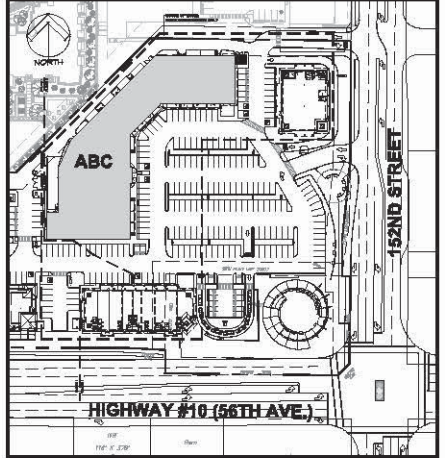
architects ltd.
 420 - 745 WILLOW ST
 VANCOUVER, BC V6E 2E6
 TEL: 604-681-7224

Project number: **4801**
SITE PLAN

Scale: **A-1.1**



FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: 1/8" = 1'-0"

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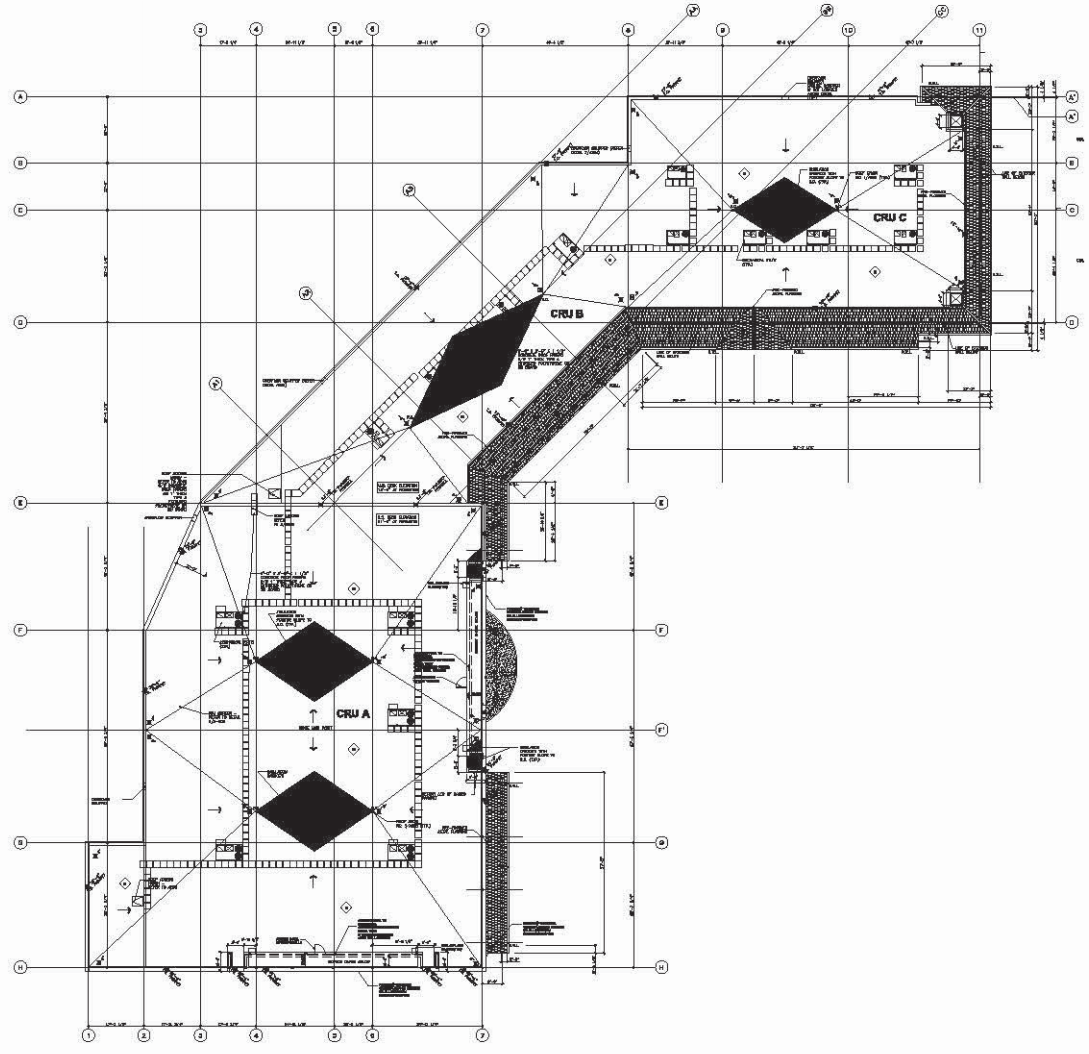
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PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

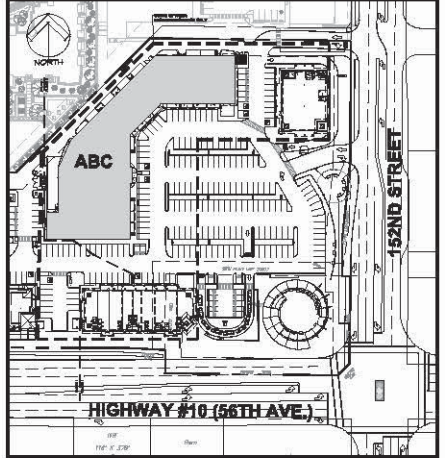
architects ltd.

420 - 745 WILLOW ST
VANCOUVER, BC V6E 0E5
TELEPHONE 604-687-2244

Project number: **4301**
Sheet title: **EXISTING FLOOR PLAN BUILDING ABC**
Date: 2017-10-23
Scale: AS NOTED
Drawing: **ABC 2.01**



ROOF PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: 1/8" = 1'-0"



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correct

PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP



420 - 745 WILLOW ST
VANCOUVER, BC V6E 0E5
TELEPHONE 604-467-5244

Project number: 4800
Sheet No: EXISTING ROOF PLAN
BUILDING ABC
Date: 2017-10-03
Scale: AS NOTED
Author: ABC 2.000
Checked: [initials]
Date: [initials]



EAST ELEVATION: OVERALL
SCALE: 1/8"=1'-0"



EAST ELEVATION: PARTIAL
SCALE: 1/8"=1'-0"



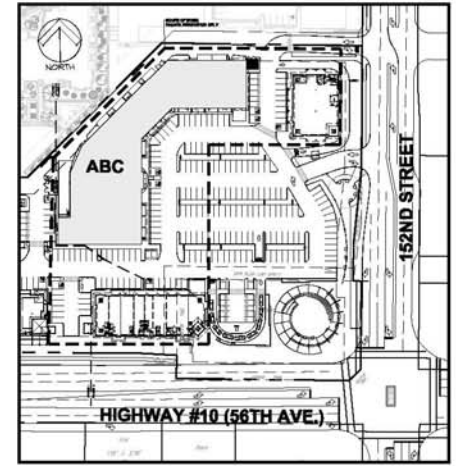
SOUTH ELEVATION: OVERALL
SCALE: 1/8"=1'-0"



SOUTH ELEVATION: PARTIAL
SCALE: 1/8"=1'-0"



SOUTH ELEVATION: PARTIAL
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/8"=1'-0"

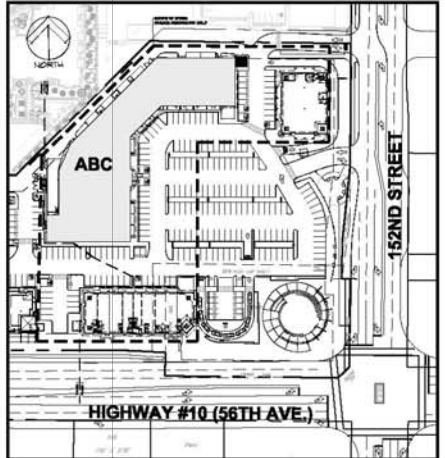
EXTERIOR MATERIAL & FINISHES	
○	FINE GHEBBI ROUND W/ CLIPS
○	NEW SIDING TRIM PAINTED
○	LONGBOARD WOOD GRAIN FINISH
○	NO ROOF SHINGLES - CYPRESSIDE
○	PRE-FINISHED METAL FLASHING
○	DISCREETLY HIDE PROJECT LONGBOARD BY SETTING ID SIGNAGE CHANNEL FOLDER CENTERED
○	NEW GUTTERS
○	EXISTING BROOK VENEER
○	EXISTING STONEMANT
○	SIGNAGE BY TENANT
○	EXISTING ASPHALT/GRASS TO BE PAINTED

SPECIFICATIONS	
○	BY 224-10 - DUNE SILVER
○	BY 224-10 - TROUT GRAY
○	LIGHT CHERRY
○	DUAL BLACK
○	CHARRED GRAY
○	TO MATCH LONG BOARD LIGHT CHERRY WOOD GRAIN FINISH
○	BY 224-50 - BUNNY GRAY

PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
FOR BENTALL KENNEDY (CANADA) LP

urban
group
architects ltd
420-745 TRULOV ST
VANCOUVER, BC V6C 2S8
TELEPHONE 604-687-2222
project number: 48801
DATE: 2017-10-23
DRAWN BY: AS NOTED
CHECKED BY: M.P.M.
SCALE: 1/8"=1'-0"
PROJECT: 10

- | EXTERIOR MATERIAL & FINISHES | |
|------------------------------|---|
| ① | PRIME CEMENT BOARD w/ GLIMS |
| ② | NEW WOOD TRIM PAINTED |
| ③ | LONGBOARD WOOD GRAIN FINISH |
| ④ | KO ROOF SHINGLES - CAMBRIDGE |
| ⑤ | PRE-FINISHED METAL CLADDING |
| ⑥ | DISCREETIVE FREE WEIGHTED CONCRETE SYSTEM AND STORAGE CHAIRS, POWDER COATED |
| ⑦ | NEW GUTTERS |
| ⑧ | EXISTING BRICK VENEER |
| ⑨ | EXISTING STOREFRONT |
| ⑩ | BRIDGE BY TONYT |
| ⑪ | EXISTING & PROPOSED TO BE PAINTED |
-
- | SPECIFICATIONS | |
|----------------|--|
| ① | BM 204-30 DEEP SILVER |
| ② | BM 204-30 TROUT GRAY |
| ③ | LIGHT CHERRY |
| ④ | DUAL BLACK |
| ⑤ | CHARCOAL GRAY |
| ⑥ | TO MATCH LONG BOARD LIGHT CHERRY WOOD GRAIN FINISH |
| ⑦ | BM 204-50 BUNNY GRAY |



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PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

urban design group
 architects ltd
 420 - 745 THURLOW ST
 VANCOUVER, BC, V6C 2S8
 TELEPHONE: 604-687-2244
 project number: 68801
 DATE: 2018-10-25 (REVISED)
 DRAWN BY: AS NOTED
 CHECKED BY: [Signature]
 PROJECT: [Signature]



SOUTHEAST VIEW



FINE CEMENT BOARD W/ CLIPS
BM 2134-29 - TROUT GRAY



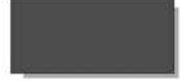
EXISTING WINDOW TRIM PAINTED
BM 2134-29 - TROUT GRAY



IGO ROOF SHINGLES - CAMBRIDGE
DUAL BLACK



LONGBOARD WOOD GRAIN FINISH -
LIGHT CHERRY



PIS-FINISHED METAL FLASHING
CHARCOAL GREY COLOUR



DECORATIVE ALUMINUM PROFILES
POWDER COATED TO MATCH LONGBOARD
WOOD GRAIN FINISH - LIGHT CHERRY



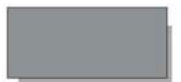
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BM 2134-89 SUNNY GRAY



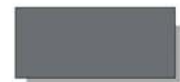
IGO ROOF SHINGLES - CAMBRIDGE
DUAL BLACK



DECORATIVE ALUMINUM PROFILES
POWDER COATED TO MATCH LONGBOARD
WOOD GRAIN FINISH - LIGHT CHERRY



FINE CEMENT BOARD W/ CLIPS
BM 2134-30 DEEP SILVER



EXISTING WINDOW TRIM PAINTED
BM 2134-29 - TROUT GRAY

PANORAMA VILLAGE - PHASE 2 RENOVATIONS

SURREY, BC

Bentall Kennedy (Canada) LP

PANORAMA VILLAGE - PHASE 2 RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56 Ave), Surrey, BC.
For Bentall Kennedy (Canada) LP



420-745 THURLOW ST
VANCOUVER, BC V6C 2S8
TELEPHONE 604-687-2204

Project Number: 4801
Phase: 03
MATERIALS AND FINISHES BUILDING ABC
Date: 2017-08-20
Scale: AS NOTED
Author: ABC
Project: 03



EAST ELEVATION: OVERALL

SCALE: 1/8"=1'-0"



EAST ELEVATION: PARTIAL

SCALE: 1/8"=1'-0"



SOUTH ELEVATION: OVERALL

SCALE: 1/8"=1'-0"



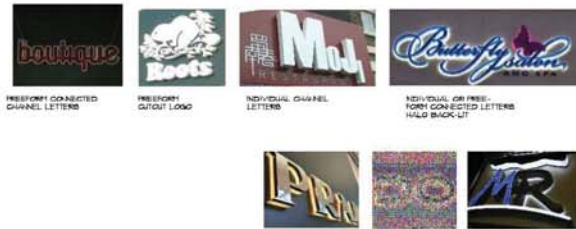
SOUTH ELEVATION: PARTIAL

SCALE: 1/8"=1'-0"



SOUTH ELEVATION: PARTIAL

SCALE: 1/8"=1'-0"



FASCIA SIGN EXAMPLES (TYP.)

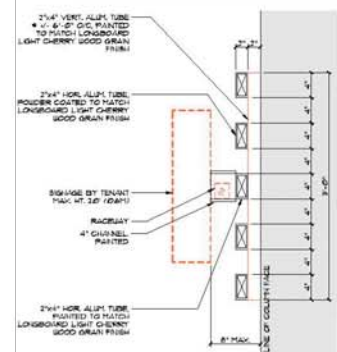
SCALE: NTS



KEY PLAN

SCALE: NTS

NOTE
ALL FACIA SIGNAGE ON SITE MUST BE ATTACHED TO A SIGN BASE NO GREATER THAN 20% IN TOTAL HEIGHT. ALL TENANT SIGNAGE (CAN PALE FONT OR INDIVIDUAL CHANNEL LETTERS AND LOGOS) CANNOT EXCEED A MAXIMUM HEIGHT OF 5'4" (8'11").



TYPICAL SIGN DETAIL

SCALE: NTS

PANORAMA VILLAGE - PHASE 2: RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

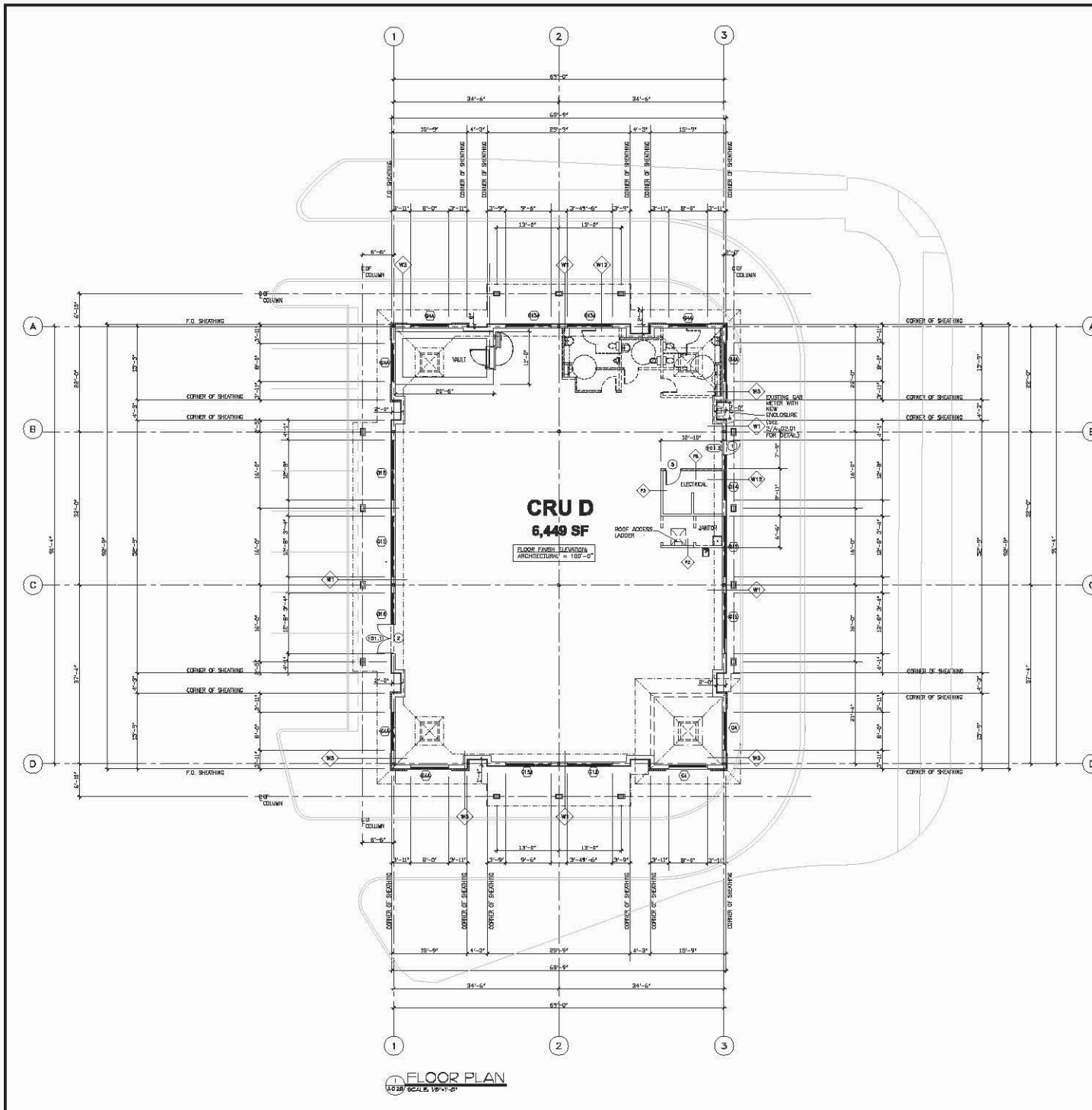


420 - 745 THURLOW ST
VANCOUVER, BC, V6C 2K6
TELEPHONE: 604-687-7834

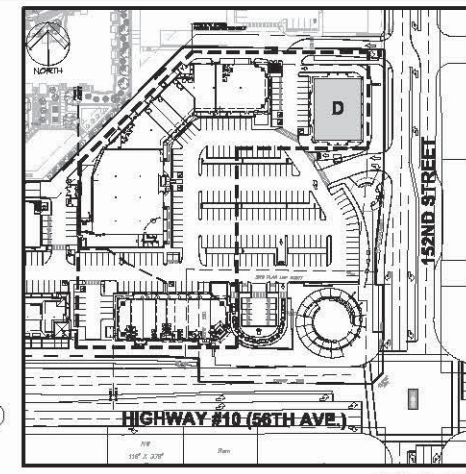
project number: 68001

SIGNAGE BUILDING ABC

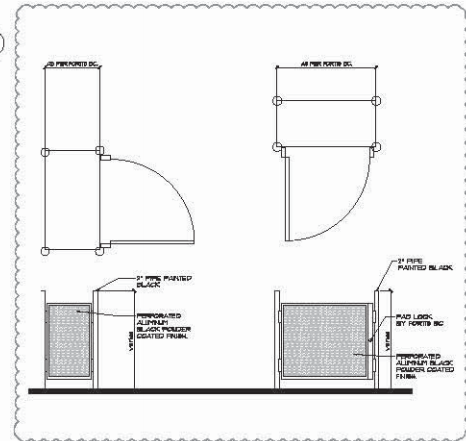
DATE: 2017-10-25
DRAWN BY: AS NOTED
CHECKED BY: T.M.P.
PROJECT: 10



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 KEY PLAN
SCALE: 1/8" = 1'-0"



3 PROPOSED GAS METER ENCLOSURE
SCALE: 1/8" = 1'-0"

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 BC BUILDING CODE.

NORTH

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PANORAMA VILLAGE - PHASE 2- RENOVATIONS
 15157, 15173, 15161, HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

architects ltd.

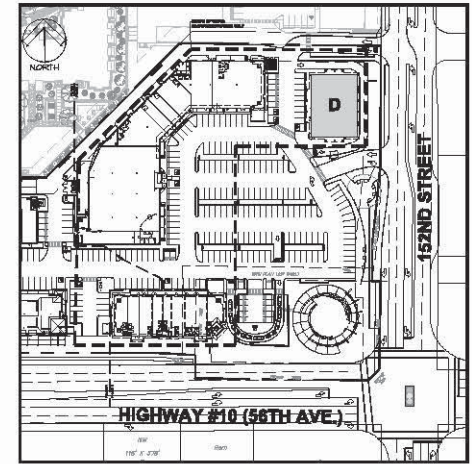
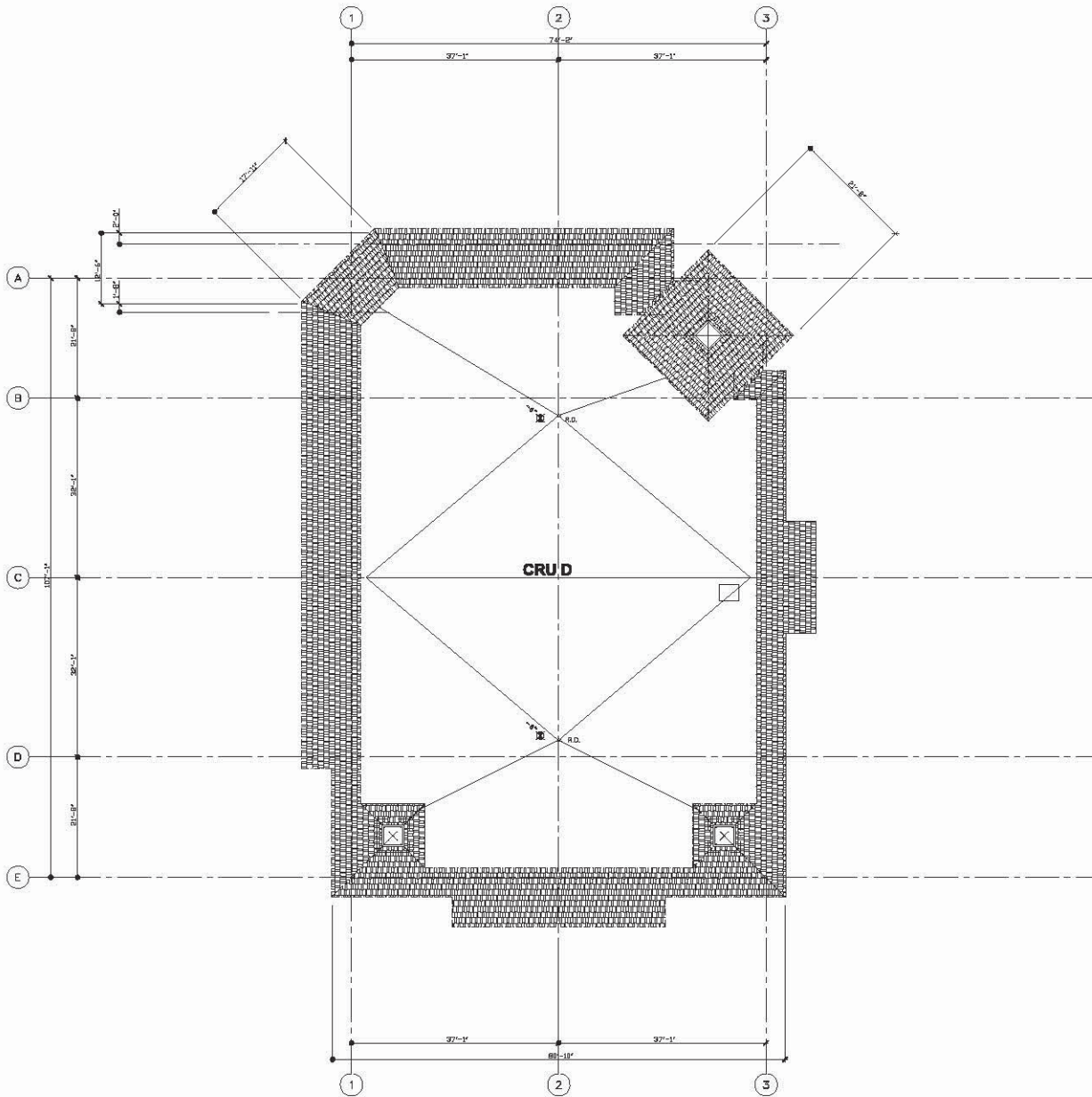
400-785 THURLOW ST
 VANCOUVER, BC V6C 1A6
 TELEPHONE 409-6872394

PROJECT NO. 15157 4001

DATE: 2017-10-23 SHEET NO. 11

REV: AS NOTED BY

SCALE: 1/8" = 1'-0"



PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
 15157, 15173, 15181 HIGHWAY 10 (56 Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP

architects ltd.

420 - 745 HILLOW ST
 WILLOWDALE, BC V6E 0S6
 TELEPHONE 604-467-2244

Project number: **4301**

Sheet No: **EXISTING ROOF PLAN BUILDING D**

DATE: 2017-10-23

SCALE: AS NOTED

DATE: 2017-10-23

SCALE: AS NOTED

DATE: 2017-10-23

SCALE: AS NOTED

DATE: 2017-10-23

SCALE: AS NOTED

DATE: 2017-10-23

SCALE: AS NOTED



NORTH ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL & FINISHES

- ① FIBRE CEMENT BOARD w/ CLIPS
- ② NEW WOOD TRIM PAINTED
- ③ LVL BOARD WOOD GRAIN FINISH
- ④ KO ROOF SHINGLES - CARBONISE
- ⑤ PRE-FINISHED METAL FLASHING
- ⑥ DECORATIVE FIBRE REINFORCED CONCRETE SYSTEM AND INSULATION CHANNEL POWDER COATED
- ⑦ NEW GUTTERS
- ⑧ EXISTING BRICK VENEER
- ⑨ EXISTING STONEBLOCK
- ⑩ SIGNAGE BY T&H/T
- ⑪ EXISTING BRICK/STUCCO TO BE PAINTED

SPECIFICATIONS

- ① RFI 224-40 DEEP SILVER
- ② RFI 224-20 TROUT GRAY
- ③ LIGHT CHERRY
- ④ DUAL BLACK
- ⑤ CHARCOAL GREY
- ⑥ TO MATCH LONG BOARD LIGHT CHERRY WOOD GRAIN FINISH
- ⑦ RFI 224-60 BURNY GRAY

PANORAMA VILLAGE - PHASE 2- RENOVATIONS
15157, 15173, 15161, HIGHWAY 10 (56th Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP



430-745 TUPLOW ST
VANCOUVER, BC V6C 2K5
TELEPHONE 604-687-2234

Project Number: **6801**

ELEVATIONS BUILDING D

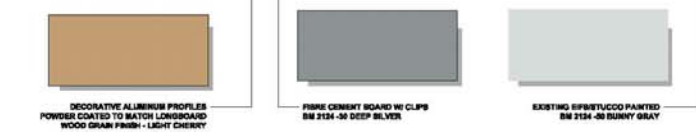
DATE: 2016-10-23
DRAWN: AS (MTC)
CHECKED: YG
DATE: 16



SOUTH EAST VIEW



NORTH WEST VIEW



PANORAMA VILLAGE - PHASE 2 RENOVATIONS SURREY , BC Bentall Kennedy (Canada) LP

PANORAMA VILLAGE - PHASE 2 RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (56 Ave), Surrey, BC
For BENTALL KENNEDY (CANADA) LP

**urban
cubed**
 architects ltd

430 - 745 THURLOW ST
 VANCOUVER BC V6C 2G6
 TELEPHONE (604) 672284

Project Number: **4801**
MATERIALS AND FINISHES
BUILDING D
 Date: 2017-08-23
 Scale: AS NOTED
 Author: **A-D**
 Checked: **31**



SIGNAGE CALCULATION:
BLDG D - NORTH ELEV.

SIGN #4 = 44.0 SF (4.1 SM)
LxH = 22'-0" x 2'-0"

WALL LENGTH = 69'-11" (21.3 M)
PERMITTED MAX. SIGN AREA = 209.8 SF (19.5 SM)
PROPOSED TOTAL SIGN AREA = 44.0 SF (4.1 SM)

1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

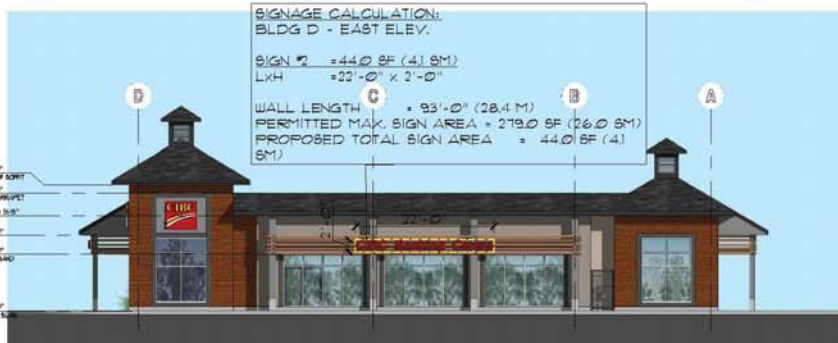


SIGNAGE CALCULATION:
BLDG D - SOUTH ELEV.

SIGN #1 = 28.0 SF (2.6 SM)
LxH = 14'-0" x 2'-0"

WALL LENGTH = 69'-11" (21.3 M)
PERMITTED MAX. SIGN AREA = 209.8 SF (19.5 SM)
PROPOSED TOTAL SIGN AREA = 28.0 SF (2.6 SM)

2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



SIGNAGE CALCULATION:
BLDG D - EAST ELEV.

SIGN #2 = 44.0 SF (4.1 SM)
LxH = 22'-0" x 2'-0"

WALL LENGTH = 93'-0" (28.4 M)
PERMITTED MAX. SIGN AREA = 279.0 SF (26.0 SM)
PROPOSED TOTAL SIGN AREA = 44.0 SF (4.1 SM)

3 EAST ELEVATION
SCALE: 1/8"=1'-0"



SIGNAGE CALCULATION:
BLDG D - WEST ELEV.

SIGN #3 = 40.0 SF (3.7 SM)
LxH = 20'-0" x 2'-0"

WALL LENGTH = 93'-0" (28.4 M)
PERMITTED MAX. SIGN AREA = 279.0 SF (26.0 SM)
PROPOSED TOTAL SIGN AREA = 40.0 SF (3.7 SM)

4 WEST ELEVATION
SCALE: 1/8"=1'-0"

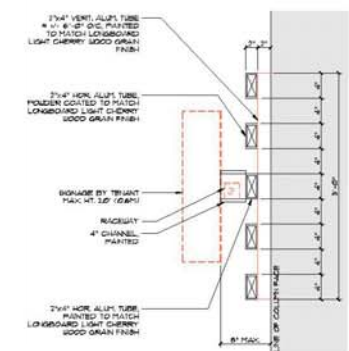


5 KEY PLAN
SCALE: 1/8"=1'-0"

NOTE:
ALL FASCIA SIGNAGE OR LETS MUST BE ATTACHED TO A SIGN BOARD NO GREATER THAN 60% IN TOTAL HEIGHT. ALL TRUSS SIGNAGE (I.E. FREE FORM OR INDIVIDUAL CHANNEL LETTERS AND LOGOS) CANNOT EXCEED A MAXIMUM HEIGHT OF 60% (60").



6 FASCIA SIGN EXAMPLES (TYP.)
SCALE: N/A



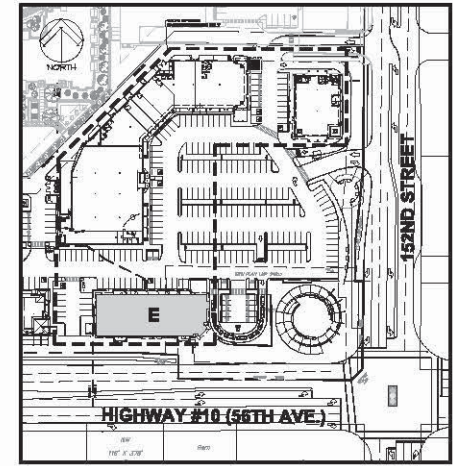
7 TYPICAL SIGN DETAIL
SCALE: N/A

PANORAMA VILLAGE - PHASE 2- RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56 Ave), Surrey, BC
For BENTALL KENNEDY (CANADA) LP

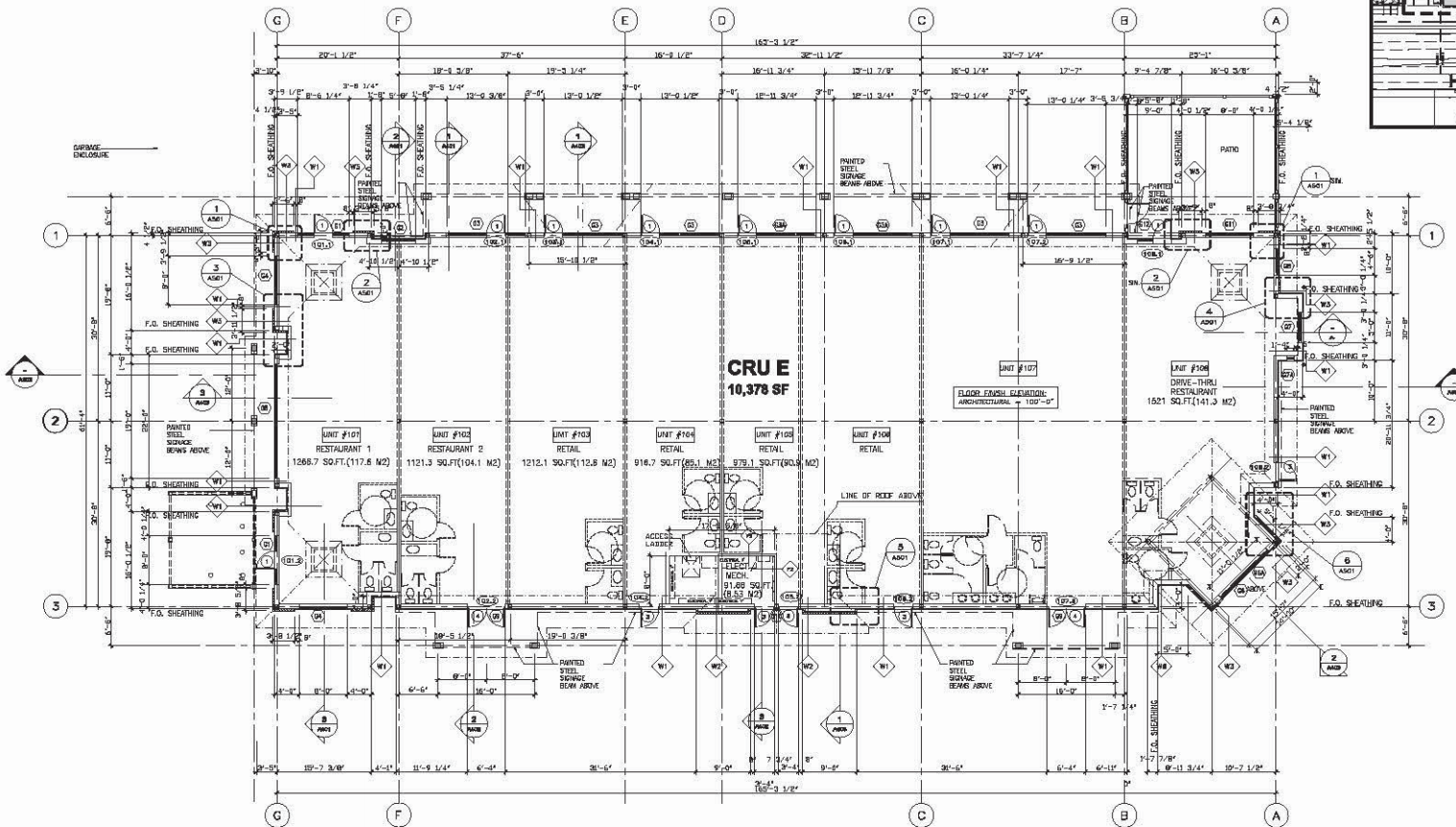


400-745 TRIFLOW ST
VANCOUVER BC V6C 2G5
TELEPHONE 604-687-2234

Project Name: **4801**
Date: 2016-10-20
Sheet: 48 OF 48
Scale: 1/8"=1'-0"
Project: **A-03A**



KEY PLAN
SCALE: 1/8" = 1'-0"



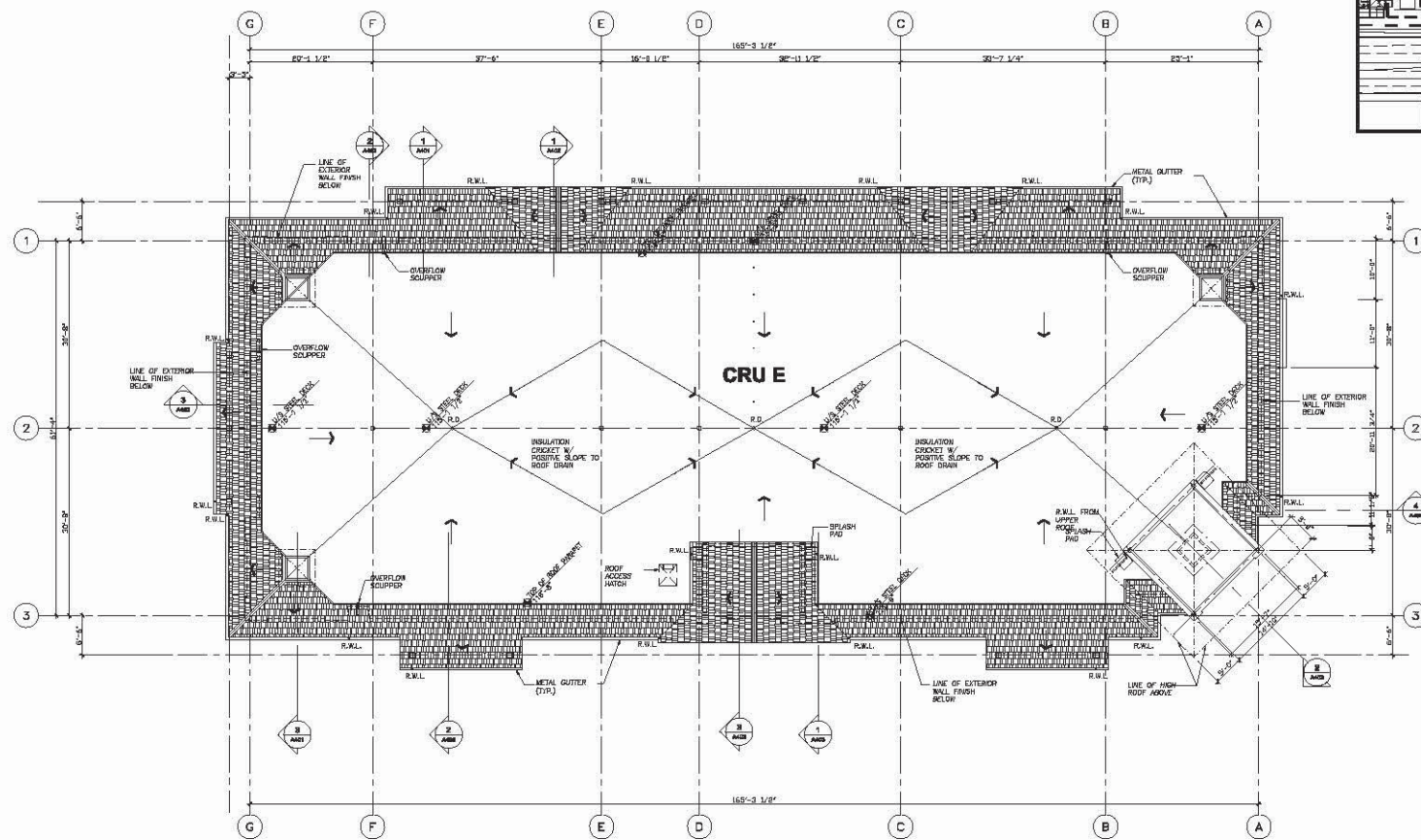
FLOOR PLAN
SCALE: 1/8" = 1'-0"

PANORAMA VILLAGE - PHASE 2: RENOVATIONS
 15157, 15173, 15161 HIGHWAY 10 (56th Ave), Surrey, B.C.
For BENTALL KENNEDY (CANADA) LP

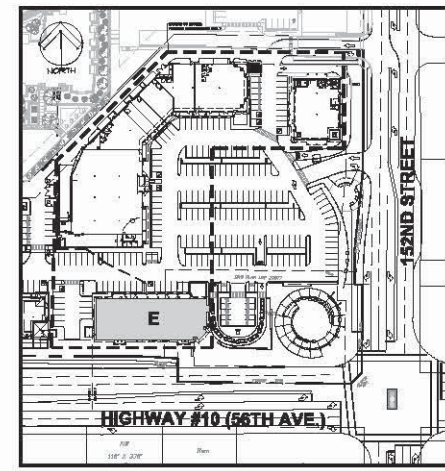


architects ltd.

420 - 745 HILLOW ST
 WILLOWDALE, B.C. V6E 0E5
 TELEPHONE 604-467-2244
 Project number: **4801**
 Sheet No: **EXISTING FLOOR PLAN BUILDING E**
 Date: 2017-10-10
 Drawn: AS NOTED
 Checked: ME
 In Charge: **A.E. 2.00**



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



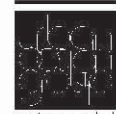
KEY PLAN
SCALE: N/A

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DATE: 2017-10-10

PANORAMA VILLAGE - PHASE 2- RENOVATIONS
15157, 15173, 15161, HIGHWAY 10 (56th AVE), SURREY, BC
FOR BENTALL KENNEDY (CANADA) LP



architects ltd.

400-785 THURLOW ST
VANCOUVER BC V6C 2E8
TELEPHONE 604-687-2304

PROJECT NUMBER: **4601**
DATE: **2017-10-10**
DRAWING TITLE: **EXISTING ROOF PLAN BUILDING E**
REV: **2017-10-10**
DRAWN BY: **AS**
CHECKED BY: **AS**
SCALE: **N/A**



EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL & FINISHES

- 1 PRIME CONCRETE BOARD W/ CLIPS
- 2 NEW WOOD TRIM PAINTED
- 3 LONGBOARD WOOD GRAIN FINISH
- 4 3/4" ROOF SHINGLES - CAMBRIDGE
- 5 PRE-FINISHED METAL FLASHING
- 6 DECORATIVE PRE-FINISHED LONGBOARD SHEATH AND SIGNAGE CHANNEL POWDER COATED
- 7 NEW GUTTERS
- 8 EXISTING BRICK VENEER
- 9 EXISTING STONE/BRICK
- 10 SIGNAGE BY TENDR
- 11 EXISTING SPARKPLUGS TO BE PAINTED

ABBREVIATIONS

- 1 BMT 224 - 3/8" DEEP SILVER
- 2 BMT 124-2D - TROUT GRAY
- 3 LIGHT CHERRY
- 4 DUAL BLACK
- 5 CHARCOAL GREY
- 6 1/2" MATCH LOOK BOARD, LIGHT CHERRY WOOD GRAIN FINISH
- 7 BMT 224-3/8" - BUNT GRAY

PANORAMA VILLAGE - PHASE 2 - RENOVATIONS
15157, 15173, 15161 HIGHWAY 10 (56 Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP



architects ltd

420 - 745 THURLOW ST
VANCOUVER BC V6C 2S8
TELEPHONE 604-687-7204

PROJECT NO: 6503

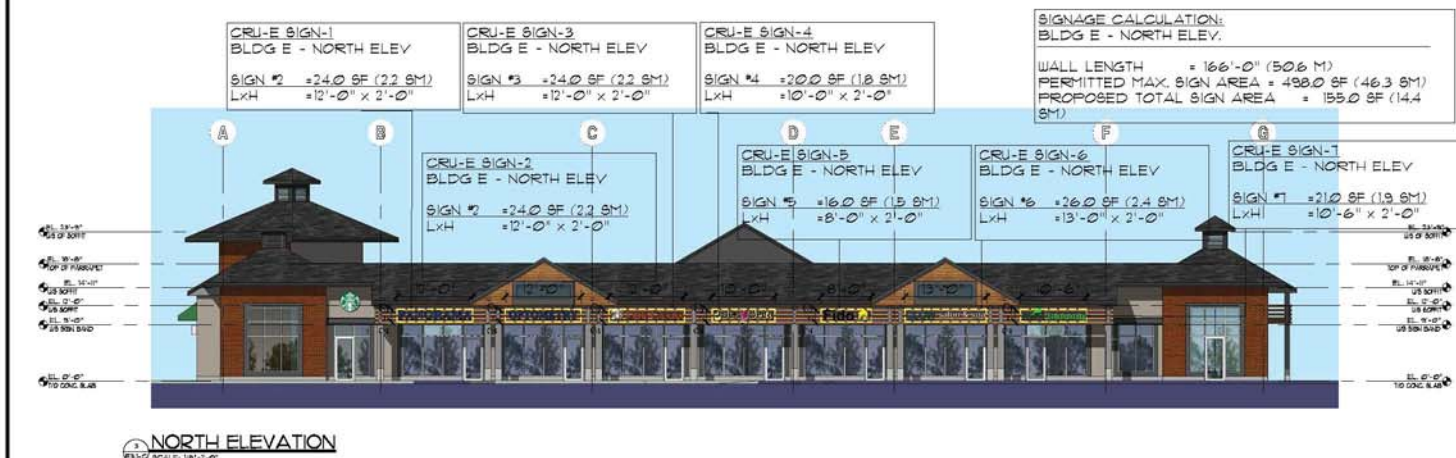
ELEVATIONS BUILDING E

REV: 2016-10-03 (REV. DATE)
RDR: AS 0003
DATE: 16
DRAWN: A-E&C

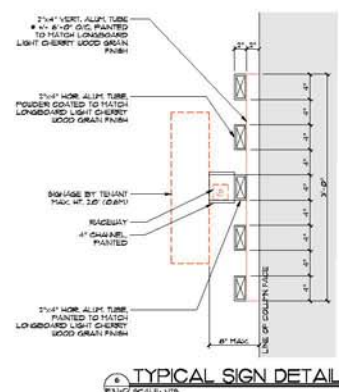


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NOTE:
ALL FACIA SIGNAGE ON SITE MUST BE ATTACHED TO A SIGN BASE NO GREATER THAN 60% IN TOTAL HEIGHT. ALL TENANT SIGNAGE (A FREE HOLE OR INDIVIDUAL CHANNEL LETTERS AND LOGOS) CANNOT EXCEED A MAXIMUM HEIGHT OF 60% (1/2").



FASCIA SIGN EXAMPLES (TYP.)
SCALE: NTS

PANORAMA VILLAGE - PHASE 2- RENOVATIONS
15157, 15173, 15161, HIGHWAY 10 (56 Ave), Surrey, BC.
For BENTALL KENNEDY (CANADA) LP



400-785 TRUFLOW ST
VANCOUVER BC V6C2G5
TELEPHONE 604-6872304

Project Name: 4801

DATE: 2017-10-10 (REV) SHEET NUMBER: 45 (REV) DATE: 2017-10-10 (REV) SCALE: 1/8" = 1'-0"

SIGNAGE BUILDING E

DATE: 2017-10-10 (REV) SHEET NUMBER: 45 (REV) DATE: 2017-10-10 (REV) SCALE: 1/8" = 1'-0"