
TO: **Mayor & Council**

FROM: **General Manager, Planning & Development Department**

DATE: **January 27, 2020**

FILE: **7917-0432-00**

RE: **Agenda Item B.8, January 27, 2020 Regular Council – Land Use
Civic Address: 5959 144 Street
CD By-law No. 20017**

An error was found in the Planning Report and CD Bylaw associated with Development Application No. 7917-0432-00. It is requested that the following pages be replaced:

- Page 5, 8 and 9 in the Planning Report
- Appendix VII – CD By-law


Jean Lamontagne
General Manager

Planning & Development Department

- The proposed use, density, and building massing area appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands within this mixed-use node in South Newton.

Proposed	
Lot Area	
Gross Site Area:	4,334 square metres
Road Dedication:	728 square metres
Undevelopable Area:	
Net Site Area:	3,606 square metres
Number of Lots:	1
Building Height:	15.2 metres 15.8 metres
Floor Area Ratio (FAR):	1.47
Floor Area	
Residential:	4,773 square metres
Commercial:	532 square metres
Total:	5,305 square metres
Residential Units:	
Studio:	14
1-Bedroom & 1-Bedroom+Den:	47
2-Bedroom & 2-Bedroom+Den:	10
Total:	71

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **Projected number of students from this development:**

4 students at Goldstone Park Elementary School
4 students at Sullivan Heights Secondary School

(Appendix III).

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2021.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

	Permitted and/or Required		Proposed
	RM-70	C-5 Zone	
Floor Area Ratio:	1.5	0.5	1.47
Lot Coverage:	50%	33%	48%
Yards and Setbacks			
North (60 Ave):	7.5m	7.5m	6.0m
South (59 Ave):	7.5m	7.5m	4.0m
East (Residential)	7.5m	7.5m	4.5m
East (Commercial)	7.5m	7.5m	4.0m
West:	7.5m	7.5m	10.3m
Height of Buildings			
Principal buildings:	50m	9m	15.2m <u>15.8 metres</u>
Amenity Space			
Indoor Amenity:	213 square metres		171 square metres plus CIL of \$16,800
Outdoor Amenity:	213 square metres		225 square metres
Parking (Part 5)			
	Required		Proposed
Number of Stalls			
Commercial:	16		17
Residential:	94		94
Residential Visitor:	14		18
Total:	124		129
Tandem (%):	n/a		n/a
Bicycle Spaces			
Residential Secure Parking:	85		91
Residential Visitor:	6		9

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 and RM-70 Zones, and the proposed CD By-law is illustrated in the following table:

	C-5	RM-70	CD Zone
Net FAR	0.50	1.50	1.50
Lot Coverage	50%	33%	48%
Setbacks (principle buildings)	7.5 metres to all lot lines		North: 6.0 metres East: 4.0 metres South: 4.0 metres West: 10.3 metres
Principal Building Height	9.0 metres	50 metres	15.2 metres <u>15.8 metres</u>

	C-5	RM-70	CD Zone
Permitted Uses	Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone)	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres.

- The proposed CD By-law reduces the building setbacks along the north, south and the east lot lines, which are the lot lines adjacent to existing or proposed roads. The proposed setbacks achieves a more urban pedestrian-oriented streetscape that will enhance the public realm and are consistent with other mixed-use projects in the City.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 48% lot coverage that is proposed is appropriate for a 4-storey building.
- The proposed height of ~~15.2 metres~~ 15.8 metres, which is less than the maximum building height of 50 metres of the RM-70 Zone, is appropriate for this part of South Newton.
- The proposed CD By-law will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres in order to ensure that the parking requirements in the Zoning By-law can be met.
- The Zoning By-law requires a total of 108 residential parking spaces (94 residents, 14 visitors), and 16 commercial parking spaces in the proposed mixed-use building, respectively. The applicant proposes a total of 112 residential parking spaces (94 residential parking spaces, 18 visitor spaces) and 17 commercial parking spaces, respectively, meeting the Zoning By-law requirement.
- In addition, the development will provide a total of 100 bicycle parking spaces, including 91 secure residential bicycle parking spaces and 9 visitor bicycle parking spaces. This exceeds the minimum required in the Zoning By-law.

Public Art Policy

- The applicant will be required to provide Public Art in accordance with the City’s Public Art Policy requirements. To facilitate this the applicant will be required to register a Restrictive Covenant on the title of the property requiring this requirement to be resolved prior to a Building Permit being issued on the property.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 001-678-051
 Lot 20 SE Section 9 Township 2 Plan 27472
 Lot 20 Except: Parcel B (Bylaw Plan NWP8473) Section 9 Township 2 New Westminster
 District Plan 27472

5959 - 144 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings* and *Ground-Oriented Multiple Unit Residential Buildings*.

2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross floor area of each individual business does not exceed 370 square metres [4,000 sq.ft.]:
 - (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
 - (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
 - (c) Office uses excluding *social escort services* and *methadone clinics*;
 - (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (e) Indoor *recreational facilities*, excluding a gymnasium; and
 - (f) *Community service*.
3. *Eating establishments* excluding *drive-through restaurants*, provided that they are restricted to the ground floor of a *multiple unit residential building* and the maximum *gross floor area* of each individual business does not exceed 150 square metres (1,615 sq.ft.).

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a *floor area ratio* of 1.50 if amenity contributions (specifically affordable housing, capital projects, police, fire, libraries, parks and, where applicable, underground utilities) are provided in accordance with Schedule G, Sections A, B, D and E of Surrey Zoning By-law, 1993, No. 12000, as amended.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the buildings within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2 of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 48%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	<i>Setback</i>	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>					
<i>Accessory Buildings and Structures</i>		6.0 m [20 ft.]	10.3 m [34 ft.]	4.0 m [13 ft.]	4.0 m [13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an underground parking facility may be located up to 0 metre [0 ft.] of any lot line.
4. Notwithstanding the definition of *setbacks* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, decks, porches and roof overhangs may encroach up to 2.0 metres [6.6 ft.] into the required *setbacks* and architectural elements including pilasters, arches and posts may encroach up to 0.9 metres [3.0 ft.] into the required *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed ~~15.2 metres~~ 15.8 metres [52 ft.].

2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Commercial, resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principal building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof* for the commercial use.

J. Special Regulations

1. *Amenity space* subject to Section B.1, General Provisions, of Surrey Zoning Bylaw No. 12000, as amended shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
3. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.

8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential uses and the C-5 Zone for the commercial uses.
 9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
 10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0432-00

Planning Report Date: January 27, 2020

PROPOSAL:

- **NCP Amendment** from Apartments (45 u.p.a. max) to Mixed Commercial-Residential (Apartments)
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**

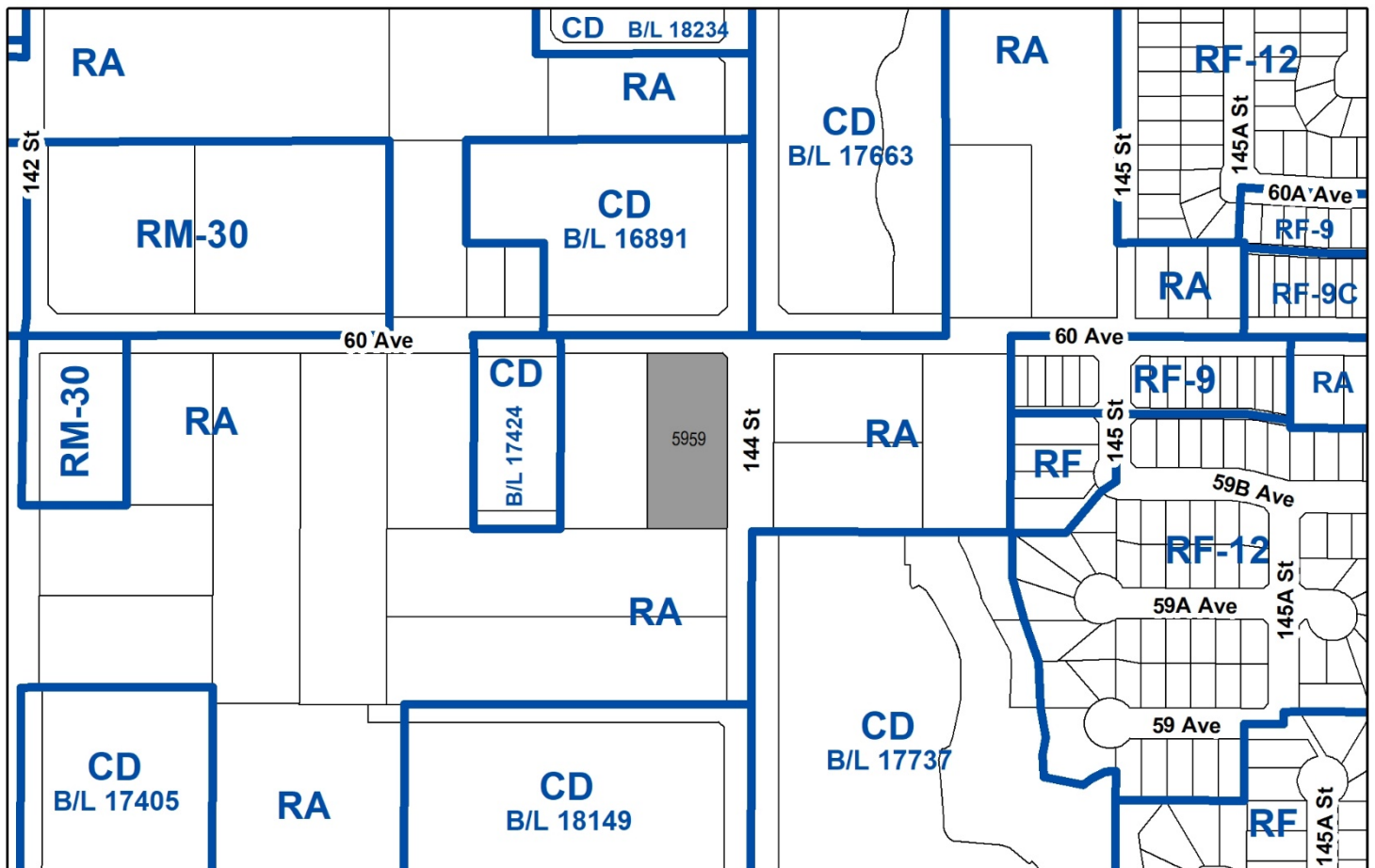
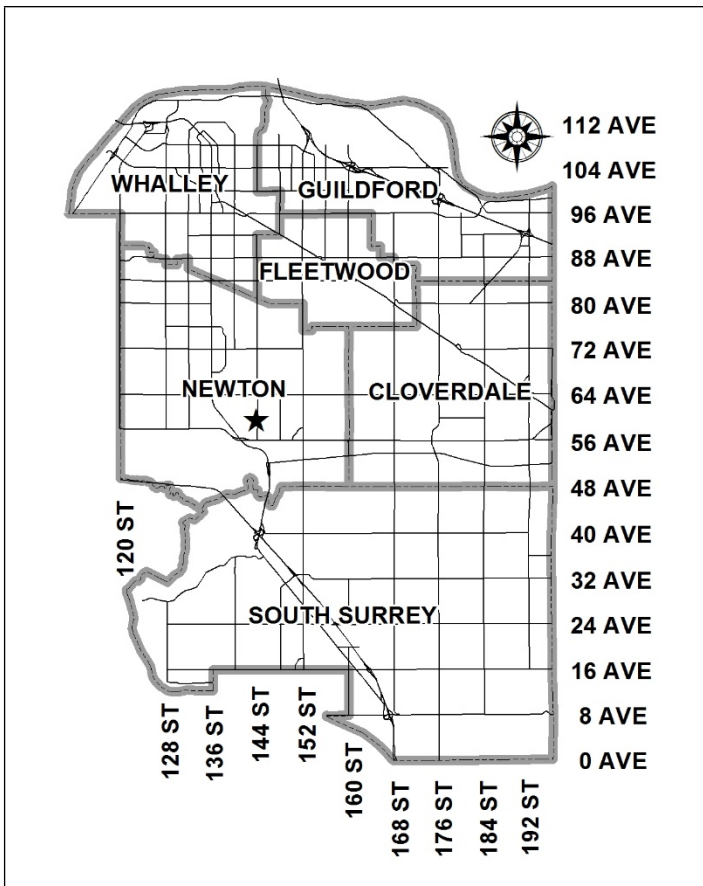
to permit the development of a four-storey mixed-use building consisting of 71 residential units and 532 square metres of ground-floor commercial space.

LOCATION: 5959 - 144 Street

ZONING: RA

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Apartments (45 u.p.a. max)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) from Apartments (45 u.p.a. max) to Mixed Commercial-Residential (Apartments).

RATIONALE OF RECOMMENDATION

- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The mixed-use building and the associated commercial uses will provide amenity for local residents and for users of the adjacent park and tennis facility.
- The building design, orientation, and material selection are of high quality and complementary to other existing and approved buildings in the surrounding area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0432-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (k) the applicant adequately address the impact of reduced on-site indoor amenity space.
4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan to amend the plan from "Apartment (45 u.p.a. max)" to "Mixed Commercial-Residential (Apartments)".

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family residential	Apartments (45 u.p.a. max)	RA
North (Across 60 Avenue):	Townhouses	Townhouses (20 u.p.a. max)	CD (By-law No. 16891)
East (Across 144 Street):	Single family residential: under application No. 7916-0063-00 to permit 17 townhouses (received Third Reading on April 1, 2019)	Townhouses (15 u.p.a. max)	RA
South:	Single family residential: under application No. 7918-0081-00 to permit apartments (pre-Council)	Apartments (45 u.p.a. max) & Mixed Commercial-Residential (Apartments)	RA
West	Single family residential	Apartments (45 u.p.a. max)	RA

Context & Background

- The subject site is 0.43 hectares in area and is located on the southwest corner of 144 Street and 60 Avenue.
- The site is designated Multiple Residential in the Official Community Plan (OCP), designated "Apartments (45 u.p.a. max)" in the South Newton NCP, and is zoned "One-Acre Residential Zone (RA)".

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing an NCP amendment from "Apartments (45 u.p.a. max)" to "Mixed Commercial-Residential (Apartments)" and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development (CD)" and a Form and Character Development Permit to facilitate the development of a four-storey mixed-use building.
- The proposed development consists of 71 residential dwelling units and 532 square metres of ground floor commercial space, which includes 5 commercial/retail units.
- The proposed net density for the development is 1.47 Floor Area Ratio (FAR), which complies with the maximum FAR permitted for Multiple Residential designated sites in the OCP.

- The proposed use, density, and building massing area appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands within this mixed-use node in South Newton.

	Proposed
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Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **Projected number of students from this development:**

4 students at Goldstone Park Elementary School
4 students at Sullivan Heights Secondary School

(Appendix III).

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2021.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

Surrey Fire Department: No concerns.

Advisory Design Panel: The application was considered by the Advisory Design Panel (ADP) on September 26, 2019. The comments received were primarily related to site, form and character, landscaping, sustainability and accessibility. The applicant has resolved the outstanding items from the ADP review to the satisfaction of the City Architect (Appendix V).

Transportation Considerations

- Vehicle access is provided from the future 59A Avenue along the south boundary of the site for surface parking and from 60 Avenue for the underground parking.
- The majority of the required parking spaces for the building are located within the proposed underground parking garage. A small parking lot is proposed at grade adjacent to the commercial/retail units.
- The applicant is proposing a 10 metre road dedication for 59A Avenue and has secured an additional 10 metre right-of-way from 5937 144 Street for an ultimate road dedication of 20 metres. The applicant will be required to construct an 13.5 metre half-road if they develop in advance of the adjacent property to the south.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Pervious materials for landscaping and sidewalks will be utilized to minimize runoff.
 - Planting beds and soft landscaping has been proposed in front of the building to reduce the overall use of paved areas on the ground level.
 - Energy Efficient (LED) lighting is proposed to be used for the site lighting and for all fixtures in common areas.
 - Use of Low-VOC (Volatile Organic Compound) products such as paints, carpeting and adhesives are considered to achieve an improved air quality.
 - The design of the building has been proposed to maximize the use of passive solar design to reduce excessive heat loss / gain and reduce energy consumption.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposal complies with this designation.

Official Community Plan

- The site is designated Multiple Residential in the Official Community Plan (OCP). The proposal complies with this designation.

Secondary Plan

Land Use Designation

- The site is designated "Apartments (45 u.p.a. max)" in the South Newton NCP. The applicant is proposing an NCP amendment to redesignate the site from "Apartments (45 u.p.a. max)" to "Mixed Commercial-Residential (Apartment)". The proposed amendment is shown in Appendix VI.

Amendment Rationale

- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve specific pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The mixed-use building and the associated commercial uses will provide amenity for local residents and for users of the adjacent park and tennis facility.
- The proposed density and building form are appropriate for this part of the South Newton NCP area.

CD Bylaw

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed mixed-use building on the subject site. The proposed CD By-law, shown in Appendix VII, is based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 70 Zone (RM-70)" with changes to the maximum FAR, lot coverage, setbacks, building height and permitted uses.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning Bylaw, including the "Multiple Residential 70 Zone (RM-70)" and "Neighbourhood Commercial Zone (C-5)", and parking requirements.

	Permitted and/or Required		Proposed
	RM-70	C-5 Zone	
Floor Area Ratio:	1.5	0.5	1.47
Lot Coverage:	50%	33%	48%
Yards and Setbacks			
North (60 Ave):	7.5m	7.5m	6.0m
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East (Commercial)	7.5m	7.5m	4.0m
West:	7.5m	7.5m	10.3m
Height of Buildings			
Principal buildings:	50m	9m	15.2m
Amenity Space			
Indoor Amenity:	213 square metres		171 square metres plus CIL of \$16,800
Outdoor Amenity:	213 square metres		225 square metres
Parking (Part 5)			
	Required		Proposed
Number of Stalls			
Commercial:	16		17
Residential:	94		94
Residential Visitor:	14		18
Total:	124		129
Tandem (%):	n/a		n/a
Bicycle Spaces			
Residential Secure Parking:	85		91
Residential Visitor:	6		9

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 and RM-70 Zones, and the proposed CD By-law is illustrated in the following table:

	C-5	RM-70	CD Zone
Net FAR	0.50	1.50	1.50
Lot Coverage	50%	33%	48%
Setbacks (principle buildings)	7.5 metres to all lot lines		North: 6.0 metres East: 4.0 metres South: 4.0 metres West: 10.3 metres
Principal Building Height	9.0 metres	50 metres	15.2 metres

	C-5	RM-70	CD Zone
Permitted Uses	Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone)	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres.

- The proposed CD By-law reduces the building setbacks along the north, south and the east lot lines, which are the lot lines adjacent to existing or proposed roads. The proposed setbacks achieves a more urban pedestrian-oriented streetscape that will enhance the public realm and are consistent with other mixed-use projects in the City.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 48% lot coverage that is proposed is appropriate for a 4-storey building.
- The proposed height of 15.2 metres, which is less than the maximum building height of 50 metres of the RM-70 Zone, is appropriate for this part of South Newton.
- The proposed CD By-law will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres in order to ensure that the parking requirements in the Zoning By-law can be met.
- The Zoning By-law requires a total of 108 residential parking spaces (94 residents, 14 visitors), and 16 commercial parking spaces in the proposed mixed-use building, respectively. The applicant proposes a total of 112 residential parking spaces (94 residential parking spaces, 18 visitor spaces) and 17 commercial parking spaces, respectively, meeting the Zoning By-law requirement.
- In addition, the development will provide a total of 100 bicycle parking spaces, including 91 secure residential bicycle parking spaces and 9 visitor bicycle parking spaces. This exceeds the minimum required in the Zoning By-law.

Public Art Policy

- The applicant will be required to provide Public Art in accordance with the City's Public Art Policy requirements. To facilitate this the applicant will be required to register a Restrictive Covenant on the title of the property requiring this requirement to be resolved prior to a Building Permit being issued on the property.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent out on September 11, 2019, and the Development Proposal Signs were installed on March 13, 2019. To date, staff have not received correspondence from area residents.

DEVELOPMENT PERMIT

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Newton Neighbourhood Concept Plan (NCP)
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The buildings are organized on the site to make pedestrian access safe and interesting while accommodating convenient parking for the proposed retail units.
- The frontages of the mixed-use buildings will consist of approximately 5 ground floor commercial retail units (CRU) oriented towards 144 Street and the future 59A Avenue. The CRUs are anticipated to range in size from 95 square metres to 140 square metres. The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application.
- The proposed residential dwelling units range from 35 square metres to 45 square metres, and are comprised of a mix of studio, one- and two-bedroom units.
- The site design reflects an effort to provide an attractive interface with the public realm. The street-fronting buildings are oriented to the street with glazing and doors on the street facing elevations.
- The building utilizes a contemporary design with clear lines and articulation along the building face. The residential lobby entrance on 60 Avenue is highlighted through the use of materials to define the sense of entry for the residential portion of the building. Repetition of curtain wall and hardie cladding in alternating colours along with brick veneer and wood grain channel siding defines the residential units. The projecting flat roofs, and beam glass canopy provides articulation and visual interest to the second and third floor residential units. An architectural rooftop accent helps to define the proposed building.
- The commercial portion of the building is clearly defined from the residential portion through the provision of a storefront window system along the retail frontages, individual unit entries and fascia signage over the individual units. A glass and metal awning system provides for continuous weather protection and enhances the pedestrian experience along the retail frontage.

- The proposed exterior materials include hardie reveal in arctic white and sailcloth, curtain walls in white, brick veneer (dark brown), longboard wood grain channel siding (brown) and glass balcony guardrails with powder coated aluminum railings (black).
- Metal and glass weather canopies further enhance the building design and provide pedestrian weather protection which will encourage pedestrian activity on the site.

Indoor Amenity

- Based upon the standard Zoning By-law requirement of 3.0 square metres per dwelling unit for indoor amenity space, the proposed development requires 213 square metres of indoor and outdoor amenity space.
- The proposed 171 square metres of indoor amenity is less than the minimum required of the Zoning By-law. The indoor amenity space is to be located on the ground floor of the building and will include a washroom and a kitchen and opens directly onto the outdoor amenity space. The indoor amenity space is functional as it can be programmed in a variety of ways to meet the needs of the residents. The shortfall will be addressed through a cash-in-lieu payment following approved City Policy in the amount of \$16,800.

Outdoor Amenity

- Based upon the standard Zoning By-law requirement of 3.0 square metres per dwelling unit for outdoor amenity space, the proposed development requires 213 square metres of indoor and outdoor amenity space.
- The proposed 225 square metres of outdoor amenity exceeds the requirement of the Zoning By-law. The outdoor amenity spaces are located adjacent to the indoor amenity rooms, and include outdoor seating areas, a ping-pong table and a children's play area.

Landscaping

- The landscape plan proposes a total of 50 trees to be planted throughout the subject site including coniferous and deciduous trees.
- The new trees on the site will consist of a variety of trees including Columnar Karpick Maple, Katsura Tree, Flowering Dogwood, White Flowering Dogwood, Bruns Serbian Spruce, and Japanese Stewartia.
- A significant number of shrubs and ground cover species are also proposed throughout the subject site.
- A corner plaza is located at the future intersection of 60 Avenue and 144 Street and provides benches for seating and in-ground planters. The character of the plaza will comply with the public realm guidelines for South Newton.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum & Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	34	34	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paper Birch	3	3	0
Bitter Cherry	1	1	0
Horsechestnut	1	1	0
Linden	3	3	0
Magnolia	2	2	0
Bigleaf Maple	3	3	0
English Holly	1	1	0
Coniferous Trees			
Douglas Fir	1	1	0
Falsecypress	1	1	0
Cedar, Western Red	16	16	0
Total (excluding Alder and Cottonwood Trees)	32	32	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		50	
Total Retained and Replacement Trees		50	
Contribution to the Green City Program		\$19,200	

- The Arborist Assessment states that there is a total of 32 protected trees on the site, excluding Alder and Cottonwood trees. 34 existing trees, approximately 52% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 98 replacement trees on the site. Since only 50 replacement trees can be accommodated on the site (based on an average of [2] trees per lot), the deficit of 48 replacement trees will require a cash-in-lieu payment of \$19,200, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.

- In summary, a total of 50 trees are proposed to be replaced on the site with a contribution of \$19,200 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

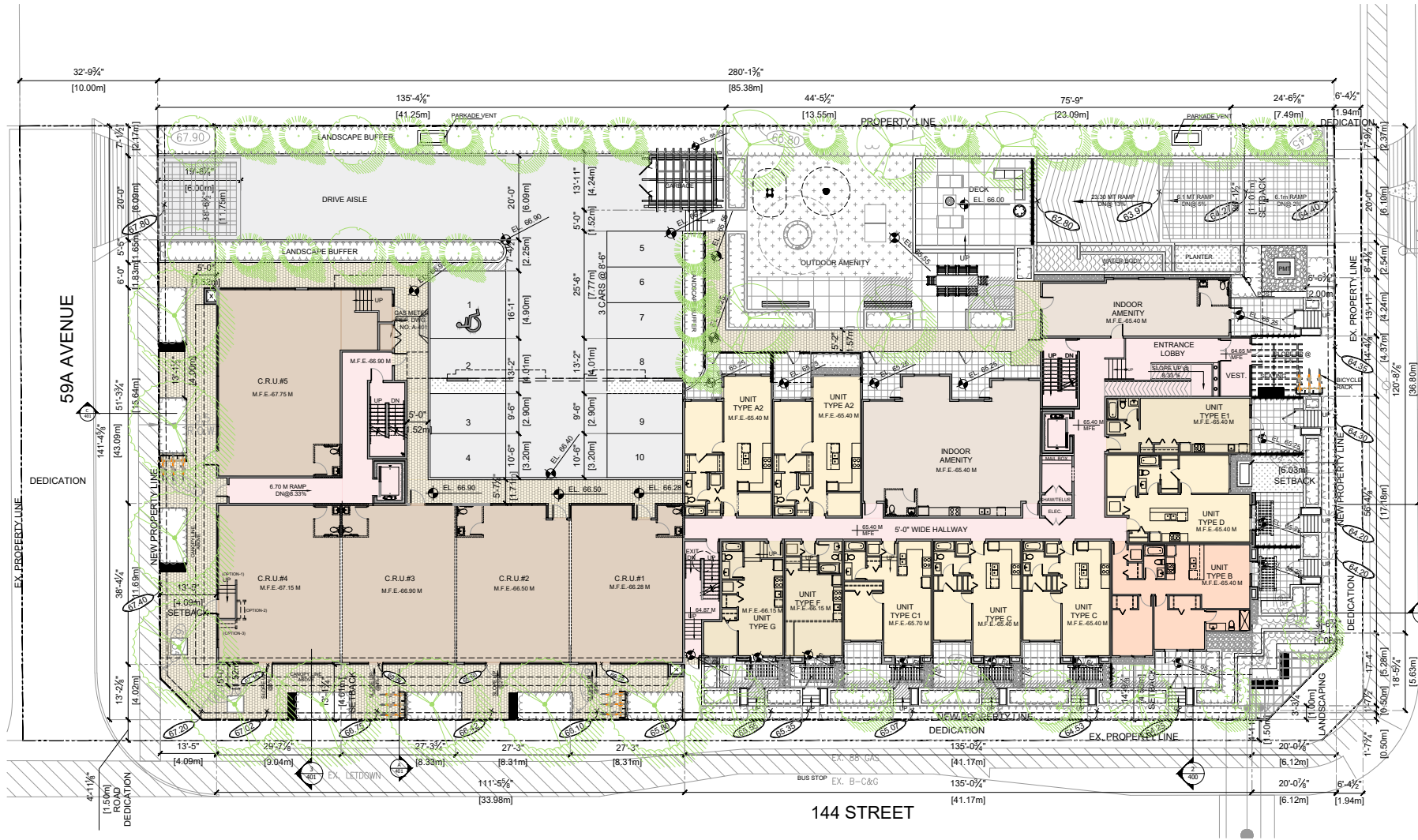
The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Tree Preservation Summary
Appendix V.	ADP Comments and Response
Appendix VI.	NCP Plan
Appendix VII.	Proposed CD Bylaw

approved by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HS/cm



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2016/10/24	F	REVISED AS PER CITY COMMENTS
2016/10/13	E	SP SUBMISSION
2016/10/05	D	REVISED AS PER CITY COMMENTS
2016/11/02	C	REVISED AS PER CITY COMMENTS
2016/10/24	B	REVISED AS PER CITY COMMENTS
2016/10/16	A	REVISION & SP SUBMISSION



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 PROPOSED MIXED USE DEVELOPMENT
 5955 144ST
 SURREY, B.C.

CLIENT:
 SJM INVESTMENTS
 CORP., INC. NO. BC1100693
 #201 7928 128 ST.
 SURREY, B.C.

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 DATE: APRIL 2018
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1 SITE LAYOUT
 3/32" = 1'-0"

SITE LAYOUT

NOTES:



SCHEDULE OF FINISHES -

- BRICK, METAL MATERIALS
COLOR: EBONY
- SMOOTH FINISH HARDE PANEL PAINTED
COLOR - SW 7007 CEILING BRIGHT WHITE
WITH REVEAL SYSTEM 2.2
- SMOOTH FINISH HARDE PANEL PAINTED
COLOR - SW 1668 PINEAPPLE CREAM
WITH REVEAL SYSTEM 2.2
- LONGBOARD WOOD GRAINE CHANNEL
SIDING / FLASHING OR EQUIVALENT
COLOR - DARK WALNUT
- CURTAIN WALL SYSTEM: SPANREL GLASS WITH
SPAC COATING (PRIMARY WHITE)
- POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS
(TRANSPARENT) COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
SATH 2131-10 AND SPAC COAT TO MATCH PRIMARY WHITE
- PAINTED VINYL WINDOWS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
- STORE FRONT WINDOWS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
- SOFFIT - 1" LONGBOARD WOOD GRAINS CHANNEL
COLOR - DARK WALNUT
- SOFFIT
COLOR TO MATCH - SW 7007 CEILING BRIGHT WHITE
- GLASS AWNING
- SOLID CORE WOOD DOORS PAINTED TO MATCH BENJAMIN
MOORE BLACK SATIN 2131-10
- POWDER COATED ALUMINUM 5'-0" HIGH PRIVACY SCREEN
WITH SAFETY GLASS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
- HORIZONTAL VENTS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
- HARDE PANEL REVERSAL/FRIMSGLIPS COLOR TO MATCH
FACADE
- 16\"/>

2018/02/21 H	REVISED AS PER ACP COMMENTS
2018/02/20 G	REVISED AS PER CITY COMMENTS
2018/02/24 F	REVISED AS PER CITY COMMENTS
2018/04/13 E	SP SUBMISSION
2018/02/28 D	REVISED AS PER CITY COMMENTS
2018/11/06 C	REVISED AS PER CITY COMMENTS
2018/09/24 B	REVISED AS PER CITY COMMENTS
2018/02/10 A	REVISIONS & SP SUBMISSION

1 EAST ELEVATION (ALONG 144 STREET)
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



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ELEVATIONS

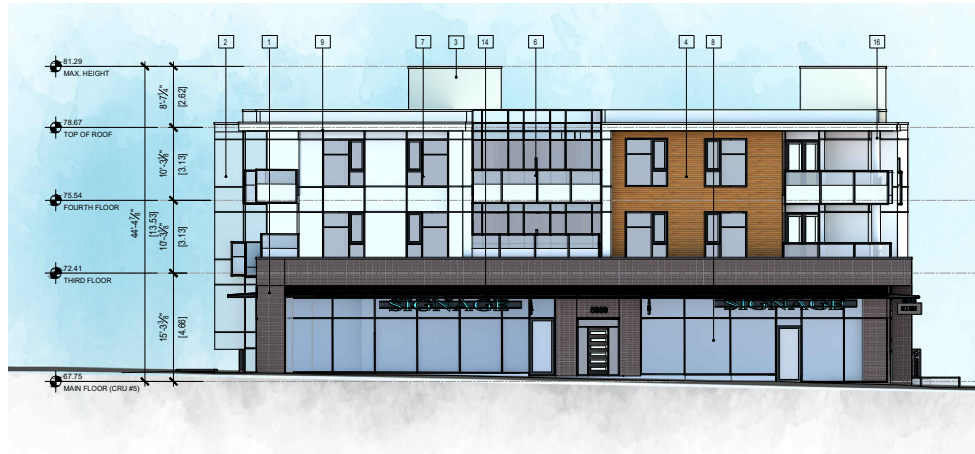
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1 NORTH ELEVATION (ALONG 60TH AVE.)
1/8" = 1'-0"

- SCHEDULE OF FINISHES -
1. BRICK - MIXED MATERIALS
COLOR - EBONY
 2. SMOOTH FINISH HARDE PANEL PAINTED
COLOR - SW 7007 CEILING BRIGHT WHITE
WITH REVEAL SYSTEM 2.0
 3. SMOOTH FINISH HARDE PANEL PAINTED
COLOR - SW 1066 PINEAPPLE CREAM
WITH REVEAL SYSTEM 2.0
 4. 4" LONGBOARD WOOD GRAINS CHANNEL
SING - FLASHING OR EQUIVALENT
COLOR - DARK WALNUT
 5. CURTAIN WALL SYSTEM - SPANDREL GLASS WITH
OPACI COATING (PRIMARY WHITE)
 6. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS
(TRANSPARENT) COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10 AND OPACI COAT TO MATCH PRIMARY WHITE
 7. PAINTED VINYL WINDOWS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
 8. STORE FRONT WINDOWS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
 9. SOFFIT - 4" LONGBOARD WOOD GRAINS CHANNEL
COLOR - DARK WALNUT
 10. SOFFIT
COLOR TO MATCH - SW 7007 CEILING BRIGHT WHITE
 11. GLASS SKINNS
 12. SOLID CORE WOOD DOORS PAINTED TO MATCH BENJAMIN
MOORE BLACK SATIN 2131-10
 13. POWDER COATED ALUMINUM 5/8" HIGH PRIVACY SCREEN
WITH SAFETY GLASS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
 14. HORIZONTAL VENTS
COLOR TO MATCH - BENJAMIN MOORE BLACK SATIN 2131-10
 15. HARDE PANEL REVEAL SYSTEM 2.0'S COLOR TO MATCH
FACADE
 16. BAL WOOD POST WITH TSDA PVC POST WRAP TO BE
PAINTED COLOR TO MATCH ARCTIC WHITE (HARDE SING)
 17. LACQUERED GULLAM BEAM GLASS CANOPY WITH THE BACKS
-COLOR TO MATCH LONGBOARD WOOD GRAIN - DARK WALNUT
 18. METAL POSTS

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2018/10/26	G	REVISED AS PER CITY COMMENTS
2018/10/26	F	REVISED AS PER CITY COMMENTS
2018/10/13	E	SP SUBMISSION
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2018/11/06	C	REVISED AS PER CITY COMMENTS
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2 SOUTH ELEVATION (ALONG 59A AVE.)
1/8" = 1'-0"



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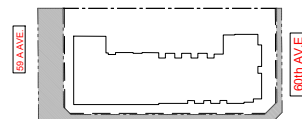
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ELEVATION

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NOTES:



144th STREET

1 KEY PLAN



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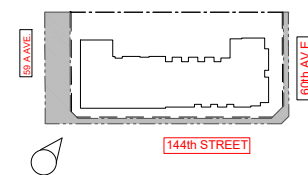
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2 VIEW ALONG 144 STREET

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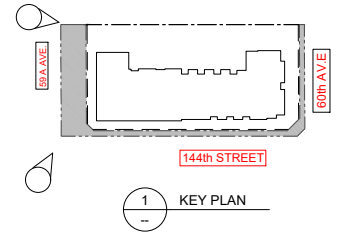


3 VIEW ALONG 144 ST. & 59A AVE.



4 VIEW ALONG 59A AVE.

NOTES:



1 KEY PLAN

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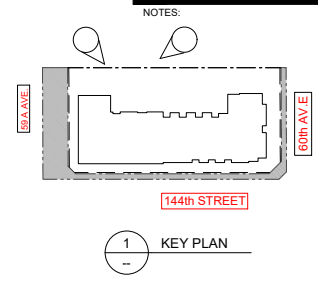
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5 VIEW ALONG 59A AVE.



6 REAR SIDE VIEW



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2018/10/26	F	REVISED AS PER CITY COMMENTS
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2018/11/08	C	REVISED AS PER CITY COMMENTS
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7 VIEW ALONG COMMERCIAL PARKADE



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PROJECT:
PROPOSED MIXED USE DEVELOPMENT
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SURREY, B.C.

CLIENT:
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NOTES:



144th STREET

1 KEY PLAN



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8 VIEW FROM MAIN ENTRANCE

RENDERINGS

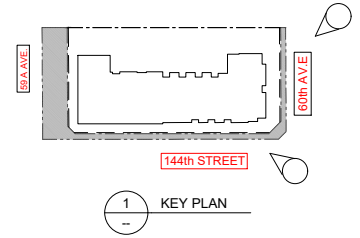
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9 VIEW- TOWNHOUSE ENTRANCE

NOTES:



1 KEY PLAN

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RENDERINGS

DRAWING NO.:	A-316	H
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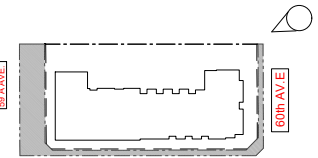
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10 VIEW ALONG 60 AVE.



NOTES:



1 KEY PLAN

2018/10/21 H	REVISED AS PER ADP COMMENTS
2018/10/26 G	REVISED AS PER CITY COMMENTS
2018/10/26 F	REVISED AS PER CITY COMMENTS
2018/10/13 E	SP SUBMISSION
2018/10/05 D	REVISED AS PER CITY COMMENTS
2018/11/09 C	REVISED AS PER CITY COMMENTS
2018/10/24 B	REVISED AS PER CITY COMMENTS
2018/10/10 A	REVISIONS & SP SUBMISSION



1205-4871 SHELL ROAD
RICHMOND, BRITISH COLUMBIA
CANADA V6V 3Z9
T: (604)284-5194 F: (604)284-5131
info@dfarchitecture.ca

PROJECT:
PROPOSED MIXED USE DEVELOPMENT
5959 144ST
SURREY, B.C.

CLIENT:
SJM INVESTMENTS
CORP., INC. NO. BC1100693
#201 7928 128 ST.
SURREY, B.C.

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DRAWN:	
CHECKED:	
SCALE:	N.T.S.
JOB No.:	
DATE:	APRIL 2018
SHEET TITLE:	

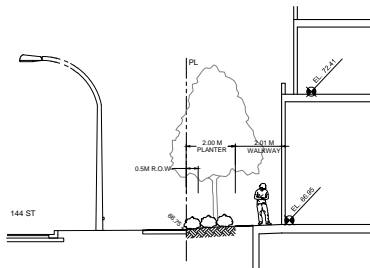
RENDERINGS

12 REAR VIEW

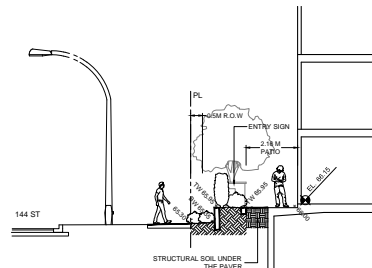
DRAWING NO.:	A-317	H
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PLANT SCHEDULE			PMG PROJECT NUMBER: 18-084	
KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1		ACER RUBRUM KARPFOCK	COLUMBIAN KARPFOCK MAPLE	60M CAL, 2M STD, B&B
2		CERCOCARPUS JAPONICUM	KATSUMATA TREE	60M CAL, 1.8M STD, B&B
3		CORNUS FLORIDA	FLOWERING DOGWOOD	60M CAL
4		MALUS DOMO CALOCARPA	WHITE FLOWERING CRABAPPLE	60M CAL, B&B
5		PICEA CANADENSIS	BRUGS SPERMAN SPRUCE	1.5M HT, B&B
6		CORNUS STEWARTIANA	JAPANESE STEWARTIA	4" CR CAL, 1.5M STD/B&B

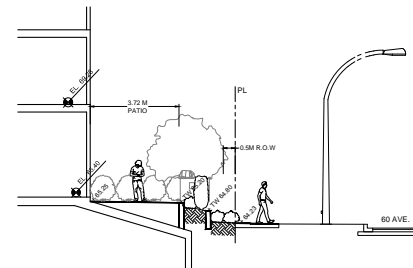
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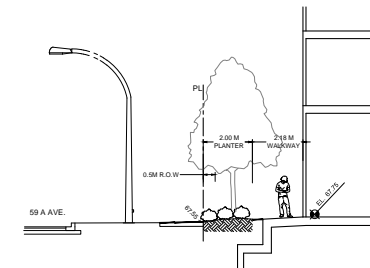
1-1 SECTION 1:100



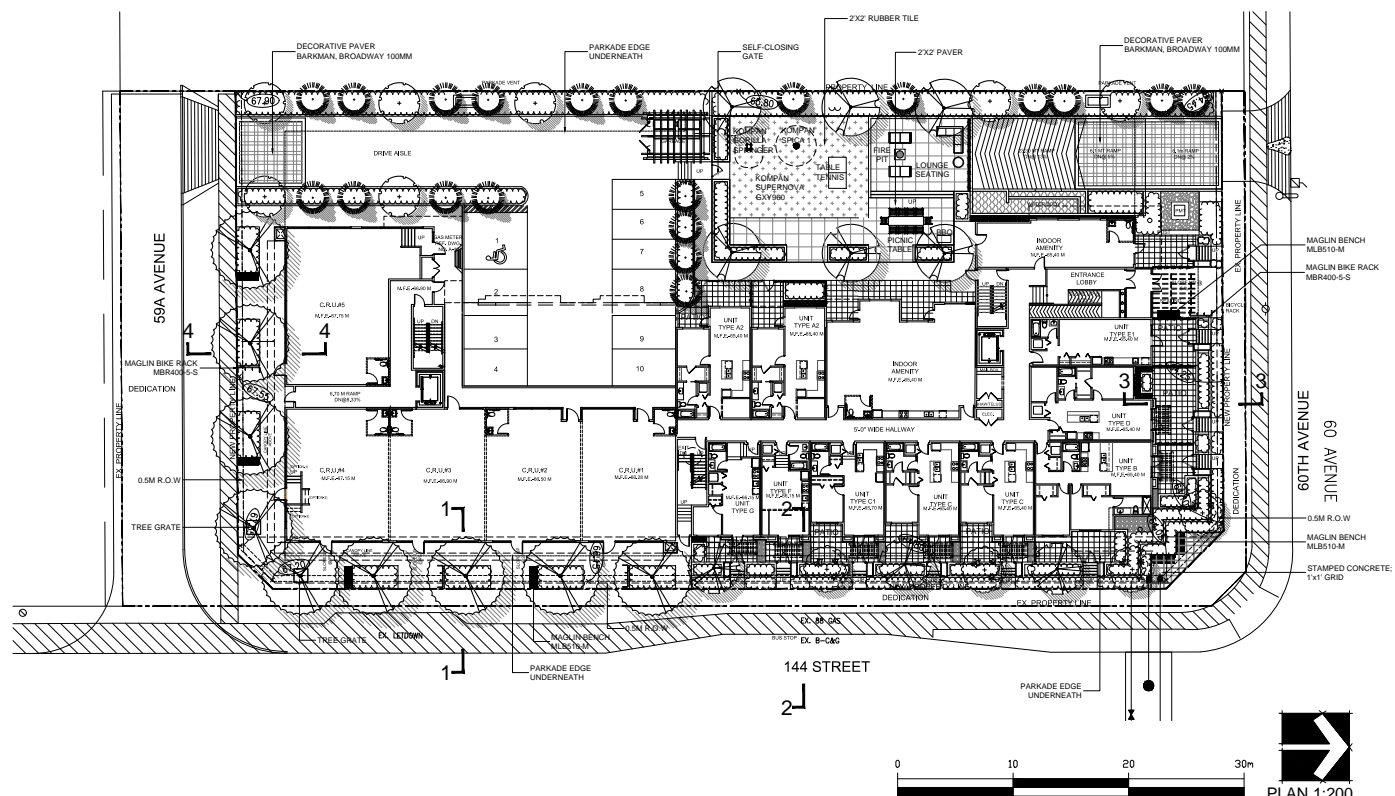
2-2 SECTION 1:100



3-3 SECTION 1:100



4-4 SECTION 1:100



144 STREET

PLAN 1:200

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	2025 JAN 03	CITY COMMENTS	YH
2	2025 MAR 16	CITY COMMENTS	YH
3	2025 JUN 13	NEW SITE PLAN & CITY COMMENTS	YH
4	2025 SEP 16	CITY COMMENTS	YH
5	2025 NOV 04	NEW SITE PLAN & ADP COMMENTS	YH
6	2025 SEP 16	CITY COMMENTS	YH
7	2025 AUG 09	NEW SITE PLAN & CITY COMMENTS	YH
8	2025 JUN 13	NEW SITE PLAN	YH
9	2025 JUN 25	NEW SITE PLAN	YH

CLIENT:

PROJECT:

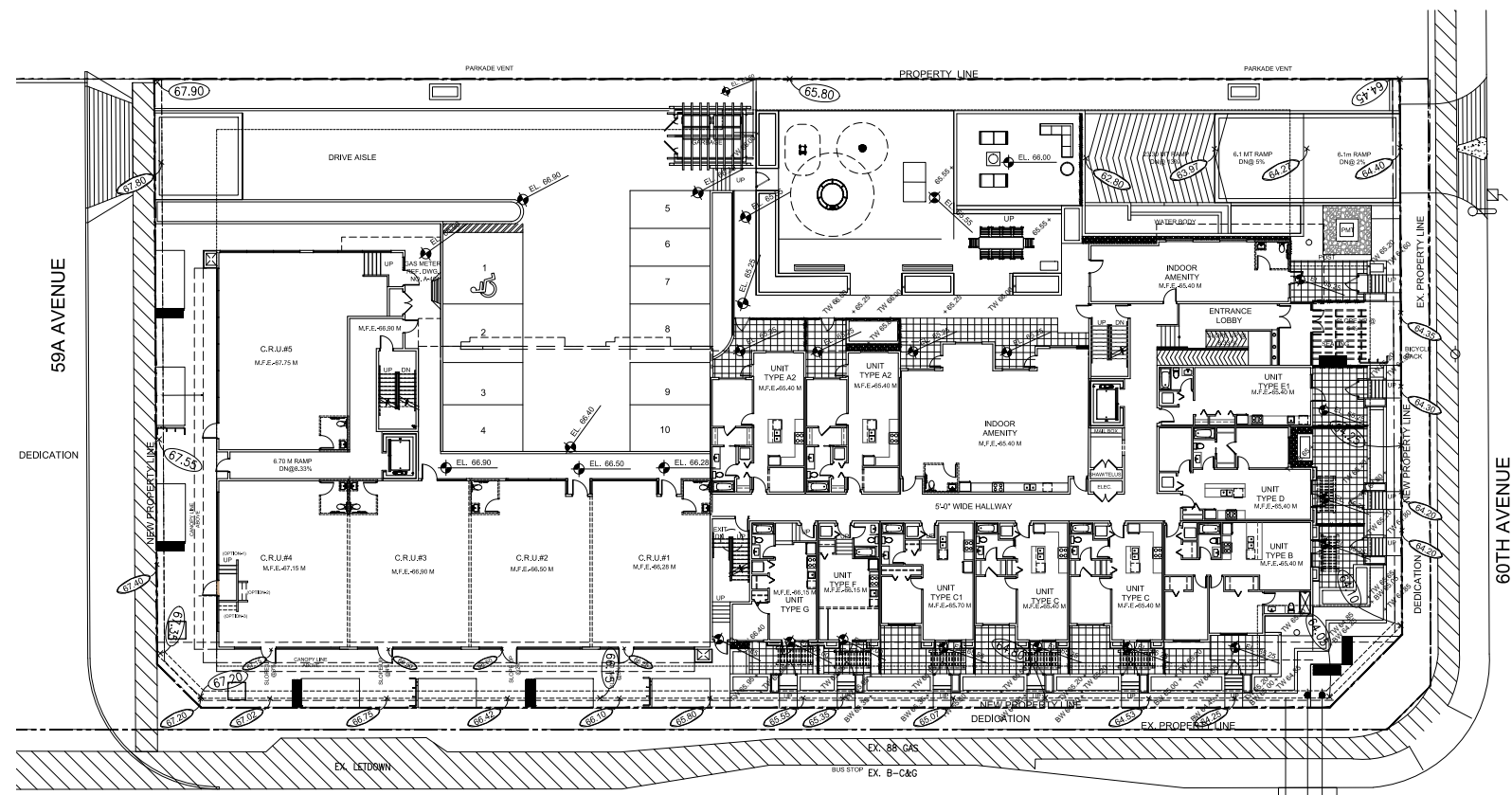
RESIDENTIAL DEV.
60TH AVENUE
SURVEY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 18.MAY.23 DRAWING NUMBER:
SCALE: 1:200
DRAWN: YR
DESIGN:
CHKD: MCY

L1
OF 6

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	2025 JAN 03	CITY COMMENTS	YH
2	2025 NOV 04	NEW SITE PLAN & ADP COMMENTS	YH
3	2025 SEP 16	CITY COMMENTS	YH
4	2025 AUG 09	NEW SITE PLAN & CITY COMMENTS	YH
5	2025 JUN 25	NEW SITE PLAN	YH
6	2025 JUN 25	NEW SITE PLAN	YH

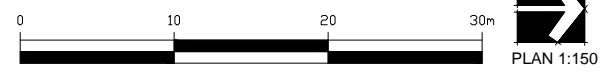
CLIENT:

PROJECT:

RESIDENTIAL DEV.
60TH AVENUE
SURREY

DRAWING TITLE:
GRADING PLAN

DATE: 18.MAY.23 DRAWING NUMBER:
SCALE: 1:150
DRAWN: YR
DESIGN:
CHKD: MCV **L2**
OF 6



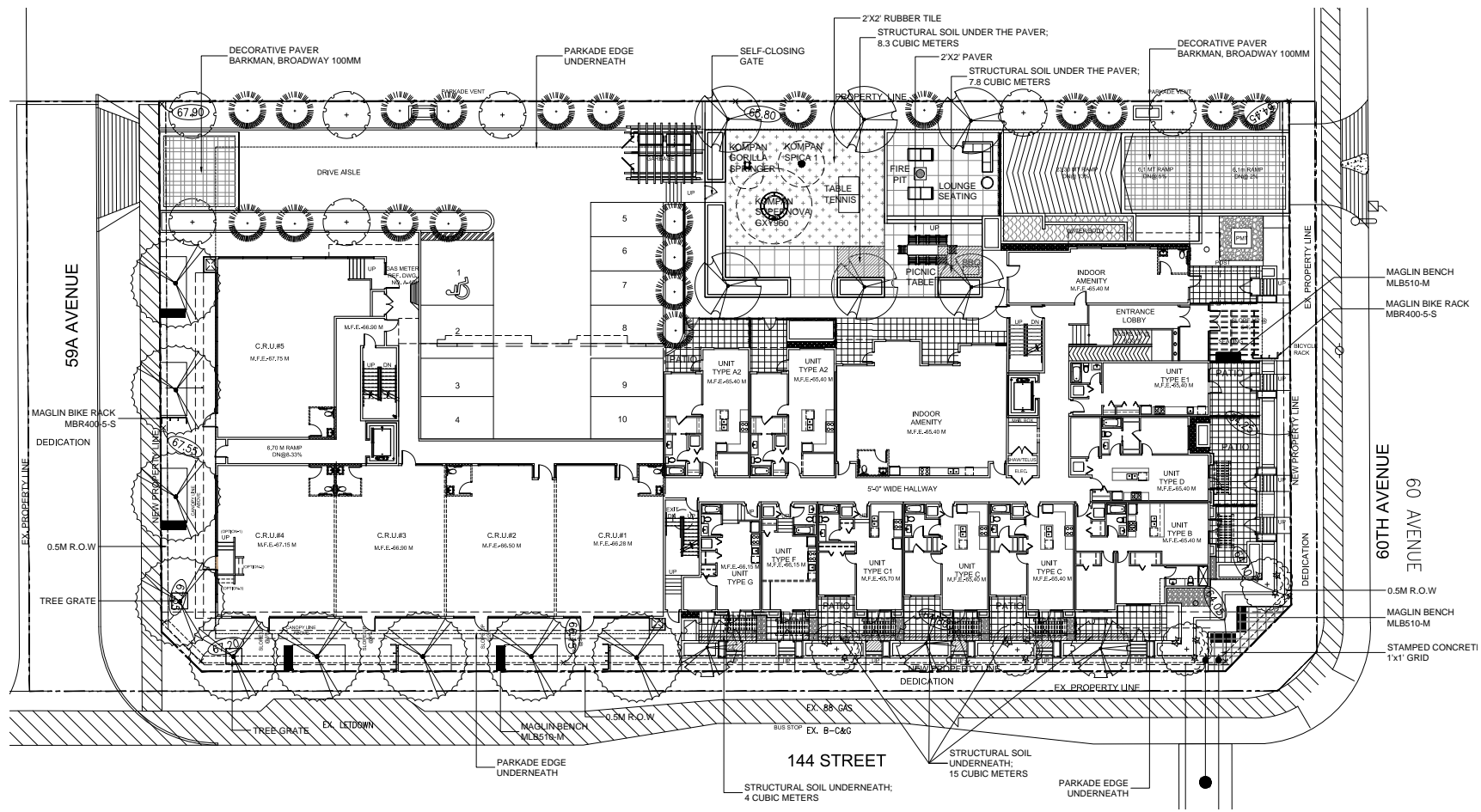
SEAL:

FENCE LEGEND

- 42" HIGH METAL PICKET FENCE
- 6' HT WOOD FENCE

MATERIAL LEGEND

- 2X2' RUBBER TILE
- 2X2' PAVER
- DECORATIVE PAVER BARKMAN, BROADWAY 100MM
- GRAVEL
- STAMPED CONCRETE: 1'X1' GRID
- STRUCTURAL SOIL UNDER



NO.	DATE	REVISION DESCRIPTION	DR.
1	2025 JAN 03	CITY COMMENTS	VI
2	2025 NOV 04	NEW SITE PLAN & ADP COMMENTS	VI
3	2025 SEP 16	CITY COMMENTS	VI
4	2025 JUN 09	NEW SITE PLAN & CITY COMMENTS	VI
5	2025 JUN 03	NEW SITE PLAN	VI
6	2025 JUN 25	NEW SITE PLAN	VI

CLIENT:

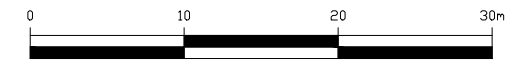
PROJECT:

RESIDENTIAL DEV.
60TH AVENUE
SURVEY

DRAWING TITLE:
MATERIAL AND FENCE PLAN

DATE: 18.MAY.23 DRAWING NUMBER:
SCALE: 1:150
DRAWN: YR
DESIGN:
CHKD: MCY

L3
OF 6



SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	2020 JAN 03	CITY COMMENTS	YS
2	2020 NOV 04	NEW SITE PLAN & ADP COMMENTS	YS
3	2020 SEP 16	CITY COMMENTS	YS
4	2020 AUG 28	NEW SITE PLAN & CITY COMMENTS	YS
5	2020 JUN 13	NEW SITE PLAN	YS
6	2020 JUN 25	NEW SITE PLAN	YS

CLIENT:

PROJECT:

RESIDENTIAL DEV.
60TH AVENUE SURREY

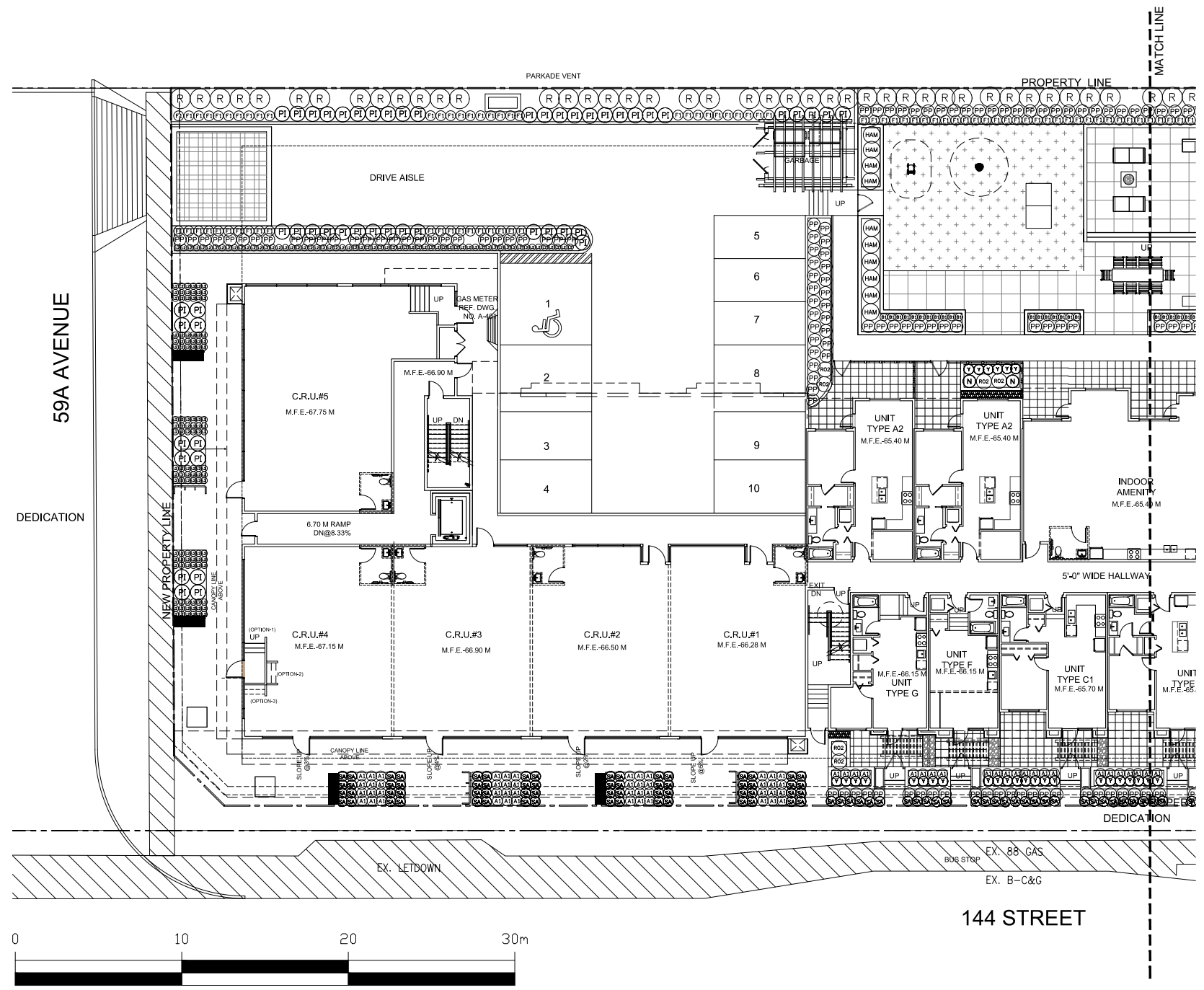
DRAWING TITLE:
SHRUB PLAN

DATE: 18.MAY.23 DRAWING NUMBER:
SCALE: 1:100
DRAWN: YR
DESIGN:
CHKD: MCY OF 6



18084-6-ZIP

PMG PROJECT NUMBER: 18-084



59A AVENUE

DEDICATION

NEW PROPERTY LINE

CANOPY LINE

PARKADE VENT

PROPERTY LINE

MATCHLINE

DRIVE AISLE

GAS METER REF. DWG. NO. A-1

M.F.E.-66.90 M

C.R.U.#5
M.F.E.-67.75 M

6.70 M RAMP
DN@8.33%

C.R.U.#4
M.F.E.-67.15 M

C.R.U.#3
M.F.E.-66.90 M

C.R.U.#2
M.F.E.-66.50 M

C.R.U.#1
M.F.E.-66.28 M

UNIT TYPE A2
M.F.E.-65.40 M

UNIT TYPE A2
M.F.E.-65.40 M

INDOOR AMENITY
M.F.E.-65.40 M

5'-0" WIDE HALLWAY

UNIT TYPE G
M.F.E.-66.15 M

UNIT TYPE F
M.F.E.-66.15 M

UNIT TYPE C1
M.F.E.-65.70 M

UNIT TYPE
M.F.E.-65.70 M

EX. LETDOWN

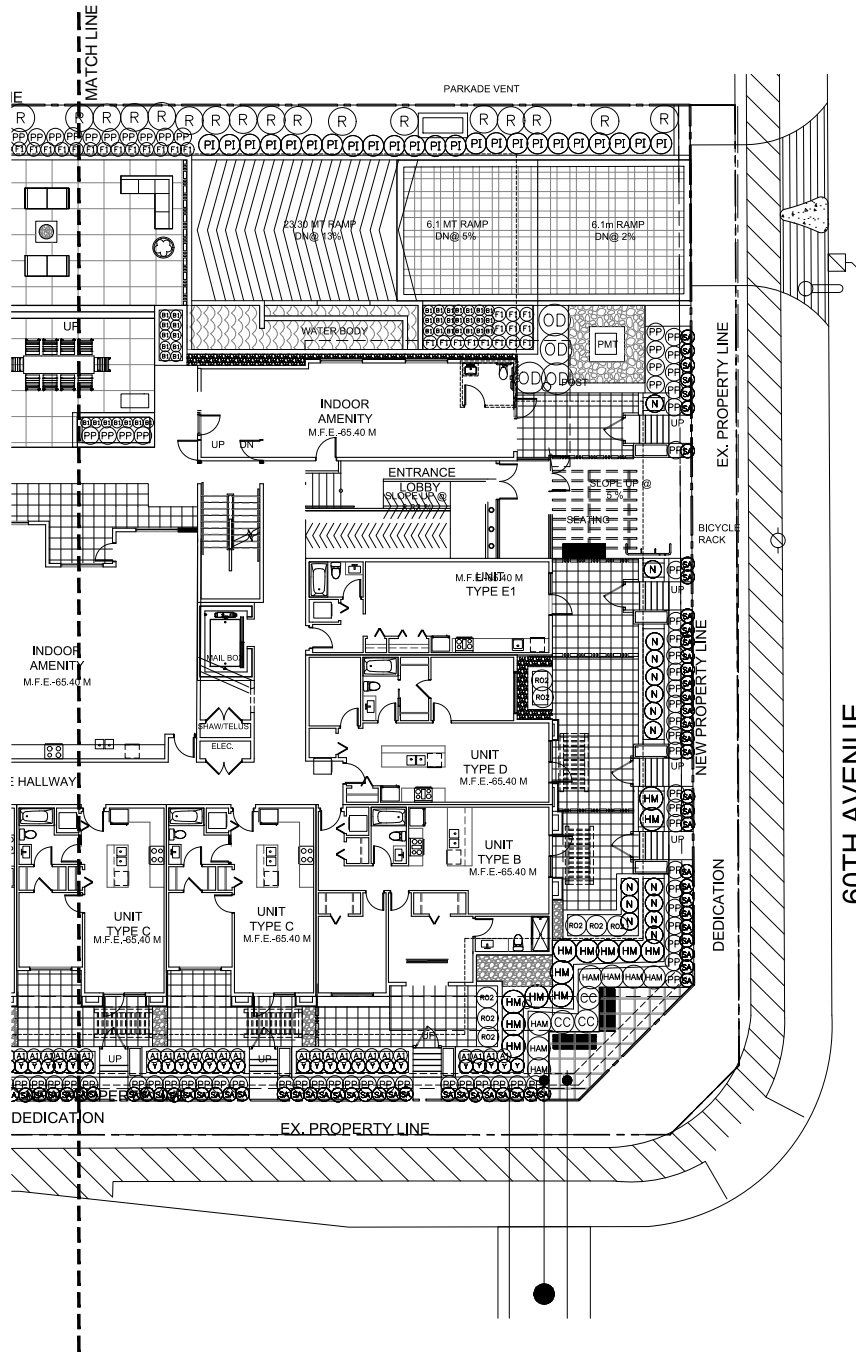
EX. 88 GAS

EX. B-C&G

144 STREET



SEAL:



PLANT SCHEDULE		PMG PROJECT NUMBER: 18-084	
NO.	SYMBOL	COMMON NAME	PLANT SIZE / SUBSTITUTION
1		DIOSPIRA TERNATA GUARDANCE	MEDIUM MUCKY GRASS
13		HYDRANGEA MACROPHYLLA ENDLESS SUMMER	ENDLESS SUMMER BIGLEAF HYDRANGEA
17		HYDRANGEA PANDICOLA LIME LIGHT	LIME LIGHT HYDRANGEA LIME GREEN PINK
17		NANDINA DOMESTICA HONEYBAY	DWARF HEAVENLY HEMLOCK
4		OSMANTHUS DELAVAYI	FALSE HOLLY
174		PRUNUS LAUROCEPHALUS OTTO LUYKENI	OTTO LUYKENI LAUREL
56		PRUNUS LAUROCEPHALUS RETINAWANI	RUBESIAN LAUREL
14		PRODRACONARION QUADRANGULUM	HYBRID PRODRACONARION PALE YELLOW
102		SARCOCODON HOOKERIANA VAR. HUMULIS	HIMALAYAN SHEET BOX
46		TAUSIA MEDIA HOOKER	HECK'S TWIG
90		CAREX ELATA AUREA	BOWLER'S GOLDEN SEDGE
56		HELICTOTRICHON SEMPERVIRENS	BLUE CAT GRASS
101		EUPHORBIA CHARACIAS SSP. WULFENI	CHARACIAS SPURGE
111		LIVIGNOLA INDOLENSIS	ENGLISH HENSHER
75		PEROVSKIA ATRIPICIFOLIA BLUE SPIRE	RUBESIAN SAGE

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NO.	DATE	REVISION DESCRIPTION	DR.
1	2025 JUN 03	CITY COMMENTS	YS
2	2025 NOV 24	NEW SITE PLAN & ADP COMMENTS	YS
3	2025 SEP 26	CITY COMMENTS	YS
4	2025 AUG 28	NEW SITE PLAN & CITY COMMENTS	YS
5	2025 JUN 13	NEW SITE PLAN	YS
6	2025 JUN 25	NEW SITE PLAN	YS

CLIENT:

PROJECT:

RESIDENTIAL DEV.
60TH AVENUE
SURREY

DRAWING TITLE:
SHRUB
PLAN

DATE: 18.MAY.23 DRAWING NUMBER:
SCALE: 1:100
DRAWN: YR
DESIGN:
CHKD: MCY
OF 6



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **January 6, 2020** PROJECT FILE: **7817-0432-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5959 144 Street**

NCP AMENDMENT/ DEVELOPMENT PERMIT

There are no engineering requirements relative to the NCP Amendment except for the requirements listed below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate as road (without compensation), Bylaw Road (City Bylaw No. 10715) for Parcel B of Lot 20 (PID 016-760-140) shown on Plan 87473.
- Dedicate 1.5 m on 144 Street, including corner cuts as required.
- Dedicate 1.942 m on 60 Avenue, including corner cuts as required.
- Dedicate 13.5 m on 59A Avenue for Half Road or dedicate 10.0 m from the subject site and secure 3.5 m wide offsite SRW on 5937 144 St.
- Register 0.5 m SRW along all frontage roads.

Works and Services

- Construct south side of 60 Avenue to the Collector Road standard with 0.6 m centre median.
- Construct north side of 59A Avenue with minimum 8.0 m pavement width.
- Provide storm water calculation to confirm downstream storm drainage system capacity.
- Construct storm sewers for the proposed development and all frontage roads.
- Provide onsite sustainable drainage measures as required in the Hyland Creek ISMP.
- Upgrade sanitary sewers on 60 Ave and 144 St to minimum 250 mm sewers.
- Construct water main, sanitary and storm sewers on 59A Avenue, if required.
- Pay Sanitary, Storm and Road Latecomer Charges relative to projects 5811-0044-00-1; 5910-0040-00-1; 6110-0040-00-1 and 6110-0040-00-2.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Development Engineer
IK1



Planning

November 28, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0432 00

SUMMARY

The proposed 71 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	4
Secondary Students:	4

September 2019 Enrolment/School Capacity

Goldstone Park Elementary	
Enrolment (K/1-7):	77 K + 655
Operating Capacity (K/1-7)	76 K + 442
Sullivan Heights Secondary	
Enrolment (8-12):	1540
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

School Enrolment Projections and Planning Update:

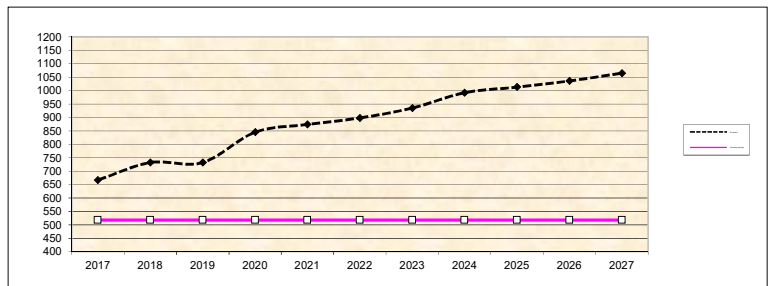
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2019, all three schools are severely overcrowded. To meet in-catchment demand, 3 new portables were added September 2019 to Goldstone Park to deal with enrolment growth.

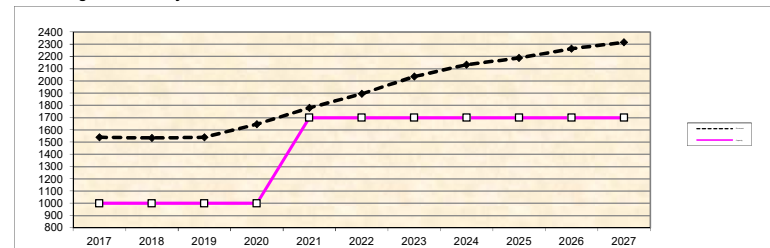
On the 2020/2021 5 year Capital Plan, the District is requesting as Priority 2 and 3 a new site and a new 655 capacity elementary to address the overcrowding in the South Newton area. The Ministry of Education has not approved these projects.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700 capacity addition at Sullivan Heights. The addition is currently in construction and is targeted to open September 2021. This is one of 3 projects that are planned to address the overcrowding at the secondary level in the Newton area. The two other projects are on the 2020/2021 Five Year Capital Plan waiting for approval from the Ministry are an addition to Frank Hurt Secondary and building a new 1200 capacity secondary school in the area.

Goldstone Park Elementary



Sullivan Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	34	34	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Birch, Paper	3	3	0
Cherry, Bitter	1	1	0
Horsechestnut	1	1	0
Linden	3	3	0
Magnolia	2	2	0
Maple, Bigleaf	3	3	0
Evergreen Trees			
Holly, English	1	1	0
Coniferous Trees			
Douglas-fir	1	1	0
Falsecypress	1	1	0
Cedar, Western Red	16	16	0
Total (Not including Alder and Cottonwood)	32	32	0
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		50	
Total Retained and Replacement Trees		50	

***TOTALS DO NOT INCLUDE OFFSITE TREES**





JESSIE ARORA

ARCHITECT AIBC, SAA, AAA, MRAIC, RA
PRINCIPAL

TEL: 604 284 5194

FAX: 604 284 5131

INFO@DFARCHITECTURE.CA

1205 - 4871 SHELL ROAD, RICHMOND, B.C., CANADA V6X 3Z6

November 04 , 2019

Harpreet Sondh

Area Planning,
South Surrey Section,
Planning & Development
City of Surrey, B.C.

**Re: DP Application - Surrey File #17-0432
5959 144 Street, Surrey, BC**

With reference to your email dated the 3rd of October 2019, we are herewith enclosing a response to the points (highlighted in red below) as noted by you.

Key Points:

- Consider switching the location of lobby and suite to the west.
 - **Noted & revisited. Adjacent residential unit has been replaced by indoor amenity as discussed with planning. Please refer dwg. no. A-100.**
- Consider consolidating the indoor and outdoor amenity.
 - **Noted & residential units has been replaced by indoor amenity on main floor linked to the outdoor amenity. Please refer dwg. no. A-100.**
- Consider raising the roof feature and making it functional.
 - **Noted & have revised elevations to reflect the same. Please refer dwg. no. A-310 to A-317.**
- Consider simplifying the colour pallet.
 - **Noted & revised. Please refer dwg. no. A-310 to A-317.**
- Consider feasibility of green wall and water feature.
 - **Noted & have removed the green wall from enclosed surface parking area.**

- Consider the functionality of the 4 commercial parking stalls at grade.
 - As per planning advice live wall has been removed which covered the 4 parking stalls.
- Consider Step 3 of the BC Energy Step Code.
 - Project will be built as/statutory requirements.

Site

- It was noted that the drawings do not address privacy issues.
 - Noted & revised.
- Consider switching the location of the residential lobby with the adjacent unit close to the parking ramp.
 - Noted & revisited. Adjacent residential unit has been replaced by indoor amenity as discussed with planning. Please refer dwg. no.A-100.
- Recommend addition of a ground floor indoor amenity linked to the outdoor amenity to lengthen the use of the outdoor amenity.
 - Noted & residential units has been replaced by indoor amenity on main floor linked to the outdoor amenity. Please refer dwg. no. A-100.
- Recommend altering the outdoor amenity as it is only accessible via exit stair.
 - Since now we have provided indoor amenity on main floor which is going to be used to access outdoor amenity.
- Recommend limiting visual connectivity between entry drive and outdoor amenity as car headlights will be shining into the amenity area at eye level.
 - Noted & one row of conifer trees are provided as a visual buffer. Please refer attached landscape dwg.
- Consider rooftop outdoor amenity.
 - Noted. We have provided more than required outdoor amenity as per City of Surrey zoning bylaw requirements on main floor linked to indoor amenity.
- Consider parkade access visibility.
 - Noted & for access visibility first 6.0m driveway is @ 2% slope with following 6.0m is @5% slope before ramp to underground parkade.
- Recommend altering enclosed surface parking area in the back to arrange an area to maneuver vehicles.
 - Have revised enclosed surface parking area. Please refer dwg. no. A-100.
- Consider relocating bicycle parking room door from north wall to east wall.
 - Have revised the location of door to east wall.Please refer dwg.no A200.

Form and Character

- Consider lowering lobby entrance and removing stairs.
 - **Noted. Stairs are required to meet unit floor elevations requirement as/ OCP guidelines(between 0.6m to 1.2m from abutting sidewalk).**
- The longer façade is complex.
 - **Have revised the color scheme to tone down the long façade character.**
- Consider breaking up commercial frontage with pedestrian scale elements as there is lots of glass.
 - **The vertical brick veneer elements have been introduced within store front windows to break the long commercial frontage. Please refer dwg. no. A-310 to A-317.**
- Consider rationalizing the commercial glazing million and to have even spacing.
 - **Noted & revised.**
- Consider rationalizing the colour and material palette and balcony glass.
 - **Noted & revised.**
- Consider removing one of the lighter colours.
 - **Have attached 3 options for color scheme. Please refer dwg. no. A-310 to A-317. We still think Option-1 is most suited to this form & character and 2nd preference for color scheme is Option-2.**
- Consider raising the roof element and making it have a functional role of outdoor amenity.
 - **Noted & have revised the Elevation. Please refer dwg. no. A-310 to A-317.**
- Reconsider whether rooftop feature is required.
 - **Noted & introduction of roof top feature breaks the long monotonous façade. To accentuate we have reduce the size of overhangs above balconies in this area.**

Landscape

- Consider responding to building articulation changes between residential to commercial units. The landscape does not respond to that as it restricts the ability to use outdoor space.
 - **Please refer attached landscape dwg.**
- Consider a different rhythm for the landscape adjacent to the commercial space.
 - **Please refer attached landscape dwg.**
- The large patios are supported.

- Please refer attached landscape dwg.
- Consider rearranging the ramp treatment materials, PMT and water feature.
 - Please refer attached landscape dwg.
- Reconsider the water feature and green wall which are costly items to maintain and substitute with richer cladding materials.
 - Please refer attached landscape dwg.
- Recommend altering commercial parking lot access that appears constricted with view lines as there are obstructing elements present.
 - Please refer attached landscape dwg.

CPTED

- No specific issues were identified.
 - Noted.

Sustainability

- Consider incorporating BC Energy Step Code.
- Recommend doing energy model early.
- Consider matching previous stormwater runoff.
 - Noted.

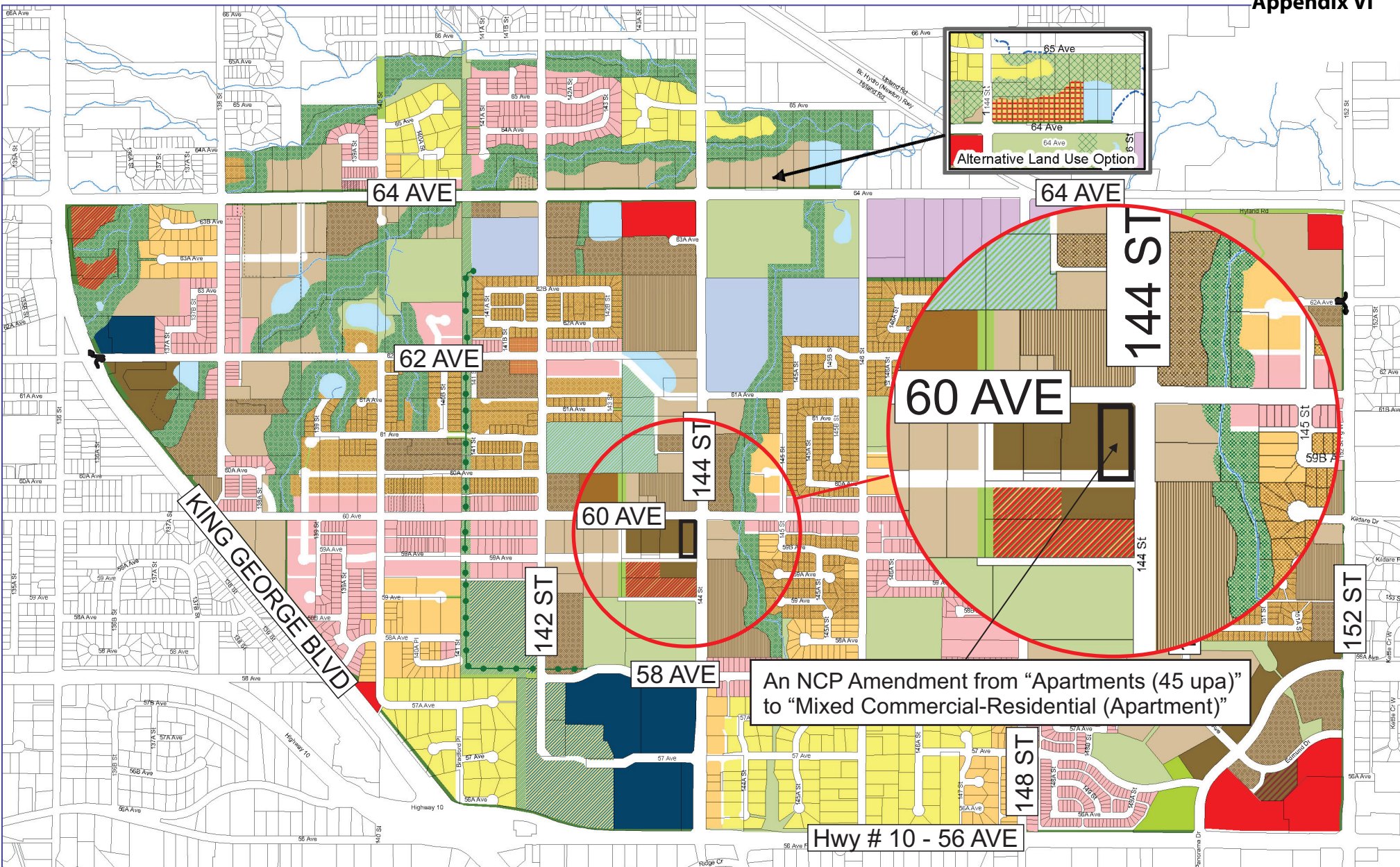
Accessibility

- Consider 5% of units be adaptable.
- Recommend that the entrance door be power operated.
 - Noted.

Hope this covers all the points raised by the City, do let us know if you need any further information

Regards

Jessie Arora
Architect AIBC, SAA, AAA, MRAIC, RA



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|-----------------------|--|-----------------|------------------------------|------------------------------|
| Apartments 45 upa max | Single Family Small Lots | Commercial | Proposed School and Park | Buffers |
| Apartments 45 upa max | Row Housing | Institutional | Parks | Detention Ponds |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 25 upa max | Single Family Residential | Industrial | Recreational | Creeks and Riparian Set-back |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Schools | Creeks and Riparian Set-back | WALKWAY |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Proposed School | | |
| | Mixed Com/Res Townhouse | | | |



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CITY OF SURREY

BYLAW NO. 20017

A bylaw to amend "Surrey Zoning By-law, 1993, No. 12000", as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000", as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of "Surrey Zoning By-law, 1993, No. 12000", as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 001-678-051

Lot 20 Except: Parcel B (Bylaw Plan NWP8473) Section 9 Township 2 New Westminster District Plan 27472

(5959 - 144 Street)

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings* and *Ground-Oriented Multiple Unit Residential Buildings*.

2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross floor area of each individual business does not exceed 370 square metres [4,000 sq. ft.]:
 - (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
 - (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
 - (c) Office uses excluding *social escort services* and *methadone clinics*;
 - (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (e) Indoor *recreational facilities*, excluding a gymnasium; and
 - (f) *Community service*.
3. *Eating establishments* excluding *drive-through restaurants*, provided that they are restricted to the ground floor of a *multiple unit residential building* and the maximum *gross floor area* of each individual business does not exceed 150 square metres (1,615 sq. ft.).

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a *floor area ratio* of 1.50 if amenity contributions (specifically affordable housing, capital projects, police, fire, libraries, parks and, where applicable, underground utilities) are provided in accordance with Schedule G, Sections A, B, D and E of "Surrey Zoning By-law, 1993, No. 12000", as amended.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the buildings within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2 of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 48%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard	Rear Yard	Side Yard	Side Yard on Flanking Street
<i>Principal Buildings</i>					
<i>Accessory Buildings and Structures</i>		6.0 m [20 ft.]	10.3 m [34 ft.]	4.0 m [13 ft.]	4.0 m [13 ft.]

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, an underground parking facility may be located up to 0 metre [0 ft.] of any lot line.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

1. *Principal buildings*: The *building height* shall not exceed 15.2 metres [50 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Commercial, resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principal building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof for the commercial use.

J. Special Regulations

1. *Amenity space* subject to Section B.1, General Provisions, of "Surrey Zoning Bylaw No. 12000", as amended shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.
3. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in "Surrey Zoning By-law, 1993, No. 12000", as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of "Surrey Zoning By-law, 1993, No. 12000", as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.

8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, 2016, No. 19478", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential uses and the C-5 Zone for the commercial uses.
 9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
 10. Development permits may be required in accordance with the "Surrey *Official Community Plan* By-law, 2013, No. 18020", as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.
3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2020, No. 20017"

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK