

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0413-00

Planning Report Date: December 18, 2017

PROPOSAL:

- Amend CD By-law No. 16558
- Development Permit Amendment
- Restrictive Covenant Discharge
- Development Variance Permit

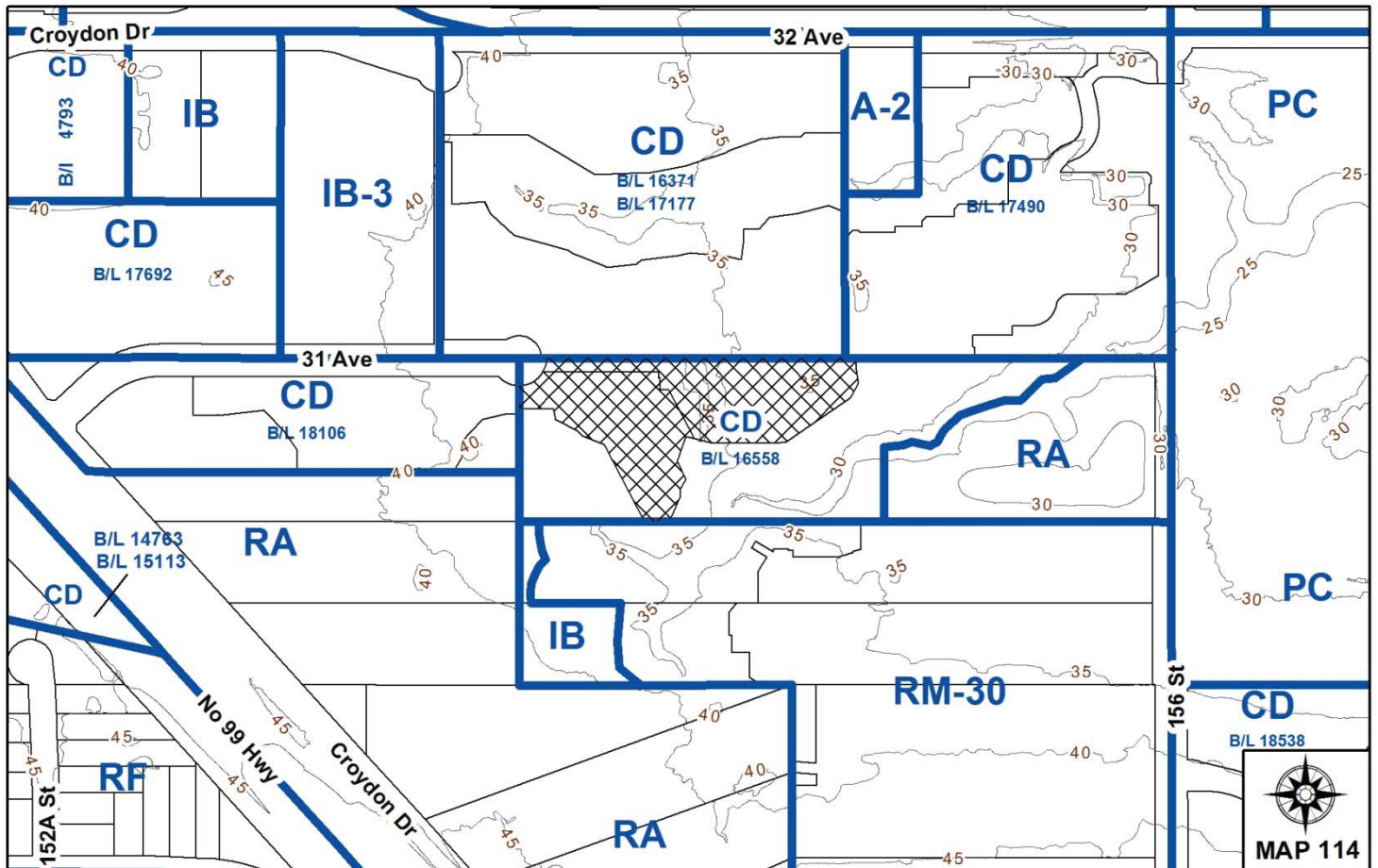
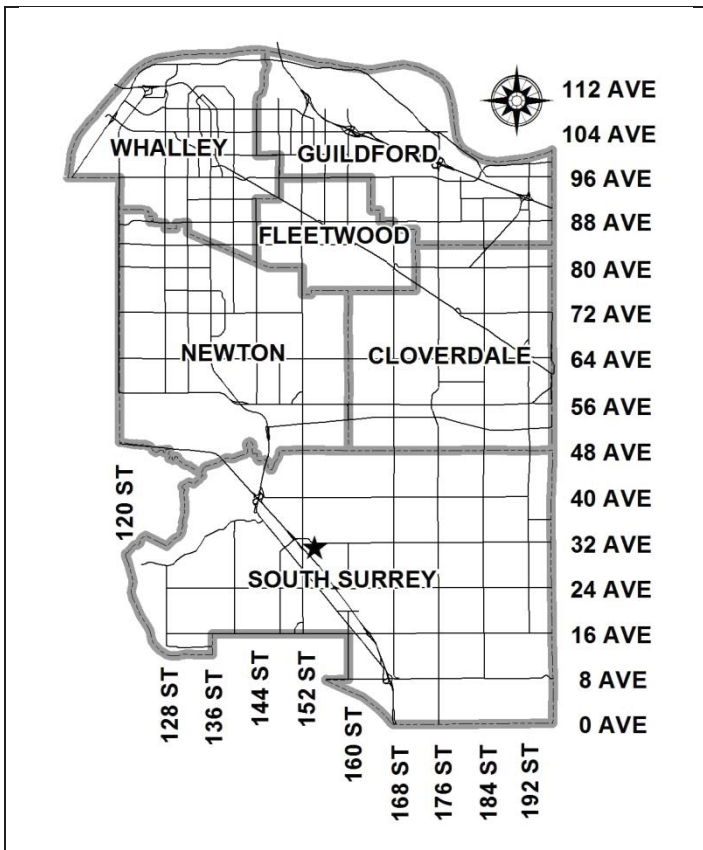
to allow for development of the Phase 2 building that was previously approved under Development Application No. 7906-0263-00.

LOCATION: 15428 and 15436 - 31 Avenue

ZONING: CD (By-law No. 16558)

OCP DESIGNATION: Urban

LUP DESIGNATION: Live & Work or Business Park Areas



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing to amend Comprehensive Development (CD) By-law No. 16558.
- Approval to amend Development Permit No. 7906-0263-00 and draft Development Permit No. 7917-0413-00.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to discharge Restrictive Covenant No. BB1028401.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the required streamside setback of Surrey Zoning By-law No. 12000.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's Urban Official Community Plan (OCP) designation.
- Two apartment buildings (Phase 1 and Phase 2) were previously approved on the subject site in 2008, under Development Application No. 7906-0263-00. The Phase 1 building at 15428 – 31 Avenue was constructed but the Phase 2 building at 15436 – 31 Avenue has not yet been constructed.
- The ownership of the Phase 2 parcel has changed and the new owner is now proposing to build the Phase 2 building, with some minor changes including conversion of the business centre space to three residential units. An amendment to the existing CD Zone (By-law No. 16558) is required to allow for amendments to the proposed Phase 2 building.
- Prior to 2014 and the adoption of the City's new OCP, the site was designated Industrial in the OCP and providing a business centre space use was required to comply with the site's Industrial designation. The business centre in Phase 1 has had limited success, and is currently underutilized; therefore, the applicant does not wish to provide the required business centre in Phase 2.
- The strata of the Phase 1 building has indicated support for the applicant's proposal by passing a resolution in a special general strata meeting held on September 6, 2017 that approved the development of Phase 2. The 2 phases are proposed to become one site with one strata through a strata plan application upon completion of the Phase 2 building. As one strata, the future residents of the Phase 2 building will have access to the business centre in Phase 1.

- The proposal involves a reduction in the required streamside setback as required under the Zoning By-law. The riparian area east and south of the subject site was conveyed to the City in 2008 under Development Application No. 7906-0263-00. The riparian protection area was established through the City's former Environmental Review Committee (ERC) process, which included the participation of staff from the Department of Fisheries and Oceans (DFO). There is no change in the location of the building in relation to the watercourse from what was approved in 2008.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Comprehensive Development (CD) By-law No. 16558 and a date be set for Public Hearing.
2. Council authorize staff to amend Development Permit No. 7906-0263-00 for Form and Character (Appendix II) and to draft Development Permit No. 7917-0413-00 for Sensitive Ecosystems (streamside protection) generally in accordance with the report prepared by Enkon Environmental Ltd.
3. Council authorize the discharge of Restrictive Covenant No. BB1028401 which ensured provision of a minimum of 1,385 square metres (15,000 sq.ft.) of work space on the site.
4. Council approve Development Variance Permit No. 7917-0413-00 (Appendix V), to reduce the minimum streamside setback from the top of bank of a Class A stream from 30.0 metres (100 ft.) to 15.0 metres (50 ft.) at the narrowest point, to proceed to Public Notification.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) approval from the Ministry of Transportation & Infrastructure;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) the applicant provide habitat compensation as per City Policy No. P-15 for the setback relaxation from the watercourse, to the satisfaction of the General Manager, Engineering and the General Manager, Parks, Recreation and Culture;
 - (e) registration of a working access easement to allow the applicant access to the adjacent City-owned lands for purposes of constructing the underground parking facility; and
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering requirements as outlined in Appendix III.

School District: Projected number of students from this development:

6 Elementary students at Morgan Elementary School
4 Secondary students at Earl Marriott School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by September 2019.

Parks, Recreation & Culture: A P-15 agreement is required for the riparian areas previously conveyed under Development Application No. 7906-0263-00.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: The Phase 1 parcel contains a completed apartment building and the Phase 2 (subject) parcel is vacant with a partially constructed underground parkade.

Adjacent Area:

Direction	Existing Use	OCP/LUP Designation	Existing Zone
North (Across strata road):	Townhouse complex.	Urban/ Live & Work or Business Park Areas	CD (By-law Nos. 16371 and 17177)
East and South:	City-owned riparian land.	Urban/ Creek Preservation Area	CD (By-law No. 16558)
West:	A mini-storage building under construction.	Mixed Employment/ Business Park and Buffers	CD (By-law No. 18106)

DEVELOPMENT CONSIDERATIONS**Site Context and Background**

- The subject site consists of two parcels located at 15428 – 31 Avenue (Phase 1) and 15436 – 31 Avenue (Phase 2). The site is zoned "Comprehensive Development Zone (CD)" (By-law No. 16558), designated Urban in the Official Community Plan (OCP) and Live & Work or Business Park Areas in the Rosemary Heights Business Park Land Use Plan (LUP).

- The two parcels and the adjacent riparian areas to the south and east were part of a larger parent parcel that was subdivided and rezoned in 2008 under Development Application No. 7906-0263-00. A Development Permit was approved as part of this application for two apartment buildings (Phase 1 and Phase 2). The Phase 1 building at 15428 – 31 Avenue was constructed but the Phase 2 building at 15436 – 31 Avenue has not yet been constructed. The underground parking facility is partially completed on the Phase 2 parcel.
- The ownership of the Phase 2 parcel, which is the subject of this proposal, has recently changed and the new owner is now proposing to build the Phase 2 building, with some minor changes including the conversion of the business centre space previously proposed in the Phase 2 building to three residential units.
- When the site was developed under Development Application No. 7906-0263-00 the site was designated Industrial in the OCP and providing the business centre space was required to comply with the site's OCP designation. However, in 2014, with the adoption of the City's new OCP, the OCP designation on the site was amended from Industrial to Urban.
- The applicant advises that the business centre in Phase 1, consisting of 587 square metres (6,320 sq.ft.), has had limited success, and they do not wish to duplicate the business centre in Phase 2 and thus no work space is proposed in the Phase 2 building.
- The site is proposed to remain designated Live & Work or Business Park Areas in the Rosemary Heights Business Park LUP as the two parcels (Phase 1 and Phase 2) are proposed to be consolidated through a strata plan application, upon completion of the Phase 2 building, following which the site will have one strata. The intent of the LUP designation has been realized in the Phase 1 building. As one strata, the future residents of the proposed Phase 2 building will have access to the Phase 1 business centre.

Proposed Development

- The applicant proposes:
 - to amend Comprehensive Development (CD) Zone (By-law No. 16558) to increase the permitted unit density and for changes to the required parking;
 - an amendment to Development Permit No. 7906-0263-00 to allow for changes to the Phase 2 building resulting from the elimination of the business centre space, and a Development Permit for Sensitive Ecosystems (streamside protection);
 - discharge of Restrictive Covenant No. BB1028401 which ensured provision of a minimum of 1,385 square metres (15,000 sq.ft.) of work space on the site; and
 - a Development Variance Permit to reduce the minimum streamside setback from the top of bank from a Class A stream from 30.0 metres (100 ft.) to 15.0 metres (50 ft.) at the narrowest point.

Proposed CD By-law Amendment

- The applicant is proposing to amend "Comprehensive Development Zone (CD)" (By-law No. 16558) to increase the maximum unit density from 136 units per hectare (55 units per acre) to 138 units per hectare (56 units per acre) and to reduce the number of required parking spaces for customer and employee parking from 30 spaces to 17 spaces.
- The change in unit density is necessitated by the applicant's proposal to eliminate the business centre that was originally proposed in the Phase 2 building, and to provide 3 additional residential units in the building utilizing the space previously reserved for the business centre. The floor area ratio (FAR) of 1.47 will be the same as previously approved.
- The elimination of the business centre in the Phase 2 building also reduces the parking requirement for the site. Thirty (30) parking spaces for customer and employee parking are required under the current CD By-law. The applicant is proposing to provide a reduced amount of 17 parking spaces for customer and employee parking that would support the existing business centre in Phase 1.

Restrictive Covenant Discharge

- The applicant is proposing to discharge Restrictive Covenant No. BB1028401 which ensured the provision of a minimum of 1,385 square metres (15,000 sq.ft.) of work space be available on the site. As the site's Official Community Plan (OCP) designation was changed in 2014 from Industrial to Urban, provision of employment space is no longer a requirement on the site under the OCP.
- The applicant advises that they have had difficulties in attracting commercial uses to the business centre. Since the building opened in 2011, they have had only a portion of the business centre in use at any time, and most of the time the business centre area is vacant, and has become a burden in terms of maintenance for the strata.
- The business centre in Phase 1 is proposed to be retained and will be available for use by the future residents in Phase 2. The Phase 2 business centre is not proposed to be constructed for the reasons provided above.

Sensitive Ecosystem Development Permit

- On September 12, 2016, Council adopted changes to the OCP that allowed for Development Permit areas pertaining to Sensitive Ecosystems. The subject site is located within a Sensitive Ecosystem Development Permit Area.
- The riparian area to the south and east of the subject site was conveyed to the City for the purposes of riparian protection in 2008 as part of Development Application No. 7906-0263-00. The riparian protection area was established following the City's Environmental Review Committee (ERC) process, which included participation of staff from the Department of Fisheries and Oceans (DFO). The ERC process was used to determine appropriate setbacks from watercourses incorporating federal, provincial and municipal regulations.

- An Ecosystem Development Plan (EDP) and Impact Mitigation Plan (IMP) dated June 28, 2017 was prepared by Enkon Environmental Ltd. and found to be generally acceptable by staff. The EDP and IMP reflect the setbacks and dedicated areas that were previously approved under the ERC process. The applicant will be completing a P-15 agreement with the City to restore areas that have been disturbed. The finalized report and recommendations will be incorporated in the Development Permit.

DESIGN PROPOSAL AND REVIEW

Site and Building Design

- The proposed 4-storey Phase 2 apartment building has a floor area of 9,045 square metres (97,360 sq.ft.) and a total of 89 residential units, consisting of 20 one-bedroom units, 53 two-bedroom units, and 16 three-bedroom units. The units range in size from 60 square metres (650 sq.ft.) to 138 square metres (1,490 sq.ft.).
- The Phase 2 apartment building is substantially the same in design as the Phase 2 building that was approved under Development Application No. 7906-0263-00. A flat roof with raised sections provides a contemporary and visually interesting roof line. The building maintains its 4-storey massing while stepping with the site's grade, as the eastern portion of the site is lower than the western portion of the site.
- Building materials consist of brick, concrete, hardie plank, and hardie board and batten in neutral colours, with wood columns, aluminum railings, vinyl windows and steel canopies.
- The northwest corner of the building where the business centre was originally proposed to be located under Development Application No. 7906-0263-00 has been revised to reflect the conversion of this previously proposed work space to residential units. The façade design of the northwest corner of the building now reflects a residential nature in keeping with rest of the building, including balconies, more windows and reduced ceiling heights to match typical residential ceiling heights.
- The building footprint of the proposed Phase 2 building is the same as was previously approved under Development Application No. 7906-0263-00, with the exception that the building is proposed to be located farther back from the strata road in the northwest portion of the site.

Access and Parking

- Vehicular access to the underground parkade will be provided through the Phase 1 portion of the site. The two parcels will be consolidated through a strata plan application. Residents of the existing Phase 1 building have been made aware that access for the new building will be provided from their site as identified in the previously approved Development Permit.
- The applicant is proposing to provide 231 resident parking spaces and 30 visitor parking spaces, which exceeds the Zoning By-law requirements of 223 spaces for resident parking and meets the Zoning By-law requirements of 30 visitor parking spaces.

- The parking will be provided in the underground parkade and from parking spaces located on the strata road along the north portion of the site. A total of 17 parking spaces are provided for customer and employee parking that supports the existing business centre in Phase 1.
- The underground parkade will also provide a storage area for bicycles. The Zoning By-law requires a total of 181 resident bicycle spaces and 12 visitor bicycle spaces and the applicant is providing the required amount of bicycle parking spaces.
- The applicant requires a working access easement to allow the applicant access to the adjacent City-owned lands for purposes of constructing the underground parking facility. Securing this easement is a condition of final adoption of the rezoning by-law.

Amenity Space

- A total of 453 square metres (2,650 sq. ft.) of both indoor and outdoor amenity space is required for the proposal under the Zoning By-law, based on the requirement of 3 square metres (32 sq. ft.) per dwelling unit.
- A 106 square metres (1,140 sq.ft.) amenity building was constructed as part of Phase 1. This amenity building is for the use of both Phase 1 and Phase 2 residents. The building is located east of the Phase 1 building and will be located between the buildings once the Phase 2 building is completed. The amenity building has fitness facilities and a green roof. Under Development Application No. 7906-0263-00 the applicant at the time provided a cash-in-lieu contribution to offset the deficiency in indoor amenity space in accordance with City Policy.
- In the current application, the applicant is proposing to provide an additional indoor amenity space in the form of a 60 square metre (650 sq.ft.) guest suite in the Phase 2 building. The guest suite would be available for short-term rental to guests of strata members of Phases 1 and 2.
- The applicant has provided 847 square metres (9,100 sq.ft.) of outdoor amenity space on the whole site, which exceeds the Zoning By-Law requirements. The majority of the outdoor amenity space is located adjacent to the central indoor amenity space which enhances the function of the indoor amenity space. The outdoor amenity space contains lawn areas and also seating areas.

Landscaping

- The landscaping for Phase 2 is substantially the same as was proposed under the original application. The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept is to provide attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year. Decorative trellises and seating areas are proposed as part of the landscaping concept.
- The applicant has also constructed a green roof on the indoor amenity building as part of Phase 1.

TREES

- There are no trees on the Phase 2 portion of site as the site was cleared under Development Application No. 7906-0263-00 to allow for construction of the proposed buildings.
- The applicant is proposing to plant 80 trees on the Phase 2 parcel, consisting of maples, birch, spruce, pine and oak trees.

PRE-NOTIFICATION

Pre-notification letters were mailed out on October 11, 2017 and to date staff have had 2 meetings with the Phase 1 strata council members and have received correspondence from 3 area residents (with staff comments in italics):

- One of the respondents was wondering where the 3 new residential units were proposed to be located and was looking to buy a unit in the building, and did not express any concerns.
- A separate respondent expressed concerns about overcrowding in local schools and wanted development to occur more slowly, to also allow transit infrastructure to be implemented.

(The School District indicates that a 4-classroom addition was recently completed at the local elementary school, Morgan Elementary School, and the school is currently below capacity. Transit infrastructure improvements in the South of Fraser region are continuing as part of Translink's 10-Year Vision plan.)

- The third respondent did not want the site to lose its Live & Work or Business Park Areas designation in the Rosemary Heights Business Park Land Use Plan (LUP).

(The designation will be retained, as the two parcels are proposed to be consolidated through strata plan, and the existing business centre in Phase 1 will be retained.)

The strata of the Phase 1 building has indicated support for the applicant's proposal by passing a resolution in a special general strata meeting held on September 6, 2017 that approved the development of Phase 2.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 30, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the Rosemary Heights Business Park Land Use Plan (LUP) area and the proposed use is consistent with the site's LUP designation.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • 1 bedroom, 2 bedroom and 3 bedroom units are proposed.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The indoor amenity room constructed in Phase 1 has a green roof. • The applicant is proposing to use absorbent soils > 300 mm (1 ft.) in depth, cisterns/rain barrels, dry swales, natural landscaping, sediment control devices and perforated pipe systems. • The applicant is proposing to plant 80 trees on the Phase 2 site. • Recycling and organic waste pick-up will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bike parking, and pedestrian lighting will be provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles will be followed. • Indoor and outdoor amenity space are provided.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Pre-notification to area residents has occurred, in the form of a development proposal sign being erected on the property and pre-notification letters being mailed out to area residents. Staff have also met twice with strata council members.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review as the proposal is consistent with the original Development Application No. 7917-0413-00. This application was previously reviewed by the Advisory Design Panel. The design and landscaping plans were reviewed by staff and found generally acceptable.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum streamside setback from the top of bank of a Class A stream from 30.0 metres (100 ft.) to 15.0 metres (50 ft.) at its narrowest point.

Staff Comments:

- The riparian area east and south of the subject site was conveyed to the City in 2008 as part of Development Application No. 7906-0263-00. The riparian protection area was established through the City's former Environmental Review Committee (ERC) process, which included participation of staff from the Department of Fisheries and Oceans (DFO). The ERC process was used to determine appropriate setbacks from watercourses incorporating federal, provincial and municipal regulations. There is no change in the location of the building in relation to the watercourse from what was approved in 2008.

- As part of Development Application No. 7906-0263-00, the applicant conveyed 1.54 hectares (3.81 acres) of riparian habitat to the City, based on a setback line that ranged from 15 metres (50 ft.) to 35 metres (115 ft.) to the top of bank of the watercourses. The proposed dedication area was reviewed by the ERC and by DFO and was supported.
- Given the history of riparian protection on the subject site, staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Development Variance Permit No. 7917-0413-00
Appendix VI.	CD Amendment By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 16558)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total (Phases 1 and 2)		10,946 sq.m. (2.7 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	43%	41%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
All sides	5 m.	5 m. +
BUILDING HEIGHT (in metres/storeys)		
Principal	15 m.	13.9 m.
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		151
FLOOR AREA: Residential		15,966 sq.m.
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		15,966 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	138 uph/56 upa	138 uph/56 upa
FAR (gross)		
FAR (net)	1.47	1.47
AMENITY SPACE (area in square metres)		
Indoor	453 sq.m.	166 sq.m.
Outdoor	453 sq.m.	847 sq.m.
PARKING (number of stalls)		
Commercial	17	17
Industrial		
Residential	223	231
Residential Visitors	30	30
Institutional		
Total Number of Parking Spaces	270	278
Number of accessible stalls		2 spaces in Phase 2
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		14 spaces in Phase 2/ 10% of spaces
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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Appendix II

DEVELOPMENT DATA

LEGAL DESCRIPTION: LOT A, SECTION 23, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN BC93805, EXCEPT PHASE ONE STRATA PLAN BC54457

CIVIC ADDRESS: 15436 31 AVENUE

ZONING: CD BY-LAW # 16550

SITE AREA:
 GROSS : 285,017 S.F. 26,418.9 m² 6.5 AC. 2.64 Ha
 PARK DEDICATION : 167,149 S.F. 155,32.4 S.M. 3.9 AC. 1.55 Ha
 NET : 117,822 S.F. 10,946.0 S.M. 2.7 AC. 1.09 Ha

SITE AREA PHASE 1 & 2: 5,167,161 m² + 5,778,676 m² = 10,946,34 m² ⑧

DENSITY:
 ALLOWED : 55 U.P.A. OR 136 U.P.H.
 MAXIMUM FLOOR AREA RATIO = 1.47

DENSITY (PHASE 1 & 2): 62 UNITS (PHASE 1) + 84 UNITS (PHASE 2) = 151 UNITS / 1.075 Ha = 137.8 u/ha. ⑧

PHASE	NET FLOOR AREA			F.A.R. / NET SITE AREA	NUMBER OF UNITS
	S.F.	S.M.	HA.		
PHASE 1 (EXISTING)	14443	6421	0.64	0.63	62
PHASE 2 (PROPOSED)	47362	9045	0.90	0.83	84
TOTAL (PHASE 1 + PHASE 2)	171855	15466	1.60	1.46	151
ALLOWED	172450	16021	1.61	1.47	

LOT COVERAGE

PHASE	NET SITE COVERAGE			
	S.F.	S.M.	HA.	%
PHASE 1 (EXISTING)	21140	1464	0.20	18%
PHASE 2 (PROPOSED)	27260	2533	0.25	23%
TOTAL (PHASE 1 + PHASE 2)	48400	4502	0.45	41%
ALLOWED	50665	4707	0.47	43 %

REQUIRED PARKING SPACES FOR VEHICLES:

RESIDENTIAL : 1.3 SPACES / 1 BED UNIT + 1.5 SPACES / 2 BED OR MORE UNITS
 VISITOR : 0.2 SPACES / DWELLING UNIT

PHASE	REQUIRED		PROPOSED		TOTAL PARKING SPACES (RESIDENTIAL + VISITORS)
	PARKING SPACES FOR VEHICLES		PARKING SPACES FOR VEHICLES		
	RESIDENTIAL	VISITORS	RESIDENTIAL	VISITORS	
PHASE 1 (EXISTING) (RESID. + OFFICES)	43 RESIDENTIAL (7 LIVE WORK)	12	110	12	122
PHASE 2 (PROPOSED)	[1.3 X 20 (1 BED.)] + [1.5 X 64 (2 BED.)] = 124.5	0.2 X 84 = 17.8	138 (2 DESIGNATED STALLS FOR PERSONS WITH DISABILITY)	18 SPACES OUTSIDE BUILDING ENVELOPE	156
TOTAL (PHASE 1 + PHASE 2)	234.5	29.8	248	30	278

REQUIRED SPACES FOR BICYCLES:

REQUIRED BICYCLE SPACES : 1.2 SPACES PER DWELLING UNIT
 VISITOR : 6 PER BUILDING

PHASE	REQUIRED		PROPOSED		TOTAL BICYCLE SPACES (RESIDENTIAL + VISITORS)
	BICYCLES SECURED SPACES		BICYCLES SECURED SPACES		
	RESIDENTIAL	VISITORS	RESIDENTIAL	VISITORS	
PHASE 1 (EXISTING) (RESID. + OFFICES)	74	6	74	6	80
PHASE 2 (PROPOSED)	106.8	6	107	6	113
TOTAL (PHASE 1 + PHASE 2)	180.8	12	181	12	193

SETBACKS:

MIN. SETBACK: 5.0m (16'-0")
 PROPOSED SETBACKS:
 WEST : 2.0m TO BALCONY COLUMN, 2.83m TO BUILDING FACE, 0.6m TO ENTRY CANOPY COLUMN
 NORTH : 7.8m, 4.0m TO STAIR 'D'
 EAST : 5.0m
 SOUTH : 5.1m

BUILDING HEIGHT:
 MAXIMUM HEIGHT ALLOWED: 15.0m (50'-0")
 PROPOSED: 13.9m (45'-4 1/8")

REQUIRED INDOOR AMENITY:
 3.0 SQM. (32.3 SQF) PER DWELLING UNIT
 PHASE 1 : 84 X 3.0 SQM = 261 SQM. (2,875 SQF)
 PHASE 1 + PHASE 2 : (84 + 62) X 3.0 SQM = 453 SQM. (4,576 SQF.)

EXISTING INDOOR AMENITY:
 PHASE 1 : 116.54 SQM
 PROPOSED INDOOR AMENITY :
 PHASE 2 : 60 SQM

REQUIRED OUTDOOR AMENITY:
 5.0 SQM. (52.9 SQF) PER DWELLING UNIT
 PHASE 1 : 62 X 5.0 SQM = 310 SQM. (3,329 SQF.)
 PHASE 2 : 84 X 5.0 SQM = 420 SQM. (4,518 SQF.)
 TOTAL : = 493 SQM. (5,317 SQF.)

EXISTING OUTDOOR AMENITY FOR PHASES 1 & 2 = 847.1 SQM

UNIT SUMMARY

UNIT TYPE	NO. OF BEDROOMS	NO. OF UNITS	S.F. / UNIT	TOTAL S.F.	TOTAL m ²
UNIT 1A	1 BEDROOM	14	643	8992	824
UNIT 1B	2 BEDROOM	2	743	1586	147.34
UNIT 1D	1 BEDROOM	1	773	773	71.8
UNIT 1E	1 BEDROOM + DEN	1	795	795	73.3
UNIT 1L	1 BEDROOM	4	641	2568	240.4
UNIT 2A	2 BEDROOM	13	450	5850	541.4
UNIT 2C	2 BEDROOM + DEN	2	141	282	26.2
UNIT 2D	2 BEDROOM	1	1077	1077	100
UNIT 2E	2 BEDROOM	4	1063	4252	395
UNIT 2F	2 BEDROOM	4	264	1056	97.8
UNIT 2H	2 BEDROOM	3	432	1296	120
UNIT 2K	2 BEDROOM	4	412	1648	153.2
UNIT 2G	2 BEDROOM	1	114	114	10.4
UNIT 2R	2 BEDROOM	1	1071	1071	99.5
UNIT 2S	2 BEDROOM	1	450	450	41.5
UNIT 2T	2 BEDROOM	4	1034	4136	386
UNIT 2U	2 BEDROOM	4	480	1920	176.4
UNIT 2V	2 BEDROOM	3	428	1284	119.8
UNIT 3A	3 BEDROOM	1	1212	1212	112.2
UNIT 3AI	3 BEDROOM	3	1212	3636	336.5
UNIT 3E	3 BEDROOM	4	1144	4576	423.1
UNIT 3H	3 BEDROOM	2	1171	2342	217.6
UNIT 3I	3 BEDROOM	1	1172	1172	108.4
UNIT 3K	3 BEDROOM	1	1442	1442	133.8
UNIT 3M	3 BEDROOM	3	1220	3660	340
UNIT 3N	3 BEDROOM	1	1218	1218	113.2
TOTAL		84	1218	24531	2252.2



CONTEXT PLAN

SCALE: NTS

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REV	DATE	BY	DESCRIPTION

NOVA	DATE	NOV. 14/11	NOV. 21/11	LT	ST	REV	NOV. 21/11	LT	ST

DESIGN	DATE	SCALE

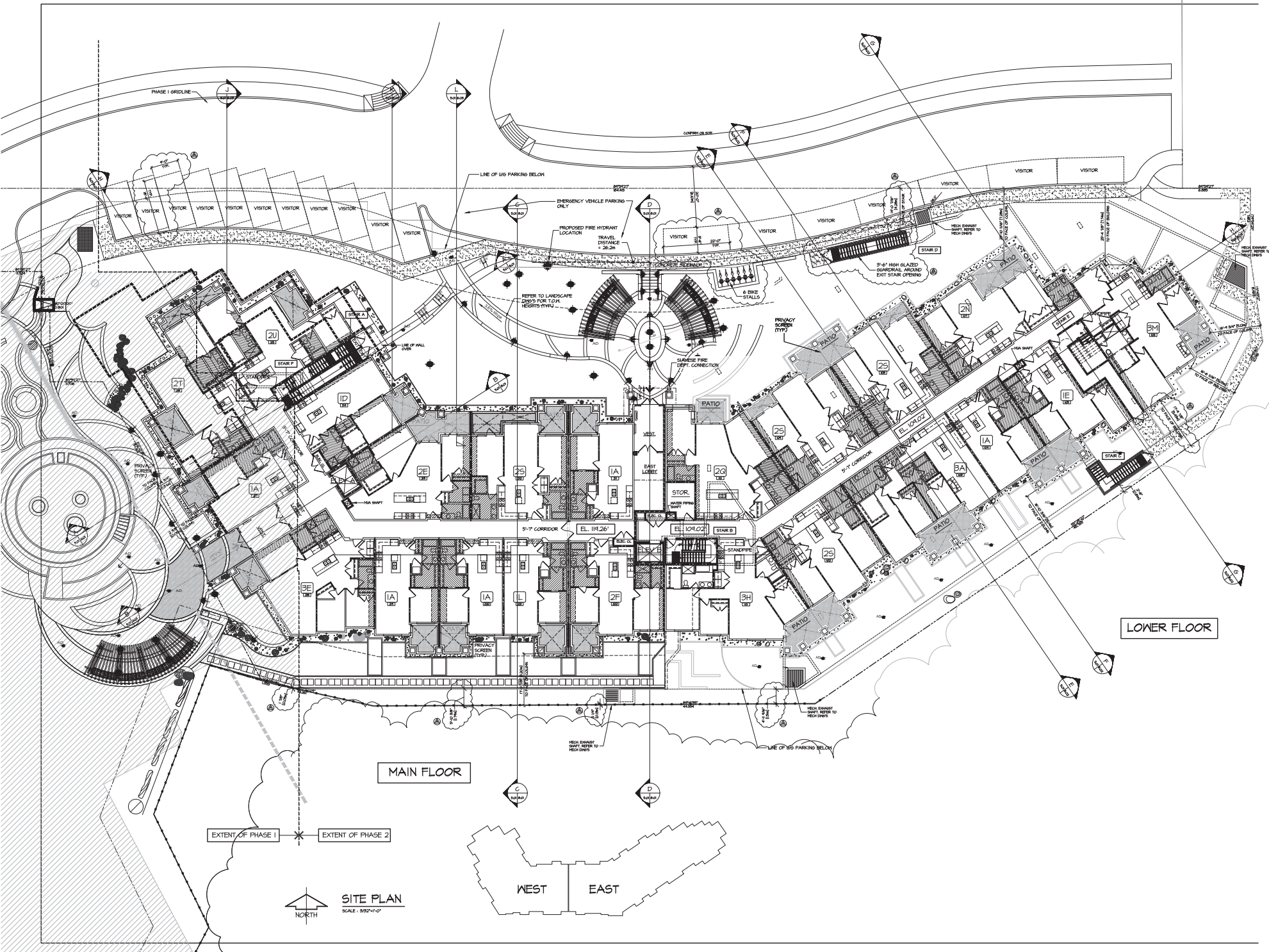
CLIENT	PROJECT	SHEET CONTENTS
LAKEMOOD GROUP DEVELOPMENTS LTD.	NEW WESTMINSTER APARTMENT BUILDING	STATISTICS

barnett dembek

UNIT 130,
 7538 130 STREET,
 SURREY, B.C.
 V3W 1H8

CLIENT NO.	SHEET NO.
	A-1.01

PROJECT NO.	REV. NO.
16064	



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NO.	DATE	BY	REVISION
1	NOV 21/11	LT	PER LOD COMMENTS
2			PER LOD COMMENTS

DATE: NOV 21/11
 DRAWN BY: LT
 CHECKED BY: [Signature]
 PROJECT: MEADOWS APARTMENT BUILDING
 SHEET: A-4.01

CLIENT: LAKEWOOD GROUP DEVELOPMENTS LTD.
 PROJECT: MEADOWS APARTMENT BUILDING
 ADDRESS: 15000 31 AVENUE
 SHEET: A-4.01

DESIGN: [Signature]
 DATE: NOV 21/11
 SCALE: 1/8" = 1'-0"

barnett dembek
 UNIT 130,
 7036 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
16069	A-4.01

SCHEMATIC PLAN, SECTION AND 3D
 EXTERIOR ELEVATION OF THE
 THE 100% PROPERTY OF BARNETT
 DEMBEK ARCHITECTS INC. AND MAY
 NOT BE USED WITHOUT THE WRITTEN
 CONSENT OF BARNETT DEMBEK
 ARCHITECTS INC. WITHOUT THE
 OWNER'S WRITTEN CONSENT.
 THESE ARE NOT TO BE USED FOR
 CONSTRUCTION AT 8.3.1. 1/15

NO.	DATE	BY	CHKD.	REV.	DESCRIPTION
1	NOV 2011	LT	HT		PRELIM LAYOUTS



DESIGN #	DATE	SCALE
PHASE #	DATE	SCALE
PROJECT #	DATE	SCALE
CLIENT #	DATE	SCALE

CLIENT: LAKELWOOD GROUP DEVELOPMENTS LTD.
 PROJECT: READHAVENS APARTMENT BUILDING
 SHEET: OUTDOOR AMENITY SPACE & SETBACKS
 SHEET NO.: 16064H

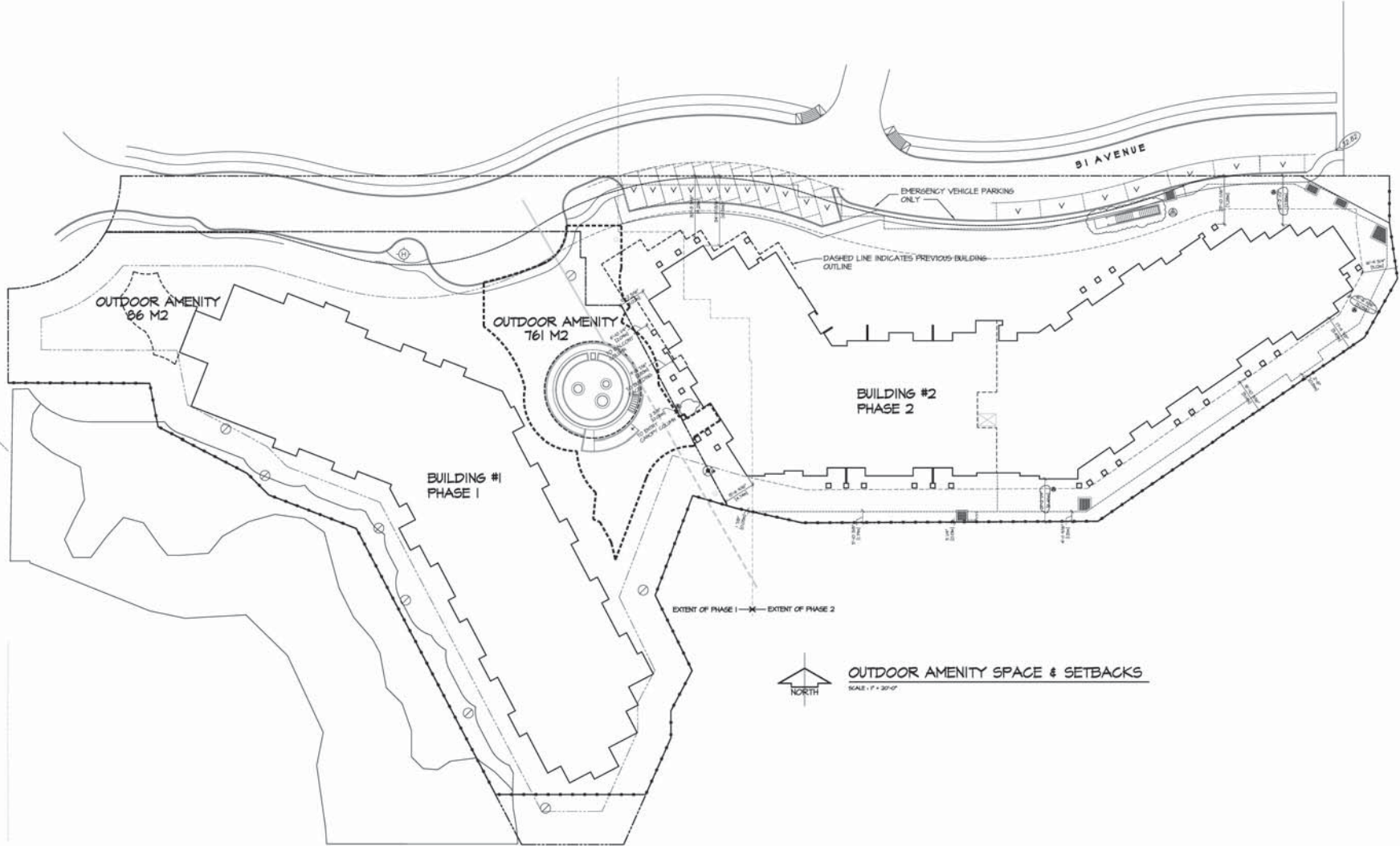
barnett dembek
 ARCHITECTS INC.

UNIT 130,
 7036 100 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
16064H	A-4.01G

31st AVENUE



91 AVENUE

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NO.	DATE	BY	REVISION
1	NOV 2011

NO.	DATE	BY	REVISION
1	NOV 2011

NO.	DATE	BY	REVISION
1	NOV 2011	...	...

NO.	DATE	BY	REVISION
1	NOV 2011	...	...

DESIGN 1	NOV 2011	...	...
DESIGN 2	NOV 2011	...	...
DESIGN 3	NOV 2011	...	...
DESIGN 4	NOV 2011	...	...
DESIGN 5	NOV 2011	...	...
DESIGN 6	NOV 2011	...	...

UNIT 130,
7338 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
1606A	A-4.01D

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
1606A	A-4.01D



LEGEND

PHASE 2

RESIDENTS 108 SPACES

VISITORS 10 SPACES

PHASE 1

RESIDENTS 13 SPACES

VISITORS 12 SPACES

LIVE WORK BUSINESS CENTRE 11 SPACES

PHASE 1 & 2 PARKING PLAN
SCALE: 1" = 20'-0"

NORTH

PARKING LEVEL

PHASE 1

PHASE 2

PARK
PLAN BCP39265

Rem A
PLAN BCP39265

SRW PLAN
PLAN BCP39268

SRW PLAN
PLAN BCP39268

SRW PLAN BCP390343
STRATA PLAN EP51788
SRW PLAN BCP390347

REF. PLAN BCP32581

STRATA PLAN BC54135

EASEMENT
REF. PLAN
PLAN BCP39266

SRW PLAN BCP39268

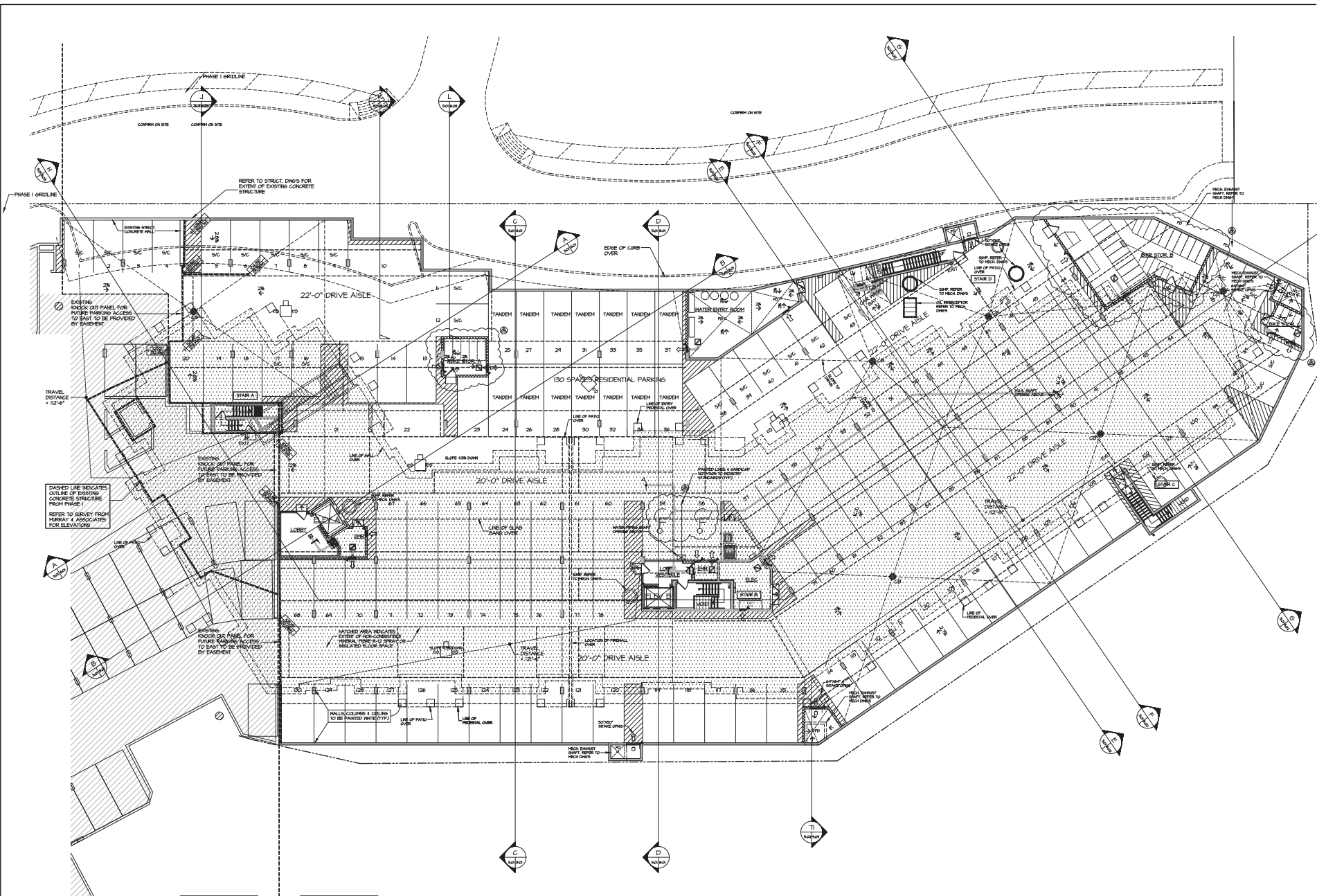
Rem 1
PLAN 9256

SRW PLAN BCP39268

SRW PLAN BCP39268

SRW PLAN BCP39268

SRW PLAN BCP39268



EXTENT OF PHASE 1 EXTENT OF PHASE 2

U/G PARKING FLOOR PLAN
 SCALE: 3/32"=1'-0"
 42.91 S.F. (9,850 sq-ft)

SYMBOL SCHEDULE		REVISION		SLAB BAND OVER	
	BUILDING SECTION/WALL SECTION		REVISION NUMBER		SLAB BAND OVER
	BUILDING EXIT		1 HR. FIRE RATED		INDICATED PARKING STALL
	LOCATION OF SECTION DRAWINGS		1 1/2 HR. FIRE RATED		SLAB OPENING
	DETAIL SERIES		2 HR. FIRE RATED		CONCRETE RAMP
	LOCATION OF DETAIL DRAWINGS		LINE OF HALL ABOVE		T.O. SLAB/FLOOR ELEVATION
	FLOOR SYMBOL		LINE OF HALL BELOW		SLAB/FLOOR ELEVATION BANDING
	IN-ROOM SYMBOL		LINE OF ROOF OVER		10' SLAB/FLOOR ELEVATION BANDING
	CONSTRUCTION TYPE		DRIVEWAY/ DRAINAGE FOR DUCTING		
	GRID NUMBER AND LINE				
	UNIT TYPE		NON-CONVERTIBLE GENERAL FIRE AND SPRAY ON RELATED FLOOR SPACE OVER		
	DATE NUMBER				

DESIGN: LAKELWOOD GROUP DEVELOPMENTS LTD.		DATE: Nov. 2011	
PROJECT: LAKELWOOD APARTMENT BUILDING		SCALE: 3/32"=1'-0"	
SHEET: U/G PARKING FLOOR PLAN		SHEET NO.: 1001-1-00	

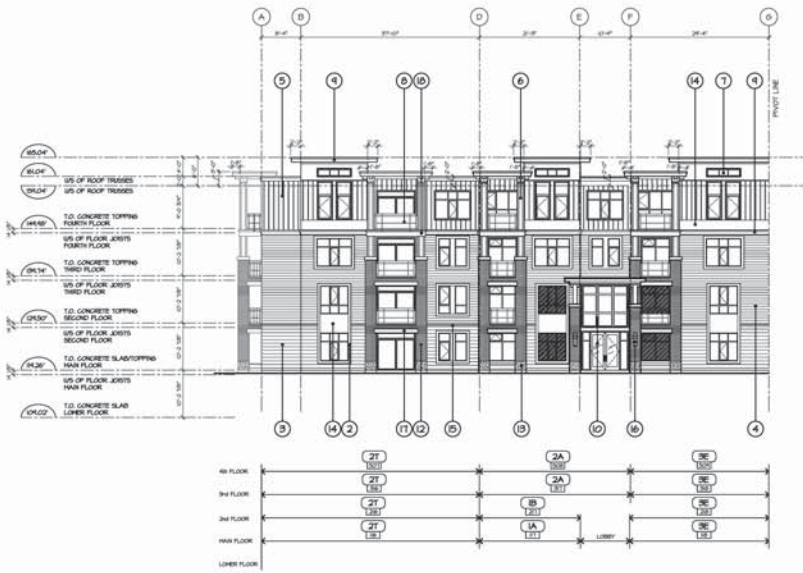
NO.	DATE	BY	REVISION

barrett dembek

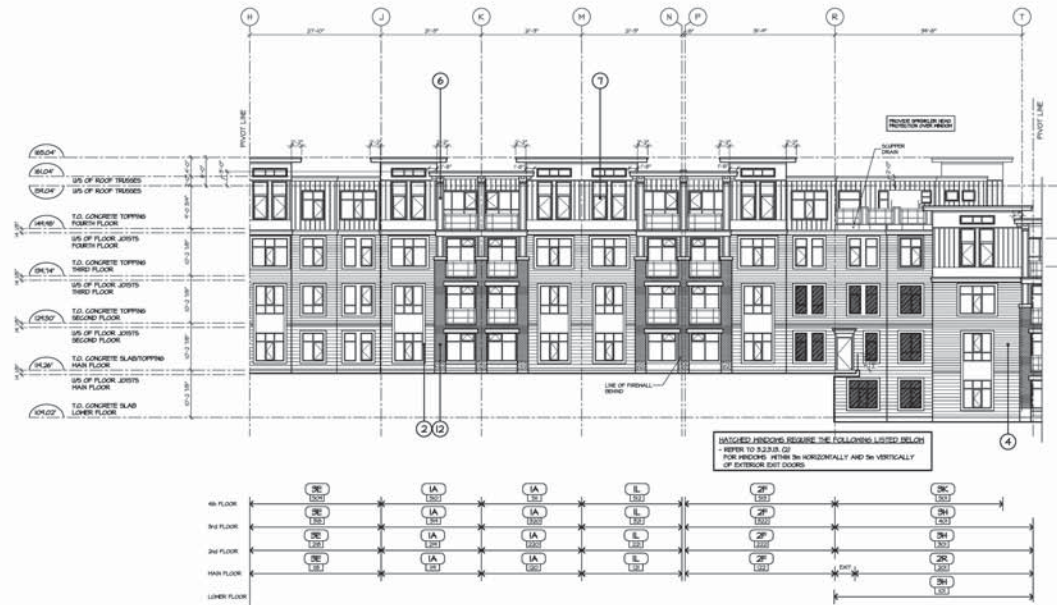
UNIT 130,
 7325 130 STREET,
 SUITE 2, B.C.,
 V5W 1Y8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barrettdembek.com

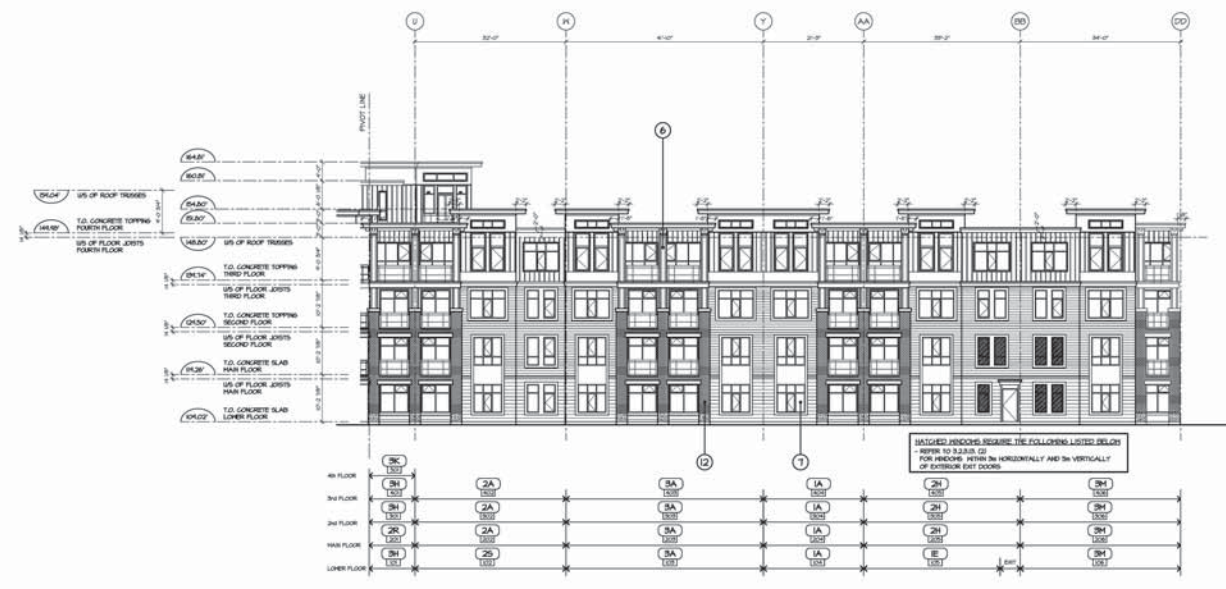
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
1606A	A-5.01



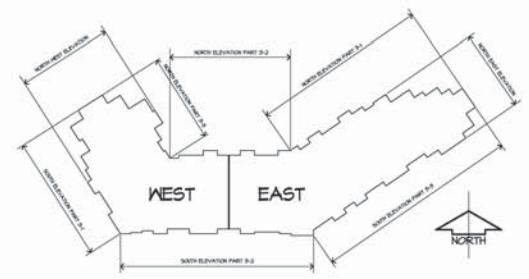
SOUTH ELEVATION PART 3-1
SCALE: 3/32"=1'-0"



SOUTH ELEVATION PART 3-2
SCALE: 3/32"=1'-0"



SOUTH ELEVATION PART 3-3
SCALE: 3/32"=1'-0"



SCHEDULE OF FINISHES

- | | |
|----------------------------------|--|
| 1 BRICK VENEER | 10 STOREFRONT GLAZING |
| 2 HARDIE HINCH TRIM | 11 STEEL CANOPY |
| 3 WIDE LAP HARDIE PLANK SIDING | 12 BRICK VENEER COLUMNS |
| 4 NARROW LAP HARDIE PLANK SIDING | 13 PRECAST CONCRETE |
| 5 HARDIE BOARD AND BATTEN SIDING | 14 HARDIE PANEL SIDING |
| 6 WOOD COLUMNS | 15 PREFINISHED METAL THROUGH WALL FLASHING |
| 7 VINYL WINDOWS | 16 EXTERIOR LIGHTING FIXTURE |
| 8 ALUMINUM RAILING | 17 PRECAST CONCRETE LINTEL |
| 9 2X4 ON 2X12 WOOD FASCIA TRIM | 18 2X4 ON 16" DEEP HARDIE PANEL TRIM |

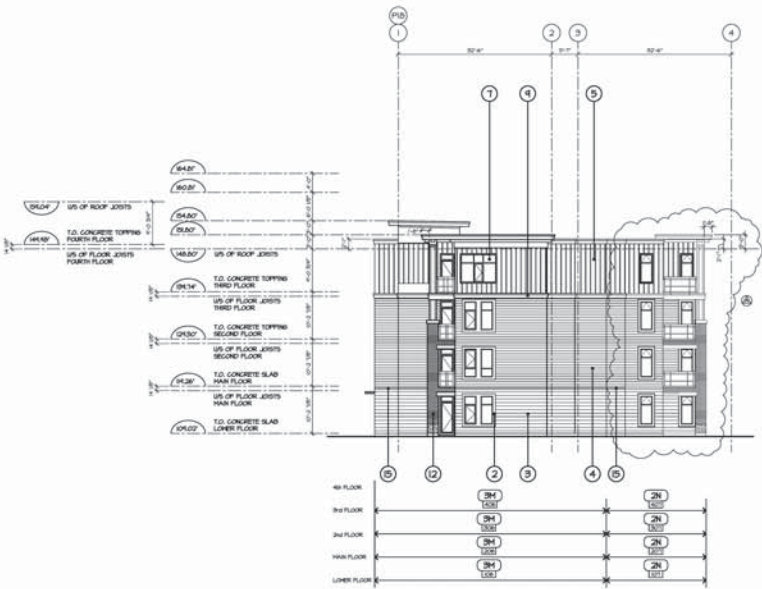
NOTE:
1. DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL SHEATHING TYPICAL.
2. ALL INTERIOR LOAD-BEARING WALLS ARE TO BE 1/4" IRL FIRE RATED REFER TO STRUCTURAL SHEETS FOR LOCATIONS

SYMBOL SCHEDULE		REVISIONS	
	SECTION NUMBER		REVISION NUMBER
	BUILDING EXIT		BUILDING EXIT
	LOCATION OF SECTION DRAWING		1/4" IRL FIRE RATED
	LOCATION OF DETAIL IN DRAWING		2\"/>
	LOCATION OF DETAIL IN DRAWING		LINE OF WALL ABOVE
	LOCATION OF DETAIL IN DRAWING		LINE OF WALL BELOW
	LOCATION OF DETAIL IN DRAWING		LINE OF ROOF OVER
	LOCATION OF DETAIL IN DRAWING		DROPPED CEILING FOR CEILING
	LOCATION OF DETAIL IN DRAWING		2\"/>
	LOCATION OF DETAIL IN DRAWING		NON-COMPARTABLE GENERAL FIBERGLASS SPRAY ON INSULATED FLOOR SPRINKLE OVER
	LOCATION OF DETAIL IN DRAWING		SLAB SHRED OVER
	LOCATION OF DETAIL IN DRAWING		HANDICAPPED PARKING STALL
	LOCATION OF DETAIL IN DRAWING		SLAB OPENING
	LOCATION OF DETAIL IN DRAWING		CONCRETE SUMP
	LOCATION OF DETAIL IN DRAWING		T10 SLAB/PLINTH ELEVATIONS

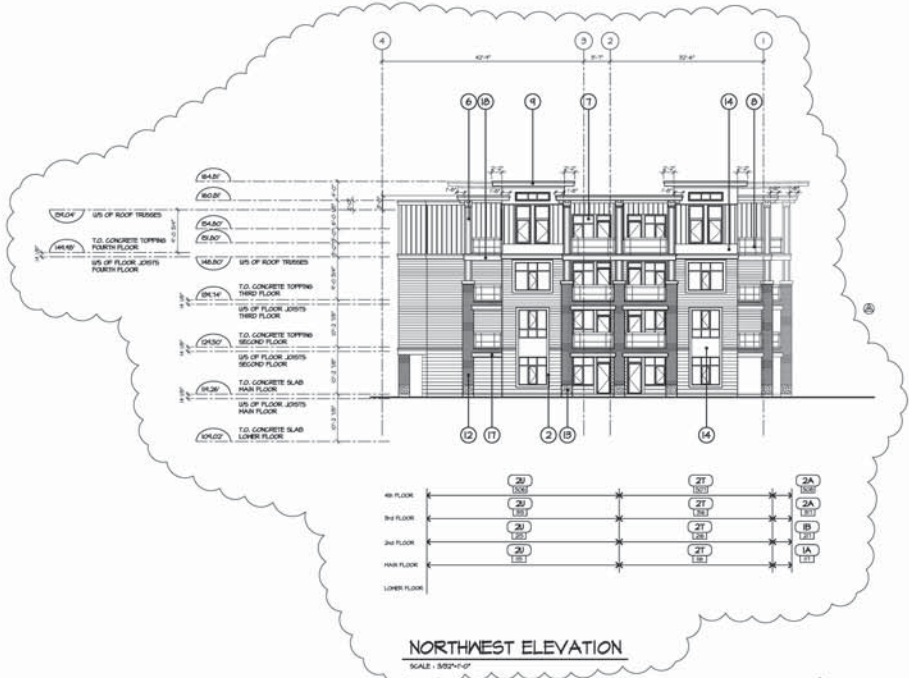
CLIENT: LAKEWOOD GROUP DEVELOPMENTS LTD.	PROJECT: MELACHUKIN APARTMENT BUILDING
DESIGNER: BARNETT DEMBEK ARCHITECTS INC.	SCALE: 3/32"=1'-0"
DATE: 2014-11-17	SCALE: 3/32"=1'-0"
PROJECT NO: 16064	SHEET NO: A-101
CLIENT NO: 16064	REV. NO: 1

UNIT 135,
7036 130 STREET,
SUITE 2, B.C.
VAN 1V8

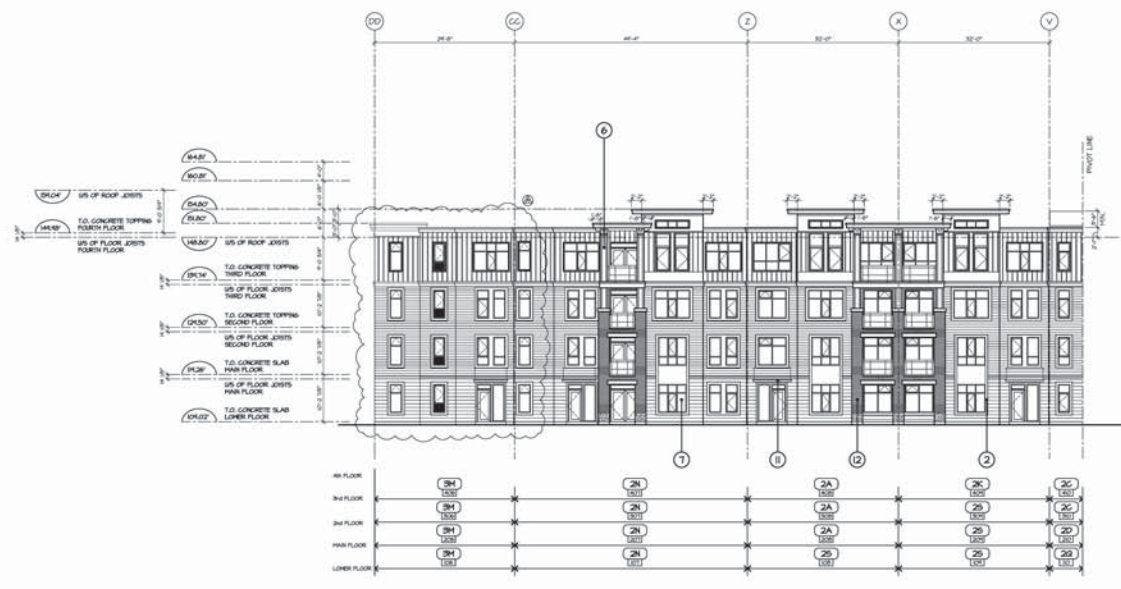
PHONE: (604) 597-7100
FAX: (604) 597-2098
EMAIL: info@barnett-dembek.com



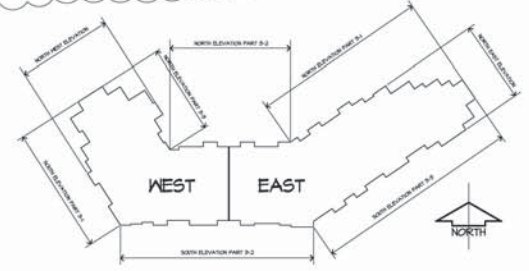
NORTHEAST ELEVATION
SCALE: 3/8"=1'-0"



NORTHWEST ELEVATION
SCALE: 3/8"=1'-0"



NORTH ELEVATION PART 3-1
SCALE: 3/8"=1'-0"



SCHEDULE OF FINISHES

- 1 BRICK VENEER
- 2 HARDIE HINGHO TRIM
- 3 WIDE LAP HARDIE PLANK SIDING
- 4 NARROW LAP HARDIE PLANK SIDING
- 5 HARDIE BOARD AND BATTEN SIDING
- 6 WOOD COLUMNS
- 7 VINYL WINDOWS
- 8 ALUMINUM RAILINGS
- 9 2X4 ON 2X12 WOOD FASCIA TRIM
- 10 STOREFRONT GLAZING
- 11 STEEL CANOPY
- 12 BRICK VENEER COLUMNS
- 13 PRECAST CONCRETE
- 14 HARDIE PANEL SIDING
- 15 PREFINISHED METAL THROUGH WALL FLASHING
- 16 EXTERIOR LIGHTING FIXTURE
- 17 PRECAST CONCRETE LINTEL
- 18 2X4 ON 16" DEEP HARDIE PANEL TRIM

NOTES:
1. DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL SHEATHING TYPICAL.
2. ALL INTERIOR LOADBEARING WALLS ARE TO BE 1/2" MIN. FIRE RATED REFER TO STRUCTURAL DOWNS FOR LOCATIONS.

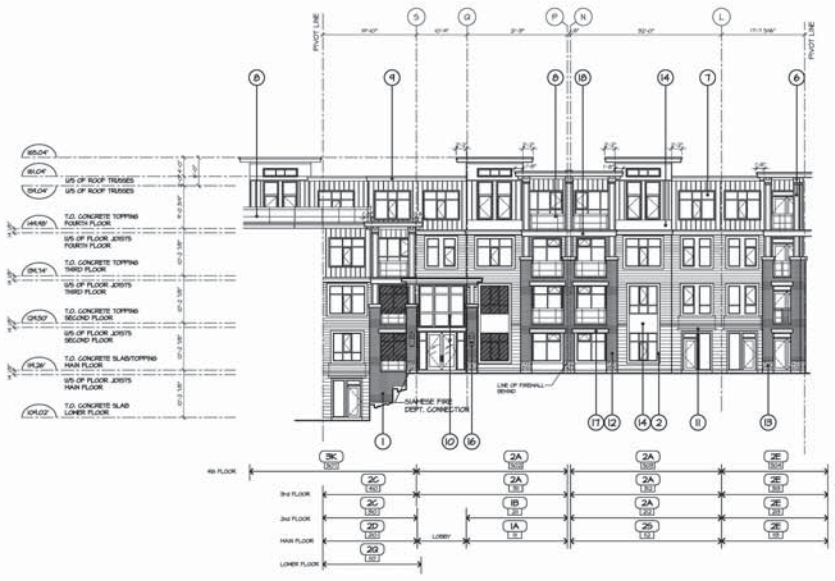
SYMBOL SCHEDULE		REVISION NUMBER		SLAB SHED OVER	
	BELOW SECTION/HALL SECTION		REVISION NUMBER		SLAB SHED OVER
	SECTION NUMBER		BUILDING EXIT		INDICATED PARKING STALL
	LOCATION OF SECTION DRAWING		1/2" MIN. FIRE RATED		SLAB OPENING
	SECTION		2 1/2" MIN. FIRE RATED		CONCRETE SLAB
	DETAIL NUMBER		LINE OF WALL ABOVE		CONCRETE SLAB
	LOCATION OF DETAIL DRAWING		LINE OF WALL BELOW		TO SLAB FLOOR ELEVATION
	DOOR SYMBOL		CONSTRUCTION TYPE		DRIMPLY CEILING FOR CEILING
	WINDOR SYMBOL		2x4 PLUMBER WALL		NON-COMBUSTIBLE MINERAL FIBRE
	WINDOR NUMBER AND LINE		1/2" MIN. FIRE RATED		1/2" MIN. FIRE RATED
	WINDOR TYPE		1/2" MIN. FIRE RATED		1/2" MIN. FIRE RATED
	WINDOR NUMBER		1/2" MIN. FIRE RATED		1/2" MIN. FIRE RATED

CLIENT: LAKEWOOD GROUP DEVELOPMENTS LTD.
PROJECT: MELACHUKIN APARTMENT BUILDING
SHEET NO. 16064
DATE: 10/11/10
SCALE: 1/8"=1'-0"

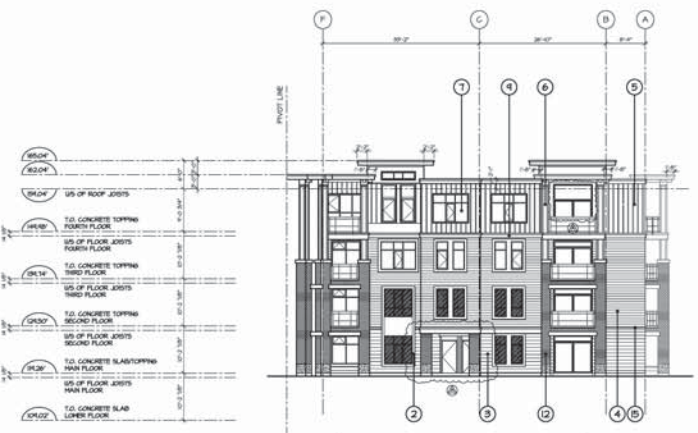
CLIENT NO. 16064
SHEET NO. A-1.02
PROJECT NO. 16064

UNIT 135,
7036 130 STREET,
SUITE 1, B.C.
VANIC
PHONE: (604) 597-7100
FAX: (604) 597-2098
EMAIL: mst@bdkinc.com

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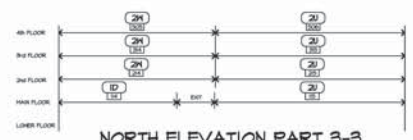


NORTH ELEVATION PART 3-2
SCALE: 3/8"=1'-0"

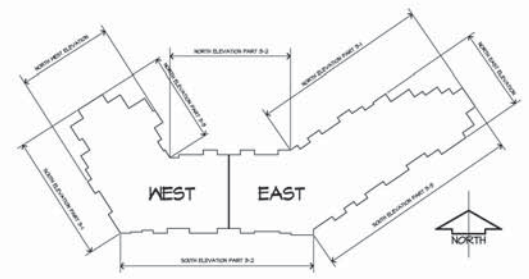


TYPICAL FOR ALL GLAZED WINDOWS PER B.L.G.B. CODE 2.2.3(2) REGARDING THE FOLLOWING LISTED BELOW:

- PROVIDE 1 HL. RATED WINDOW ASSEMBLY.
- IF RATED GLASS IN METAL FRAME.
- RATED FIRE BARRIER OR APPROVED ALTERNATIVE SOLUTION.



NORTH ELEVATION PART 3-3
SCALE: 3/8"=1'-0"



SCHEDULE OF FINISHES

- | | |
|----------------------------------|--|
| 1 BRICK VENEER | 10 STOREFRONT GLAZING |
| 2 HARDIE HINDOH TRIM | 11 STEEL CANOPY |
| 3 WIDE LAP HARDIE PLANK SIDING | 12 BRICK VENEER COLUMNS |
| 4 NARROW LAP HARDIE PLANK SIDING | 13 PRECAST CONCRETE |
| 5 HARDIE BOARD AND BATTEN SIDING | 14 HARDIE PANEL SIDING |
| 6 WOOD COLUMNS | 15 PREFINISHED METAL THROUGH WALL FLASHING |
| 7 VINYL WINDOWS | 16 EXTERIOR LIGHTING FIXTURE |
| 8 ALUMINUM RAILING | 17 PRECAST CONCRETE LINTEL |
| 9 2X4 ON 2X12 HOOD FASCIA TRIM | 18 2X4 ON 16" DEEP HARDIE PANEL TRIM |

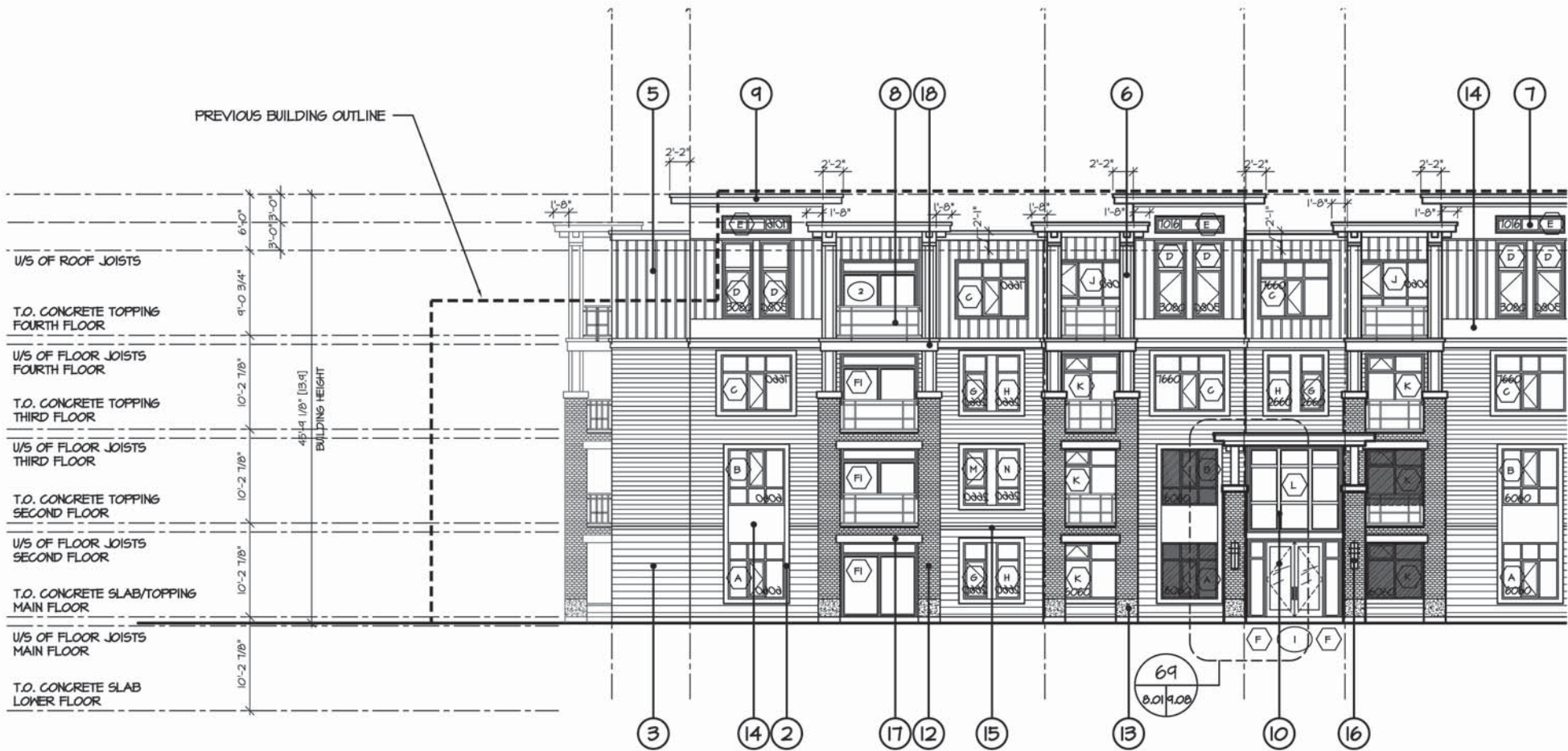
NOTE:
1. DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE INSIDE FACE OF WALL UNLESS NOTED TYPICAL.
2. ALL INTERIOR LOADBEARING WALLS ARE TO BE 1 HL. FIRE RATED REFER TO STRUCTURAL DRAWS FOR LOCATIONS

SYMBOL SCHEDULE		REVISION	
	BELOW SECTION WALL SECTION	1	REVISION NUMBER
	BUILDING EXIT	2	BUILDING EXIT
	1 HL. FIRE RATED	3	1 HL. FIRE RATED
	2 HL. FIRE RATED	4	2 HL. FIRE RATED
	DOOR SWING	5	LINE OF HALL ABOVE
	WINDOW SYMBOL	6	LINE OF HALL BELOW
	CONSTRUCTION TYPE	7	LINE OF ROOF OVER
	FIRE NUMBER AND LINE	8	DRAWING USE THIS FOR SECTION
	UNIT TYPE	9	248 PLUMBING WALL
	SITE NUMBER	10	NON-COMBUSTIBLE GENERAL FINISH
		11	SLAB FINISHING FLOOR GRADE OVER
	SLAB FINISH OVER		
	HANDICAPPED PARKING STALL		
	SLAB OPENING		
	CONCRETE RAMP		
	BEAM		
	10. SLAB FINISH ELEVATIONS		

CLIENT: LAKEWOOD GROUP DEVELOPMENTS LTD.
PROJECT: MELACHUKIN APARTMENT BUILDING
SHEET NO. 3A-11
SCALE: 3/8"=1'-0"

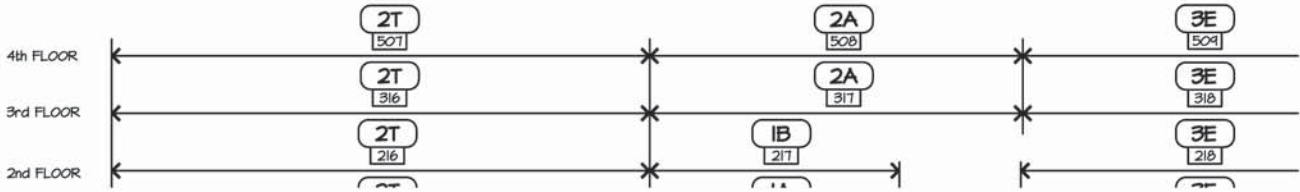
barnett dembek
ARCHITECTS INC.
UNIT 135,
7036 130 STREET,
SUITE 2, B.C.
VANCOUVER, B.C.
V6M 1S3
PHONE: (604) 597-7100
FAX: (604) 597-2098
EMAIL: info@barnettde.com

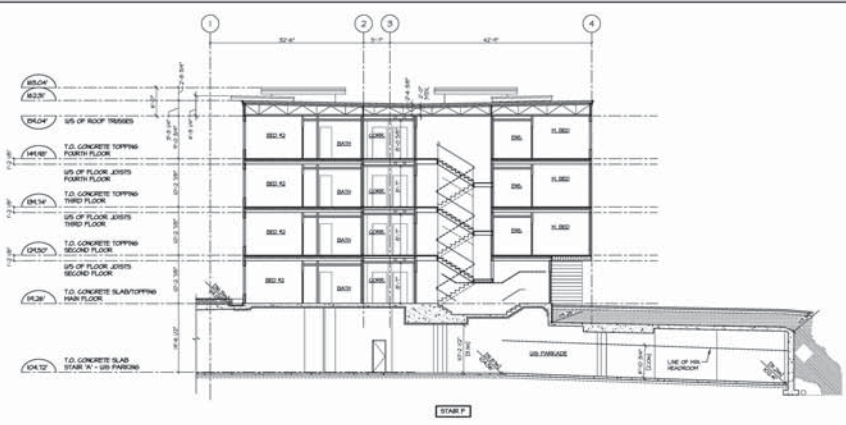
CLIENT NO. SHEET NO.
PROJECT NO. REV. NO.
16064 A-7.03



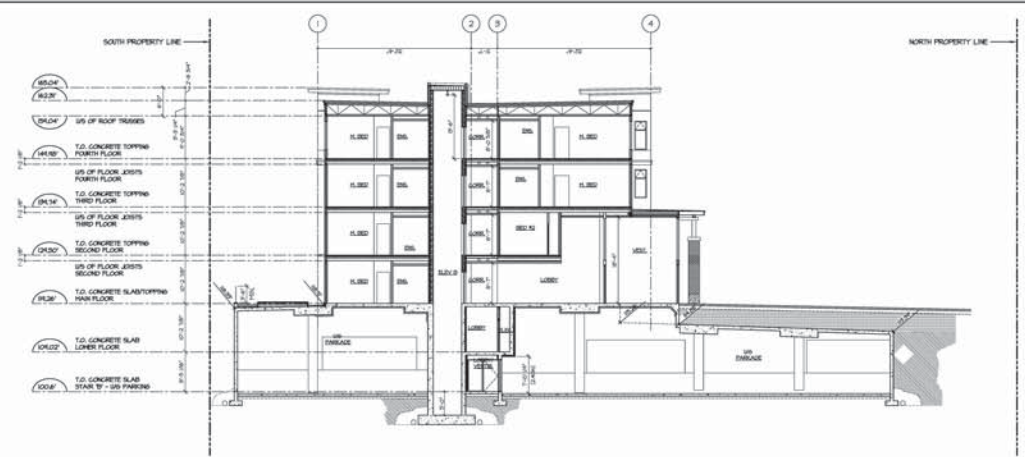
TYPICAL FOR ALL HATCHED WINDOWS PER B.C.B.C. (2012) 3.2.3.13(2) REQUIRE THE FOLLOWING LISTED BELOW:

- PROVIDE 1 HR. RATED WINDOW ASSEMBLY,
- WIRED GLASS IN METAL FRAME,
- RATED FIRE SHUTTER, OR
- APPROVED ALTERNATIVE SOLUTION

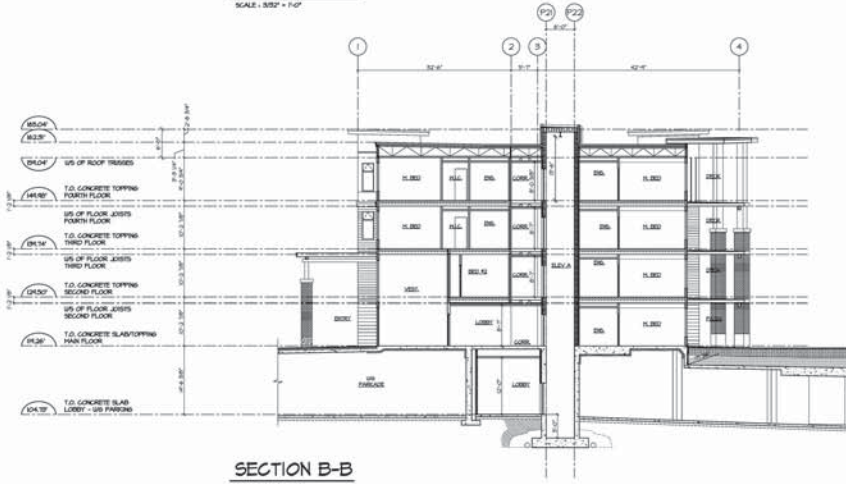




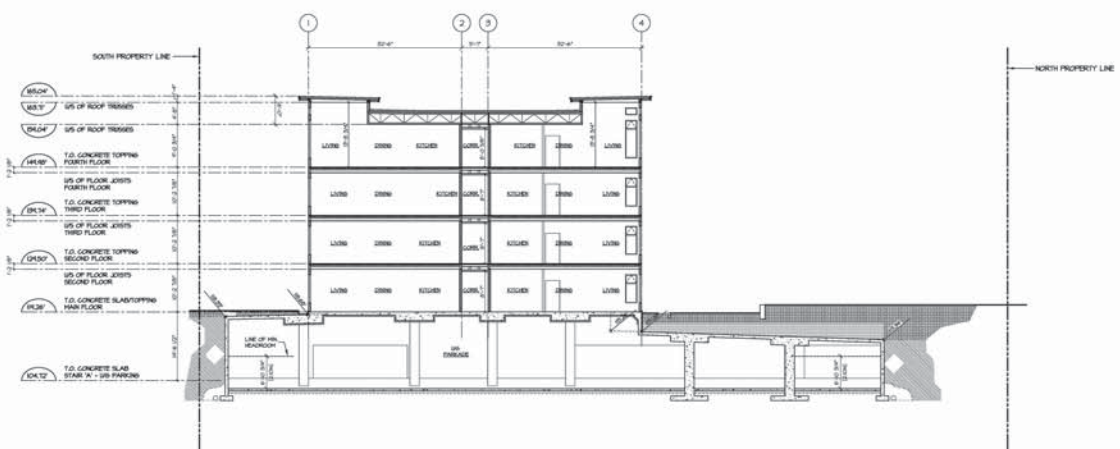
SECTION A-A
SCALE: 1/8" = 1'-0"



SECTION D-D
SCALE: 1/8" = 1'-0"



SECTION B-B
SCALE: 1/8" = 1'-0"

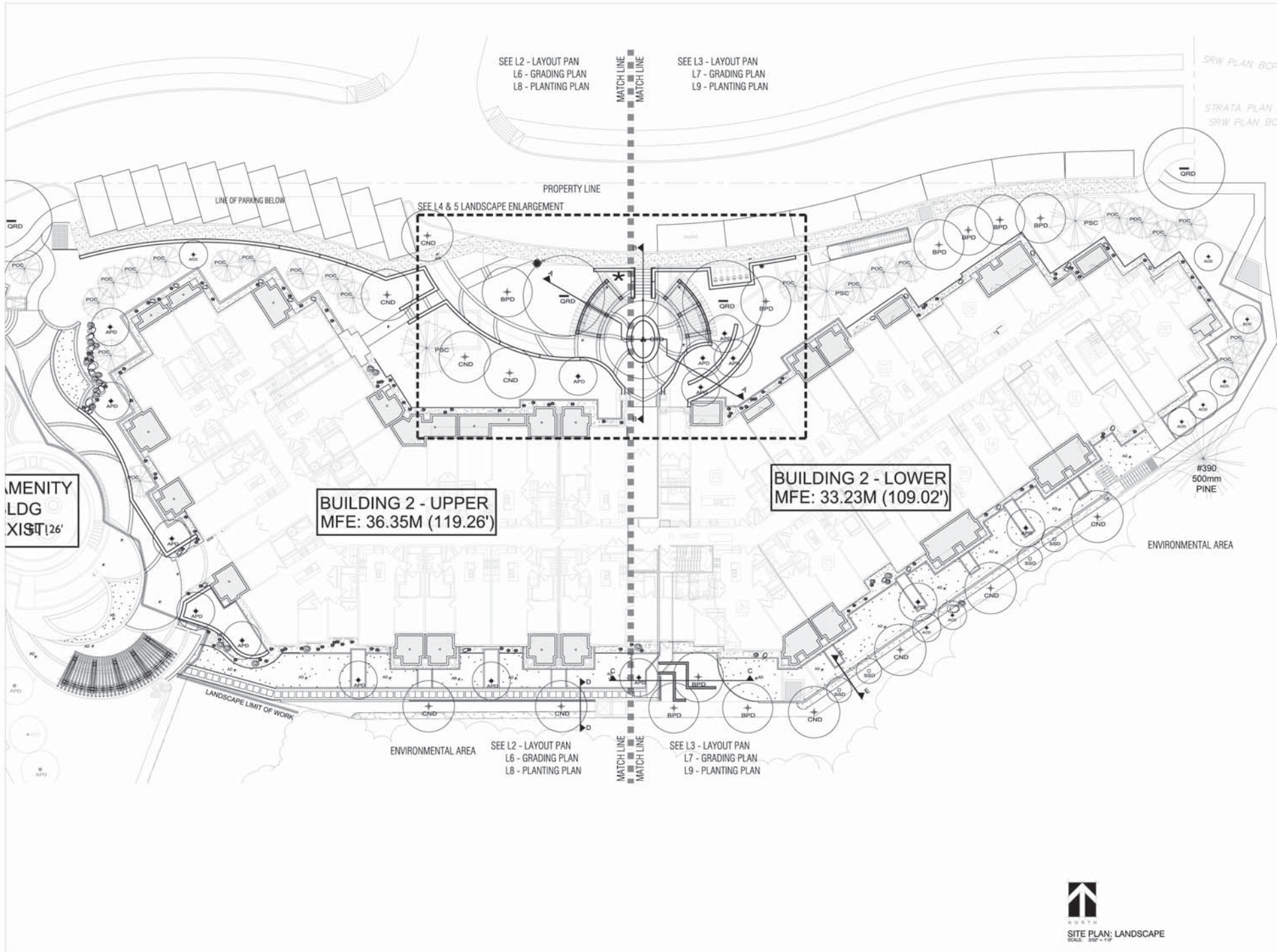


SECTION C-C
SCALE: 1/8" = 1'-0"

SECTION A, B, C, D, D-D, B-B, C-C
 SCALE: 1/8" = 1'-0"
 DATE: 08/11/10
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT NO.: 10064
 SHEET NO.: A-0.01
 CLIENT: LAKELWOOD GROUP DEVELOPMENTS LTD.
 PROJECT: READWATERS APARTMENT BUILDING
 SHEET: 1 OF 11
 SCALE: 1/8" = 1'-0"
 SECTION: A, B, C, D

bernett dembek
ARCHITECTS INC.
 UNIT 135,
 7036 130 STREET,
 SURREY, B.C. V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@bernettdembek.com

CLIENT NO.: [blank] SHEET NO.: A-0.01
 PROJECT NO.: 10064 REV. NO.: [blank]



REVISIONS
 1. SEE L2 - LAYOUT PAN
 2. SEE L3 - LAYOUT PAN
 3. SEE L6 - GRADING PLAN
 4. SEE L7 - GRADING PLAN
 5. SEE L8 - PLANTING PLAN
 6. SEE L9 - PLANTING PLAN

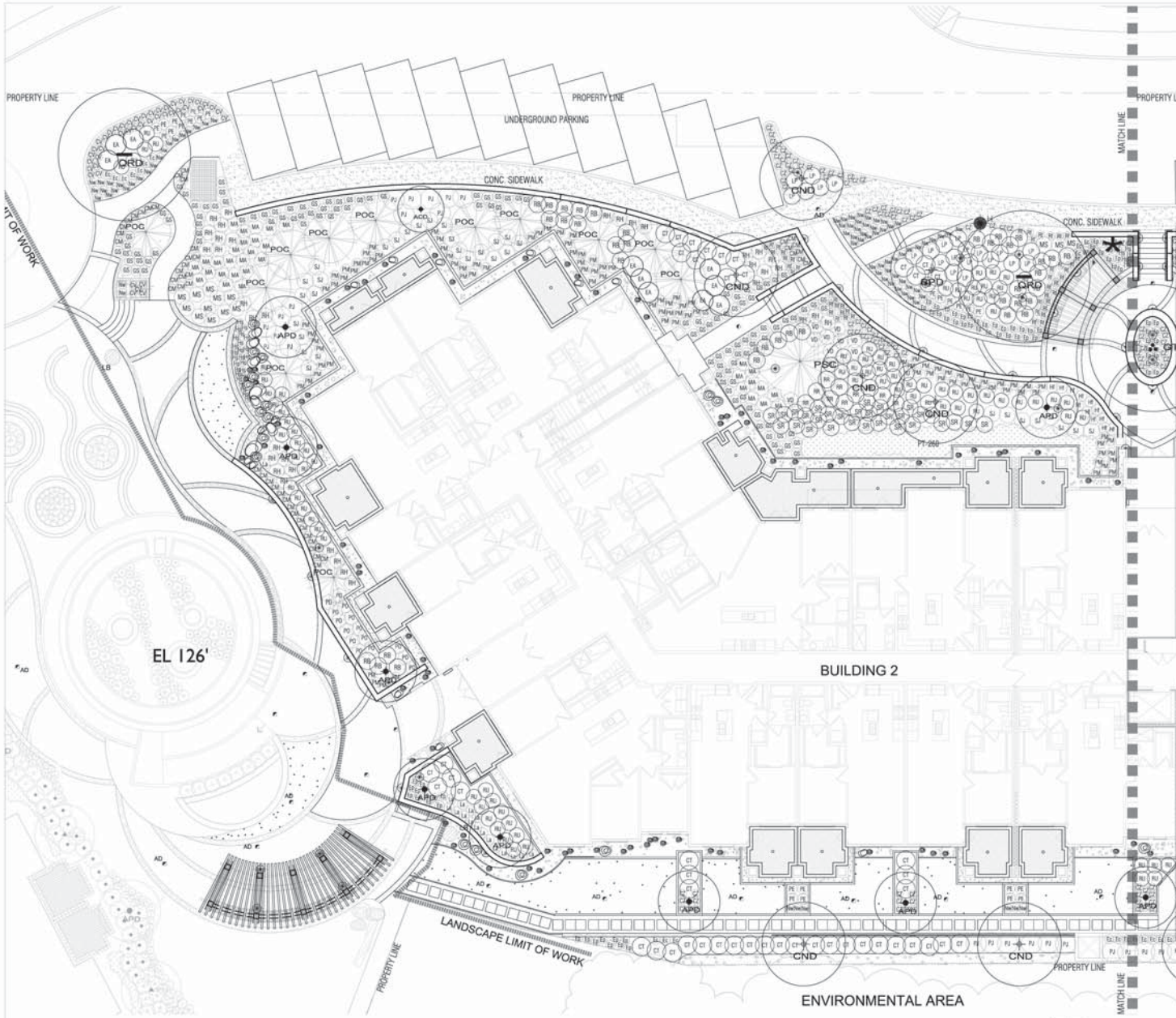
PROJECT
HEADWATERS APARTMENT BUILDING
 15436, 31 AVENUE, SURREY, B.C.
 CLIENT: LAKEWOOD GROUP DEVELOPERS LTD.
 ARCHITECT: SURRETT TELMER ARCHITECT INC.
 10000 INTERNATIONAL AVENUE, SUITE 101, BURNABY, BC V5A 4R5, CANADA
 PHONE: (604) 427-8888 FAX: (604) 427-8889



DATE	DESIGN	DRAWN	CHECKED	SCALE	JOB NO.

SHEET TITLE	SHEET NO.	REV. NO.	REV. DATE
OVERALL SITE PLAN	L-1		





GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCMA OR BCCLA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A VERIFIABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. RELATED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY BY THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. BRASSIA 12" (300MM) ON SLAB, 8" (150MM) ON GRADE
 - B. BRASSIA 12" (300MM)
 - C. SPRUCE 18" (450MM)
 - D. TREE SPECIES: 38" (1000MM) WITH 12" (300MM) BELOW ROOT BALL
5. LAWN AREAS SHALL BE SOICED WITH #1 PREMIUM RESIDENTIAL SOG.
6. ALL SHRUB PLANTING AREAS SHALL HAVE BRASSIA COVERS 18" DEEP.
7. 2" DEPTH OF 1" MESH COMPOST MESH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
8. FINISH TYPES AND MATERIALS AS FOLLOWS:
 - A. BALCONIES AND COMMON AREA CAST IN PLACE CONCRETE BY BROOM FINISH
 - B. PRIVATE PATIO AREA: CONCRETE UNIT FINISH, WALL PANEL: OLD COUNTRY STONE-FINE 3, COLOR: WALNUT, FINISH: OLD COUNTRY STONE-FINE 1, COLOR: CUMBERLAND, AVAILABLE FROM AMERISTONE/CONCRETE PRODUCTS PHE 1.800.854.4541, WWW.PAVINGSTONES.COM
 - C. WET COURTYARD:
 - 1. COLORED CONCRETE FINISH, LIGHT SAND BLAST FINISH, DO NOT INSTALL TROWEL EDGE, INSTALL SAW CUT JOINTS EVERY 8FT. O.C.
 - 2. CONC. COLOR: C1: 308 COMMON (SOLOMON COLOR) - COLOR:LIQ LIQUID COLOR CARDS
 - 3. CONC. COLOR C2: 308 EARTHEN (SOLOMON COLOR) - COLOR:LIQ LIQUID COLOR CARDS
9. DECORATIVE SAND TO BE VERIFIABLE SOURCE. FINISH: POLAR BLAST FINISH INSTALLATION SHALL COMPLY WITH THE NATIONAL ASPHALT PAVEMENT ASSOCIATION STANDARDS.
10. NORTH COURTYARD: COLORED CONCRETE FINISH, BROOM FINISH WE EXPOSED AGGREGATE SAND, DO NOT INSTALL TROWEL EDGE, INSTALL SAW CUT JOINTS EVERY 8FT. O.C.
11. CONC. COLOR: 308 TOPPED (SOLOMON COLOR) - COLOR:LIQ LIQUID COLOR CARDS
12. CONTRACTOR TO PROVIDE A 30% MESH OF PANELS OF COLORED CONCRETE ON SITE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. UNAPPROVED POURING COLORED CONCRETE SHALL REMOVE ALL CONCRETE AT THE COST OF THE CONTRACTOR.
13. ROCK AND BOLDER MATERIALS:
 - A. BOLDERS SHALL BE SMOOTH FINISH, SOUNDED FROM NEAR OR FIELD, DO NOT SUPPLY CRACKED OR SPLIT FACED STONE, THEY WILL BE REJECTED. PROVIDE JPG PHOTO OF STONE TO LANDSCAPE ARCHITECT FOR APPROVAL. BOLDERS TO BE EMBEDDED INTO GRADE DO NOT REST ON SURFACE.
 - B. SIZES REFER TO KEY BELOW:
 - A 2 0" TO 4 0" DIAMETER
 - B 2 0" TO 3 0" DIAMETER
 - C 2 0" TO 2 0" DIAMETER

REFER TO ALPHABETICAL KEY "A" TO "Z" ON LANDSCAPE PLAN.
 11. PRELIMINARY PLANTING AND DESIGN SHALL BE REQUIRED FOR ALL COMMON LANDSCAPE AREA.
 12. FINAL SELECTION OF STREET TREES SHALL BE MADE BY CITY OF SURREY PARKS AND RECREATION DEPARTMENT.
 13. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
 14. OUTDOOR LIGHTING TYPE AND LOCATION SHOWN ON LANDSCAPE PLAN SHALL BE USED AS A GUIDE FOR FINAL SELECTION BY OWNER. ALSO SEE ELECTRICAL AND IBS DRAWINGS FOR MANUFACTURE TYPE, SPECIFICATIONS & UNDERGROUND WIRING REQUIREMENTS.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
ACD	8	ACER CERNICUM	WHITE MAPLE	2.75M HT	B & B MULLI STEW
AE	15	ACER PALMATA	JAPANESE MAPLE	2.75M HT	B & B MULLI STEW
AP	10	BETULA PAPERIFERA	PAPER BIRCH	3.0M HT	B & B MULLI STEW
CND	19	CORYLUS NUTTALLII	PACIFIC DOGWOOD	5 CM CAL.	B & B
CT	20	GLADIOLUS NITIDUS	SUNBRIGHT GAZANIA/HONOLULU	5 CM CAL.	B & B
POC	20	PIAZA OMBRINA	SORBARA PRUNE	2.5M HT	B & B
POC	3	PIAZA OMBRINA	WHITE PINE	3.0M HT	B & B
ORD	4	QUERCUS RUBRA	RED OAK	5 CM CAL.	B & B
SSD	4	QUERCUS SPERMOIDES	WESTERN MOUNTAIN ASH	5 CM CAL.	B & B
SHRUBS					
CT	56	CORYLIA TERNATA	MEXICAN MONK GRASS	#3	CONTAINER
AE	27	CORYLIA TERNATA	RED WING DOBSON	#3	CONTAINER
EA	48	SALICORNIA ALATA COMPACTA	SHAWN BEARING BUSH	#3	STATE TO SCREEN
CT	4	DRACOPIS LAEVIS	SWEET WOODSUCKLE	#3	CONTAINER
MA	42	MACHONIA AQUIFOLIUM	SWEET GRAPPE	#3	CONTAINER
PO	21	POTUNELIA OTTO LYRENS	OTTO LYRENS LAUREL	#3	CONTAINER
RM	178	POLYTAENIA MARITIMA	WESTERN BRUSH PINE	#3	CONTAINER
PF	6	POTUNELIA FURCOSA	SHAWBERRY CROZIER	#3	CONTAINER
PF	12	PIAZA OMBRINA	SHAWBERRY PINE	#3	CONTAINER
FJ	41	PERSEA JAPONICA FOREST FLAME	JAPANESE PERS	#3	CONTAINER
ME	26	PHYTOCASSIA FLORESCENS	MEXICAN BROOM	#3	CONTAINER
RD	18	PHODODENDRON COCA AMATES	COCA AMATES WOOD	#3	CONTAINER
MB	14	PHODODENDRON NIVAL PINK	NIVAL PINK WOOD	#3	CONTAINER
RS	45	PHODODENDRON NIVAL BELLS	BELL WOOD	#3	CONTAINER
RH	43	PHODODENDRON HACHIMANUS PASTELICA	PASTELIC PHODODENDRON	#3	CONTAINER
RU	100	PHODODENDRON UNDAE	UNDAE WOOD	#3	CONTAINER
HS	31	PIAZA OMBRINA	RED FLOWERING CURLEAF	#3	CONTAINER
SA	50	SPYRAPHOROS ALBUS	COMMON BOWSBERRY	#3	CONTAINER
SJ	33	SPYRAPHOROS REDIGIANA	JAPANESE CORMORANT	#3	CONTAINER
SD	21	SPYRAPHOROS ORNIGELLATUS	ORNIGELLATUS	#3	CONTAINER
SP	11	SPYRAPHOROS LITTLE PRINCESS	LITTLE PRINCESS SPYRINA	#3	CONTAINER
SR	38	SARCOZOOCA RUSCOPIDA	FLEISCHBAUM	#3	CONTAINER
SD	37	SPYRAPHOROS	SARCOZOOCA	#3	CONTAINER
MS	20	MISOCANTHUS SMOGUS QUACILLUM	MADONNA GRASS	#3	CONTAINER
WI	7	WESTERNA FLORIBUNDA	JAPANESE WESTERN VINE	#3	STATE TO SCREEN
GROUND COVERS					
CM	48	CONYZOPSIS BETULIFOLIA MICHXAMIA	MOONBRAM TICKSEED	#1	CONTAINER
DV	44	CALLUNA VULGARIS PETER SPURNS	HEATHER	#1	CONTAINER
ED	148	CONYZOPSIS BETULIFOLIA JANGER	SUNSET TICKSEED	#1	CONTAINER
ED	72	ELPHORBIA CHARNOCLAS WULFEND	WOOD SPURGE	#1	CONTAINER
EL	14	ESCHOLZIA LAMIFLORA TOROPOD	WOOD 1/2 SUMMERS	#1	CONTAINER
EP	84	ESCHOLZIA PURPUREA MADRID	MADRID SUMMERS	#1	CONTAINER
GS	118	SALLICORNIA SPALLEN	SOGAL	#1	CONTAINER
GS	12	HESPERIS FORTUNEI HUES MANNINGIA	PLANITAN LILY	#1	CONTAINER
HS	118	HEMERICALIS STILLA TOPID	SATY LILY	#1	CONTAINER
LA	17	LAVANDULA STOECHAS	FRANZSEAN HYDRANGEA	#1	CONTAINER
RF	80	RUBRODIA PALMERA WOODS	BLACK EYES SUSAN	#1	CONTAINER
PE	80	PRODRACONIA TERNATA SC	JAPANESE SPURGE	100CM PD	CONTAINER
PE	20	PRODRACONIA TERNATA SC	RUSSIAN SAGE	#1	CONTAINER
WR	82	NEPTIS MANLYERS LOW	WALKERS LOW CACTUS	#1	CONTAINER

LIGHTING SCHEDULE:

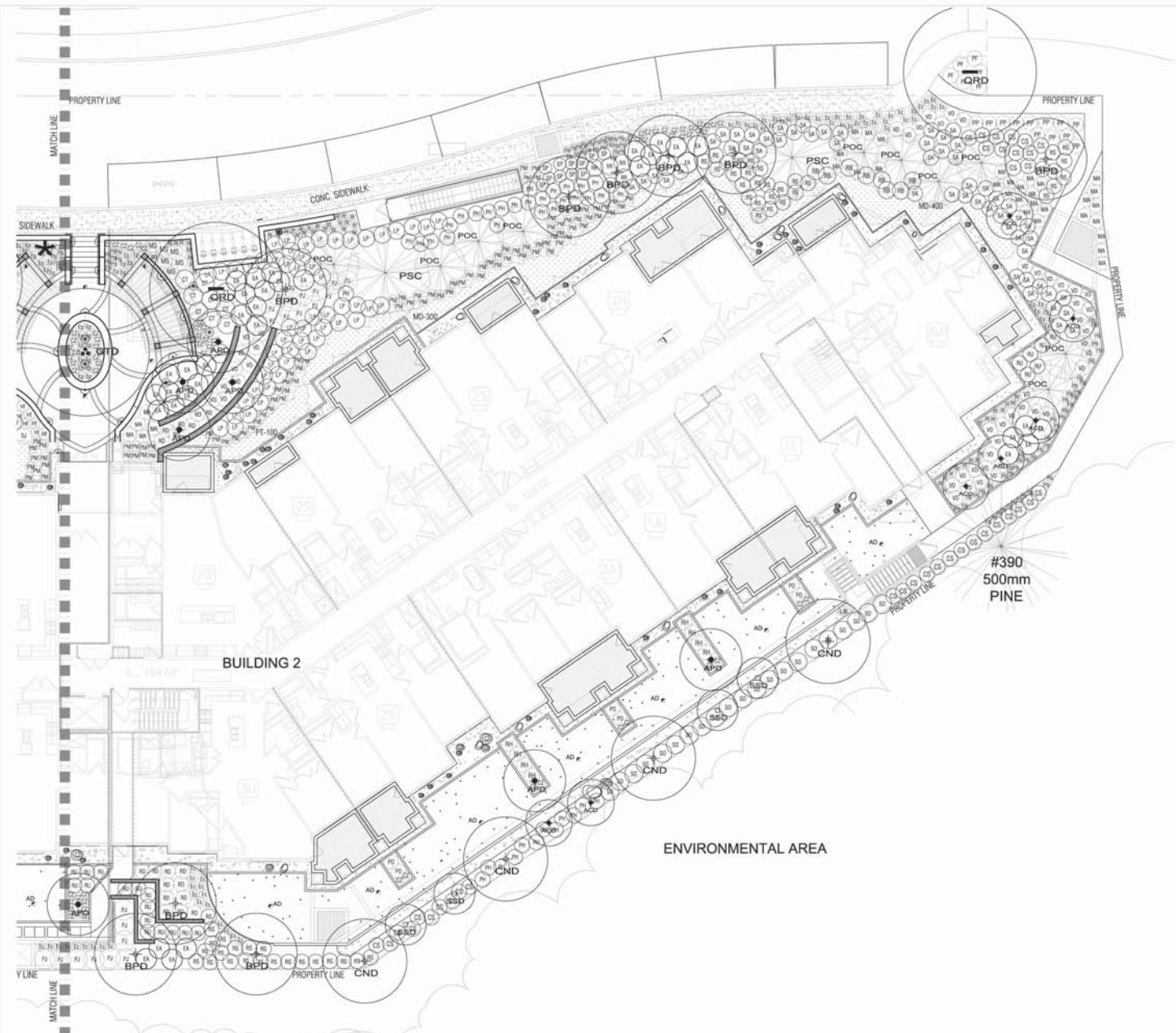
LEGEND	QTY.	MODEL No.	SPECIFICATIONS
1	45	PURALUCE 100-2088 8-80	OUTDOOR LED FOOTLIGHT, 24V, 100W, 4000K, 50 DEGREE SPIC, PUSH TO BE LAMPED BLACK
2	8	ANCLICE WESPA SC	ASD 210 STAINLESS STEEL BODY AND TMM ASS
3		NEW MODEL: 16-T170-14-US	210L STAINLESS STEEL SUPPORT BRACKET, SILICONE RUBBER GASKETS, M12 ASS 210L, STAINLESS STEEL, CARL LILAND, 4000K, 2.5M, 700MA, SUPPLIED WITH POWER CABLE DM

LIGHTING NOTE:

1. LIGHT FIXTURE AND ORDER ARE AVAILABLE FROM GACC - THE CONTACT: BROWN READER, PH 604 430-5561
2. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY INSTALLED AND PROTECTED USING ZONE CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT
3. ELECTRICAL WIRING TO BE IN ACCORDANCE WITH THE CANADIAN CODE TO BE INSTALLED WITHIN THE PLANDED OR UNDERNEATH PAVING SURFACE.
4. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.



PROJECT: HEADWATERS APARTMENT BUILDING
 15436, 31 AVENUE, SURREY, B.C.
 CLIENT: LAMWOOD GROUP DEVELOPMENTS LTD.
 ARCHITECT: BARRETT ARCHITECTURE INC.
 DATE: 2024-05-15
 DRAWN: [Signature]
 CHECKED: [Signature]
 SCALE: 1/4" = 1'-0"
 JOB NO.: [Number]
 SHEET TITLE: PLANTING PLAN - WEST
 SHEET NO.: L-8
 REV. NO.: [Number]



GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPE MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCMA OR BCMA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBJECT TO LANDSCAPE CONSULTANT'S APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED BY SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. SHOULDER AREAS: 12" (300MM) ON SLOPE; 12" (300MM) ON GRADE.
 - B. GROUND COVERS: 12" (300MM).
 - C. SHRUBS: 18" (450MM).
 - D. TREE FEET: 30" (750MM) WITH 12" (300MM) BELOW ROOT BALL.
5. LAWN AREAS SHALL BE SOODED WITH #4 PREMIUM RESIDENTIAL SOO.
6. ALL GRASS PLANTING AREAS SHALL HAVE GROUND COVERS: 14" (350).
7. 2" DEPTH OF 1" MINIMUM COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
8. PLANTING TYPES AND MATERIALS AS FOLLOWS:
 - WALKWAYS AND COMMON AREA: CAST IN PLACE CONCRETE W/ BROOM FINISH.
 - DRIVEWAYS: 150MM CONCRETE UNIT PAVING, 150MM PAVEL, 150MM COURTY STONE-TYPE 3, COLOR FINISH. MINIMUM 150MM COURTY STONE-TYPE 1, COLOR FINISH. AVAILABLE FROM AMVIC/CPD CONCRETE PRODUCTS PH: 1.800.663.4091, WWW.PAVINGSTONES.COM
 - WEST COURTYARD: COLORED CONCRETE FINISH, LIGHT SAND BLAST FINISH. DOES NOT INSTALL TROWEL EDGE. INSTALL SAW CUT CONTROL JOINTS EVERY 8FT. O.C.
 - CONC. COLOR C1: 300 COMMON (SOLID COLOR); COLORFUL LIQUID COLOR CANS (CONC. COLOR C2: 300 LATHEN (SOLID COLOR); COLORFUL LIQUID COLOR CANS).
 - DECORATIVE SAND TO BE PRIMAVERA (SOLID COLOR); COLORFUL LIQUID COLOR CANS.
 - WITH THE NATIONAL ASPHALT PAVEMENT ASSOCIATION STANDARDS.
 - NORTH COURTYARD: COLORED CONCRETE FINISH, BROOM FINISH. DOES NOT INSTALL AGGREGATE SAND. DOES NOT INSTALL TROWEL EDGE. INSTALL SAW CUT CONTROL JOINTS EVERY 8FT. O.C.
 - CONC. COLOR: 300 TOPPER (SOLID COLOR); COLORFUL LIQUID COLOR CANS).
 - CONTRACTOR TO PROVIDE A 3'X3' MOCK-UP PANEL OF COLORED CONCRETE ON SITE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. UNAPPROVED FINISHING COLORED CONCRETE SHALL RESULT IN REMOVE OF ALL CONCRETE AT THE COST OF THE CONTRACTOR.
9. NOO AND HOLDER MATERIALS:
 - ALL HOLDERS SHALL BE SMOOTH FINISH, POLISHED FROM MINER OR FELD. DO NOT SUPPLY STRAIGHT OR SPUR FACED STONE. THEY WILL BE REJECTED. PROVIDE 4PCS PHOTO OF STONE TO LANDSCAPE ARCHITECT FOR APPROVAL. HOLDERS TO BE EMBEDDED INTO GRADE DO NOT REST ON SURFACE.
 - SIZES REFER TO KEY BELOW:
 - A: 3" Ø TO 4" Ø DIAMETER
 - B: 2" TO 3" Ø DIAMETER
 - C: 2" TO 2" Ø DIAMETER
10. REFER TO ALPHABETICAL KEY "A" TO "O" ON LANDSCAPE PLAN.
11. IRRIGATION AUTOMATIC IRRIGATION SYSTEM DESIGN SHALL TO BE REQUIRED FOR ALL COMMON LANDSCAPE AREA.
12. FINISH SECTION OF STREET TREES SHALL BE MADE BY CITY OF SURREY PARKS AND RECREATION DEPARTMENT.
13. ROAD GRADING AND DRAINAGE LEFT GRADING BY CIVIL ENGINEERING ARCHITECTURAL.
14. OUTDOOR LIGHTING TYPE AND LOCATION DRAWN BY LANDSCAPE ARCHITECT. ALL LIGHTS SHALL BE LOW VOLTAGE. SELECTION BY OWNER. ALSO SEE ELECTRICAL ENGINE DRAWINGS FOR MANUFACTURE TYPE, SPECIFICATIONS & UNDERGROUND WIRING REQUIREMENTS.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
ACD	8	ACER CROCINATUM	VINE MAPLE	2.75M HT	8.8 B (MULTI STEM)
APD	15	ACER PALMATUS	JAPANESE MAPLE	3.5M HT	8.8 B (MULTI STEM)
BPD	10	BETULA PAPPYRIFERA	PAPER BIRCH	3.5M HT	8.8 B (MULTI STEM)
CND	10	CORNUS NUTALLII	PACIFIC DOGWOOD	5.0M CAL.	8.8 B
CLD	10	QUERCUS TROCANICA (SUMMER)	SHANKER OAK (LAUREL-HONEYLOCUST)	5.0M CAL.	8.8 B
POC	20	PICTA QUERCUS	STRIPED SPRUCE	3.5M HT	8.8 B
PSC	2	PRUNUS SPINE	SPRUE PINE	3.0M HT	8.8 B
QCD	4	QUERCUS RUBRA	RED OAK	5.0M CAL.	8.8 B
SSD	4	SHIBBIPOTENSIS	WESTERN MOUNTAIN ASH	5.0M CAL.	8.8 B
SHRUBS					
CT	56	CHENYD TENAZATA	MEXICAN MOCK ORANGE	#3	CONTAINER
ES	27	EUONYMUS ALATUS	RED TIBET DOGWOOD	#3	STAKE TO GREEN
GA	48	EUONYMUS ALATUS COMPACTUS	SHARP BURNING BUSH	#3	CONTAINER
LS	75	LINDERA FLUCIDA	PERNET HOPEFULSUGLE	#3	CONTAINER
MA	47	MANDARIN ADIFOLIUM	DRESDEN GRAPE	#3	CONTAINER
PD	21	PRUNUS (LTD) LINDEN	OTTO LINDEN (LAPREL)	#3	CONTAINER
PM	118	POXYSTICHIA MARIANA	WESTERN BRACKEN FERN	#3	CONTAINER
PT	6	POTENTILLA FRUTICOSA	SPRIBERY CHERRYBLOSS	#3	CONTAINER
PL	12	PRUNUS MAMO PAVLOV	CHERRY MAO PAVLOV	#3	CONTAINER
PJ	41	PRUNUS JAPONICA FOREST FLAME	JAPANESE PIRNS	#3	CONTAINER
PR	36	PRUNUS SPINOSA SPINOSA	MEDEBAR	#3	CONTAINER
RD	18	RHOXODENDRON DODDIA AMETIS	DODDIA AMETIS RHODO.	#3	CONTAINER
RI	14	RHOXODENDRON HYBRID	ROYAL PINK RHODO.	#3	CONTAINER
RI	45	RHOXODENDRON HOUBELLEI	HOUBELLEI RHODO.	#3	CONTAINER
RI	45	RHOXODENDRON HOUBELLEI	FANTASTIC RHOXODENDRON	#3	CONTAINER
RI	155	RHOXODENDRON HYBRID	SHADE RHODO.	#3	CONTAINER
RS	51	RIBES SANGUINEUM	RED FLOWERING CURRANT	#3	CONTAINER
SA	55	SAMPHOXICARPUS ALBUS	COMMON BACCHOSPPH	#3	CONTAINER
SJ	20	SHIMADA JAPONICA NEVADENSIS	JAPANESE SHIMADA	#3	CONTAINER
SO	21	SAMPHOXICARPUS OBOVATUS	SMART RED	#3	CONTAINER
SP	11	SPINARIA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPINARIA	#3	CONTAINER
SR	30	SARCOCOCCA RUSCIFOLIA	FRAGRANT SWEETWOOD	#3	CONTAINER
VS	57	VERONICA SPINOSA	SPINOSA VERONICA	#3	CONTAINER
MS	20	MISCANTHUS DENNISII GRACILIMUS	MAIDEN GRASS	#3	CONTAINER
WI	2	WESTERNA FLORIBUNDA	JAPANESE WESTERNA VINE	#3	STAKE TO SCREEN
GROUND COVERS					
CM	48	CONOPSEUS VERUCILLATA WOODCREAM	MOONBEAM FOXGLOVE	#1	CONTAINER
CV	44	CALUNA MAJORIS PETER SPINKS	HEATHS	#1	CONTAINER
CV	146	CONOPSEUS VERUCILLATA LAUREN	ZAGERS FOXGLOVE	#1	CONTAINER
EL	72	ELYPHOBIA CHARACTIS WILDSPUR	WOOD SPURGE	#1	CONTAINER
EL	14	EROPHYLLUM LAMNARIS SCHROED	WOLLY SUNFLOWER	#1	CONTAINER
EP	84	ECOPHACIA PUMPOURA WANDLER	MANGUS CORNELLORER	#1	CONTAINER
IS	118	SALIX NIPA SPALLER	SALIX	#1	CONTAINER
IS	17	HOSEA TORIANGI LAUREL MANANITA	LAUREL MANLY	#1	CONTAINER
IS	115	HENOPHCIA STYLLA OROD	DAFF LAY	#1	CONTAINER
LA	11	LAMNARIS LAETEVENS	SPINER LAANDER	#1	CONTAINER
RF	50	RUBRO-COCA FULGIDA W/ GOLDSTRIP	BLACK EYES DUGAN	#1	CONTAINER
RF	50	RUBRO-COCA FULGIDA W/ GOLDSTRIP	JAPANESE SPURGE	1000 POT	CONTAINER
PL	25	PEROVSKIA ATROP SCOLIA	RUSSIAN SAGE	#1	CONTAINER
ML	82	MEPETA WALKERS LOW	WALKERS LOW CATWART	#1	CONTAINER

LIGHTING SCHEDULE:

LEGEND	QTY.	MODEL No.	SPECIFICATIONS
⊙	45	PUNALUCE ELO 20587-5-80	OUTDOOR LED FROST-OUT 20W. 200MA. 8000K. 80 DEGREE OPTIC. IP67 TO BE IANGLURED BLACK.
⊙	5	ARCULUC WESBA-3C NEW MODEL: W-T20-14-05	40W 21W. STAINLESS STEEL BODY AND TRIM. AOD TRIM. STAINLESS STEEL SUPPORT BRACKET. SILICONE RUBBER GASKETS. M12 AOD 3/16". STAINLESS STEEL CABLE BAND. AOD. 4000K. 2.5M. TRIM. SUPPLIES WITH POWER CABLE 2M.

LIGHTING NOTE:

1. LIGHT FIXTURE AND ORDER ARE AVAILABLE FROM SACC - RAL. CONTACT: ROBIN HAZLER, PH: 604-650-5961
2. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY PHOTOCELL AND TIMING DEVICE. WIRING CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT.
3. ELECTRICAL WIRE TO BE 14 AWG UNBUNDLED WIRE. TRIM COUPLER TO BE REQUIRED WITHIN THE PLANTER OR UNDERNEATH PAVING SURFACE.
4. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.

REVISIONS
 1. 10/20/2024
 2. 10/20/2024
 3. 10/20/2024

PROJECT
HEADWATERS APARTMENT BUILDING
 15436, 31 AVENUE, SURREY, B.C.
 CLIENT: LAKEWOOD GROUP DEVELOPMENTS LTD.
 ARCHITECT: BARRETT TEAM ARCHITECTS INC.



DATE: 10/20/2024
 DESIGN: [Signature]
 DRAWN: [Signature]
 CHECKED: [Signature]
 SCALE: 1/8" = 1'-0"
 JOB NO. 18-001

PLANTING PLAN - EAST
 SCALE: 1/8" = 1'-0"

SHEET TITLE
PLANTING PLAN - EAST
 SHEET NO. [Blank]
 REV. NO. [Blank]
 SCALE: 1/8" = 1'-0"
 JOB NO. 18-001
L-9

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 24, 2017** PROJECT FILE: **7817-0413-00**

RE: **Engineering Requirements
Location: 15436 31 Ave**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE

Property and Right-of-Way Requirements

- There are no additional road dedications required, nor are there any existing road dedication issues or requirements at this location;

Works and Services

- There are no works and services required at this location, as this site has been fully serviced under Surrey Project 7806-0263-00.

A Servicing Agreement is not required prior to Rezone.

DEVELOPMENT PERMIT AMENDMENT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to the Development Permit Amendment and Development Variance Permit.

However, the applicant is to ensure that all Engineering legal documents required for this project are executed prior to issuance of the Building Permit.



Tommy Buchmann, P.Eng.
Development Engineer

M51



Planning October-10-17

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0413 00

SUMMARY

The proposed 89 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	6
Secondary Students:	4

September 2018 Enrolment/School Capacity

Morgan Elementary	
Enrolment (K/1-7):	43 K + 385
Capacity (K/1-7):	60 K + 375
Earl Marriott Secondary	
Enrolment (8-12):	1856
Nominal Capacity (8-12):	1500
Maximum Operating Capacity*(8-12):	1620

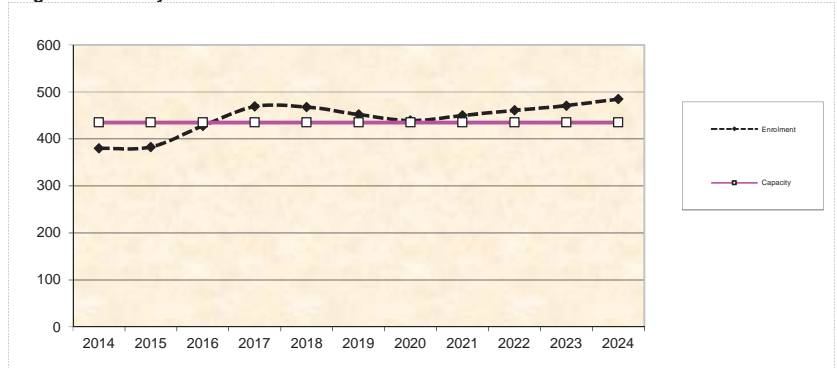
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

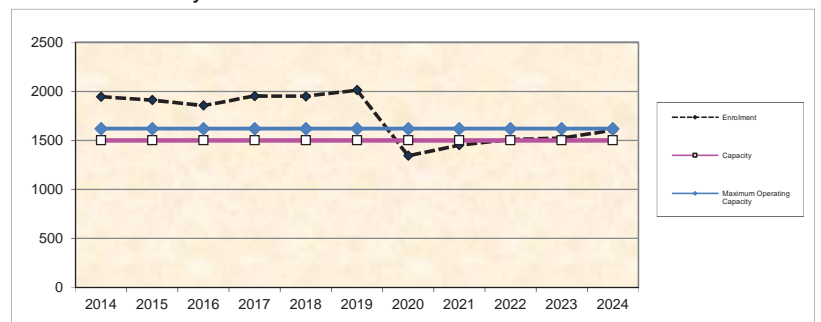
The district recently completed a 4 classroom addition at Morgan elementary to help relieve some of the enrolment pressure at Sunnyside. As noted in the graph, we expect enrolment in the Morgan catchment to starting growing in 2020. This growth will be monitored by the District over the next several years to determine if another addition will be required to meet future growth demands.

To relieve the enrolment pressure at Earl Marriott Secondary, a new 1500 capacity high school located East of 168th Avenue North of 25th Avenue is currently in the design phase and is targeted to be open for September 2020.

Morgan Elementary



Earl Marriott Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students..
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0413-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: Various

Strata Lots 1-62 Section 23 Township 1 New Westminster District Strata Plan BCS4457
Together With an Interest in the Common Property in Proportion to the Unit Entitlement
of the Strata Lot as Shown on Form V

15428 - 31 Avenue

Parcel Identifier: 027-771-547

Lot A Section 23 Township 1 New Westminster District Plan BCP39265 Except Phase One
Strata Plan BCS4457

15436 - 31 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

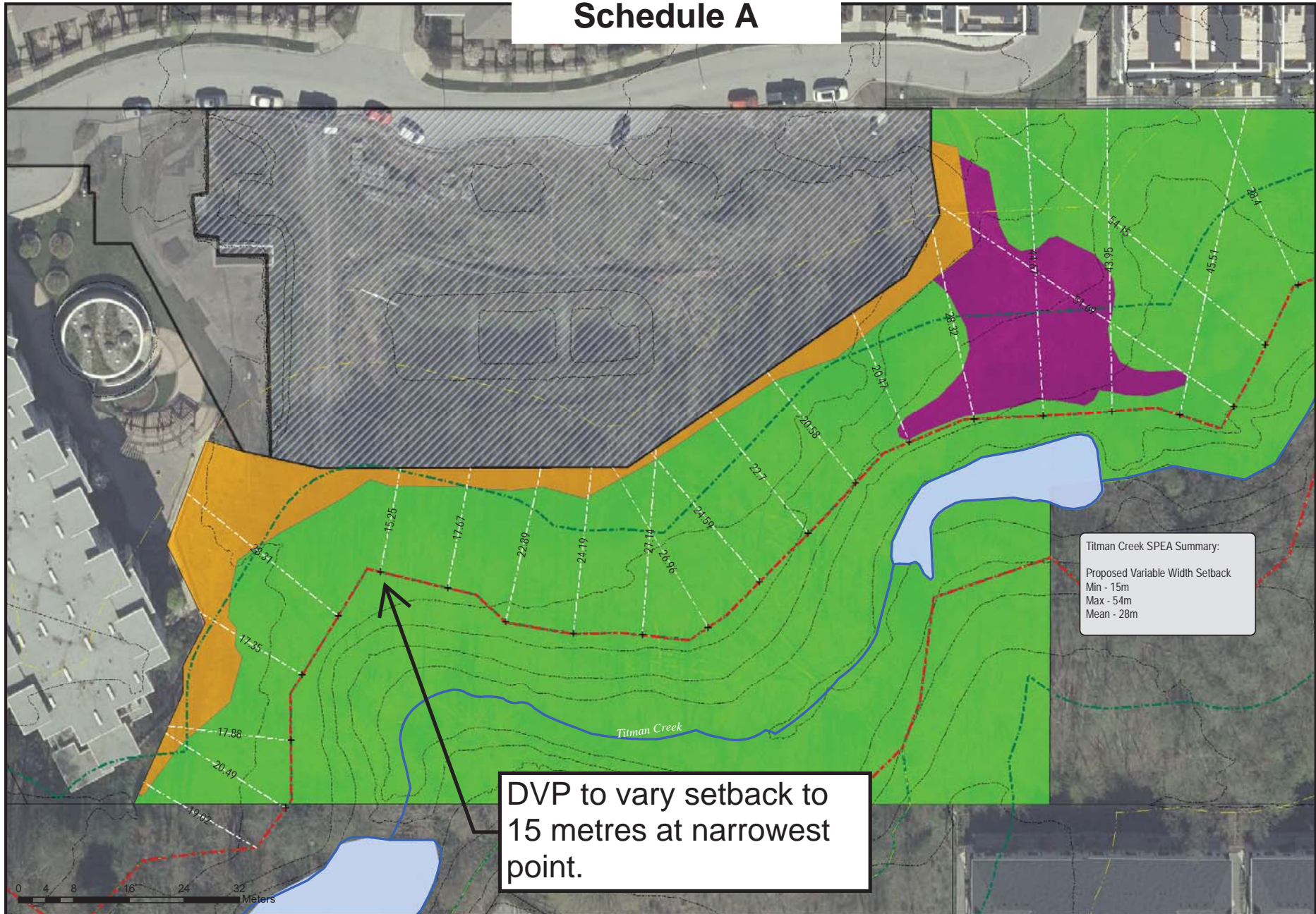
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) To reduce the minimum setback distance from the top of bank from a Class A stream from 30.0 metres (100 ft.) to 15.0 metres (50 ft.) at the narrowest point to allow for the proposed Phase 2 building.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Schedule A



Titman Creek
Headwaters Project
Phase 2

Proposed SPEA
Transect Analysis

SPEA Setback Planning

Legend

- Watercourse
- Waterbody
- Surveyed ToB
- Riparian Assessment Area
- 15m SPEA
- 1m Contour
- Cadastral Boundaries

Proposed SPEA

- Cleared (788m²)
- Disturbed Invasive (632m²)
- SPEA
- + Transect Station
- SPEA Width Transect

Titman Creek SPEA Summary:
Proposed Variable Width Setback
Min - 15m
Max - 54m
Mean - 28m

DVP to vary setback to
15 metres at narrowest
point.



Figure 3

Scale - 1:750
Revised: July 7, 2017
by: R. Preston
NAD 83, UTM zone 10



CITY OF SURREY

BY-LAW NO. _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2008, No. 16558"

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2008, No. 16558 is hereby amended as follows:
 - (a) Part 2, Section D. Density is amended by deleting the existing Sub-section 2.D.1(b)ii and inserting the following new Sub-section 2.D.1(b)ii as follows:
 - "ii. The maximum *unit density* shall not exceed 138 *dwelling units* per hectare [56 u.p.a.];"
 - (b) Part 2, Section H. Off-Street Parking is amended by deleting the existing Sub-section 2.H.2 and inserting the following new Sub-section 2.H.2 as follows:
 - "2. Notwithstanding Table C.1, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, a minimum of 17 parking spaces shall be provided as customer and employee parking for uses listed under Sub-section 2.B.1(b) of this Zone."
- 2. This By-law shall be cited for purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2008, No. 16558, Amendment By-law, 2017, No. _____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK