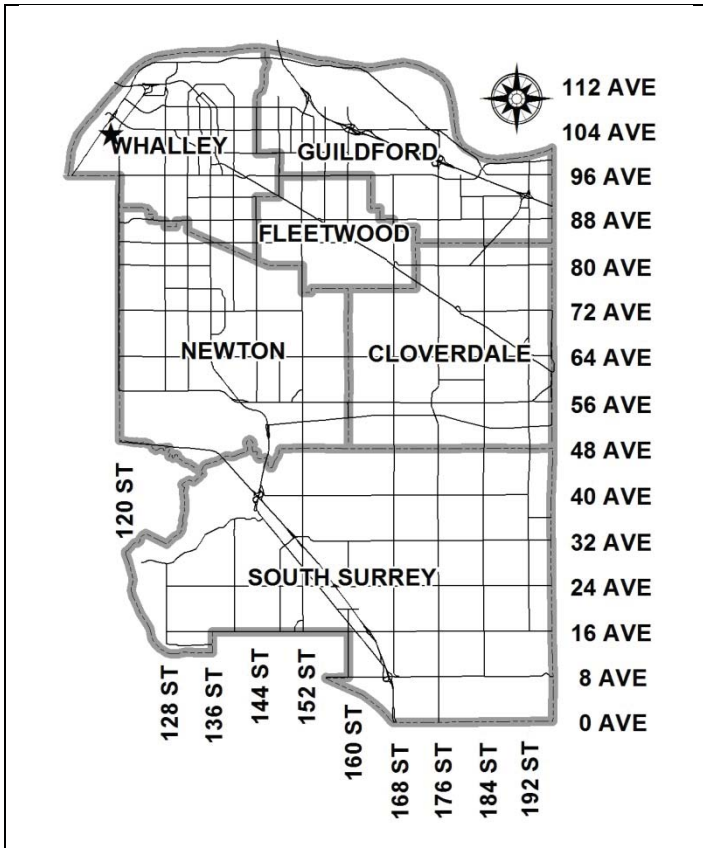


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0403-00

Planning Report Date: November 20, 2017



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

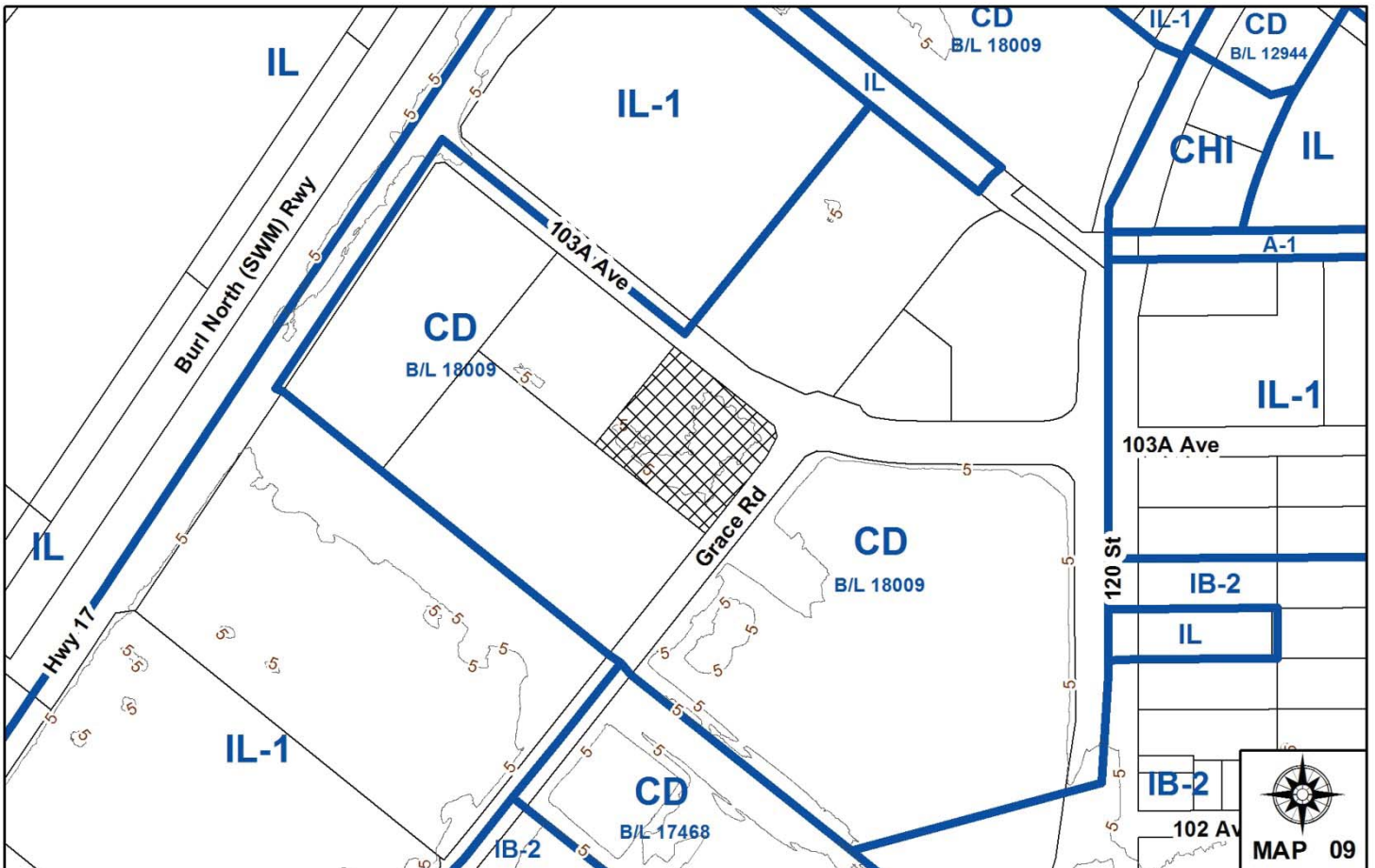
to permit the development of an industrial building in South Westminster.

LOCATION: 10323 - Grace Road

ZONING: CD (By-law No. 18009)

OCP DESIGNATION: Industrial

NCP DESIGNATION: Light Impact Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a rear (west) yard setback relaxation from 7.5 metres (25 ft.) to 7.2 metres (24 ft.).

RATIONALE OF RECOMMENDATION

- Complies with the South Westminster NCP.
- The proposed density and building form are appropriate for this part of South Westminster, within the Pacific Link Industrial Park.
- The proposed building incorporates high quality materials and design which is appropriate as the subject site is located at the intersection of 103A Avenue and Grace Road and is considered a gateway location into the City given the proximity to South Fraser Perimeter Road (SFPR).
- The proposed relaxation to the west yard setback will allow for a more efficient industrial layout.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0403-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7917-0403-00 (Appendix III), varying the minimum rear (west) yard setback of the CD Zone (By-law No. 18009) from 7.5 metres (25 ft.) to 7.2 metres (24 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (d) registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the Fraser River Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a floodplain area and that any buildings or structures constructed upon the lot may be damaged by flooding or erosion.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant preloaded site.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 103A Avenue):	Vacant pre-filled property.	Light impact industrial.	CD (By-law No. 18009)

Direction	Existing Use	NCP Designation	Existing Zone
East (Across Grace Road):	Industrial building.	Highway commercial	CD (By-law No. 18009)
South:	Industrial building.	Light impact industrial.	CD (By-law No. 18009)
West:	Vacant pre-filled property (Development Permit Application No. 7916-0631-00 for an industrial building was approved on May 29, 2017).	Light impact industrial.	CD (By-law No. 18009)

DEVELOPMENT CONSIDERATIONS

- The subject site is located on the southwest corner of 103A Avenue and Grace Road and has a developable site area of 0.92 hectare (2.3 acres). The site was created through subdivision application No. 7995-0143-00 as part of a 16-lot industrial subdivision.
- The lot is currently designated Industrial in the OCP, and Light Impact Industrial in the South Westminster Neighbourhood Concept Plan (NCP).
- In 2013, the site along with eight other neighbouring properties all owned by the same owner, were rezoned from CD Bylaw No. 16736 to CD By-law No. 18009, which provided additional uses for the subject site including an increase of retail sales or display area to the public for light impact industrial uses from 20% to 35% of the gross floor area, eating establishments including drive-through restaurants and community services, as well as the previous permitted uses including light impact industry, warehouse uses, distribution centres, indoor recreational facilities, limited office uses and limited accessory uses.
- The applicant has applied for a Development Permit to allow for an industrial warehouse building which includes office and showroom space for the import and distribution of woodworking specific hardware which is a permitted use under the CD Zone (By-law No. 18009).
- The proposed building is 3,106 square metres (33,430 sq. ft.) in area which includes 2,610 square metres (28,090 sq. ft.) of office, 295 square metres (3,180 sq. ft.) of warehouse, and 180 square metres (1,930 sq. ft.) of showroom, which results in a floor area ratio (FAR) of 0.34 and lot coverage of 34%. This proposal is within the 1.0 FAR and 60% lot coverage permitted under the CD Zone (By-law No. 10889).

PRE-NOTIFICATION

- According to Council policy, a Development Proposal Sign was installed on the subject site on November 1, 2017 to inform adjacent owners about the proposed development. No telephone calls or letters have been received.

DESIGN PROPOSAL AND REVIEW

Building Design

- The proposed warehouse is currently intended for distribution, office and showroom usage.
- The site has been preloaded for several years, which is necessary due to the soil conditions in the area. The proposed building is to be constructed at approximately 5 metres (16 ft.) geodetic elevation which is above the approximate 2.7 metres (9 ft.) and 3.7 metres (12 ft.) geodetic elevations along Grace Road and 103A Avenue, respectively.
- The proposed building is 12.8 metres (42 ft.) in height, which is lower than the maximum 14 metres (46 ft.) permitted in the CD Zone (By-law No. 10889).
- The proposed building is made of tilt-up concrete panels with the office and showroom components incorporating substantial glazing along 103A Avenue and Grace Road.
- The majority of the proposed building consists of warehouse areas with ten loading bays along the rear. The 475-square metre (5,115 sq. ft.) office component and showroom are incorporated into the northeast corner of the building.
- The highly visible front (north) façade faces 103A Avenue. The industrial portion of the north façade consists of light grey panels with six long vertical glazing/window segments inserted along the façade to provide some visual interest. The office/showroom component of the north façade includes the main entrance with substantial glazing and accented with wood styled metal cladding. A metal canopy helps define the main entrance into the building and provides additional interest to the exterior of the building.
- The east façade faces Grace Road and is primarily white along the bottom half and grey along the upper half. The corner of the façade is primarily glazing and a series of fins protrude from the building to provide some visual interest.
- The rear elevation (south) is painted different shades of medium to light grey and includes a metal corrugated canopy for weather protection to the 14 loading bays.
- The west elevation faces an adjacent industrial building and is composed of ten large concrete panels with two white panels closer to 103A Avenue and eight medium grey panels along the rest of the façade.
- The proposed building incorporates high quality materials and design which is appropriate as the subject site is considered a gateway location into the City. It is located approximately 250 metres (8220 ft.) east of the South Fraser Perimeter Road (SFPR) and is also at a busy traffic intersection.
- The owner has designed the building so that it can be converted into multiple warehouse units in the future through simple modifications.

Landscaping

- As the site is currently pre-loaded, there are no existing by-law sized trees on the site. There are eight boulevard trees which will all be retained (see Appendix IV). The applicant is proposing to plant 35 trees as part of the proposed landscaping plan for the site.
- A continuous 6-metre (20 ft.) wide landscape strip is proposed along the north and east lot line of the site, adjacent to 103A Avenue and Grace Road. Landscaping consists of sweet gum, cypress, maple and magnolia trees with shrubs underneath.
- In addition to the proposed frontage landscaping, nine landscaped islands within the surface parking lot will be planted with trees and shrubs.
- The driveway entrances and walkway to the main entrance of the building are proposed to be constructed of natural grey sawcut concrete.
- The south side yard will be used primarily for truck loading and parking and will be fenced off for security with 1.8-metre (6 ft.) tall black vinyl coated fencing. Garbage facilities will be located along the southeast property line at the rear of the building and will be enclosed by a cast-in-place concrete compound that will be finished the same as the proposed building.

Parking, Circulation and Access Easements

- The applicant proposes to retain the two existing accesses from 103A Avenue and Grace Road which are shared with the neighbouring properties (11850 - 103A Avenue and 10299 - Grace Road.)
- A 7.5-metre (25 ft.) wide access easement exists along the east side and a 9.5-metre (31 ft.) wide access easement exists along the south sides of the property. These access easements are equally shared with the neighbouring lands (11850 - 103A Avenue and 10299 - Grace Road).
- The proposed development incorporates 52 surface parking spaces which is in excess of the 41 parking spaces required under the Zoning By-law. The applicant proposes that majority of spaces be located in the front yard of the north and west property lines.
- The south end of the site will be used primarily for truck loading.

Signage

- The proposal incorporates two large fascia signs with one on each of the north and east elevations. The proposed signs are individual channel letters that will be internally lit. Both of the proposed signs comply with the Sign By-law.
- No free-standing sign is proposed at this time.

ADVISORY DESIGN PANEL

This application was not referred to ADP but was reviewed by Planning & Development staff and found to be generally acceptable.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 12, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Consistent with NCP designation and design guidelines for the Pacific Link Industrial Park.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Building is designed to be easily converted in the future as tenants vacate.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Drought tolerant landscaping. • Garbage and recycling enclosures.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking provided • Site is located close to frequent transit network. • Sidewalk connections to building are provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • All parking areas visible. • Camera based security. • Clear points of entry and access.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Energy Star certification.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Building designed to suit end user.

BY-LAW VARIANCE AND JUSTIFICATION**(a) Requested Variance:**

- Seeking to reduce the minimum rear (west) yard setback under the CD Zone (By-law No. 18009) to the principal building from 7.5 metres (25 ft.) to 7.2 metres (24 ft.).

Applicant's Reasons:

- The proposed variance will allow for more efficient use of the lot.
- The side (south) yard acts as a functional rear yard as the truck loading and maneuvering area as well as primary lane access are located south of the proposed building.
- The proposed variance will not inhibit vehicular movement through the drive aisle to the west side of the building.

Staff Comments:

- The proposed variance allows the building to be shifted closer to the west drive aisle to make for more efficient and flexible land use.
- Due to the existing access easement, the rear (west) yard has limited functionality.
- The proposed reduced setback is located in the interior of the industrial park and the subject site owner also owns the neighbouring lots.
- Truck loading and maneuvering are located within the southern setback and not the western setback.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Development Variance Permit No. 7917-0403-00
Appendix IV.	Summary of Tree Survey and Tree Preservation

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 18009)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (East)	6 metres	20.8 metres
Rear (West)	7.5 metres	7.2 metres
Side #1 (North)	6 metres	20.4 metres
Side #2 (South)	7.5 metres or 0 metre	24.2 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	14 metres	12.8 metres
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		496 m ²
Total		
FLOOR AREA: Industrial		2,578 m ²
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,095 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.00	0.34
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	14.9	
Industrial	25.7	
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	41	52
Number of accessible stalls	1	2
Number of small cars	14	
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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Pacific Link - Lot 13

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ARCHITECTURE + DESIGN INC.
Pacific Link - Lot 13
10323 Grace Road, Surrey BC



View from North East



View from North East - Close Up

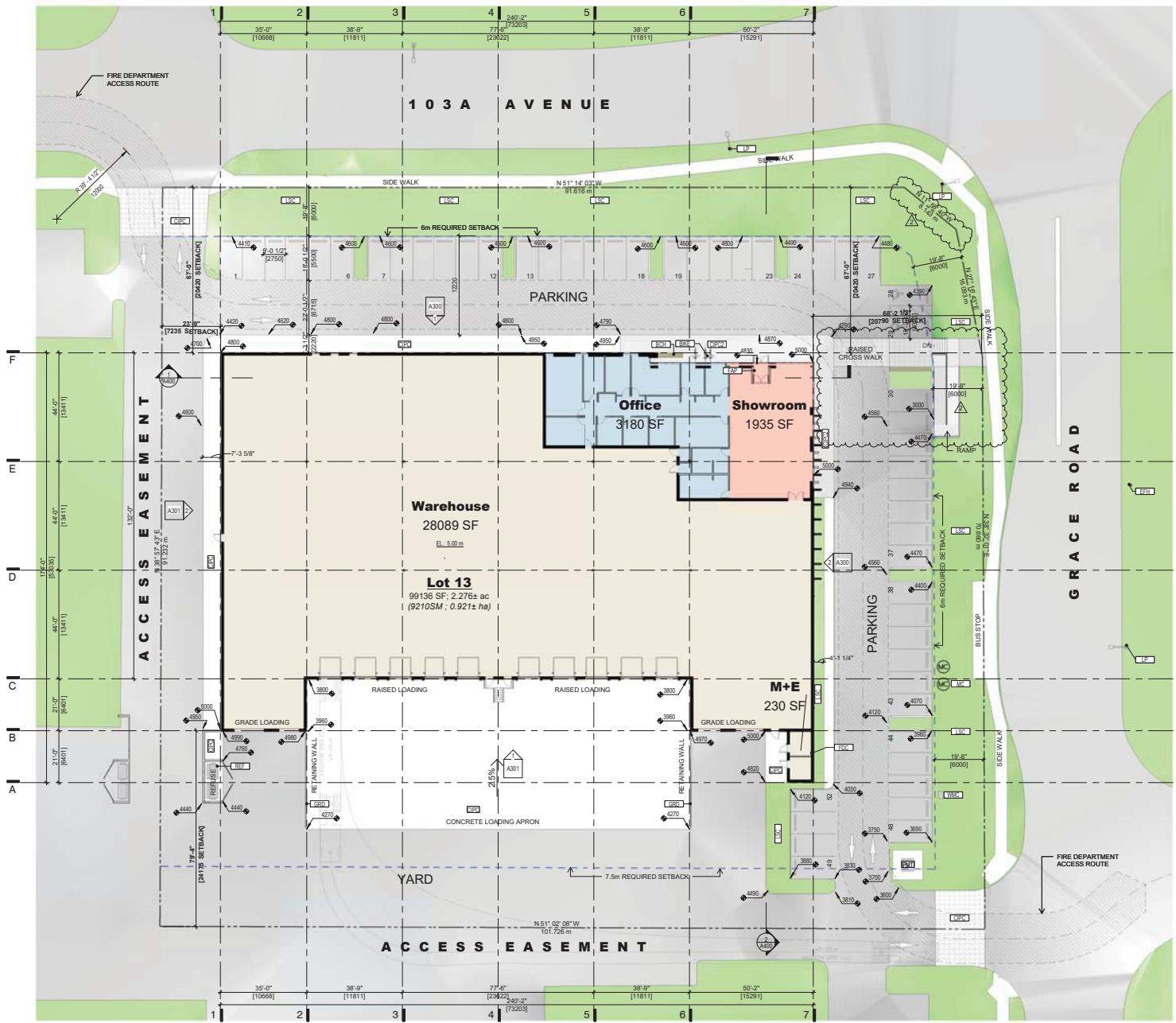


View from South East



View from North West

2	171020	Re-issued for Development Permit
1	170816	Issued for Development Permit
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SCALE:	DATE: October 24, 2017	DRAWN: Author
PROJECT NUMBER		Project Number
<small>City of Surrey Development 1702, Pac Link - Lot 13 FILE PATH: C:\work\1702\1702.dwg</small>		



ZONING SUMMARY:

PROJECT NAME: Pacific Link - Lot 13
PROJECT ADDRESS: 10323 Grace Road, Surrey BC
LEGAL DESCRIPTION: Lot 13, District 10, Group 2, New Westminster District Plan BC931641 (PID 027-170-365)

AUTHORITY: City of Surrey
 Zoning Bylaw #12000
ZONE: CD - Comprehensive Development
USES: Principal: Light Impact Industrial - Warehouse
 Accessory: Office, Showroom

EASEMENTS: 1.5m SRW on north and east PL

SETBACKS:

Required	Proposed
103A Avenue - North Yard: 6m	28.4m
Grace Road - East Yard: 6m	28.9m
West Yard: 0m	7.2m
South Yard: 7.5m	24.2m

Floor Area Ratio: Proposed: 0.34, Permitted: 1.0

Gross Floor Area

Use	Proposed	Permitted
Warehouse	28090 SF	2610 m ²
M+E	230 SF	21 m ²
Office	3180 SF	295 m ²
Showroom	1930 SF	180 m ²
Total	33430 SF	3106 m²

Site Area: 99136 SF, 9210 m²

Height: Proposed: 42'-0" (12.8m), Permitted: 45'-0" (14m)

Parking:

Category	Required	Proposed
Regular (5.0m x 2.7m)	52	52
Small (5.0m x 2.0m)	-	7
WC (5.0m x 4.0m)	-	2
Total	52	61

Use:

Use	Required
Warehouse (1/100m)	26.3
Office (2/100m)	8.9
Showroom (2/100m)	5.4
Total	41

Loading: Proposed: 14 Bays



- KEY**
- BCH BENCH
 - BIKE BIKE RACK
 - CPC CAST-IN-PLACE CONCRETE
 - CPC2 CAST-IN-PLACE CONCRETE TYPE 2
 - SANDLAST FINISH
 - EFH EXISTING FIRE HYDRANT
 - FAP FIRE ALARM PANEL: SEE ELECTRICAL
 - FDC FIRE DEPARTMENT CONNECTION
 - GRD GUARD RAIL: PAINTED STEEL PIPE
 - LP STREET LAMP POST
 - LSC LANDSCAPING: SEE LANDSCAPE DETAILS
 - MC METAL CLADDING
 - PMT PAD MOUNT HYDRO TRANSFORMER
 - REF CONCRETE REFUSE ENCLOSURE WITH CHAINLINK GATES TO MIN. 2.5m ABOVE ADJACENT GRADE
 - WMC WATER METER CHAMBER: SEE CIVIL

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1	17/02/18	Issued for Development Permit

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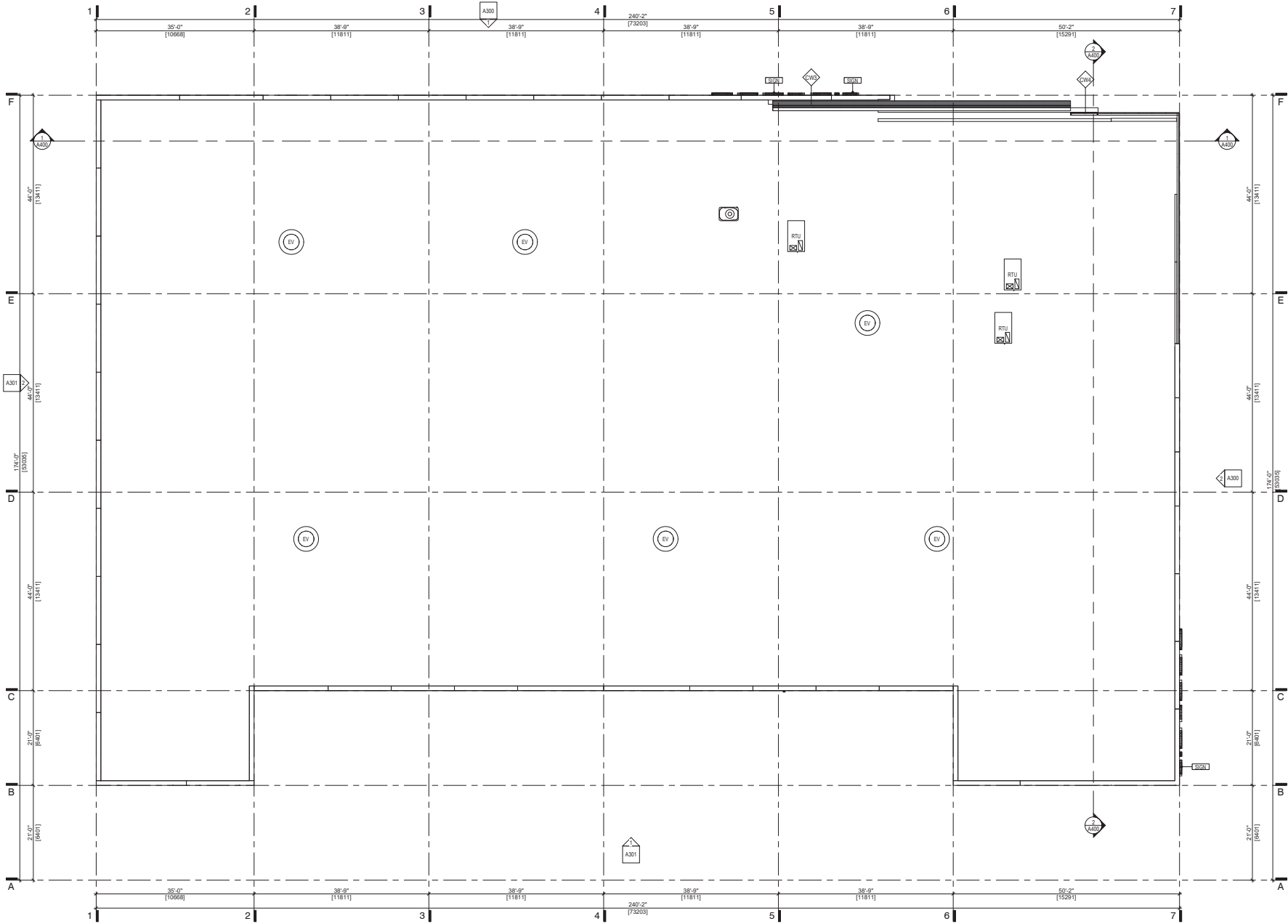
Pacific Link - Lot 13
 10323 Grace Road, Surrey BC

Site Plan

A100



KEY
EV EXHAUST VENT
RTU ROOF TOP UNIT
SIGN SIGNAGE; BY OWNER



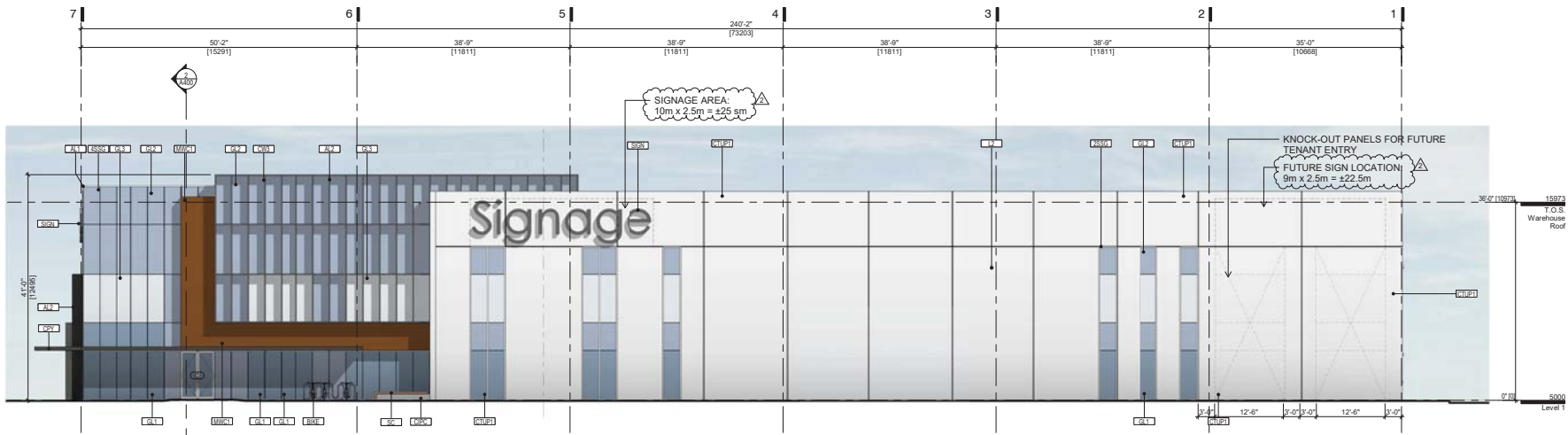
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PROJECT NUMBER		Project Number
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ARCHITECTURE + DESIGN INC

Pacific Link - Lot 13
10323 Grace Road, Surrey BC

Roof Plan
A120

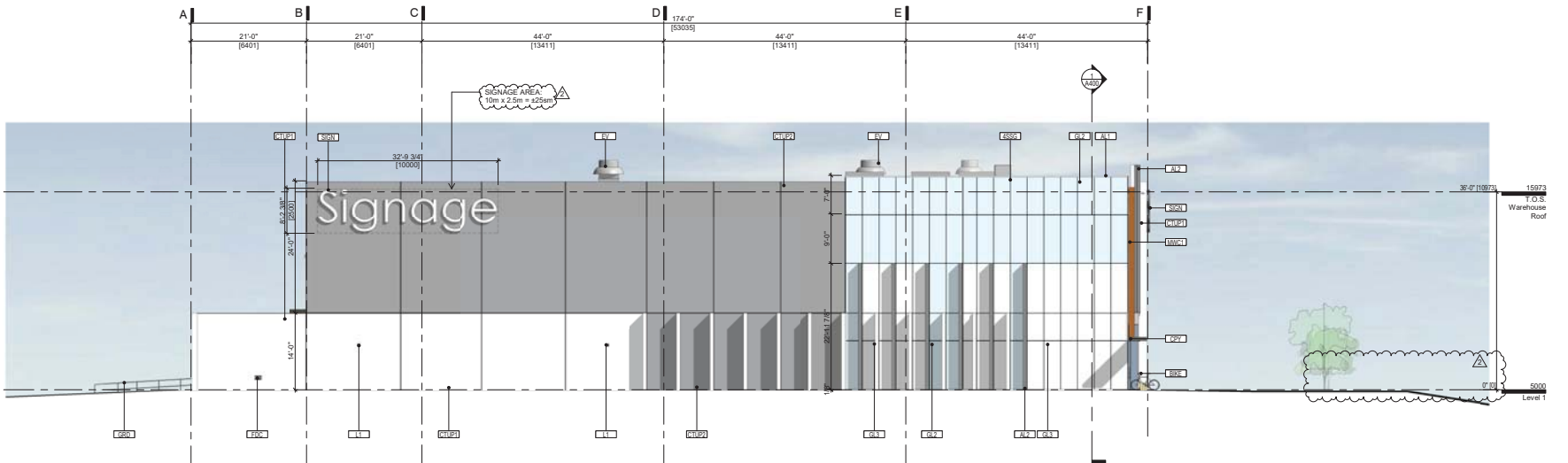




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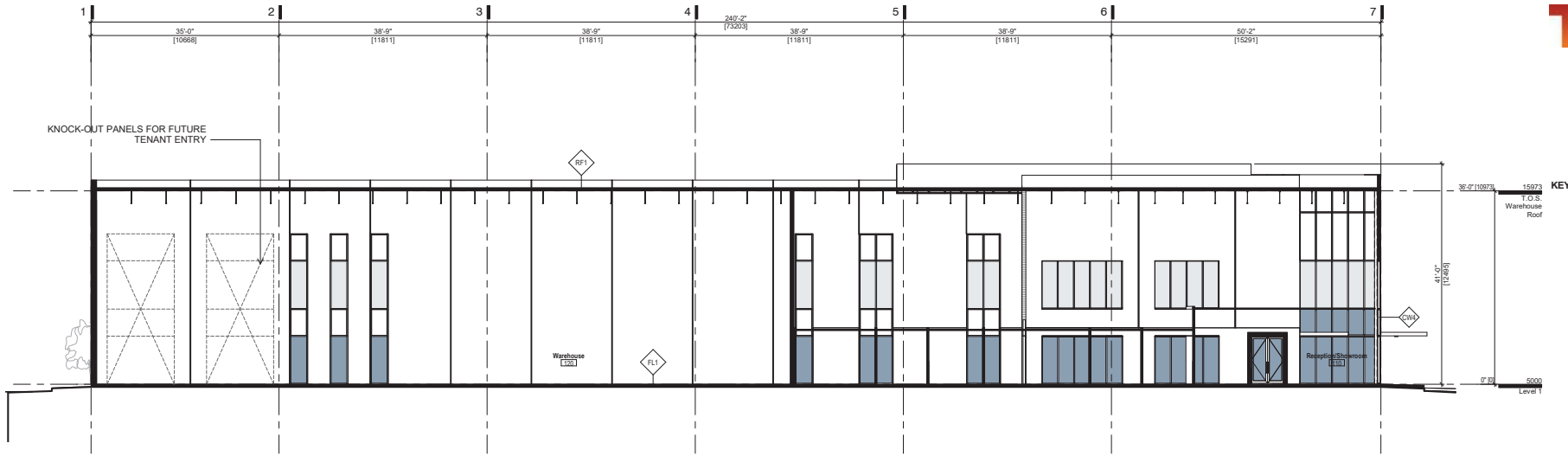
- 2SSG 2 SIDED STRUCTURAL SILICONE GLAZING
- 4SSG 4 SIDED STRUCTURAL SILICONE GLAZING
- AL1 ALUMINUM PREFINISHED, CLEAR ANODIZED
- AL2 ALUMINUM PREFINISHED, FLUOROPOLYMER COATING, CHARCOAL METALLIC
- BKKE BIKE RACK
- CIPC CAST-IN-PLACE CONCRETE
- CPY CANOPY
- CTUP1 CONCRETE TILT-UP, PAINT FINISH, P1-LIGHT GREY
- CTUP2 CONCRETE TILT-UP, PAINT FINISH, P2-MID GREY
- CW3 CURTAIN WALL - TYPE 3, FULLY CAPTURED GLAZING WITH 12" AL2 BEAUTY CAPS
- EV EXHAUST VENT
- FDC FIRE DEPARTMENT CONNECTION
- L1 CLEAR LOW 'E' INSULATED GLAZING UNITS
- L2 GLAZED SPANDREL, INSULATED BACK PAN
- L3 GLAZING UNIT WITH APPLIED TRANSLUCENT FILM
- GRD GUARD RAIL, PAINTED STEEL PIPE
- L1 LIGHT FIXTURE - TYPE 1; SEE ELECTRICAL
- L2 LIGHT FIXTURE - TYPE 2; SEE ELECTRICAL
- MW1 WOOD APPEARANCE METAL CLADDING
- SC SOLID CEDAR
- SIGN SIGNAGE, BY OWNER.

1 North Elevation
1 : 120

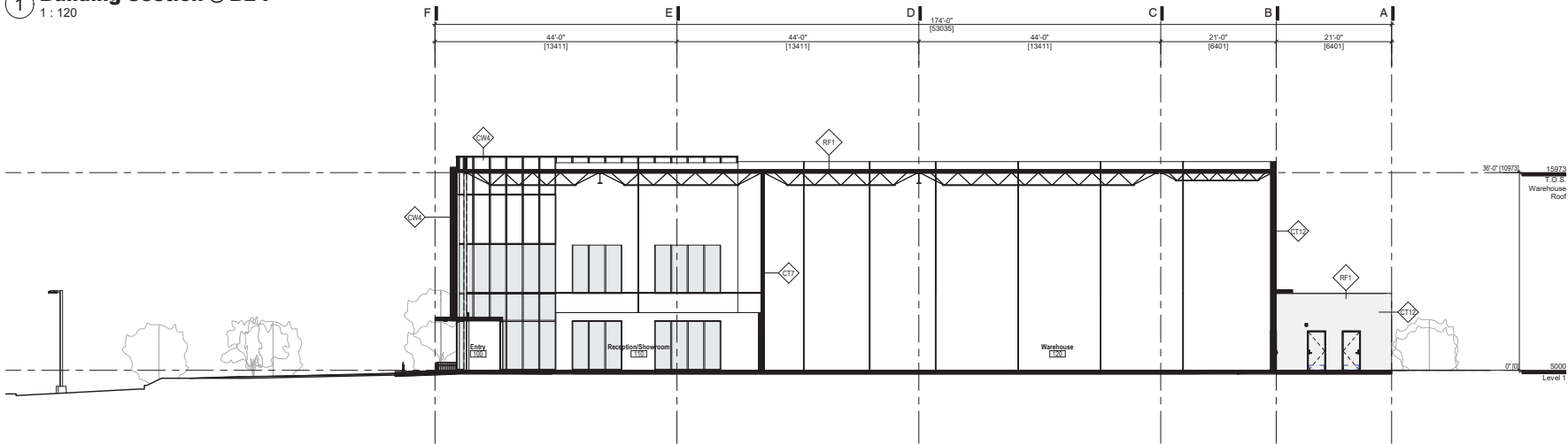


2 East Elevation
1 : 120

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SCALE:	1 : 120	DATE: October 24, 2017
PROJECT NUMBER		DRAWN: Author
		Project Number



① **Building Section @ BL F**
 1 : 120



② **Building Section @ BL 5**
 1 : 120

2	171020	Re-issued for Development Permit
1	170816	Issued for Development Permit
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		Project Number
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 ARCHITECTURE + DESIGN INC
10323 Grace Road, Surrey BC V3V 2K4

Pacific Link - Lot 13
 10323 Grace Road, Surrey BC

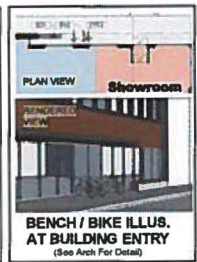
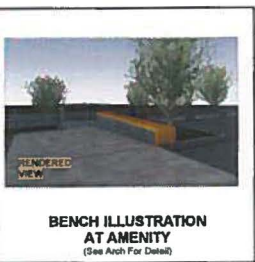
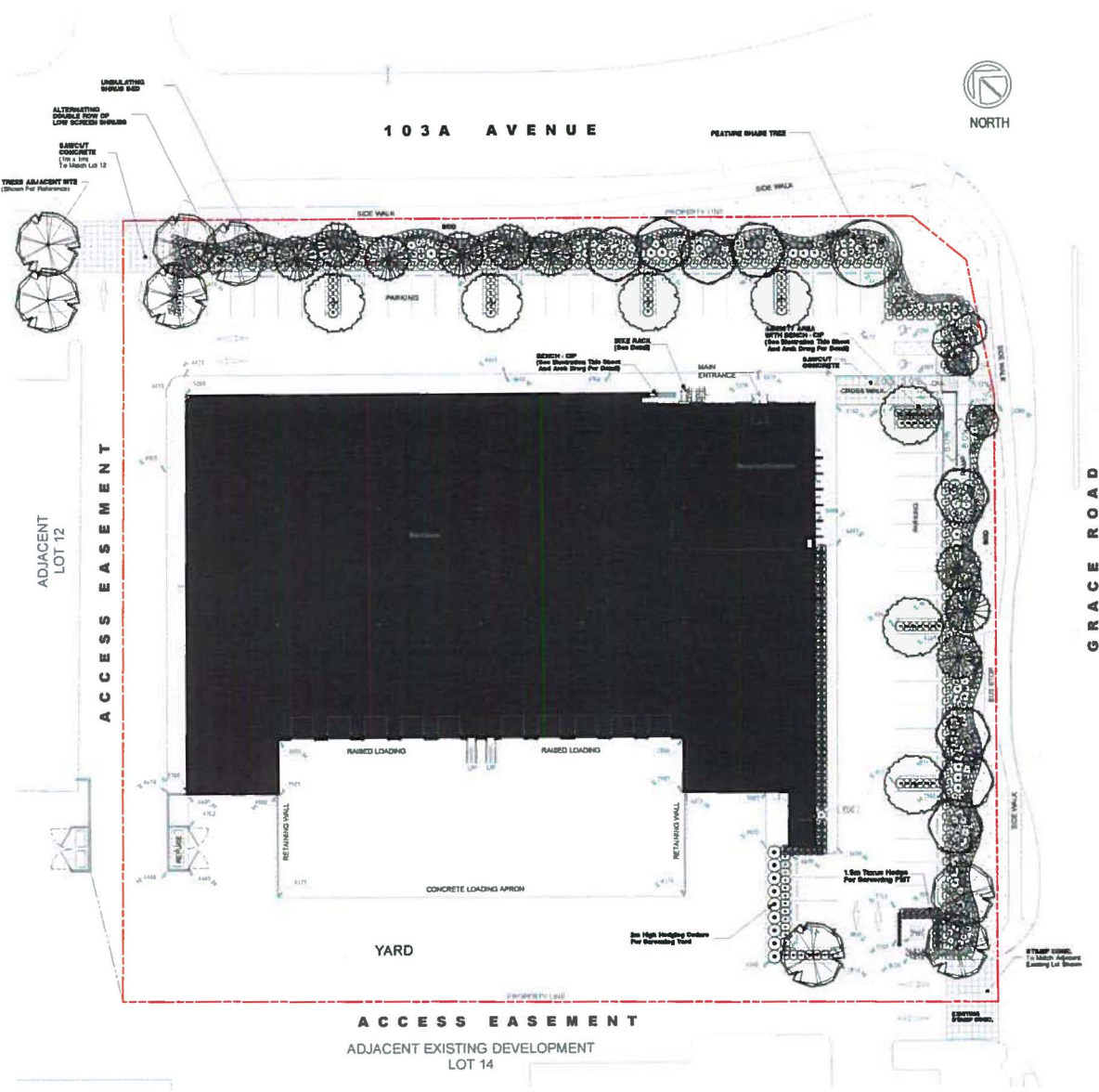
Building Sections
A400

PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
	4	Acer palmatum 'Osakabuki'	Japanese Maple 'Var'	2.5m / multitem
	7	Liquidambar styraciflua 'Worcesterii'	Sweet Gum 'Var'	80m cal / 1.8m std
	8	Chamaecyparis nootkatensis	Nootka Cypress	3m ht. / spr. form
	6	Fraxinus americana 'Autumn Purple'	Ash 'Var'	80m cal / 1.8m std
	8	Magnolia soulangeana 'Galaxy'	Magnolia	50m cal / 1.8m std
	1	Quercus coccinea	Scarlet Oak	70m cal / 1.8m std
	1	Quercus macrocarpa 'var.'	White Oak	70m cal / 1.8m std
Shrubs				
	241	Carex	Bedge Ornamental Grass	#1 pot
	09	Lonicera platensis	Evergreen Honeysuckle	#2 pot
	22	Azalea japonica 'Yoshino'	Japanese Azalea	#2 pot
	36	Hydrangea macrophylla 'Blue Wave'	Hydrangeas	#2 pot
	99	Ilex cornuta 'Green Thumb'	Japanese Holly	#2 pot
	44	Potentilla fruticosa 'Vanderhul'	Shrubby Cineraria 'Var'	#2 pot
	256	Platanus 'Olio Luyten'	Olio Luyten Laurel	#2 pot
	82	Taxus media 'Yukon'	Yew Hedge	1.5m ht. (topped)
	52	Rhododendron 'Christmas Cheer'	Rhododendron (incl var)	#2 pot
	45	Rosa meiland 'Caroline DeGroot'	Hardy French Rose var	#2 pot
	31	Spiraea z. bumalda 'Anthony Waters'	Spiraea 'Var'	#2 pot
	9	Thuja occidentalis 'Omaraqg'	Hedge Cedar	2m ht
	27	Viburnum dentat	David's Viburnum	#2 pot
	68	Wegelia 'Strick Ruby'	Wegelia	#2 pot
Ground Cover/Perennials				
	62	Androsace physodes var. viridis	Vancouver Jade	10cm pot / 45cm s.c.
	105	Hemerocallis 'Stella d'Or'	Daylily var	#1 pot

Notes:

1. Specification as per most recent BC 'Landscape Standards' and Landscape Design Inc. 'Spec. Manual'
2. Plant material to be selected by Landscape Architect at nursery
3. 2" Compost Mulch All Beds



TKA+D

ISS. DATE DESC. REV. NO. FOR



0 5 10 20 40
CITY FILE #7717-0403-00



WESGROUP

TAYLOR KURTZ
ARCHITECTURE DESIGN INC.

PACIFIC LINK - LOT 13
10323 Grace Road, Surrey

LANDSCAPE PLAN
SCALE: 1"=40'-0"

L1

A. CITY GENERAL NOTES

- FOR THE PURPOSE OF CONSTRUCTION AND ACCOUNTABILITY THE DEVELOPER MUST ADVISE THE SURVEY CITY INSPECTOR, IN WRITING, WHICH OF THE CITY NOTES IS GOING TO BE THE RESPONSIBILITY OF THE DEVELOPER'S CONTRACTOR.
- CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF SURREY HIGHWAY AND TRAFFIC BYLAW NO. 13607, SUBDIVISION BYLAW NO. 8830 AND THE APPLICABLE MUNICIPAL MASTER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, CITY OF SURREY STANDARD CONSTRUCTION DOCUMENTS, SUPPLEMENTARY SPECIFICATIONS & STANDARD DRAWINGS AND CITY DESIGN OUTLINE.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE DEVELOPER AND THE DEVELOPER SHALL COMPLY WITH SECTION 52 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF THE WORKERS' COMPENSATION BOARD OF B.C. AND THE INSTRUCTIONS OUTLINED ON THE CITY ROAD AND ROADWAY PERMIT AND TRAFFIC OBSTRUCTION PERMIT ISSUED BY THE CITY.
THE DEVELOPER IS TO HAVE, ON SITE, A COPY OF THE CURRENT "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION AND HIGHWAYS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORK WITHIN THE CITY ROAD ALLOWANCE.
- WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING HIGHWAYS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, BOULEVARDS, DRIVEWAYS, ETC., ARE TO BE RESTORED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
- SURVEY'S ISA MONUMENT(S) ARE TO BE PROTECTED AND SHOULD THEY REQUIRE RAISING OR RELOCATING, THE DEVELOPER WILL NOTIFY SURVEY'S SURVEY DEPARTMENT AT (604)391-4223 FORTY-FOUR (48) HOURS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM. AN ISA MONUMENT SHALL BE CONSIDERED OR DESTROYED, BY THE DEVELOPER, IF THE CONSTRUCTION FOR THE PROJECT:
 - LOWERS THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S);
 - RAISES THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S) OR
 - INSTALLS ANY UNDERGROUND UTILITIES (INCLUDING BC GAS, BC HYDRO, BC TELEPHONE, DRINK WATER/SANITARY SEWER/DRAINAGE ETC.) WITHIN 1.300 METRE RADIUS OF THE ISA MONUMENT(S).
 THE CITY WILL DEDUCT THE DEVELOPER A NON REFUNDABLE FLAT RATE FEE OF -\$1,700.00 FOR EACH ISA MONUMENT DISTURBED OR DESTROYED -\$3,150 FOR EACH HIGH PRECISION SECONDARY BENCH-MARK DISTURBED OR DESTROYED -\$7,200 FOR EACH HIGH PRECISION NETWORK BENCH-MARK DISTURBED OR DESTROYED
- ALL STREET, TRAFFIC, AND ADVISORY SIGNS, PAYMENT MARKINGS AND NO-POST GUARDRAILS REQUIRED BUT NOT NECESSARILY SHOWN ON THE DRAWINGS, SHALL BE INSTALLED BY THE CITY AT THE DEVELOPER'S COST.

- WHERE IMPILING OF EXISTING UTILITIES IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A FULL SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 85 % OF MODIFIED PROCTOR DENSITY.
- DRIVEWAY BULLEWARD CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION.
THE DEVELOPER WILL REQUIRE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE, FROM THE PROPERTY OWNER, WHEN COMPLETED.
- WHEN NATIVE SITE GRANULAR BACKFILL IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE DENSITY AND SIEVE TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL IS TO BE APPROVED BY THE CITY. THE SITE MATERIAL MUST FULFILL WITH ONE OF THE GRANULAR BACKFILL MATERIAL SPECIFICATIONS. NEVER SAND IS NOT ACCEPTABLE AS TRENCH BACKFILL MATERIAL.
- THE DEVELOPER SHALL FACILITATE AND SUPPLY ALL NECESSARY SAFETY EQUIPMENT REQUIRED UNDER THE WCA REGULATIONS FOR THE CITY OR ITS REPRESENTATIVES OR THE ENGINEER OF RECORD TO INSPECT THE SANITARY SEWER AND STORM SEWER SYSTEMS. THE EQUIPMENT SHALL BE SUPPLIED UNTIL SUCH TIME AS A CERTIFICATE OF COMPLETION IS ISSUED BY THE CITY.
- DEVELOPER IS TO VERIFY THE LOCATION AND ELEVATION OF ALL PIPES, OR OTHER UTILITY CROSSINGS, PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS.
- THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER TO DESIGN A SEDIMENT AND EROSION CONTROL SYSTEM IN THE DEVELOPMENT IN ORDER TO PREVENT SOIL DISCHARGES TO THE STORM DRAINAGE SYSTEM AND WATERCOURSES.
- THE TREE CUTTING AND PRESERVATION BYLAW NO. 12807 REQUIRES THAT A CUTTING PERMIT BE OBTAINED BEFORE ANY TREES ARE REMOVED FROM THE SITE. OTHER PROVISIONS OF THE BYLAW MAY ALSO BE APPLICABLE.

B. CITY ROADWORKS NOTES

- THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUB-GRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF THE PROPOSED AND EXISTING ROAD STRUCTURE AND SUB-GRADE. SELECTION OF THE PROFESSIONAL ENGINEER IS TO BE APPROVED BY THE CITY.
- EXISTING VALVE BOXES, MANHOLES, ETC. WITHIN THE ROAD ALLOWANCE MUST BE ADJUSTED TO SLIT THE PROPOSED FINISHED GRADE.
- ALL LOOSE, ORGANIC, OTHERWISE DELETERIOUS MATERIALS OR SOFT SPOTS) ARE TO BE EXCAVATED AND REMOVED FROM THE ROADWAY AND UTILITY TRENCHES IN THE ROADWAY AS PER THE GEOTECHNICAL CONSULTANT'S REPORT OR AS DIRECTED BY THE CITY.

C. CITY SANITARY SEWER AND STORM SEWER NOTES

- UNLESS PRIOR APPROVAL IS GIVEN TO THE DEVELOPER BY THE CITY, THE SWS AND CONNECTIONS TO EXISTING SANITARY SEWERS ARE TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.
- ALL SERVICE CONNECTIONS SHALL BE MADE TO THE MAIN WHEREVER POSSIBLE. SHOULD A CONNECTION HAVE TO BE MADE TO A MANHOLE, THE CONNECTION DIBENT SHALL BE AT THE SAME ELEVATION AS THE CROWN OF THE HIGHEST SEWER MAIN.
- ALL MANHOLES ARE TO BE A MINIMUM OF 1050 MM DIAMETER UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER AND STORM SEWER SERVICE CONNECTIONS ARE TO BE A MINIMUM 100 MM DIAMETER.
- ALL GRANULAR PIPE BEDDING SHALL BE EITHER TYPE 1 OR TYPE 2 ONLY AS PER THE CITY SPECIFICATIONS.

D. CITY WATER WORKS NOTES

- THE DEVELOPER SHALL SUPPLY ALL MATERIALS AND FITTINGS REQUIRED FOR THE TIE-IN OF THE NEW WATER MAINS BY THE CITY.
- ALL NEW WATER MAINS, AT TIE-IN POINTS, ARE TO BE CAPPED 1.5 M FROM THE EXISTING WATER MAIN. THE PROPOSED WATER MAIN IS TO BE SET AT THE LINE AND GRADE TO MEET THE EXISTING WATER MAIN.
- TIE-INS TO EXISTING WATER MAINS AND FINAL TESTING AND CHLORINATION OF NEW MAINS IS TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.
- ALL DOMESTIC SERVICE CONNECTIONS WILL BE A MINIMUM OF 19 MM DIAMETER UNLESS OTHERWISE SPECIFIED.
- WHERE 100 MM DIAMETER PIPE IS USED IT WILL BE DUCTILE IRON (D.I.) AND SHALL CONFORM TO THE CITY SPECIFICATIONS.
- NO CAST IRON VALVES OR FITTINGS.

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
1	LOCATION PLAN AND GENERAL NOTES
2	SITE GRADING PLAN
3	SITE SCHEMATIC PLAN
4	WATER HEIGHT PLAN
5	CONSTRUCTION DETAILS
6	SANITARY PUMP DETAILS

A. CONSULTANT'S SUPPLEMENTARY GENERAL NOTES:

- FIGURED DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
- THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL DRAWINGS FOR THE SITE TO CONFIRM BUILDING AND CURB ALIGNMENTS/LAYOUT.
- THE LOCATION OF EXISTING UNDERGROUND SERVICES IS NOT GUARANTEED, AND HAS BEEN COMPILED FROM A COMBINATION OF "AS-CONSTRUCTED" DRAWINGS AND GROUND SURVEYS. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND SERVICES BY HAND EXCAVATION OR HYDRO-VACUUM EXCAVATION TO CONFIRM THEIR LINE AND GRADE PRIOR TO COMMENCEMENT OF SITE SERVICES. ANY AND ALL DISCREPANCIES SHALL BE COMMUNICATED TO ICM CIVIL CONSULTANTS LTD. IMMEDIATELY.
- SHOP DRAWINGS, IF REQUIRED, SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW AND COMMENT PRIOR TO ORDERING MATERIALS. COMMENTS PROVIDED BY THE CONSULTANT REFER TO GENERAL ARRANGEMENT OF SHOP DRAWING COMPONENTS (DIMENSIONS AND ELEVATIONS) ONLY AND DO NOT CONSTITUTE A DETAILED DESIGN REVIEW OF INDIVIDUAL COMPONENT DETAILS, WHICH IS THE RESPONSIBILITY OF THE MANUFACTURER.
- THE CONTRACTOR SHALL ENSURE THAT THEY ARE WORKING FROM A CERTIFIED COPY OF THE ISSUED FOR CONSTRUCTION DRAWINGS PRIOR TO COMMENCING CONSTRUCTION. ANY DRAWINGS NOT BEARING THE ISSUED FOR CONSTRUCTION REVISION NOTE SHALL NOT BE USED FOR CONSTRUCTION.

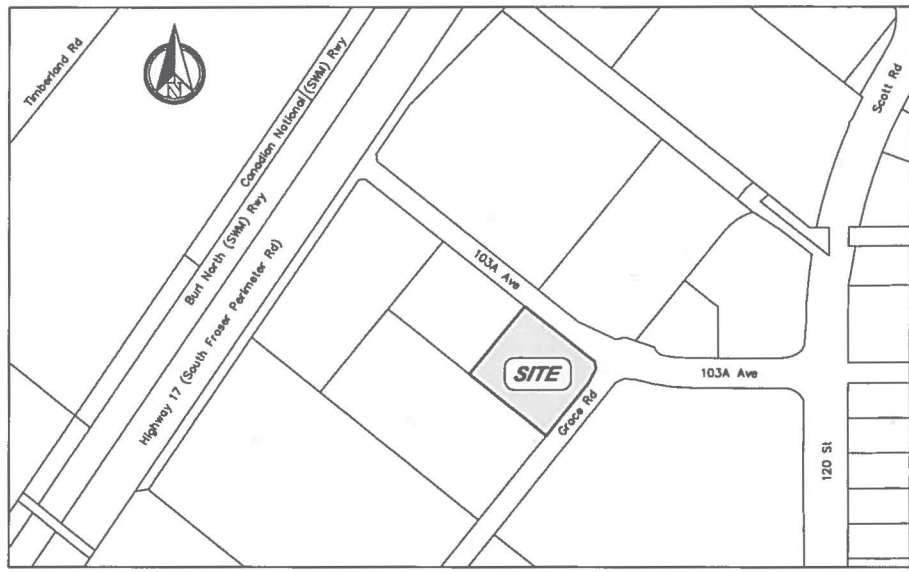
B. CONSULTANT'S SUPPLEMENTARY ROADWORKS NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL CONNECTION/DENSITY TESTING WITH THE DEVELOPER'S GEOTECHNICAL ENGINEER DURING PREPARATION OF ROAD SUBGRADE, AND PLACEMENT OF SUB BASE FILL AND PAVEMENT STRUCTURE GRAVELS.
- ALL CHANGES IN GRADE SHALL BE FORMED USING SMOOTH VERTICAL CURVES.
- CONCRETE ROAD SUB BASE AND BASE MATERIALS SHALL EXTEND A MINIMUM OF 0.30m BEYOND THE SIDEWALK/PAVEMENT CURB AND GUTTER.
- CONDITIONS FOR PLACEMENT OF ASPHALT OR PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE SPECIFICATIONS DETAILED UNDER THE HPCD SPECIFICATIONS AND THE CITY SUPPLEMENTARY SPECIFICATIONS.

C. CONSULTANT'S SUPPLEMENTARY SANITARY AND STORM SEWER NOTES:

- ALL ON-SITE PIPEWORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE, PART 7, PLUMBING SERVICES.
- ALL STORM MAIN PIPE SHALL BE PVC D105 (150mm ID) OR PVC RIBBED (200mm DIAMETER AND GREATER). WHERE STORM MAINS ARE TO BE INSTALLED UNDER BUILDINGS, ALL PIPE SHALL BE PVC DWV.

- ALL SANITARY MAIN PIPE SHALL BE PVC D105 (150mm DIAMETER) OR PVC D150 (200mm DIAMETER AND GREATER). WHERE SANITARY MAINS ARE TO BE INSTALLED UNDER BUILDINGS, ALL PIPE SHALL BE PVC DWV.
 - ALL STORM SEWER PIPES WITH LESS THAN 1.0m COVER TO BE CONCRETE ENCASED OR DWV PIPE IN ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE, 2006, PLUMBING SERVICES (PART 7).
 - STORM AND SANITARY SERVICE CONNECTIONS SHALL BE INSTALLED TO WITHIN 1.0m OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR TO ENSURE THAT SERVICE CONNECTIONS ARE INSTALLED AT A LINE AND GRADE THAT WILL FACILITATE CONNECTION TO THE BUILDING DRAINAGE/SANITARY SYSTEM.
 - ALL CLEANOUTS INSTALLED WITHIN THE TRAVELLED PORTION OF THE ROADWAY SHALL BE COMPLETE WITH LIDS CAPABLE OF SUPPORTING HOV TRAFFIC LOADING.
- D. CONSULTANT'S SUPPLEMENTARY WATERWORKS NOTES:**
- ALL WATERMAINS SHALL BE INSTALLED WITH MINIMUM 1.2m COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED. FOR INSTALLATIONS WITH LESS THAN 1.2m COVER, A CONCRETE PIPE CAP, PER PROV STD 67 - ALTERNATIVE 2 SHALL BE UTILIZED.
 - ALL WATERMAIN SHALL BE PVC C-900 OR DUCTILE IRON FC350, UNLESS OTHERWISE NOTED.
 - WATERMAIN SERVICE CONNECTIONS SHALL BE INSTALLED TO WITHIN 1.0m OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR TO ENSURE THAT SERVICE CONNECTIONS ARE INSTALLED AT A LINE AND GRADE THAT WILL FACILITATE CONNECTION TO THE BUILDING WATER SYSTEM.
 - ON-SITE DOMESTIC AND FIRE WATER SYSTEM PRESSURE, DISINFECTION, AND BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY A CERTIFIED TESTING FIRM, RETAINED BY THE CONTRACTOR AT THE CONTRACTOR'S COST, UNDER WITNESS BY THE CONSULTANT. WATERMAIN TEST RESULTS SHALL BE FORWARDED TO THE CONSULTANT IMMEDIATELY UPON RECEIPT FOR REVIEW AND DISTRIBUTION TO THE CITY.
 - PRESSURE TESTING OF BOTH DOMESTIC AND FIRE WATER SYSTEMS SHALL BE CONDUCTED IN ACCORDANCE WITH ANSWA C800 STANDARDS. DISINFECTION AND BACTERIOLOGICAL TESTING OF BOTH DOMESTIC AND FIRE WATER SYSTEMS SHALL BE CONDUCTED IN ACCORDANCE WITH ANSWA C801 STANDARDS.
 - TIE-IN OF ON-SITE WATER SYSTEM TO MUNICIPAL SYSTEM TO BE COMPLETED BY THE CITY.
 - JOINT RESTRAINTS SHALL BE ONE OF THE FOLLOWING APPROVED PRODUCTS (MATERIALS):
 - EBAA SERIES 1000
 - UNPLANCE SERIES 1309, 1399 & 1500
 - JCM SERIES 618



LOCATION PLAN
SCALE: 1:2500

No.	DATE	REVISION	DRW	ITC/H	CHK
6					
4	2017.10.24	RESUBMITTED FOR DEVELOPMENT PERMIT	GL		SSB
3	2017.10.20	ISSUED FOR 80% REVIEW	GL		SSB
2	2017.09.23	ISSUED FOR 80% REVIEW	GL		SSB
1	2017.07.17	ISSUED FOR DEVELOPMENT PERMIT	GL		SSB

LEGAL DESCRIPTION
LOT 13, DISTRICT LOT 16, GROUP 2, NEW WESTMINSTER DISTRICT,
PLAN BC219841

RESPONSIBLE
DRAWINGS ARE IN METRIC. TO GEOMETRIC DATUM BASED ON
CANAL PROJECTIONS REFERENCED TO CANADIAN FLOODING
WATERPARENT TREATMENT PLANT ACP AND BCVO PROJECTIONS,
VANCOUVER CITY PERMITS AND



ABBOTSFORD OFFICE
8 ADO - 2477 Gladys Avenue
Abbotsford, BC V2S 2E9
Tel: 604-853-0821 Fax: 604-853-1080

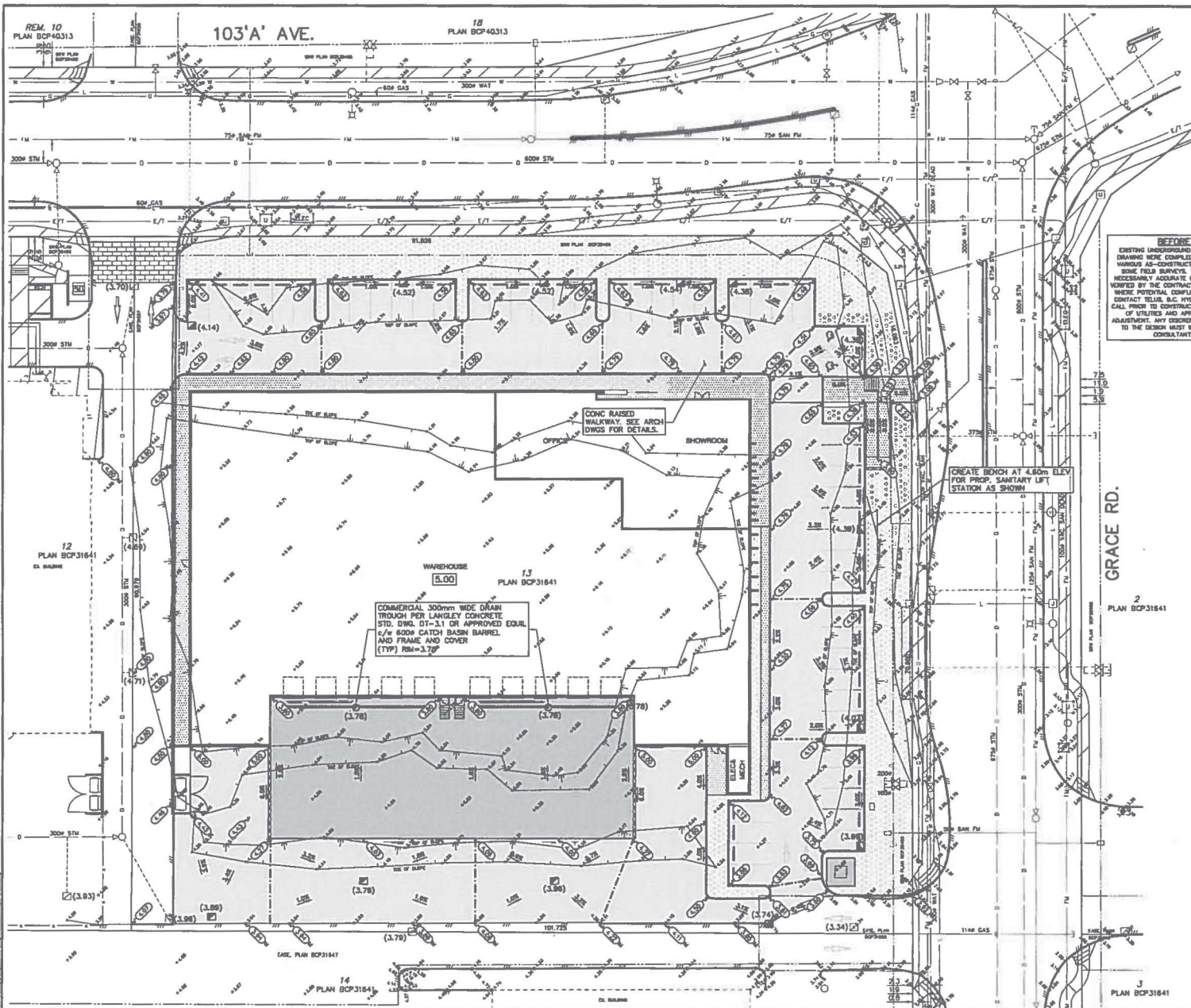
VANCOUVER OFFICE
110 - 2559 Virtual Way
Vancouver, BC V6M 0C4
Tel: 604-284-0082 Fax: 604-284-0080

WESGROUP PROPERTIES
916-1988 DUNSMUIR STREET, BOX
46857, VANCOUVER, B.C. V7X 1L3
ATTENTION: LOU SMITH
TEL: (604)446-1800 FAX: (604)483-1727

REVISION	DATE	BY	APPROVED	SCALE	HOME	AS SHOWN

CLIENT PROJECT NUMBER	170267-C
CLIENT DRAWING NUMBER	1
BY CIVIL PROJECT NO.	
DATE	JUNE, 2017
REVISION NO.	4

DATE PLOTTED: 2017.06.27 10:51:00 AM

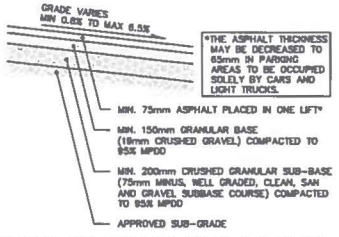


BEFORE YOU DIG
 EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WHERE POSSIBLE. CONTRACTOR TO CONTACT TELLS, B.C. HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT. ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO S&M CIVIL CONSULTANTS IMMEDIATELY.

SITE GRADING LEGEND:

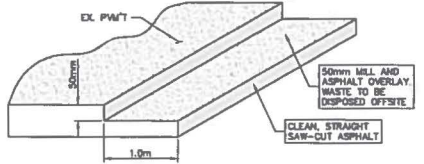
FIRST FLOOR ELEVATION OF BUILDING	3.50
EXISTING SURVEY ELEVATION	(18.00)
PROPOSED GRADE ELEVATION	18.00
DIRECTION OF OVERLAND FLOW	→
EXISTING GROUND CONTOUR	---10---
LANDSCAPED AREA - SEE LANDSCAPE ARCHITECTS PLANS FOR DETAILS	[Pattern]
PROPOSED CONCRETE PAVEMENT STRUCTURE PER GEOTECHNICAL RECOMMENDATIONS	[Pattern]
PROPOSED ASPHALT PAVEMENT STRUCTURE PER GEOTECHNICAL RECOMMENDATIONS	[Pattern]
PROPOSED CONCRETE SIDEWALK - SEE ARCHITECTURAL DRAWINGS FOR DETAILS	[Pattern]
PROPOSED STAMPED CONCRETE - SEE LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS	[Pattern]
CONCRETE CURB & GUTTER - SEE ARCHITECTURAL DRAWINGS FOR DETAILS	[Pattern]
RETAINING WALL	[Symbol]
PROPOSED CATCH BASIN (RM ELEVATION)	□ (23.54)
PROPOSED LAWN DRAIN (RM ELEVATION)	○ (23.54)
SWALE	--->---
RODGE LINE	--->---

- NOTES:**
1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
 2. REFER TO ARCHITECTURAL PLANS FOR DETAILED CURB AND BUILDING ALIGNMENT LAYOUT, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STYLES, COLOURING, AND TYPES.



TYPICAL ASPHALT STRUCTURE SECTION
 N.T.S.

ALL ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY: GEOSPACIFIC CONSULTANTS LTD. DATED: NOVEMBER 7, 2016 FILE: 6187



TIE-IN OF NEW PAVEMENT TO EXISTING PAVEMENT
 N.T.S.

No.	DATE	REVISION	ENR	TECH	ENG
8					
4	2017.10.24	RE-ISSUED FOR DEVELOPMENT PERMIT	GL	088	
3	2017.10.20	ISSUED FOR 80% REVIEW	GL	088	
2	2017.08.22	ISSUED FOR 50% REVIEW	GL	088	
1	2017.07.17	ISSUED FOR DEVELOPMENT PERMIT	GL	088	

WORK DESCRIPTION
 LOT 13, DISTRICT LOT 16, GROUP 2, NEW WESTMINSTER DISTRICT, PLAN BCP31641

DESIGNER
 ELEVATIONS ARE IN METERS, TO GEODETIC DATUM BASED ON THE FREQUENTLY SUPERSEDED CANADIAN FRAMEWORK ORIGINATIONS TO NAD(83) DATUM, LVL1 BLAND ORIGINATIONS FROM THESE PLANS AND BCVC PERFORMANCE, VANCOUVER CITY PINE HALLWAY ASP

KM Civil
 CONSULTANTS LTD.

ABOITSFORD OFFICE
 # 400 - 34077 Ebleys Avenue
 Abbotsford, BC V3B 2G9
 Tel: 604-853-8821 Fax: 604-853-1580

VANCOUVER OFFICE
 # 118 - 2820 Vernal Way
 Vancouver, BC V6M 0C4
 Tel: 604-264-0852 Fax: 604-264-0855

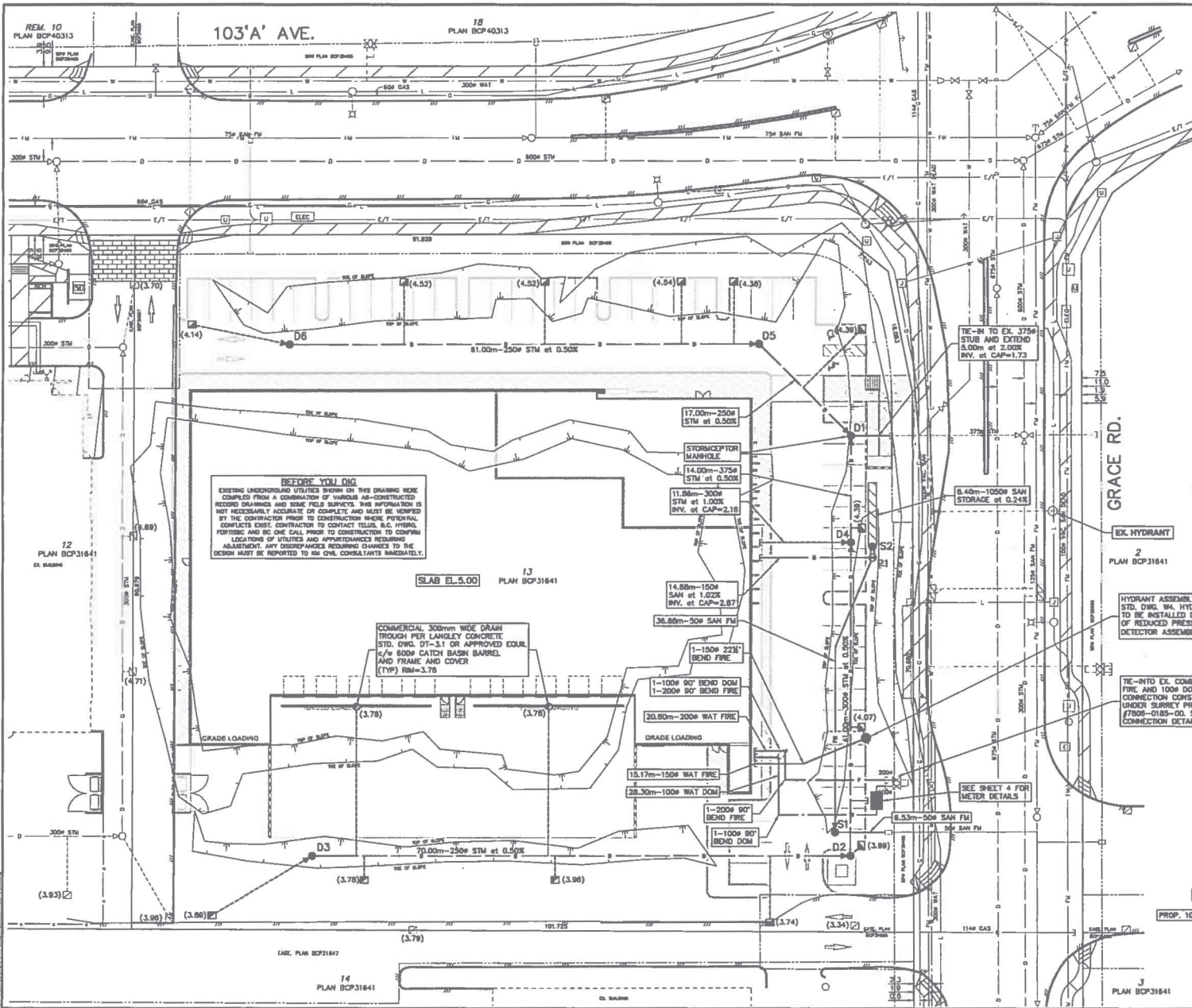
WESGROUP PROPERTIES
 916-1855 DUNSMUIR STREET, BOX 48287, VANCOUVER, B.C. V7X 1L3
 ATTENTION: LOU SMITH
 TEL: (604) 646-1896 FAX: (604) 632-1737

SITE GRADING PLAN
 10323 GRACE ROAD

DESIGNED: [Blank] DRAWN: [Blank] CHECKED: [Blank] APPROVED: [Blank] SCALE: 1:200
 DATE: JUNE, 2017

BARNEY PROJECT NUMBER: [Blank] DRAWING NUMBER: [Blank]
 SHEET NO. 2 OF 6
 SHEET TITLE: 170267-C

THIS DRAWING AND ALL INFORMATION THEREON IS THE PROPERTY OF S&M CIVIL CONSULTANTS LTD. AND SHALL BE KEPT CONFIDENTIAL AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF S&M CIVIL CONSULTANTS LTD.



- NOTES:**
1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
 2. VERIFY AND VERIFY DEPTH AND LOCATION OF ALL TIE-IN POINTS AND EXISTING UNDERGROUND SERVICES CROSSING PROPOSED STORM, SANITARY AND WATER MAINS PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL CONSULTANTS IMMEDIATELY.
 3. SEE ARCHITECTURAL DRAWINGS FOR DETAILED CURB AND BUILDING ALIGNMENT/PAVING, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STYLES, COLOURS, AND TYPES.
 4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE BC PLUMBING CODE, 2000 EDITION (2000), AND THE SURVEY SUPPLEMENTARY SPECIFICATIONS.
 5. REFER TO MECHANICAL PLANS FOR ALL SERVING DETAILS WITHIN ONE METRE OF THE BUILDING.
 6. TYPE 1 BEDDING AND 100mm GRANULAR BACKFILL PER UNCO STD. DWG. 04.
 7. ALL WATER FITTINGS TO BE D.I.
 8. ALL WATER MAIN PIPE TO BE PVC C900 UNLESS OTHERWISE NOTED.
 9. ALL PVC C900 WATER MAIN TO BE INSTALLED WITH MIN. 1.3m COVER AND MIN. 10% GRADE.
 10. ALL SANITARY MAIN PIPE TO BE PVC 3033 UNLESS OTHERWISE NOTED.
 11. ALL TRENCH DRAIN AND WALL DRAIN LEADS TO BE 100mm DIAMETER PVC DRY AT MINIMUM 1.0% UNLESS OTHERWISE NOTED.
 12. ALL STORM MAIN PIPE TO BE PVC 3033 UNLESS OTHERWISE NOTED.
 13. ALL CATCH BASINS AND LASH DRAINS TO BE 1/4" TRAPPING HOLES AND 600mm SLUICES.
 14. ALL LASH DRAINS TO BE 600mm x 1500mm PVC SDR35 LEAD IN MIN. 1.0% UNLESS OTHERWISE NOTED.
 15. ALL STORM MAINS TO BE INSTALLED 1/4" GALVANIZED JOINTS.
 16. ALL CATCH BASINS TO BE AS PER CORNEY No. 23 (DRAIN) AND No. 24 (FRAME) OR APPROVED EQUIVALENT 1/4" 1500mm PVC SDR 35 LEAD IN MIN. 1.0% UNLESS OTHERWISE NOTED.
 17. ALL STORM CONNECTIONS TO EXCLUDE BUILDING RAMPS, RAMPS TO BE BY OTHERS.
 18. ALL SANITARY AND WATER MAINS AND CONNECTIONS WITH LESS THAN 1.0% COVER TO BE CONCRETE ENCASED PER UNCO STD. DWG. 07.
 19. ALL STORM PIPES WITH LESS THAN 1.0% COVER TO BE CONCRETE ENCASED PER UNCO STD. DWG. 07 OR DRY PIPE IF ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE, 2012, PLUMBING SERVICES (PART 7).
 20. WATER MAIN IS TO BE WRAPPED WITH HEAT SHRINK PLASTIC OR PACKED WITH COMPOUND AND SHIPPED WITH PETROLEUM TAPE 5.0mm ON EACH SIDE OF ALL CROSSINGS. WHERE SLOW CLEARANCE FROM OTHER UTILITIES CANNOT BE ACHIEVED, IN ACCORDANCE WITH THE LATEST VERSION OF AVIATION STANDARDS CTV, CTV or CSW.
 21. RESTATE ALL DISTURBED BOULEVARD, SHOULDERS, CONCRETE AND ASPHALT SIDEWALK AND DRIVEWAYS TO ORIGINAL OR BETTER CONDITION.
 22. ADJUST ALL EXISTING MANHOLE, VALVE, ETC. RM ELEVATIONS AS REQUIRED TO MEET PROPOSED GRADES.
 23. ALL WATER MAIN TEES AND BENDS TO HAVE TRUSS RESTRAINTS.
 24. ALL WATER MAIN JOINTS TO BE FULLY RESTRAINED USING U-B-FALMCE RESTRAINTS OR APPROVED ALTERNATE.

SANITARY MANHOLE INFORMATION

MANHOLE	RM	INV.	SW	SE
San MH S1 (1000)	3.78±	3.04	1.85	
San MH S2 (1000)	4.50±	1.34	2.39	
San Pump P1 (1000)	4.54±	2.72	3.00	
San MH D1 (1000)	4.42±	1.98	2.04	
San MH D2 (1000)	3.82±	2.30	2.23	
San MH D3 (1000)	4.02±	2.41	2.65	
San MH D4 (1000)	4.42±	1.98	2.04	
San MH D5 (1200)	4.66±	2.10	1.99	
San MH D6 (1000)	4.59±	2.41	2.50	

STORM MANHOLE INFORMATION

MANHOLE	RM	INV.	SW	SE
Stormceptor (1000)	4.02±	2.41	2.65	

SEE SHEET 5 FOR DETAILS

BEFORE YOU DIG
EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO AVOID POTENTIAL CONFLICTS. CONTACT THE CIVIL CONSULTANTS IMMEDIATELY TO CONFIRM LOCATIONS OF UTILITIES AND APPEARANCES REQUIRING ADJUSTMENT. ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO THE CIVIL CONSULTANTS IMMEDIATELY.

No.	DATE	REVISION	DRN	TECH	ENG
6					
5	2017.10.31	ISSUED FOR DEVELOPMENT PERMIT	GL		SSB
4	2017.10.30	ISSUED FOR 80% REVIEW	GL		SSB
3	2017.09.22	ISSUED FOR 80% REVIEW	GL		SSB
2	2017.07.17	ISSUED FOR DEVELOPMENT PERMIT	GL		SSB
1					

KM Civil CONSULTANTS LTD.

ABSTRACT OFFICE
4485 - 3487 Gladys Avenue
Abbotsford, BC V2S 2E9
Tel: 804-883-8831 Fax: 804-883-1880

VANCOUVER OFFICE
6115 - 2500 Wood Way
Vancouver, BC V6M 0C4
Tel: 604-294-8882 Fax: 604-294-8883

WESGROUP PROPERTIES

616-1056 DUNSMUIR STREET, BOX 46287, VANCOUVER, B.C. V7X 1L3
ATTENTION: LOU SMITH
TEL: 604-684-1880 FAX: 604-683-1737

SITE SERVICING PLAN

10323 GRACE ROAD

DATE: JUN 20, 2017

PROJECT NUMBER: 170267-C

REVISION NO. 4

3



LEGEND

 TREE TO BE RETAINED

 MINIMUM NO DISTURBANCE ZONE

 TREE PROTECTION FENCING

NOTE: TREE ID NUMBERS TAKEN FROM SURREY COSMOS.
 NOTE: RETAIN ALL BOULEVARD TREES AND PROTECT FROM CONSTRUCTION IMPACT AND GRADE ALTERATIONS. TREE PROTECTION BARRIERS TO BE INSTALLED IN RECTANGULAR CONFIGURATION TO 1.75m FROM TREE (0.8m LINEAL ROOT PROTECTION ZONE).
 NOTE: REASSESS ALL RETAINED TREES WITH FINAL DEVELOPMENT AND CONSTRUCTION PLANS.



NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#106, 6277 129 St
 Surrey, British Columbia
 V3W 0A6
 PH: (778) 983-0300
 FAX: (778) 689-0302
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PROJECT TITLE
 10323 GRACE ROAD
 SURREY, B.C.

DRAWING TITLE
 T1 - TREE PROTECTION AND PRESERVATION PLAN
CLIENT

DRAWN MK
CHECKED AS SHOWN
DATE NOVEMBER 11, 2017

T-1
 SHEET 1 OF 1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0403-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 027-170-365

Lot 13 District Lot 10 Group 2 New Westminster District Plan BCP31641

10323 - Grace Road

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2013, No. 18009, as amended is varied as follows:
 - (a) Section F, Yards and Setbacks, is varied to reduce the rear (west) setback from 7.5 metres (25 ft.) to 7.2 metres (24 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

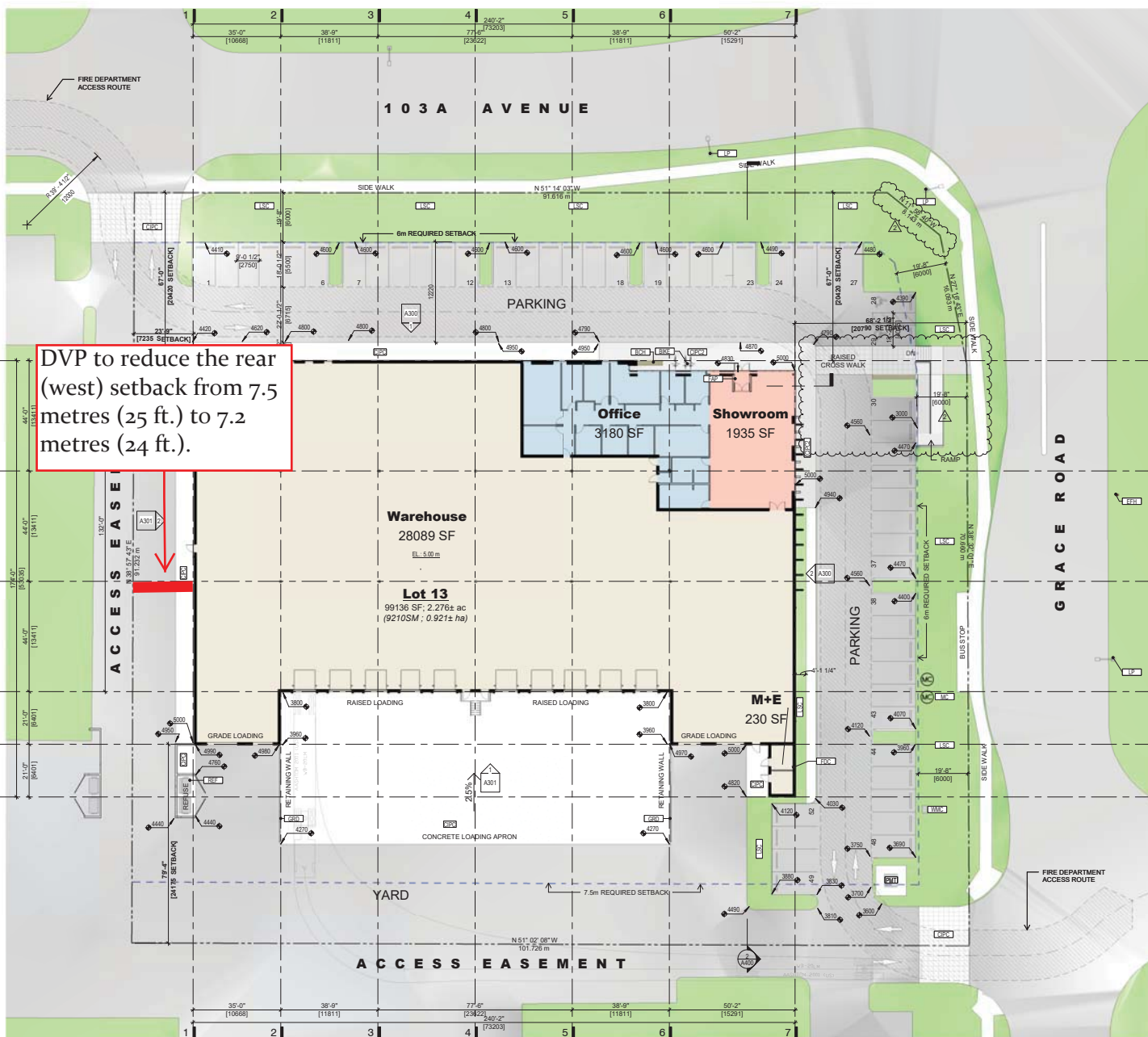
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



ZONING SUMMARY:

PROJECT NAME: Pacific Link - Lot 13
PROJECT ADDRESS: 10323 Grace Road, Surrey BC
LEGAL DESCRIPTION: Lot 13, District 10, Group 2, New Westminster District Plan BC931641 (PID 027-170-365)

AUTHORITY: City of Surrey Zoning Bylaw #12000
ZONE: CD - Comprehensive Development
USES: Principal: Light Impact Industrial - Warehouse, Accessory: Office, Showroom

EASEMENTS: 1.5m SRW on north and east PL

SETBACKS: Required | Proposed
 103A Avenue - North Yard: 6m | 20.4m
 Grace Road - East Yard: 6m | 20.0m
 West Yard: 0m | 7.2m
 South Yard: 7.5m | 24.2m

Floor Area Ratio: Proposed: 0.34, Permitted: 1.0

Gross Floor Area

Warehouse	28090 SF	2610 m ²
M+E	230 SF	21 m ²
Office	3180 SF	295 m ²
Showroom	1930 SF	180 m ²
Total	33430 SF	3106 m²

Site Area: 99136 SF | 9210 m²

Height: Proposed: 42'-0" (12.8m), Permitted: 45'-0" (14m)

Parking:

Stall	Proposed
Regular (5.0m x 2.7m)	52
Small (5.0m x 2.0m)	-
WC (5.0m x 4.0m)	2
Total	52

Use

Use	Required
Warehouse (1/1000m)	26.3
Office (2/1000m)	8.9
Showroom (2/1000m)	5.4
Total	41

Loading: Proposed: 14 Bays



KEY

BCH	BENCH
BIKE	BIKE RACK
CPC	CAST-IN-PLACE CONCRETE
CPC2	CAST-IN-PLACE CONCRETE TYPE 2:
	SANDBLAST FINISH
EFH	EXISTING FIRE HYDRANT
FAP	FIRE ALARM PANEL: SEE ELECTRICAL
FDC	FIRE DEPARTMENT CONNECTION
FOC	GUARD RAIL: PAINTED STEEL PIPE
GRD	STREET LAMP POST
LP	LANDSCAPING: SEE LANDSCAPE DETAILS
LSC	METAL CLADDING
MC	PAD MOUNT HYDRO TRANSFORMER
PMT	CONCRETE REFUSE ENCLOSURE WITH CHAINLINK GATES TO MIN. 2.5m ABOVE ADJACENT GRADE
REF	WATER METER CHAMBER: SEE CIVIL
WMC	

2	171020	Re-issued for Development Permit
1	170816	Issued for Development Permit
REV	DATE	DESCRIPTION
SCALE:	1" = 20'-0"	[DATE: October 26, 2017] [DRAWN: Author]
PROJECT NUMBER		Project Number
FILE PATH:	C:\Users\pcurry\Documents\1702_Pac Link - Lot 13	PROJECT NUMBER
		PROJECT NUMBER



Pacific Link - Lot 13
 10323 Grace Road, Surrey BC

Site Plan

A100



MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Beech, Fern Leaf	2	0	2
Elm, David	1	0	1
Hornbeam, European	2	0	2
Horse Chestnut, Red	1	0	1
Maple, Norwegian Sunset	1	0	1
Coniferous Trees			
Pine, Templeton White Japanese	1	0	1
Total (Not including Alder and Cottonwood)	8	0	8
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		TBD	
Total Retained and Replacement Trees		TBD	

***TOTALS DO NOT INCLUDE OFFSITE TREES**



Tree Preservation Summary

Surrey Project No: 17-0403-00


Address: 10323-Grace Road

Registered Arborist: Jeff Ross #PN-7991A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	8
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	8
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = <u>0</u> - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = <u>0</u>	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: November 6, 2017
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LEGEND

 TREE TO BE RETAINED

 MINIMUM NO DISTURBANCE ZONE

 TREE PROTECTION FENCING

NOTE: TREE ID NUMBERS TAKEN FROM SURREY COMMONS.
 NOTE: RETAIN ALL BOULEVARD TREES AND PROTECT FROM CONSTRUCTION IMPACT AND GRADE ALTERATIONS. TREE PROTECTION BARRIERS TO BE INSTALLED IN RECTANGULAR CONFIGURATION TO 1.75m FROM TREE (0.8m LINEAL ROOT PROTECTION ZONE).
 NOTE: REASSESS ALL RETAINED TREES WITH FINAL DEVELOPMENT AND CONSTRUCTION PLANS.



NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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