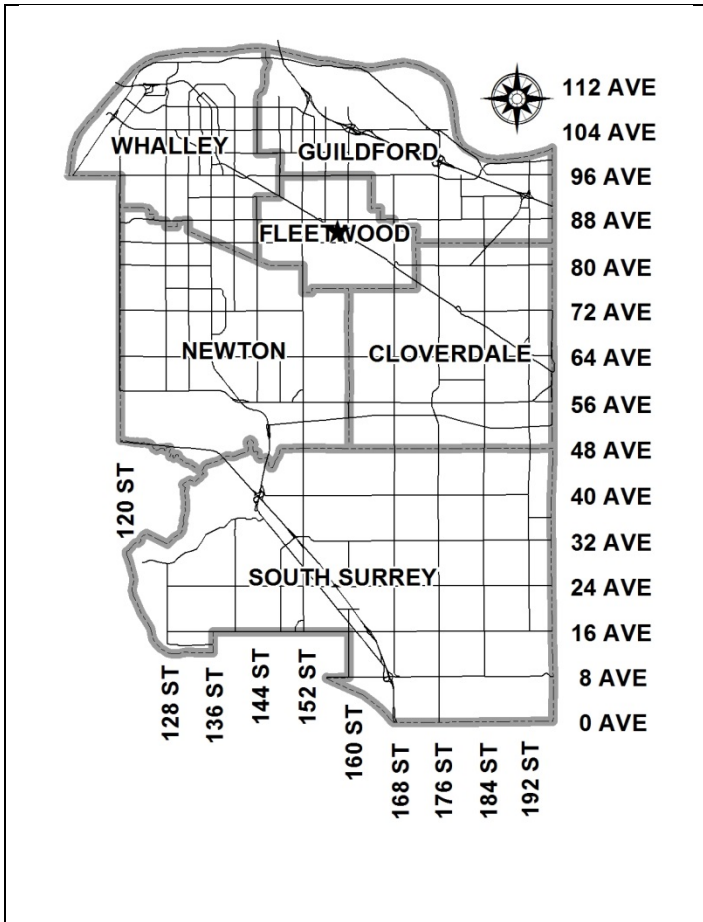


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0402-00

Planning Report Date: April 23, 2018



PROPOSAL:

- **TCP Amendment** of a portion from Manufactured Homes to Medium Density Townhouses and Parks & Linear Corridors and Road
- **Rezoning** of a portion from RM-M to RM-30 and RF
- **Development Permit**
- **Development Variance Permit**

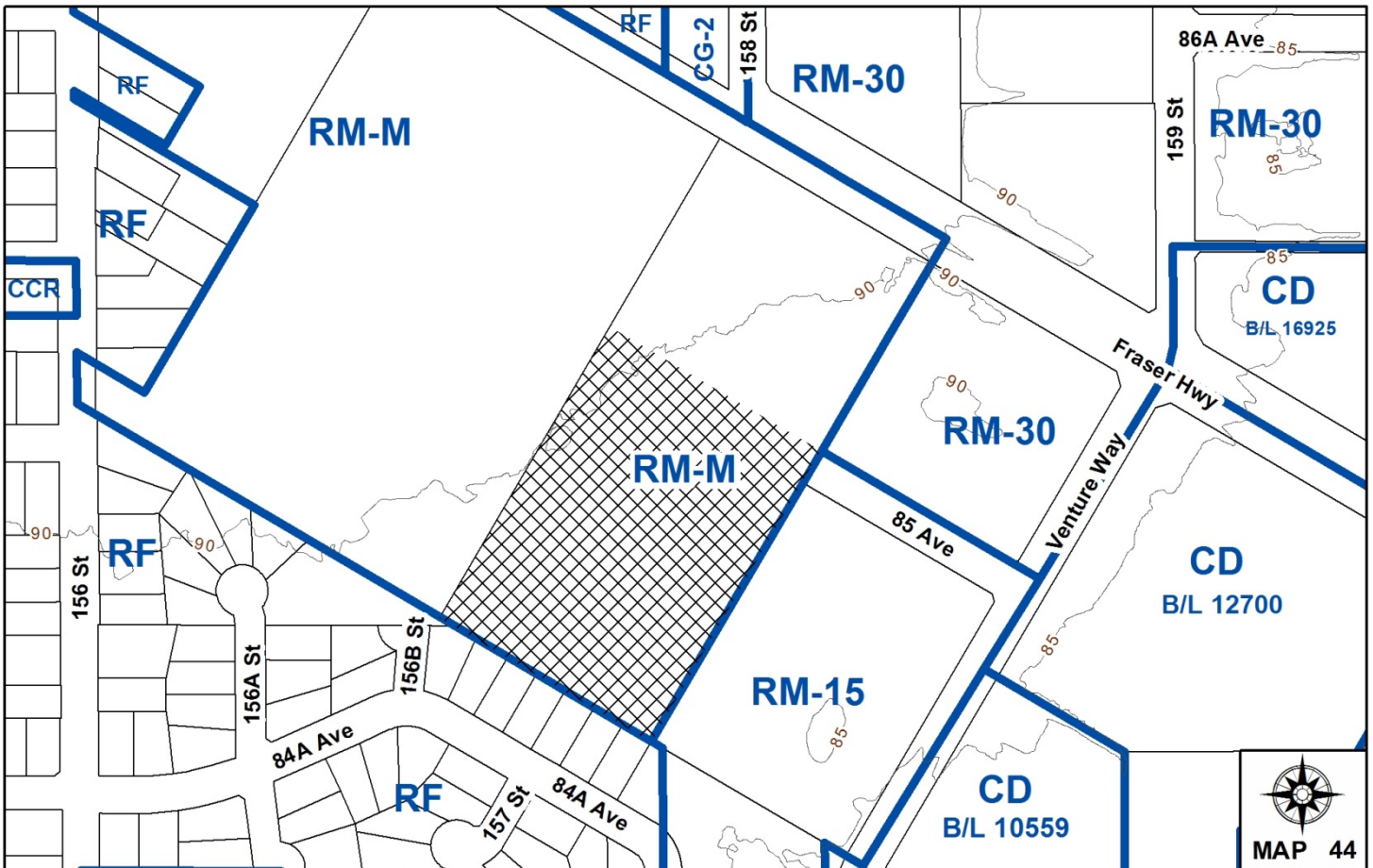
to permit the development of approximately 137 townhouse units on the southern portion of this site in Fleetwood.

LOCATION: 15820 - Fraser Highway

ZONING: RM-M

OCP DESIGNATION: Urban

TCP DESIGNATION: Manufactured Homes



RECOMMENDATION SUMMARY

- By-law Introduction to rezone a portion of the site and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the minimum front (north) and side yard (west) setbacks of the RM-30 Zone.

RATIONALE OF RECOMMENDATION

- The applicant has formulated an Affordable Housing Program (see Appendix VIII), as required under City Policy No. O-34A, in order to offer an appropriate relocation strategy for the existing manufactured home residents on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents exceed the requirements of the Province's *Manufactured Home Park Tenancy Act* (2002) and Surrey's City Policy No. O-34A, both of which provide regulations and protection for manufactured home park residents.
- The applicant is proposing to convey to the City, without compensation, a 1,052 square metre (0.26 acre) lot (proposed Lot 3) at the northwest corner of the townhouse site for a public park, as well as a 4.0-metre wide (13-ft.) walkway along the west property line for a public walkway. These amenities represent a significant community benefit for the neighbourhood.
- The proposed density and building form are appropriate for this part of Fleetwood Town Centre, and are generally consistent with recently-approved townhouse development in the Fleetwood Town Centre area.
- The proposal fulfills the City's objectives of increasing density and housing choice within the vicinity of a proposed, future rapid transit corridor along Fraser Highway.
- The applicant has agreed to install a traffic signal at 85 Avenue and Venture Way, which will address traffic and safety concerns at this location.
- The proposed north (front) yard setback fronting the proposed 85 Avenue and the new park (proposed Lot 3) achieves a more urban, pedestrian streetscape in compliance with the Fleetwood Town Centre Plan.
- The reduced west side yard setback is to allow front yards along the proposed 4.0-metre wide public walkway, which will be constructed as part of the subject development application. The proposed setback relaxation will still accommodate appropriate yard space and landscaping treatments, and provide an appropriate urban interface to the walkway.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the portion of the subject site shown as Block A on the Survey Plan attached as Appendix I, from "Manufactured Home Residential Zone (RM-M)" to "Multiple Residential 30 Zone (RM-30)", and the portion of the subject site shown as Block B on the Survey Plan attached as Appendix I, from "Manufactured Home Residential Zone (RM-M)" to "Single Family Residential Zone (RF)", and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 411 square metres (4,425 square feet) to 279.5 square metres (3,010 square feet).
3. Council authorize staff to draft Form and Character Development Permit No. 7917-0402-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7917-0402-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north front yard setback adjacent to 85 Avenue of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs for Buildings 1, 2, 12 and 13 on proposed Lot 1;
 - (b) To reduce the minimum north front yard setback adjacent to proposed Lot 3 of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 6 and 7 on proposed Lot 1;
 - (c) to reduce the minimum west side yard setback adjacent to the proposed public walkway of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 7 and 8 on proposed Lot 1; and
 - (d) To reduce the minimum west side yard setback adjacent to proposed Lot 3 of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs for Building 1 on proposed Lot 1.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant adequately compensate and/or relocate existing manufactured home park residents on the subject site, in accordance with City Policy O-34A, as well as in accordance with the Manufactured Home Park Tenancy Act;
 - (g) once the site is no longer occupied, removal of any existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (j) registration of a Section 219 Restrictive Covenant for "no build" on the north portion of the subject property shown as proposed Lot 2 on the Subdivision Plan attached as Appendix II until future redevelopment of the site; and
 - (k) the applicant adequately address the impact of reduced indoor amenity space.
6. Council pass a resolution to amend the Fleetwood Town Centre Plan to redesignate proposed Lot 1 from "Manufactured Homes" to "Medium Density Townhouses" and proposed Lot 3 from "Manufactured Homes" to "Parks and Linear Corridors" and to incorporate the extension of 85 Avenue and 158 Street, when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

34 Elementary students at Walnut Road Elementary School
18 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the first phase of dwelling units in this project are expected to be constructed and ready for occupancy by Fall of 2021, while the final phase will be completed by 2023.

Parks, Recreation & Culture: No concerns. Parks will accept the dedication of proposed Lot 3 to the City, without compensation, for a public park.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Manufactured home site (Green Tree Estates), with approximately 80 manufactured homes.

Adjacent Area:

| Direction | Existing Use | NCP Designation | Existing Zone |
|--------------------------------|---|---|-----------------|
| North (Across Fraser Highway): | 3-storey townhouse units (Springfield Village) | Apartment and Medium Density Townhouses | RM-30 |
| East: | 3- and 2-storey townhouse units (Huckleberry and Chestnut Grove). | Apartment and Medium Density Townhouses | RM-30 and RM-15 |
| South: | Single family lots. | Single Family Urban | RF |
| West: | Manufactured home site (West Villa Estate) | Manufactured Homes | RM-M |

DEVELOPMENT CONSIDERATIONS

- The subject property is located at 15820 - Fraser Highway in Fleetwood Town Centre, and is approximately 4.0 hectares (10 acres) in size. The site is currently occupied by a manufactured home park (Green Tree Estates) with approximately 80 manufactured homes.
- The subject property is designated "Urban" in the Official Community Plan (OCP), "Manufactured Homes" in the Fleetwood Town Centre Plan, and is zoned "Manufactured Home Residential Zone (RM-M)".
- The applicant has submitted a development application for a Town Centre Plan (TCP) Amendment, a rezoning from RM-M to RM-30 and RF, a Form and Character Development Permit, a Development Variance Permit (DVP) for setbacks on the proposed townhouse site, and a subdivision, in order to allow for the development of 137 townhouse units on the southern portion of the subject site.

- The proposed subdivision is to create three (3) lots. Proposed Lot 1 (south portion of the site and approximately 2.0 hectares / 4.9 acres in size) will accommodate the proposed townhouse development, while proposed Lot 2 (north half of site) will be a remnant lot for future redevelopment. Proposed Lot 2 will remain zoned RM-M as part of the subject application and a No-Build Restrictive Covenant will be registered on title until future redevelopment of this property, which will require a rezoning application.
- The applicant has agreed to convey proposed Lot 3 to the City, without compensation, for a public park. Proposed Lot 3 is approximately 1,052 square metres (0.26 acre) in size.
- The net density for the proposed 137-unit townhouse development on proposed Lot 1 is 69 units per hectare (28 units per acre) with a floor area ratio (FAR) of 0.96, which are below the maximum unit density of 75 units per hectare (30 units per acre) and the maximum FAR of 1.0 permitted in the RM-30 Zone.
- A text amendment was recently approved by Council on February 19, 2018 (Corporate Report No. R014; 2018), which increased the maximum permitted FAR of the RM-30 Zone from 0.90 to 1.0. Therefore, the 0.96 FAR proposed for the 137-unit townhouse development on the subject site complies with the RM-30 Zone.

Road and Walkway Requirements

- The applicant is required to dedicate approximately 5.5 metres (18 ft.) along the Fraser Highway frontage (north property line) to accommodate an ultimate road allowance of 42 metres (138 ft.).
- The applicant is also required to dedicate a 20-metre (66-ft.) wide road (85 Avenue extension), which will bisect the subject property. The proposed townhouse site (proposed Lot 1) will be south of the 85 Avenue extension, while proposed Lot 2 will be a double-fronting lot (Fraser Highway and 85 Avenue extension).
- The applicant will dedicate an 11.5-metre (38-ft.) wide north/south road (158 Street) along the west property line, connecting the 85 Avenue extension with Fraser Highway. The new 158 Street will ultimately be 20 metres (66 ft.) in width, should the property to the west (8560 – 156 Street) redevelop in the future.
- The applicant has also agreed to dedicate a 4.0-metre (13-ft.) wide walkway along the west property line of proposed Lot 1 (townhouse site). The proposed 4.0-metre (13-ft.) wide walkway will form half of the ultimate 8.0-metre (26-ft.) wide walkway envisioned for this area to improve connectivity, should the property to the west (8560 – 156 Street) redevelop in the future.
- The applicant submitted a Traffic Study prepared by Creative Transportation Solutions Ltd, dated April 5, 2018. Although the report states that the current intersection at 85 Avenue and Venture Way (a 4-way stop) can handle the expected traffic volumes from the proposed development, the applicant has agreed to install a signalized light at 85 Avenue and Venture Way, which will address traffic and safety concerns at this location.

- The applicant has indicated that the manufactured homes on the subject site will be removed by the end of 2019 or early 2020, as per an agreement with the existing residents (see Affordable Housing Program / Relocation Strategy section), and therefore, the roads and walkway will be constructed accordingly with the subject application. The agreement with the existing residents is based on provincial and municipal policies, which are discussed in the following sections.

Manufactured Home Park Tenancy Act

- The redevelopment of the Green Tree Estates Manufactured Home Park is subject to compliance with Provincial regulations, including the Province's *Manufactured Home Park Tenancy Act*. Below is a summary of The Act, with the staff's responses in italics.
- The *Manufactured Home Park Tenancy Act* (2002) was enacted to provide regulations and protection for Manufactured Home Parks. In part, the Act recognizes the unique tenure afforded by Manufactured Home Parks, as manufactured home park tenants own their manufactured or mobile homes, but not the land under it. Tenants essentially rent or lease their pad spaces from the owner/landlord, yet must pay municipal taxes based on the assessed value of their mobile unit, which is a depreciating asset, without the benefit of land value increases to offset this depreciation. Owners are also required to maintain and upgrade their units at their own costs, as landlords have no responsibility on the upkeep of the units themselves. Manufactured Home owners are typically renting or leasing on a fixed or month-to-month lease, and do not have security of tenure, but incur some of the costs and responsibilities that go along with home ownership. Manufactured home parks tend to provide affordable housing, often housing seniors, other residents on fixed incomes, or families.
- Section 42 of the Act establishes rules and provisions necessary for the conversion / redevelopment of a manufactured home park. This includes requirements for a landlord to have all necessary permits and approvals (including rezoning), prior to providing notice to manufactured home owners (i.e. tenants) to end a tenancy agreement. Once notice is given, the tenancy ends no earlier than 12 months after the date of notice is received.

(The applicant has stated that they notified all residents on the subject site regarding the proposed townhouse development, prior to the submission of the current development application. They also met with each resident to review the Affordable Housing Program, which resulted in legal and binding agreements to purchase all of the manufactured homes on the site.

The applicant also states that they are not relying on the current rezoning application to terminate any tenancy agreements, since agreements with each of the residents are already in place. Flexible move-out dates have been provided for all of the existing residents, ranging from early 2018 to late 2019.)

- It should be noted however, that the tenant may end the tenancy early, if they so choose.

- In addition, under Section 44 of the Act, the landlord must pay the tenant, on or before the effective date of the notice, 12 months' rent as tenant's compensation. If steps have not been taken to accomplish the stated purpose for ending tenancy within a reasonable period after the effective date of the notice, the landlord must pay an additional amount of six (6) times the monthly rent.

(As part of the applicant's Affordable Housing Program (discussed further in the next sections of this report), each manufactured home owner will be given a payment equal to 12 month's rent as well as a payment for moving expenses.)

City Policy O-34A (Manufactured Home Park Redevelopment)

- Corporate Report No. R167; 2015 outlining an updated Manufactured Home Park Redevelopment and Strata Conversion Policy (City Policy No. O-34A) was approved by Council on July 27, 2015. The proposed amendments to the policy included the following:
 - Advance Notification – Tenants will need to be notified of the proposal at the initiation of the process;
 - Communications Plan – The proponent will be required to submit a plan acceptable to the City specifying how and when tenants would be informed of progress in the development application process and on the development of an Affordable Housing Program;
 - Affordable Housing Program – Prior to the rezoning application being considered by Council, the proponent would be asked to prepare an Affordable Housing Program supported by background housing preferences. This may be prepared in conjunction with a Housing Agreement acceptable to the City, if necessary, to be registered on title. The Affordable Housing Program must provide for reasonable relocation options for the current residents, such as:
 - Relocation Option:
 - Provide information on relocation options, such as alternative manufactured home park locations and costs, market and non-market housing units in the area; and
 - Reimburse reasonable costs to relocate the manufactured home and existing improvements to an affordable site in the Lower Mainland.
 - Compensatory Payments: Reasonable payments in addition to those payments mandated in the Manufactured Home Park Tenancy Act to be used towards the acquisition of alternative affordable housing. This option may include disposal costs and moving expenses and should be based on the assessed value of the manufactured home; and
 - On-site Affordable Housing Option: Where a significant number of new housing units are being constructed, the provision of affordable rental or market housing on the development site.

- In accordance with Policy O-34A, the applicant has taken the following actions:
 - Notified the property residents of the proposal to redevelop the property prior to submitting a development application to the City;
 - Met with each resident individually to review Policy O-34A and the proposed Affordable Housing Program;
 - Collected demographic profiles, affordable housing preferences, and home assessments for each manufactured home on site; and
 - Communicated the timing of information meetings and the public process in accordance with City requirements.
- Therefore, the applicant states that they have adhered to and exceeded the requirements in City Policy O-34A. This includes an Affordable Housing Program / Relocation Strategy for the existing residents.

Affordable Housing Program / Relocation Strategy

- The current land use on the subject site is an existing manufactured home park, which contains approximately 80 occupied manufactured homes. As per City Policy No. O-34A, the applicant is responsible for relocating the existing residents in an appropriate manner acceptable to the residents and Council, as well as complying with the Province's *Manufactured Home Park Tenancy Act* regulations.
- The applicant formulated an Affordable Housing Program (see Appendix VIII), as required under City Policy No. O-34A, in order to offer an appropriate relocation strategy for the existing manufactured home residents on the subject site. The program includes the following options:
 - Option #1: Sell the manufactured home

The tenant may sell their home to the applicant, which would also include a payment for moving expenses and a cash payment equal to twelve (12) months rent.
 - Option #2: Relocate the manufactured home

The applicant will coordinate and pay for the relocation of the manufactured home, including hook-up and service connections, and moving expenses. Additionally, the owner will be granted the equivalent of twelve (12) months rent.
 - Option #3: Guaranteed income assistance for life

The tenant will receive monthly payments of up to \$700 per month for the rest of their life to assist with future housing choices. The payment of moving expenses and a cash payment equal to twelve (12) months rent will be provided as well.

- Additional services

As every resident's needs are different, a full-time property manager has been hired to discuss and assist residents with relocation options and services. The existing residents will also be given a first right of refusal to purchase a housing unit within the new development.

Additional Information on Tenant Relocation

- The applicant states that they have entered into a legal and binding agreement with all 80 of the owners/residents to purchase their manufactured home (Option #1). All of the manufactured homes will be demolished after the residents have vacated the site, which is expected within the next 18 months and exceeds the 12-month notice that is required as per the *Manufactured Home Park Tenancy Act (2002)*.
- By choosing Option #1, all 80 of the manufactured home owners have agreed to the following:
 - The purchase (by the applicant) of the manufactured home;
 - A payment for moving expenses;
 - A payment equal to 12 months' rent; and
 - Flexible and extended move-out dates ranging from early 2018 to late 2019.
- In order to support each resident, a full time representative is available to discuss and assist with the following relocation services:
 - Provide comprehensive information on relocation options;
 - Assist in securing a variety of affordable housing options;
 - Assist in answering any questions;
 - Provide opportunities to purchase a new home at a discounted price;
 - Coordinate moving logistics;
 - Completion / move dates will not occur until Summer / Fall of 2019;
 - Provide flexible move out dates to ensure suitable housing accommodations are secured; and
 - Right of first refusal to purchase a new home on the subject property at a discounted price.

PRE-NOTIFICATION

- Pre-notification letters were sent out to the surrounding neighbourhood on January 8, 2018 and two (2) development proposal signs were installed on the subject site. Staff received a total of twenty-one (21) e-mails and telephone calls in response. All 21 respondents expressed concerns regarding the proposal.
- The neighbourhood comments and concerns are summarized in a subsequent section of this report titled "Community Concerns to Proposal".

Petition

- On January 29, 2018, staff received an e-mail which included an attachment with 37 signatures from the abutting Chestnut Grove strata to the east (15868 – 85 Avenue). The abutting strata expressed their comments and concerns, and opposed the proposed townhouse development.
- Their concerns are consistent with comments received in response to the pre-notification letters and the public information meeting (PIM), and are summarized in the subsequent sections of this report.

Public Information Meeting

- The applicant held a public information meeting (PIM) on Thursday, January 25, 2018 at the Comfort Inn & Suites (8255 – 166 Street). Approximately 50 individuals attended the PIM, and a total of 36 comment sheets were submitted. A Staff representative from the Planning and Development Department was in attendance at the PIM.
- Below is a breakdown of the completed comment sheets:
 - Comment sheets submitted: 36
 - Non-support: 25
 - Support: 10
 - Mixed: 1
- The majority of the comment sheets were submitted by residents from the abutting properties to the west (West Villa Estates, 8560 – 156 Street), east (Huckleberry, 15871 – 85 Avenue and Chestnut Grove, 15868 – 85 Avenue) and south (single family dwellings along 84A Avenue), as well as the subject site.
- Of those that expressed non-support for the proposed development, the following reasons were noted (see Community Concerns to Proposal section for details):
 - 85 Avenue should not be extended to provide access to the subject site;
 - Increased traffic and parking concerns;
 - 3-storey townhouse units should be 2-stories, particularly along the south and east property lines of the subject site;
 - the location of some of parking stalls on the subject site;
 - Density too high and will further burden the roads, schools and emergency services;
 - Loss of affordable housing on the subject site and possibly on the neighbouring sites to the west; and
 - Existing drainage concerns from the subject site.

Community Concerns to Proposal

- The neighbourhood's response at the public information meetings were consistent with comments received in response to the pre-notification letters and the development proposal sign, and are summarized below.

- 85 Avenue extension, traffic and parking: Area residents expressed objection to the extension of 85 Avenue to provide access to the subject site. Some noted that this would increase the traffic at 85 Avenue and Venture Way, and result in added noise and safety concerns.

Applicant's response:

- The planned expansion of the integrated transit network will alleviate congestion in the area, with the new B-Line bus service and the future rapid transit system running along Fraser Highway.
- The dedication of 158 Street along the west property line will help to disperse local traffic and reduce congestion at the intersection of 85 Avenue and Venture Way.
- Approximately two dozen, on-street public parking spaces will be created along 85 Avenue as part of the proposed development.
- A number of tandem garage units have been removed and replaced with side-by-side, double garage units, which tend to reduce the need for additional parking. Over 75% of the proposed units on the subject site are side-by-side, double garage units.
- A signal will be installed at the 85 Avenue and Venture Way intersection, as part of the subject development application.

Staff comments:

- The extension of 85 Avenue will provide access and circulation for the proposed development, and will improve vehicular and pedestrian connectivity for the neighbourhood. This is particularly important in the Fleetwood Town Centre, in order to disperse traffic flows and create smaller, walkable block sizes.
- Bus stops are located to the northeast of the site along Fraser Highway near Venture Way, and will provide transit service for area residents and patrons. The future construction of the rapid transit line along Fraser Highway, with a station at 160 Street (a 5 minute walk from the subject site), will provide additional transit options for residents in this area.
- The applicant submitted a Traffic Study prepared by Creative Transportation Solutions Ltd, dated April 5, 2018. Although the report states that the current intersection at 85 Avenue and Venture Way (a 4-way stop) can handle the expected traffic volumes from the proposed development, the applicant has agreed to install a signalized light at 85 Avenue and Venture Way, which will address traffic and safety concerns at this location.
- Improved walkways and multi-use paths will encourage active and more sustainable modes of transportation.
- The proposed 137-unit townhouse development will meet all parking requirements as per the Zoning By-law.

- Density: some area residents expressed concern regarding the increase in density.

Applicant's response:

- Densification along Fraser Highway is necessary to support the construction of rapid transit.
- A number of modifications, including fewer units, increased setbacks, and increased landscape buffers, have been made to the site plan to address density and interface concerns from existing residents in the immediate area.

Staff comments:

- The subject site is located within walking distance to numerous businesses and services in the area. The proposed density on the subject site is supported since the proposed townhouse development will help create an urban, more pedestrian-oriented neighbourhood.
 - The future anticipated expansion of rapid transit along Fraser Highway from City Centre, with a potential rapid transit station at the intersection of Fraser Highway and 160 Street, will provide residents with additional transit options in the area. Increased densities within the future transportation corridor are required, and appropriate, to support the proposed expansion of the rapid transit network and transit bus service.
 - The proposed development will create housing diversity, sustainability and affordability, which supports the City's continued growth near a rapid transit corridor.
- Impact to Existing Roads and Emergency Services: The proposed development will overburden the existing roads and emergency services (police, fire and hospital capacity).

Applicant's response:

- A traffic management plan has been completed, the results of which forecast the local road network, specifically 85th Ave, Venture Way, and 159th Street, to operate at an A (excellent) to B (good) rated level of service with the build out of the development site.
- With respect to emergency services, approval of this application will increase the density of the development site by only 37 units compared to the underlying zoning. Furthermore, infill development such as this, and not green field development, is the most efficient way to pay for and utilize emergency services and infrastructure, such as the construction of the rapid transit system.

Staff comments:

- As per the Local Government Act, DCCs are collected as part of development applications in order to fund the costs to provide road, drainage, water and sewer services, as well as for parkland acquisition. The proposed development must meet City standards for infrastructure construction.

- The proposed roads (85 Avenue extension and 158 Street), along with the traffic signal at 85 Avenue and Venture Way, will provide improved vehicular and pedestrian flow and connectivity for the neighbourhood.
- Funds for Police and Fire services are not collected via Development Cost Charges, as per the Local Government Act. The City reviews funding levels for these emergency services on a regular basis to determine where improvements and funding increases are necessary.
- Although hospitals are generally the responsibility of the Province (Ministry of Health) and Fraser Health, the City liaisons with these agencies to identify problems and deficiencies in the system. In December 2017, representatives for the Ministry of Health announced plans to construct a new hospital for Surrey to alleviate the pressures at Surrey Memorial Hospital.
- School Capacity: The continued growth and development has resulted in over capacity to schools in the Fleetwood area.

Applicant's response:

- Government funding has been earmarked to add 365 more seats to Fleetwood elementary schools, the implementation of which is a top priority within the 2018/2019 Capital Plan. The addition of 365 seats will provide a surplus of 89 seats to Fleetwood elementary schools based on the September 2017 enrolment numbers. This will help alleviate stress and capacity issues in the near term.
- The proposed development also will be paying school acquisition charges to the City of Surrey (School Board).

Staff comments:

- The school catchment area for the subject site is Walnut Road Elementary School and Fleetwood Park Secondary School. According to Surrey School Board (see Appendix IV), these two (2) schools are currently operating above capacity. There are few opportunities to expand Walnut Road Elementary School due to site and building limitations. However, as part of the Surrey School District's 2018/19 Capital Plan submission to the Ministry of Education, the District is requesting a 100 student capacity increase at Coyote Creek Elementary (8131 – 156 Street) and a 300 capacity increase at William Watson Elementary (16450 – 80 Avenue), to relieve the pressure in the area.
- There are no plans to expand Fleetwood Park Secondary School at this time. This facility will be reviewed over the next year to be considered as a 2019/20 Capital Plan request to the Province's Ministry of Education.
- The Provincial Government has recently pledged to invest funds into the Surrey School District over the next few years, including a capital plan to expand or build new schools in Surrey. The Ministry of Education will continue to work with the Surrey School Board; however, no official announcements have been made.

- Loss of Affordable Housing: a number of area residents expressed concern regarding the redevelopment of the subject site, since the manufactured homes provide affordable housing particularly for seniors.

Applicant's response:

- Agreements have been reached with each owner/resident for the purchase of their manufactured homes on the site, and compensation and assistance to the existing residents will exceed provincial (*Manufactured Home Park Tenancy Act*) and municipal (Policy No. O-34A) policies.
- There are opportunities to develop smaller, more affordable dwelling units on the remnant lot (proposed Lot 2) in the future.
- A commitment has also been made to contribute approximately \$150,000 to the Elizabeth Fry Society, which is a charitable organization that supports women, girls and children at risk.

Staff comments:

- The Surrey Affordable Housing Strategy was approved by Council on April 9, 2018 under Corporate Report No. Ro66. The proposed strategy is expected to prevent the overall loss of affordable rental housing stock and to require affordable housing contributions (\$1,000 per unit) for new residential developments that require a rezoning. Similar to the collection of Development Cost Charges (DCCs), the affordable housing contributions will be collected at the subdivision stage for single family applications, and collected at the Building Permit stage for multiple residential developments.
 - The current townhouse proposal however, is not subject to the affordable housing contribution as the development application was submitted prior to the approval of the Affordable Housing Strategy. The future redevelopment and rezoning of the remnant lot (proposed Lot 2) however, would be subject to affordable housing contributions to the City. The funds collected through the affordable housing contributions can be used to purchase land for new affordable rental housing projects.
- Townhouse height and interface: existing residents to the south and east of the subject site requested that the applicant provide a more appropriate interface by reducing the height of the proposed townhouse units from three storeys to two storeys. Some residents also expressed concerns that the visitor parking stalls on the subject site were too close to their property and would be disruptive.

Applicant's response:

- Fewer townhouse units are now proposed along the south property line, and no second floor decks will face the existing single homes to the south or the existing townhouse development to the east (Chestnut Grove).

- The proposed setbacks along the south and east property lines have been increased (from 7.5 metres / 25 ft. to 8.25 metres / 27 ft.), as has the landscape buffer (from 3.0 metres / 10 ft. to 3.5 metres / 11.5 ft.) which will include mature planting.
- The visitor parking stalls in question have been relocated away from the property line.

Staff comments:

- In order to address concerns regarding building height and interface with the abutting sites to the east (townhouses) and south (single family homes), the applicant revised the proposal as follows:
 - The smaller (tandem garage) townhouse units proposed along the south property line were replaced with larger (double garage) units. As a result ten (10) fewer townhouse units are proposed along the south property line;
 - The second-floor decks for all of the townhouse units along the east and south property lines have been relocated from the rear yards to the front yards (now facing the internal drive aisles). Therefore, no second-floor decks will overlook onto the abutting lots to the east and south;
 - The building setbacks along the east and south property lines have been further increased from 7.5 metres (25 ft.) to 8.25 metres (27 ft.). A typical rear yard setback for townhouse developments is 6.0 metres (20 ft.) or 7.5 metres (25 ft.) adjacent to the single family homes. The applicant has exceeded this latter setback; and
 - The applicant also proposes a 3.5-metre (11.5-ft.) landscape buffer along the east and south property lines, within the 8.25-metre (27-ft.) building setback. This was increased from 3.0 metres (10 ft.), as presented at the public information meeting.
- The applicant's consultant submitted a site cross section, as shown in Appendix X, showing the proposed interface with the existing dwellings to the east and south. The cross section drawings show that the increased building setback, proposed landscape buffer and the existing trees on the abutting Chestnut Grove townhouse development to the east will provide appropriate screening and separation between the two (2) properties.
- The cross section drawings also show the interface with the existing single family dwellings to the south. In addition to the increased setbacks and proposed landscape buffer on the subject site, the existing rear yard setbacks for all of the abutting single family homes, at 12 to 14 metres (39 to 46 ft.), is significantly greater than the minimum required setback of 7.5 metres (25 ft.) in the RF Zone. Therefore, the proposed interface and separation is supported.
- A number of visitor parking stalls located at the southeast corner of the site as shown on the original site plan, have since been relocated to address concerns expressed by the neighbourhood.

- Drainage concerns: some residents on the abutting properties expressed concerns regarding poor on-site drainage which has previously resulted in flooding on their properties.

Applicant's response:

- There currently is no drainage system on the subject site. As part of the proposed development, the applicant will be installing storm sewer infrastructure to service the entire development site and will be upgrading the nearby public storm sewer infrastructure, which will alleviate flooding from/onto neighbouring properties and can be considered a community benefit.

Staff comments:

- The existing manufactured home site was constructed many years ago, and does not meet current on-site stormwater management practices. As part of the subject application, the applicant is required to provide appropriate on-site stormwater management and to upgrade drainage infrastructure to City standards.

Revisions to the Initial Proposal

- As a result of the comments and concerns that were expressed from the public information meeting (PIM) and the pre-notification process, the applicant worked with their consultant and with City staff to revise their initial proposal. A number of these revisions were discussed in the previous Community Concerns to Proposal section and are summarized below:
 - Removal of six (6) units from the original proposal, as presented at the PIM on January 25, 2018, to reduce the proposed density from 143 to 137 proposed townhouse units.
 - To address concerns regarding interface and separation along the east lot line:
 - The building setbacks have been further increased from 7.5 metres (25 ft.) to 8.25 metres (27 ft.);
 - All second-floor decks have been relocated to the front of each townhouse unit, and will no longer face eastward;
 - A 3.5-metre (11.5-ft.) landscape buffer will be installed with mature trees and planting. The original site plan did not include a landscape buffer; and
 - Several visitor parking stalls located at the southeast corner of the subject site have been relocated away from the east lot line.
 - To address concerns regarding interface and separation along the south lot line:
 - Ten (10) fewer units are now proposed along the south lot line;
 - All second-floor decks have been relocated to the front of each townhouse unit, and will no longer face southward;
 - The building setbacks have been further increased from 7.5 metres (25 ft.) to 8.25 metres (27 ft.); and
 - The 3.0-metre (10-ft.) landscape buffer has been increased to 3.5 metres (11.5 ft.), and more substantial, mature trees and planting will be installed.

- In addition to dedicating a 4.0-metre wide (13-ft.) walkway along the west property line for a public walkway, the applicant has agreed to convey proposed Lot 3 to the City, without compensation, for a public park.
- The applicant has also agreed to install a signal at the 85 Avenue and Venture Way intersection, which will address traffic and safety concerns expressed by residents in the area.

JUSTIFICATION FOR PLAN AMENDMENT

- The subject site is located within the Fleetwood Town Centre Plan (TCP) and is designated “Manufactured Homes”. The proposed amendment to the Fleetwood TCP is to redesignate proposed Lot 1 from “Manufactured Homes” to “Medium Density Townhouses” and proposed Lot 3 from “Manufactured Homes” to “Parks & Linear Corridors” (Appendix VI).
- The subject site, as well as the neighbouring manufactured home sites to the west (8560 and 8670 – 156 Street) have existed for many years and have provided a source of affordable housing in the area. As such, these properties have been designated “Manufactured Homes” in the Fleetwood TCP ever since the plan was approved in 2000.
- A number of properties in the immediate area, particularly those abutting Fraser Highway, have redeveloped to higher densities (townhouses) in accordance with the Fleetwood Town Centre Plan (TCP). Intensification of the subject site is appropriate given its location adjacent to the future rapid transit corridor along Fraser Highway.
- The applicant has created an Affordable Housing Program (Appendix VIII), which exceeds provincial and municipal policies, in order to offer an appropriate relocation strategy for the existing manufactured home residents on the subject site.
- The applicant is proposing to convey to the City, without compensation, a 1,052 square metre (0.26 acre) lot (proposed Lot 3) at the northwest corner of the townhouse site for a public park, as well as a 4.0-metre wide (13-ft.) walkway along the west property line for a public walkway. These public amenities represent a significant community benefit for the neighbourhood.
- The applicant has requested that this parkland community benefit also be considered as part of their future proposal on the northern lot (proposed Lot 2), which is likely to be a multi-family residential development. Staff have indicated that this request can be presented to Council at that time for consideration, but that the redevelopment of that site is subject to a separate rezoning process, and will be considered on its individual merit as part of the typical development application review process.
- The applicant has also agreed to install a traffic signal at the 85 Avenue and Venture Way intersection, which will address traffic and safety concerns expressed by residents in the area.

DESIGN PROPOSAL AND REVIEW

- The proposed 137-unit townhouse project consists of fifteen (15), three-storey buildings with garages accessed internally at grade.
- Over 75% (103) of the proposed 137 townhouse units consist of double car, side-by-side garages, while the remaining 34 townhouse units consist of tandem garages, which complies with the RM-30 Zone. All 34 of the tandem garage units will consist of one (1) parking space within the garage and one (1) external parking stall on the parking pad.
- To ensure that tandem parking spaces will not be converted into livable spaces, the applicant is required to register a Section 219 Restrictive Covenant as a condition of Final Adoption of the proposed rezoning.
- The proposed building materials include cedar shake siding, hardi board siding and horizontal vinyl siding. The proposed siding will consist of four (4) main colours – black, vintage grey, heritage brown and two shades of grey.
- The proposed window shutters, louvers are to be painted black, while the window/wood trim, fascia posts, gutter and garage doors are to be painted white. The applicant proposed four (4) different colours for the unit doors – blue, turquoise, yellow and red.
- The applicant proposes grey shingle roofs with extended canopy overhangs to provide improved building articulation.
- All of the proposed townhouse units include a second-floor deck.
- The proposal will include five (5) electrical rooms adjacent to Buildings 1, 5, 7, 13 and 14.

Vehicle Access and Parking

- Vehicle access to the townhouse site proposal is at the north end via two (2) driveways to 85 Avenue.
- The proposed townhouse development includes a total of 274 parking spaces and 27 visitor parking spaces, which complies with the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by decorative permeable pavers.

Amenity Spaces

- The RM-30 Zone requires that 411 square metres (4,425 square feet) of indoor amenity space and 411 square metres (4,425 square feet) of outdoor amenity space be provided (3.0 sq. m. / 32 sq.ft. of each amenity per dwelling unit).
- The applicant proposes 458 square metres (4,930 sq.ft.) of outdoor amenity space, which exceeds the minimum 411 square metres (4,425 square feet) required under the RM-30 Zone. Two (2) outdoor amenity spaces are proposed – one located near the middle of the site between Buildings 2 and 3, and one at the east end of the site between Buildings 13 and 14.

- The outdoor amenity space between Buildings 2 and 3 consists of community garden, while the second outdoor amenity space includes children's play equipment. A number of mature trees will be retained within this outdoor amenity space, and will provide added shade and privacy.
- The applicant proposes a two-storey amenity building, with a basement, that is approximately 279.5 square metres (3,010 square feet) in size and attached to the north end of proposed Building 1. The main floor of the proposed amenity building will include space for a lounge and kitchen, while the second floor may be utilized as a studio or meeting area. The basement may be used for recreational purposes.
- The proposed 279.5 square metres (3,010 square feet) amenity building does not meet the minimum 411 square metres (4,425 square feet) of indoor amenity space required under the RM-30 Zone. The applicant will provide a monetary contribution of \$52,800 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.

TREES

- Jeff Ross, ISA Certified Arborist of Mike Fadum and Associated Ltd. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|---|----------|--------|--------|
| Alder and Cottonwood Trees | | | |
| Alder / Cottonwood | 17 | 9 | 8 |
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Ash, Mountain | 1 | 1 | 0 |
| Apple | 1 | 1 | 0 |
| Cherry | 1 | 0 | 1 |
| Dogwood | 1 | 1 | 0 |
| Dogwood, Pacific | 1 | 1 | 0 |
| Linden, Silver | 1 | 1 | 0 |
| Maple | 1 | 1 | 0 |
| Maple, Japanese | 5 | 4 | 1 |
| Maple, Redleaf Japanese | 1 | 1 | 0 |
| Maple, Pacific Sunset | 13 | 1 | 12 |
| Magnolia | 1 | 1 | 0 |
| Plum, Pissard | 1 | 1 | 0 |
| Poplar | 2 | 2 | 0 |
| Oak, Sawtooth | 1 | 0 | 1 |
| Willow, Weeping | 3 | 3 | 0 |
| English Holly | 1 | 0 | 1 |

| Tree Species | Existing | Remove | Retain |
|--|------------|---------------------------------|-----------|
| Coniferous Trees | | | |
| Cedar, Deodar | 1 | 0 | 1 |
| Cedar, Yellow | 1 | 1 | 0 |
| Cypress, Sawara | 14 | 3 | 11 |
| Cypress, False | 4 | 0 | 4 |
| Cypress, Threadleaf | 1 | 1 | 0 |
| Douglas Fir | 68 | 17 | 51 |
| Fir, Grand | 1 | 1 | 0 |
| Hemlock, Western | 6 | 3 | 3 |
| Pine | 1 | 1 | 0 |
| Pine, Scots | 1 | 1 | 0 |
| Spruce, Norway | 1 | 1 | 0 |
| Spruce, Sitka | 1 | 0 | 1 |
| Western Red Cedar | 21 | 13 | 8 |
| Total (excluding Alder and Cottonwood Trees) | 156 | 61 | 95 |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | | 207 | |
| Total Retained and Replacement Trees | | 302 | |
| Contribution to the Green City Fund | | No contribution required | |

- The Arborist Assessment states that there are a total of 156 mature trees on the subject site (townhouse site and remnant north lot), excluding Alder and Cottonwood trees. Seventeen (17) existing trees, approximately 10% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 103 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- A new arborist report will be required when the remnant north lot is redeveloped in the future.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 131 replacement trees on the site. The applicant is proposing 207 replacement trees, which exceeds City requirements. Therefore, no contribution is required to the Green City Fund.

Landscaping

- The landscape plan shows a minimum of 207 trees to be planted throughout the subject site including maple, cypress, dogwood, spruce, pear and oak.
- A significant number of shrubs and ground cover species are proposed throughout the subject site including sedge, ferns, rhododendrons, yew, huckleberry, laurel and decorative grasses.

- A 1.8-metre (6-ft.) high cedar fence will be installed along the south and east lot lines, while 0.9-metre (3-ft.) high wood rail fences are proposed along the west and north lot lines.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant submitted a sustainable development checklist for the subject site on August 22, 2017. The following table summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| Sustainability Criteria | Sustainable Development Features Summary |
|--|---|
| 1. Site Context & Location (A1-A2) | <ul style="list-style-type: none"> • The site is located in Fleetwood Town Centre Plan in an established neighbourhood with frequent transit service. |
| 2. Density & Diversity (B1-B7) | <ul style="list-style-type: none"> • The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape. • The project will diversify the housing stock and provide additional options for future home buyers. |
| 3. Ecology & Stewardship (C1-C4) | <ul style="list-style-type: none"> • The proposed development includes infiltration trenches and absorbent soils to alleviate any drainage concerns. • Natural, drought-resistant landscaping will be utilized. |
| 4. Sustainable Transport & Mobility (D1-D2) | <ul style="list-style-type: none"> • Frequent transit bus service along Fraser Highway is within close walking distance from the subject site. • A multi-use path runs along the south side of Fraser Highway and provides access for pedestrians and cyclists. |
| 5. Accessibility & Safety (E1-E3) | <ul style="list-style-type: none"> • The proposed building incorporates Crime Prevention Through Environmental Design (CPTED) principles including: well-lit entries/exits, front doors and dens overlooking the street, and clear pedestrian linkages and lighting. • Landscaping is also designed to support and enhance CPTED. |
| 6. Green Certification (F1) | <ul style="list-style-type: none"> • No green rating or certification is proposed. |
| 7. Education & Awareness (G1-G4) | <ul style="list-style-type: none"> • Pre-notification letters were mailed to area residents and property owners, and a development proposal sign was installed on subject site. A public information meeting was also held. |

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum north front yard setback adjacent to 85 Avenue of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs for Buildings 1, 2, 12 and 13 on proposed Lot 1.

- To reduce the minimum north front yard setback adjacent to proposed Lot 3 of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 6 and 7 on proposed Lot 1.

Applicant's Reasons:

- The proposed setback variance for Buildings 1, 2, 12 and 13 is to the frontage along 85 Avenue. The proposal enhances architectural significance on the front façade via a layering effect of hedging, front yard rail fencing, thoughtfully designed entry gates and clearly defined entries. This creates a rich transition from public to private space, while also creating homes with pedestrian-oriented character and charm.
- Proposed Lot 3 has been allocated for a public park, which further reduces the development size of the subject site. The proposed setback variance is appropriate adjacent to the future public park.

Staff Comments:

- The proposed 4.5-metre (15-ft.) setback along the north property line, adjacent to 85 Avenue, will create an appropriate urban, pedestrian-friendly interface. These units will be designed with significant glazing to create a strong street interface.
- The proposed 3.0-metre (10-ft.) setback along a portion of the north property line is a side yard condition and is an appropriate interface to proposed Lot 3 (public park).
- The proposed front yard setbacks on proposed Lot 1 are consistent with the setback variances that have been approved for other similar townhouse developments in the Fleetwood area.
- Staff support the proposed variances.

(b) Requested Variances:

- To reduce the minimum west side yard setback adjacent to the proposed public walkway of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 7 and 8 on proposed Lot 1; and
- To reduce the minimum west side yard setback adjacent to proposed Lot 3 of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs to the roof overhangs for Building 1 on proposed Lot 1.

Applicant's Reasons:

- The proposed development is providing a walkway dedication along the west property line as a community benefit. This dedication and the additional 3.5 metre (11.5 ft.) landscape buffer along the east property line constrict the site layout and a west setback of 3.0 metre (10 ft.) is necessary to permit efficient site design.

- The reduced west frontage improves the public realm along the walkway, encouraging neighbourhood interaction and CPTED ('eyes on the street').

Staff Comments:

- The proposed 3.0 metre (10 ft.) setback along the west property line, adjacent to the new public walkway, will create an urban interface and relationship between public and private spaces. Low, open wood rail fencing with gates will define the front yards of each townhouse unit, and will provide an appropriate separation between the public walkway and each private unit. Landscaping, including a variety of trees and flowering shrubs and ground cover, will further define the transition between public and private spaces.
- The proposed 3.0-metre (10-ft.) setback adjacent to the new public walkway will also address CPTED principles, by providing "eyes on the street (walkway)".
- The proposed 4.5-metre (15-ft.) setback along the west property line, adjacent to proposed Lot 3 (public park), is an appropriate interface and will still provide space for private front yards for each townhouse unit.
- Staff support the proposed variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|----------------|--|
| Appendix I. | Lot Owners and Action Summary (Confidential), Project Data Sheets and Survey Plan |
| Appendix II. | Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |
| Appendix IV. | School District Comments |
| Appendix V. | Summary of Tree Survey and Tree Preservation |
| Appendix VI. | NCP Plan |
| Appendix VII. | Development Variance Permit No. 7917-0402-00 |
| Appendix VIII. | Applicant's Affordable Housing Program |
| Appendix IX. | City Policy O-34A (Manufactured Home Park Redevelopment) |
| Appendix X. | Building Interface Cross Section |

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30 (proposed Lot 1 only)

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|--|---------------------------------------|--------------|
| LOT AREA* | | |
| Gross Total | | 21,485 sq.m. |
| Road Widening area | | |
| Undevelopable area | | 1,692 sq.m. |
| Net Total | | 19,793 sq.m. |
| | | |
| LOT COVERAGE (in % of net lot area) | | |
| Buildings & Structures | 45% | 45% |
| Paved & Hard Surfaced Areas | | 18% |
| Total Site Coverage | | 63% |
| | | |
| SETBACKS | | |
| Front | 7.5 m. | 4.5 m. |
| Rear | 7.5 m. | 8.25 m. |
| Side #1 (west) | 7.5 m. | 3.0 m. |
| Side #3 (east) | 7.5 m. | 8.25 m. |
| | | |
| BUILDING HEIGHT | | |
| Principal | 13 m. | 10.5 m. |
| Amenity | 11 m. | 7.5 m. |
| Accessory | 4.5 m. | N/A |
| | | |
| NUMBER OF RESIDENTIAL UNITS | | |
| Bachelor | | |
| One Bed | | |
| Two Bedroom | | 1 |
| Three Bedroom + | | 136 |
| Total | | 137 |
| | | |
| FLOOR AREA: Residential | | 19,099 sq.m. |
| | | |
| FLOOR AREA: Commercial | | |
| Retail | | |
| Office | | |
| Total | | N/A |
| | | |
| FLOOR AREA: Industrial | | N/A |
| | | |
| FLOOR AREA: Institutional | | N/A |
| | | |
| TOTAL BUILDING FLOOR AREA | 19,793 sq.m. | 19,099 sq.m. |

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

| Required Development Data | Minimum Required / Maximum Allowed | Proposed |
|--|---|-------------------------|
| DENSITY | | |
| # of units/ha /# units/acre (net) | 75 UPH / 30 UPA | 69 UPH / 28 UPA |
| FAR (net) | 1.0 FAR | 0.96 FAR |
| | | |
| AMENITY SPACE (area in square metres) | | |
| Indoor | 411 sq.m. | 279.5 sq.m. |
| Outdoor | 411 sq.m. | 458 sq.m. |
| | | |
| PARKING (number of stalls) | | |
| Commercial | | N/A |
| Industrial | | N/A |
| | | |
| Residential Bachelor + 1 Bedroom | | |
| 2-Bed | 2 | 2 |
| 3-Bed | 272 | 272 |
| Residential Visitors | 27 | 27 |
| | | |
| Institutional | | N/A |
| | | |
| Total Number of Parking Spaces | 301 | 301 |
| | | |
| Number of accessible stalls | | N/A |
| Number of small cars | | N/A |
| Tandem Parking Spaces: Number / % of Total Number of Units | 136 / 50% | 68 / 25% |
| Size of Tandem Parking Spaces width/length | 3.2 metres by 12 metres | 3.3 metres by 12 metres |

| | | | |
|---------------|----|---------------------------------|-----|
| Heritage Site | NO | Tree Survey/Assessment Provided | YES |
|---------------|----|---------------------------------|-----|

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW #_____ OF PART OF LOT 'C' (SEE D25129), EXCEPT PART DEDICATED ROAD IN PLAN BCP1517, SECTION 26, TOWNSHIP 2, NWD PLAN 6486.

SCALE 1:1500



All Distances are in Metres.



REM. 69
PLAN 51592

REM. C
SEE D25129
PLAN 6486

FRASER HIGHWAY
120°24'15"
SRW PLAN BCP1518
132.838

BCS876

SRW PLAN BCP7261

85th AVENUE

SRW PLAN BCP7261

BLOCK 'B'
0.104 Ha.

BLOCK 'A'
2.044 Ha.

BCS943

Total Area Block 'A' = 2.044 Ha.
Total Area Block 'B' = 0.104 Ha.
Total Block 'A' and 'B' = 2.148 Ha.

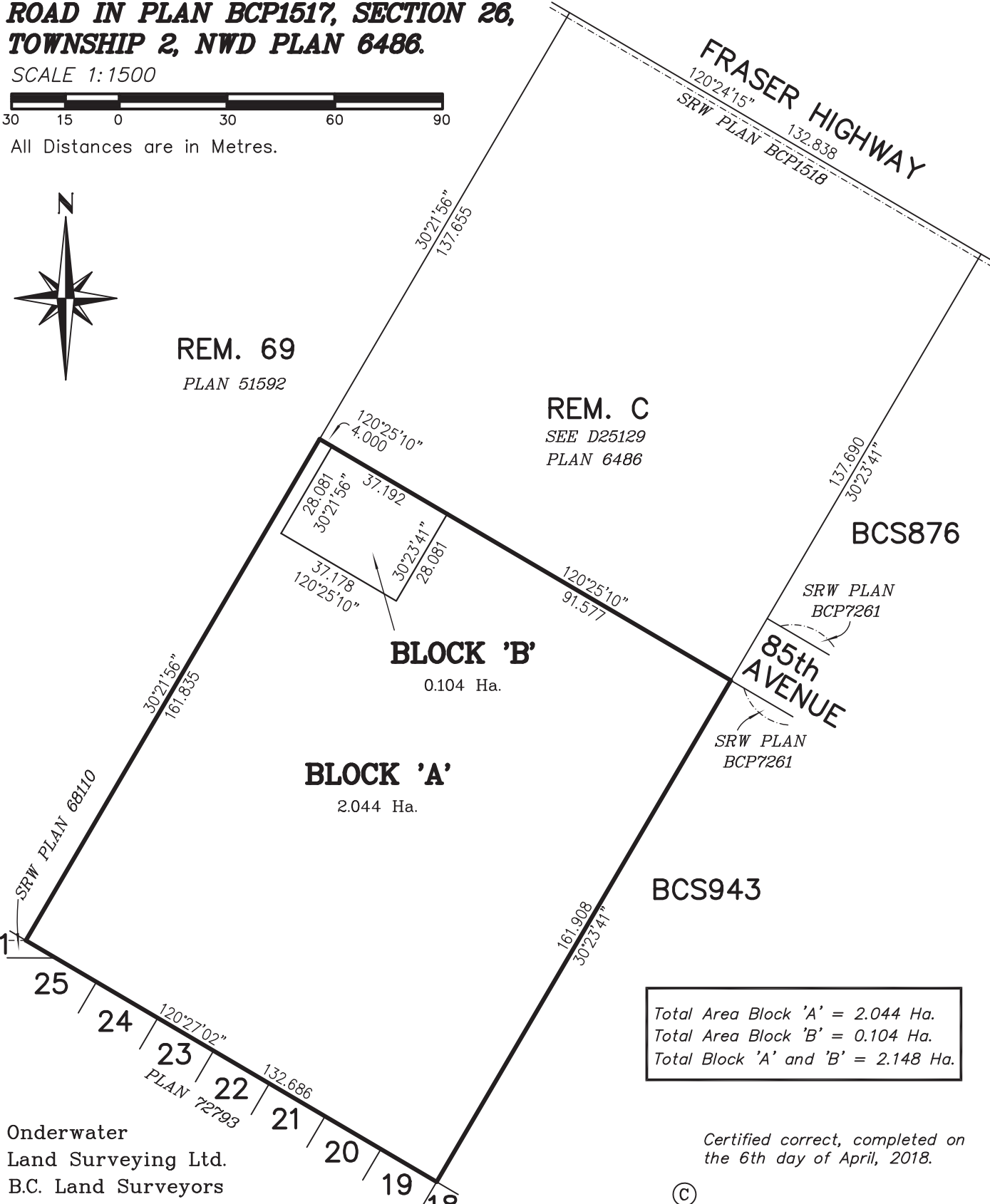
Certified correct, completed on the 6th day of April, 2018.

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B.C.L.S.

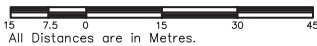
Onderwater
Land Surveying Ltd.
B.C. Land Surveyors
#104 - 5830 176 'A' Street
Cloverdale, B.C.
FILE: JS17109_RZ

*This Plan Lies Within The
Metro Vancouver Regional District*



PRELIMINARY SUBDIVISION PLAN OF LOT "C" (SEE D25129), EXCEPT PART DEDICATED ROAD IN PLAN BCP1517, SECTION 26, TOWNSHIP 2, NEW WESTMINSTER DISTRICT PLAN 6486.

SCALE 1:750



All Distances are in Metres.

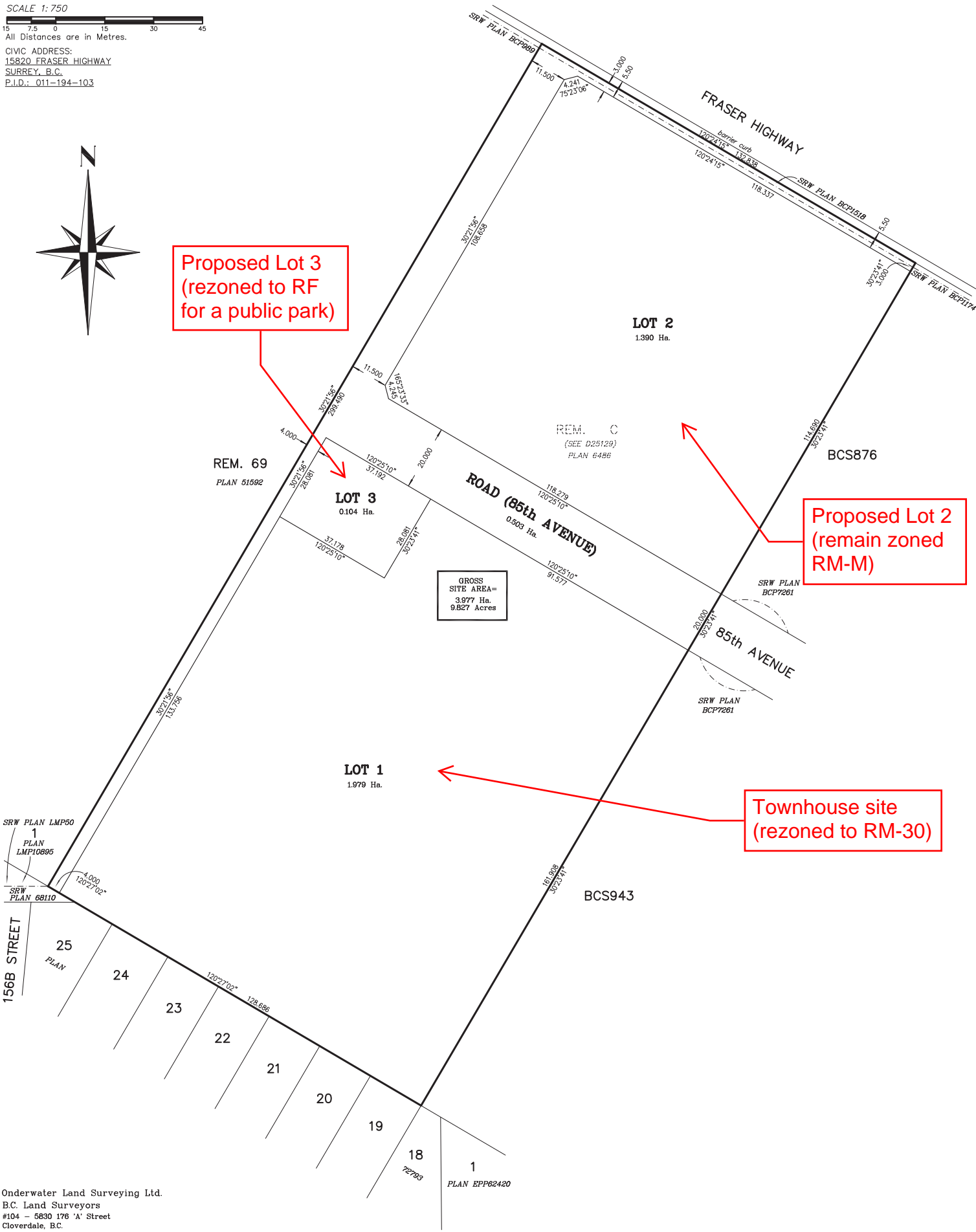
CIVIC ADDRESS:
15820 FRASER HIGHWAY
SURREY, B.C.
P.I.D.: 011-194-103



**Proposed Lot 3
(rezoned to RF
for a public park)**

**Proposed Lot 2
(remain zoned
RM-M)**

**Townhouse site
(rezoned to RM-30)**



GROSS
SITE AREA=
3.977 Ha.
9.827 Acres

**15820 Fraser Highway
7917-0402-00**

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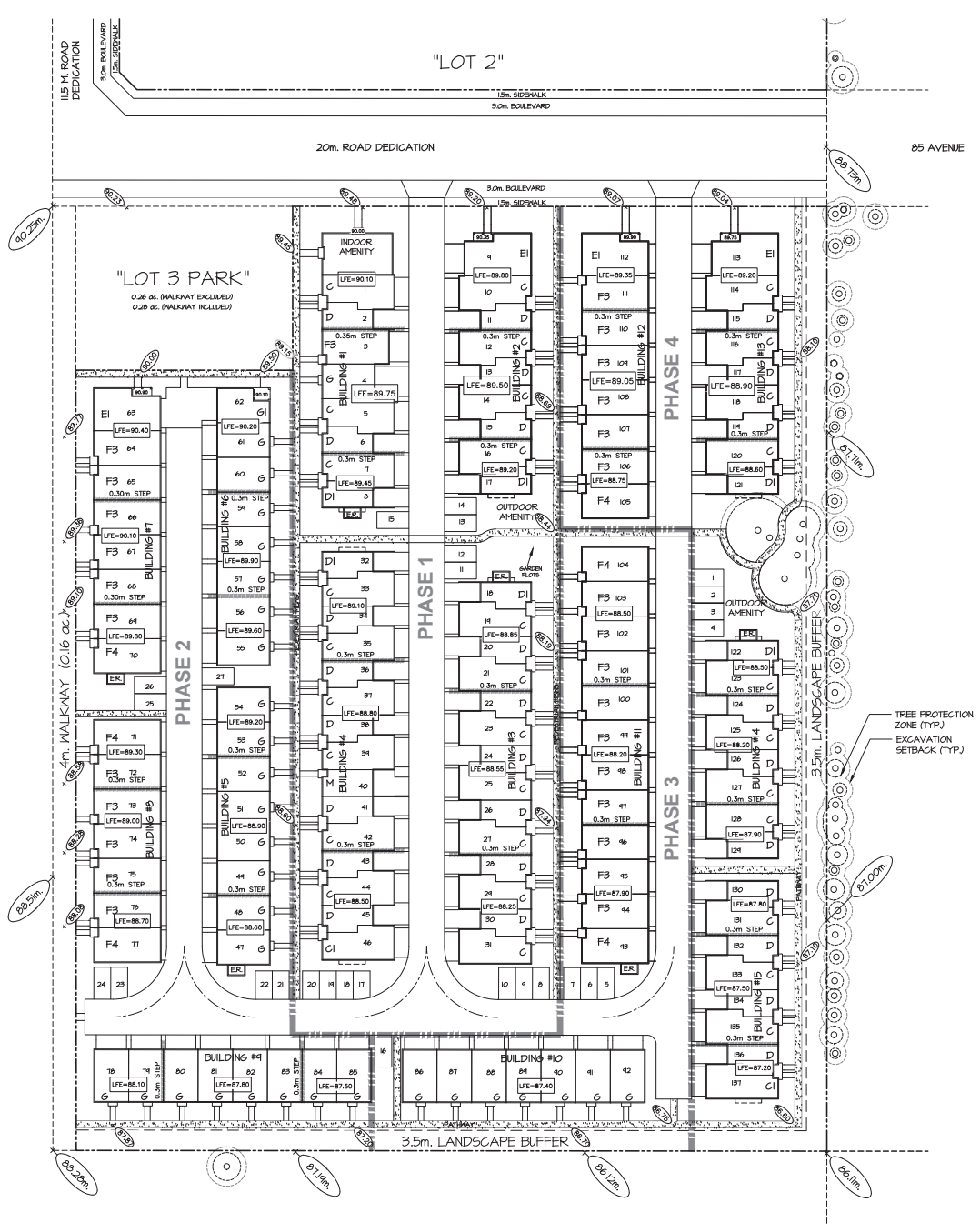
| CLIENT | DESIGNER | DATE | SCALE |
|----------------------|----------|-------------|-------------|
| DUNSMUIR + SAWYER | | Apr. 18, 19 | 1" = 50'-0" |
| PROJECT : | | | |
| 15620 FRASER HIGHWAY | | | |
| SITE CONTEXT | | | |

barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

| CLIENT NO. | SHEET NO. |
|-------------|-----------|
| 681 | AC-10 |
| PROJECT NO. | REV. NO. |
| 16067 | |



SITE GRADING PLAN

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 SHEET NO. 16067

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| DESIGN : | DAVISON + SAMYER |
| DRAWN : | |
| DATE : | Apr. 3, 16 |
| SCALE : | 1" = 30'-0" |

CLIENT : DAVISON + SAMYER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SHEET CONTAINS : SITE PLAN AND DEVELOPMENT DATA

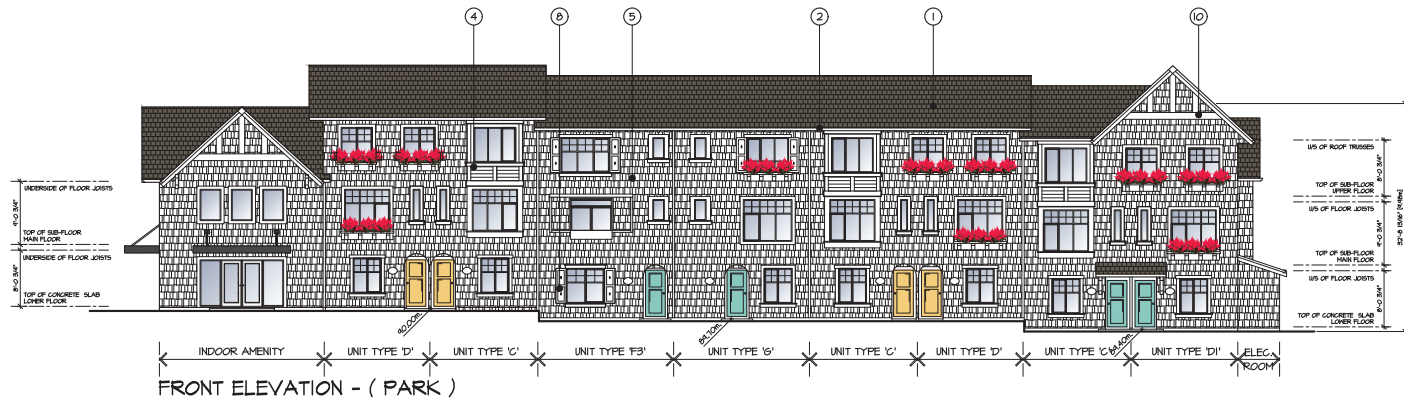
barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

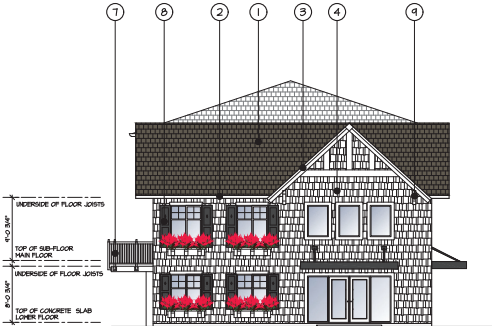
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| CLIENT NO. | SHEET NO. |
| 601 | AC-2.0 |
| PROJECT NO. | REV. NO. |
| 16067 | |

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 INC. (OPPOSITE ACT R.S.C. 1975)



FRONT ELEVATION - (PARK)

SCALE: 1/8" = 1'-0"

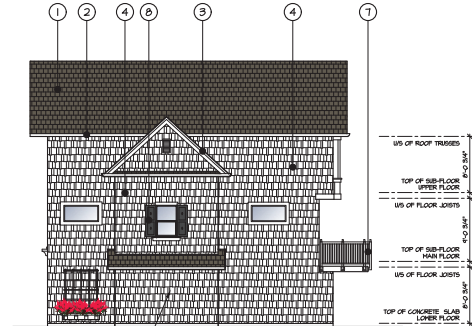


LEFT SIDE ELEVATION - (85TH AVENUE)

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ 1" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ④ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

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| DM | Mar 24 18 | 1/8" = 1'-0" |

CLIENT : DAMON & SAMYER
 PROJECT : TOWNHOUSE DEVELOPMENT
 1920 FRASER HIGHWAY
 SHERBROOKE, ONTARIO
 SHEET CONTAINS BUILDING ELEVATIONS

barnett denbek

UNIT 135,
 7206 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

| CLIENT NO. | SHEET NO. |
|-------------|-----------|
| 681 | AC-3.1 |
| PROJECT NO. | REV. NO. |
| 16067 | |

BUILDING NO. 1

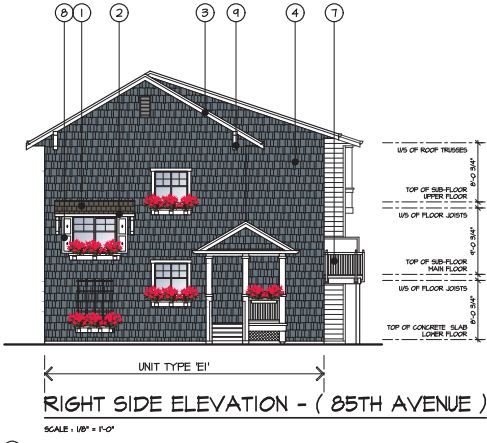
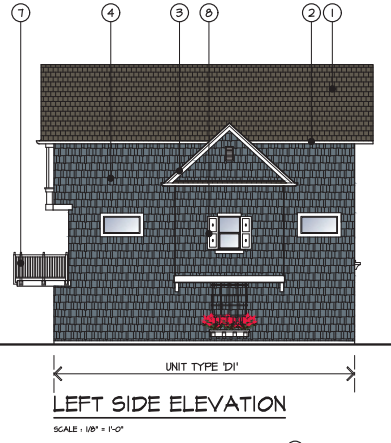
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SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ T" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



BUILDING NO. 2

| | | |
|--|--------------------------------------|-------------------|
| DESIGN : DAVISON + SAMTER | DRAWN : [] | DATE : MAR. 21.18 |
| PROJECT : TOWNHOUSE DEVELOPMENT 15920 FRASER HIGHWAY | SHEET CONTENTS : BUILDING ELEVATIONS | |
| barnett dembek | | |
| UNIT 135, 7536 130 STREET, SURREY, B.C. V3W 1H3 | | |
| PHONE: (604) 597-7100 FAX: (604) 597-2099 EMAIL: mail@darkitex.com | | |
| CLIENT NO. 601 | SHEET NO. AC-3.2 | PROJECT NO. 16067 |

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| REV. NO. | |
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| DESIGN : | DAVISON + SAMTER |
| DRAWN : | |
| DATE : | MAR. 27, 08 |
| SCALE : | 1/8" = 1'-0" |

CLIENT : DAVISON + SAMTER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C.
 V3W 1H5
 SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembek

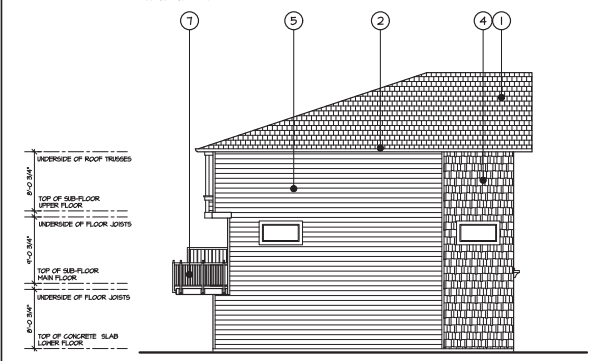
UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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| CLIENT NO. | SHEET NO. |
| 601 | AC-33 |
| PROJECT NO. | REV. NO. |
| 16067 | |



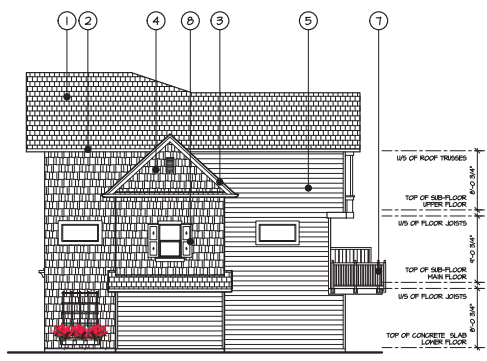
FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



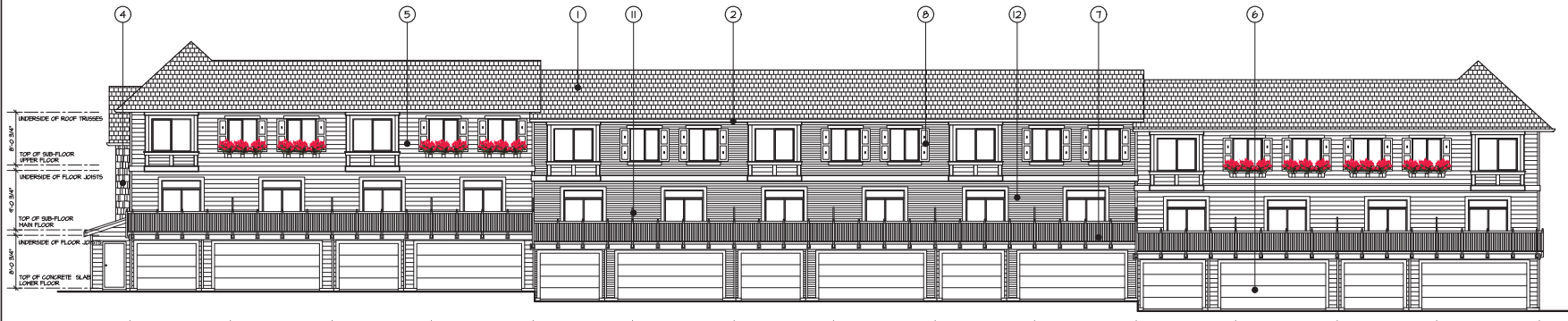
LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ T" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

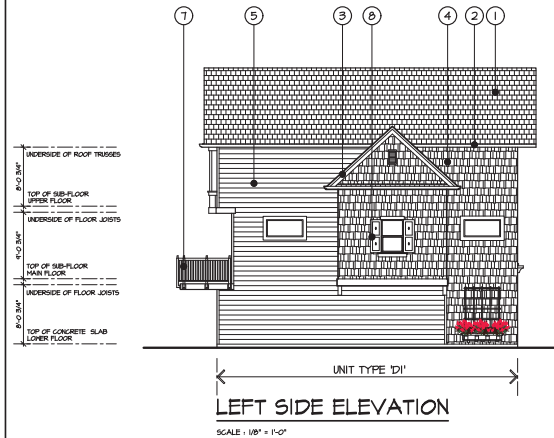


REAR ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING NO. 3



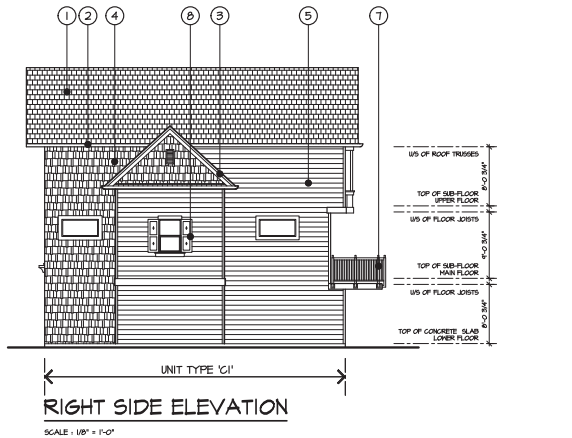
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



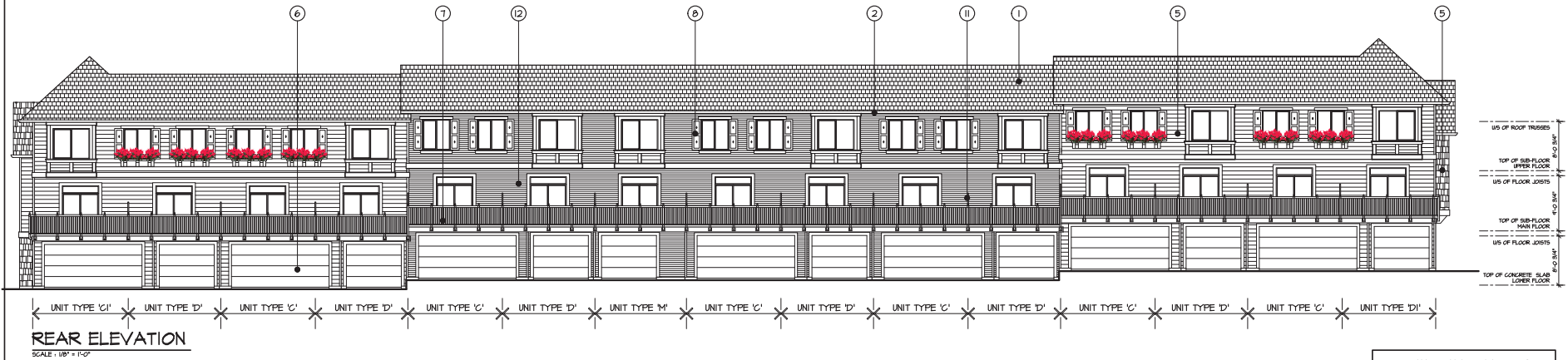
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 DUROID ROOF
- 2 PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- 4 CEDAR SHINGLE SIDING
- 5 T" PROFILE HARDI BOARD SIDING
- 6 FLAT PANEL GARAGE DOOR
- 7 PREFAB METAL RAILING
- 8 WOODEN SHUTTERS
- 9 CEDAR KNEE BRACES
- 10 WOODEN DECORATIVE TRUSS
- 11 PRIVACY SCREEN
- 12 HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

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| DESIGN : | DAVISON + SAMTER |
| DRAWN : | |
| DATE : | MAR 27 08 |
| SCALE : | 1/8" = 1'-0" |

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| CLIENT : | DAVISON + SAMTER |
| PROJECT : | TONYHOUSE DEVELOPMENT 15920 FRASER HIGHWAY |
| SHEET CONTENTS : | BUILDING ELEVATIONS |



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

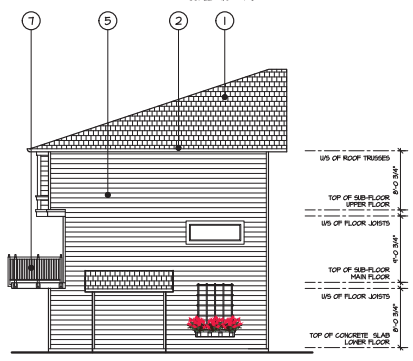
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

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| CLIENT NO. | SHEET NO. |
| 601 | AC-3.4 |
| PROJECT NO. | REV. NO. |
| 16067 | |

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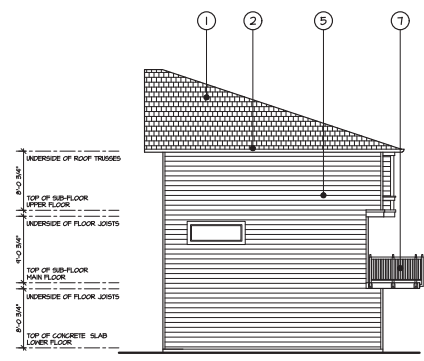
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ 1" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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| DAVSON + SAMTER | | FEB. 21. 08 | 1/8" = 1'-0" |

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| PROJECT : | TOWNHOUSE DEVELOPMENT |
| PROJECT : | 15820 FRASER HIGHWAY |
| SHEET CONTENTS : | BUILDING ELEVATIONS |

barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

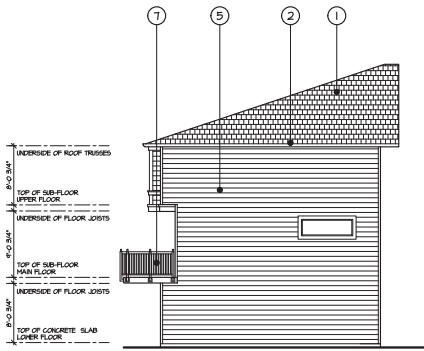
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| PROJECT NO. | REV. NO. |
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BUILDING NO. 5

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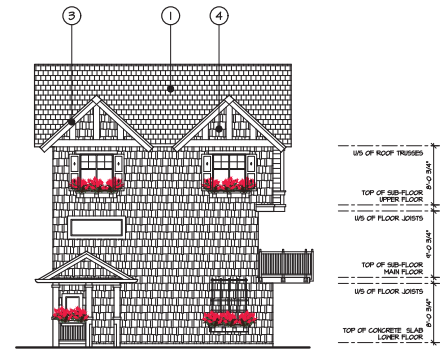
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ T" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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CLIENT : DAVSON + SAMTER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C.
 SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

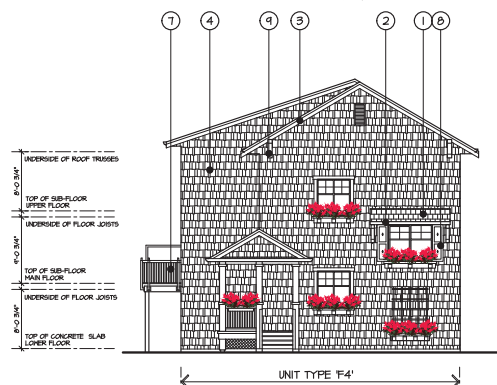
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| 16067 | | |

BUILDING NO. 6

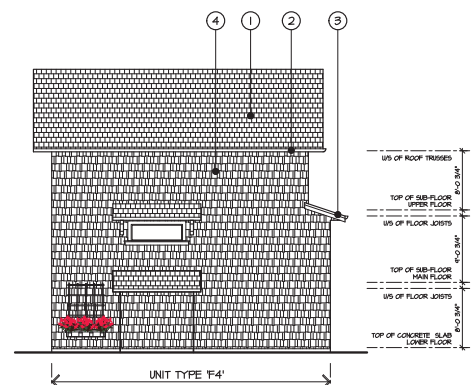


FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

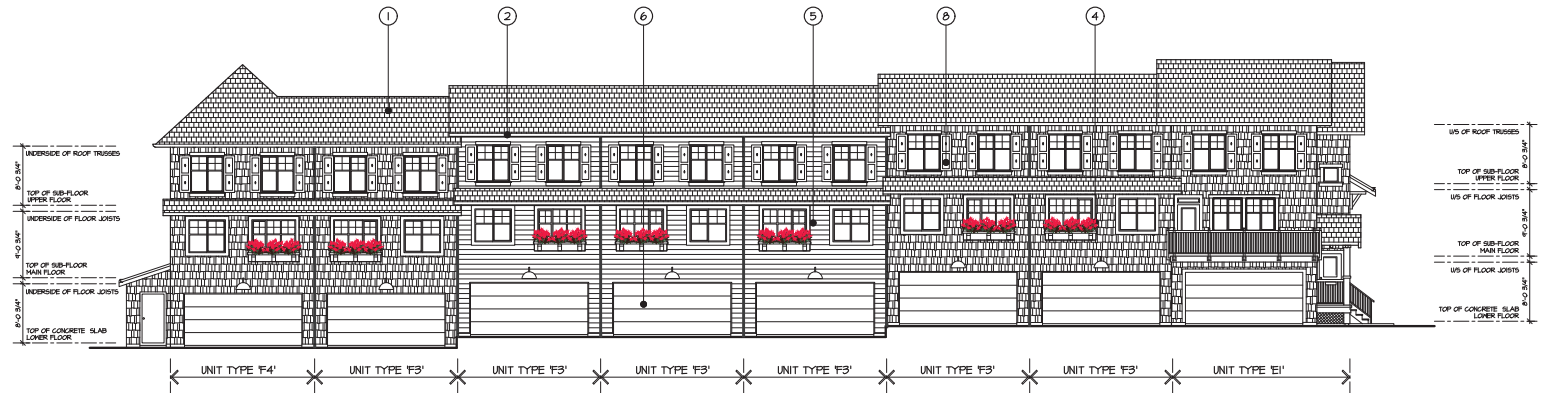


LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

- SCHEDULE OF FINISHES**
- ① DUROID ROOF
 - ② PREFINISHED ALUMINUM GUTTER ON 2X4 FASCIA
 - ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
 - ④ CEDAR SHINGLE SIDING
 - ⑤ 7" PROFILE HARDI BOARD SIDING
 - ⑥ FLAT PANEL GARAGE DOOR
 - ⑦ PREFAB METAL RAILING
 - ⑧ WOODEN SHUTTERS
 - ⑨ CEDAR KNEE BRACES
 - ⑩ WOODEN DECORATIVE TRUSS
 - ⑪ PRIVACY SCREEN
 - ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

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| DAVSON + SAMTER | | MAR. 27. 05 | 1/8" = 1'-0" |

CLIENT: DAVSON + SAMTER
 PROJECT: TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C.
 SHEET CONTENTS:
 BUILDING ELEVATIONS

barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H3

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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BUILDING NO. 7

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| DAVISON + SAMTER | | Feb. 21, 18 | 1/8" = 1'-0" |

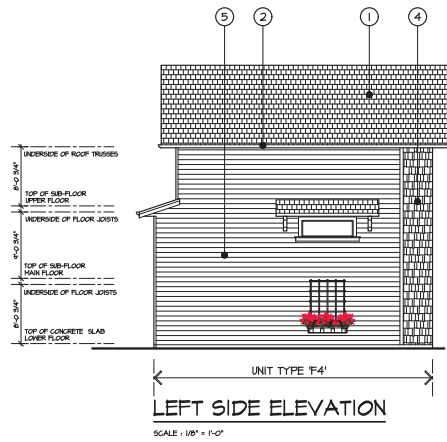
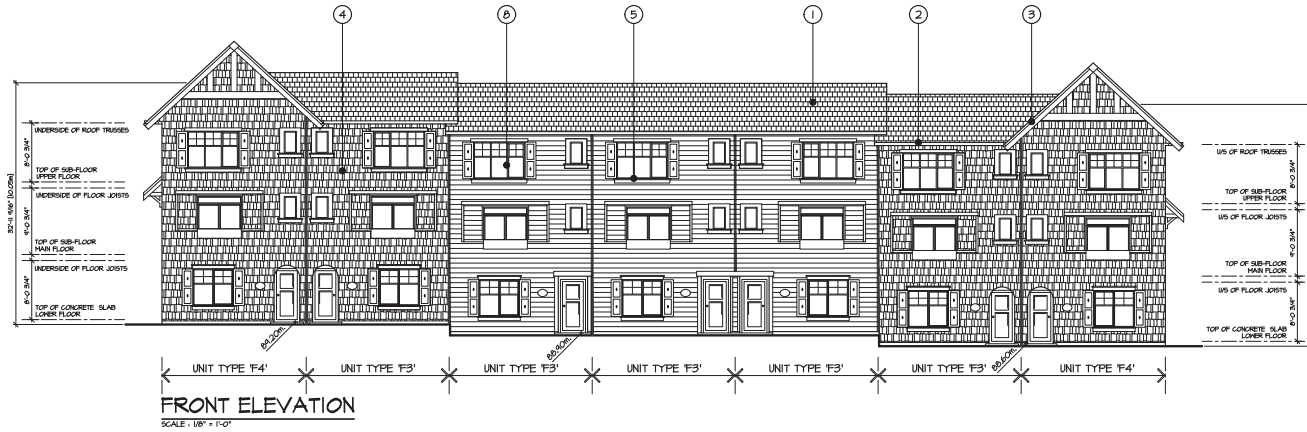
| CLIENT : | PROJECT : | SHEET CONTENTS : |
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| DAVISON + SAMTER | TOWNHOUSE DEVELOPMENT 15920 FRASER HIGHWAY | BUILDING ELEVATIONS |

barnett dembok
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H3

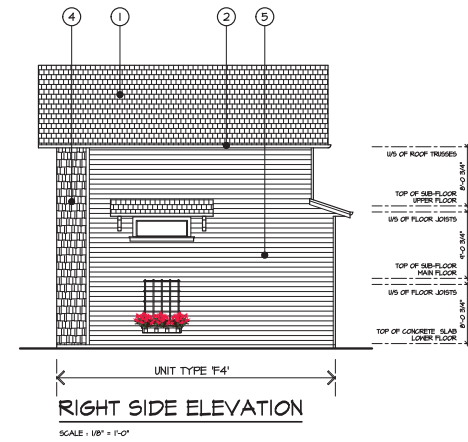
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

| CLIENT NO. | SHEET NO. |
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| 601 | AC-3.0 |
| PROJECT NO. | REV. NO. |
| 16067 | |



SCHEDULE OF FINISHES

- 1 DUROID ROOF
- 2 PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- 4 CEDAR SHINGLE SIDING
- 5 7" PROFILE HARDI BOARD SIDING
- 6 FLAT PANEL GARAGE DOOR
- 7 PREFAB METAL RAILING
- 8 WOODEN SHUTTERS
- 9 CEDAR KNEE BRACES
- 10 WOODEN DECORATIVE TRUSS
- 11 PRIVACY SCREEN
- 12 HORIZONTAL VINYL SIDING



BUILDING NO. 8

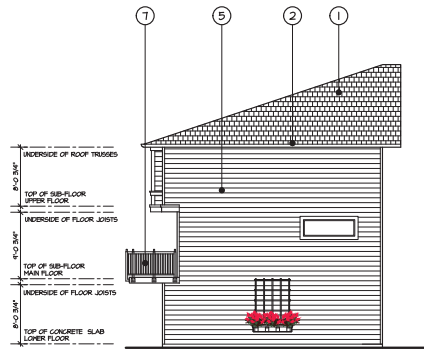


FRONT ELEVATION

SCALE: 1/8" = 1'-0"

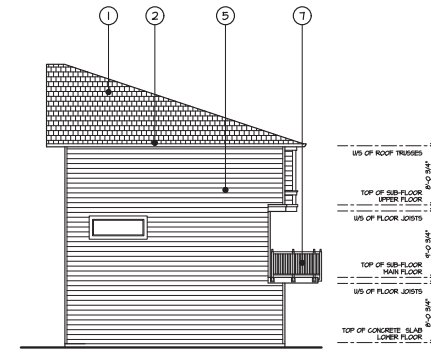
SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ 7" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

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| DATE | |
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| REV. 5 | |
| DATE | |

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| DESIGN : | |
| DRAWN : | |
| DATE : | Mar. 21, 08 |
| SCALE : | 1/8" = 1'-0" |

CLIENT : DAVSON + SAMTER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C.
 SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

| | |
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| CLIENT NO. | SHEET NO. |
| 601 | AC-3.1 |
| PROJECT NO. | REV. NO. |
| 16067 | |

BUILDING NO. 9

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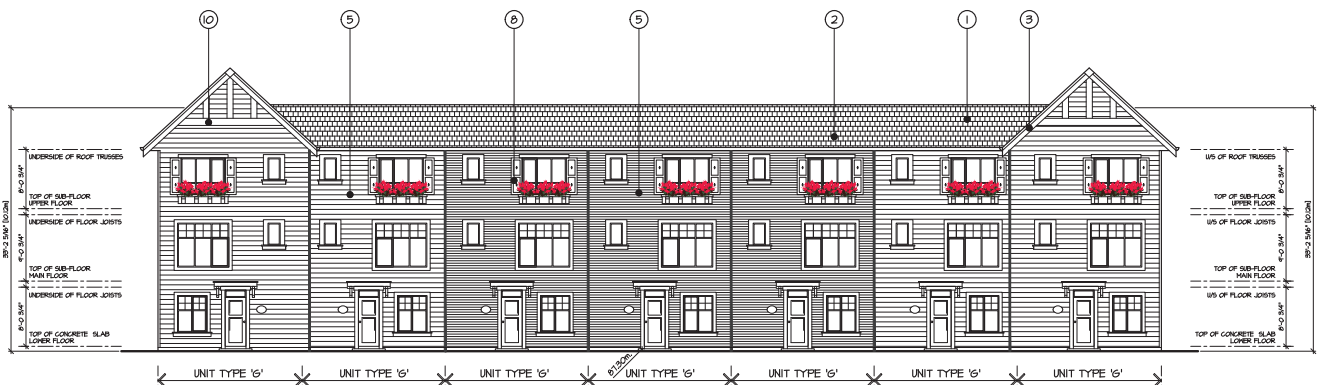
CLIENT : DAVISON + SAWYER
PROJECT : TOWNHOUSE DEVELOPMENT
15920 FRASER HIGHWAY
SURREY, B.C. V3W 1H5
SHEET CONTENTS : BUILDING ELEVATIONS

barnett dankitex

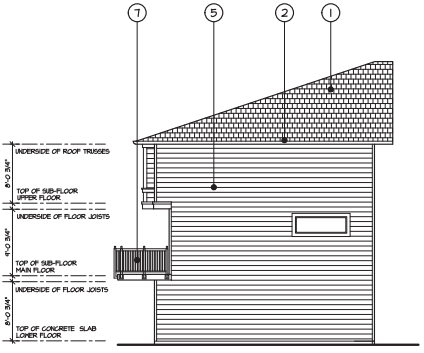
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@dankitex.com

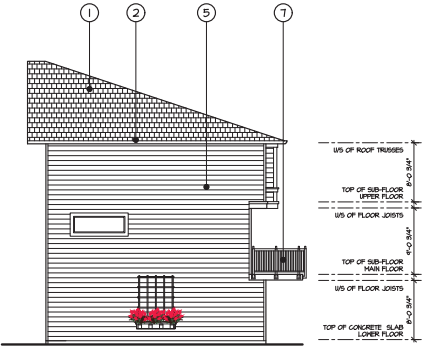
| CLIENT NO. | SHEET NO. |
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| PROJECT NO. | REV. NO. |
| 601 | AC-3.10 |
| 16067 | |



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

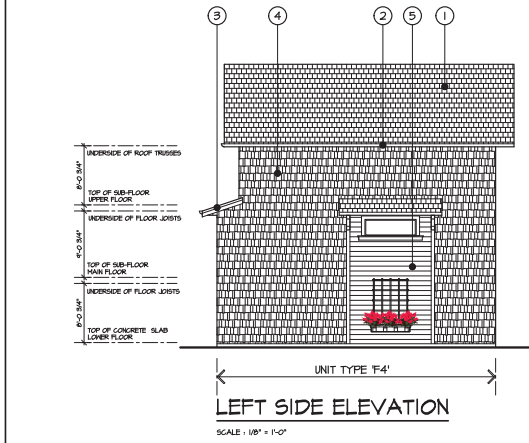
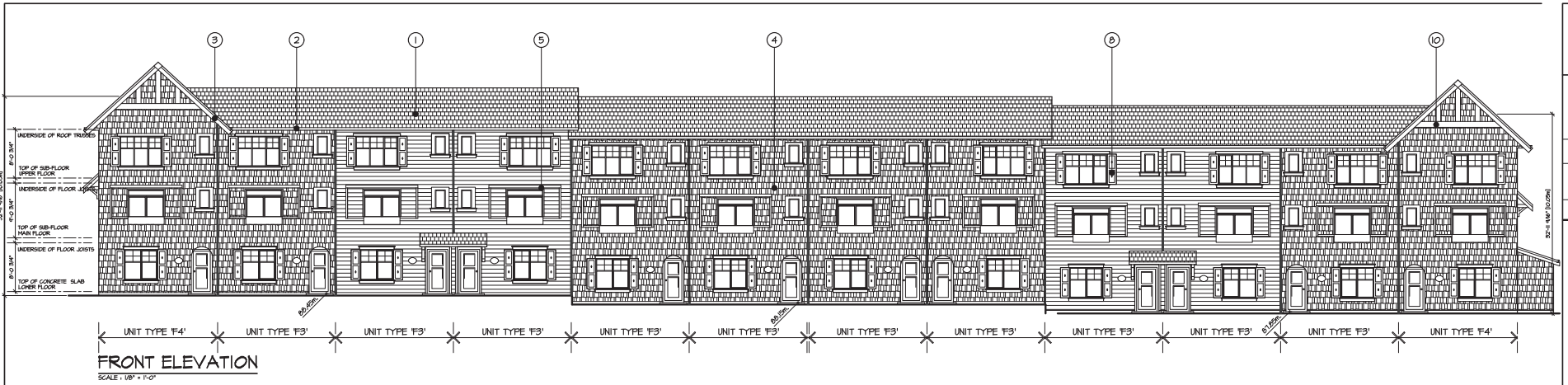
SCHEDULE OF FINISHES

- 1 DUROID ROOF
- 2 PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- 4 CEDAR SHINGLE SIDING
- 5 1" PROFILE HARDI BOARD SIDING
- 6 FLAT PANEL GARAGE DOOR
- 7 PREFAB METAL RAILING
- 8 WOODEN SHUTTERS
- 9 CEDAR KNEE BRACES
- 10 WOODEN DECORATIVE TRUSS
- 11 PRIVACY SCREEN
- 12 HORIZONTAL VINYL SIDING



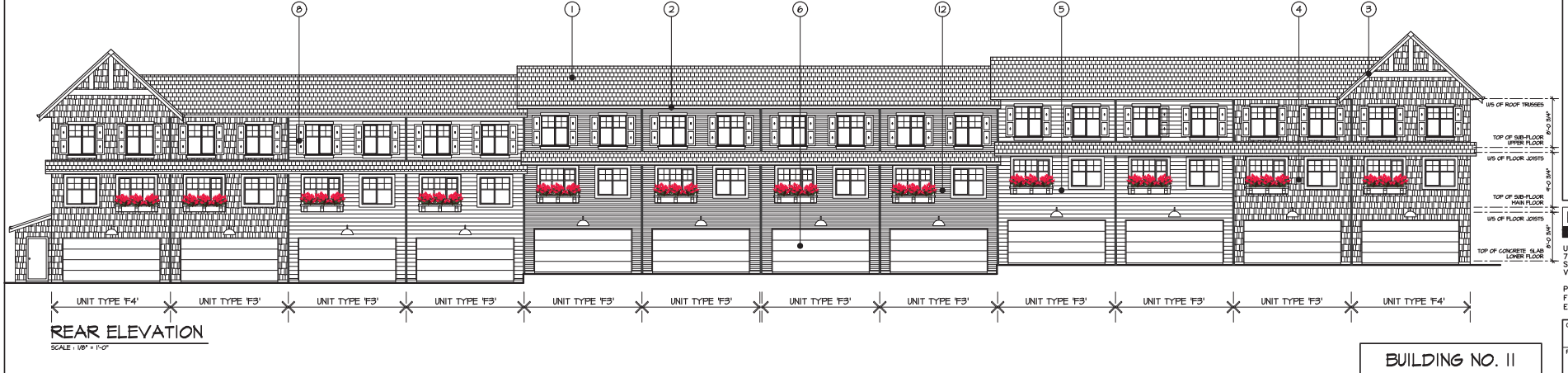
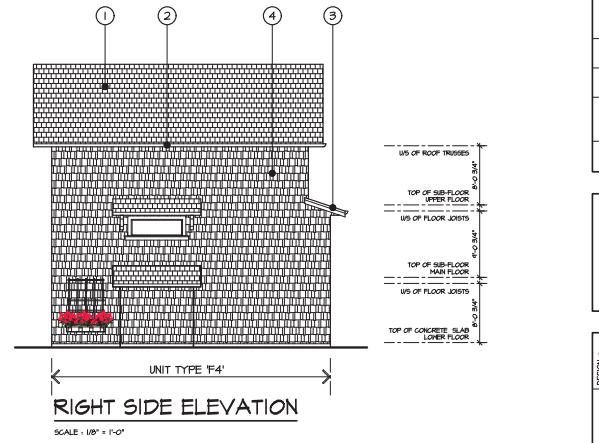
REAR ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING NO. 10



SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 MOOD TRIM ON 2x10 MOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ 7" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



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| PROJECT : | NO. : |
| SHEET CONTENTS : | SCALE : |

barnett dembek

CLIENT : DAVISON + SAMTER
PROJECT : TOWNHOUSE DEVELOPMENT
15920 FRASER HIGHWAY
SURREY, B.C.
V3W 1H5

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

PHONE : (604) 597-7100
FAX : (604) 597-2099
EMAIL : mail@darkitex.com

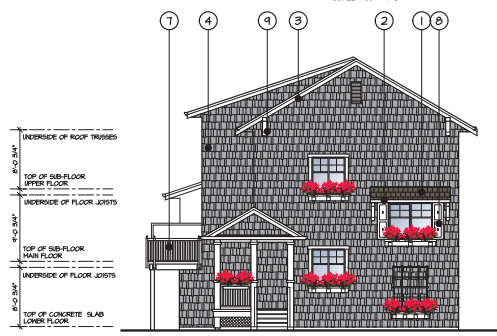
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| CLIENT NO. | SHEET NO. |
| 601 | AC-3.11 |
| PROJECT NO. | REV. NO. |
| 16067 | |

BUILDING NO. 11

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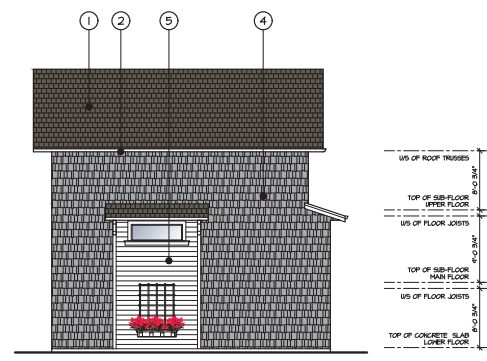
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION - (85TH AVENUE)
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ 7" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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| REV. NO. | |
| DATE | |
| REV. NO. | |

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| DESIGN : | |
| DRAWN : | |
| DATE : | NOV. 21, 08 |
| SCALE : | 1/8" = 1'-0" |

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| CLIENT : | DAVISON + SAMTER |
| PROJECT : | TOWNHOUSE DEVELOPMENT 15820 FRASER HIGHWAY |
| SHEET CONTENTS : | BUILDING ELEVATIONS |

barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H3

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

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|-------------|-------|-----------|--------|
| CLIENT NO. | 601 | SHEET NO. | AC-3J2 |
| PROJECT NO. | 16067 | REV. NO. | |

BUILDING NO. 12

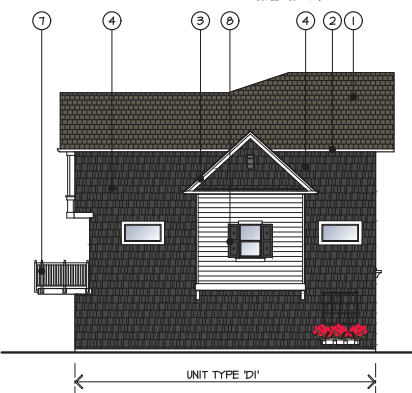
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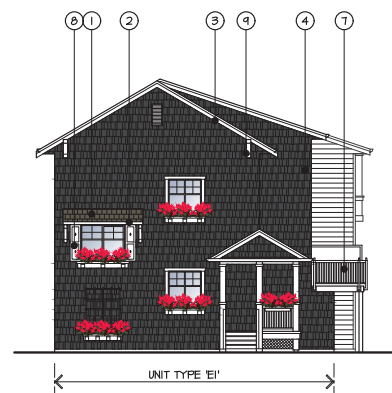
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① DUROID ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- ③ 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- ④ CEDAR SHINGLE SIDING
- ⑤ T" PROFILE HARDI BOARD SIDING
- ⑥ FLAT PANEL GARAGE DOOR
- ⑦ PREFAB METAL RAILING
- ⑧ WOODEN SHUTTERS
- ⑨ CEDAR KNEE BRACES
- ⑩ WOODEN DECORATIVE TRUSS
- ⑪ PRIVACY SCREEN
- ⑫ HORIZONTAL VINYL SIDING



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION - (85TH AVENUE)
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

| ISSUED FOR: | BY: | DATE: | ISSUE: |
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DESIGN :
DRAWN :
DATE :
SCALE :
1/8" = 1'-0"

CLIENT :
DANSON + SAMTHER
PROJECT :
TOWNHOUSE DEVELOPMENT
15920 FRASER HIGHWAY
SURREY, B.C.
V3W 1H5
SHEET CONTENTS :
BUILDING ELEVATIONS

barnett dembek
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO. SHEET NO.
601 AC-3.13
PROJECT NO. REV. NO.
16067

BUILDING NO. 13

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| DESIGN : | |
| DRAWN : | |
| DATE : | MAR. 27, 08 |
| SCALE : | 1/8" = 1'-0" |

CLIENT : DAVISON + SAMTER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C. V3W 1H5
 SHEET CONTENTS : BUILDING ELEVATIONS

barnett dembok

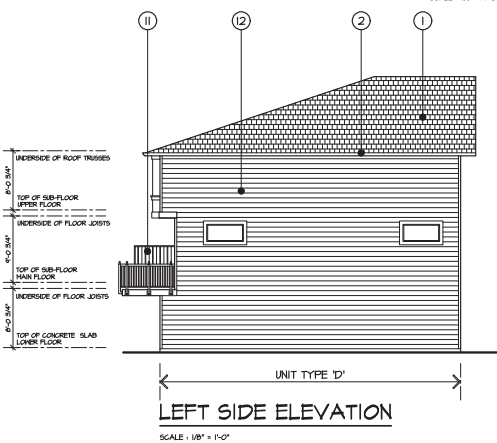
UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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| CLIENT NO. | 601 | SHEET NO. | AC-314 |
| PROJECT NO. | 16067 | REV. NO. | |



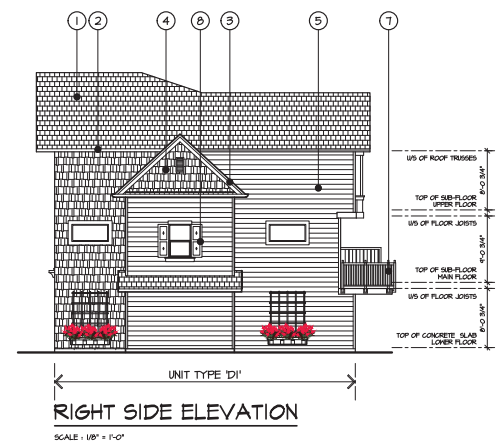
FRONT ELEVATION
 SCALE : 1/8" = 1'-0"



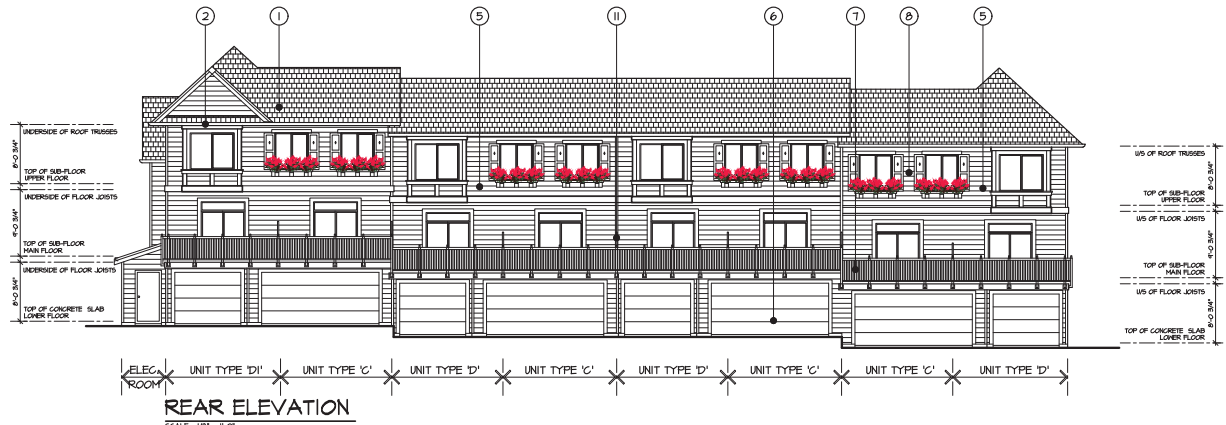
LEFT SIDE ELEVATION
 SCALE : 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 DUROID ROOF
- 2 PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- 4 CEDAR SHINGLE SIDING
- 5 7" PROFILE HARDI BOARD SIDING
- 6 FLAT PANEL GARAGE DOOR
- 7 PREFAB METAL RAILING
- 8 WOODEN SHUTTERS
- 9 CEDAR KNEE BRACES
- 10 WOODEN DECORATIVE TRUSS
- 11 PRIVACY SCREEN
- 12 HORIZONTAL VINYL SIDING



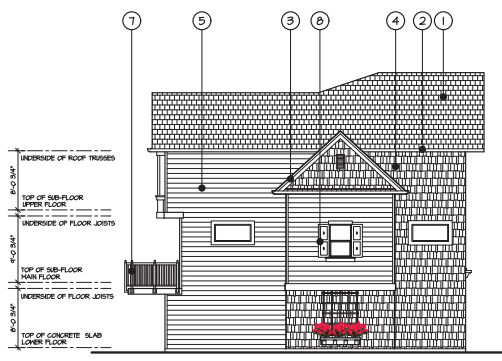
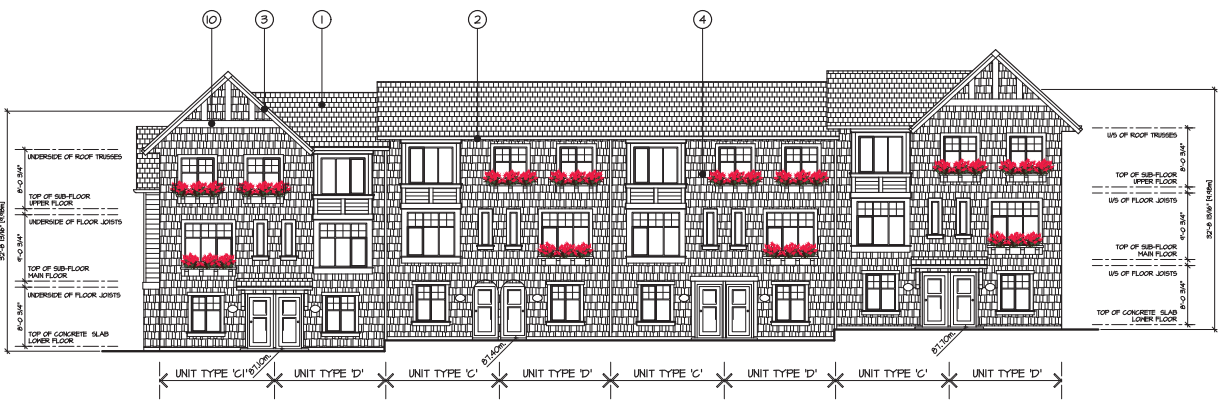
RIGHT SIDE ELEVATION
 SCALE : 1/8" = 1'-0"



REAR ELEVATION
 SCALE : 1/8" = 1'-0"

BUILDING NO. 14

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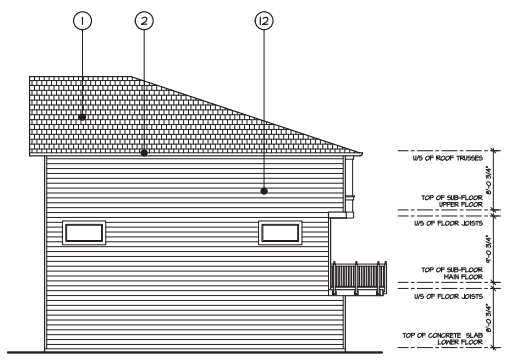


LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 DUROID ROOF
- 2 PREFINISHED ALUMINUM GUTTER ON 2x4 FASCIA
- 3 1x4 WOOD TRIM ON 2x10 WOOD FASCIA
- 4 CEDAR SHINGLE SIDING
- 5 1" PROFILE HARDI BOARD SIDING
- 6 FLAT PANEL GARAGE DOOR
- 7 PREFAB METAL RAILING
- 8 WOODEN SHUTTERS
- 9 CEDAR KNEE BRACES
- 10 WOODEN DECORATIVE TRUSS
- 11 PRIVACY SCREEN
- 12 HORIZONTAL VINYL SIDING



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

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| DESIGN : | DRAWN : | DATE : | SCALE : |
| DAMSON + SAMTER | | MAR 27 18 | 1/8" = 1'-0" |

CLIENT : DAMSON + SAMTER
 PROJECT : TOWNHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SURREY, B.C. V3W 1H5
 SHEET CONTENTS : BUILDING ELEVATIONS

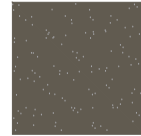
barnett dembek

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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| CLIENT NO. | SHEET NO. |
| 601 | AC-3.15 |
| PROJECT NO. | REV. NO. |
| 16067 | |

BUILDING NO. 15



ROOF
-HI-PROFILE SHINGLE
TIMBERLINE ROOFING



CEDAR SHAKE SIDING,
SHUTTERS, LOUVERS
-BLACK



CEDAR SHAKE SIDING
-VINTAGE GREY



DOOR
-PASTEL BLUE



DOOR
-PASTEL YELLOW



HARDI BOARD SIDING
-HERITAGE BROWN



CEDAR SHAKE SIDING,
WINDOW TRIM, FASCIA,
POST, GUTTER, WOOD
TRIM, & GARAGE DOORS
-WHITE



CEDAR SHAKE SIDING
-PEWTER GREY



DOOR
-TURQUOISE



DOOR
-RED



Exterior Colour Board

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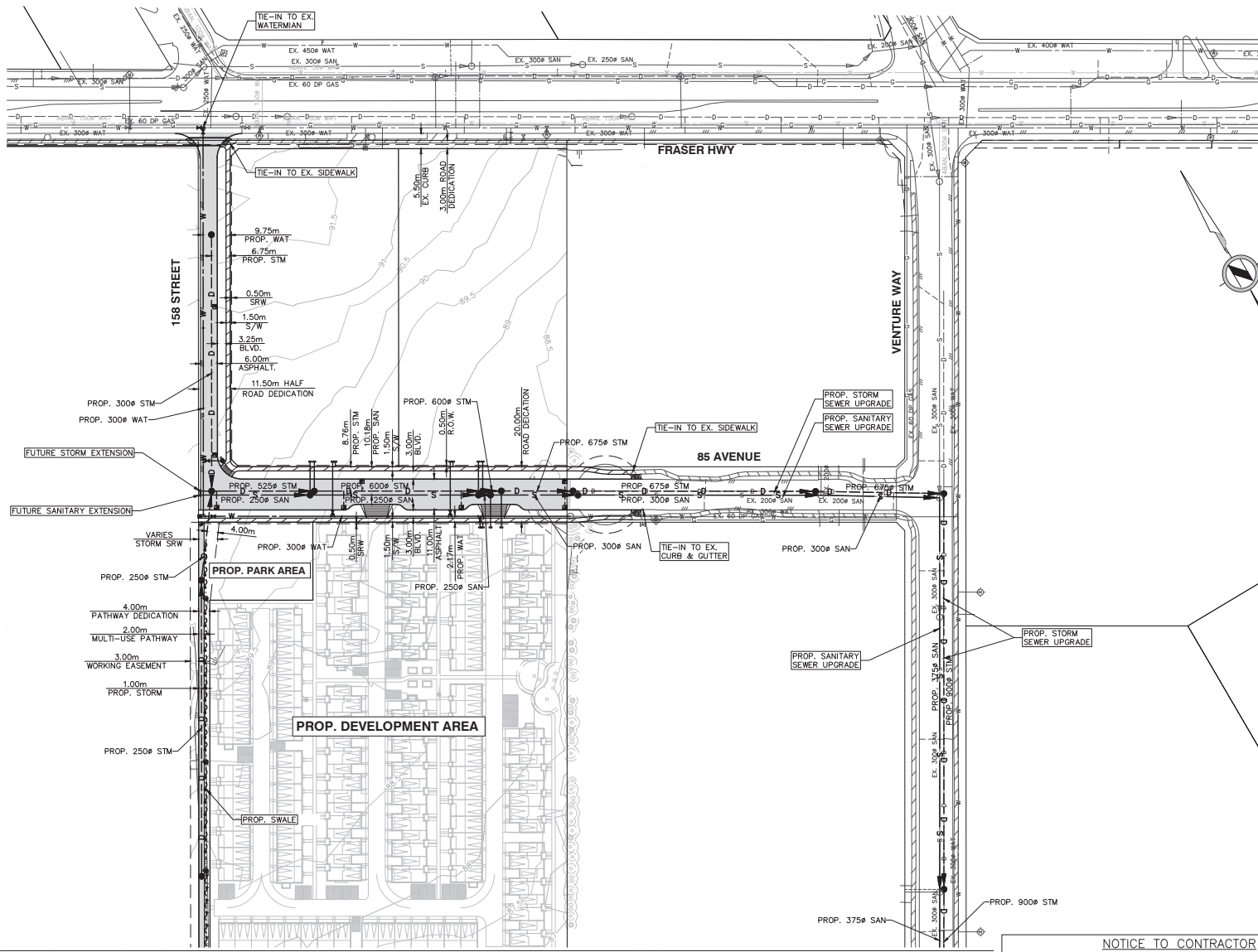
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| DESIGN : | BY : | DATE : | SCALE : |
| DAVISON + SAMTER | | Apr. 5, 16 | 1/8" = 1'-0" |
| CLIENT : | | | |
| PROJECT : | | | |
| SHEET CONTAINS : | | | |
| EXTERIOR COLOUR BOARD | | | |



UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H5

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

| CLIENT NO. | SHEET NO. |
|-------------|-----------|
| 601 | AC-10 |
| PROJECT NO. | REV. NO. |
| 16067 | |



FOR CONTINUATION SEE SHEET 02

NOTICE TO CONTRACTOR
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN, SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: LOT "C" (SEE D25129) EXCEPT PART DEDICATED ROAD IN PLAN BCP1517 SECTION 26 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 6486

B.M. MONUMENT NO. OCM 5261 ELEVATION: 92.765m
 LOCATED AT 158 STREET & 86 AVENUE

| REV. NO. | DESCRIPTION | DR | CH | DATE | APP |
|----------|---|-----|----|----------|-----|
| 1 | ISSUED FOR PRELIMINARY SURVEY REVIEW | KAL | YK | 11/01/18 | DDH |
| 2 | PRELIMINARY SURVEY REVIEW RE-SUBMISSION | KAL | YK | 26/02/18 | DDH |

APLIN MARTIN
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.
 201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
 Tel: (604) 897-9058, Fax: (604) 897-9061, Email: general@aplinmartin.com

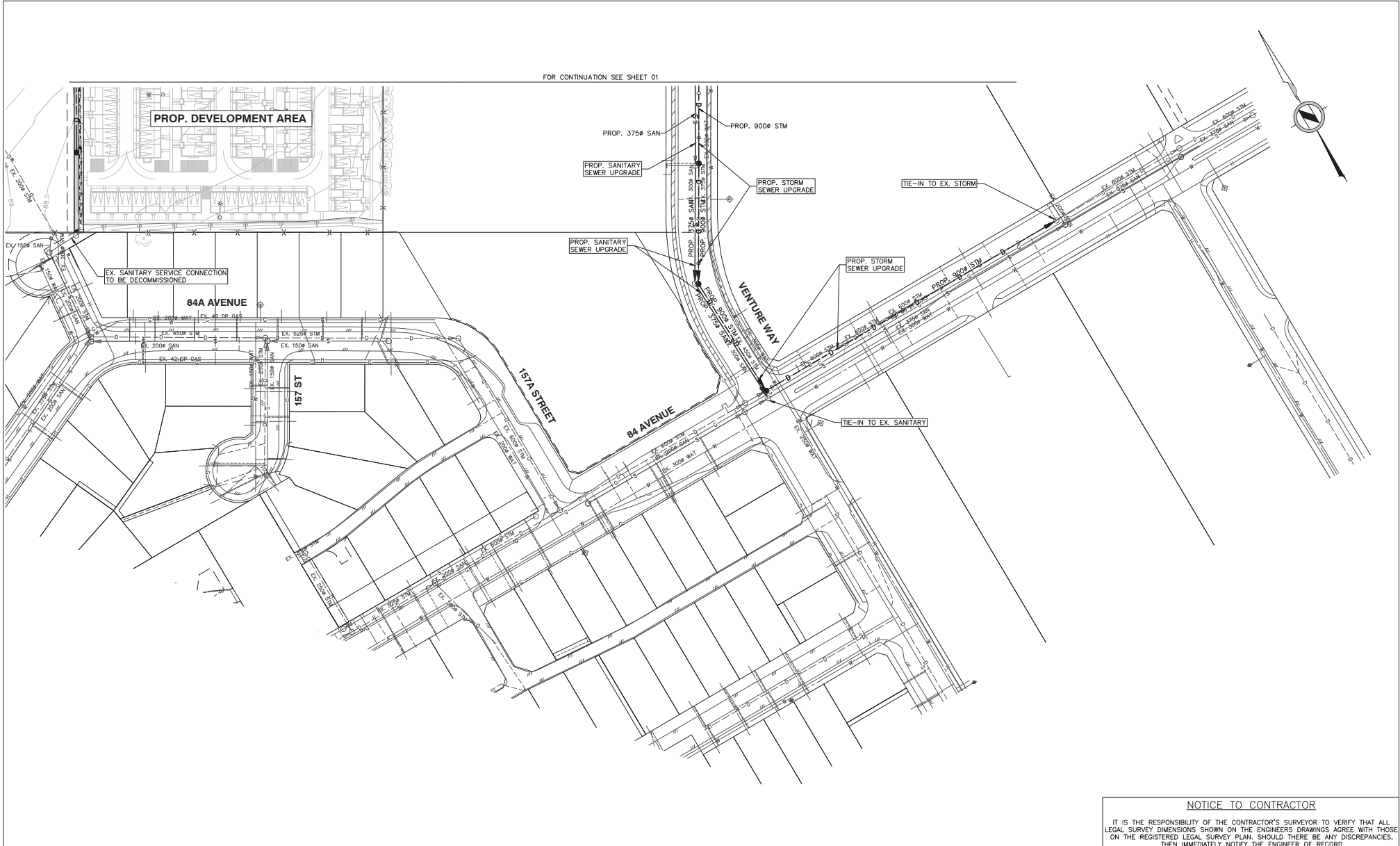
CUSTOMER: **DAWSON & SAWYER**
 SUITE 101 - 18200 HIGHWAY 10, SURREY, B.C. V3S-5K7
 PH. 604-766-8426

PROJECT: **PROPOSED TOWNHOUSE DEVELOPMENT**
 15820 FRASER HIGHWAY, SURREY, B.C.

The location of existing underground utilities are shown as an approximate only and have not been independently verified by the owner or its representatives. The contractor shall determine the exact location of all existing utilities before commencing work and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and prevent any and all underground utilities.

| TITLE: PRELIMINARY SERVICING CONCEPT | | DESIGN: YK | CHECK: CAB |
|---|------------------------------------|--------------------------------------|---------------|
| PROJECT NO. 7817-0402-00 | SCALE: HORIZ: 1:750 VERT: N/A | DRAWN: KAL | APPR: DDH |
| DRAWING NO. 17-107-01 | A & M DRAWING NO. 17-107-01 | A & M FILE: 17-107 | |
| | | DRAWING DATE: SEPTEMBER, 2017 | |
| | | SHEET NO. 01 OF 02 | REV. 2 |





LEGAL DESCRIPTION: LOT "C" (SEE D25129) EXCEPT PART DEDICATED ROAD IN PLAN BCP1517 SECTION 26 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 6486

B.M. MONUMENT NO. OCM 5261 ELEVATION: 92.765m
 LOCATED AT 156 STREET & 86 AVENUE

| REV. NO. | DESCRIPTION | DR | CH | DATE | APP |
|----------|---|-----|----|----------|-----|
| 1 | ISSUED FOR PRELIMINARY SURVEY REVIEW | KAL | YK | 11/01/18 | DDH |
| 2 | PRELIMINARY SURVEY REVIEW RE-SUBMISSION | KAL | YK | 26/02/18 | DDH |

APLIN MARTIN
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.
 201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
 Tel: (604) 897-9058, Fax: (604) 897-9061, Email: general@aplinmartin.com

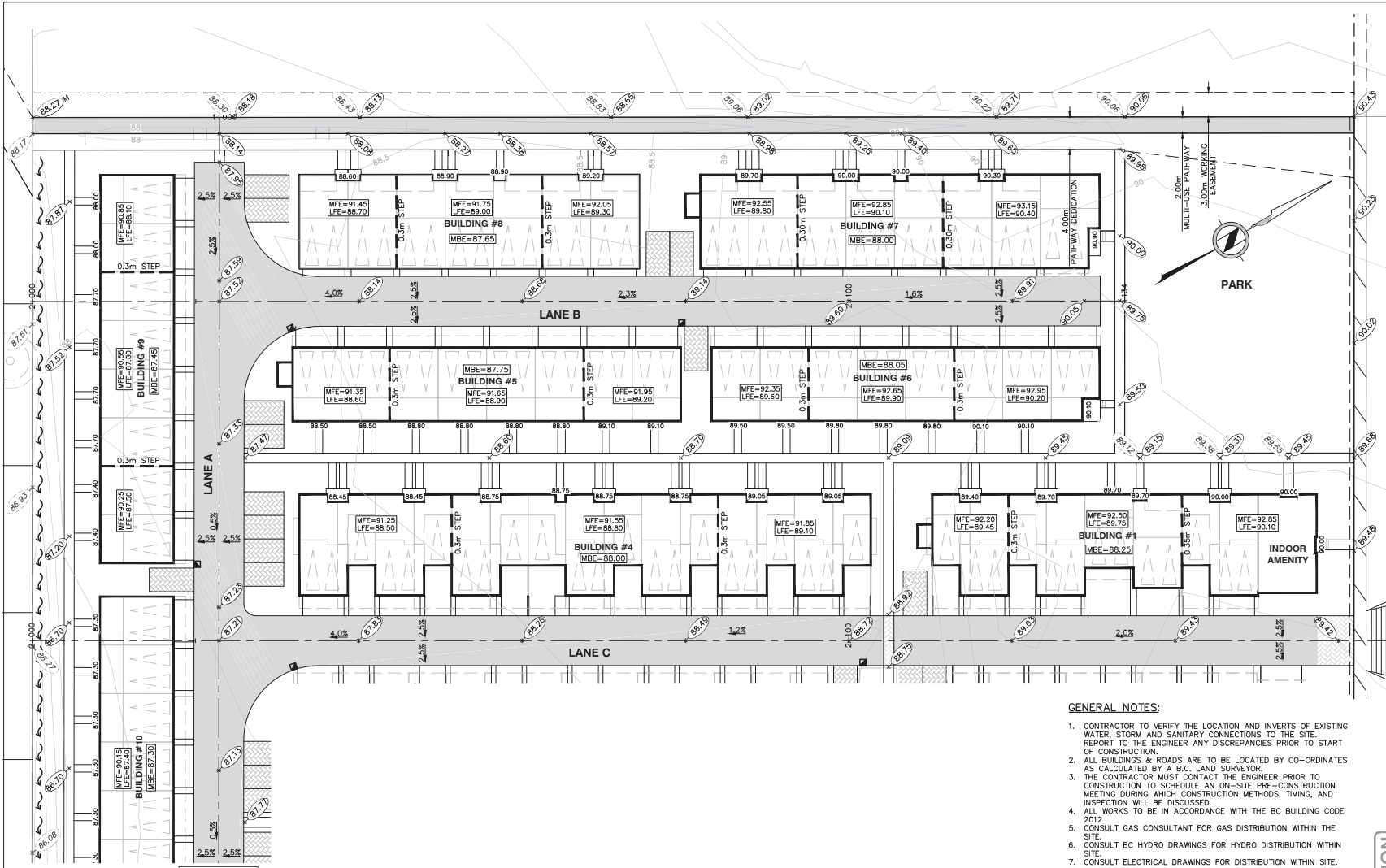
CLIENT: **DAWSON & SAWYER**
 SUITE 101 - 18230 HIGHWAY 10, SURREY, B.C. V3S-8K7
 PH. 604-766-8426

PROJECT: **PROPOSED TOWNHOUSE DEVELOPMENT**
 15820 FRASER HIGHWAY, SURREY, B.C.

The location of existing underground utilities are shown as an approximate only and have not been independently verified by the owner or its representatives. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and prevent any and all underground utilities.

| | | | |
|---|--|--------------------------------------|---------------|
| TITLE: PRELIMINARY SERVICING CONCEPT | | DESIGN: YK | CHECK: CAB |
| PROJECT NO. 7817-0402-00 | | DRAWN: KAL | APPR: DDH |
| DRAWING NO. . | | A & M FILE: 17-107 | |
| SCALE: HORIZ. 1:750 VERT. N/A | | DRAWING DATE: SEPTEMBER, 2017 | |
| A & M DRAWING NO. 17-107 - 02 | | SHEET NO. 02 OF 02 | REV. 2 |





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LEGEND

| | |
|--|-----------|
| EXISTING ELEVATION | +46.44 |
| PROPOSED ELEVATION | +47.95 |
| MEET EXISTING ELEVATION | +46.46(M) |
| EXISTING GROUND CONTOUR | -46.5 |
| M - MAIN FLOOR ELEVATION (m) | M=50.25 |
| L - LOWER FLOOR ELEVATION (m) | L=50.50 |
| MBE - MIN. BUILDING ELEVATION (m) | MBE=50.25 |
| BUILDING FOUNDATION STEP | 0.3m STEP |
| PROP. SWALE | |
| CATCH BASIN | |
| LAWN DRAIN | |
| GRADE | 2.0% |
| ASPHALT | |
| PERMEABLE PAVERS (SEE LANDSCAPE DWGS FOR SPECIFICATIONS) | |
| CURB & GUTTER | |
| EDGE OF ASPHALT | |
| TREE TO BE RETAINED | |
| CRITICAL ROOT ZONE | |

| REV | DATE | DESCRIPTION | BY | APP |
|-----|----------|------------------|----|-----|
| 2 | 26/02/18 | RE-ISSUED FOR DP | YK | DB |
| 1 | 15/01/18 | ISSUED FOR DP | YK | DB |

LOT 'C' (SEE D25123) EXCEPT PART DEDICATED ROAD IN PLAN BCP1517 SECTION 26 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 6486

LEGAL DESCRIPTION
 MONUMENT NO. 00M 5261
 ELEVATION AT 92.765M LOCATED AT 156 STREET & 86 AVENUE

ENGINEER STAMP: BENCHMARK

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
 - ALL BUILDINGS & ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
 - THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.
 - ALL WORKS TO BE IN ACCORDANCE WITH THE BC BUILDING CODE 2012
 - CONSULT GAS CONSULTANT FOR GAS DISTRIBUTION WITHIN THE SITE.
 - CONSULT BC HYDRO DRAWINGS FOR HYDRO DISTRIBUTION WITHIN SITE.
 - CONSULT ELECTRICAL DRAWINGS FOR DISTRIBUTION WITHIN SITE.

- LOT GRADING:**
- ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS ARE TO GEODETIC DATUM.
 - ALL ELEVATIONS ARE DERIVED FROM CITY OF SURREY 5881, LOCATED AT 152 STREET & LINCOLN DRIVE - 79.128 METERS.
 - ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH 2012 B.C. BUILDING AND PLUMBING CODES AND IS TO BE ACCEPTABLE TO THE CITY OF SURREY BUILDING AND PERMITS DEPARTMENT.
 - ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANTS REPORT.
 - CONTRACTOR TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE.
 - CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
 - ALL BUILDINGS EXIT TO GRADE FROM THE LOWER FLOOR.

NOTICE TO CONTRACTOR
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APLIN MARTIN
 SURVEYING • ARCHITECTURE • CIVIL ENGINEERING • PLANNING • ENVIRONMENTAL

Applin & Martin Consultants Ltd.
 201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
 Tel: (604) 597-9058, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT
DAWSON & SAWYER
 SUITE 101 - 15620 HIGHWAY 10,
 SURREY, BC V8S 9K7
 PH. 604-786-9426

PROJECT
PROPOSED TOWNHOME DEVELOPMENT
 15620 FRASER HIGHWAY, SURREY, B.C.

DRAWING TITLE
GRADING PLAN WEST

| | | |
|---------------|-----------------------|-----------|
| DESIGN YK | DATE JANUARY, 2018 | SCALE |
| DRAWN KAL | PROJECT NO. 17-107 | 1:250 |
| CHECKED DB | DRAWING NO. | REV. 2 |

C03

0 2 1:250 12m

NOT FOR CONSTRUCTION

FOR CONTINUATION
 SEE SHEET 004

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 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY & HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

LEGEND

- EXISTING ELEVATION ± 46.44
- PROPOSED ELEVATION ± 47.95
- MEET EXISTING ELEVATION ± 46.46 M
- EXISTING GROUND CONTOUR ± 46.5
- M - MAIN FLOOR ELEVATION (m) $M=50.25$
- L - LOWER FLOOR ELEVATION (m) $L=50.50$
- MBE - MIN. BUILDING ELEVATION (m) $MBE=50.25$
- BUILDING FOUNDATION STEP $\pm 0.3m$ STEP
- PROP. SWALE \pm
- CATCH BASIN \square
- LAWN DRAIN \bullet
- GRADE 2.0%
- ASPHALT
- PERMEABLE PAVERS (SEE LANDSCAPE DIVISION FOR SPECIFICATIONS)
- CURB & GUTTER
- EDGE OF ASPHALT
- TREE TO BE RETAINED
- CRITICAL ROOT ZONE

| REV | DATE | DESCRIPTION | BY | APP |
|-----|----------|------------------|----|-----|
| 2 | 26/02/18 | RE-ISSUED FOR DP | YK | DB |
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LEGAL DESCRIPTION
 LOT 'C' (SEE D25123) EXCEPT PART LOCATED ROAD IN PLAN BOP1517 SECTION 26 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 6486

MONUMENT NO. 004 5261
 ELEVATION AT 92.765M LOCATED AT 156 STREET & 86 AVENUE

ENGINEER STAMP: [] BENCHMARK: []



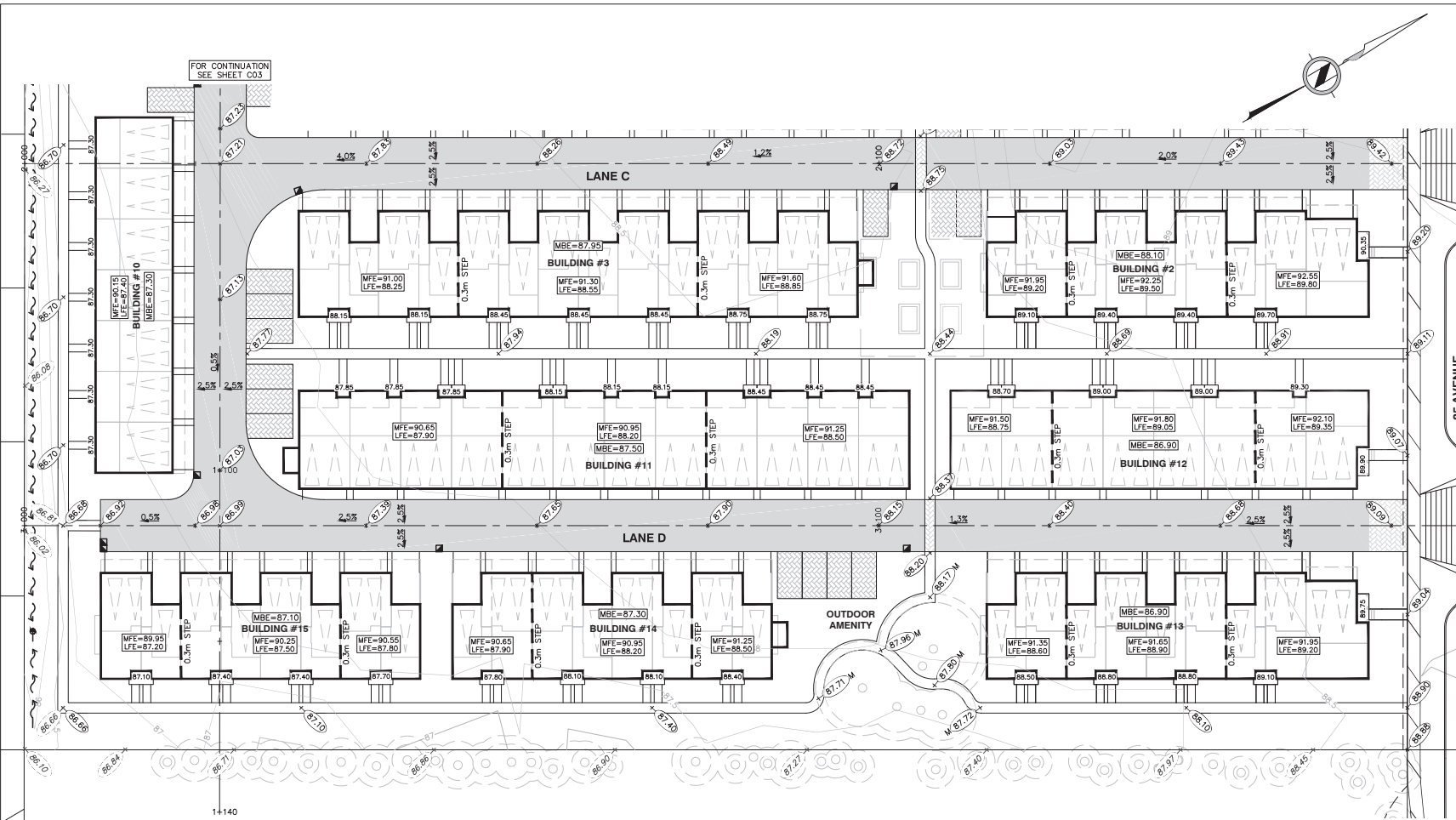
CLIENT: **DAWSON & SAWYER**
 SUITE 101 - 19280 HIGHWAY 10,
 SURREY, BC V8S 9K7
 PH. 604-788-9426

PROJECT: **PROPOSED TOWNHOME DEVELOPMENT**
 19280 FRASER HIGHWAY, SURREY, B.C.

GRADING PLAN EAST

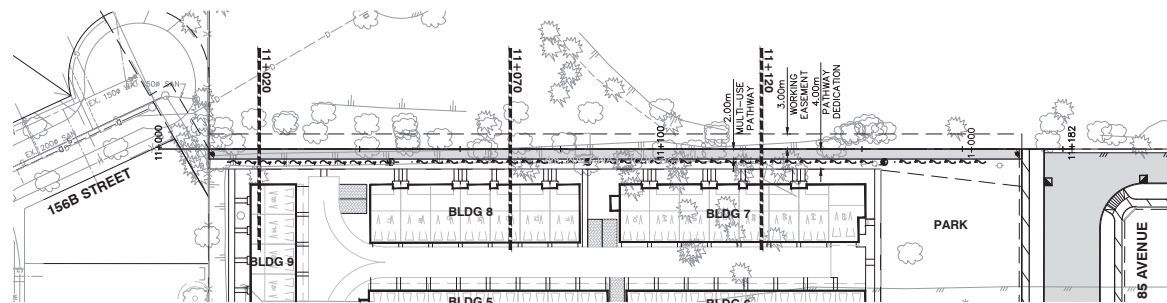
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| DESIGN YK | DATE JANUARY, 2018 | SCALE 1:250 |
| DRAWN KAL | PROJECT NO. 17-107 | |
| CHECKED DB | DRAWING NO. | REV. 2 |
| APPROVED DB | C04 | |

NOTICE TO CONTRACTOR
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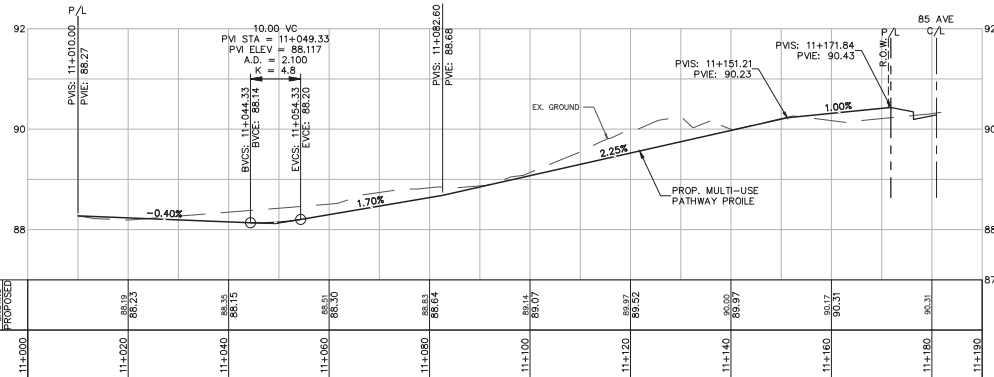
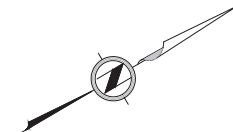


NOT FOR CONSTRUCTION



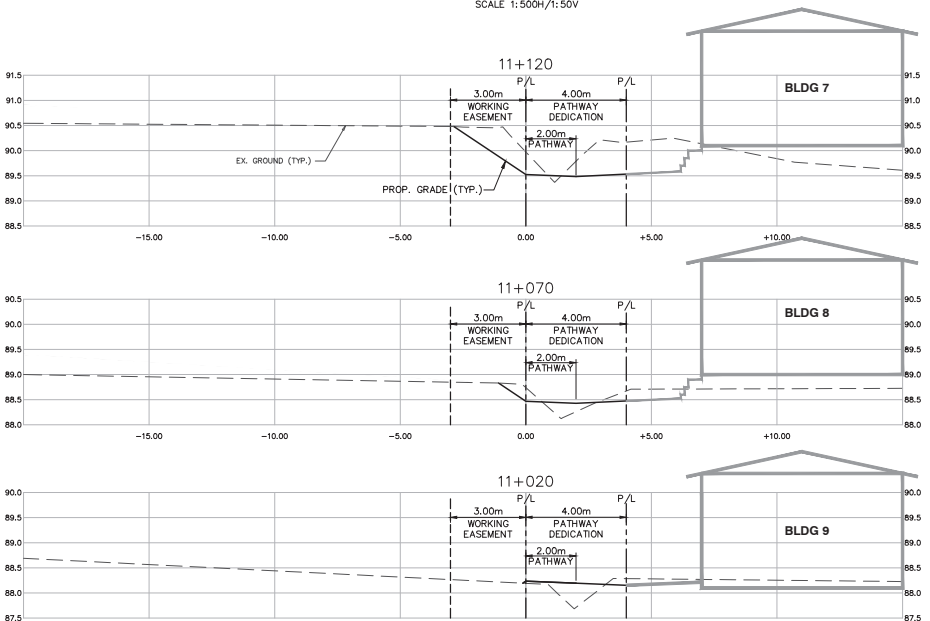


PLAN
SCALE 1:500



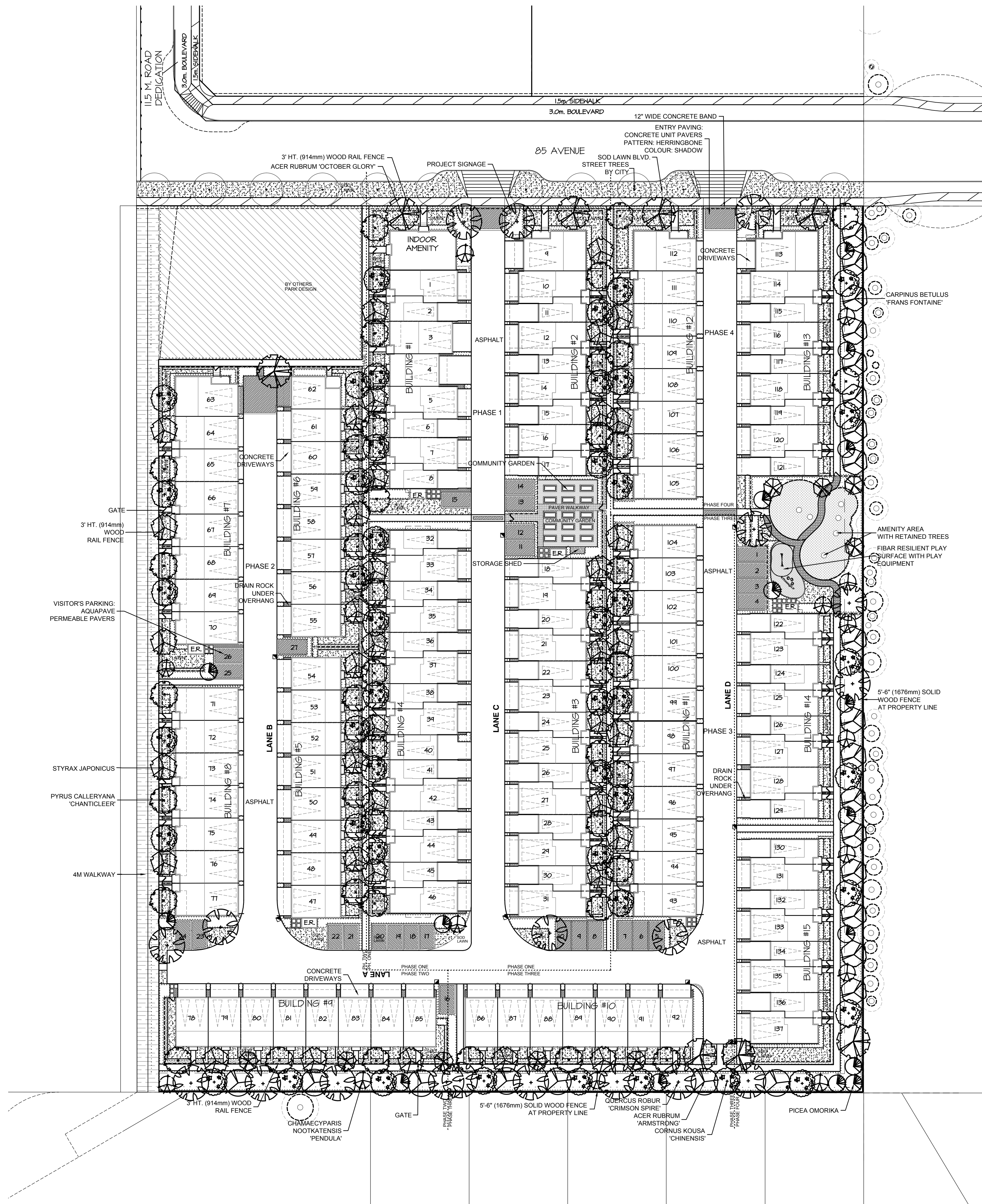
| CENTRELINE ROAD ELEVATIONS | EXISTING | PROPOSED |
|----------------------------|----------|----------|
| CHAINAGE | 11+000 | 11+020 |
| | 88.19 | 88.23 |
| | 88.35 | 88.15 |
| | 88.51 | 88.30 |
| | 88.67 | 88.64 |
| | 89.14 | 89.07 |
| | 89.67 | 89.52 |
| | 89.97 | 89.97 |
| | 90.17 | 90.31 |
| | 90.31 | 90.31 |

PROFILE
SCALE 1:500H/1:50V



SECTIONS
SCALE 1:100H/1:50V

SEAL:



| COMPREHENSIVE TREE SCHEDULE PHASES 1-4 | | | | PMG PROJECT NUMBER: 17-175 |
|--|-----|--------------------------------------|-----------------------------|----------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS |
| 9 | | ACER CIRCINATUM | VINE MAPLE | 2.5M HT; B&B; 3 STEM CLUMP |
| 7 | | ACER RUBRUM 'ARMSTRONG' | COLUMNAR ARMSTRONG MAPLE | 6CM CAL; 2M STD; B&B |
| 8 | | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY MAPLE | 6CM CAL; 2M STD; B&B |
| 17 | | CARPINUS BETULUS 'FRANS FONTAINE' | PYRAMIDAL EUROPEAN HORNBEAM | 6CM CAL; 1.5M STD; B&B |
| 14 | | CHAMAECYPARIS NOOTKATENSIS 'PENDULA' | NOOTKA CYPRESS | 3M HT; B&B |
| 46 | | CORNUS KOUSA 'CHINENSIS' | CHINESE KOUSA DOGWOOD | 6CM CAL; 1M STD |
| 16 | | PICEA OMORIKA | SERBIAN SPRUCE | 3M HT; B&B |
| 42 | | PYRUS CALLERYANA 'CHANTICLEER' | CHANTICLEER PEAR | 6CM CAL; 1.5M STD; B&B |
| 19 | | QUERCUS ROBUR 'CRIMSON SPIRE' | CRIMSON SPIRE OAK | 6CM CAL; 1.8M STD; B&B |
| 38 | | STYRAX JAPONICUS | JAPANESE SNOWBELL | 6CM CAL; 1.5M STD; B&B |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|---|-----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

CLIENT:

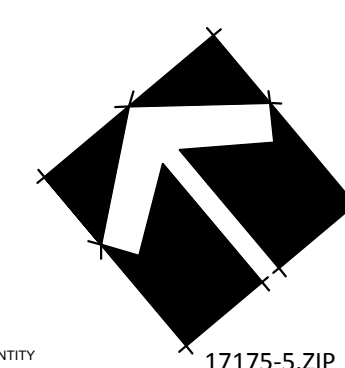
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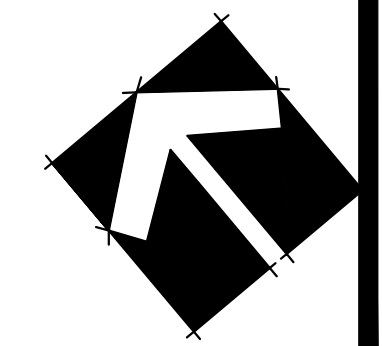
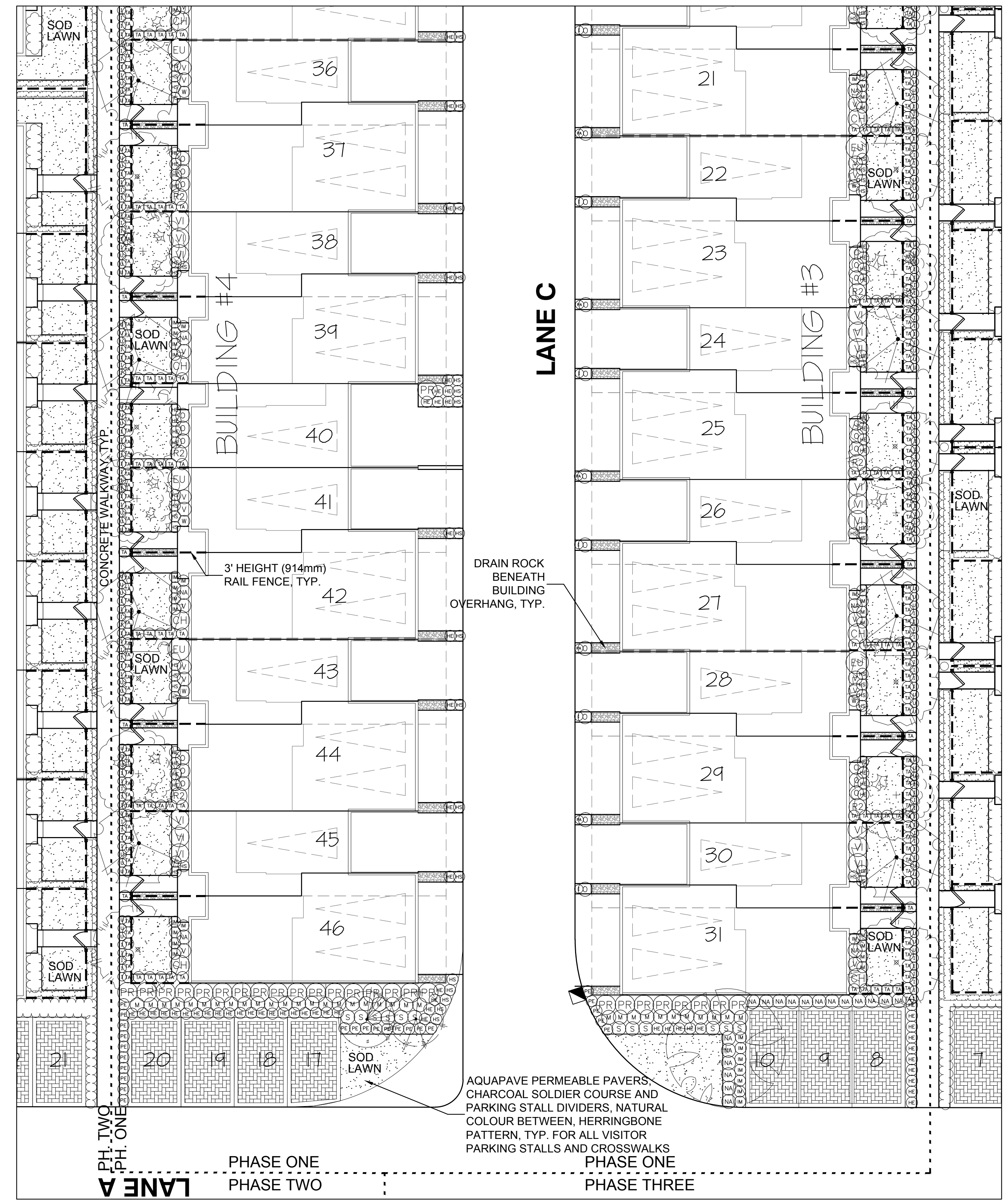
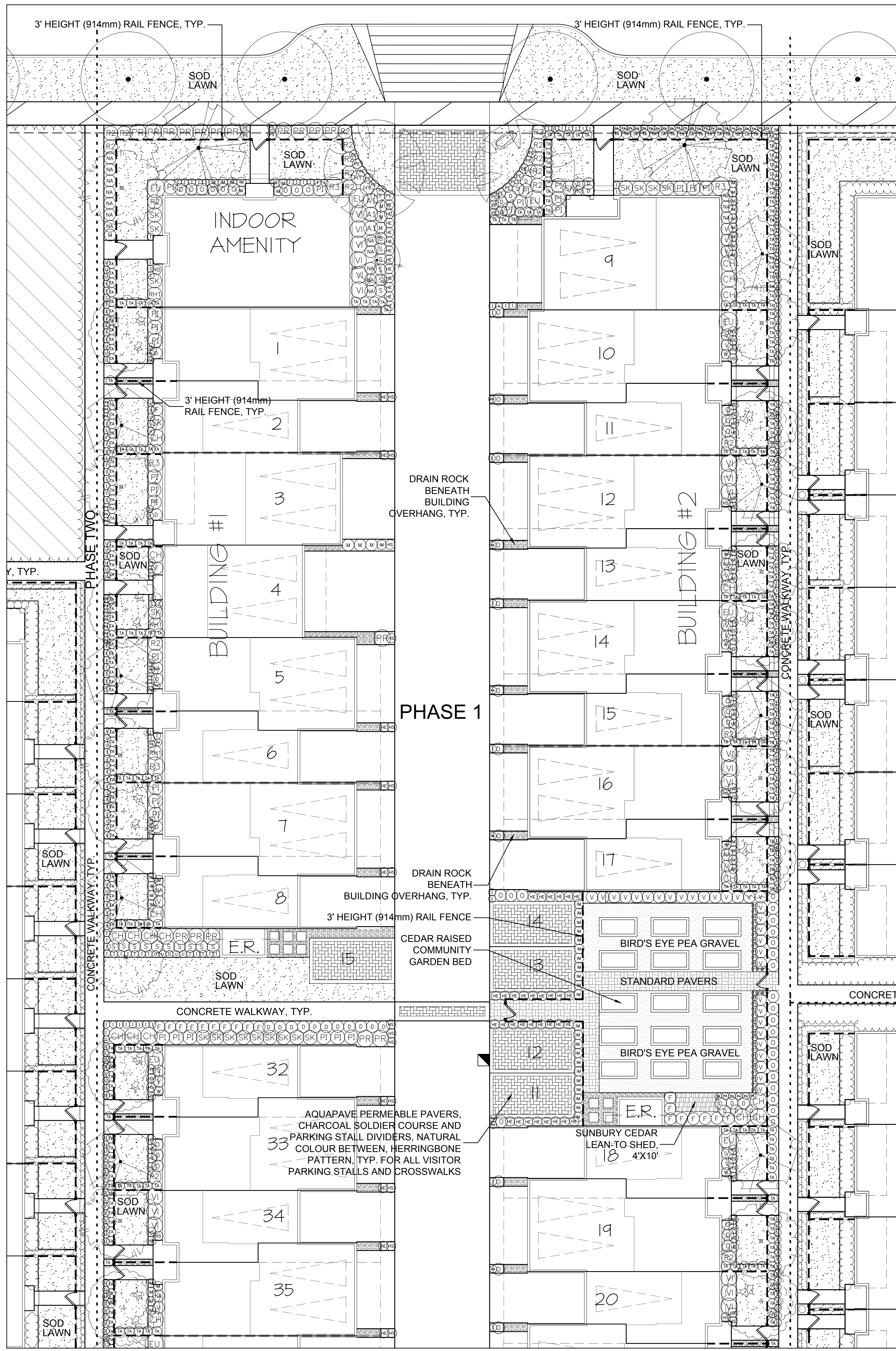
TOWNHOUSE DEV.
15820 FRASER HWY.
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 17.AUG.16 DRAWING NUMBER:
SCALE: 1:400 **L1**
DRAWN: DO
DESIGN: DO
CHK'D: MCY

PMG PROJECT NUMBER: 17-175





SEE L7 DRAWING FOR PHASED PLANT LISTS INCLUDING SHRUB IDENTIFICATION AND QUANTITY

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 LANDSCAPE ARCHITECTS
 Suite C100 - 4185 Still Creek Drive
 Burnaby, British Columbia, V5C 6G9
 p: 604 294-0011 ; f: 604 294-0022

SEAL:

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|---|-----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

CLIENT:

PROJECT:
TOWNHOUSE DEV.
 15820 FRASER HWY.
 SURREY, BC

DRAWING TITLE:
PHASE ONE SHRUB ENLARGEMENT

DATE: 17.AUG.16 DRAWING NUMBER:
 SCALE: 1:150
 DRAWN: DO
 DESIGN: DO
 CHK'D: MCY

L2

17175-5-ZIP PMG PROJECT NUMBER: 17-175

SEAL:

| | | | |
|---|-----------|---|----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

TOWNHOUSE DEV.

15820 FRASER HWY.
SURREY, BC

DRAWING TITLE:

PHASE TWO SHRUB ENLARGEMENT

DATE: 17.AUG.16 DRAWING NUMBER:

SCALE: 1:150

DRAWN: DO

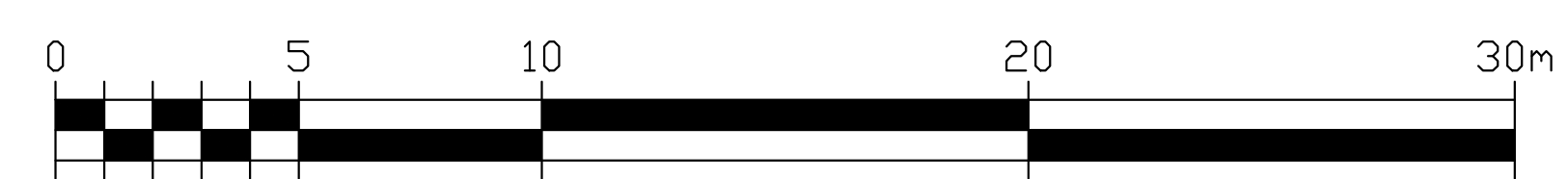
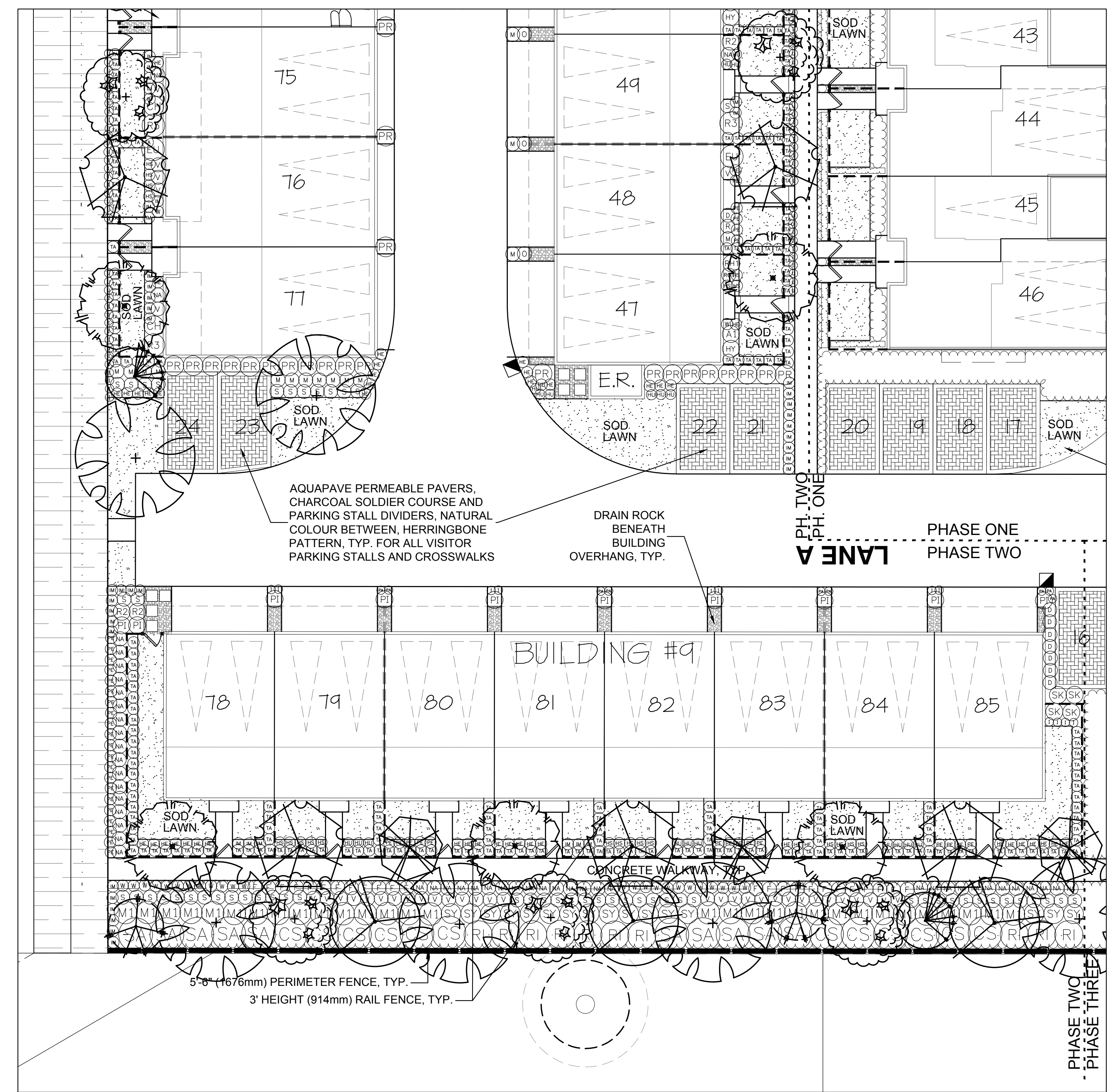
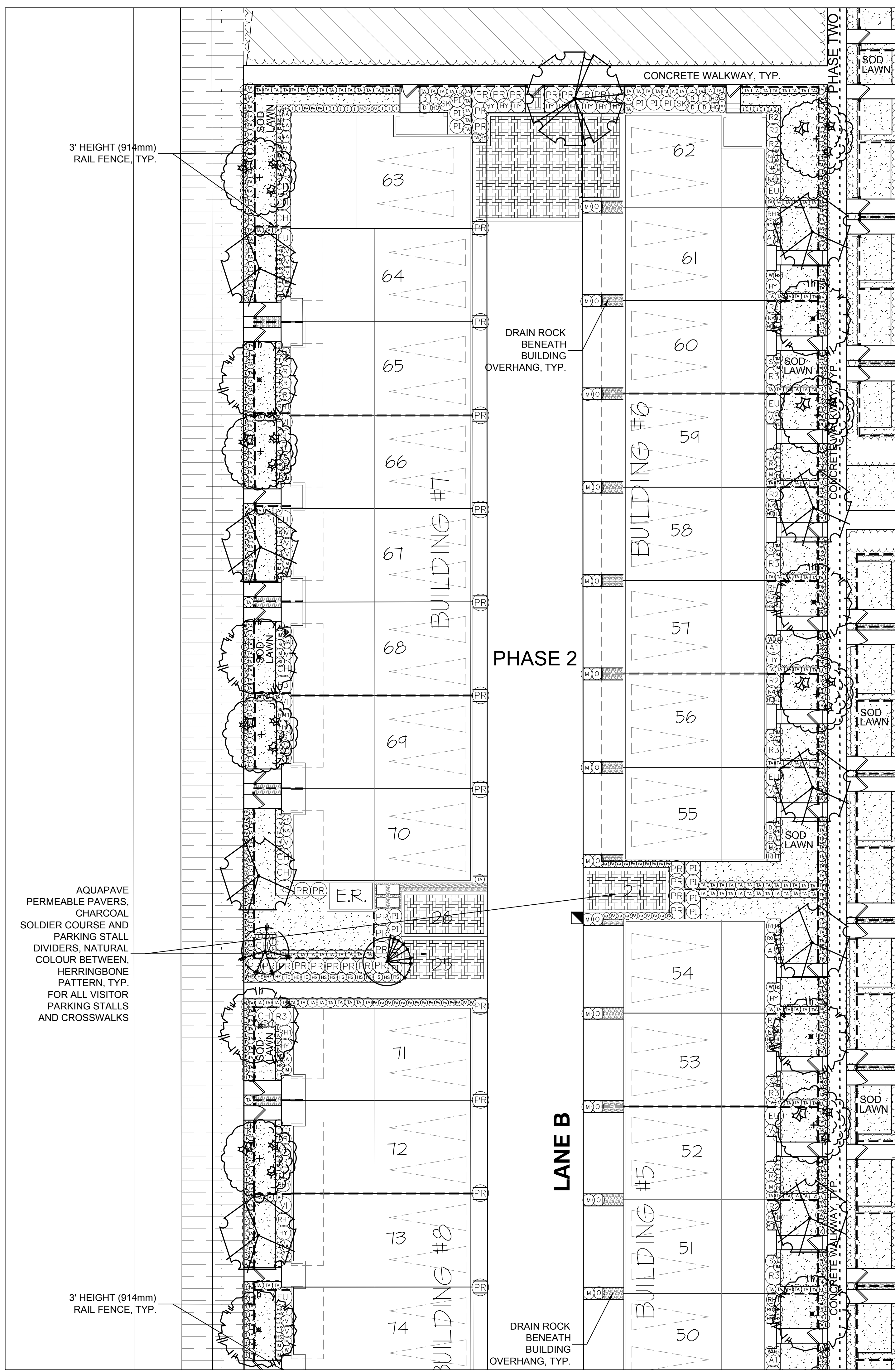
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CHK'D: MCY

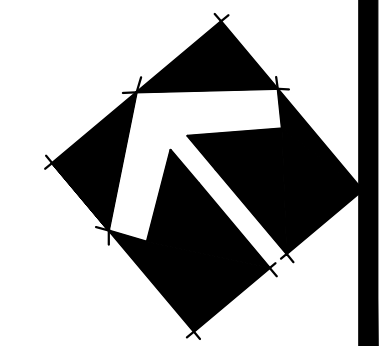
PMG PROJECT NUMBER:

L3

17-175



SEE L7 DRAWING FOR PHASED PLANT LISTS INCLUDING SHRUB IDENTIFICATION AND QUANTITY



17175-5-ZIP

SEAL:

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|---|-----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

CLIENT:

PROJECT:

TOWNHOUSE DEV.

15820 FRASER HWY.
SURREY, BC

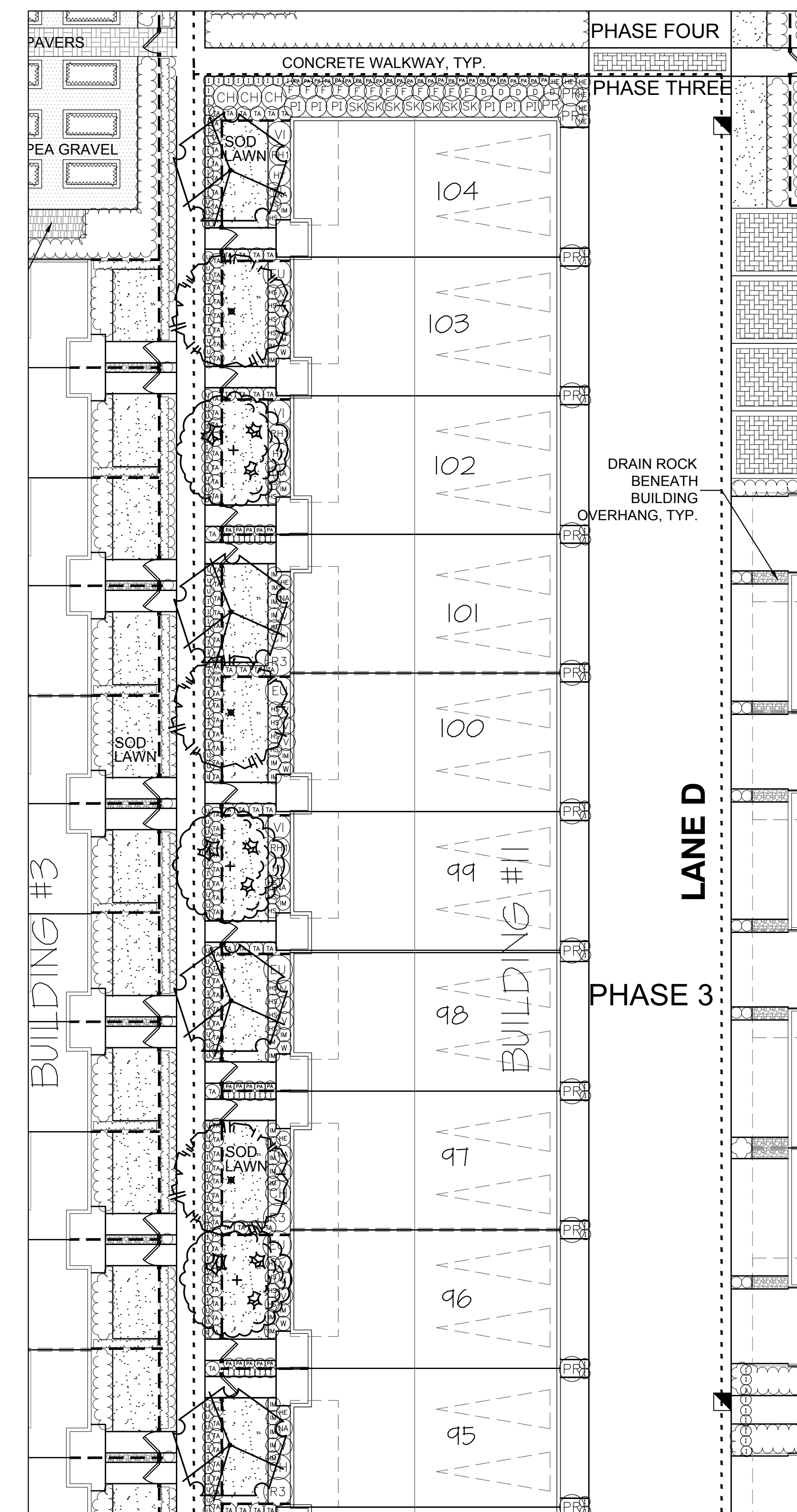
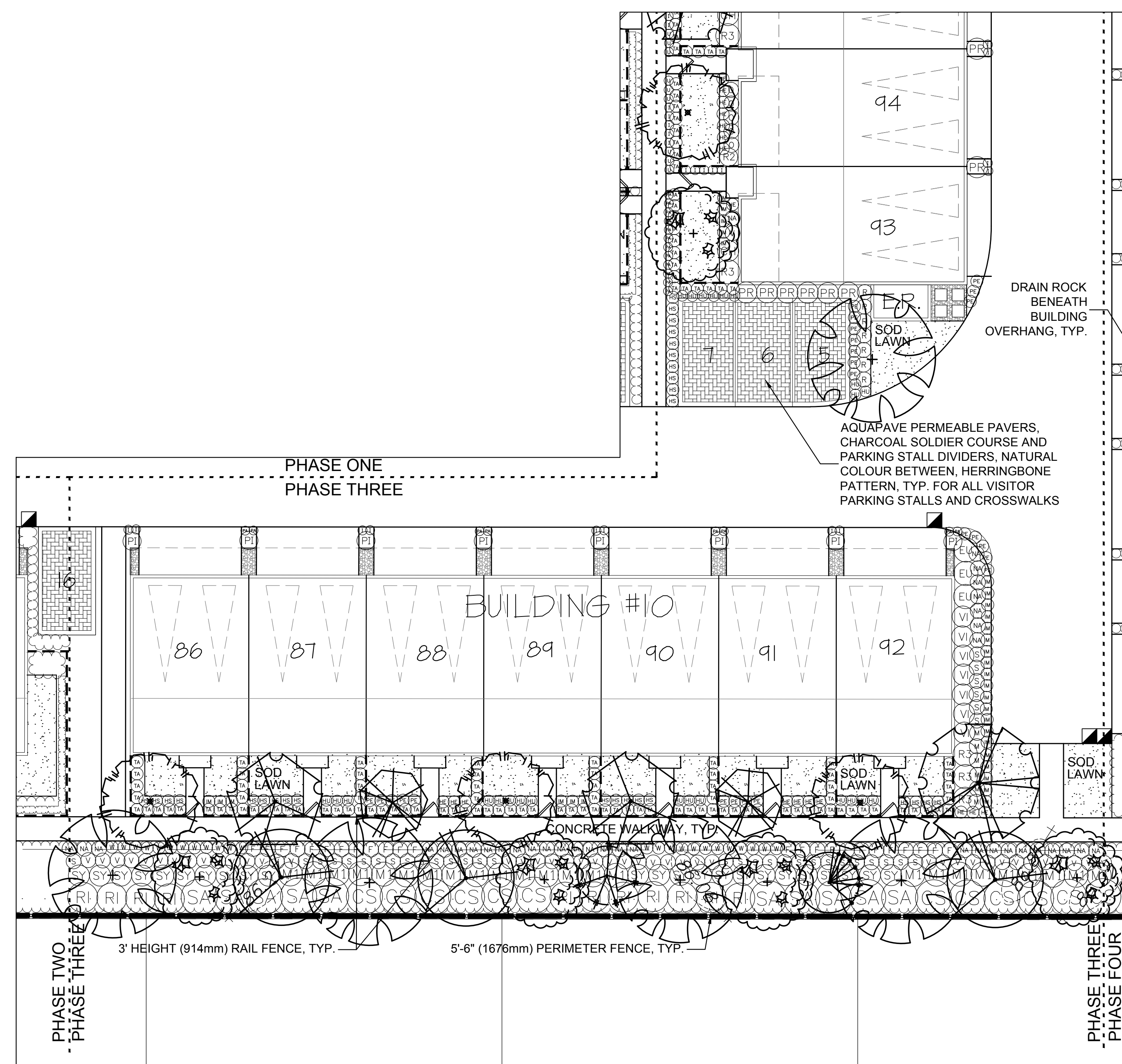
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PHASE THREE SHRUB ENLARGEMENT

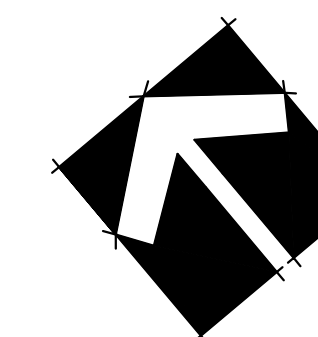
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DRAWN: DO
DESIGN: DO
CHK'D: MCY

PMG PROJECT NUMBER:

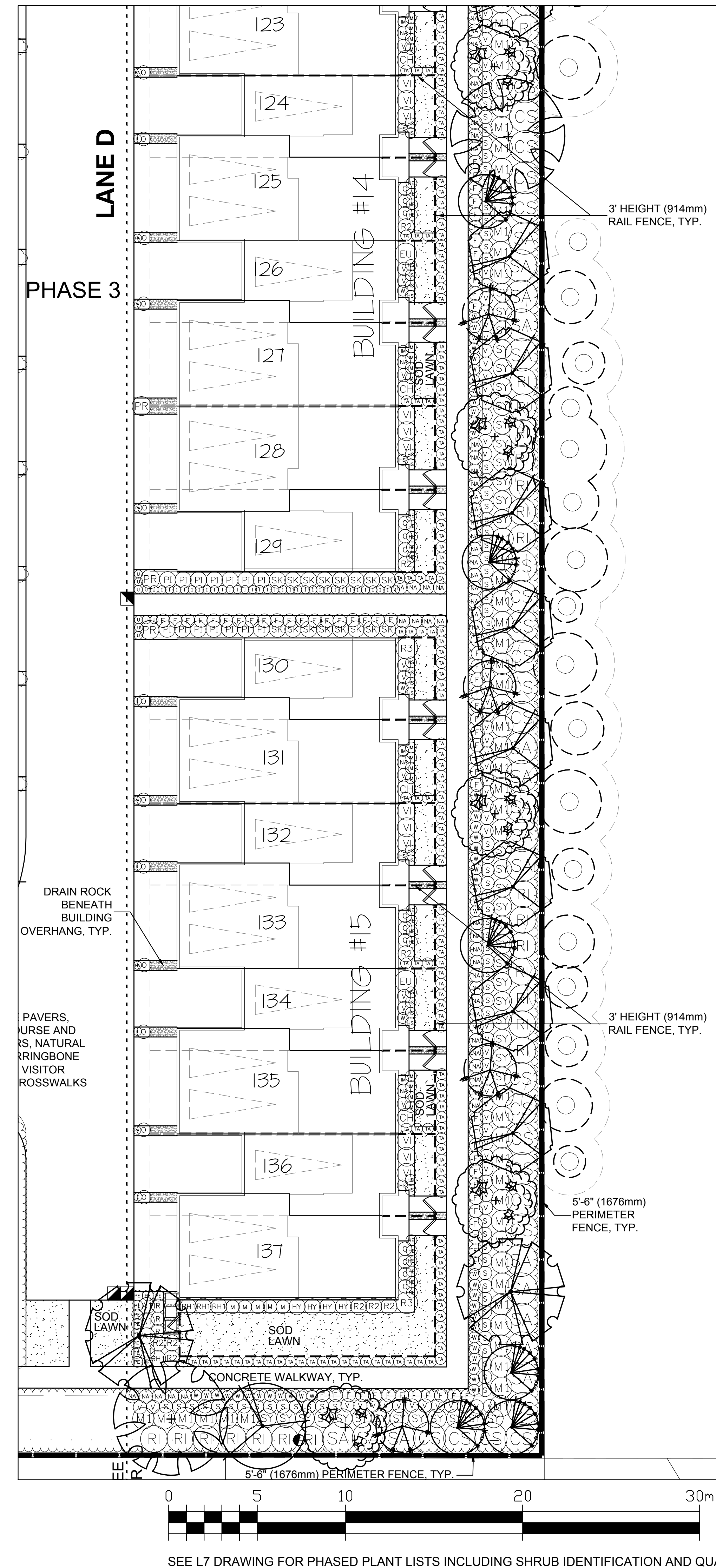
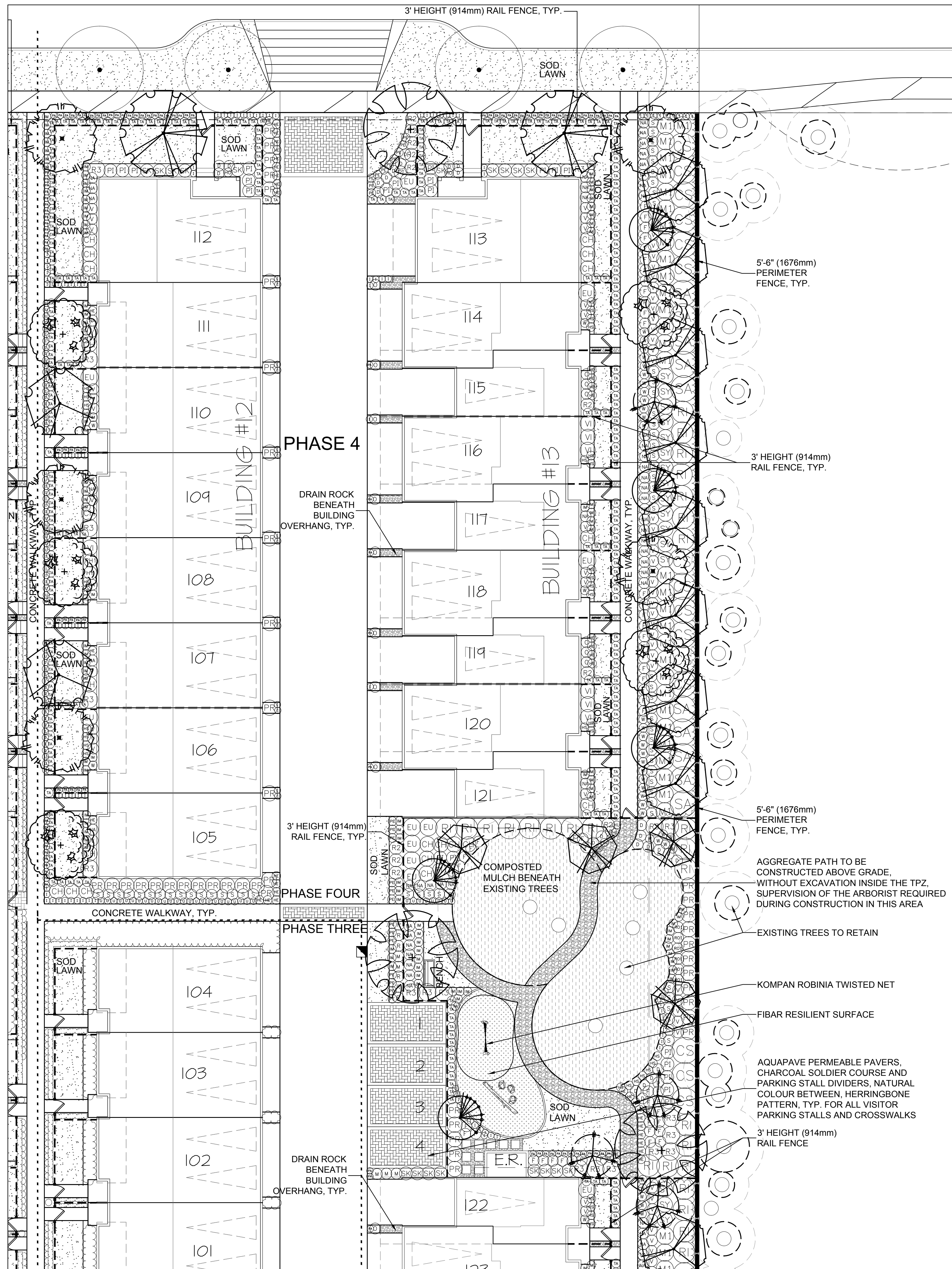
17-175



SEE L7 DRAWING FOR PHASED PLANT LISTS INCLUDING SHRUB IDENTIFICATION AND QUANTITY



17175-5-ZIP



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p: 604 294-0011 ; f: 604 294-0022

SEAL:

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|---|-----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

CLIENT:

PROJECT:

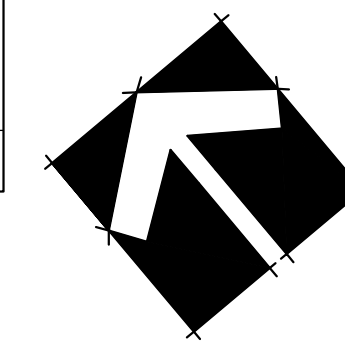
TOWNHOUSE DEV.
15820 FRASER HWY.
SURREY, BC

DRAWING TITLE:
PHASE FOUR SHRUB ENLARGEMENT

DATE: 17.AUG.16 DRAWING NUMBER:
SCALE: 1:150 **L5**
DRAWN: DO
DESIGN: DO
CHK'D: MCY

PMG PROJECT NUMBER: 17-175

SEE L7 DRAWING FOR PHASED PLANT LISTS INCLUDING SHRUB IDENTIFICATION AND QUANTITY



SEAL:



MATERIALS LEGEND

- AQUAPAVE PERMEABLE PAVERS, CHARCOAL COLOUR SOLDIER COURSE AND PARKING STALL DIVIDERS, NATURAL COLOUR DIVIDERS, NATURAL COLOUR BETWEEN, HERRINGBONE PATTERN, TYP. FOR ALL VISITOR PARKING STALLS AND CROSSWALKS
- 24"x24" SANDSTONE HYDRAPRESSED SLABS, CHARCOAL COLOUR SET IN 1/2-1" RIVER ROCK, TYP.
- FUTURE PARK DESIGN BY OTHERS
- FIBAR RESILIENT PLAY SURFACE, 12" DEPTH WITH CONCRETE EDGE
- COMPOSTED BARK MULCH BENEATH EXISTING TREES, NO EXCAVATION IN TREE PROTECTION ZONES
- STANDARD PAVERS, INDIAN SUMMER BLEND, BASKETWEAVE PATTERN WITH SOLDIER COURSE
- SOD LAWN
- 4M PATH DEDICATION
- 1/2"-1" ANGLED RIVER ROCK/GRAVEL PATHWAY IN TREE PROTECTION ZONE, NO EXCAVATION PERMITTED
- BIRD'S EYE PEA GRAVEL BETWEEN COMMUNITY GARDEN BEDS

FENCING LEGEND

- 3' HEIGHT (914mm) WOOD RAIL FENCE
- 5-6' HEIGHT (1676mm) WOOD PERIMETER FENCE

FURNISHINGS LEGEND

- FRANCES ANDREW ESTATE 36 BENCH ON CONCRETE PAD
- LOGS AND BOULDERS
- KOMPAN ROBINA TWISTED NET

| NO. | DATE | REVISION DESCRIPTION | DR. |
|-----|-----------|---|-----|
| 4 | 18.MAR.27 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 3 | 18.FEB.23 | REVISE PER NEW SITE PLAN, CITY COMMENTS | RK |
| 2 | 18.JAN.08 | REVISE PER NEW SITE PLAN | RK |
| 1 | 17.SEP.12 | NEW SITE PLAN - PATHWAY | DO |

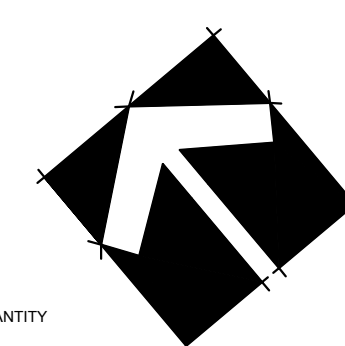
CLIENT:

PROJECT:
TOWNHOUSE DEV.
15820 FRASER HWY.
SURREY, BC

DRAWING TITLE:
MATERIALS AND GRADING PLAN

DATE: 17.AUG.16 DRAWING NUMBER:
SCALE: 1:350
DRAWN: DO
DESIGN: DO
CHK'D: MCY

L6



TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Apr 18, 2018** PROJECT FILE: **7817-0402-00**

RE: **Engineering Requirements
Location: 15820 Fraser Hwy
NCP AMENDMENT**

There are no engineering requirements relative to the NCP Amendment beyond those noted below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 5.5m from the south curb along Fraser Highway for a 42 m special arterial road.
- Provide a 2.5m on-site Statutory Right-of-Way (SROW) along Fraser Highway.
- Dedicate 20.0m for an ultimate 20.0m for 85 Avenue.
- Dedicate 11.5m for the half road towards the ultimate 20.0m total for 158 Street.
- Dedicate 3.0m x 3.0m corner cuts at intersections, as required.
- Dedicate 4.0m for the ultimate 8.0m for walkway.
- Provide 0.5m wide on-site SROW's along 158 Street and 85 Avenue frontages.

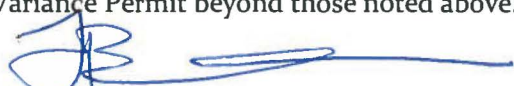
Works and Services

- Re-construct bus bay along Fraser Highway and restore curb, sidewalk and boulevard.
- Construct 85 Avenue to a local road standard.
- Construct 158 Street to half road standard including intersection improvements.
- Construct traffic signalization at the intersection of 85 Avenue and Venture Way.
- Construct a 4.0m wide walkway along west property line.
- Provide cash-in-lieu for construction of Multi-Use-Pathway and pedestrian lighting.
- Construct storm main and sanitary main, as-required along site frontages, to service the site. Complete catchment analysis to determine capacities.
- Construct water main, as-required along site frontages, to service the site.
- Register restrictive covenants for reciprocal access (if applicable), water quality/sediment control, access restriction along Fraser Highway, on-site detention.
- Secure and provide applicable off-site working easements and tree cutting permits.
- Submit arborist report regarding impact to off-site trees from proposed works.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit beyond those noted above.



Tommy Buchmann, P.Eng.
Development Engineer
HB4



Planning April 3, 2018

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Walnut Road Elementary is currently over capacity. Rapid enrolment growth is expected into the foreseeable future with the continued construction of The Enclave and the future construction of the Eaglequest Development. Fraser Highway corridor is a potential area for redevelopment which will significantly impact enrolment growth in future years.

With 152nd Street to the west, Fraser Highway to the North and the ALR to the south, the Fleetwood area is contained within these barriers. Three elementary schools and one Secondary serve this community. The elementary schools consist of: William Watson, Walnut Road and Coyote Creek. As both 152nd and Fraser Highway are major arterial roads, catchments have been created to ensure families/children do not have to cross such major roadways for safety reasons. Therefore, all new enrolling spaces constructed to relieve pressure in the Fleetwood area must fall within the Fleetwood boundaries as described.

Currently, Walnut Road Elementary is operating at 114% and is projected to grow to 118% in 2025. Because of the limited site remaining and the existing design of the school, expanding the school may be problematic. Consequently, in-catchment demand, in the future, may have to be accommodated at William Watson and/or Coyote Creek which are also over capacity.

As part of the Surrey School District's 2018/19 Capital Plan submission to the Ministry of Education, the District is requesting a 100 capacity addition at Coyote Creek and a 300 capacity addition at William Watson to relieve the short term pressure in the Fleetwood Area. (The project has not been approved by the Ministry to move to design and construction) The District is considering the need to build another future elementary school in the area to accommodate longer term demand.

Fleetwood Secondary total enrollment, as of September 2017, is 1462 and is projected to grow to over 1700 over the next 10 years. The school's capacity is 1200. Currently there are no plans to expand the school, however, this facility will be reviewed over the next year to be considered as a 2019/20 Capital Plan request to the Ministry of Education.

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0402 00

SUMMARY

The proposed 137 townhouse units are estimated to have th on the following schools:

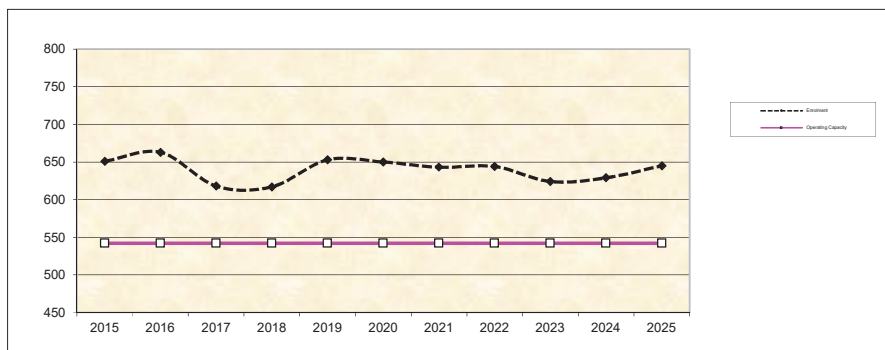
Projected # of students for this development:

| | |
|----------------------|----|
| Elementary Students: | 34 |
| Secondary Students: | 18 |

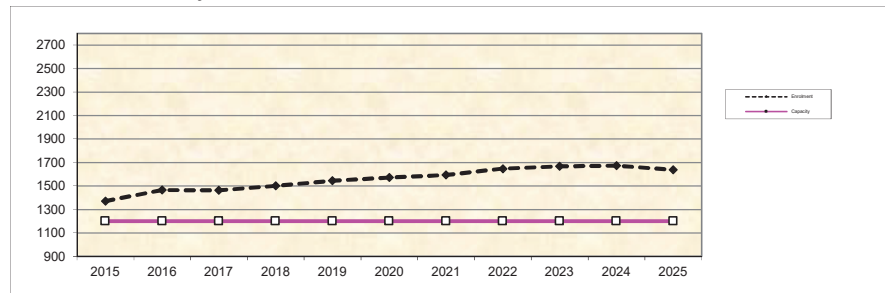
September 2017 Enrolment/School Capacity

| | |
|---------------------------------|------------|
| Walnut Road Elementary | |
| Enrolment (K/1-7): | 52 K + 566 |
| Operating Capacity (K/1-7) | 76 K + 466 |
| Fleetwood Park Secondary | |
| Enrolment (8-12): | 1462 |
| Capacity (8-12): | 1200 |

Walnut Road Elementary



Fleetwood Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Table 1: Summary of Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|---|----------|--------|--------|
| Alder and Cottonwood Trees | | | |
| Alder/Cottonwood | 17 | 9 | 8 |
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| | | | |
| Ash, Mountain | 1 | 1 | 0 |
| Apple | 1 | 1 | 0 |
| Cherry | 1 | 0 | 1 |
| Dogwood | 1 | 1 | 0 |
| Dogwood, Pacific | 1 | 1 | 0 |
| Linden, Silver | 1 | 1 | 0 |
| Maple | 1 | 1 | 0 |
| Maple, Japanese | 5 | 4 | 1 |
| Maple, Redleaf Japanese | 1 | 1 | 0 |
| Maple, Pacific Sunset | 13 | 1 | 12 |
| Magnolia | 1 | 1 | 0 |
| Plum, Pissard | 1 | 1 | 0 |
| Poplar | 2 | 2 | 0 |
| Oak, Sawtooth | 1 | 0 | 1 |
| Willow, Weeping | 3 | 3 | 0 |
| English Holly | 1 | 0 | 1 |
| Coniferous Trees | | | |
| | | | |
| Cedar, Deodar | 1 | 0 | 1 |
| Cedar, Yellow | 1 | 1 | 0 |
| Cypress, Sawara | 14 | 3 | 11 |
| Cypress, False | 4 | 0 | 4 |
| Cypress, Threadleaf | 1 | 1 | 0 |
| Douglas-fir | 68 | 17 | 51 |
| Fir, Grand | 1 | 1 | 0 |
| Hemlock, Western | 6 | 3 | 3 |
| Pine | 1 | 1 | 0 |
| Pine, Scots | 1 | 1 | 0 |
| Spruce, Norway | 1 | 1 | 0 |
| Spruce, Sitka | 1 | 0 | 1 |
| Western Redcedar | 21 | 13 | 8 |
| | | | |
| Total (Not including Alder and Cottonwood) | 156 | 61 | 95 |



MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

| | | | |
|--|----|-----|----|
| Additional Trees in the proposed Open Space / Riparian Area | NA | NA | NA |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | | | |
| | | 207 | |
| Total Retained and Replacement Trees | | | |
| | | 302 | |

***TOTALS DO NOT INCLUDE OFFSITE TREES**



Tree Preservation Summary

Surrey Project No: 7917-0402-00


Address: 15820 Fraser Highway

Registered Arborist: Jeff Ross #PN-7991A

| On-Site Trees | Number of Trees |
|--|-----------------|
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) | 173 |
| Protected Trees to be Removed | 70 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 103 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 9 X one (1) = <u>9</u> - All other Trees Requiring 2 to 1 Replacement Ratio 61 X two (2) = <u>122</u> | 131 |
| Replacement Trees Proposed | 207 |
| Replacement Trees in Deficit | 0 |
| Protected Trees to be Retained in Proposed [Open Space / Riparian Areas] | NA |

| Off-Site Trees | Number of Trees |
|---|-----------------|
| Protected Off-Site Trees to be Removed | 23 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 6 X one (1) = 6 - All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = 34 | 40 |
| Replacement Trees Proposed | TBD |
| Replacement Trees in Deficit | TBD |

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

| | |
|--|----------------------------|
| <p style="text-align: center;"></p> <p>Signature of Arborist:</p> | <p>Date: April 2, 2018</p> |
|--|----------------------------|



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT

FILE NO.

17-0402

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

15820 FRASER HIGHWAY
 SURREY, B.C.

REVISIONS:

| NO. | DATE | BY | REVISION |
|-----|----------|----|--------------------|
| 1 | AUG2217 | SL | PROPOSED SITE PLAN |
| 2 | SEPT1117 | MK | REVISED SITE PLAN |
| 3 | NOV1417 | MK | REVISED SITE PLAN |
| 4 | JAN0818 | MK | REVISED SITE PLAN |
| 5 | FEB1518 | MK | REVISED SITE PLAN |
| 6 | FEB2618 | MK | REVISED SITE PLAN |
| 7 | MAR2818 | MK | REVISED SITE PLAN |

NOTE: PROJECT ARBORIST TO DETERMINE STUMPS TO REMAIN AND STUMPS TO BE REMOVED AT TIME OF TREE REMOVAL.

NOTE: REASSESS ALL EDGE TREES WITH PATH CONSTRUCTION DETAILS WHEN AVAILABLE, TREE REMOVAL MAY BE REQUIRED.

SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

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DRAWN

MK

SCALE

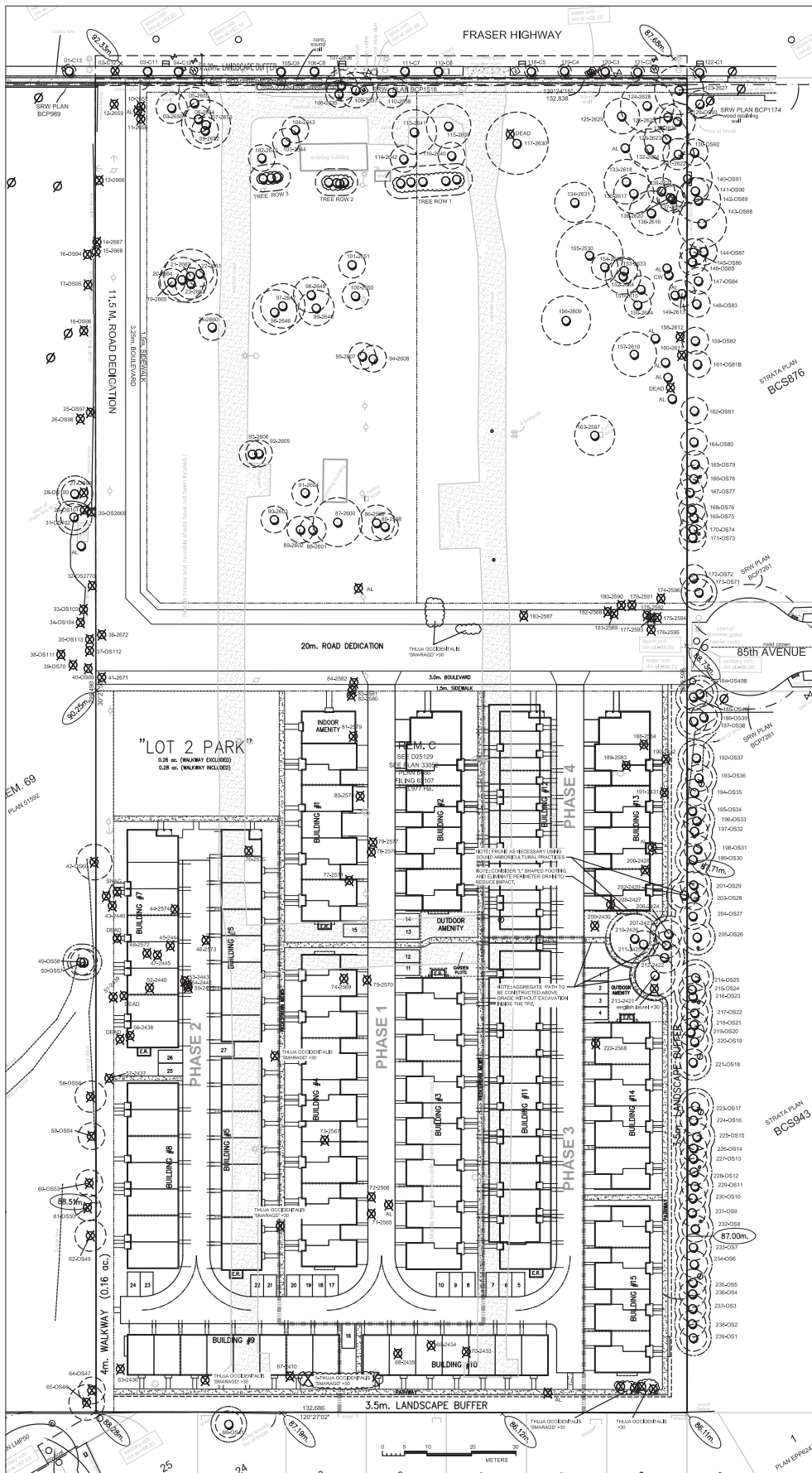
AS SHOWN

DATE

AUGUST 17, 2017

T-1

SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE NOT ASSESSED
- MINIMUM NO DISTURBANCE ZONE
- 1.0m EXCAVATION OFFSET



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

17-0402

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

15820 FRASER HIGHWAY SURREY, B.C.

REVISIONS:

| NO. | DATE | BY | REVISION |
|-----|----------|----|--------------------|
| 1 | AUG2217 | SL | PROPOSED SITE PLAN |
| 2 | SEPT1117 | MK | REVISED SITE PLAN |
| 3 | NOV1417 | MK | REVISED SITE PLAN |
| 4 | JAN0818 | MK | REVISED SITE PLAN |
| 5 | FEB1518 | MK | REVISED SITE PLAN |
| 6 | FEB2618 | MK | REVISED SITE PLAN |
| 7 | MAR2818 | MK | REVISED SITE PLAN |

NOTE: PROJECT ARBORIST TO DETERMINE STUMPS TO REMAIN AND STUMPS TO BE REMOVED AT TIME OF TREE REMOVAL.

NOTE: REASSESS ALL EDGE TREES WITH PATH CONSTRUCTION DETAILS WHEN AVAILABLE. TREE REMOVAL MAY BE REQUIRED.

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

NOTE: REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

T2 - TREE PROTECTION PLAN

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DRAWN

MK

SCALE

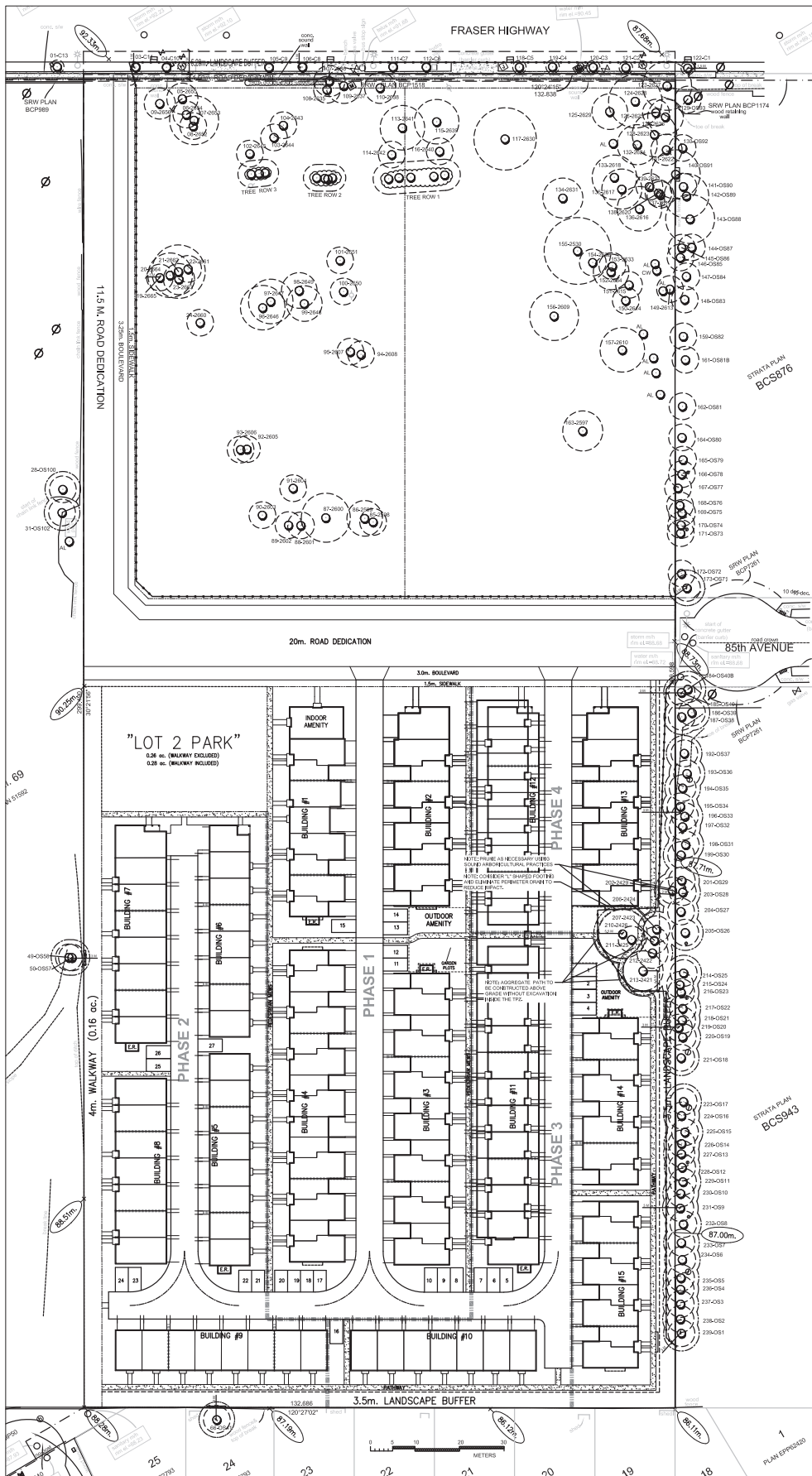
AS SHOWN

DATE

AUGUST 17, 2017

T-2

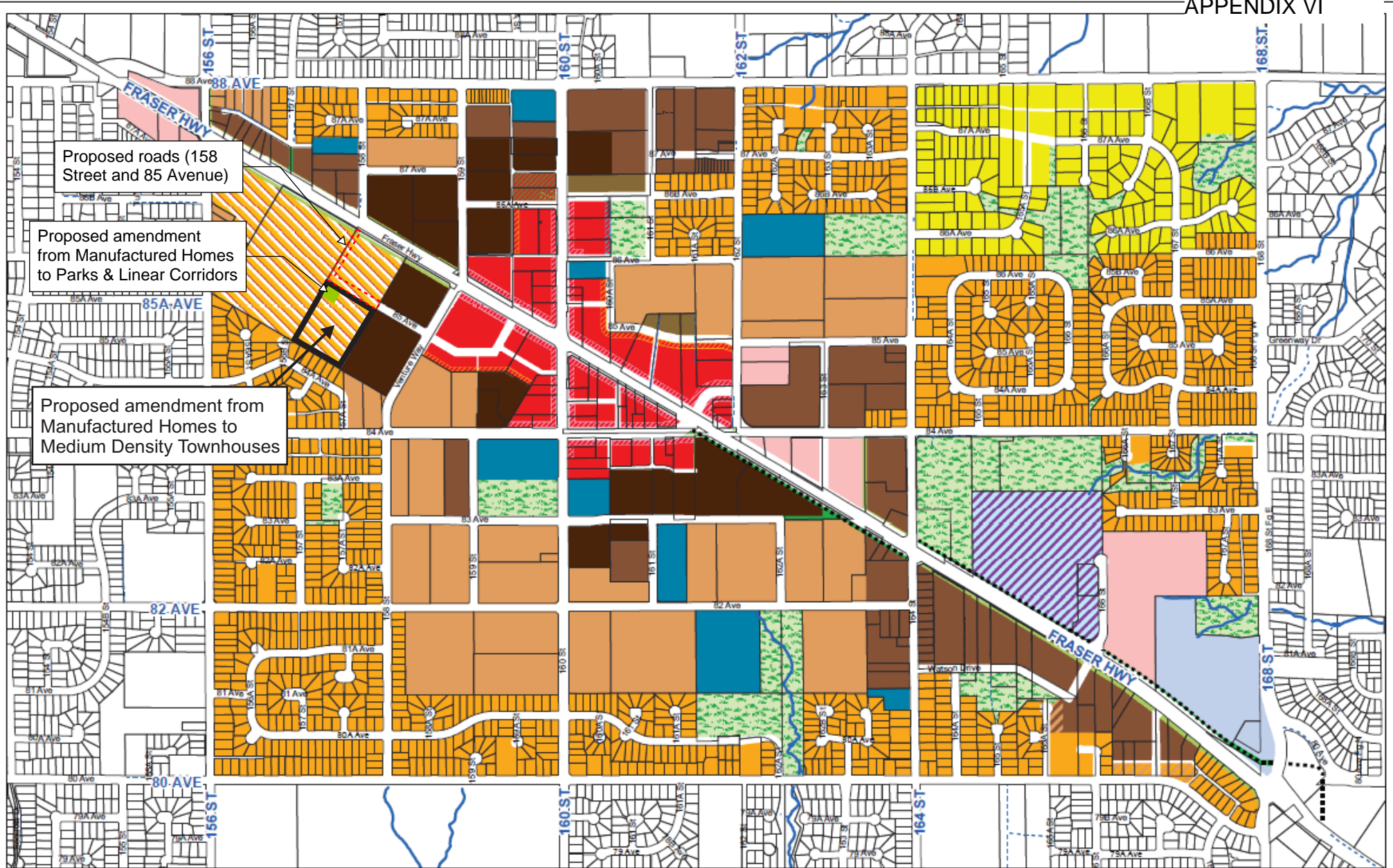
SHEET 2 OF 2



LEGEND

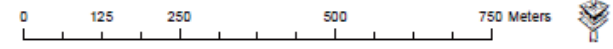
- TREE TO BE RETAINED
- TREE NOT ASSESSED
- MINIMUM NO DISTURBANCE ZONE
- 1.0m EXCAVATION OFFSET
- TREE PROTECTION FENCING





Legend

- | | | | | |
|---|---|---|--------------------------|------------------------------------|
| Mixed Use 2.5 FAR 6 Storey Maximum | Apartment or Mixed Use 1.5 FAR 4 Storey Maximum | Low Density Townhouses In Duplex Form | Commercial 1.5 FAR | Parks & Linear Corridors |
| Commercial Frontage Required | Apartment 1.5 FAR 4 Storey Maximum | Low Density Townhouses or Single Family | Industrial | Multiuse Corridor/Landscape Buffer |
| 4 Storey Maximum | Apartment and Medium Density Townhouses | Single Family Urban | Institutional | Buffer Within Private Land |
| Residential Frontage Required 4 Storey Maximum | Medium Density Townhouses | Single Family Suburban | Institutional/Commercial | 4m Wide Paved Path |
| Tree Cluster - with preservation may permit up to 2.5 FAR, 6 Storey | Low Density Townhouses | Manufactured Homes | | |



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0402-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-194-103

Lot "C" (See D25129) Except Part Dedicated Road in Plan BCP1517 Section 26 Township 2 New Westminster District Plan 6486

15820 - Fraser Highway

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum north front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs for Buildings 1, 2, 12 and 13 on proposed Lot 1;
 - (b) To reduce the minimum north front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 6 and 7 on proposed Lot 1;
 - (c) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8 ft.) to the roof overhangs for Buildings 7 and 8 on proposed Lot 1; and
 - (d) To reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.0 metres (13 ft.) to the roof overhangs for Building 1 on proposed Lot 1.

5. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule B, which is attached hereto and forms part of this development variance permit, is registered in the New Westminister Land Title Office within three (3) years after the date this development variance permit is issued.

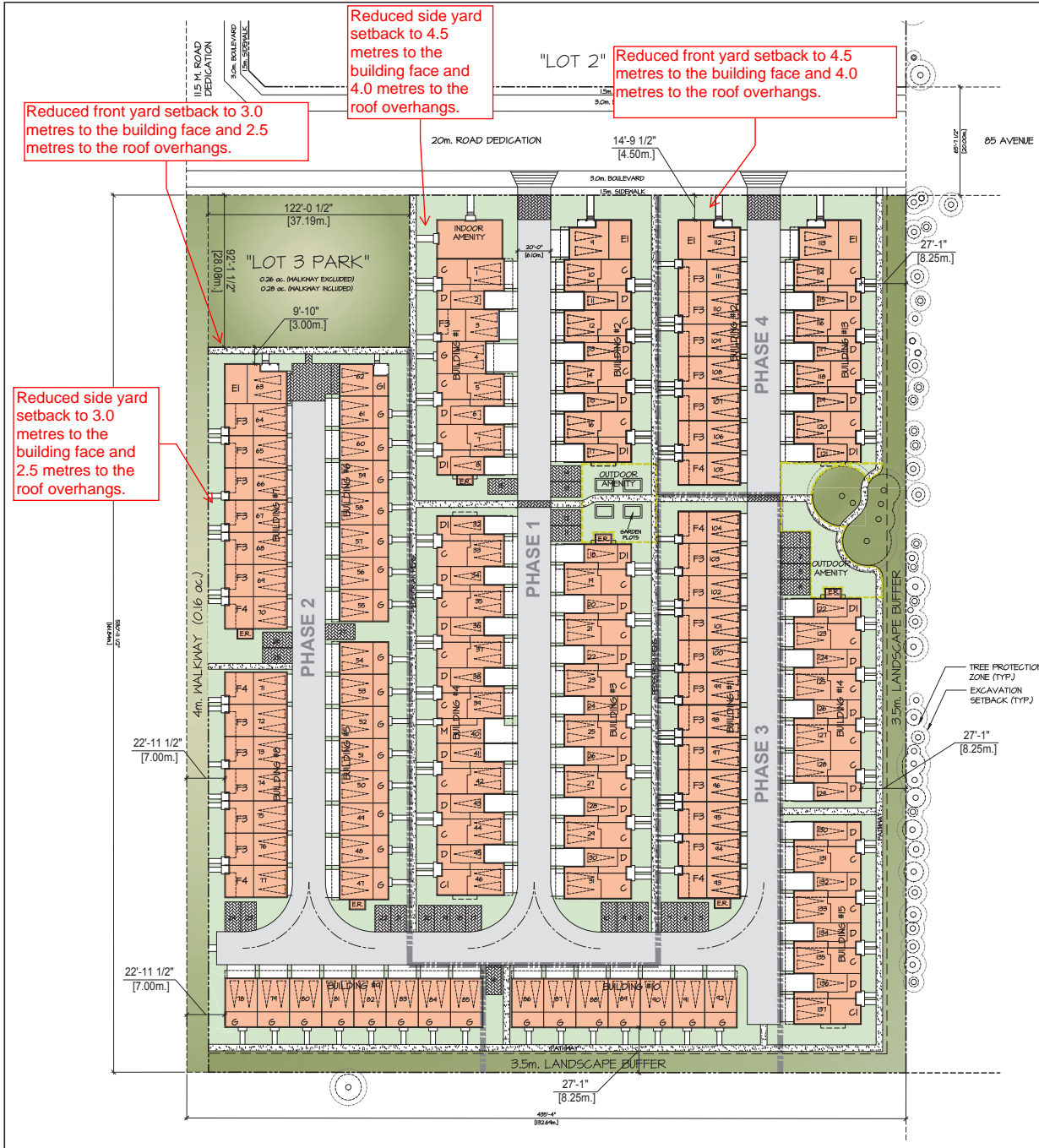
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 20 ____ .
ISSUED THIS _____ DAY OF _____, 20 ____ .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



DEVELOPMENT DATA:

ZONING: RM-30
 GROSS SITE AREA: 231,260.42 s.f. 2,404.71 s.m.
 5.31 Ac. 2.15 Ha.

DENSITY: (Based on Gross Site Area)
 ALLOWABLE: 154 UNITS 30 U.P./Ac 75 U.P./Ha.
 PROPOSED: 137 UNITS 25.8 U.P./Ac 64 U.P./Ha.

NET SITE AREA: 213,052.88 s.f. 19,743.25 s.m.
 4.84 Ac. 1.98 Ha.

DENSITY: (Based on Net Site Area)
 ALLOWABLE: 147 UNITS 30 U.P./Ac 75 U.P./Ha.
 PROPOSED: 137 UNITS 28.0 U.P./Ac 64 U.P./Ha.

SITE COVERAGE: (Based on Net Site Area)
 ALLOWABLE: 45% 45,873.8 s.f. 8,970.0 s.m.
 PROPOSED: 45% 45,021.6 s.f. 8,821.8 s.m.

F. A. R.: (Based on Net Site Area)
 ALLOWABLE: 1.00 213,052.8 s.f. 19,743.3 s.m.
 PROPOSED: 0.46 205,583.6 s.f. 19,044.3 s.m.

AMENITY AREA:
 INDOOR AMENITY AREA:
 REQUIRED: 32.3 s.f. / UNIT 4,425.1 s.f. 411 s.m.
 PROVIDED: 3,004.0 s.f. 274.5 s.m.
 OUTDOOR AMENITY AREA:
 REQUIRED: 32.3 s.f. / UNIT 4,425.1 s.f. 411 s.m.
 PROVIDED: 4,434.3 s.f. 458.4 s.m.

BUILDING HEIGHT:
 ALLOWABLE: 13.0 m.
 PROPOSED: 10.2 m.

UNIT BREAKDOWN:

| UNIT TYPE | GARAGE TYPE | UNIT AREA | NO. OF UNITS | TOTAL |
|---------------|--------------|-------------|--------------|---|
| C | 4 BED DOUBLE | 1527.0 s.f. | 31 | 47,337.4 s.f. |
| G1 | 4 BED DOUBLE | 1541.6 s.f. | 2 | 3,143.2 s.f. |
| D | 3 BED TANDEM | 1309.6 s.f. | 21 | 31,501.2 s.f. |
| D1 | 3 BED TANDEM | 1435.1 s.f. | 6 | 8,610.5 s.f. |
| E1 | 4 BED DOUBLE | 1437.4 s.f. | 4 | 1,751.4 s.f. |
| F3 | 4 BED DOUBLE | 1651.2 s.f. | 28 | 46,233.4 s.f. |
| F4 | 4 BED DOUBLE | 1665.2 s.f. | 6 | 9,991.0 s.f. |
| G | 3 BED DOUBLE | 1366.3 s.f. | 31 | 42,356.2 s.f. |
| G1 | 3 BED DOUBLE | 1303.3 s.f. | 1 | 1,303.3 s.f. |
| M | 2 BED TANDEM | 1285.0 s.f. | 1 | 1,285.0 s.f. |
| TOTAL: | | | | 137 UNITS 205,583.6 s.f. 19,044.3 s.m. |

PARKING REQUIREMENTS:

| REQUIRED: | RESIDENTS: | 2.0 / UNIT | 274 SPACES |
|------------------|------------------------|------------|-------------------|
| | VISITORS: | 0.2 / UNIT | 27 SPACES |
| | TOTAL REQUIRED: | | 301 SPACES |
| PROVIDED: | RESIDENTS: | 274 SPACES | |
| | VISITORS: | 27 SPACES | |
| | TOTAL PROVIDED: | | 301 SPACES |

ISSUED FOR: _____
 BY: _____
 DATE: _____
 ISSUE: _____
 REV. NO. _____
 DATE: _____

DESIGN: _____
 DRAWN: _____
 DATE: Apr. 3, 16
 SCALE: 1" = 30'-0"

CLIENT: DAMSON + SAWYER
 PROJECT: TOKKHOUSE DEVELOPMENT
 15920 FRASER HIGHWAY
 SHEET CONTAINS: SITE PLAN AND DEVELOPMENT DATA



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

| | |
|-------------|-----------|
| CLIENT NO. | SHEET NO. |
| 601 | AC-2.0 |
| PROJECT NO. | REV. NO. |
| 16067 | |



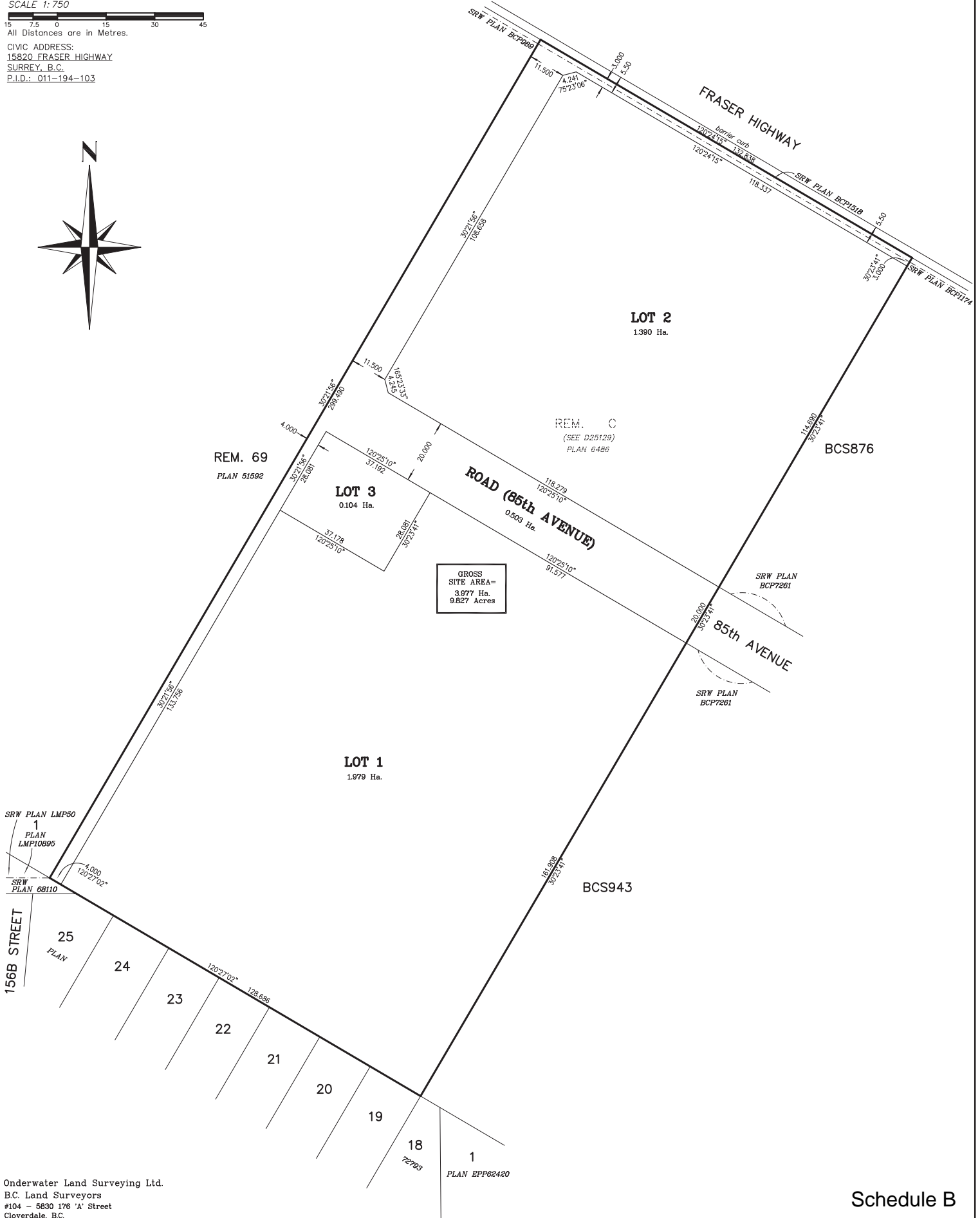
SITE PLAN

PRELIMINARY SUBDIVISION PLAN OF LOT "C" (SEE D25129), EXCEPT PART DEDICATED ROAD IN PLAN BCP1517, SECTION 26, TOWNSHIP 2, NEW WESTMINSTER DISTRICT PLAN 6486.

SCALE 1:750



All Distances are in Metres.
 CIVIC ADDRESS:
 15820 FRASER HIGHWAY
 SURREY, B.C.
 P.I.D.: 011-194-103



GROSS
 SITE AREA=
 3.977 Ha,
 9.827 Acres

APPLICANT'S AFFORDABLE HOUSING PROGRAM

OPTION #1

SELL YOUR MANUFACTURED HOME TO US

- We will pay the highest of the following amounts.
 - 2016 BC Assessed Value of your manufactured home plus 25%, or;
 - Appraised Value of your home plus a bonus.
- Payment of moving expenses.
- Additionally, you will receive a cash payment equal to 12 months rent.

OPTION #2

RELOCATE YOUR MANUFACTURED HOME

- We have secured manufactured home pads in the Fraser Valley and beyond.
- We will provide the following services at no cost.
 - Coordinate and pay for the relocation of your home.
 - Payment of hook-up and service connections.
 - Payment of moving expenses.
- Additionally, you will receive a Cash payment equal to 12 months rent.

OPTION #3


GUARANTEED INCOME ASSISTANCE FOR LIFE

- Receive monthly payments of up to \$700 per month, for the rest of your life, to assist with all future housing choices.
- Payment of moving expenses.
- Additionally, you will receive a Cash payment equal to 12 months rent.

ADDITIONAL SERVICES (Available for all Tenants)

We understand that everyone's needs are different. In order to cater to your individual needs, a full time representative is available to discuss and assist with the following relocation services:

- Provide comprehensive information on relocation options (ie: alternative park locations, market and non-market homes in the area, etc).
- Assist in securing a variety of affordable housing options.
- Assist in answering any questions.
- Provide opportunities to purchase a new home at a discounted price.
- Coordinate moving logistics.
- Completion/move out dates will not occur until summer/fall 2019.
- Provide flexible move out dates to ensure suitable housing accommodations are secured.
- Right of first refusal to purchase a new home on the property at a discounted price.
- The Affordable Housing Program is only available to active tenants as of June 1, 2017 - Non-transferable.

| | |
|--|---|
|  | <h1>City of Surrey</h1> <h1>Policy</h1> <p style="text-align: right;">No. O-34A</p> |
| Policy Title: Approval Date: Revision Date: Department: | MANUFACTURED HOME PARK REDEVELOPMENT AND MANUFACTURED HOME PARK STRATA CONVERSION POLICY 11 DEC 1995 (RES.95-4166) Planning and Development |

This Policy applies to all applications for development and/or redevelopment of a manufactured home park where existing manufactured homes are proposed to be displaced. This Policy also applies to all applications for conversion of a manufactured home park into a strata development.

1. The Affordable Housing Program outlined in this policy shall be considered to be in addition to any provincially mandated requirements, such as the provision of minimum notice of termination of a tenancy and financial compensation.
2. Notices to residents regarding the redevelopment or strata conversion proposal shall be provided to residents by the Proponent as soon as possible and not later than two weeks after an application is received by the City. The notice shall include a copy of this policy.
3. A Communications Plan acceptable to the City shall be provided by the Proponent to the City showing when and how residents will be notified of the application process steps.
4. Timely process updates shall be provided to residents by the Proponent, including notice of Council meetings related to the application, public hearing dates and methods for advising City staff and Council of resident concerns.
5. Demographic profiles, affordable housing preferences, assessment of home condition and potential/cost for relocation/reuse shall be provided by the Proponent to the City for each home on the application site, where available.
6. Comprehensive information on relocation options, such as alternative park locations and costs, market and non-market rental units in the area, shall be made available to residents by the Proponent.
7. An Affordable Housing Program shall be prepared by the Proponent for all residents. A range of options should be presented, which should include any or a combination of the following:
 - (a) A right of first refusal for park residents to purchase a housing unit or, in the case of a strata conversion, a strata lot within the new development, for rent or purchase at or below market value;
 - (b) As part of an affordable housing proposal, payment of all reasonable costs associated with relocating existing homes to an appropriate affordable location in the Lower Mainland.

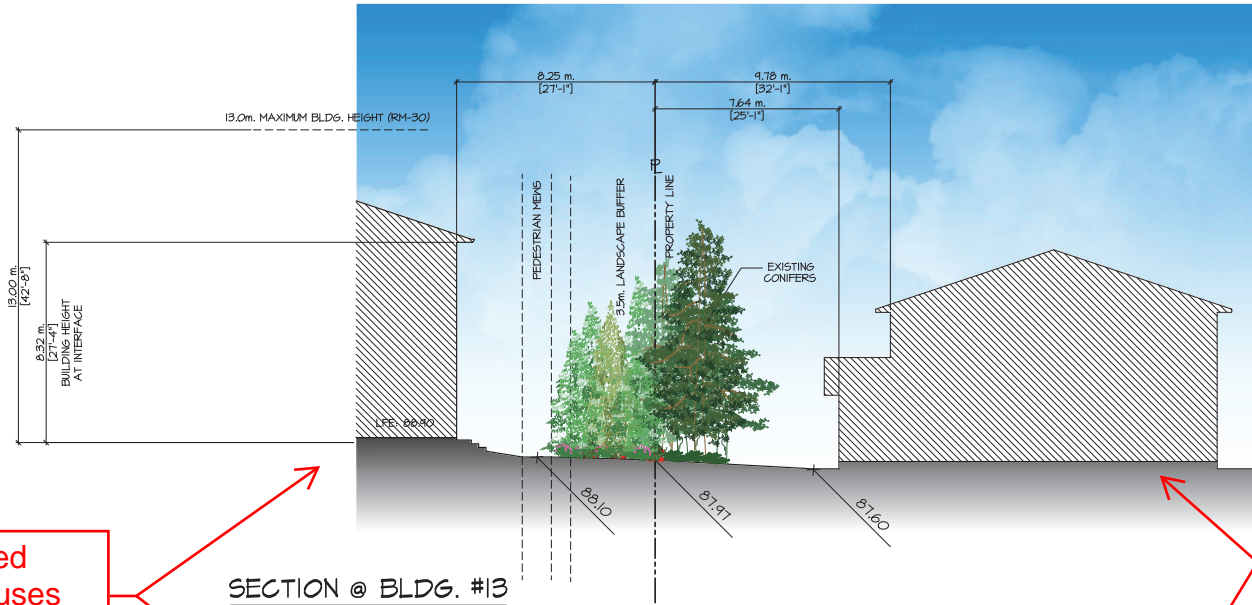
This policy is subject to any specific provisions of the Local Government Act, or other relevant legislation or Union agreement.

Provision should be made in this option to cover additional costs associated for relocating non-CSA and older units in an acceptable state;

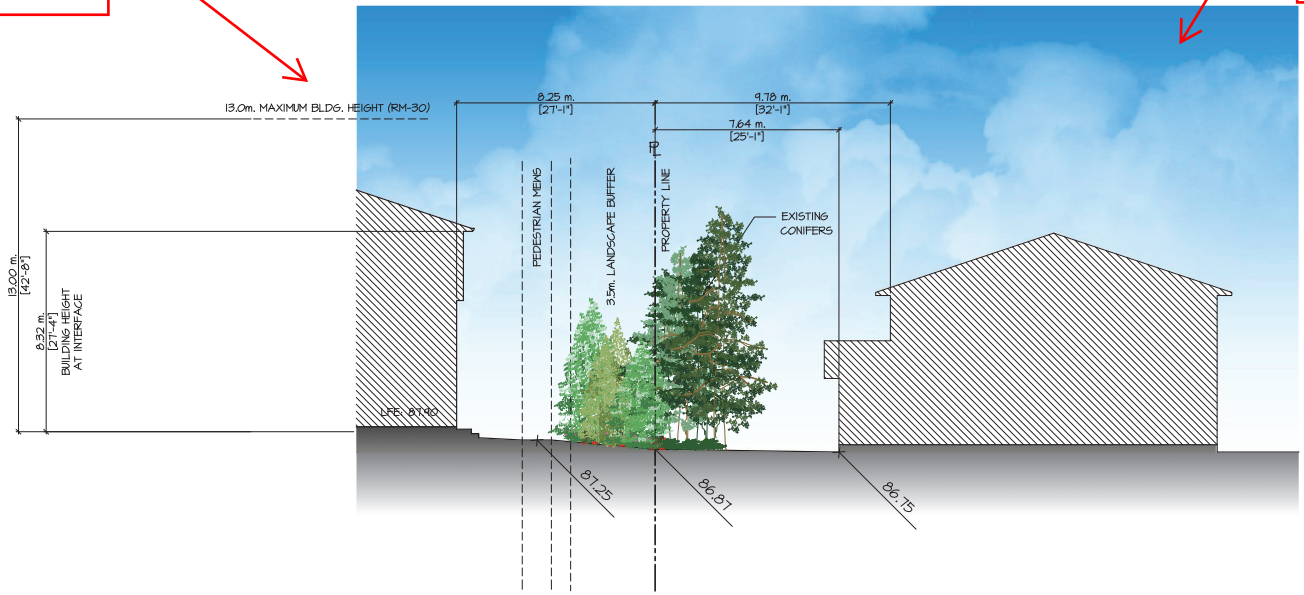
- (c) As part of an affordable housing proposal, provision of reasonable compensatory payments to displaced tenants in addition to those mandated by the *Manufactured Home Park Tenancy Act* that may be used for affordable housing, along with reasonable disposal costs and moving expenses. Compensation should be based on the assessed value of the manufactured home;
 - (d) Reserving a proportion of the new units for affordable rental or market housing for the existing manufactured home park residents and the reimbursement of reasonable living and moving expenses. The allocation and cost of these units should be related to housing need and the income of the residents; and
 - (e) Other affordable housing options.
8. The Proponent may enter into a Housing Agreement acceptable to the City, as provided for in Section 905 of the *Local Government Act*, which is registered with the Land Title Office and will provide the City with complete documentation on the Affordable Housing Program. The proponent will provide a summary of the Affordable Housing Program and any Housing Agreements that describes the disposition of the affordable housing options provided to residents affected by the redevelopment or strata conversion for a staff report to Council on the proposal.

Proposed townhouses on subject site

Existing Chestnut Grove townhouses (15868 - 85 Ave) to the east



SECTION @ BLDG. #13



SECTION @ BLDG. #14

| ISSUE NO. | ISSUED FOR | DATE | BY |
|-----------|------------|------|----|
| | | | |
| | | | |
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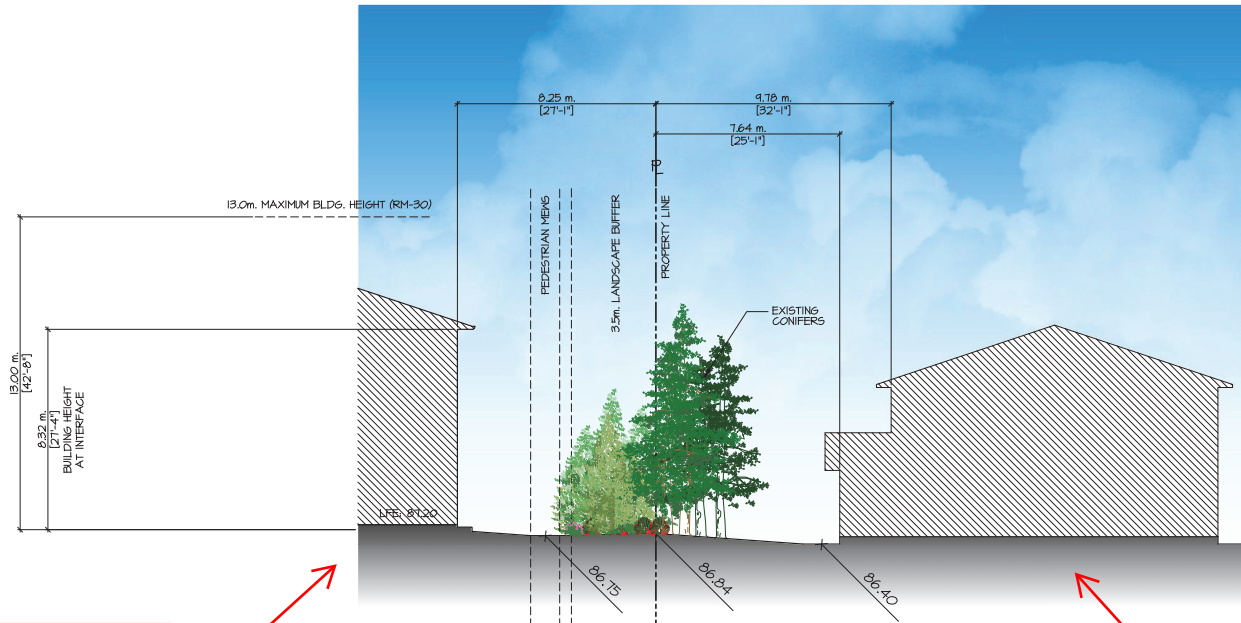
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|----------|------------------|
| DESIGN : | DAVISON + SAWYER |
| DRAWN : | |
| DATE : | |
| SCALE : | 3/32" = 1'-0" |

| | | | |
|-------------|-------|-----------|-----|
| CLIENT NO. | 601 | SHEET NO. | AC- |
| PROJECT NO. | 16067 | REV. NO. | |

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H5
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

Appendix X

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Proposed townhouses on subject site

SECTION @ BLDG. #15

Existing Chestnut Grove townhouses (15868 - 85 Ave) to the east

| REV. NO. | DATE | BY | ISSUE |
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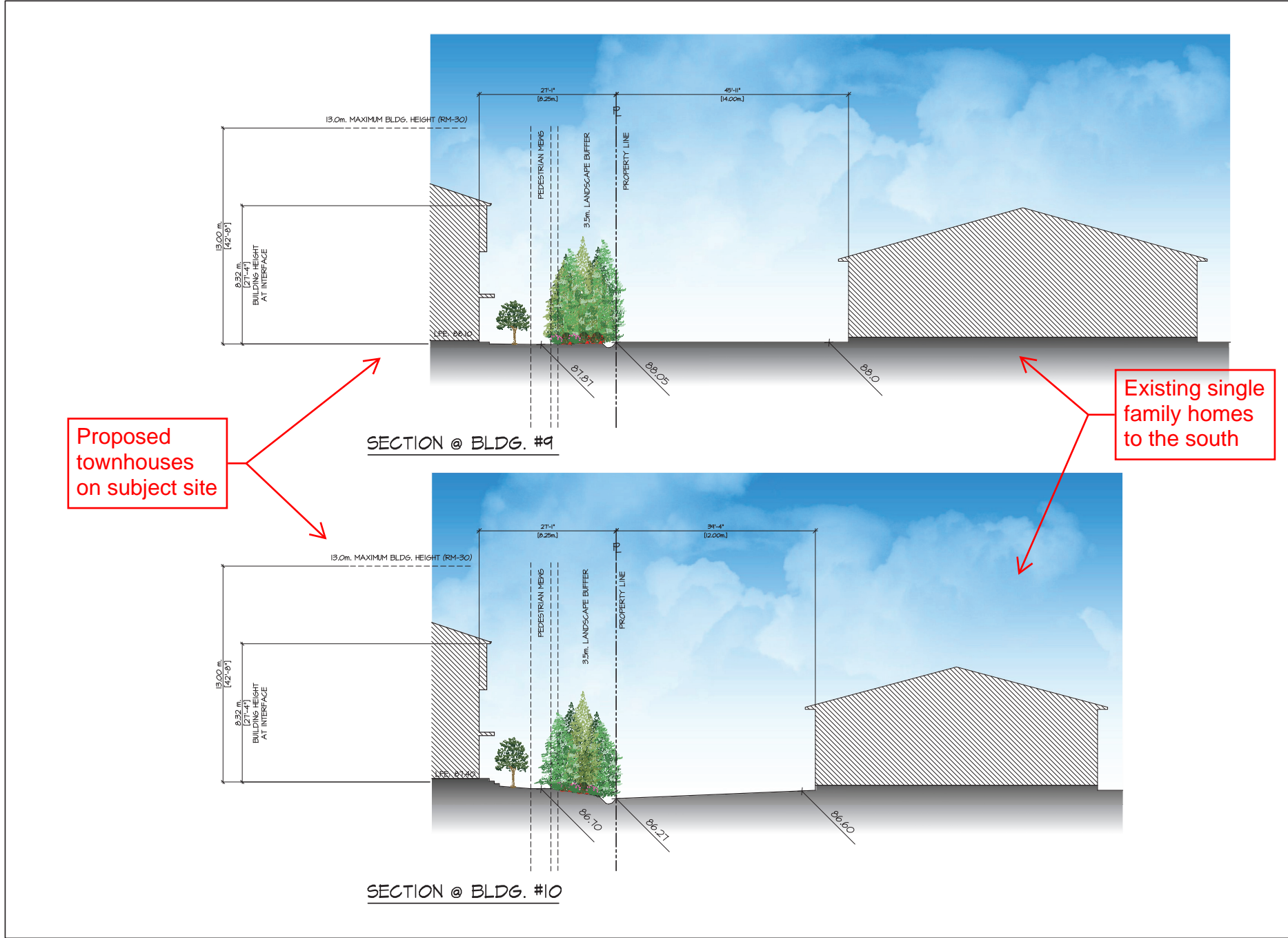
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| DESIGN : | DRAWN : |
| DATE : | SCALE : |
| CLIENT : DAVSON + SAWYER PROJECT : TOWNHOUSE DEVELOPMENT 15868 FRASER HIGHWAY SHEET CONTAINS : SITE SECTIONS | |



UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H6

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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|-------------|-----------|
| CLIENT NO. | SHEET NO. |
| 601 | AC- |
| PROJECT NO. | REV. NO. |
| 16067 | |



Proposed townhouses on subject site

Existing single family homes to the south

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| DESIGN : | DAVISON + SAWYER |
| DRAWN : | |
| DATE : | NOV. 14 18 |
| SCALE : | 3/32" = 1'-0" |
| CLIENT : | DAVISON + SAWYER |
| PROJECT : | TOWNHOUSE DEVELOPMENT |
| SHEET CONTAINS : | 1592/20 FRASER HIGHWAY |
| SHEET CONTAINS : | SITE SECTIONS |

barnett dembek

UNIT 135, 7536 130 STREET, SURREY, B.C. V3W 1H5

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

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| CLIENT NO. | 601 | SHEET NO. | AC- |
| PROJECT NO. | 16067 | REV. NO. | |