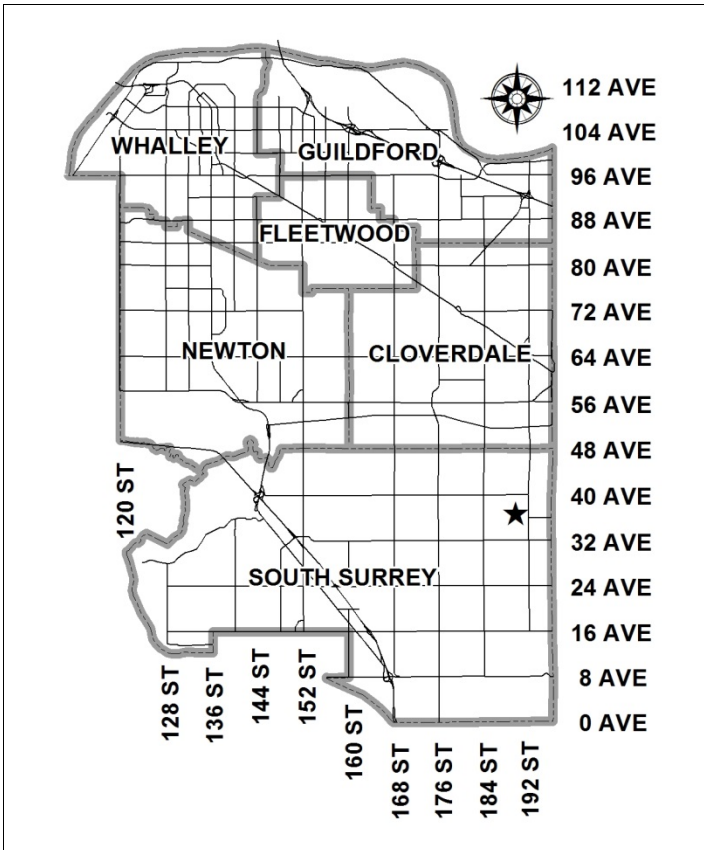


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0392-00

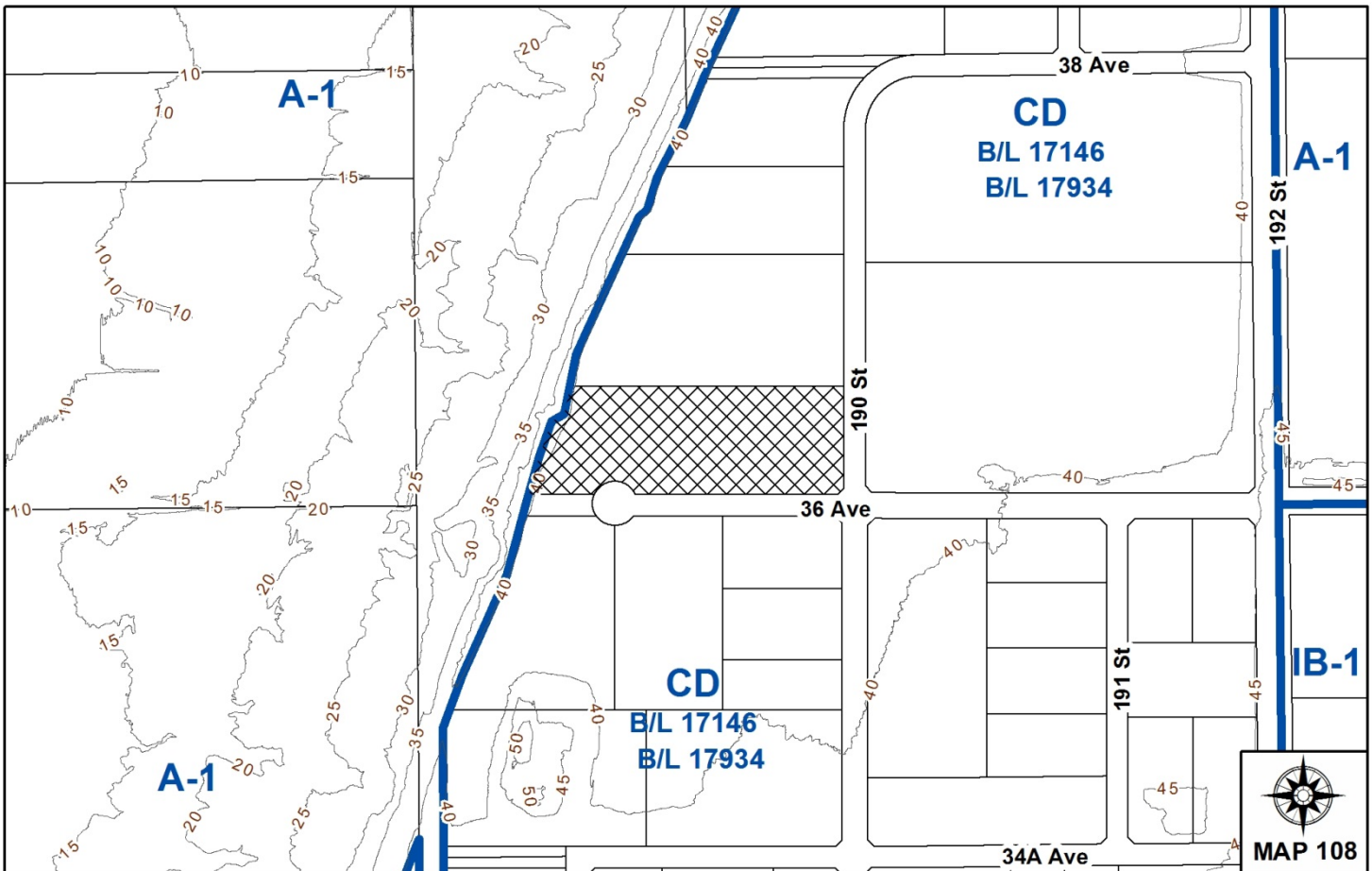
Planning Report Date: February 5, 2018



PROPOSAL:

- **Development Permit**
 to permit the development of a 9,234 square metre (98,389 sq. ft.) single tenant industrial building.

LOCATION: 18977 - 36 Avenue
ZONING: CD (By-law No. 17146 as amended by By-law No. 17934)
OCP DESIGNATION: Mixed Employment
LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

1. Council authorize staff to draft Development Permit No. 7917-0392-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (d) registration of a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III prior to the issuance of a Building Permit.
Surrey Fire Department:	The proposed development will need to conform to the requirements as stipulated in By-law No. 15740 for Public Safety E-COMM Radio Amplification.
Parks, Recreation and Culture Department:	Parks, Recreation and Culture Department requires fencing to be located along the west and south property lines where the development interfaces with parkland.

SITE CHARACTERISTICS

Existing Land Use: Vacant industrial land.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North:	Vacant industrial land	Business Park	CD (Bylaw Nos. 17146 and 17934)
East (across 190 Street):	Light industrial manufacturing/ warehouse facility	Business Park	CD (Bylaw Nos. 17146 and 17934)
South (across 36 Avenue):	Light industrial warehouse facilities and vacant industrial land	Business Park	CD (Bylaw Nos. 17146 and 17934)
West:	City-owned Greenbelt	OCP: Conservation and Recreation	A-1

DEVELOPMENT CONSIDERATIONSContext

- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- In June 2012, the site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" under By-law No. 17146 (Application No. 7910-0032-00). In June, 2013, CD By-law No. 17146 was amended (under By-law No. 17934) to adjust the outdoor storage area boundaries. The site was subdivided as part of the Campbell Heights North phased development (Application No. 7912-0160-00).
- CD By-law No. 17146, as amended by By-law 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The site was cleared and serviced for development under the original rezoning and subdivision applications. There are no trees or vegetation on the site.

Proposal

- The applicant is proposing a Development Permit (DP) that will permit a 9,234 square metre (99,389 sq. ft.) single tenant industrial building consisting of light industrial manufacturing and warehouse space and accessory office space.

- The proposed building is located at the northwest corner of 190 Street and 36 Avenue and is oriented towards the street frontages. The development proposes a gross floor area ratio (FAR) of 0.34 and a lot coverage of 28%, which complies with the maximum requirements of the CD Zone.
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and Campbell Heights North Design Guidelines. The proposed development meets the requirements of the CD By-law No. 17146, as amended by By-law No. 17934, including floor area, lot coverage, building height and building setbacks.
- The building is a purpose-built facility for Super Save Group and will provide general storage related to the business and shelter for a fleet of hydro-vac and toilet trucks. The building will also house a welding shop and paint shop for the repair of bins and fences that belong to the owner. The building also provides 1,572 square metres (16,920 sq. ft.) of office space for staff associated with the Super Save Group of companies.

Outdoor Storage

- The rear yard (west) area is proposed to be used for secure storage of the Super Save Group's portable property, including fences, disposal bins, and toilets. The outdoor storage area is proposed to be paved.
- Outdoor storage in the CD By-law is divided into "Outdoor Storage Area A" and "Outdoor Storage Area B". The subject property is located within "Outdoor Storage Area B", which is the more permissive of the two areas. Area B limits outdoor storage areas to a maximum of 1.5 times the lot area covered by the principal building.
- The applicant proposes approximately 4,544 square metres (48,911 sq. ft.) of outdoor storage, which represents approximately 0.6 times the lot area covered by the principle building, and 16% of the total site area.
- The outdoor storage area abuts future industrial development to the north, and City-owned greenbelt to the west and south. On the western boundary, the subject site is located above the greenbelt at the top of a slope and is well screened by existing vegetation.
- The outdoor storage areas will be buffered from the adjacent parkland by a 2.4 metre (8 ft.) high black metal picket fence. In addition, a 5 metre (16 ft.) wide landscaped area will be provided along the western boundary, and a 3 metre (10 ft.) wide landscaping strip will be provided along the south portion of the site adjacent to parkland. The proposed landscaping will include trees and shrubs and together with the proposed fencing will sufficiently screen the outdoor storage uses from public view.

Super Save Group's Surrey Operations

- Super Save Group has operations located at four other sites in Surrey. In the past, these sites have been the subject of By-law enforcement due to unauthorized uses, specifically the unauthorized storage of equipment and materials.

- 19388 92 Avenue: The owner previously had a Metro fine levied against them on this site due to illegal operations;
 - 5450 Production Boulevard: Two Temporary Use Permits (TUPs) have been issued and expired since 2008.
 - 19333 Enterprise Way: Currently being used for vehicle storage.
 - 19330 Enterprise Way: Currently being used for the storage of vehicles and other materials associated with the operations of the business.
- Staff met with the applicant to understand how the proposed new industrial warehouse facility and outdoor storage will help to address some of the issues on these other sites. The applicant confirmed that the subject proposal is a critical part of Super Save Group's overall plan to accommodate the growth of their business.
 - The new facility will allow Super Save Group to consolidate the office component of their operations, which are currently operating out of three separate leased spaces, into one building. The proposed outdoor storage area will also enable the applicant to relocate vehicles and materials associated with their operations from the four other sites to the new location.
 - The applicant has also provided the following action plan for three of the other Super Save Group sites in Surrey:
 - 19388 92 Avenue: A Temporary Use Permit was submitted on January 23, 2018 to allow for the storage of the equipment and materials that are currently located at the 5450 Production Boulevard site.
 - 5450 Production Boulevard: The equipment and materials currently being stored on this site will be relocated to the 19388-92 Avenue site once the Temporary Use Permit has been issued. Super Save Group has confirmed their intention to move forward with their plans to design and build an operations control office at this location that is consistent with the permitted uses of the High Impact Industrial Zone (IH).
 - 19333 Enterprise Way: Super Save Group intends to submit a Development Permit and Building Permit application to pave the site to satisfy the requirements of the Truck Parking Facility Permit.

Access and Parking

- The proposed building will be accessed by three (3) vehicular entrances. The main vehicular entry to the employee and visitor parking lot will be provided via two accesses from 36 Avenue on the south side of the building. The primary truck access for loading and unloading will be provided via access from 190 Street at the east of the site. The site plan allows for vehicle circulation around the building via a two-way drive aisle on all sides of the building.
- The proposal includes a total of 138 parking stalls, which exceeds the Zoning By-law requirement of 117 parking stalls for the industrial warehouse and office space that is proposed.

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The proposed development includes 786 square metres (8,460 sq. ft.) of mezzanine office space, which represents approximately 14.7 % of the proposed industrial ground floor area. The applicant has provided an alternative parking plan for the site that demonstrates how additional parking could be accommodated on site should the current or future user expand the mezzanine office space to the maximum 40% of the ground floor area. (Appendix II).
- The proposed truck bays are located on the northern and western sides of the building, away from public view.

Agricultural Interface

- The western portion of the subject site falls within 50 metres (164 feet) of the Agricultural Land Reserve (ALR) boundary. It was determined that the site is exempt from a Farming Protection Development Permit since there is adequate buffering in place already between the ALR boundary and the proposed industrial development consisting of a forested, greenbelt area that is owned by the City. This environmental area was secured under Development Application No. 7908-0266-00.

Hazard Lands- Steep Slope Interface

- The western side of the subject site is adjacent to a Hazard Lands Development Permit Area for steep slopes located within the greenbelt to the West. A geotechnical report was prepared as part of Development Application File No. 7908-0266-00, whereby a 5 metre (16 feet) setback area was established from the property line. A restrictive covenant is registered on title protecting the 5 metre (16 feet) area from the construction of any drainage infiltration works in, on or under the covenant area. In addition, CD By-law No. 17146 requires that all buildings be setback at least 5 metres (16 feet) from this lot line. As part of this development proposal, the proposed west side yard setback area is in accordance with the CD By-law and the restrictive covenant registered on title.
- The western portion of the site adjacent to the slope is proposed to be used for outdoor storage. The proposed building is located 62 metres (203 ft.) from the edge of the restrictive covenant area. Staff have no concerns from a hazard lands perspective, as the proposed development will be set back sufficiently from the steep slopes.

Air Emissions

- At the April 3, 2017 Regular Council –Land Use meeting, Council instructed staff to review the City's business park zones and subsequently provide a report regarding the Metro Vancouver air emissions permitting process.
- Because the review of the business park zones has not been completed, staff are recommending that the applicant register a restrictive covenant to prohibit any business that requires a Metro Vancouver air quality permit from locating on the site.

- If any applicable amendments to the business park zones are completed before the subject application receives final approval, the requirement for the restrictive covenant may no longer apply.

PRE-NOTIFICATION

- A development proposal sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS indicated that they do not have any concerns with the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the Official Community Plan (OCP), and is reflective of the existing standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the building is proposed to have a modern linear appearance. Architectural emphasis is placed on the main entrance facing the corner of 36 Avenue and 190 Street, with the use of glazing and articulation to provide visual interest. The main entrance is framed by blue, pre-finished metal panels, consistent with the corporate branding of the Super Save Group. The main entrances will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED) principles on 36 Avenue and 190 Street.
- The proposed building construction is a combination of concrete tilt up and tinted glazing as the main cladding materials with pre-finished metal panels and vertical aluminum solar fins as accent materials. The colour scheme proposed is grey, white, and blue.

Pedestrian Circulation

- Two pedestrian linkages are proposed on the site with one connecting the main entrance to the building to 36 Avenue and the second one connecting the western portion of the building to 36 Avenue and pathway, adjacent to the parkland to the south.

Landscaping

- Landscaping is proposed in accordance with the Zoning By-law requirements and will consist of a 6.0 metre (20 ft.) landscape buffer on the east property line fronting 190 Street and a 3.0 metre (10 ft.) buffer along the 36 Avenue frontages. A 5 metre (16 ft.) wide landscaped area is proposed on the West property line adjacent to the parkland and Biodiversity Conservation Area (BCS). The proposed landscaping will consist of: Autumn False Maple, Satomi Dogwood, Halka Honey Locust, and Cascara Buckthorn. This will be complemented by a variety of shrubs, and ground cover.
- The portions of the site on the west and south abutting the greenbelt will be fenced using a high-quality architectural black metal picket fence, consistent with the fencing required as part of other development applications to the north of the subject site. The north property line adjacent to future industrial development and portions of the interior of the site where the outdoor storage is proposed are to be enclosed by a 1.8 metre (6 ft.) high chain-link fence. The

applicant has indicated that they are not proposing any fencing for the portions of the site facing city streets, and that the garbage and recycling will be stored inside of the building. If any additional fencing is proposed in the future, it will require separate review and approval from the City.

Signage

- The applicant is proposing a total of six (6) fascia signs on the building. The proposed signage is channel letter signage or backlit corporate signage, is within the maximum permitted sign area, and is appropriate in relation to the scale of the building.
- One (1) of the proposed signs identifies the tenant of the building, Super Save Group, and is located on the east elevation fronting 190 Street. The remaining five (5) fascia signs are smaller, secondary signs that each correspond to each of Super Save Group's internal business units. The five secondary signs are proposed for the south elevation fronting 36 Avenue.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 16, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> ○ Bio-swales; ○ Natural landscaping; ○ Sediment control devices; and ○ Perforated pipe systems
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Sustainable transportation options will be accommodated through available bicycle racks and connections to off-site pedestrian and multi-use pathways.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated into the design of the building.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|--|
| Appendix I. | Lot Owners and Action Summary (Confidential) and Project Data Sheets |
| Appendix II. | Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

RJG/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (Bylaw Nos. 17146 and 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		27,084 sq.m.
Road Widening area		
Undevelopable area		
Net Total		27,084 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	27.6%
Paved & Hard Surfaced Areas		64.6%
Total Site Coverage		92.2%
SETBACKS (in metres)		
Front (191 Street)	16 m	19.5 m
Rear	7.5 m	37.5 m
Side Yard South	7.5 m	> 7.5m
Side Yard North	7.5 m	19.5m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	12 m
FLOOR AREA: Commercial		
Office		789 sq. m.
Total		789 sq. m.
FLOOR AREA: Industrial		8,253 sq. m.
TOTAL BUILDING FLOOR AREA		8,253 sq. m.
DENSITY		
FAR (net)	1.0	0.3
AMENITY SPACE (area in square metres)		
Outdoor		110 sq. m
PARKING (number of stalls)		
Commercial (Office)	39	28
Industrial	77	110
Total Number of Parking Spaces	116	138
Number of disabled stalls	2	2
Number of small cars	32	0

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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RED LINE DENOTES 0.50 m (1.50') SETBACK TO BE KEPT FREE OF ANY FENCES, POSTS, STEPS OR U/G STRUCTURES.

6 BIKE PARKING SPACES SEE LANDSCAPE DWG'S FOR FIXTURE TYPE

BIO SWALE / RAIN GARDEN SEE CIVIL AND LANDSCAPE DWG'S

INTERNAL PEDESTRIAN CROSSING W/ DECORATIVE PAVING, TYP. (3X)

BENCH SEATING (4X) SEE LANDSCAPE DWG'S FOR DETAILS, TYP.

DECORATIVE PAVING TYP.

PROPOSED PEDESTRIAN CONNECTIVITY (2X)

NO.	DATE YMD	DESCRIPTION
3	14.11.2017	ISSUED FOR DEVELOPMENT PERMIT
2	18.08.2017	ISSUED FOR DEVELOPMENT PERMIT
1	15.08.2017	ISSUED FOR CLIENT REVIEW
ISSUES AND REVISIONS		
SEAL		

larry podhora / architect
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

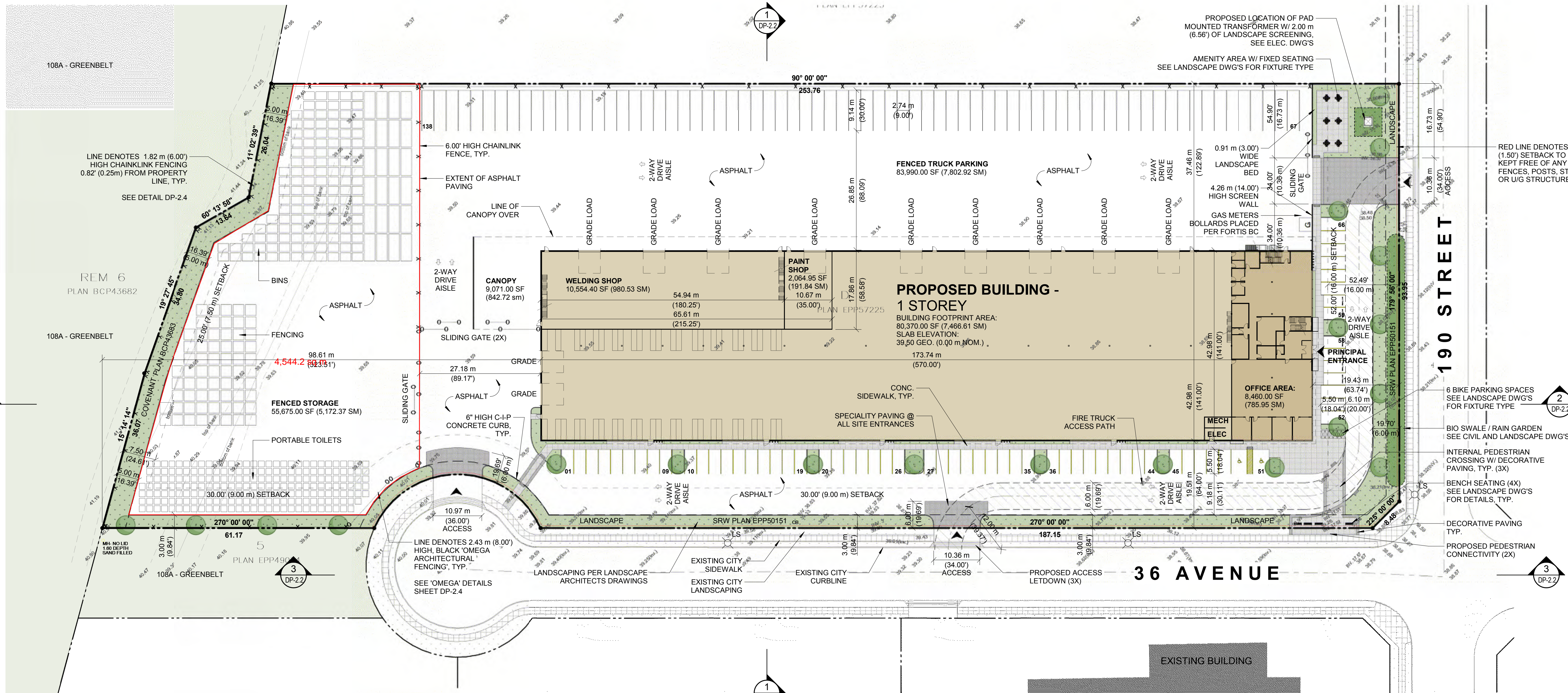
PROJECT NAME
SUPER SAVE GROUP

PROJECT ADDRESS
18977 - 36 AVENUE, SURREY, BC

DRAWING TITLE
SITE PLAN, CONTEXT PLAN, ZONING ANALYSIS

SCALE: As indicated
DRAWN: LS
CHECKED: LP/DC
PROJECT NO.: 170064-A
DRAWING NO.: DP-2.0

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



PROJECT DATA

CIVIC ADDRESS: 18977 - 36 AVENUE, SURREY, BC
LEGAL ADDRESS: LOT D SECTION 28 TOWNSHIP 7 PLAN EPP57225 NWD
ZONING: CD (COMPREHENSIVE DEVELOPMENT)
BUILDING USE: MIXED-USE LIGHT INDUSTRIAL

ZONING BYLAW ANALYSIS (CITY OF SURREY)

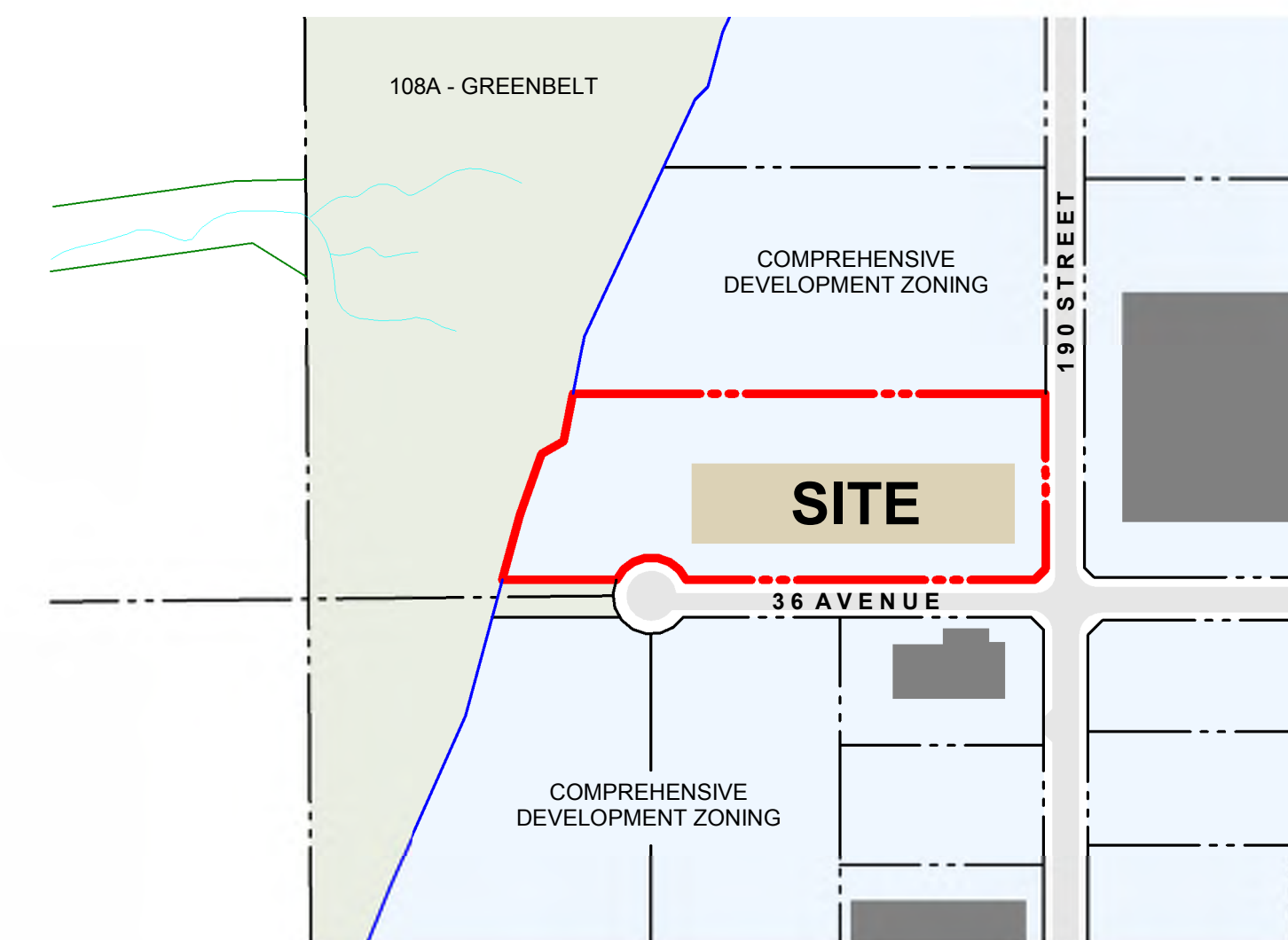
1. ZONING:					
CD (COMPREHENSIVE DEVELOPMENT)					
DESIGNED TO: BY-LAW NO. 17146					
2. SITE AREA:					
291,247.47 SF 6.69 acres 27,057.78 m ² 2.71 hectare					
3. SITE COVERAGE + BUILDING AREAS:					
BUILDING FOOTPRINT AREA CALCULATIONS					
PROP. SITE BLDG	BLDG	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SM)	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SM)
27.57%	80,370.00	7,466.62	60.00%	174,918.60	16,250.47
GROSS FLOOR AREA CALCULATIONS					
OCCUPANCY	LEVEL	AREA (SF)	AREA (SM)		
INDUSTRIAL	MAIN FLOOR	71,910.00	6,680.66		
OFFICE	MAIN FLOOR	8,460.00	785.96		
OFFICE	2ND FLOOR	8,460.00	785.96		
INDUSTRIAL	INDUS. MEZZANINE	10,559.05	980.97		
GROSS FLOOR AREA		99,389.05	9,233.54		
PROPOSED FAR		0.34	ALLOWABLE FAR	1.00	
4. BUILDING HEIGHT:					
MAXIMUM HEIGHT:		45.00' (14.00m)			
PROPOSED HEIGHT:		42.00' (12.80m)			
5. REQUIRED SETBACKS:					
FRONT YARD SETBACK:		52.00' (16.00m)			
REAR YARD SETBACK:		25.00' (7.50m)			
SIDE YARD SETBACK:		25.00' (7.50m) OR 0.00' (0.00m)			
SIDE YARD SETBACK FLANKING STREET:		30.00' (9.00m) OR 25.00' (7.50m)			

6. LANDSCAPING REQUIREMENTS
ALONG THE DEVELOPED SIDES OF THE LOT WHICH ABUT A HIGHWAY, A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES [5 FT.] IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.

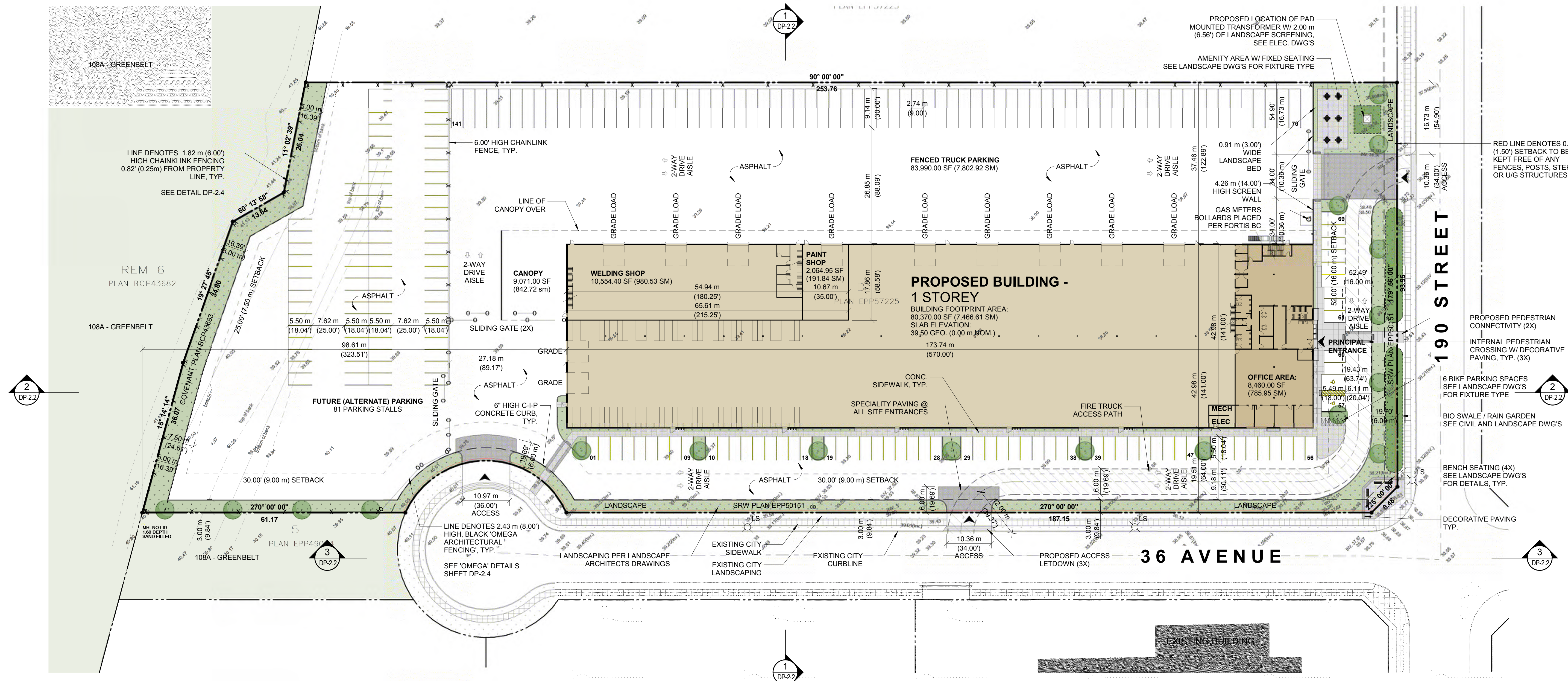
7. PARKING AND LOADING:

INDUSTRY LIGHT IMPACT:			
1 SPACE PER 1,075.00 SF (100.00 SM) GFA			
OCCUPANCY	LEVEL	AREA (SF)	STALLS
INDUSTRIAL	MAIN FLOOR	71,910.00	66.89
INDUSTRIAL	INDUS. MEZZANINE	10,559.05	9.82
TOTAL STALLS OFFICE:		82,469.05	76.72
1 SPACE PER 430.00 SF (39.94 SM) GFA			
OCCUPANCY	LEVEL	AREA (SF)	STALLS
OFFICE	MAIN FLOOR	8,460.00 SF	19.67
OFFICE	2ND FLOOR	8,460.00 SF	19.67
TOTAL STALLS		16,920.00 SF	39.35
TOTAL STALLS REQUIRED:			116.00 (116.07)
TOTAL STALLS PROVIDED:			138
PARKING DIMENSIONS:			
STANDARD STALL:	9.02' (2.75m) W x 18.04' (5.50m) L		
SMALL CAR STALL:	9.02' (2.75m) W x 16.07' (4.90m) L		
ACCESSIBLE STALL:	12.13' (3.70m) W x 18.04' (5.50m) L		
PARALLEL STALL:	8.53' (2.60m) W x 21.98' (6.70m) L		
DRIVE AISLE @ 90 DEG:		21.98' (6.70m) W	
LOADING:			
ALL INDUSTRIAL BUILDINGS MUST PROVIDE AN OFF-STREET LOADING/UNLOADING SPACE ADJACENT TO EACH OVERHEAD LOADING DOOR OF THE BUILDING			
TOTAL LOADING STALLS PROVIDED:		11.00	
LOADING DIMENSIONS:			
13.12' (4.00m) W x 30.18' (9.20m) L			

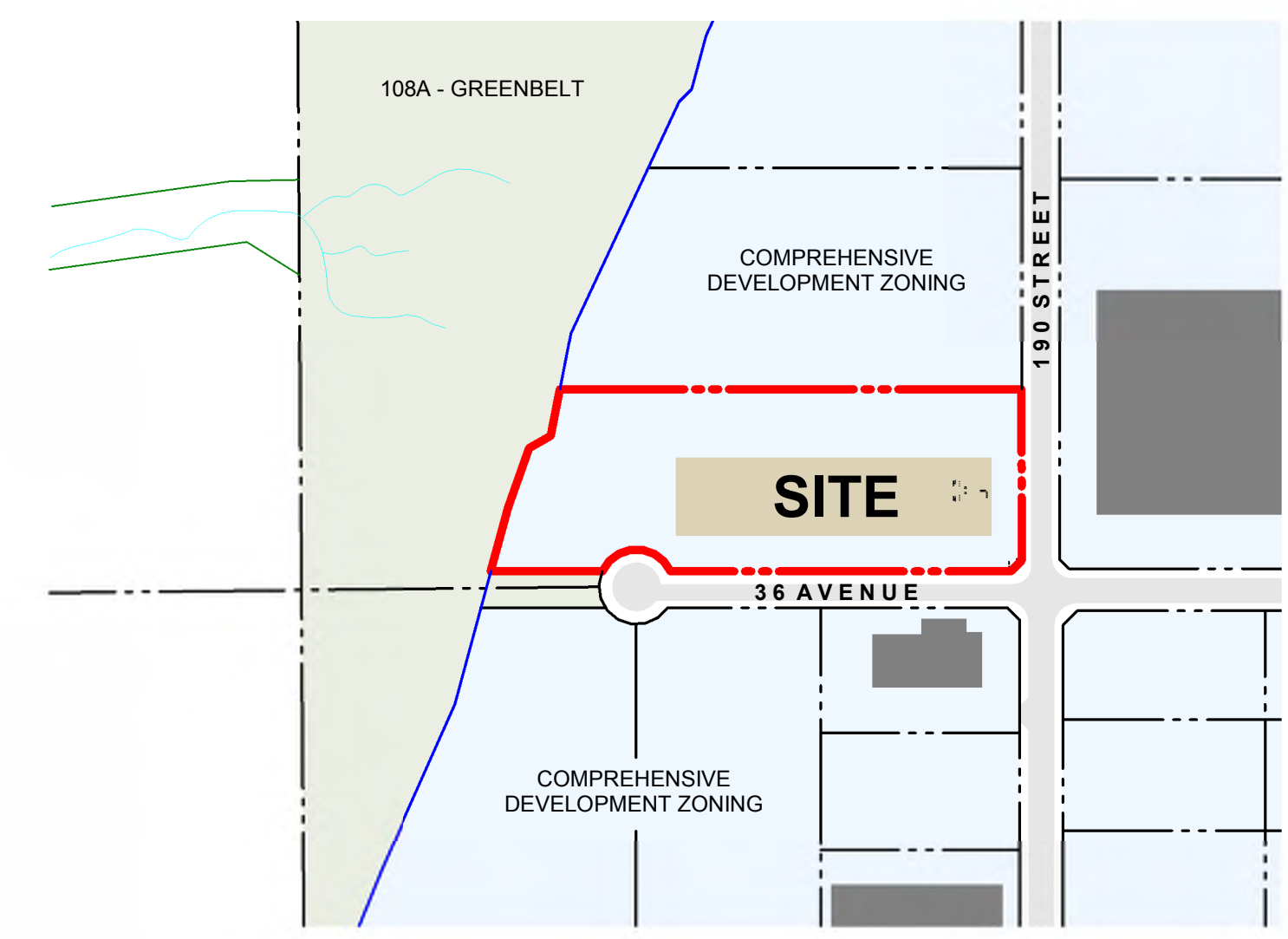
1 SITE PLAN
SCALE: 1" = 40'-0"



2 CONTEXT PLAN
SCALE: 1" = 300'-0"



1 SITE PLAN
SCALE: 1" = 40'-0"



2 CONTEXT PLAN
SCALE: 1" = 300'-0"

PROJECT DATA

CIVIC ADDRESS: 18977 - 36 AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT D SECTION 28 TOWNSHIP 7 PLAN EPP57225 NWD
 ZONING: CD (COMPREHENSIVE DEVELOPMENT)
 BUILDING USE: MIXED-USE LIGHT INDUSTRIAL

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING:
CD (COMPREHENSIVE DEVELOPMENT)
DESIGNED TO: BY-LAW NO. 17146

2. SITE AREA:
291,247.47 SF | 6.69 acres | 27,057.78 m² | 2.71 hectare

3. SITE COVERAGE + BUILDING AREAS:

PROP. SITE BLDG	BLDG	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SM)
27.57%	80,370.00	7,466.62	60.00%
		174,918.60	16.250.47

GROSS FLOOR AREA CALCULATIONS

OCCUPANCY	LEVEL	AREA (SF)	AREA (SM)
INDUSTRIAL	MAIN FLOOR	71,910.00	6,680.66
	INDUS. MEZZANINE	10,559.05	980.97
OFFICE	MAIN FLOOR	8,460.00	785.96
OFFICE	2ND FLOOR	8,460.00	785.96
INDUSTRIAL	INDUS. MEZZANINE	10,559.05	980.97
GROSS FLOOR AREA		99,389.05	9,233.54

PROPOSED FAR: 0.34 ALLOWABLE FAR: 1.00

4. BUILDING HEIGHT:
 MAXIMUM HEIGHT: 45.00' (14.00m)
 PROPOSED HEIGHT: 42.00' (12.80m)

5. REQUIRED SETBACKS:
 FRONT YARD SETBACK: 52.00' (16.00m)
 REAR YARD SETBACK: 25.00' (7.50m)
 SIDE YARD SETBACK: 25.00' (7.50m) OR 0.00' (0.00m)
 SIDE YARD SETBACK FLANKING STREET: 30.00' (9.00m) OR 25.00' (7.50m)

6. LANDSCAPING REQUIREMENTS
 ALONG THE DEVELOPED SIDES OF THE LOT WHICH ABUT A HIGHWAY, A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES [5 FT.] IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.

7. PARKING AND LOADING:
INDUSTRY LIGHT IMPACT:

1 SPACE PER 1,075.00 SF (100.00 SM) GFA			
OCCUPANCY	LEVEL	AREA (SF)	STALLS
INDUSTRIAL	MAIN FLOOR	71,910.00	66.89
	INDUS.	10,559.05	9.82
	MEZZANINE		
TOTAL STALLS OFFICE: 82,469.05 76.72			
1 SPACE PER 430.00 SF (39.94 SM) GFA			
OCCUPANCY	LEVEL	AREA (SF)	STALLS
OFFICE	MAIN FLOOR	8,460.00 SF	19.67
	OFFICE	8,460.00 SF	19.67
TOTAL STALLS: 16,920.00 SF 39.35			
TOTAL STALLS REQUIRED: 116.00 (116.07)			
TOTAL STALLS PROVIDED: 150			

PARKING DIMENSIONS:

STANDARD STALL:	9.02' (2.75m) W x 18.04' (5.50m) L
SMALL CAR STALL:	9.02' (2.75m) W x 16.07' (4.90m) L
ACCESSIBLE STALL:	12.13' (3.70m) W x 18.04' (5.50m) L
PARALLEL STALL:	8.53' (2.60m) W x 21.98' (6.70m) L

DRIVE AISLE @ 90 DEG: 21.98' (6.70m) W

LOADING:
 ALL INDUSTRIAL BUILDINGS MUST PROVIDE AN OFF-STREET LOADING/UNLOADING SPACE ADJACENT TO EACH OVERHEAD LOADING DOOR OF THE BUILDING

TOTAL LOADING STALLS PROVIDED: 11.00

LOADING DIMENSIONS:
 13.12' (4.00m) W x 30.18' (9.20m) L

ISSUES AND REVISIONS

NO.	DATE YMD	DESCRIPTION
6	19.12.2017	ALTERNATE PARKING PROVISIONS
5	13.12.2017	FOR DEVELOPMENT PERMIT
4	07.12.2017	FOR CLIENT REVIEW
3	14.11.2017	FOR DEVELOPMENT PERMIT
2	18.08.2017	FOR DEVELOPMENT PERMIT
1	15.08.2017	FOR CLIENT REVIEW

NO. DATE YMD DESCRIPTION

larry podhora / architect
 1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

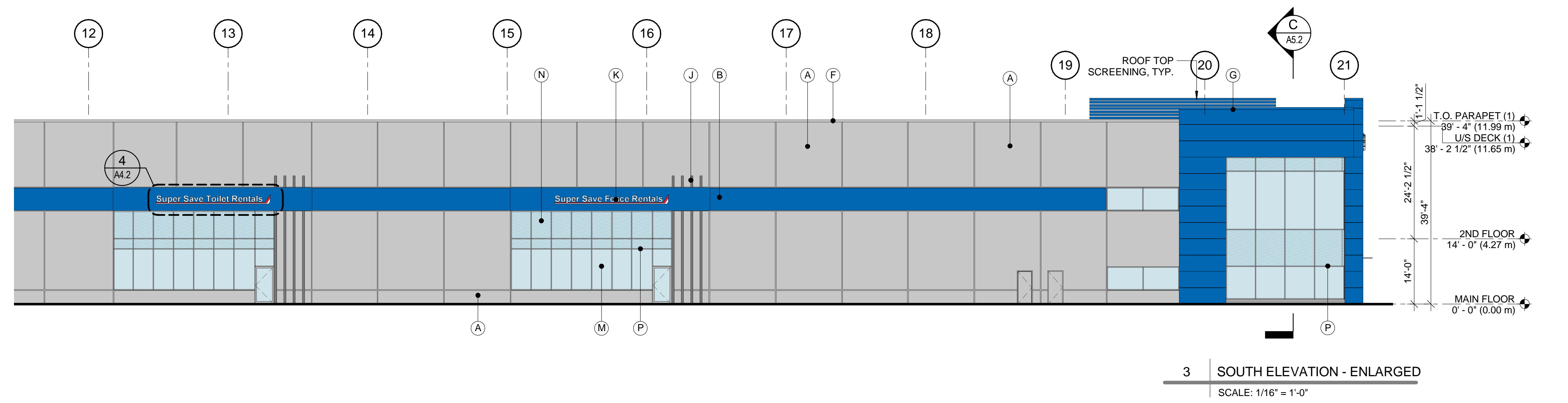
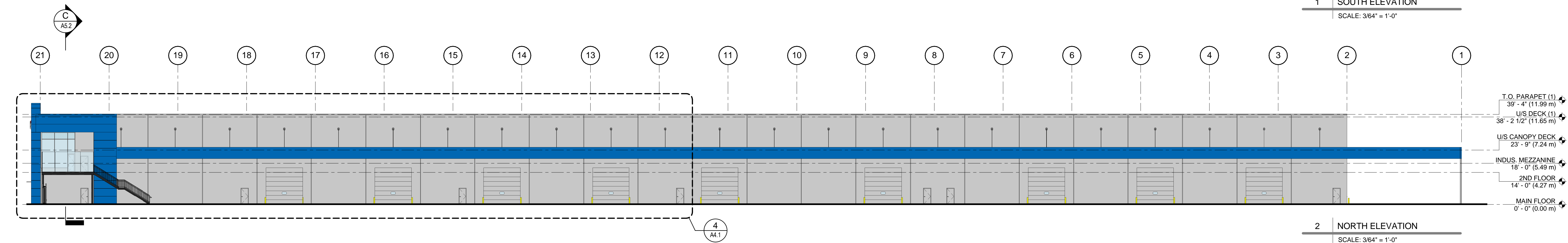
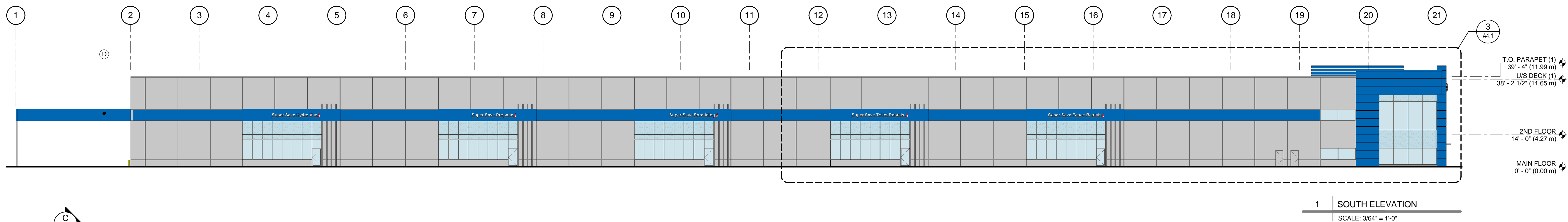
PROJECT NAME
SUPER SAVE GROUP

PROJECT ADDRESS
 18977 - 36 AVENUE, SURREY, BC

DRAWING TITLE
SITE PLAN WITH ALTERNATE PARKING PROVISION

SCALE: As indicated

DRAWN: LS
 CHECKED: LP/DC
 PROJECT NO.: 170064-A
 DRAWING NO.: DP-2.0a



EXTERIOR FINISH LEGEND

A CONCRETE TILT-UP PANEL	PAINTED: C1
B CONCRETE TILT-UP PANEL	PAINTED: C2
C CONCRETE TILT-UP PANEL	FORMLINER PATTERN T.B.D
D INSULATED METAL PANEL	PRE-FINISHED: C2
E INSULATED METAL PANEL	PRE-FINISHED: C3
F PRE-FORMED ALUMINUM FLASHING	PAINTED: C1
G PRE-FORMED ALUMINUM FLASHING	PAINTED: C2
H PRE-FORMED ALUMINUM FLASHING	PAINTED: C3
J PRE-FORMED VERTICALLY SUPPORTED ALUMINUM FIN	PRE-FINISHED: ANODIZED 'DARK GREY'
K SURFACE MOUNTED, PUSH-THRU LED ILLUMINATED CABINET SIGNAGE	SIGNAGE TO FOLLOW CORPORATE BRANDING GUIDELINES
M VISION GLAZING	GLASS COLOUR 1
N SPANDREL GLAZING	SPANDREL COLOUR 1
P THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED 'CLEAR'
Q METAL OVERHEAD DOOR	PAINTED: C1
R STEEL MAN DOOR	PAINTED: C1

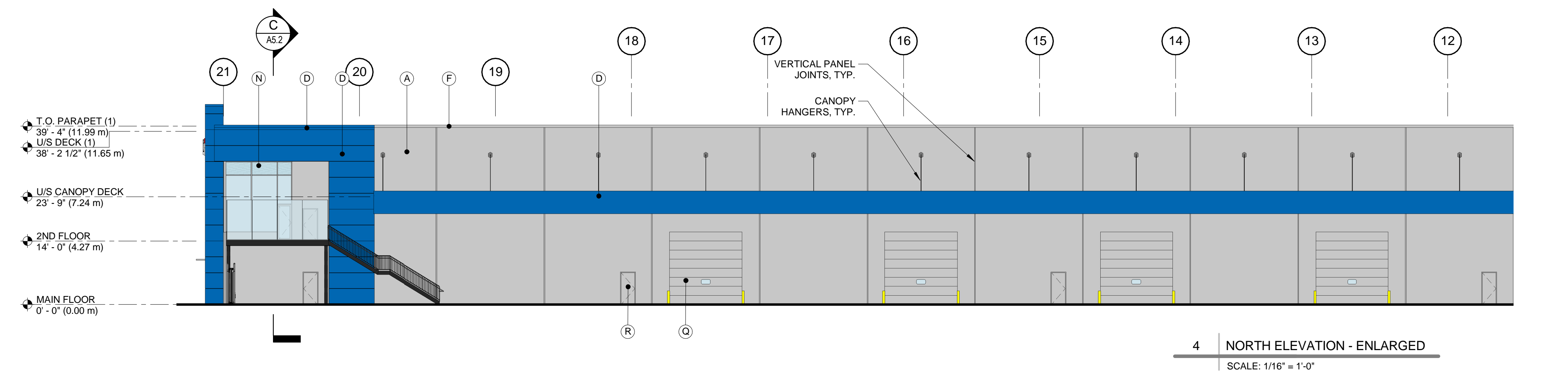
PROJECT COLOURS

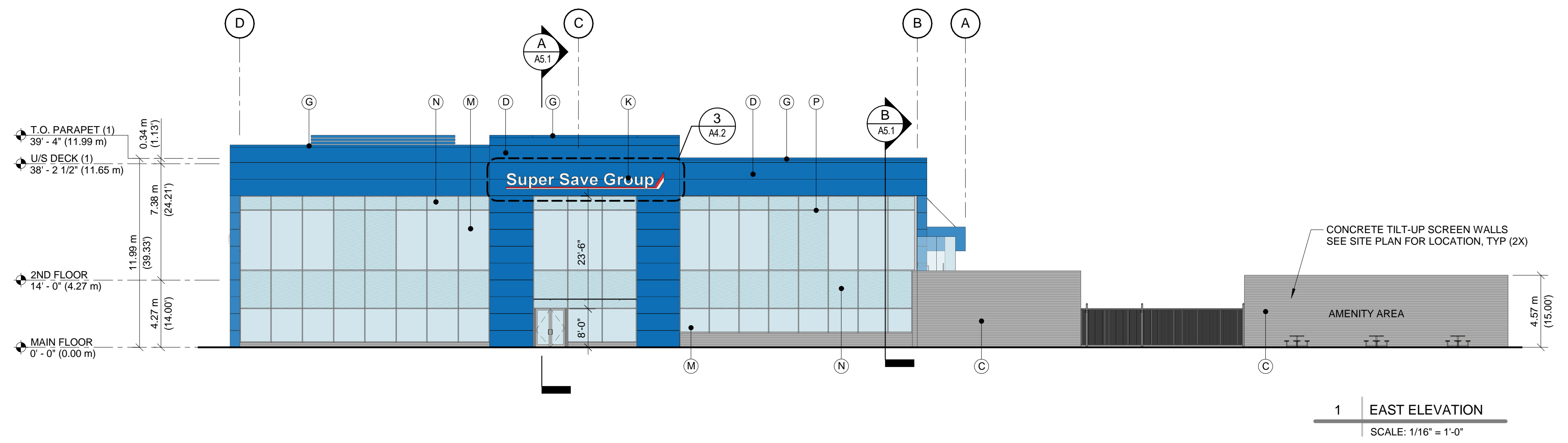
C1 BENJAMIN MOORE	TBD	
C2 BENJAMIN MOORE	EVENING BLUE 2066-20	
C3 BENJAMIN MOORE	SUPER WHITE PM-1	

GLASS COLOURS

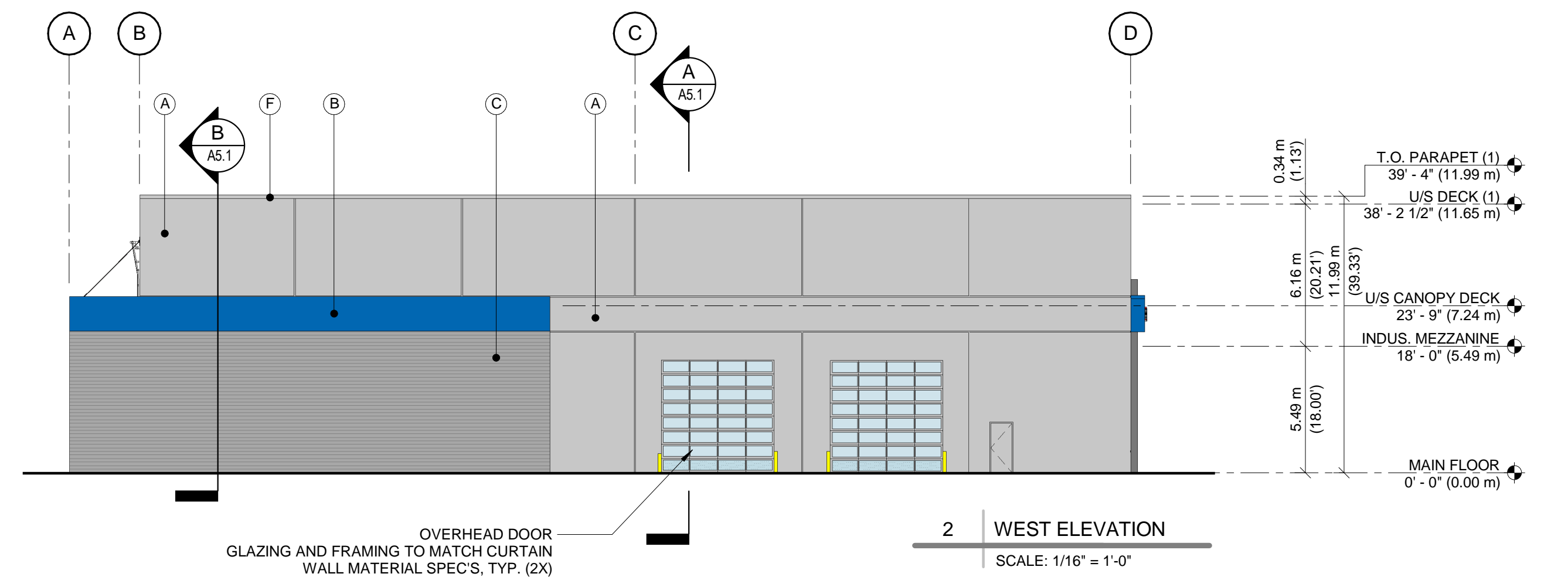
VISION GLASS - COLOUR 1	COLOUR TBD	
SPANDREL GLASS - COLOUR 1	COLOUR TBD	

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.





1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND

A	CONCRETE TILT-UP PANEL	PAINTED: C1
B	CONCRETE TILT-UP PANEL	PAINTED: C2
C	CONCRETE TILT-UP PANEL	FORMLINER PATTERN T.B.D
D	INSULATED METAL PANEL	PRE-FINISHED: C2
E	INSULATED METAL PANEL	PRE-FINISHED: C3
F	PRE-FORMED ALUMINUM FLASHING	PAINTED: C1
G	PRE-FORMED ALUMINUM FLASHING	PAINTED: C2
H	PRE-FORMED ALUMINUM FLASHING	PAINTED: C3
J	PRE-FORMED VERTICALLY SUPPORTED ALUMINUM FIN	PRE-FINISHED: ANODIZED 'DARK GREY'
K	SURFACE MOUNTED, PUSH-THRU LED ILLUMINATED CABINET SIGNAGE	SIGNAGE TO FOLLOW CORPORATE BRANDING GUIDELINES
M	VISION GLAZING	GLASS COLOUR 1
N	SPANDREL GLAZING	SPANDREL COLOUR 1
P	THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED 'CLEAR'
Q	METAL OVERHEAD DOOR	PAINTED: C1
R	STEEL MAN DOOR	PAINTED: C1

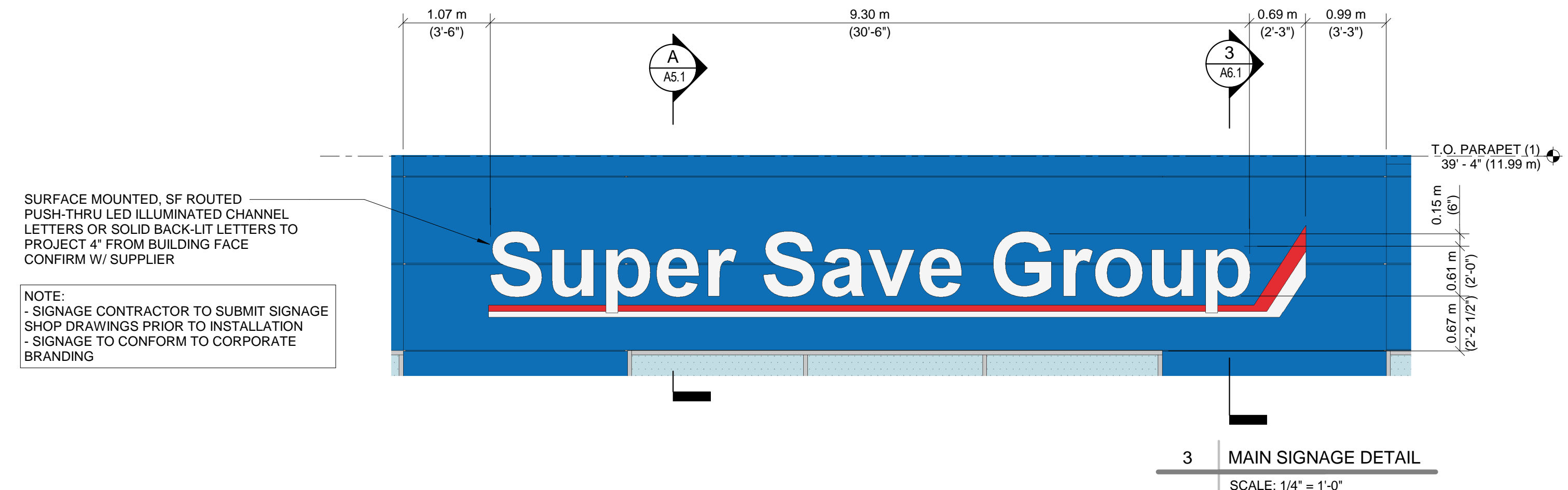
PROJECT COLOURS

C1	BENJAMIN MOORE	TBD	
C2	BENJAMIN MOORE	EVENING BLUE	2066-20
C3	BENJAMIN MOORE	SUPER WHITE	PM-1

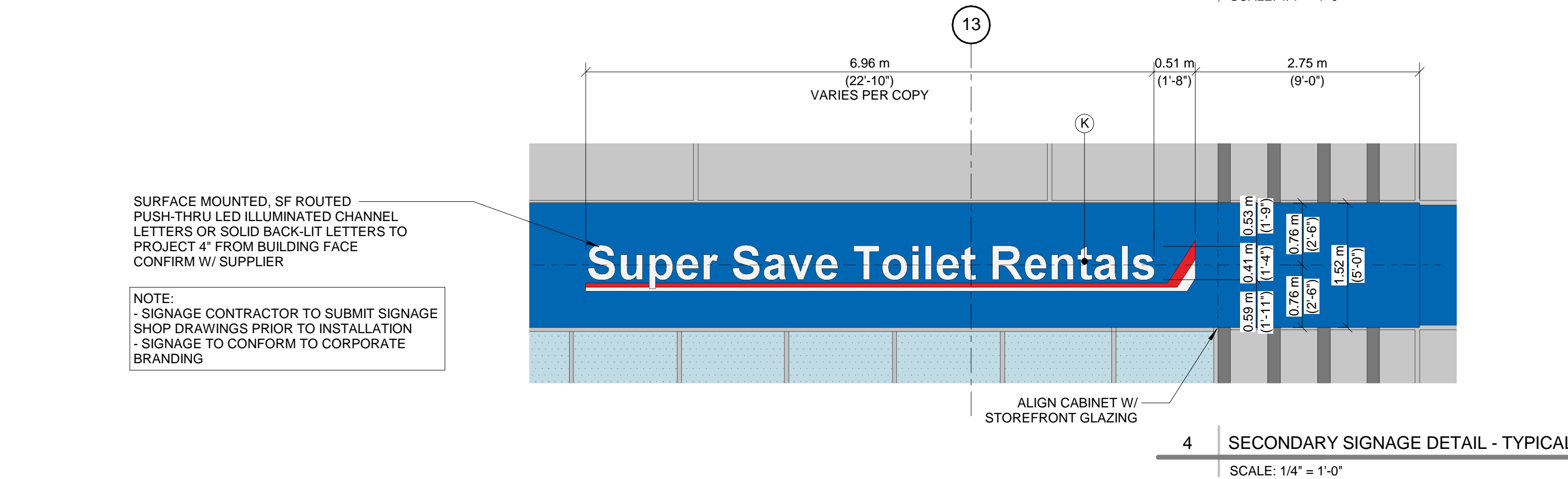
GLASS COLOURS

VISION GLASS - COLOUR 1	COLOUR TBD	
SPANDREL GLASS - COLOUR 1	COLOUR TBD	

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.



3 MAIN SIGNAGE DETAIL
SCALE: 1/4" = 1'-0"



4 SECONDARY SIGNAGE DETAIL - TYPICAL
SCALE: 1/4" = 1'-0"

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE ENTRANCE
- STAMPED PEDESTRIAN CROSSING
- BENCH
- CLUSTER SEATING
- BIKE RACK
- 1.8m HEIGHT CHAINLINK FENCE
- 2.4m HEIGHT ARCHITECTURAL FENCE
- PLANT KEY
- IRRIGATION CONDUIT

3	14/11/17	RE-ISSUED FOR DP
2	18/08/17	ISSUED FOR DP
1	NO. DATE: (d/m/y)	DESCRIPTION:

ISSUES & REVISIONS:

SEAL:

PROJECT NAME:

SUPER SAVE GROUP

PROJECT ADDRESS:

**1977 - 36 AVENUE
SURREY, BC**

DRAWING TITLE:

**OVERALL LANDSCAPE
PLAN, AND NOTES**

SCALE: 1:400 AT ARCH D SIZE

DRAWN: RM

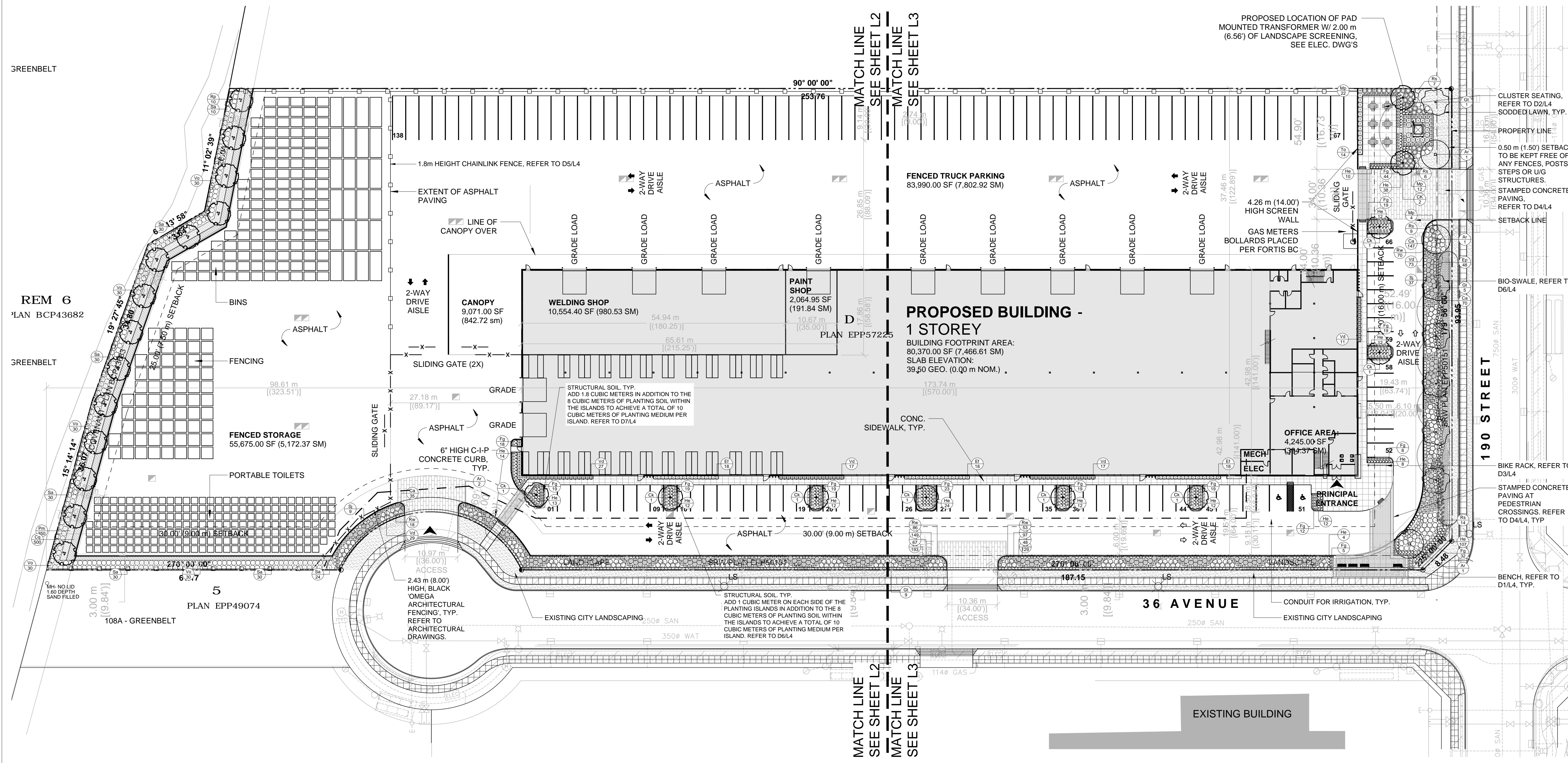
CHECKED: ST

PROJECT NO: 170064

DRAWING NO:

L1

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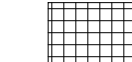
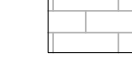


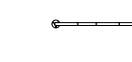
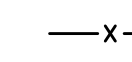
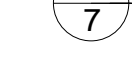



- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
 - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
 - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch
 - Weed removal
 - Disease control

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

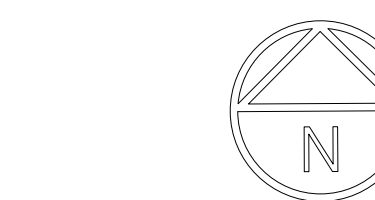
- SODDING NOTES:**
- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
 - AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
 - LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
 - PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
 - DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
 - LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
 - WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.

LEGEND

-  TURF GRASS
-  CONCRETE SIDEWALK PAVING
-  STAMPED CONCRETE ENTRANCE
-  STAMPED PEDESTRIAN CROSSING
-  BENCH
-  CLUSTER SEATING
-  BIKE RACK
-  1.8m HEIGHT CHAINLINK FENCE
-  2.4m HEIGHT ARCHITECTURAL FENCE
-  PLANT KEY
-  IRRIGATION CONDUIT

3		
2	14/11/17	RE-ISSUED FOR DP
1	18/08/17	ISSUED FOR DP
NO.	DATE: (d/m/y)	DESCRIPTION:
ISSUES & REVISIONS:		
SEAL:		



PROJECT NAME:
SUPER SAVE GROUP

PROJECT ADDRESS:
**18977 - 36 AVENUE
SURREY, BC**

DRAWING TITLE:
ENLARGEMENT 1

SCALE:	1:250 AT ARCH D SIZE
DRAWN:	RM
CHECKED:	ST
PROJECT NO.:	170064

DRAWING NO. **L2**

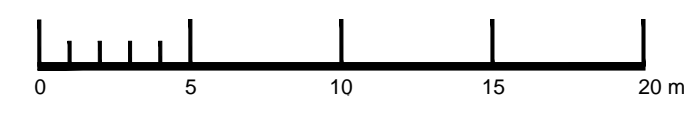
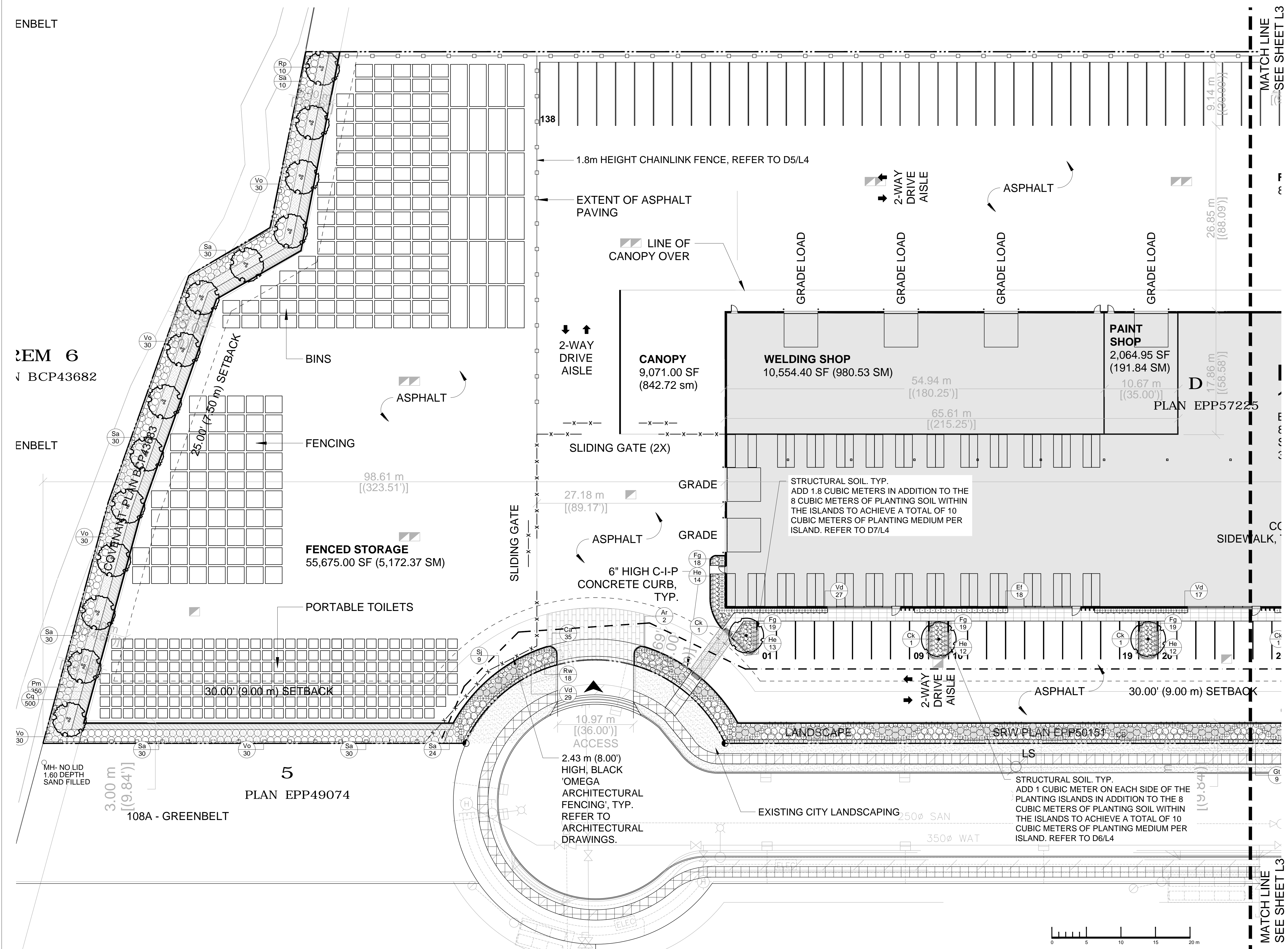
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ENBELT

MEM 6
BCP43682

ENBELT

5
108A - GREENBELT
PLAN EPP49074



LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE ENTRANCE
- STAMPED PEDESTRIAN CROSSING
- BENCH
- CLUSTER SEATING
- BIKE RACK
- 1.8m HEIGHT CHAINLINK FENCE
- 2.4m HEIGHT ARCHITECTURAL FENCE
- PLANT KEY
- IRRIGATION CONDUIT

3		
2	14/11/17	RE-ISSUED FOR DP
1	18/08/17	ISSUED FOR DP
NO.	DATE: (d/m/y)	DESCRIPTION:
ISSUES & REVISIONS:		
SEAL:		



PROJECT NAME:

SUPER SAVE GROUP

PROJECT ADDRESS:

**18977 - 36 AVENUE
SURREY, BC**

DRAWING TITLE:

ENLARGEMENT 2

SCALE: 1:250 AT ARCH D SIZE

DRAWN: RM

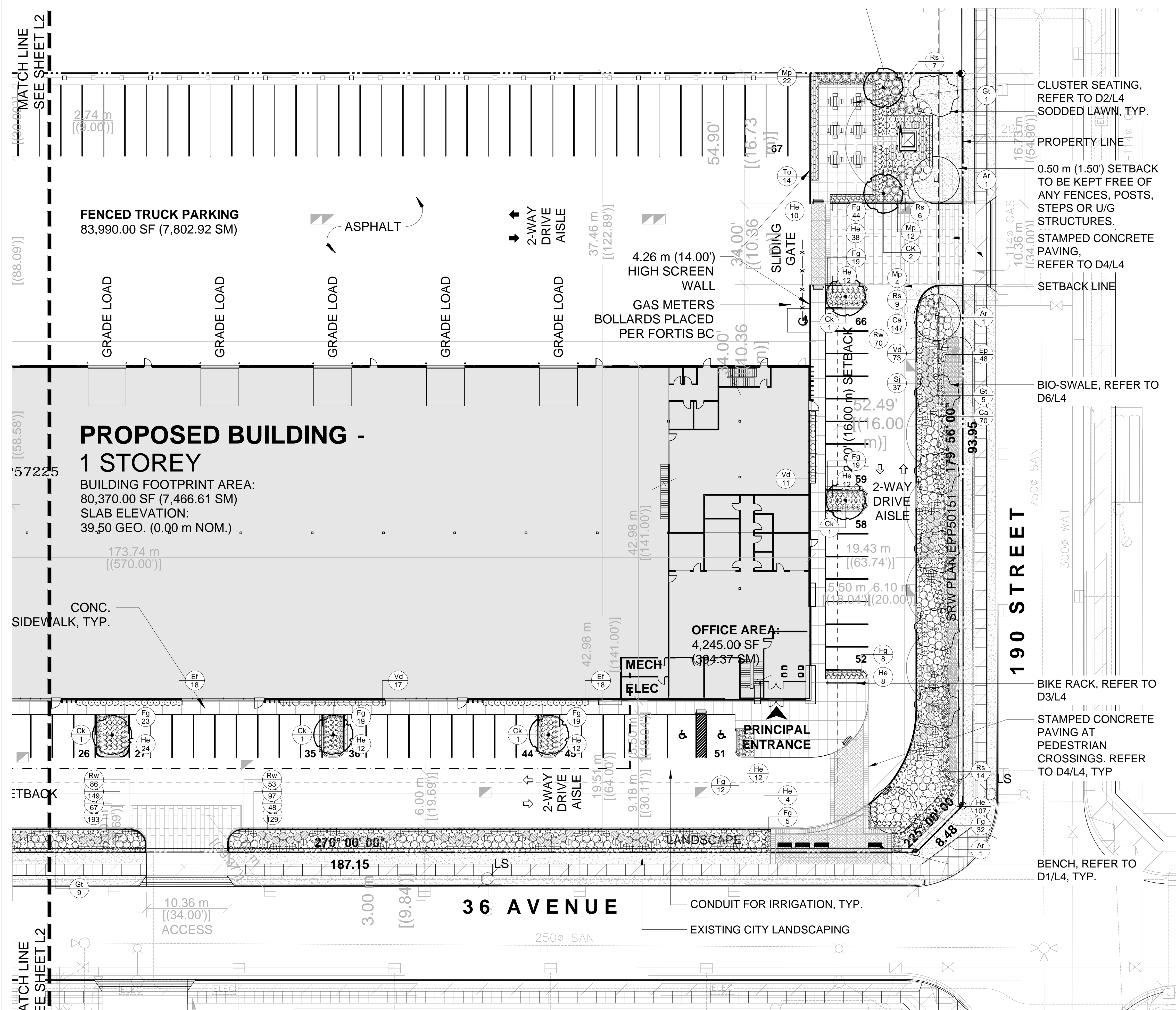
CHECKED: ST

PROJECT NO: 170064

DRAWING NO:

L3

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CLUSTER SEATING,
REFER TO D2/L4
SODDED LAWN, TYP.

PROPERTY LINE

0.50 m (1.50') SETBACK
TO BE KEPT FREE OF
ANY FENCES, POSTS,
STEPS OR U/G
STRUCTURES.

STAMPED CONCRETE
PAVING,
REFER TO D4/L4

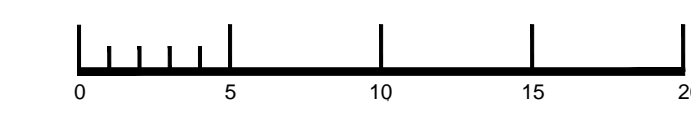
SETBACK LINE

BIO-SWALE, REFER TO
D6/L4

BIKE RACK, REFER TO
D3/L4

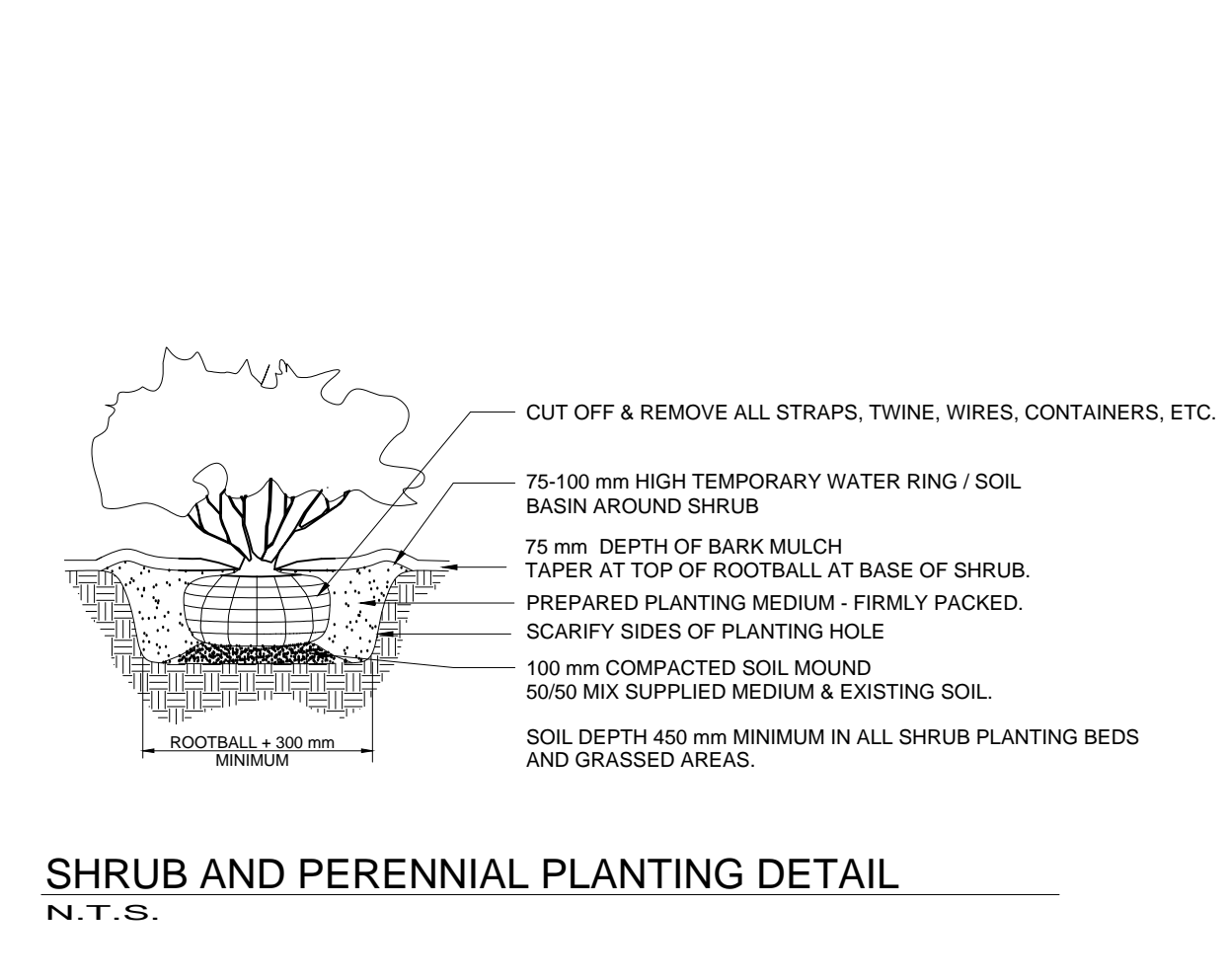
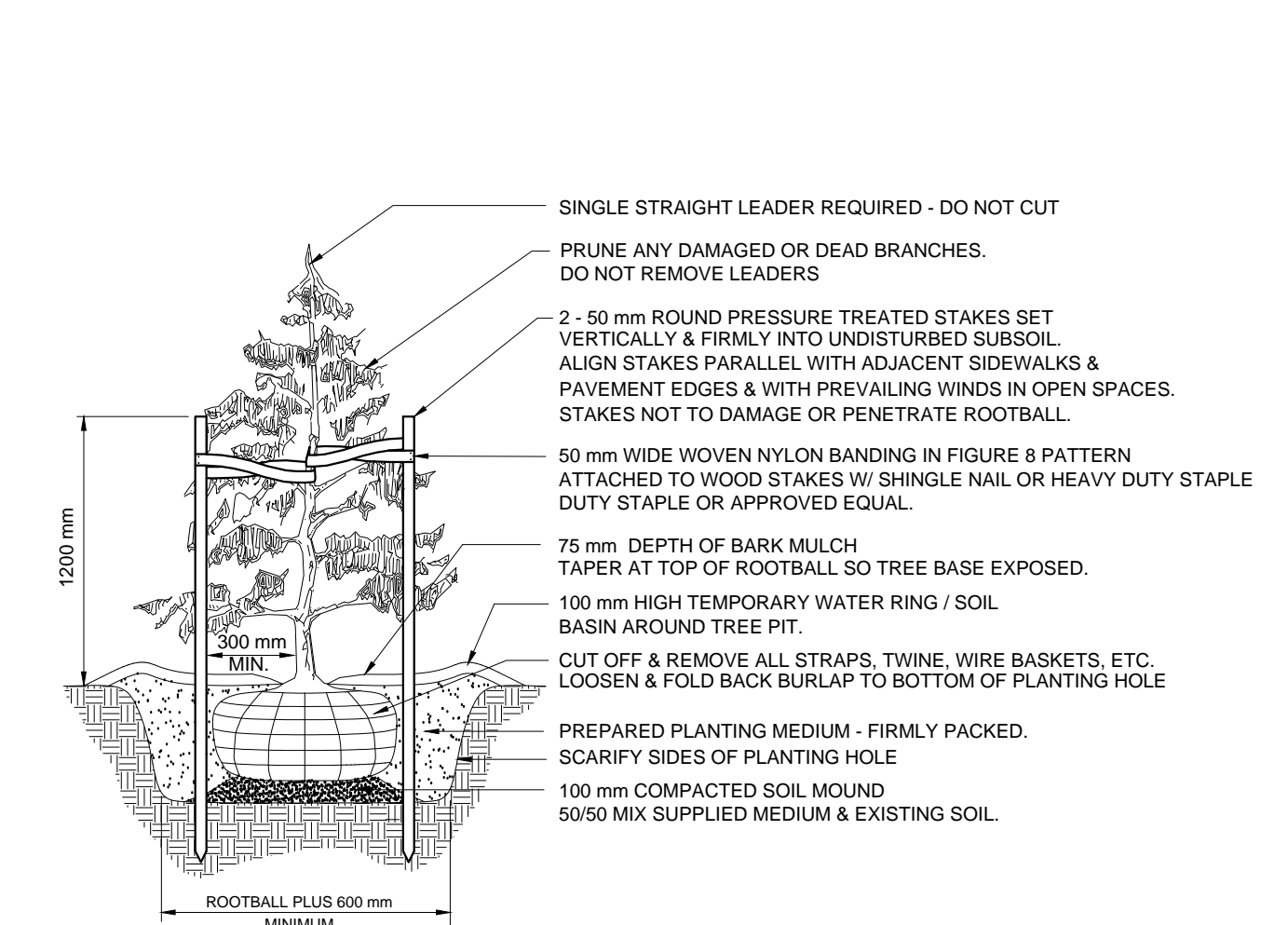
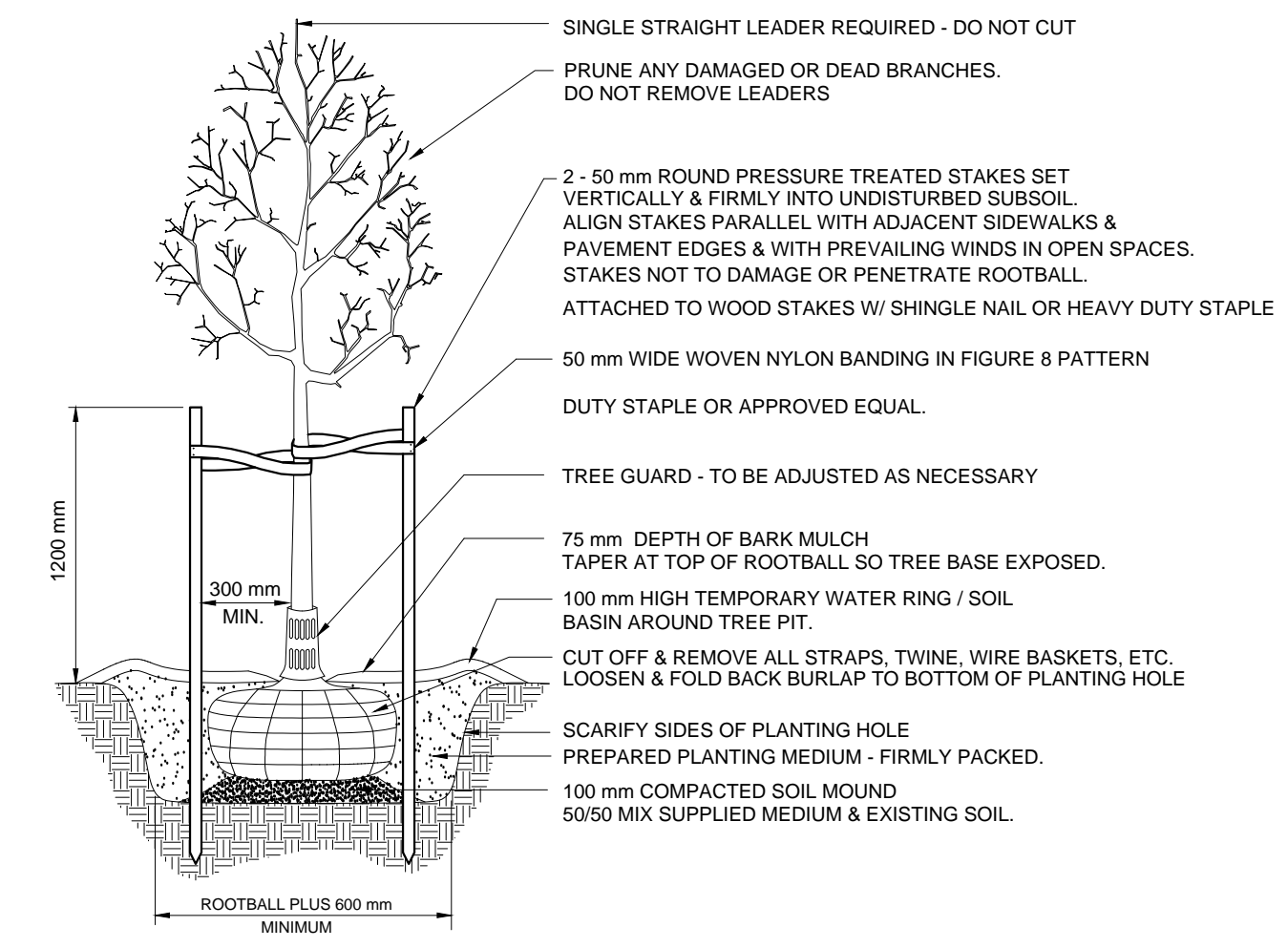
STAMPED CONCRETE
PAVING AT
PEDESTRIAN
CROSSINGS. REFER
TO D4/L4, TYP

BENCH, REFER TO
D1/L4, TYP.



PLANT LIST - ENTIRE SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
DECIDUOUS TREES					
Ar	4	Acer rubrum 'Autumn Flame'	Autumn Fantasy Maple	6cm cal.	W.B.
Ck	10	Cornus kousa 'Satomi'	Satomi Dogwood	6cm cal.	W.B.
Gt	6	Gleditsia triacanthos 'Halka'	Halka Honey Locust	6cm cal.	W.B.
Rp	14	Rhamnus purshiana	Cascara Buckthorn	6cm cal.	W.B.
SHRUBS					
Cs	504	Cornus sericea	Red Osier Dogwood	40cm ht.	#2 Pot
Et	54	Euonymus fortunei 'Vegetus'	Bigleaf Wintercreeper Euonymus	50cm ht.	#2 Pot
Vo	173	Vaccinium ovatum	Evergreen Huckleberry	60cm ht.	#3 Pot
Mp	38	Myrica pensylvanica	Northern Bayberry	50cm ht.	#2 Pot
Rs	36	Rhododendron x 'Sugar Puff'	Sugar Puff Rhododendron	40cm ht.	#2 Pot
Rw	226	Rosa woodii	Wood's Rose	60cm ht.	#3 Pot
Sj	161	Skimmia japonica	Japanese Skimmia	50cm ht.	#2 Pot
To	29	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	1.5m ht.	B&B
Vd	446	Viburnum davidii	David's Viburnum	50cm ht.	#2 Pot
Sa	161	Symphoricarpos albus	Snowberry	60cm ht.	#3 Pot
PERENNIALS, GROUND COVERS, AND GRASSES					
Ca	71	Carex 'Ice Dance'			#1 Pot
Fg	266	Festuca glauca	Blue Fescue		#1 Pot
He	292	Poa annua	Stella de Oro Daylily		#1 Pot
Ep	49	Eutrochium purpureum	Joe Pye Weed		#1 Pot
Pm	350	Polystichum munifolium	Sword Fern		#1 Pot
Cq	500	Camassia quamash	Camas		#1 Pot



DECIDUOUS TREE
N.T.S.

CONIFEROUS TREE
N.T.S.

SHRUB AND PERENNIAL PLANTING DETAIL
N.T.S.

MLB870-W 870 SERIES

MATERIALS: Bench ends are made from solid cast aluminum. The seat employs low wood slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (Ø 5") are provided in each foot for securing to base.

TO SPECIFY: Select MLB870-W
Choose: Powdercoat Color

BENCH TO BE:
MODEL: MLB870-W
MANUFACTURER: MAGLIN
COLOUR: TBD
OR APPROVED EQUAL

DIMENSIONS:
Height: 32.2" (823.5mm)
Length: 24.2" (614.5mm)
Width: 21.5" (546.5mm)

MAGLIN

1 BENCH
N.T.S.

MLPT400-S-W 400 SERIES

MATERIALS: The frame is H.S. steel tube and flat bar. Table top and seats manufactured using low wood slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. Wood slats are finished with penetrating sealers.

INSTALLATION: The table is delivered pre-assembled or knocked down.

TO SPECIFY: Select MLPT400-S-W
Choose: Powdercoat Color

OPTIONS:
- Wheelchair accessibility (WCA)
- Seating board (SB)
- Direct burial

SEATING TO BE:
MODEL: MLPT400-S-W
MANUFACTURER: MAGLIN
COLOUR: TBD
OR APPROVED EQUAL

DIMENSIONS:
Table Height: 25.2" (640.5mm)
Table Width: 42.1" (1069.5mm)
Seat Height: 17.7" (449.5mm)
Seat Width: 11.1" (282mm)

MAGLIN

2 CLUSTER SEATING
N.T.S.

MBR400-7-DB 400 SERIES

MATERIALS: All parts of the MBR400-7-DB Series bicycle racks are made from H.S. 304H tube. This bike rack can hold up to 7 bicycles.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike racks are delivered pre-assembled. It is available with a direct burial installation.

TO SPECIFY: Select MBR400-7-DB
Choose: Powdercoat Color
- Galvanized Finish (MBR400-7-DB-G)

BIKE RACK TO BE:
MODEL: MBR400-7
MANUFACTURER: MAGLIN
COLOUR: TBD
MOUNT: SURFACE OR DIRECT BURIAL
OR APPROVED EQUAL

DIMENSIONS:
Height: 22.2" (565mm)
Length: 41.5" (1053.5mm)
Depth: 17.7" (449.5mm)
Direct Burial: 24.0" (610mm) (Minimum Depth)
Weight: 27.88lbs (12.5kg)

MAGLIN

3 BIKE RACK
N.T.S.

STAMPED CONCRETE SPECIFICATIONS: ENTRANCE
PATTERN: 300mm X 300mm SQUARE
INTEGRAL COLOUR: LIGHT GREY
ANTIQUÉ RELEASE: SMOKEY BEIGE
MANUFACTURER: BRICKFORM
CONTACT: WWW.BRICKFORM.COM

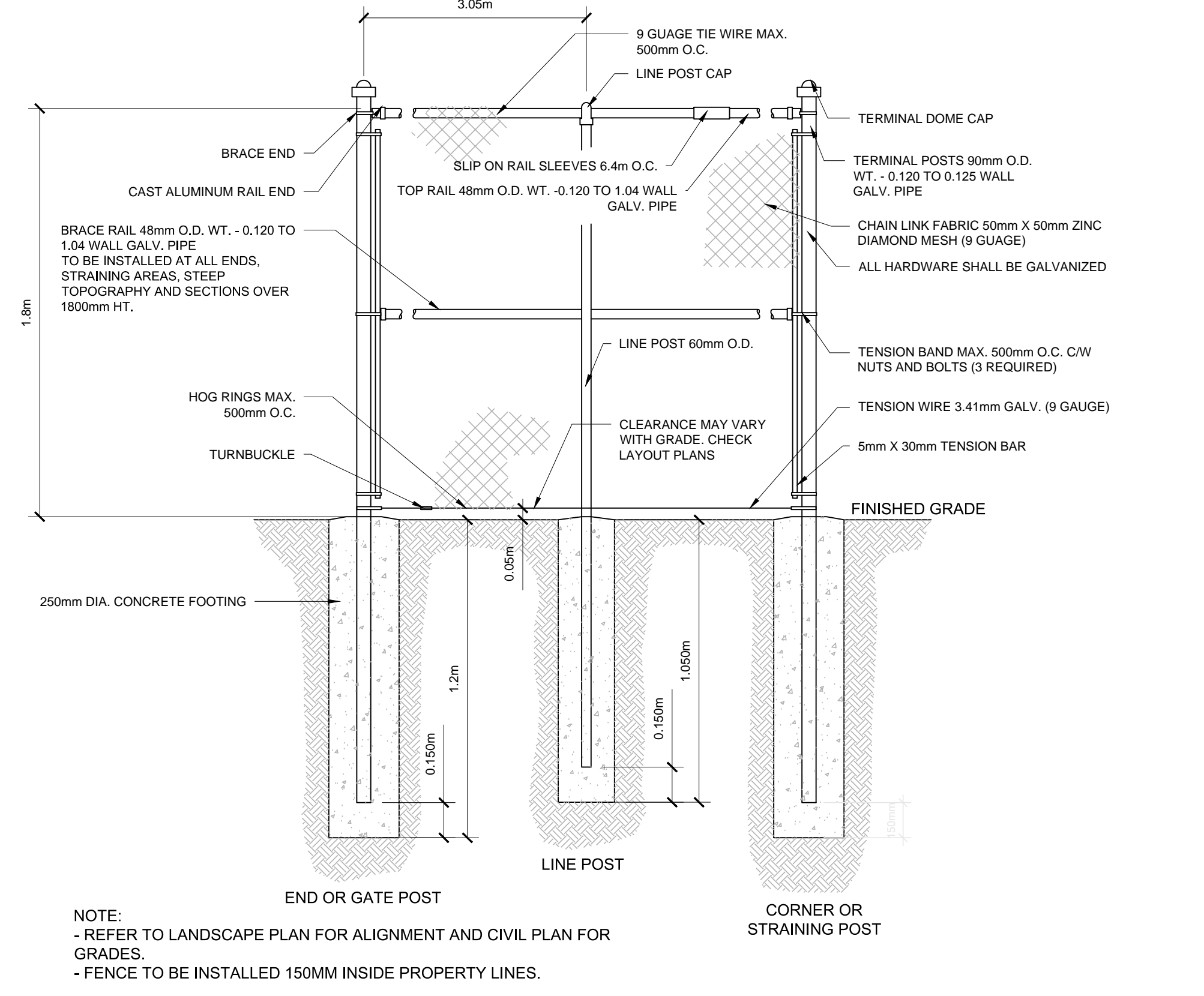
STAMPED CONCRETE SPECIFICATIONS: CROSSINGS
PATTERN: HERRING BONE WITH BORDER
INTEGRAL COLOUR: LIGHT GREY
ANTIQUÉ RELEASE: SMOKEY BEIGE
MANUFACTURER: BRICKFORM
CONTACT: WWW.BRICKFORM.COM

EXPANSION JOINT DETAIL SECTION
12mm X 175mm ASPHALT FELT BOARD EVERY 6.0m

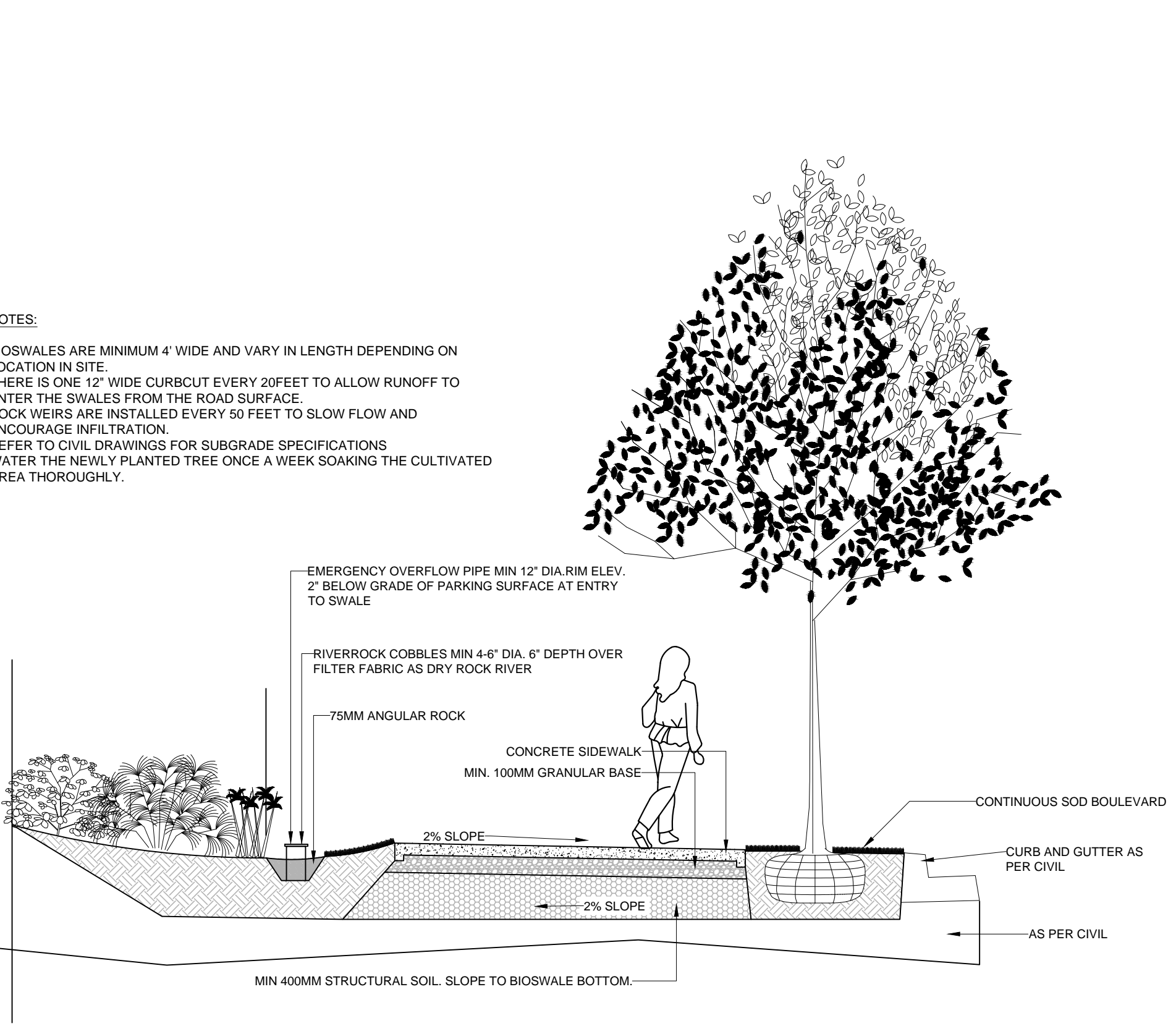
CONTROL JOINT DETAIL SECTION

NOTES:
1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINMENT.
2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
3. EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
4. CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDTH WALKWAY.
5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
6. ALL DIMENSIONS ARE IN MILLIMETRES.

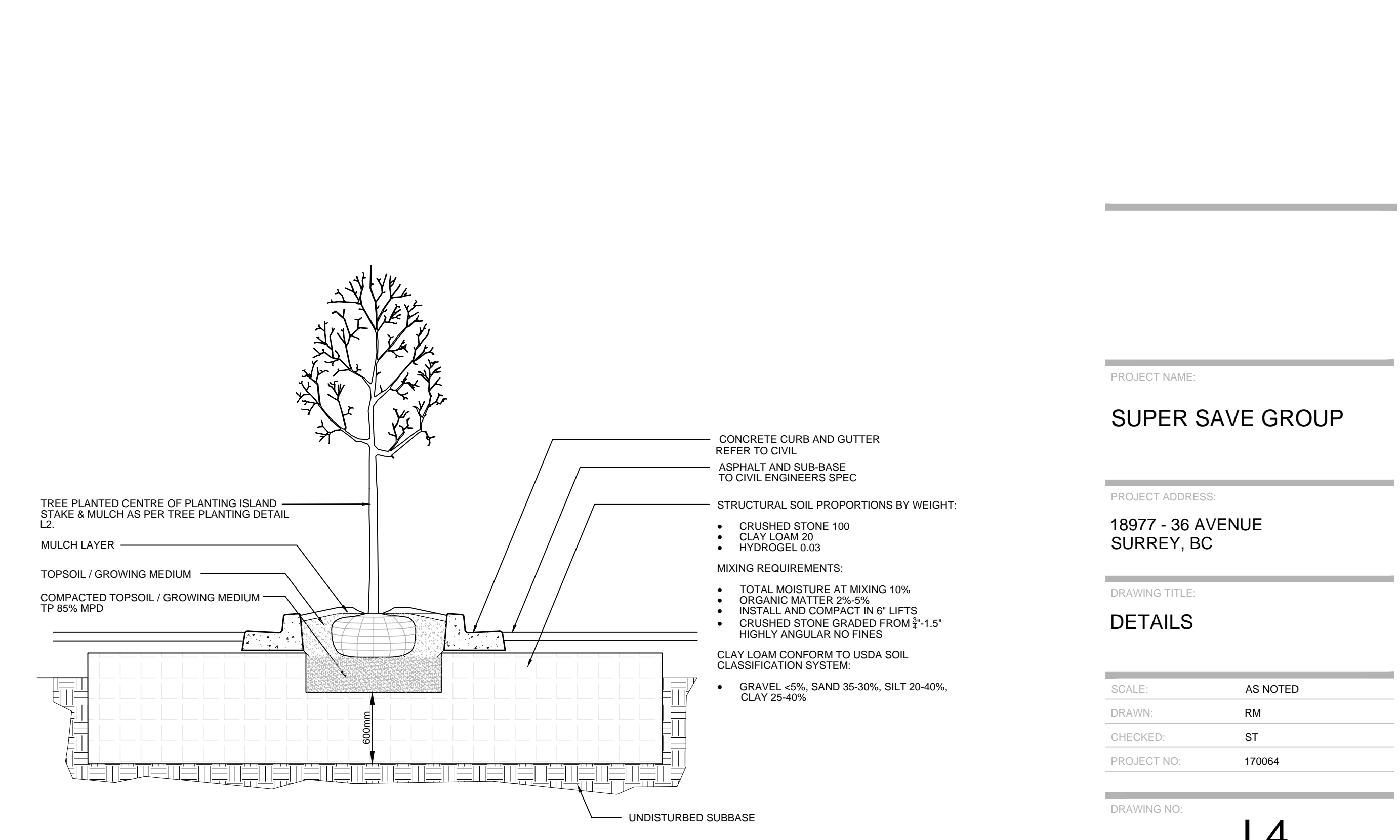
4 STAMPED CONCRETE PAVING
N.T.S.



5 CHAINLINK FENCING
N.T.S.



6 BIO-SWALE
N.T.S.



7 PARKING LOT ISLAND PLANTING DETAIL
N.T.S.

3		
2	14/11/17	RE-ISSUED FOR DP
1	18/08/17	ISSUED FOR DP
NO. DATE: (dmy) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		

PROJECT NAME:
SUPER SAVE GROUP

PROJECT ADDRESS:
18977 - 36 AVENUE SURREY, BC

DRAWING TITLE:
DETAILS

SCALE: AS NOTED

DRAWN: RM

CHECKED: ST

PROJECT NO: 170064

DRAWING NO: **L4**

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**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: Dec 12, 2017 PROJECT FILE: **7817-0392-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 18977 36 Avenue**

DEVELOPMENT PERMIT

The applicant proposes a Development Permit in order to construct a 7,466.00 sq.m. industrial warehouse with offices and a 980.50 sq.m. welding shop. There are no engineering requirements relative to the Development Permit.

BUILDING PERMIT

The site is being serviced under Surrey Project 7814-0294-00 for which works have not been fully completed yet. Some of these works may be required prior to issuance of the Building Permit.

The following are to be addressed prior to issuance of the Building Permit:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7814-0294-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required;
- Construct driveway letdowns to City standard (11.0m concrete driveway at 3.0 m offset from property line); and
- Design/Construct on site infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7814-0294-00 and Restrictive Covenants on title.

The applicant is advised to review the sustainable drainage and water quality control restrictive covenants registered on title prior to submitting building permit application.



Rémi Dubé, P.Eng.
Development Services Manager
LR1