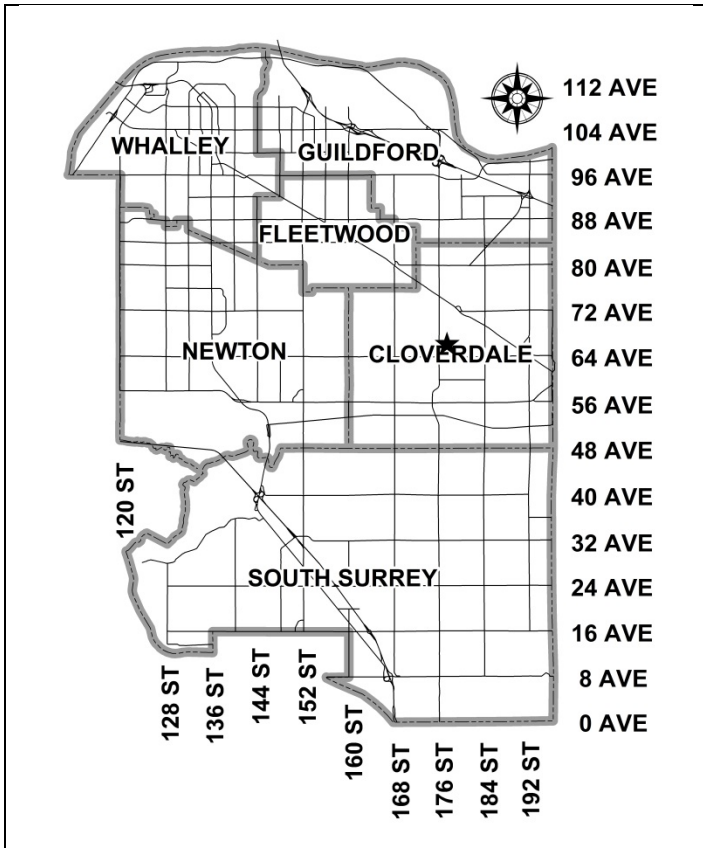


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0388-00

Planning Report Date: May 7, 2018



PROPOSAL:

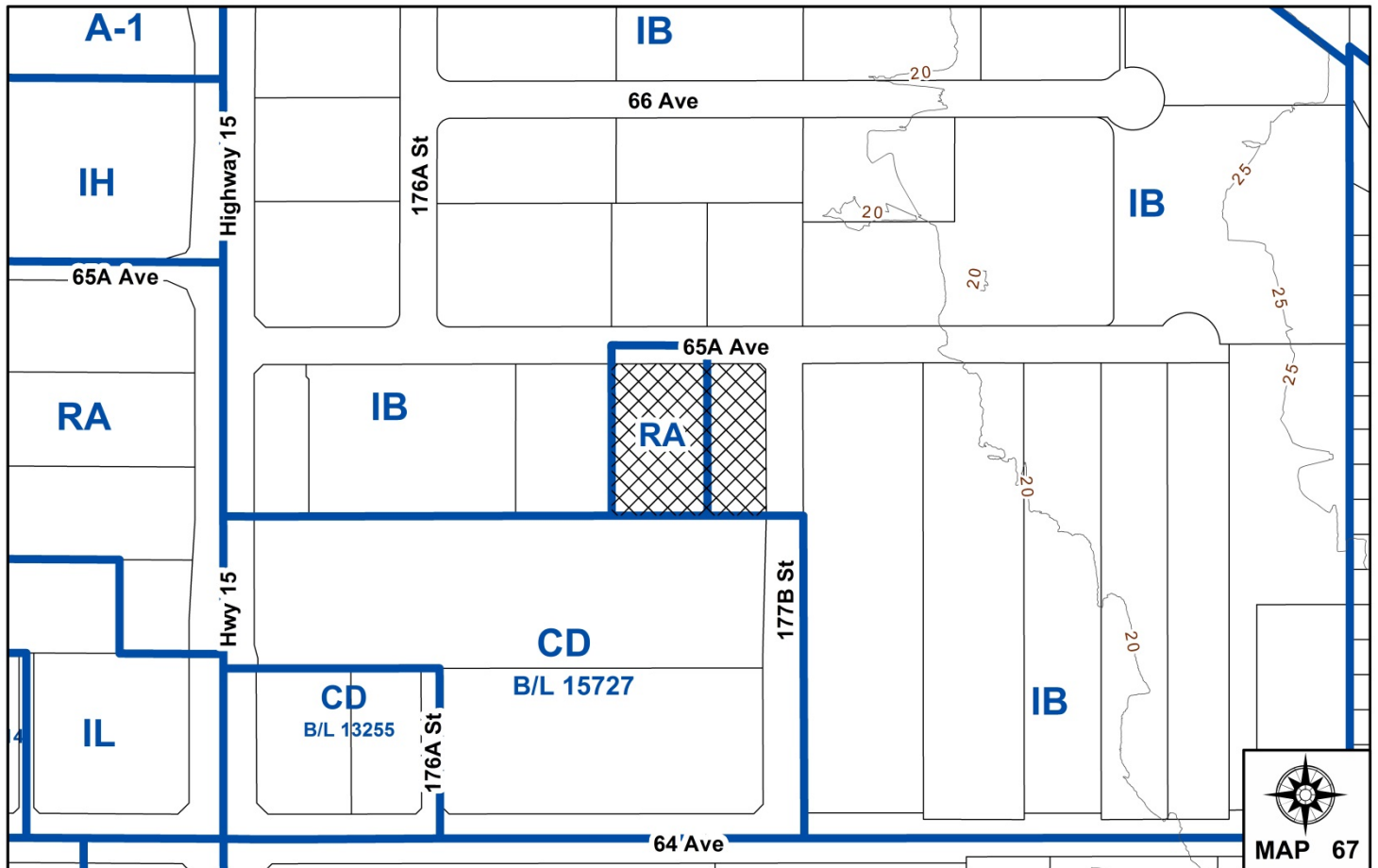
- **Rezoning** of a portion from RA to IB
- **Development Permit**
- **Development Variance Permit**

to allow the construction of a 3-storey office building and a 2-storey warehouse building.

LOCATION: 17714 - 65A Avenue
 17740 - 65A Avenue

ZONING: RA and IB

OCP DESIGNATION: Mixed Employment



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning of a portion.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to increase the maximum height of the IB Zone for principal building from 12 metres (40 ft.) to 13.2 metres (43 ft.) for proposed Building A.

RATIONALE OF RECOMMENDATION

- Complies with the Mixed Employment OCP Designation.
- The form and character of the buildings reflect the business park character established in this area. The buildings feature high-quality, durable materials and substantial glazing.
- The proposal supports the City's Employment Lands Strategy by utilizing mixed-employment designated land efficiently to facilitate office and industrial growth.
- The additional height being requested does not generate interface concerns with surrounding business park and commercial development and allows the building to have floor-to-ceiling heights more typical of contemporary commercial developments.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the property 17714 - 65A Avenue from "One-Acre Residential Zone (RA)" to "Business Park Zone (IB)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0388-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7917-0388-00 (Appendix V), to vary the maximum building height of the IB Zone for principal building from 12 metres (40 ft.) to 13.2 metres (43 ft.) for proposed Building A, to proceed to Public Notification:.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval of the proposed development has been received.

Surrey Fire Department: Preliminary approval of the proposed development has been received.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling to be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 65A Avenue):	Multi-tenant industrial/office building.	Mixed Employment	IB
East (Across 177B Street):	Multi-tenant industrial/office building.	Mixed Employment	IB
South:	Multi-tenant commercial shopping centre	Commercial	CD (By- law No. 15727)
West:	Multi-tenant industrial/office building.	Mixed Employment	IB

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located on 65A Avenue between Highway No. 15 and 177B Street in the North Cloverdale Industrial area and Business Park. The 6,846 square metre (1.7-acre) site, comprised of two properties, is designated Mixed Employment in the Official Community Plan and is zoned "One-Acre Residential Zone (RA)" for the westernmost lot and "Business Parks Zone (IB)" for the easternmost lot.
- The surrounding properties to the north, east, and west are predominantly zoned "Business Park Zone (IB)". The commercial property to the south is zoned "Comprehensive Development (CD)" (By-law No. 15727) and is based on the "Community Commercial Zone (C-8)".

Current Proposal

- The applicant is proposing to rezone the westernmost property (17714 – 65A Avenue) from "One-Acre Residential Zone (RA)" to "Business Parks Zone (IB)" and to consolidate the two properties to accommodate an office and a warehouse development.
- The applicant is proposing to construct a 3,013 square metre (32,432 sq. ft.) office building as well as a 1,374 square metre (14,790 sq. ft.) warehouse building on the consolidated site.

- The 3-storey office building is proposed to occupy the eastern portion of the consolidated site and will front onto 177B Street. The 2-storey warehouse building will occupy the western portion of the site. A courtyard style parking configuration is proposed to be located between the two buildings.
- Concurrently with the rezoning application, the applicant is also proposing a Form and Character Development Permit for the proposed office and warehouse development, and a Development Variance Permit to allow for an increased height for the proposed office building of 13.2 metres (43 ft.). This proposed building height is beyond the 12 metre (40 ft.) height permitted in the IB Zone.
- The proposed development complies with the Mixed Employment designation in the Official Community Plan (OCP) and with the surrounding IB-zoned area.
- The proposed floor area ratio (FAR) for the 6,846 square metre (1.7-acre) site is 0.64 and the lot coverage proposed is 29%. The proposed development is within the 0.75 FAR and 60% lot coverage permitted in the IB Zone. The proposed development meets all the setback requirements of the IB Zone.
- There is an existing single-family dwelling on the subject property. Prior to final adoption of the rezoning by-law, the dwelling is to be removed to the satisfaction of the Building Division.

Transportation Considerations

- The two accesses to the proposed development will be from 65A Avenue at the north end of the site and from 177B Street at the southeast corner of the site.
- A total of ninety-three (93) surface parking spaces are proposed for this development, which exceeds the eighty-nine (89) parking spaces required by the Zoning By-law No. 12000. This additional parking allows for some flexibility in attracting a variety of future tenants.

PRE-NOTIFICATION

- On February 22, 2018, pre-notification letters were sent to surrounding property owners and development proposal signs were erected on the property.
- Planning staff received two public responses in support of the proposed development with one citizen noting that the existing single family building on the subject site does not contribute to the character or aesthetics of the neighbourhood.
- Planning staff also received a response from the Cloverdale Community Association confirming that the Association has no objections to the proposed development.

DESIGN PROPOSAL AND REVIEW

- The applicant is proposing to construct a 3,013 square metre (32,432 sq. ft.) office building as well as a 1,374 square metre (14,790 sq. ft.) warehouse building on the subject site.

- The proposed office building features a central entrance feature as well as individual entrances to the smaller ground-level offices units. The building incorporates glazed and wooden panel elements that visually break up the building's massing and add visual interest for passers-by.
- The proposed warehouse building features glazed and wooden panel elements adding visual interest. The warehouse building also incorporates strong vertical features adding definition and identity to the individual units.
- The applicant is proposing to install 2 channelized letter fascia signs for the main tenant of the office building. One of these signs will be located at the top of the third-storey of the office building facing 177B Street. The other channelized letter fascia sign for the primary tenant will be located above the building's first-storey facing the courtyard parking area. A small "monument" (freestanding) sign is proposed in front of the central entrance to the office building. Additionally, fascia signs are proposed for the individual office and warehouse units in the two buildings. All signs have been designed to complement the character and quality of the building and to comply with the Sign Bylaw No. 13656.

TREES

- Trevor Cox, ISA Certified Arborist of Diamondhead Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Ash	3	0	3
European Hornbeam	5	0	5
Spruce	1	0	1
Willow	1	1	0
Coniferous Trees			
Douglas Fir	1	0	1
Sawara Cypress	1	1	0
Total (excluding Alder and Cottonwood Trees)	12	2	10
Additional Trees in the proposed Open Space / Riparian Area	N/A	N/A	N/A
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		39	
Total Retained and Replacement Trees		49	

Contribution to the Green City Fund	\$0
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- The Arborist Assessment states that there are a total of twelve (12) protected trees on the site, and no trees are Alder and Cottonwood trees. It was determined that ten (10) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. There are also ten (10) offsite trees to be retained.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of four (4) replacement trees on the site. The applicant is proposing thirty-nine (39) replacement trees, exceeding City requirements.
- In summary, a total of forty-nine (49) trees are proposed to be retained or replaced on the site with no contribution of to the Green City Fund.

Landscaping

- The landscaping for the site incorporates an outdoor patio at the corner of 65A Avenue and 177B Street, a sheltered plaza in front of the proposed office building, and a rain garden built into the parking lot.
- The applicant is proposing to provide fourteen (14) trees in the parking lot while also retaining four (4) on-site trees adjacent to the parking lot. This total of eighteen (18) trees exceeds the City's Form and Character Guidelines standard of one tree for six parking stalls. While the Guidelines call for one treed parking island for every six stalls, the applicant is proposing an alternate configuration that allows the trees to be configured into the rain garden and within the southern landscaped setback.
- In addition to the parking lot trees being provided and retained, a variety of other trees, shrubs, and ground covering plans are proposed to beautify the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 14, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• N/A
2. Density & Diversity (B1-B7)	• N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development incorporates Low Impact Development Standards. • A rigorous waste management program for the site will aim to reduce garbage destined for a landfill.

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The applicants are exploring EV charging stations and interior secured bike storage.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The design of the site incorporates CPTED principles. Parking areas will be well lit and monitored by security camera. The building has been designed to eliminate unnecessary recesses in the façade.
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The surrounding community was notified via a pre-notification letter and a Development Proposal sign was posted as required by the City. A Public Hearing will be required as part of the rezoning process. Prospective tenants will be required to comply with the owner's waste management strategy.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To increase the maximum height of a building from 12 metres (40 ft.) to 13.2 metres (43 ft.).

Applicant's Reasons:

- The additional height is minor in nature and allows the building to have floor-to-ceiling heights more typical of contemporary commercial developments.

Staff Comments:

- The site is surrounded by business park developments and a large format shopping centre and therefore the additional height is not anticipated to generate interface concerns.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV	Summary of Tree Survey and Tree Preservation
Appendix V	Development Variance Permit No. 7917-0388-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Kasian Architecture, Interior Design, and Planning Ltd. and Connect Landscape Architecture, respectively, dated April 11, 2018.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: IB

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	Min. 2,000 m ²	6,846 m ²
Road Widening area		
Undevelopable area		
Net Total	Min. 2,000 m ²	6,846 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	60%	29%
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	7.5 m
West Side	7.5 m	7.5 m
East Side (Flanking 177B Street)	3.6 m	3.6 m
BUILDING HEIGHT (in metres/storeys)		
Principal	12.0 m	13.6m
Accessory	6.0 m	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor	N/A	N/A
One Bed	N/A	N/A
Two Bedroom	N/A	N/A
Three Bedroom +	N/A	N/A
Total	N/A	N/A
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial		
Retail		N/A
Office		3,013 m ²
Total		3,013 m ²
FLOOR AREA: Industrial		1,374 m ²
FLOOR AREA: Institutional		N/A
TOTAL BUILDINGS FLOOR AREA	Max. 5,134.5 m ²	4,387 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	0.75	0.64
FAR (net)	0.75	0.64
AMENITY SPACE (area in square metres)		
Indoor	N/A	N/A
Outdoor	N/A	Outdoor Patio is Proposed for Office Building
PARKING (number of stalls)		
Commercial	Min. 75	78
Industrial	Min. 14	15
Residential Bachelor + 1 Bedroom	N/A	N/A
2-Bed	N/A	N/A
3-Bed	N/A	N/A
Residential Visitors	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	89	93
Number of accessible stalls	1	2
Number of small cars	Max 35% of Stalls	25 (~27%)
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	N/A
Size of Tandem Parking Spaces width/length	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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QUALICO OFFICE BUILDING AND WAREHOUSE

17740 65A AVE, SURREY, BC
17714 65A AVE, SURREY, BC

REZONING AND DP SUBMISSION

CIVIC ADDRESSES

17740 65A AVE, V3S 5N4, SURREY, BC
17714 65A AVE, V3S 5N4, SURREY, BC

LEGAL ADDRESSES

LOT 5 BLOCK 3 SECTION 17 TOWNSHIP 8 PLAN 1939 NWD PART SW 1/4, EXCEPT PLAN PART RD BCP21570
LOT 4 BLOCK 3 SECTION 17 TOWNSHIP 8 PLAN 1939 NWD PART SW 1/4

PROJECT TEAM

CLIENT

ALYSON SHAVE
QUALICO DEVELOPMENTS (VANCOUVER) INC
310-5620 152 STREET
SURREY, BC, V3S 3K2
T: (604) 579-0096 C: (778) 899-0274
F: (778) 571-2112

ARCHITECTURAL

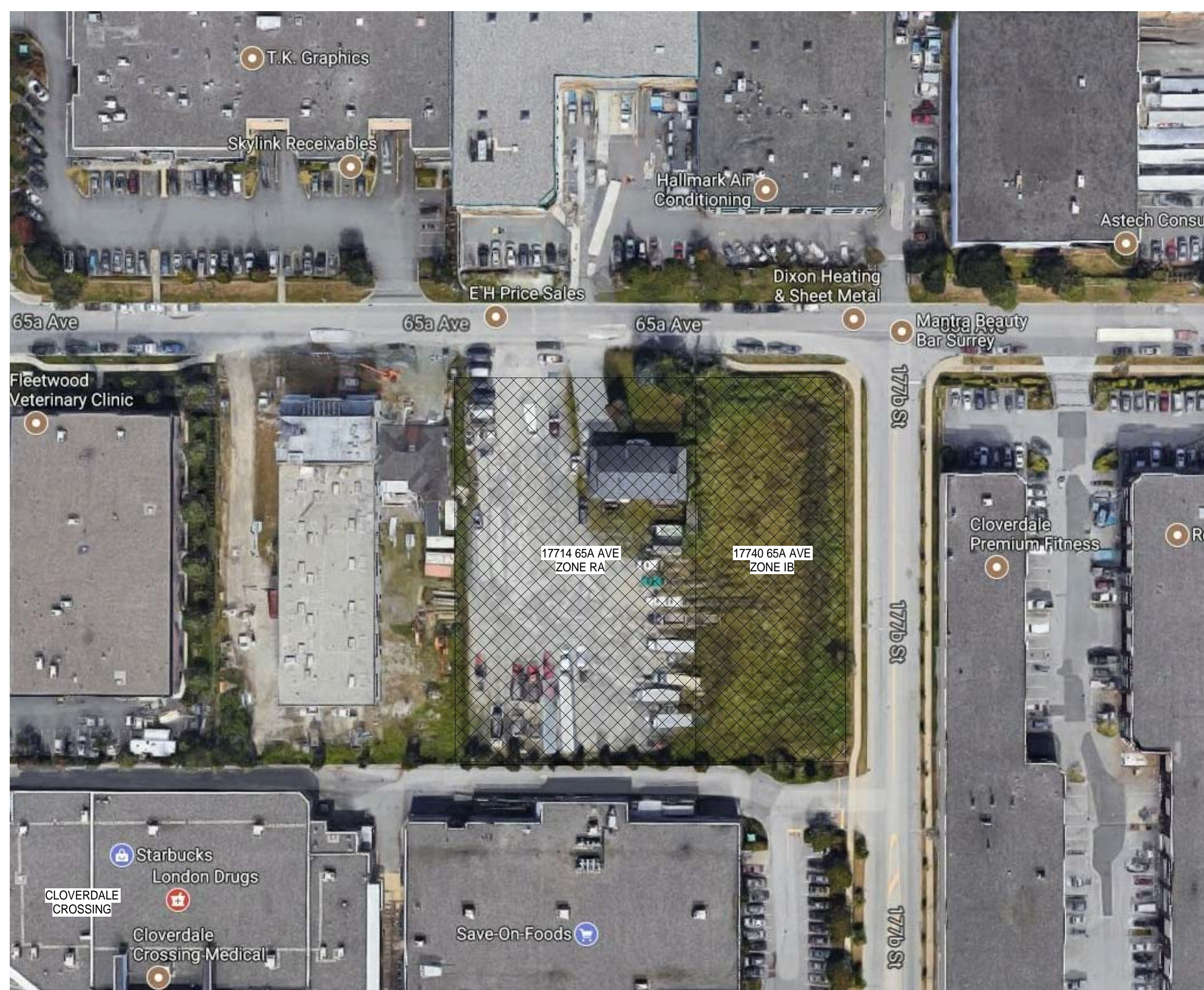
SEAN BYRNE / ALAN NAKASKA
KASIAN ARCHITECTURE INTERIOR DESIGN
AND PLANNING LTD
1685-1500 WEST GEORGIA STREET
VANCOUVER, BC, V6G 2Z6
T: (604) 683-4145 F: (604) 683-2827

LANDSCAPE

OREN MIZRAHI
CONECT LANDSCAPE ARCHITECTURE
2305 HEMLOCK STREET
VANCOUVER, BC, V6H 2Z1
T: (604) 681-3303

CIVIL

JEREMIAH BOUCHER
APLIN & MARTIN CONSULTANTS
201-12448 82nd AVENUE
SURREY, BC, V3W 3E9
T: (604) 597-9058



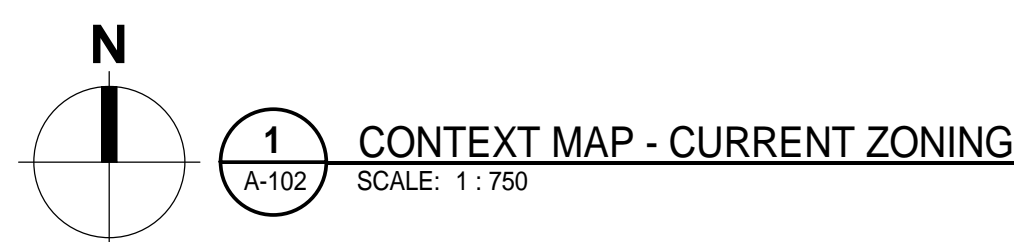
Zoning Analysis

City of Surrey - Zoning Bylaw 12000

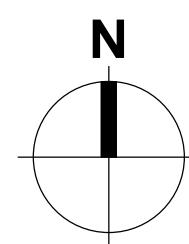
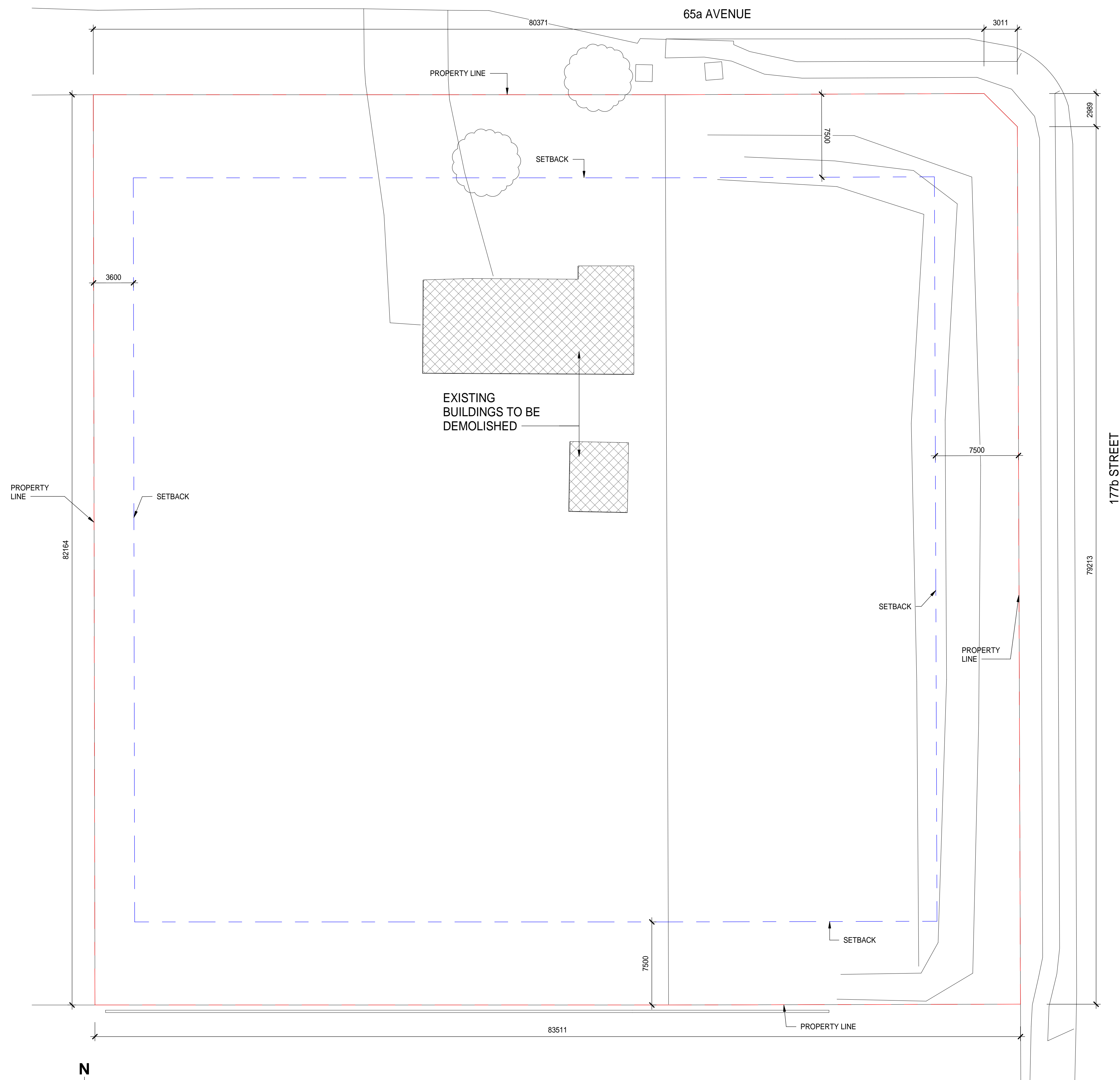
Part	Name	Zoning Requirement	Proposed	Variance
	Zone	17740 65A Ave - Business Park Zone IB 17714 65A Ave - One-Acre Residential Zone RA	IB IB	- RA to IB
	Site Area	-	6,846 SM	-
	Proposed Uses	-	6,846 SM	-
	Office - 3 storeys	-	3,013 SM	-
	Warehouse - 2 storeys	-	1,374 SM	-
5	Off-Street Parking and Loading / Unloading	Parking and Loading / Unloading		
C1	Number of Required Off-Street Parking Spaces	Office Use: 2.5 parking spaces per 100m ² of gross floor area for a building outside city centre 75 parking spaces Industry - Transportation (e.g. warehouse): 1 parking space per 100m ² of floor area used for warehousing and distribution 14 parking spaces TOTAL: 89 parking spaces	93 parking spaces 7 additional spaces on 177B Street	-
E1	Off-Street Loading / Unloading	All industrial buildings must provide an off-street loading/unloading space adjacent to each overhead loading door, or where no loading door is provided, adjacent to a door. 6 loading/unloading spaces required	6 loading/unloading spaces	-
47	Business Park Zone	IB		
B	Permitted Uses	Office and Warehouse permitted.	Office Warehouse	-
D	Density	Floor Area Ratio shall not exceed 0.75.	0.64	-
E	Lot Coverage	Maximum 60%.	29%	-
F	Yard and Setbacks	Front Yard: 7.5m Rear Yard: 7.5m Side Yard: 7.5m One side yard setback may be reduced to 3.6m if the side yard abuts land which is commercial, industrial or mixed employment. Side Yard at Street: 7.5m	Front Yard: 7.5m Rear Yard: 7.5m Side Yard: 3.6m Street: 7.5m	-
G	Height of Buildings	Principal Buildings: max 12m Accessory Building: max 6m	Building A: 13.2m Building B: 7.7m	Building A: + 1.2m
I	Landscaping	All developed portions of lot not covered by buildings, structures or paved areas shall be landscaped.	Landscaping as per enclosed plans.	-

DRAWING LIST

Sheet Number	Sheet Name
A-2-000	COVER SHEET
A-2-001	PROJECT INFORMATION SHEET
A-2-002	BUILDING CODE COMPLIANCE - FLOOR PLANS
A-2-003	BUILDING CODE COMPLIANCE - SECTIONS
A-2-100	SITE PLAN - EXISTING
A-2-101	SITE PLAN
A-2-102	SITE DETAILS
A-2-110	FLOOR PLANS
A-2-111	ROOF PLAN
A-2-112	REFLECTED CEILING PLANS
A-2-200	EXTERIOR ELEVATIONS
A-2-300	BUILDING SECTIONS
A-2-400	SITE PLAN - EXISTING
A-2-500	SECTION DETAILS
A-2-501	SECTION DETAILS
A-2-502	SECTION DETAILS
A-2-510	PLAN DETAILS
A-2-600	STAIR PLANS
A-2-601	STAIR DETAILS
A-2-700	DOOR & FRAME SCHEDULE
A-2-701	CURTAINWALL ELEVATIONS
A-100	Cover Page
A-101	Existing Site Plan
A-102	Site Plan
A-103	Solar Study
A-104	Building A Level 1
A-105	Building A Level 2
A-106	Building A Level 3
A-107	Building A Roof Plan
A-200	Building A Exterior Elevations
A-201	Building A Exterior Elevations
A-203	Exterior Views
A-300	Building A Building Sections



CONTEXT MAP - CURRENT ZONING
SCALE: 1 : 750

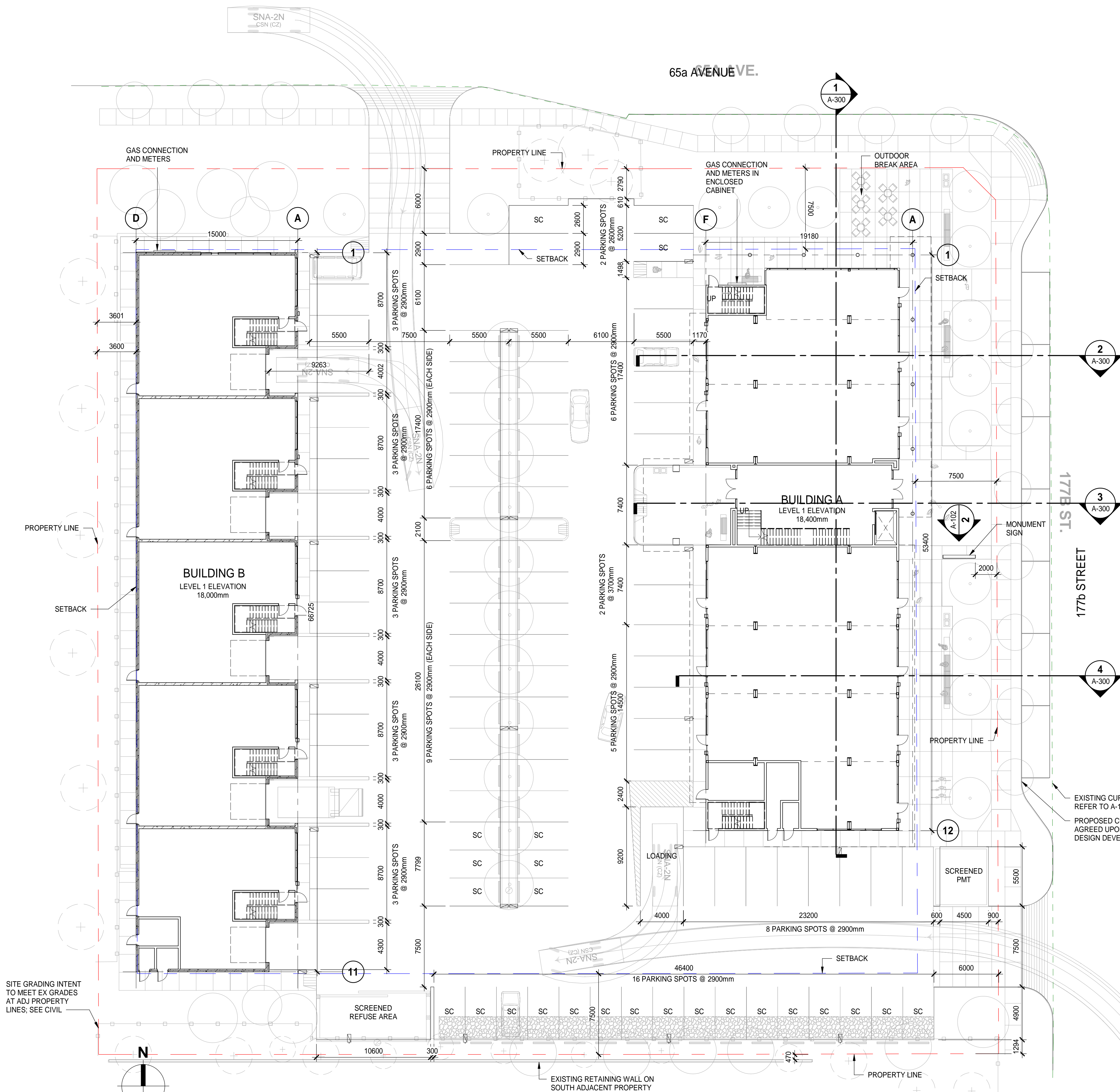


1 EXISTING SITE PLAN
A-102 SCALE: 1:200

Existing Site Plan
QUALICO OFFICE BUILDING AND WAREHOUSE
Surrey, BC

A-101
PROJECT 190138





1 SITE PLAN
A-102 SCALE: 1:200

GFA BUILDING A 3,013 SQUARE METERS
GFA BUILDING B 1,374 SQUARE METERS

GENERAL NOTES:
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING DETAILS.
REFER TO CIVIL DRAWINGS FOR SITE GRADES AND ELEVATIONS.



2 MONUMENT SIGN ELEVATION
A-102 SCALE: 1:25

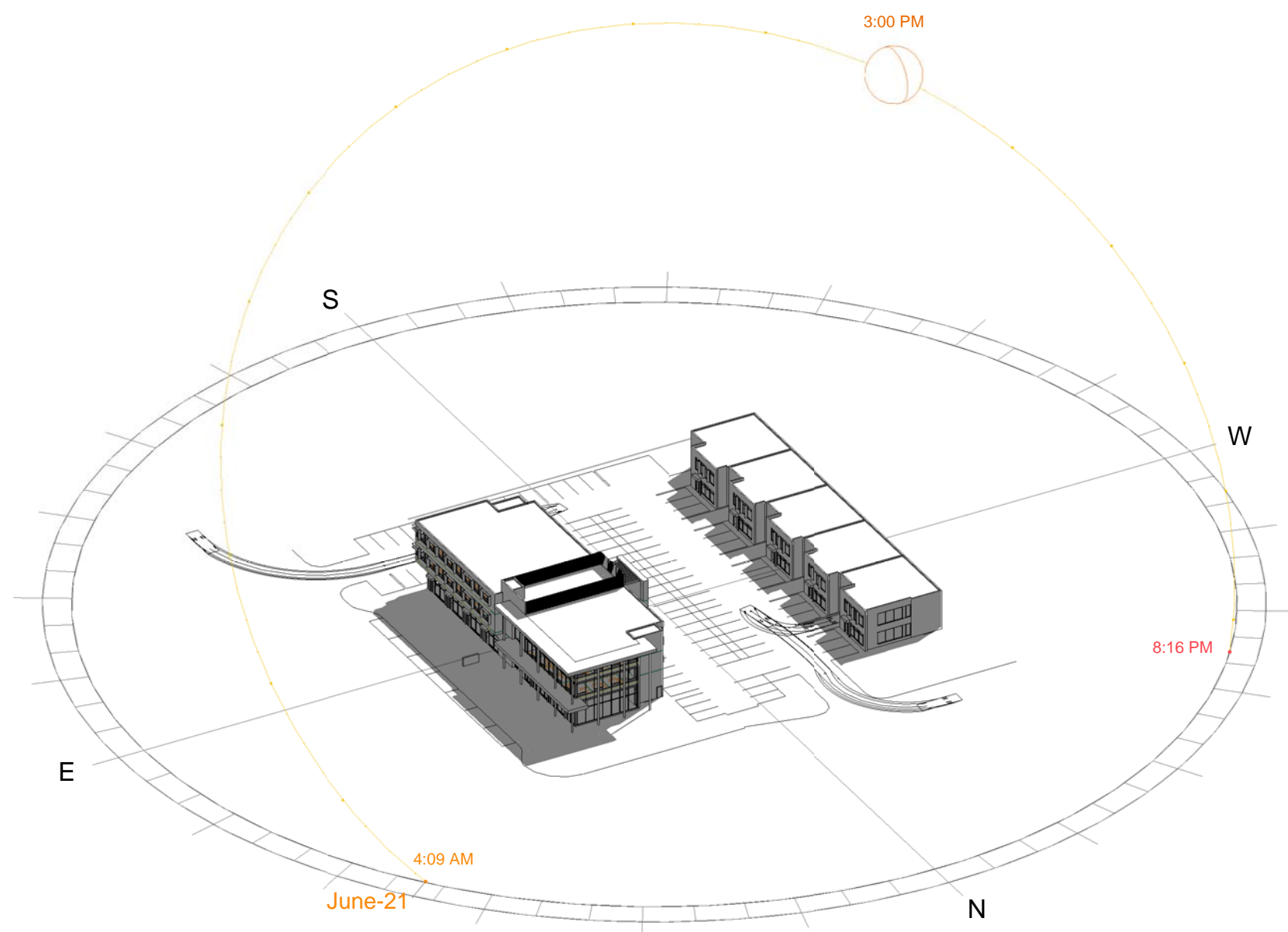
NOTE:
MONUMENT SIGN FINISH MATERIAL TO BE CEMENTITIOUS WALL PANEL ON ALL SIDES; COLOUR DARK GRAY; MATERIAL TO MATCH BUILDING A EXTERIOR FINISH MATERIAL.
SIGNAGE TO BE MOUNTED PROUD OF MONUMENT AND BACKLIT FOR VISIBILITY.

SITE LIGHTING LEGEND

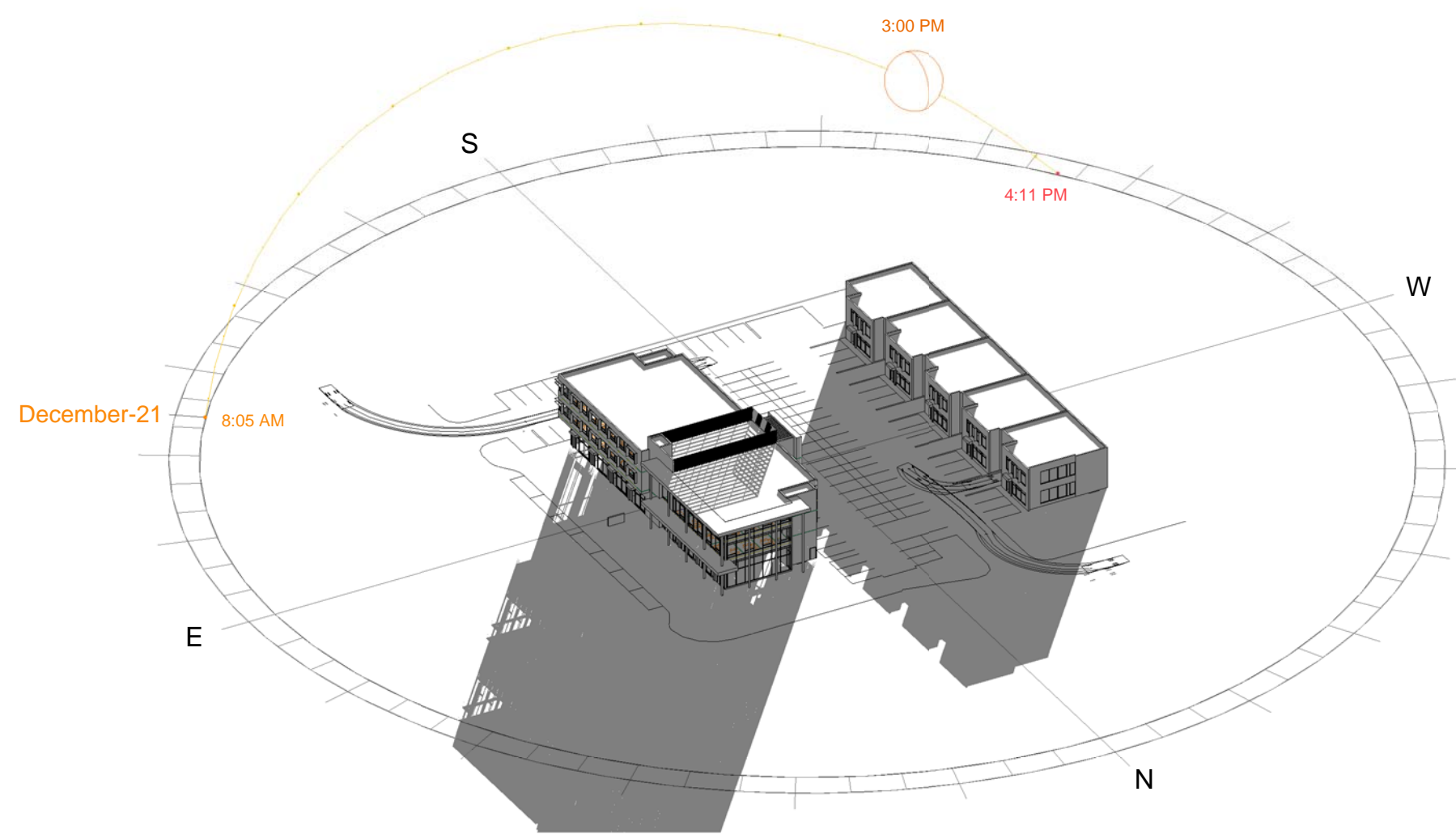
- LITHONIZ DSX1 LED MOUNTED ON 6 METER HIGH SQUARE POLE, BLACK IN COLOUR 125 WATTS.
- LIGHT FIXTURES AT BUILDING 'A' TO BE WALL MOUNTED TYPE - FIXTURE MODEL T8D

NOTES:

- PARKING LIGHTING HAS BEEN DESIGNED TO IES STANDARD IES RP-20-14 - LIGHTING FOR PARKING FACILITIES
- FOR THE PURPOSES OF DESIGN, PARKING HAS BEEN CLASSIFIED AS AN EXTERNAL PARKING LOT LIGHTING ZONE 2 (LZ2), WHICH DESCRIBES MODERATE AMBIENT LIGHTING EXPECTED IN THIS AREA
- FOR ASPHALT SURFACES, IES RP-20-14 RECOMMENDS MINIMUM HORIZONTAL ILLUMINANCE OF 5 LUX, MINIMUM VERTICAL ILLUMINANCE 2.5 LUX, MAXIMUM-TO-MINIMUM RATIO TO BE 15:1 OR BETTER



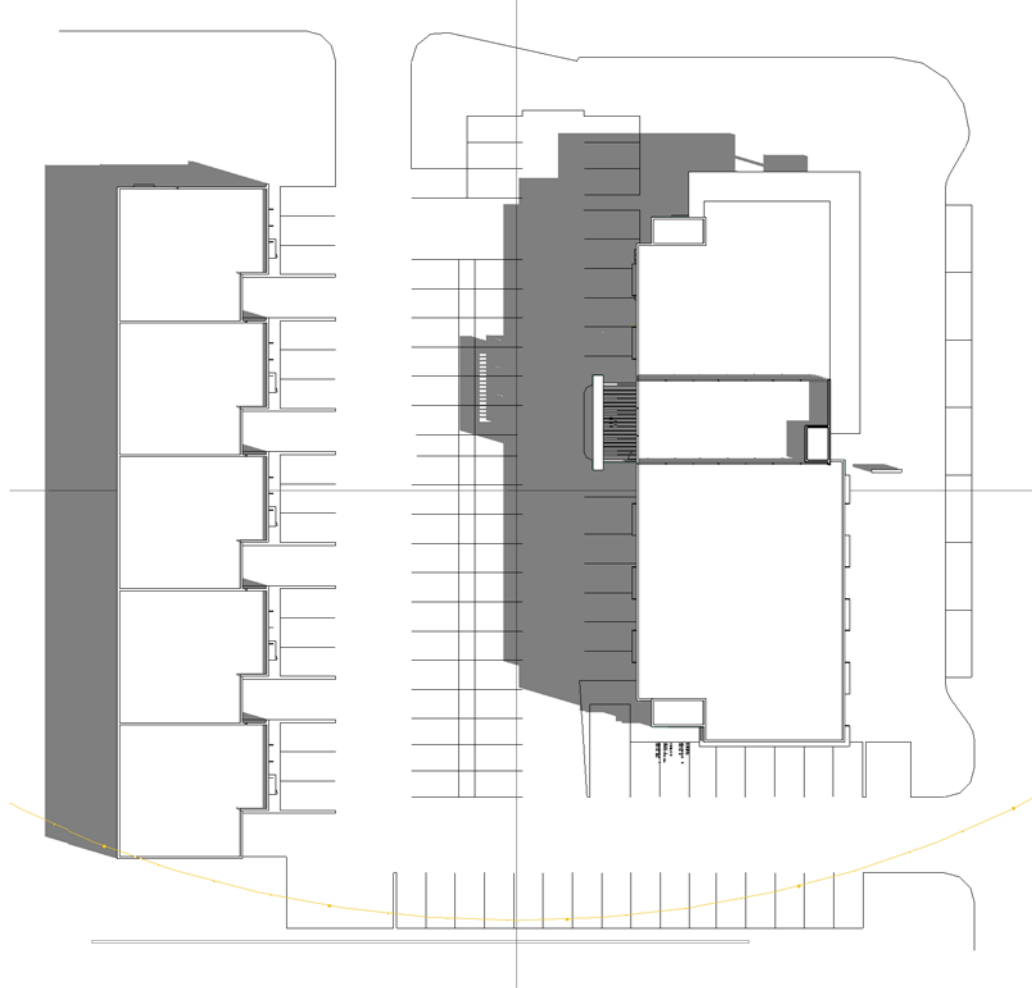
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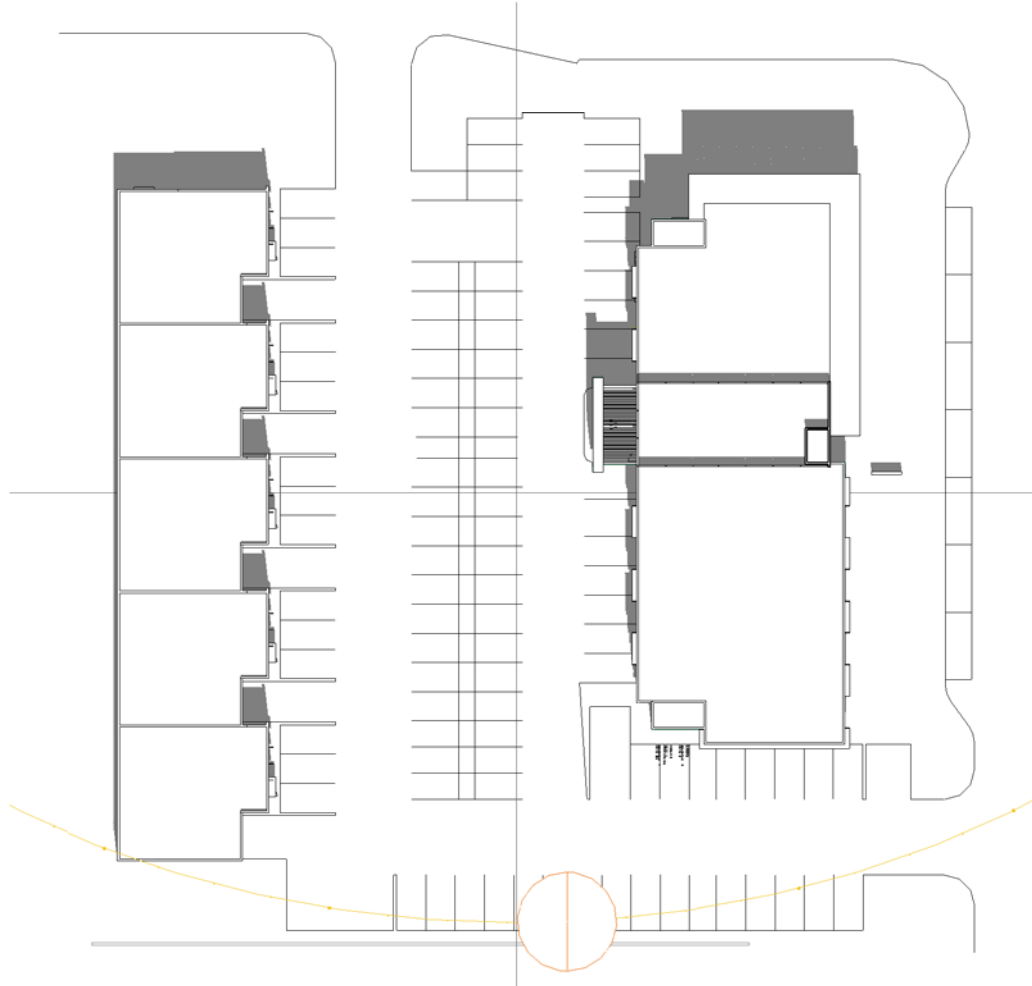
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JUNE 21

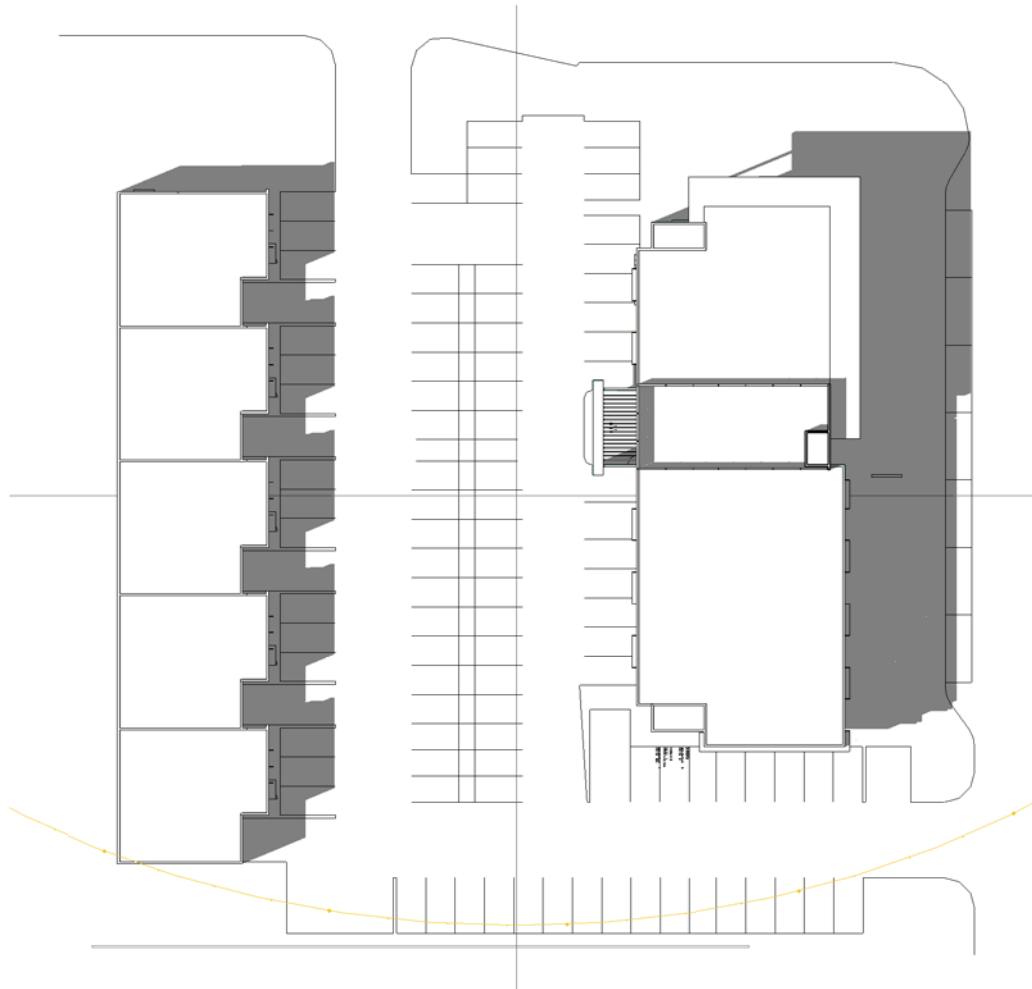
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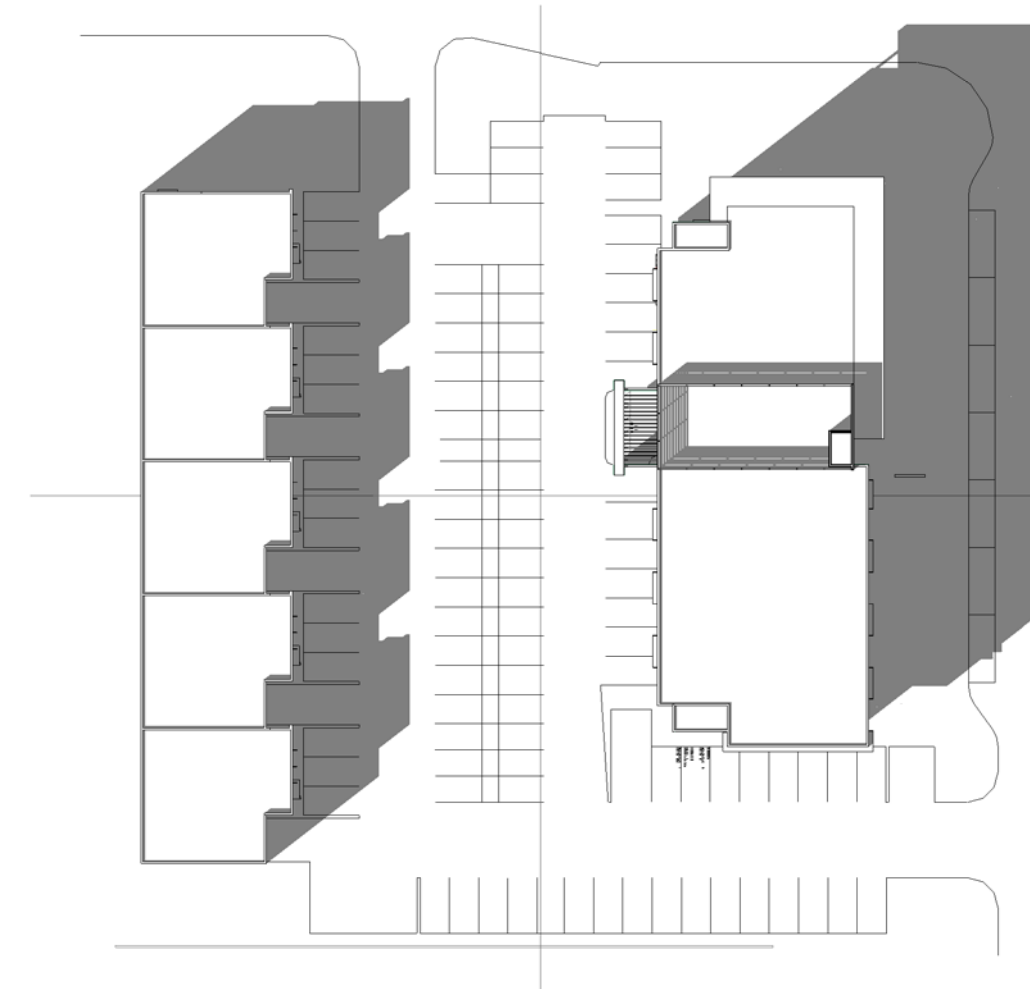
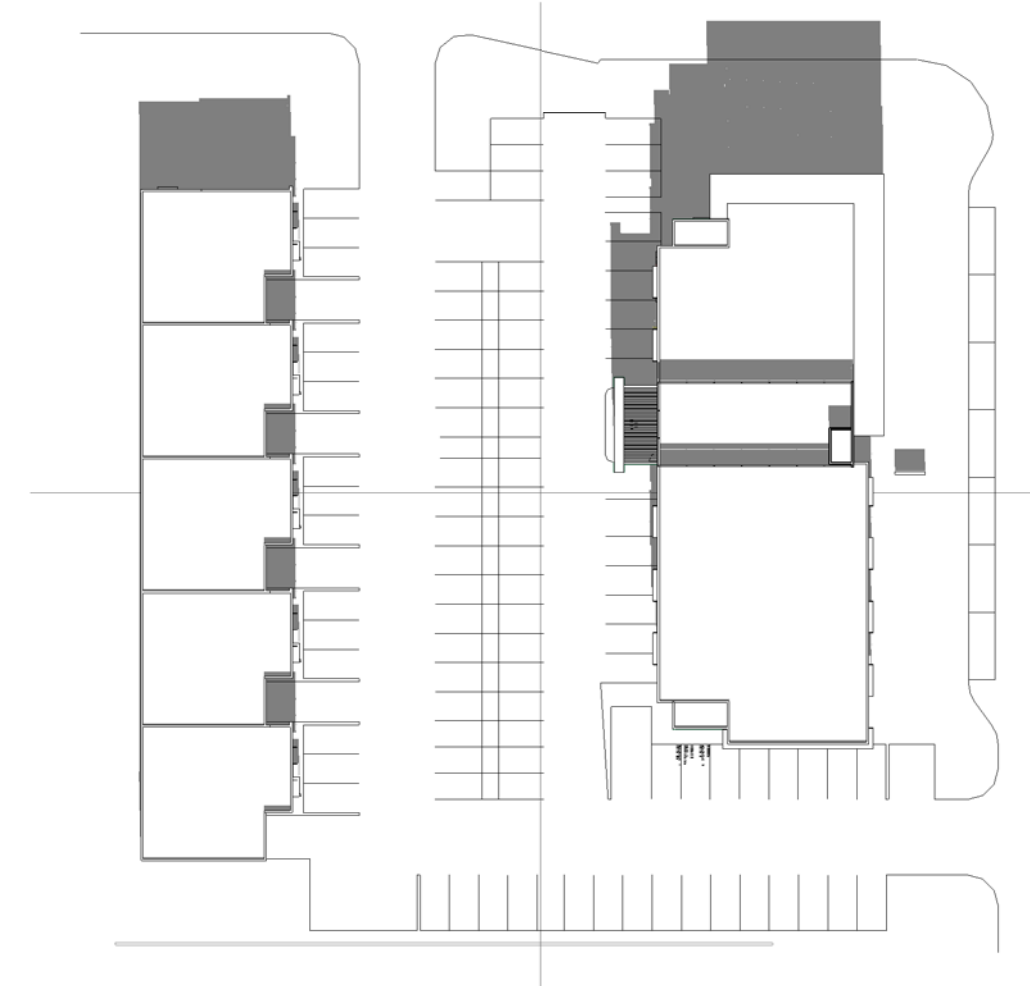
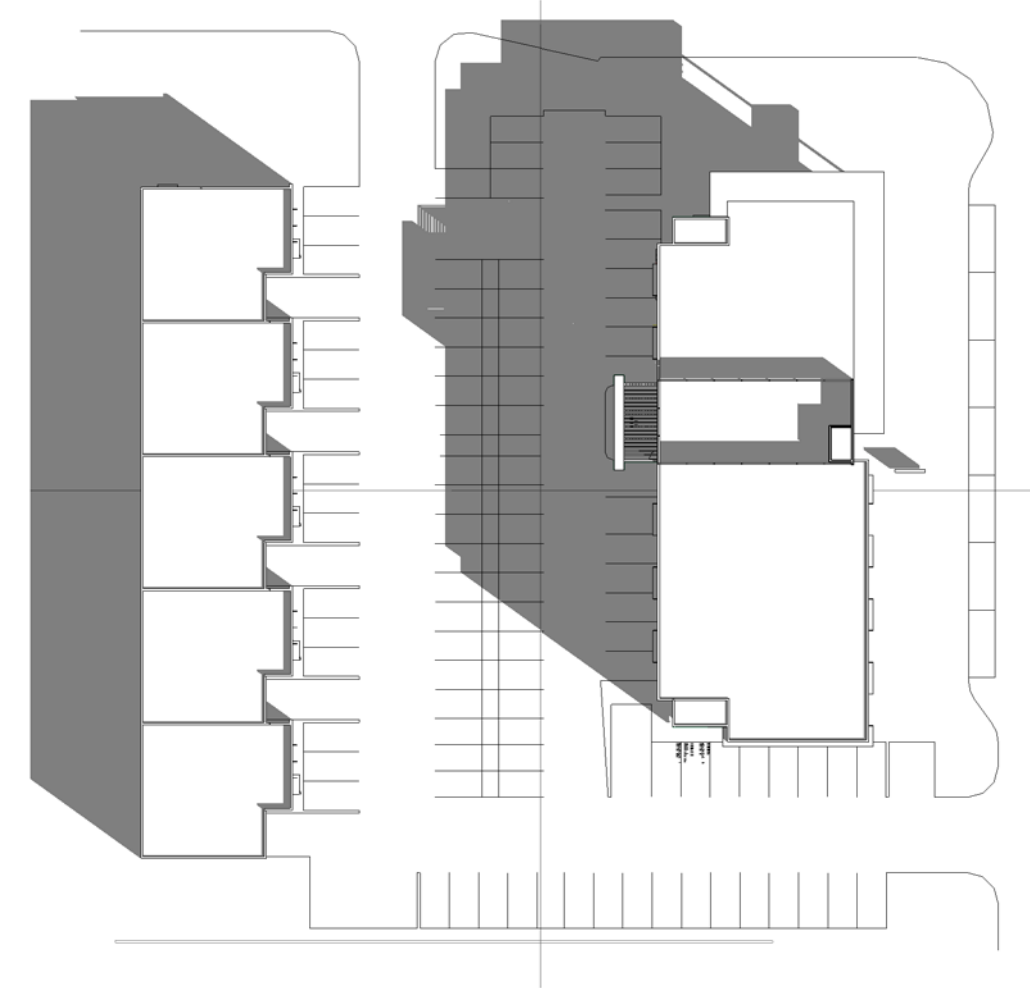
12:00 PM



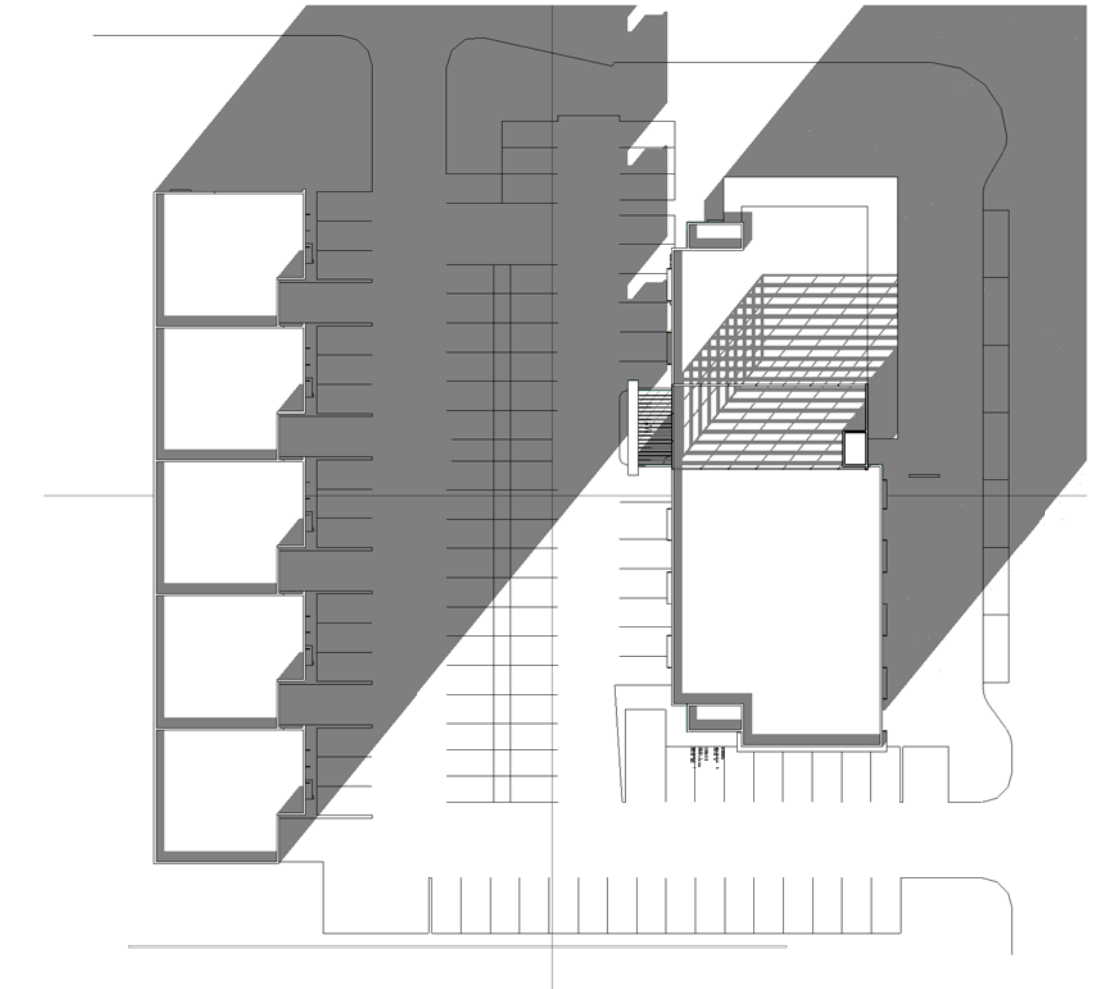
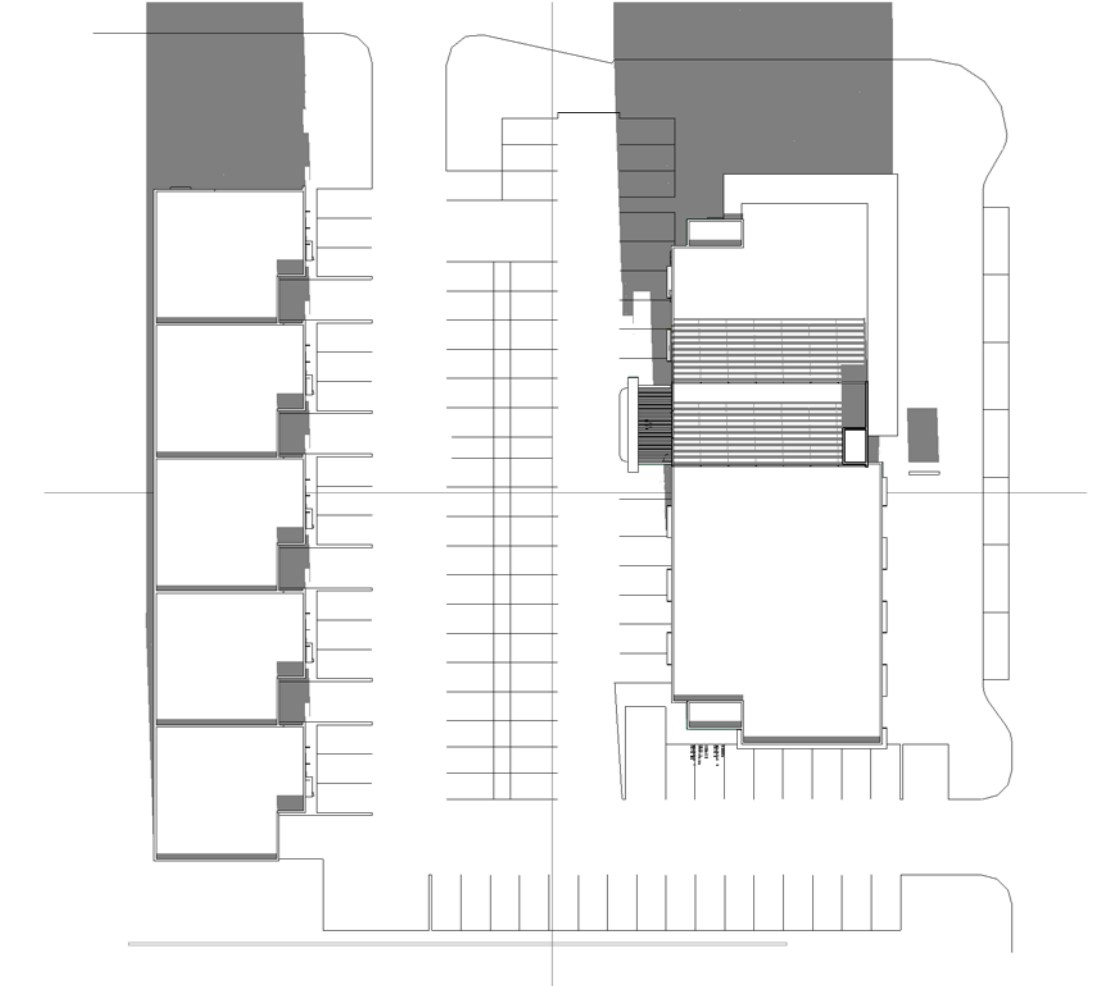
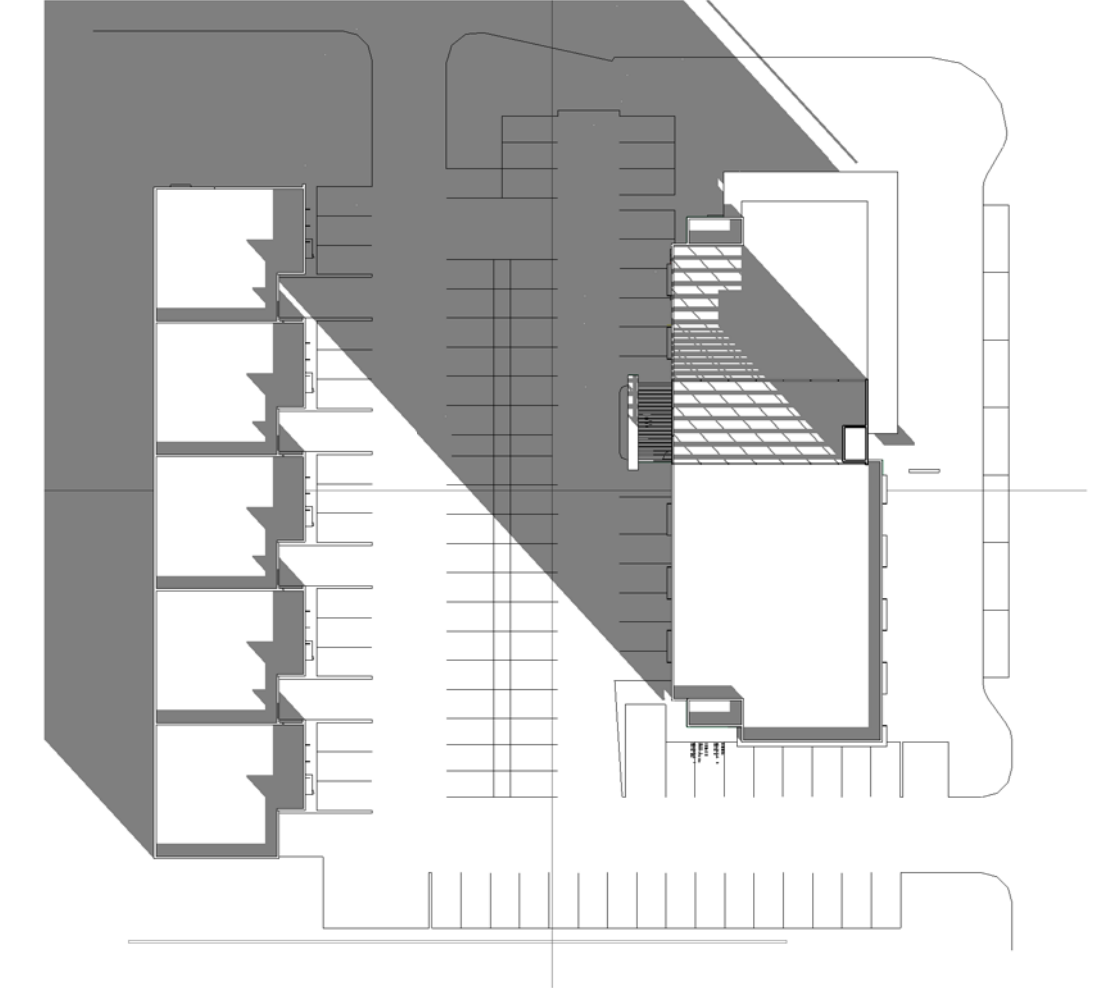
3:00 PM



SEPTEMBER 21



DECEMBER 21





EXTERIOR FINISH LEGEND	
A	COMPOSITE WALL PANEL; COLOUR - WOOD GRAIN
B	CURTAIN WALL GLAZING; CLEAR ANODIZED; OPERABLE LITES IN LOCATIONS SHOWN
C	CEMENTITIOUS WALL PANEL; COLOUR - DARK GRAY
D	COMPOSITE METAL CLADDING; COLOUR - OFF-WHITE
E	COMPOSITE METAL CLADDING; COLOUR - DARK GRAY
F	METAL DOOR; PAINTED
G	METAL OVERHEAD DOOR; PAINTED
H	CONCRETE; PAINTED
J	LOUVERED MECHANICAL ENCLOSURE; COLOUR - DARK GRAY
K	SIGNAGE
L	COMPOSITE METAL CLADDING; COLOUR - LIGHT GRAY

1 BUILDING A - EAST ELEVATION (177B STREET)
A-104 SCALE: 1:100



signage

BUILDING A - EAST FACE

building frontage	permitted area per meter	permitted sign area
52.2m	1.0m ²	52.2m ²

proposed

S-01 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-02 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-03 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-04 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-05 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²
S-06 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²
S-07 - Building Signage	5.0 x 0.95	4.75m ²
total		23.12m²

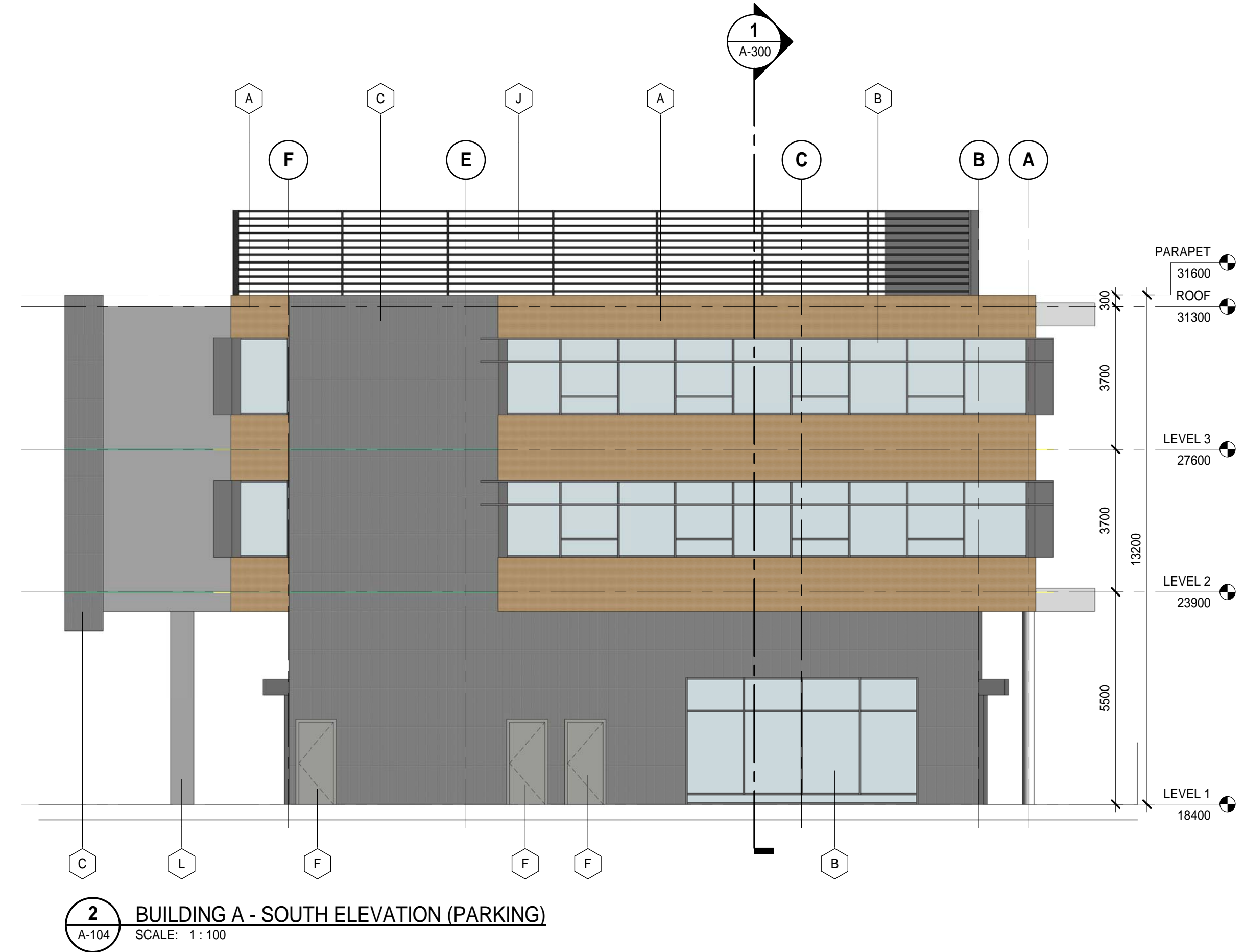
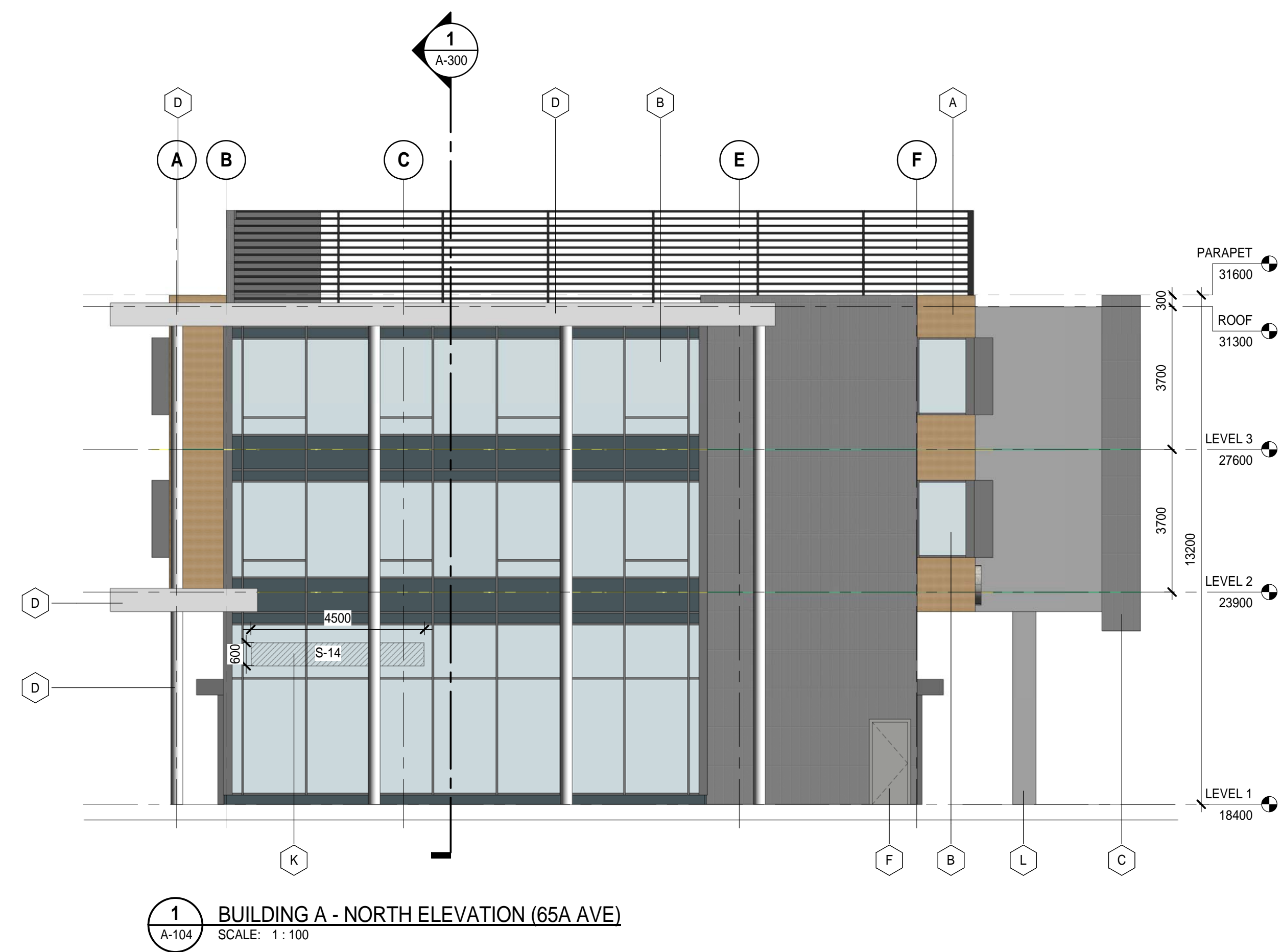
BUILDING A - WEST FACE

building frontage	permitted area per meter	permitted sign area
50.6m	1.0m ²	50.6m ²

proposed

S-08 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-09 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-10 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-11 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-12 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²
S-13 - Building Signage	5.0 x 1.0	5.00m ²
total		20.90m²

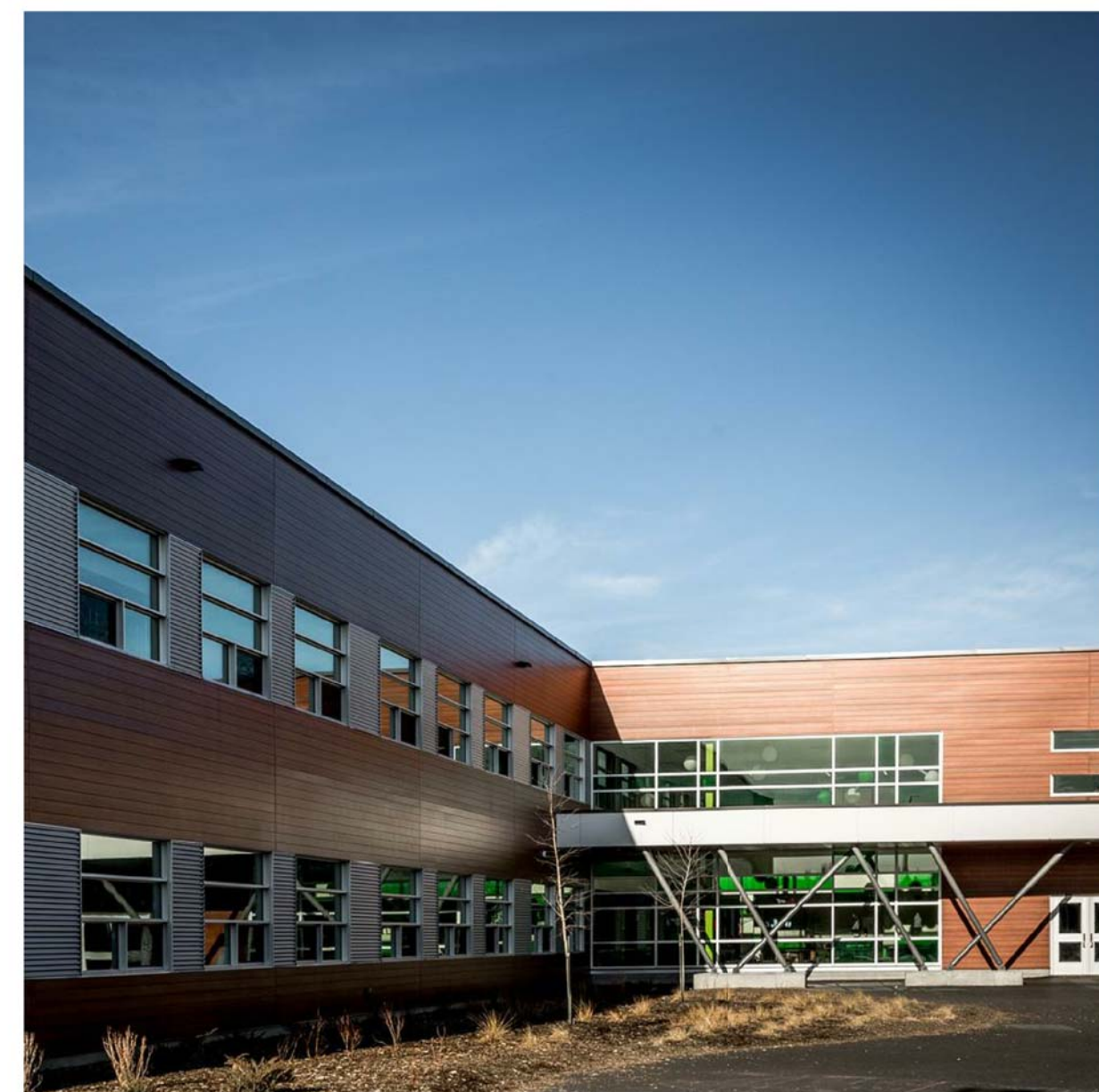
3 BUILDING A - WEST ELEVATION (PARKING)
A-104 SCALE: 1:100



signage
BUILDING A - NORTH FACE

building frontage	permitted area per meter	permitted sign area
18.0m	1.0m ²	18.0m ²
proposed		
S-14 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²
total		2.70m²

EXTERIOR FINISH MATERIAL 'A'



ALUMINUM SOFFIT AND SIDING IN WOOD GRAIN FINISH



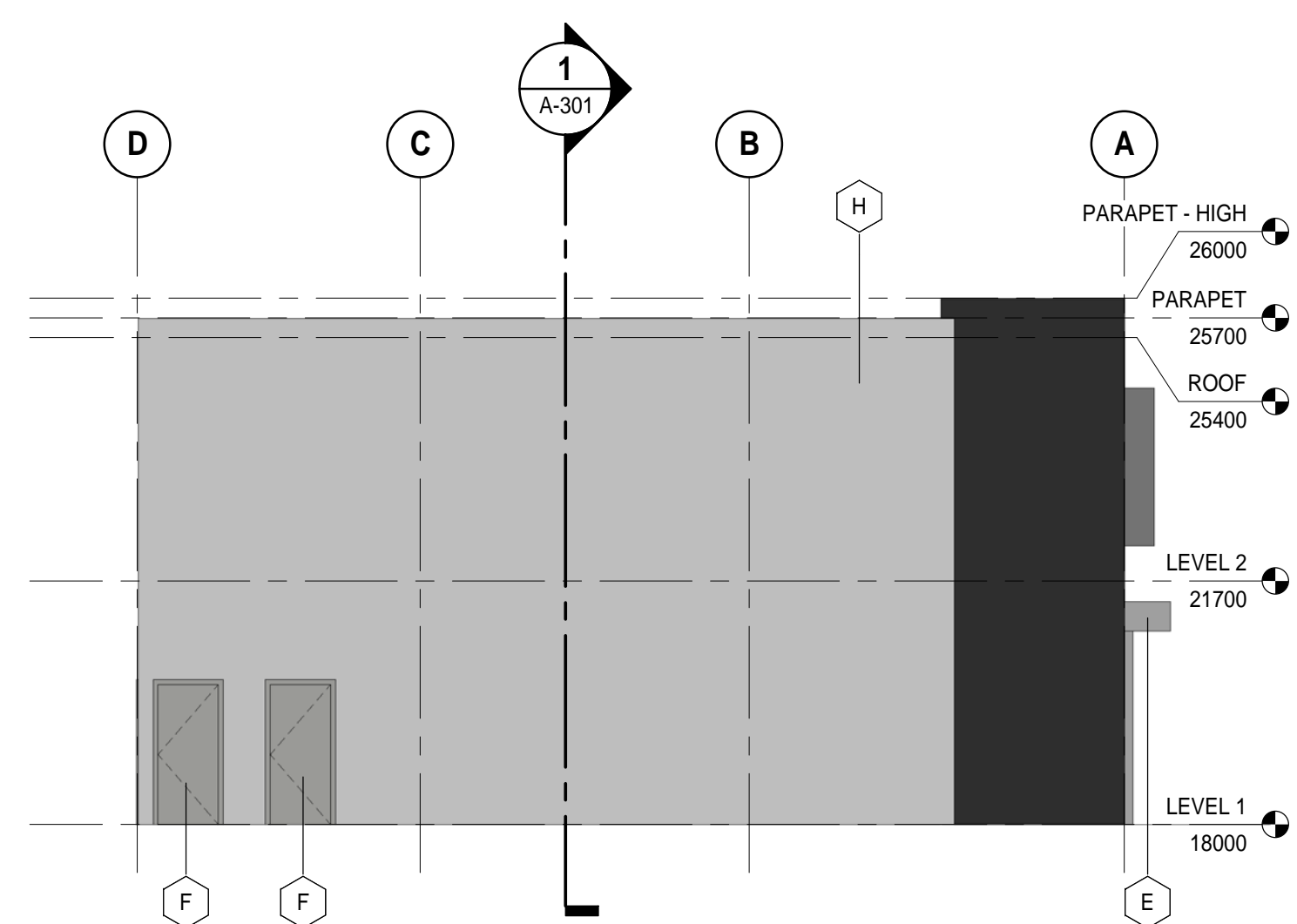
EXTERIOR FINISH MATERIAL 'C'



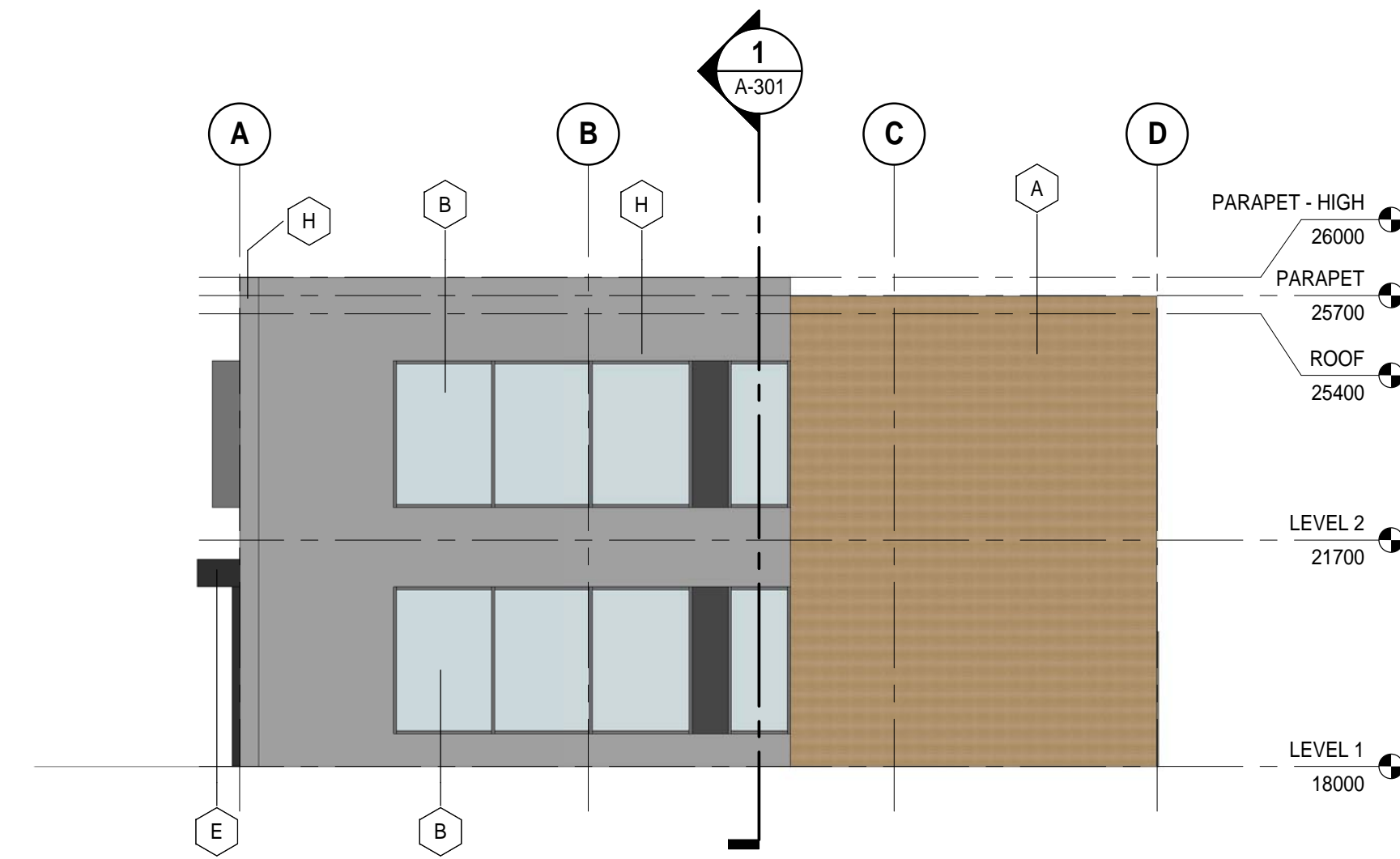
FIBRE CEMENT EXTERIOR CLADDING PANELS IN DARK GRAY FINISH



1 BUILDING B - EAST ELEVATION (PARKING)
A-109 SCALE: 1:100



2 BUILDING B - SOUTH ELEVATION
A-108 SCALE: 1:100



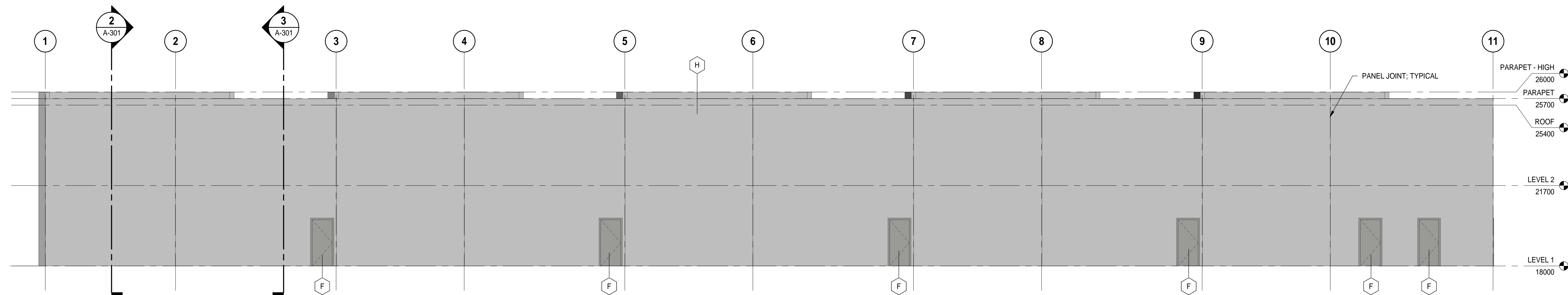
3 BUILDING B - NORTH ELEVATION
A-108 SCALE: 1:100

EXTERIOR FINISH LEGEND	
A	COMPOSITE WALL PANEL; COLOUR - WOOD GRAIN
B	CURTAIN WALL GLAZING; CLEAR ANODIZED; OPERABLE LITES IN LOCATIONS SHOWN
C	CEMENTITIOUS WALL PANEL; COLOUR - DARK GRAY
D	COMPOSITE METAL CLADDING; COLOUR - OFF-WHITE
E	COMPOSITE METAL CLADDING; COLOUR - DARK GRAY
F	METAL DOOR; PAINTED
G	METAL OVERHEAD DOOR; PAINTED
H	CONCRETE; PAINTED
J	LOUVERED MECHANICAL ENCLOSURE; COLOUR - DARK GRAY
K	SIGNAGE
L	COMPOSITE METAL CLADDING; COLOUR - LIGHT GRAY

signage

BUILDING B - EAST FACE

building frontage	permitted area per meter	permitted sign area
67.0m	1.0m ²	67.0m ²
proposed		
S-15 - Tenant Fascia Signage	4.25 x 0.6	2.55m ²
S-16 - Tenant Fascia Signage	4.25 x 0.6	2.55m ²
S-17 - Tenant Fascia Signage	4.25 x 0.6	2.55m ²
S-18 - Tenant Fascia Signage	4.25 x 0.6	2.55m ²
S-19 - Tenant Fascia Signage	4.25 x 0.6	2.55m ²
total		12.75m²



4 BUILDING B - WEST ELEVATION
A-108 SCALE: 1:100



VIEW AT CORNER OF 65A AVE AND 177B STREET



VIEW AT 177B STREET



VIEW AT 65A AVE



VIEW OF WAREHOUSE FROM PARKING

QUALICO OFFICE AND WAREHOUSE

LANDSCAPE ARCHITECTURAL DRAWINGS

PREPARED BY CONNECT LANDSCAPE ARCHITECTURE

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DRAWING LIST

- L0.0 COVER PAGE
- L0.1 TREE PROTECTION PLAN
- L1.0 LANDSCAPE CONCEPT PLAN
- L1.1 LANDSCAPE SITE PLAN
- L1.2 ENLARGEMENT PLAN: OFFICE BUILDING
- L1.3 ENLARGEMENT PLAN: WAREHOUSE
- L2.0 PLANTING PLAN
- L3.0 LANDSCAPE SECTIONS
- L3.1 LANDSCAPE SECTIONS
- L4.0 LANDSCAPE MATERIALS
- L5.0 HARDSCAPE DETAILS
- L5.1 FURNISHING DETAILS
- L5.2 PLANTING DETAILS

3	RE-ISSUED FOR CITY REVIEW	18-05-02
2	ISSUED FOR CITY REVIEW	18-03-02
1	ISSUED FOR DP	17-11-20

REVISIONS

QUALICO OFFICE BUILDING AND WAREHOUSE

Surrey, British Columbia

Scale: 1:200

Drawn: OM/YL

Reviewed: DS

Project No. 06-564

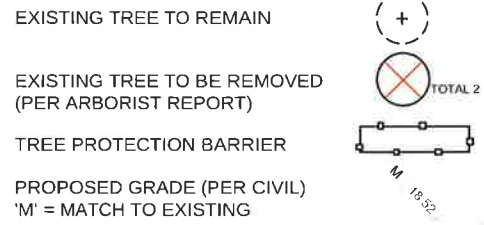
COVER PAGE

L0.0

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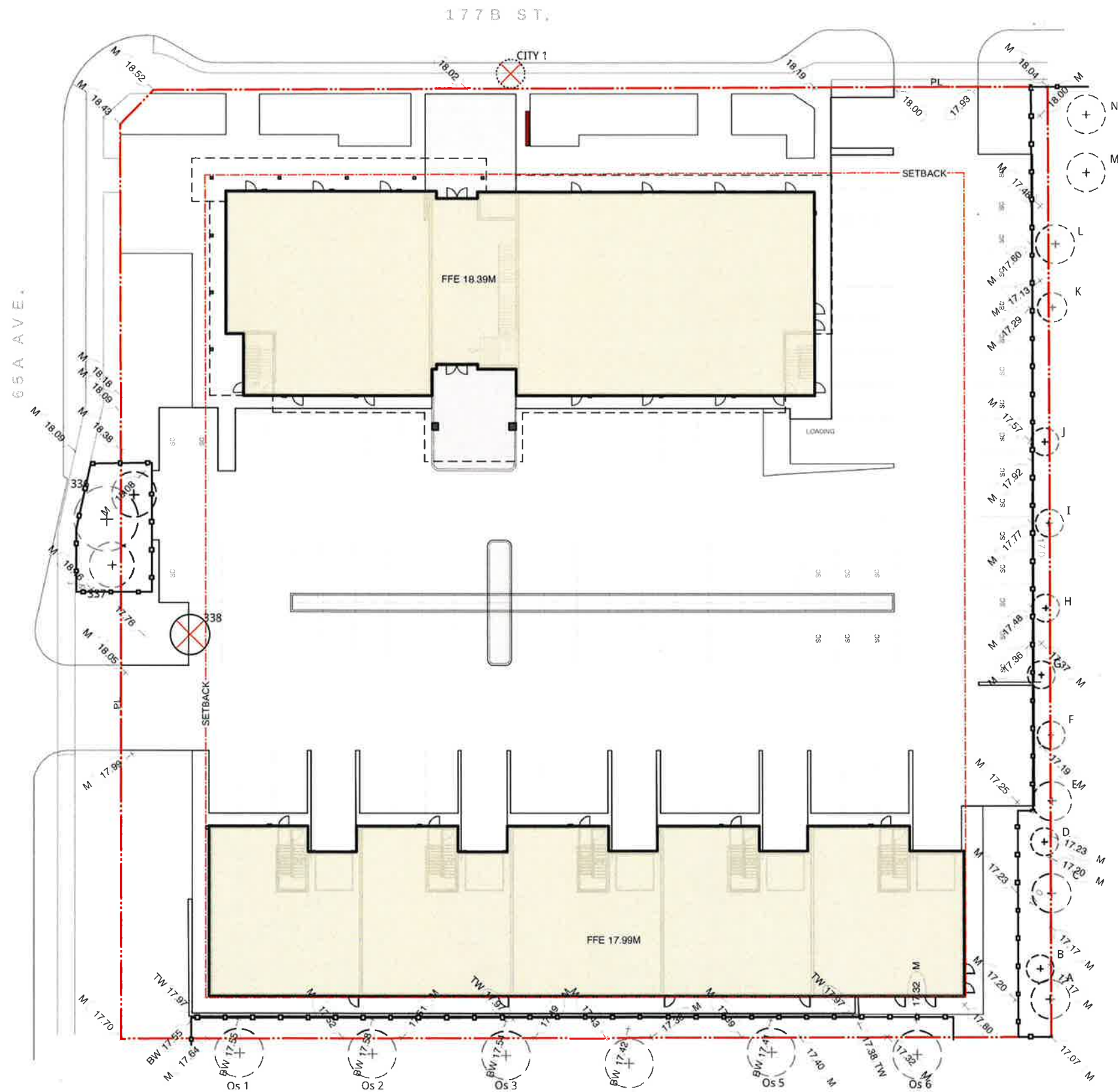
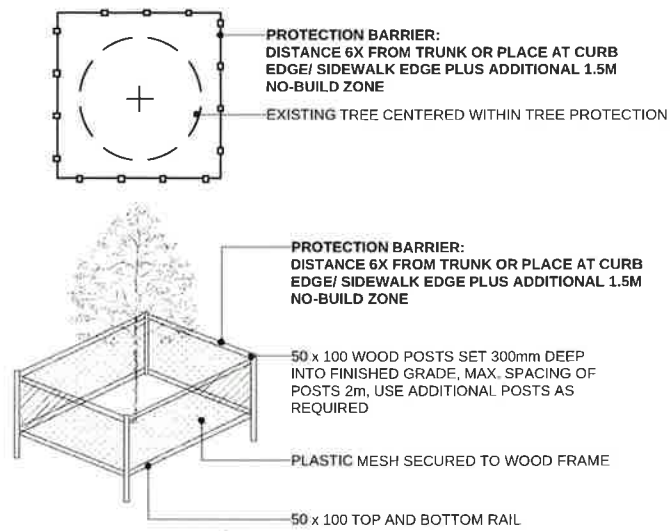
TREE PROTECTION LEGEND



TREE PROTECTION NOTES

1. REFER TO CERTIFIED ARBORIST REPORT TO VERIFY INFORMATION REGARDING EXISTING TREES TO BE RETAINED/REMOVED AND TREE RETENTION VIABILITY.
2. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
3. INSTALL TREE PROTECTION BARRIERS AROUND ALL TREES TO BE PRESERVED. REFER TO CITY OF SURREY TREE PROTECTION REQUIREMENTS.
4. INFORM THE CITY OF SURREY ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED AND PRIOR TO CONSTRUCTION. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS BEFORE CONSTRUCTION BEGINS.
5. ARBORIST TO BE ON-SITE FOR WORK WITHIN OR NEAR TREE PROTECTION ZONES.

TREE PROTECTION DETAIL

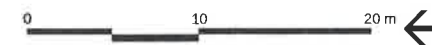


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QUALICO OFFICE BUILDING AND WAREHOUSE
Surrey, British Columbia

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TREE PROTECTION PLAN



LANDSCAPE PROGRAM

THE LANDSCAPE PROGRAM RESPONDS TO THE SURROUNDING SITE CONTEXT AND PROPOSED ARCHITECTURAL FORM.

THE **SHELTERED PLAZA** SCREENS VIEWS OF THE INDUSTRIAL BUILDING TO THE NORTH AND FOCUSES ATTENTION ON THE PROPOSED BUILDING. THE **OUTDOOR PATIO** SERVES TO ACTIVATE THE 177B AND 65A INTERSECTION. THE **RAIN GARDEN** PROVIDES STORMWATER MANAGEMENT BENEFITS WHILE BUFFERING THE OFFICE BUILDING FROM THE PROPOSED WAREHOUSE STRUCTURE, WHILE **EXISTING TREES** ARE RETAINED AROUND THE SITE TO PROVIDE SCREENING AND MATURE TREE CANOPY.

INSPIRATION

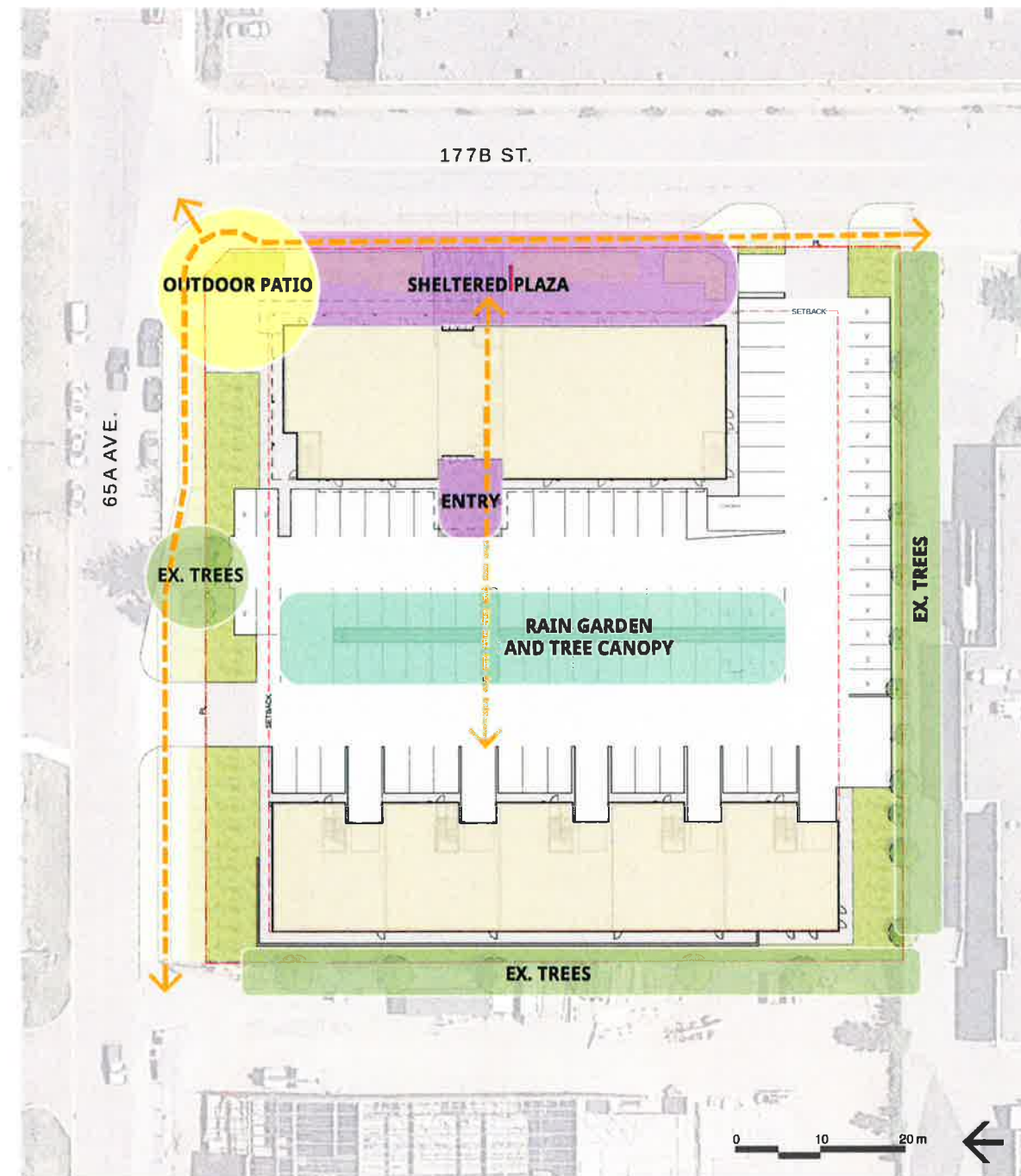
THE LANDSCAPE MATERIAL PALETTE TAKES INSPIRATION FROM THE BUILDING ARCHITECTURE.

KEY COMPONENTS INCLUDE:

- HORIZONTAL TIMBER SLATS AS BENCHES AND SCREEN
- COOL GREY RECTILINEAR PAVING PATTERNS
- CONTRASTING WARMTH THROUGH THE USE OF WEATHERED STEEL
- LINEAR PLANT MASSING



ARCHITECTURAL RENDERING



CONCEPT DIAGRAM



WEATHERED STEEL
MATERIAL PALETTE



WOOD



PLANTING



UNIT PAVER



SAWCUT CONCRETE

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QUALICO OFFICE
BUILDING AND
WAREHOUSE
Surrey, British Columbia

Scale:	1:350
Drawn:	OM
Reviewed:	DS
Project No.	06-564

LANDSCAPE
CONCEPT PLAN

MATERIALS LEGEND

HARDSCAPE (DETAILS L5.0)

- CONCRETE PAVING
SAWCUT WITH SANDBLAST FINISH 
- DECORATIVE PAVING
SAWCUT VEHICULAR PAVING 
- WEATHERED STEEL EDGER
FLUSH TO 300MM 
- CONCRETE UNIT PAVER
LINEAR, PEDESTRIAN 
- FEATURE SIGNAGE
PER ARCHITECTURAL 
- RETAINING WALL
CHARCOAL UNIT BLOCK <610MM TALL 

FURNISHINGS (DETAILS L5.1)

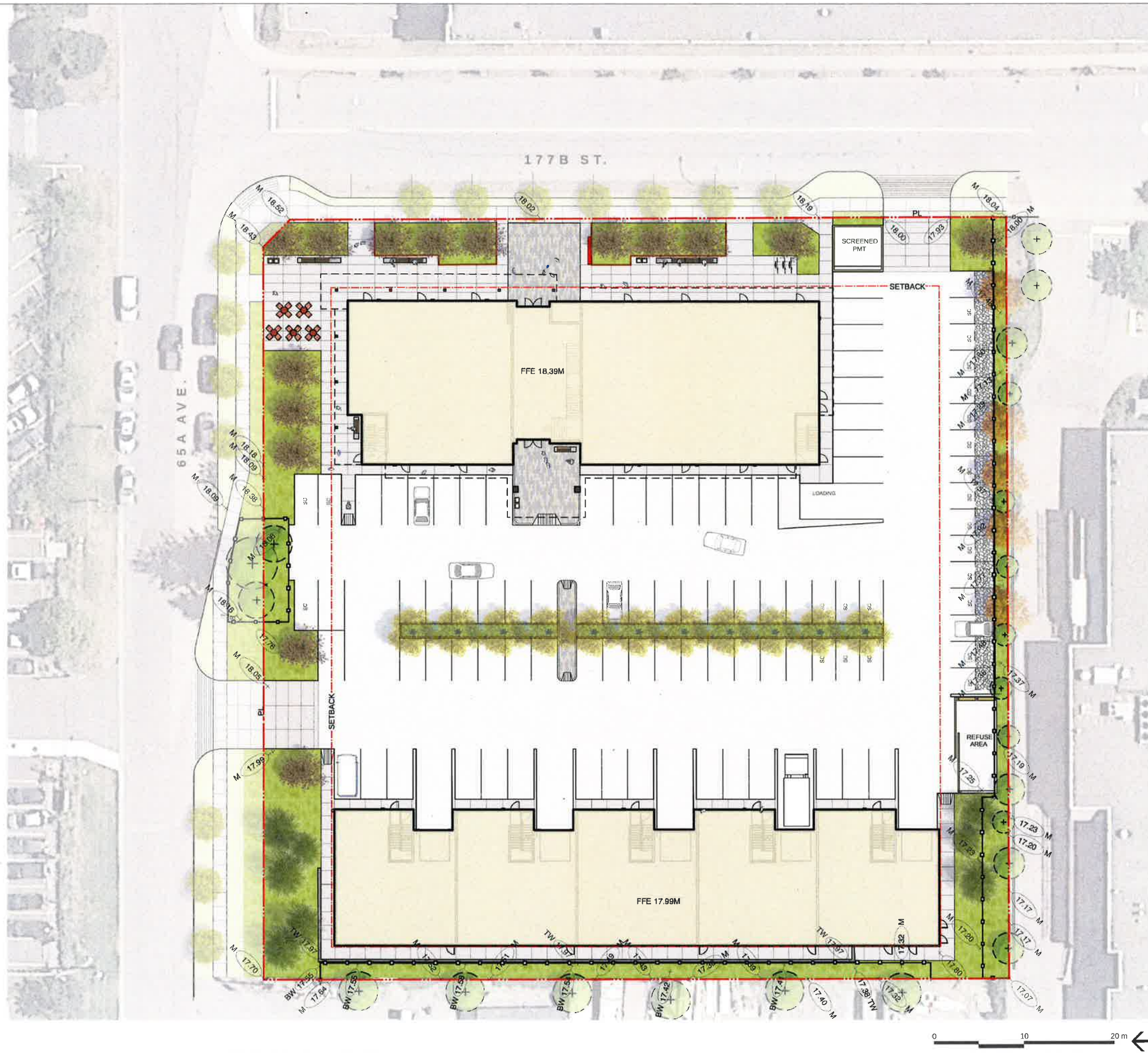
- BENCHES
CIP CONCRETE AND TIMBER SLATS 
- TABLES AND CHAIRS
STEEL FRAME 
- TRASH/RECYCLING RECEPTACLE
STEEL FRAME AND TIMBER SLATS 
- TRASH & PMT ENCLOSURE
STEEL FRAME AND TIMBER SLATS 
- BIKE RACK 

PLANTING (DETAILS L5.2)

- PLANTING
DROUGHT TOLERANT 
- LAWN/GRASS
CITY BOULEVARD 
- RAIN GARDEN 
- PROPOSED STREET TREE
PER CITY OF SURREY STANDARD 
- PROPOSED PARKING LOT TREE
CANOPY TREE W/STRUCTURAL SOIL 
- PROPOSED DECIDUOUS TREE
MEDIUM SIZE, ORNAMENTAL 
- PROPOSED EVERGREEN TREE
SCREENING 
- PROPOSED RAIN GARDEN TREE 
- EXISTING TREE WITH
PROTECTION FENCING PER L0.1
AND ARBORIST REPORT 
- STRUCTURAL SOIL TRENCH 

MATERIALS NOTES

1. THE LAYOUT OF ALL HARDSCAPE, SITE FURNITURE, PLANTING BEDS ARE TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE CONSULTANT PRIOR TO INSTALLATION.
2. ALL SUBSTITUTIONS OF SPECIFIED MATERIAL TO BE APPROVED BY THE CONSULTANT AS EQUIVALENT.
3. ALL OFF-SITE WORK TO CONFORM TO CITY OF SURREY STANDARDS AND REQUIREMENTS.



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QUALICO OFFICE BUILDING AND WAREHOUSE

Surrey, British Columbia

Scale:	1:200
Drawn:	OM
Reviewed:	DS
Project No.:	06-564

LANDSCAPE SITE PLAN

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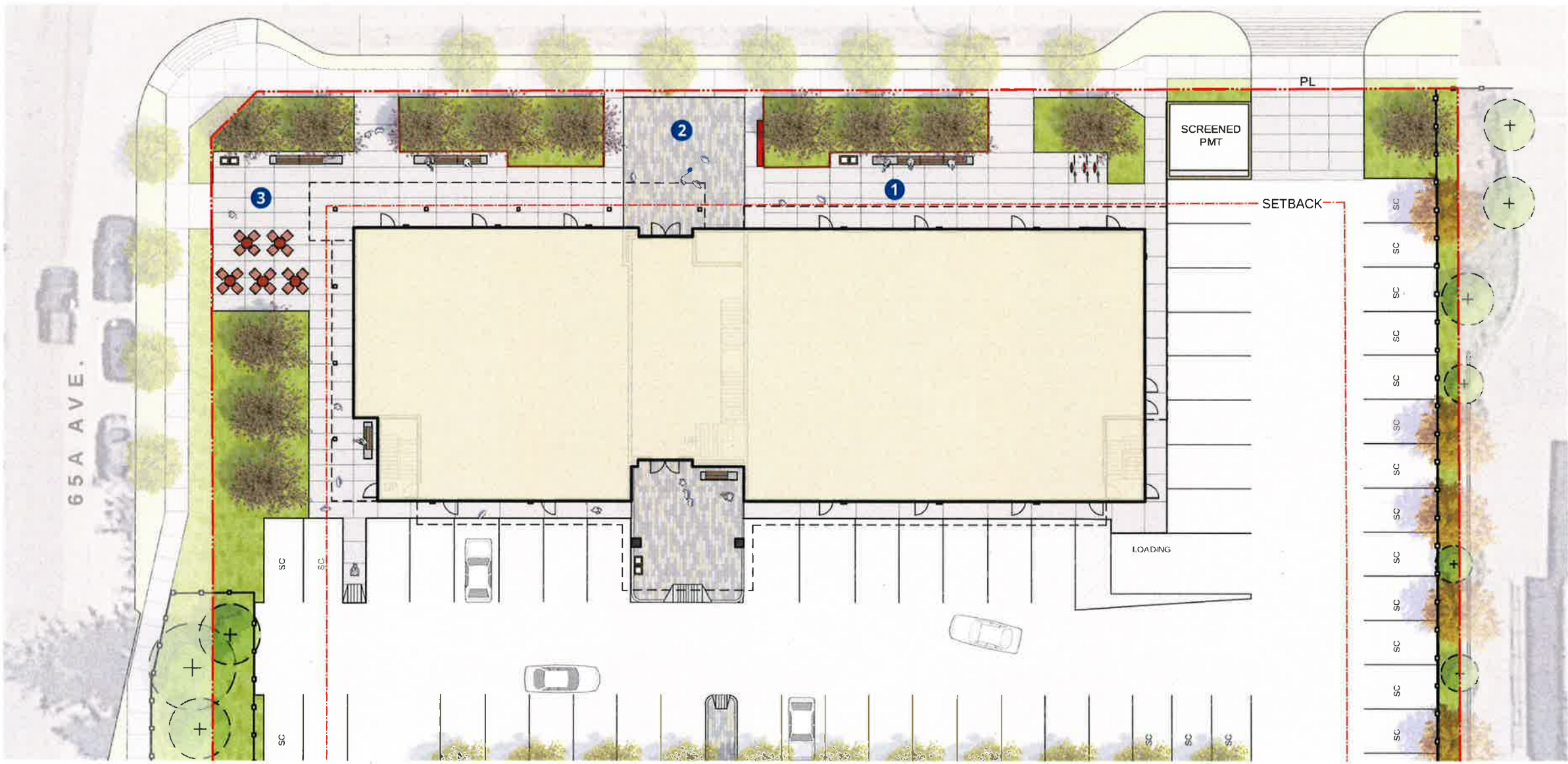
1 SHELTERED PLAZA



2 ENTRY PLAZA



3 OUTDOOR PATIO



REVISIONS		
3	RE-ISSUED FOR CITY REVIEW	18-05-02
2	ISSUED FOR CITY REVIEW	18-03-02
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QUALICO OFFICE BUILDING AND WAREHOUSE
Surrey, British Columbia

Scale: 1:150
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Project No. 06-564

**ENLARGEMENT PLAN:
OFFICE BUILDING**



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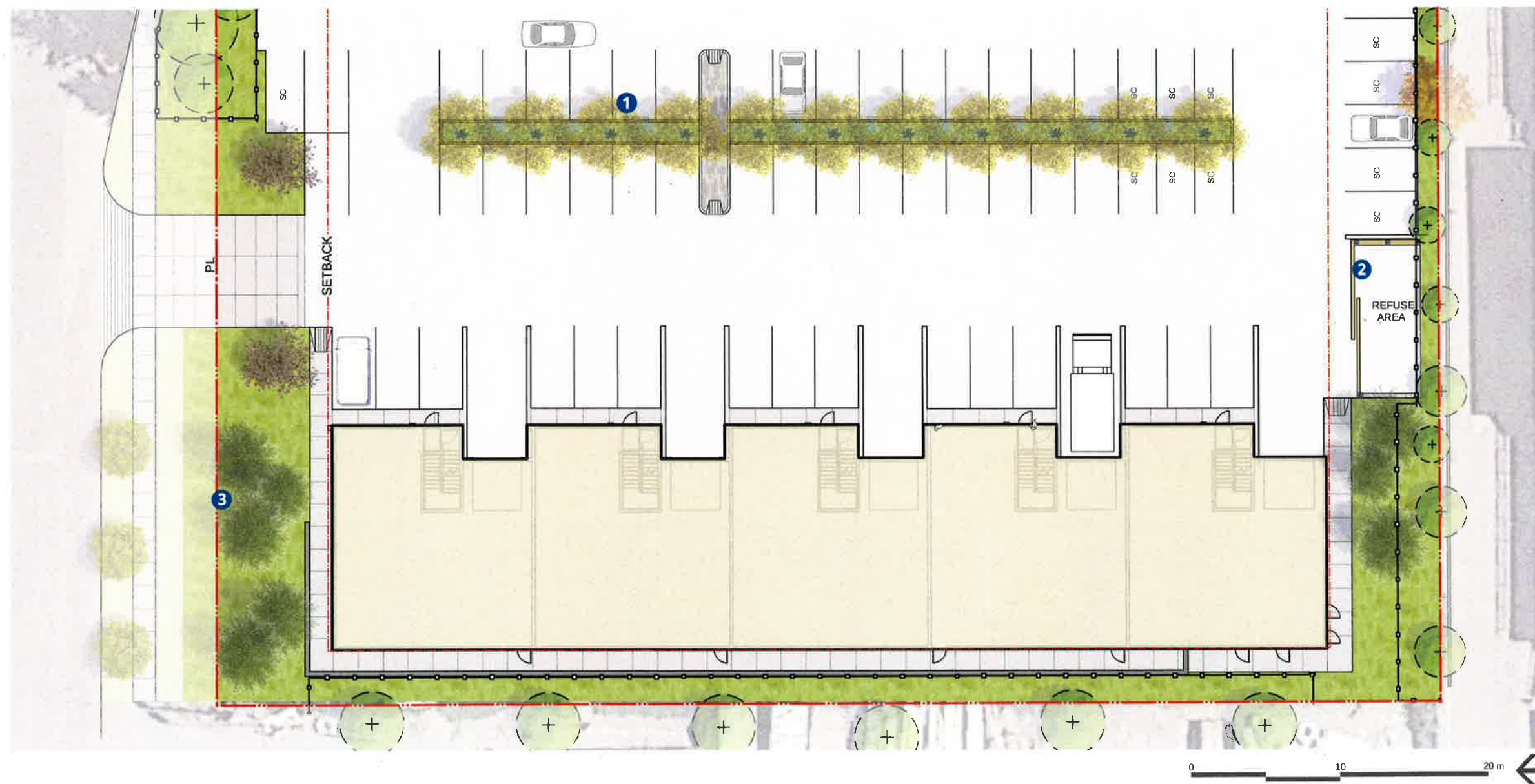
1 RAIN GARDEN



2 SCREENED REFUSE / PMT



3 CONIFER SCREEN



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QUALICO OFFICE
BUILDING AND
WAREHOUSE

Surrey, British Columbia

Scale: 1:150

Drawn: OM

Reviewed: DS






Project No. 06-564

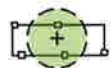
ENLARGEMENT PLAN:
WAREHOUSE

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREE					
	5*	ACER RUBRUM 'SUN VALLEY'	SUN VALLEY RED MAPLE	6CM CAL.	
	14	MAGNOLIA STELLATA 'ROYAL STAR'	STAR MAGNOLIA	6CM CAL.	MULTI-BRANCHED SPECIMEN
	14	TBD	FINAL STREET TREES SPECIES TO BE APPROVED BY CITY OF SURREY		
	8	PINUS NIGRA	AUSTRIAN PINE	3.5M HEIGHT	SCULPTED OPEN FORM
	11*	STEWARTIA KOREANA	KOREAN STEWARTIA	6CM CAL.	
*TOTAL PARKING LOT TREES = 16 (93 STALLS DIVIDED BY 6 TREES PER = 15.5)					



EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCING PER L0.1 AND ARBORIST REPORT


SRHUBS, GRASSES & GROUNDCOVERS (1025m²)

	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	10CM POT	300MM O.C.
	BLECHNUM SPICANT	DEER FERN	NO. 1 POT	450MM O.C.
	BUXUS SEMPERVIRENS	COMMON BOX	NO. 3 POT	400MM O.C.
	CAREX ELATA 'AUREA'	BOWLES' GOLDEN SEDGE	NO. 1 POT	400MM O.C.
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	IDAHO BLUE FESCUE	NO. 1 POT	300MM O.C.
	GAULTHERIA PROCUMBENS	WINTERGREEN	NO. 1 POT	300MM O.C.
	JUNIPERUS SQAMATA 'BLUE STAR'	BLUE STAR JUNIPER	NO. 2 POT	450MM O.C.
	MAHONIA NERVOSA	LOW OREGON GRAPE	NO. 2 POT	600MM O.C.
	SYMPHORICARPOS CHENAULTII 'HANCOCK'	HANCOCK SNOWBERRY	NO. 2 POT	600MM O.C.
	SKIMMIA JAPONICA 'RUBELLA'	SKIMMIA 'RUBELLA'	NO. 2 POT	600MM O.C.
	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	NO. 3 POT	600MM O.C.

RAIN GARDEN (110m²)

	JUNCUS EFFUSUS	COMMON RUSH	PLUG	300MM O.C.
	CAREX STIPATA	DEER FERN	PLUG	450MM O.C.

LAWN

 STANDARD CLASS 2 SOD TO MATCH CANADIAN LANDSCAPE STANDARD

STRUCTURAL SOIL

 MINIMUM 10CU.M. PER TREE

PLANTING NOTES:

- ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.
- IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
- FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.



0 10 20 m

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QUALICO OFFICE BUILDING AND WAREHOUSE

Surrey, British Columbia

Scale: 1:200

Drawn: OM

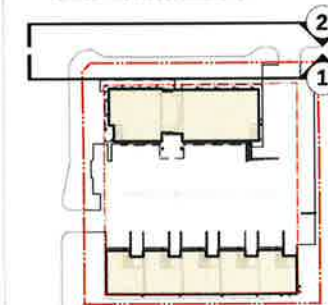
Reviewed: DS

Project No. 06-564

PLANTING PLAN

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KEYPLAN (NTS)

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REVISIONS

QUALICO OFFICE BUILDING AND WAREHOUSE

Surrey, British Columbia

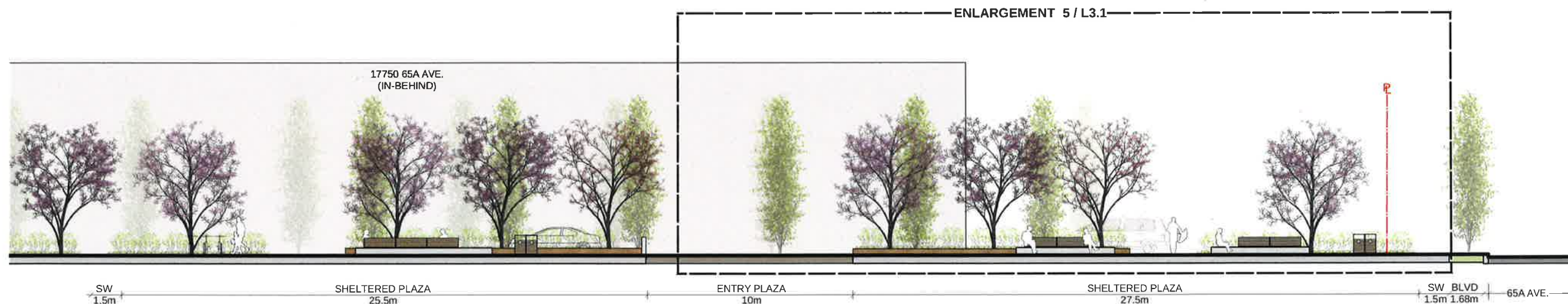
Scale: AS SHOWN

Drawn: OM

Reviewed: DS

Project No. 06-564

LANDSCAPE ELEVATIONS



1 SECTION THROUGH OFFICE BUILDING FRONTAGE LOOKING EAST
Scale 1:100

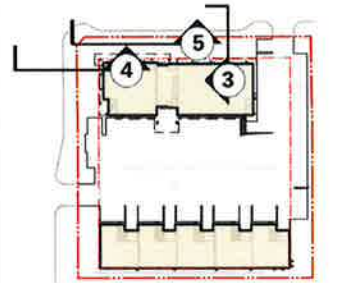


2 SECTION THROUGH 177B ST. LOOKING WEST
Scale 1:100



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KEYPLAN (NTS)



3 SECTION THROUGH ENTRY PLAZA
Scale 1:50



4 SECTION THROUGH OUTDOOR PATIO
Scale 1:50



5 SECTION THROUGH SHELTERED PLAZA
Scale 1:50



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SITE FURNISHINGS



PLANTING AND LIGHTING CHARACTER

3	RE ISSUED FOR CITY REVIEW	18 05 02
2	ISSUED FOR CITY REVIEW	18 03 02
1	ISSUED FOR DP	17 11 20

REVISIONS

QUALICO OFFICE BUILDING AND WAREHOUSE

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LANDSCAPE MATERIALS

CONNECT LANDSCAPE ARCHITECTURE INC DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS

3	RE-ISSUED FOR CITY REVIEW	18-05-02
2	ISSUED FOR CITY REVIEW	18-03-02
1	ISSUED FOR DP	17-11-20

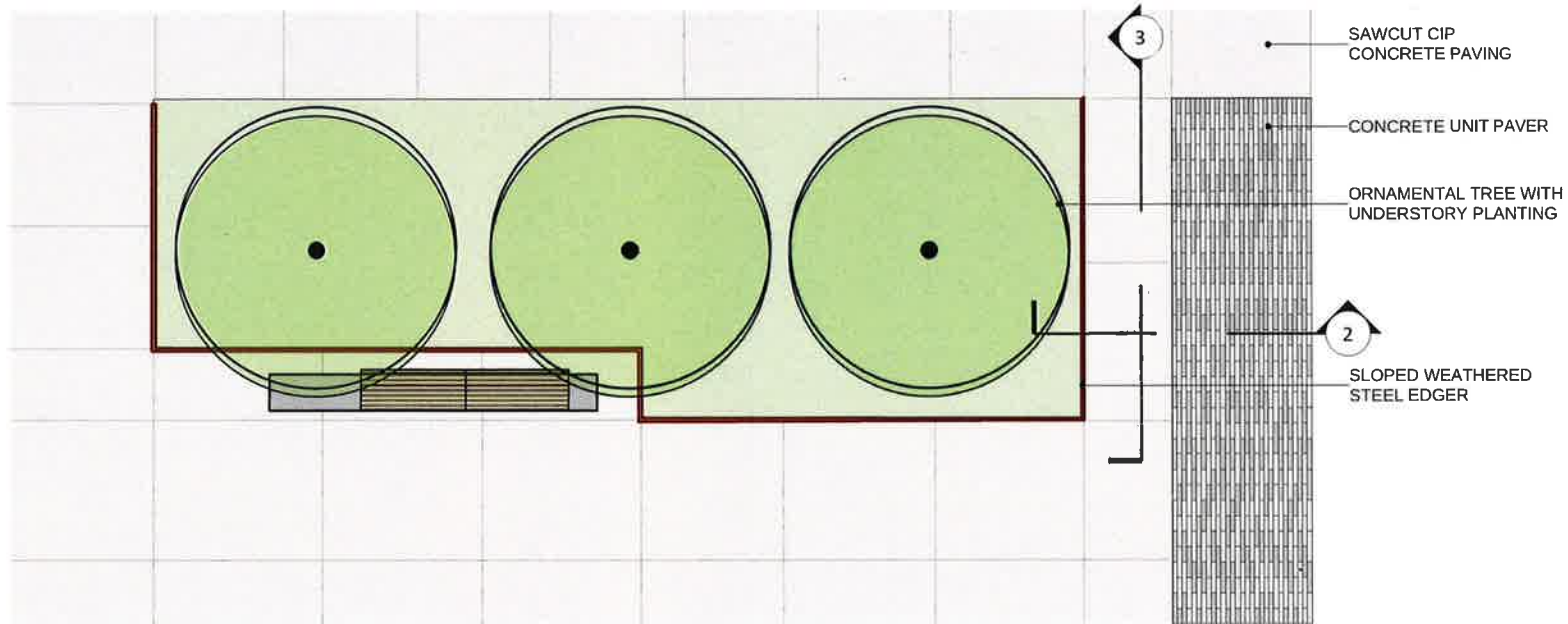
REVISIONS

QUALICO OFFICE BUILDING AND WAREHOUSE

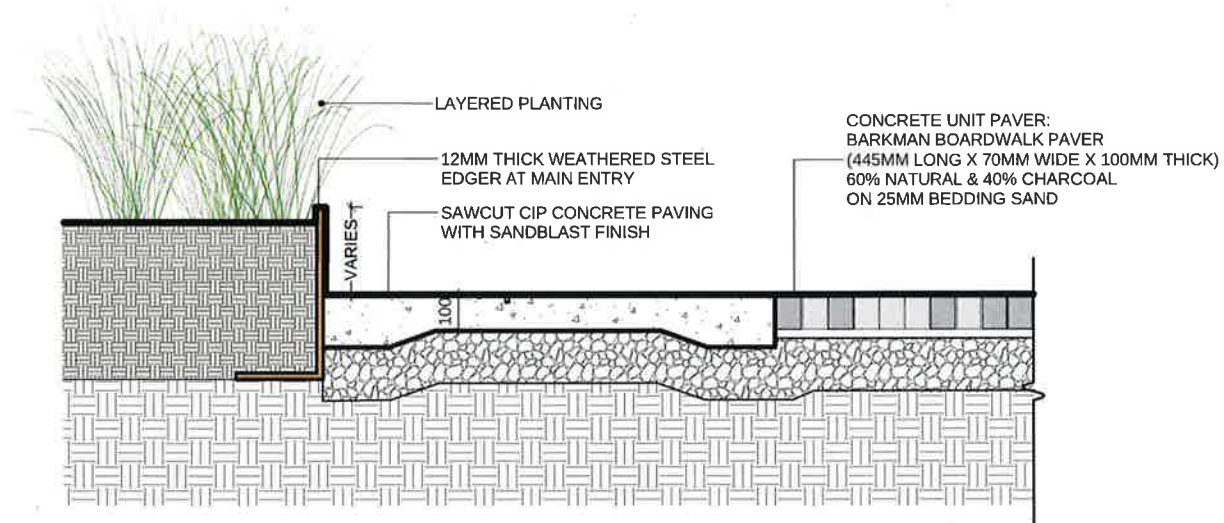
Surrey, British Columbia

Scale:	AS SHOWN
Drawn:	OM
Reviewed:	DS
Project No.	06-564

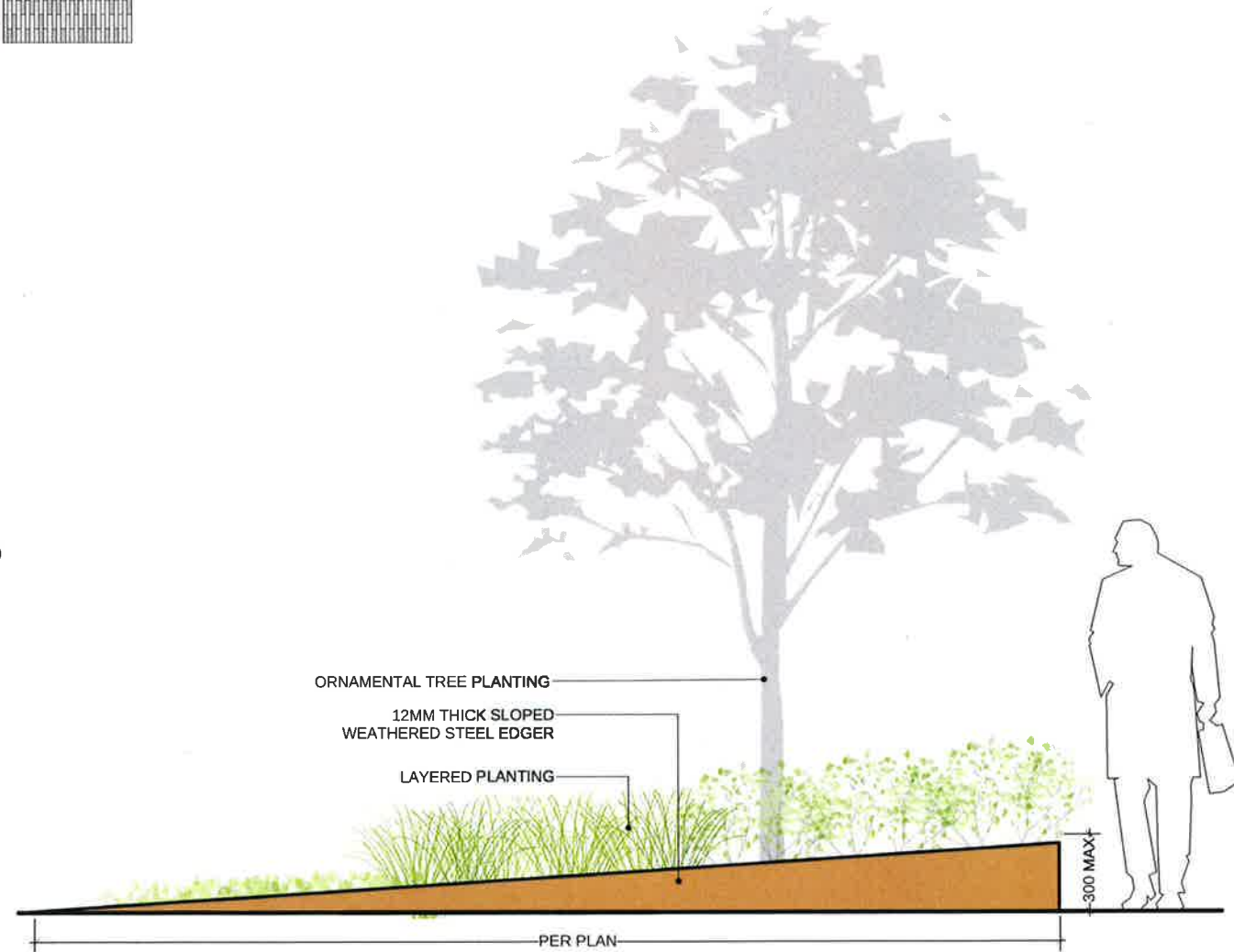
HARDSCAPE DETAILS



1 NORTH ENTRY PLAZA ENLARGEMENT
Scale: 1:50



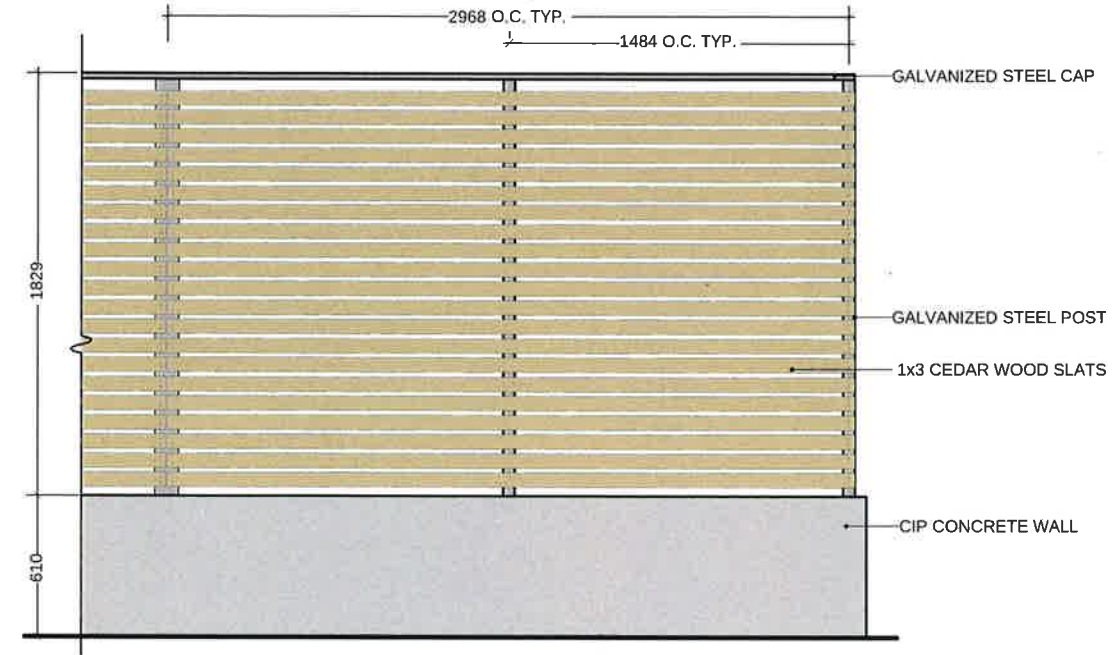
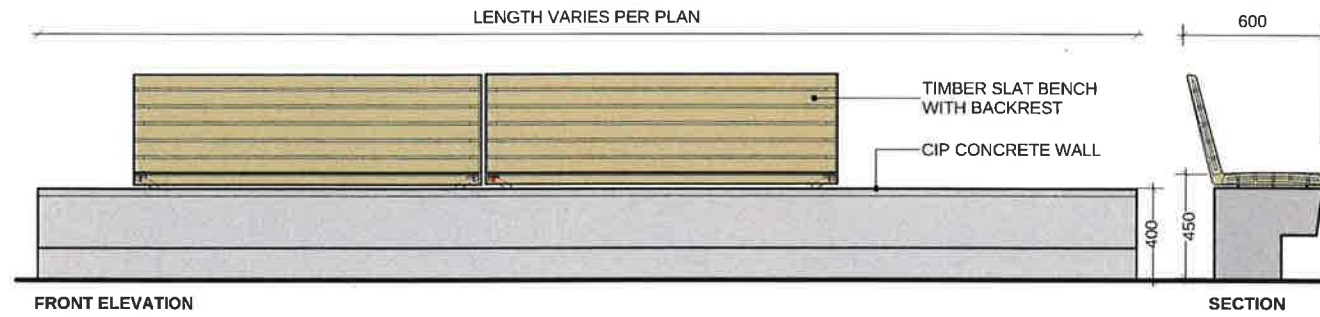
2 PAVING SECTION AT MAIN ENTRY
Scale: 1:10



3 ELEVATION AT PLANTING WITH WEATHERED STEEL EDGER
Scale: 1:15

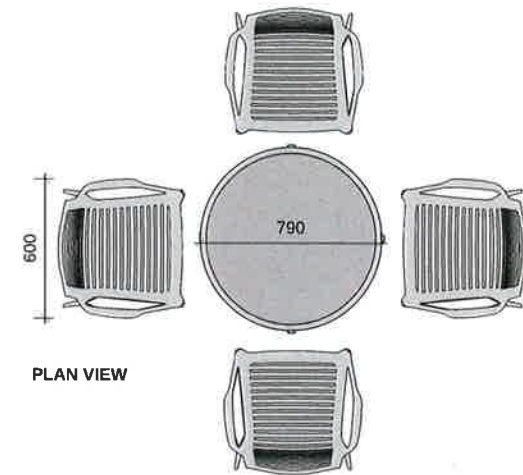
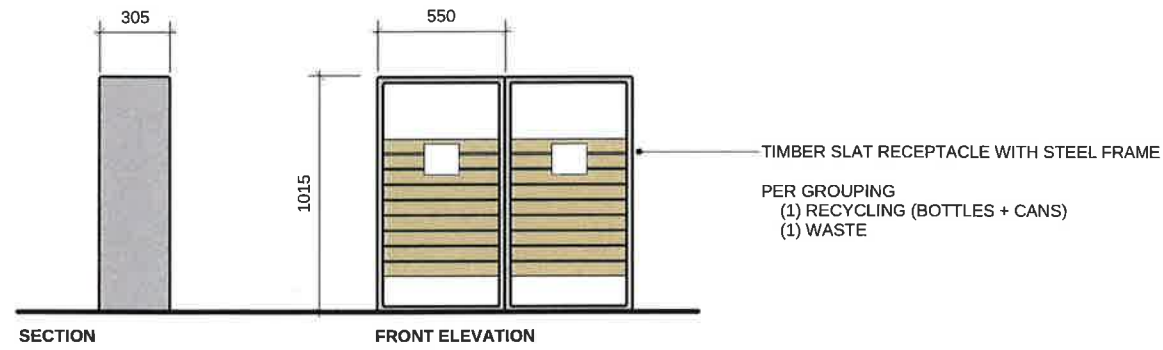
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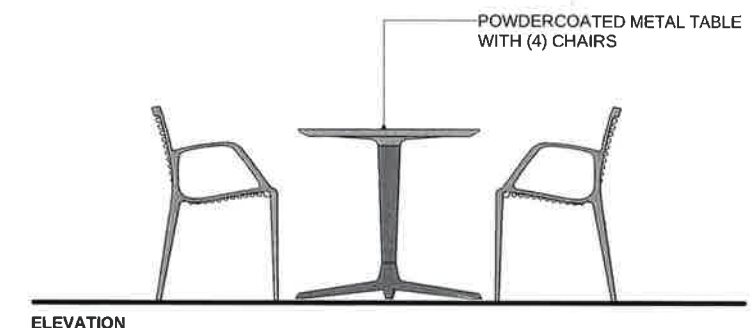


1 CONCRETE SEATING WALL
Scale: 1:15

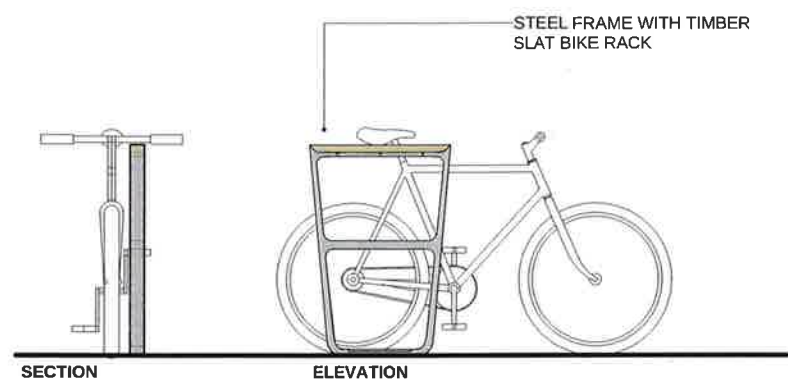
2 UTILITY ENCLOSURE
Scale: 1:15



3 WASTE / RECYCLING RECEPTACLES
Scale: 1:15



5 PATIO TABLES
Scale: 1:15



4 BIKE RACK
Scale: 1:15

NO.	REVISIONS	DATE
3	RE-ISSUED FOR CITY REVIEW	18-05-02
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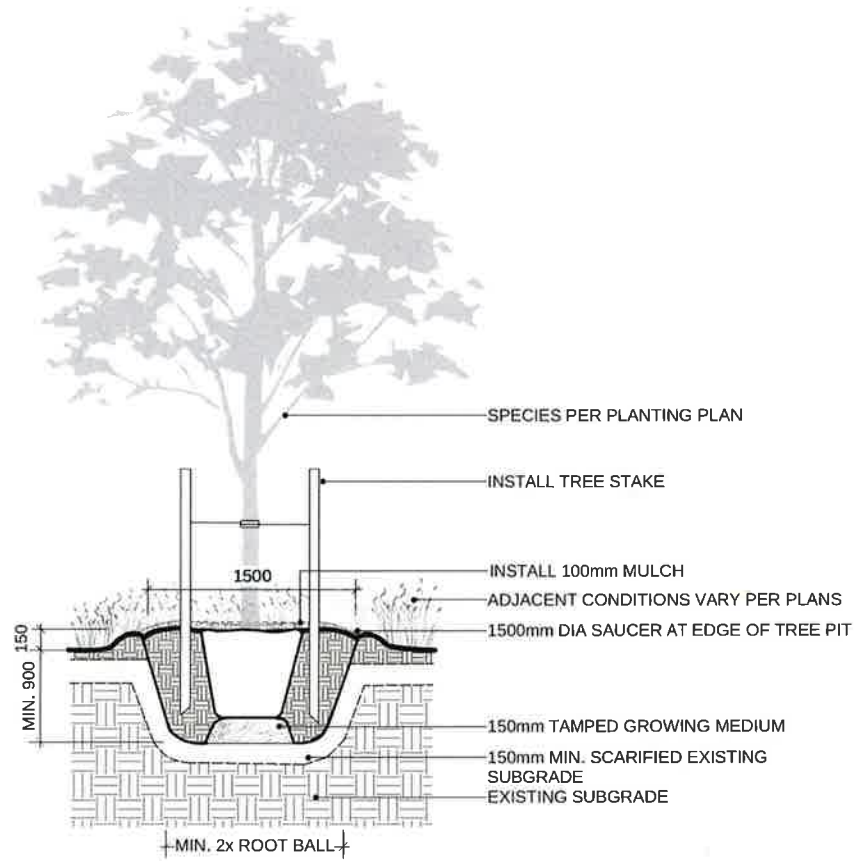
QUALICO OFFICE BUILDING AND WAREHOUSE
Surrey, British Columbia

Scale:	AS SHOWN
Drawn:	OM
Reviewed:	DS
Project No.	06-564

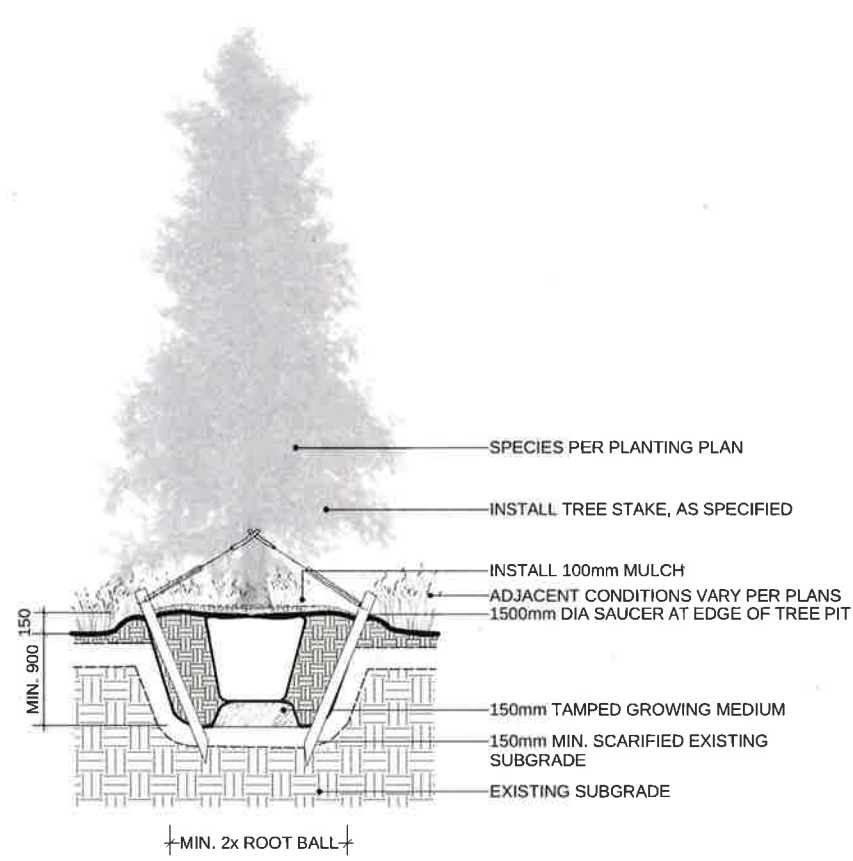
FURNISHING DETAILS

CONNECT LANDSCAPE ARCHITECTURE INC DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE

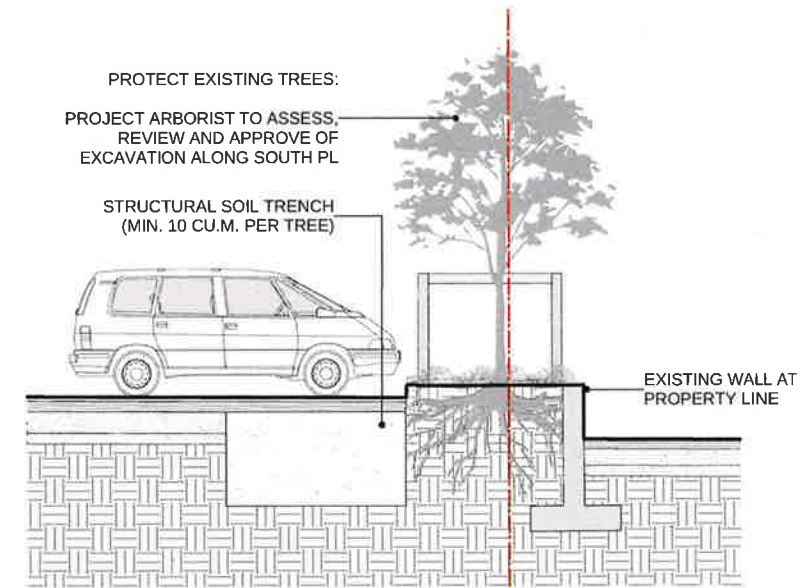
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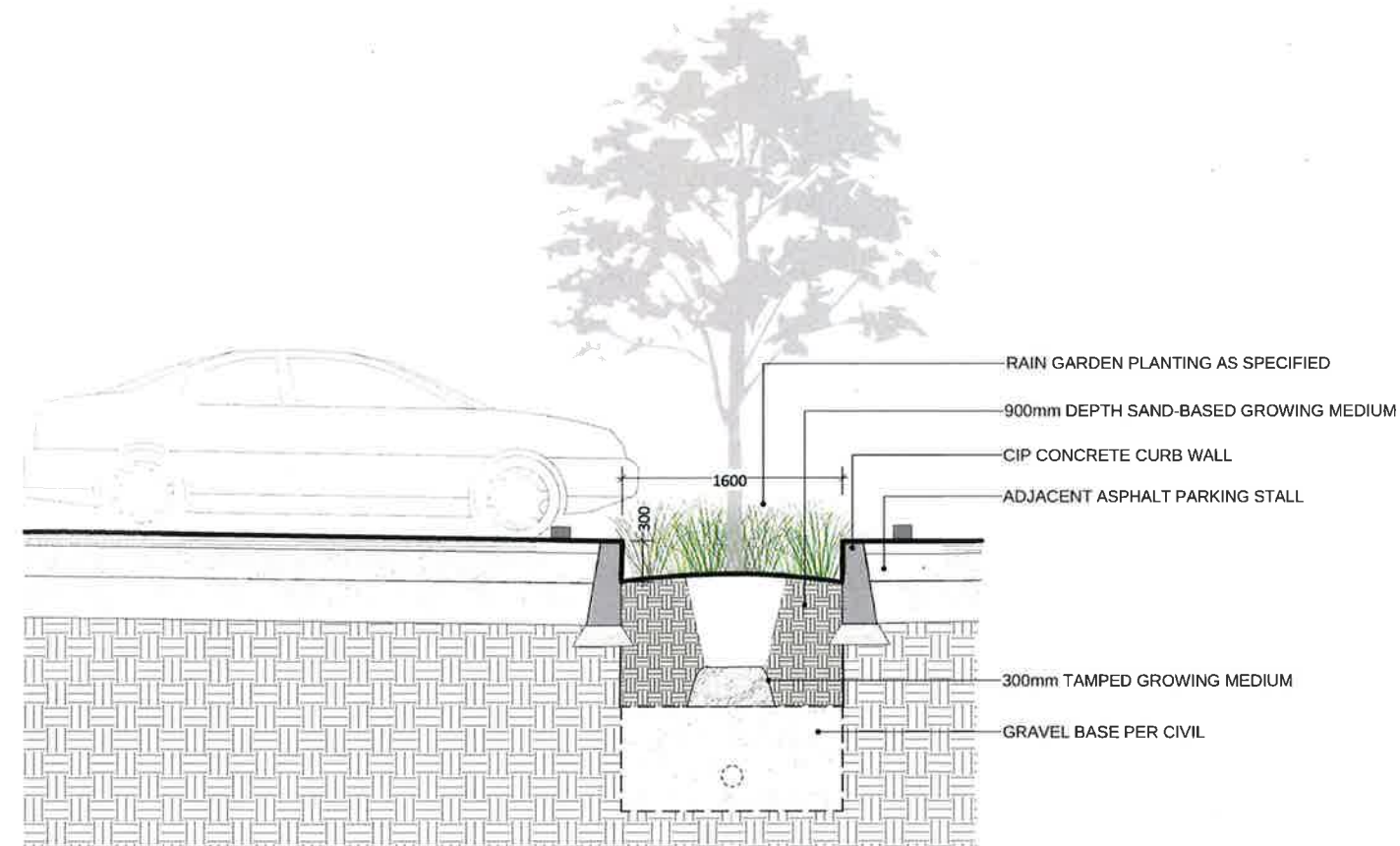
1 DECIDUOUS TREE PLANTING, TYP.
Scale: 1:25



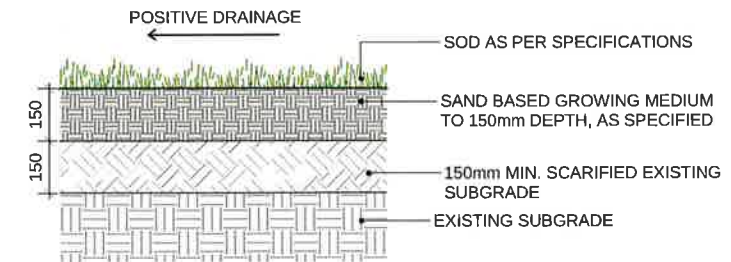
2 EVERGREEN TREE PLANTING, TYP.
Scale: 1:25



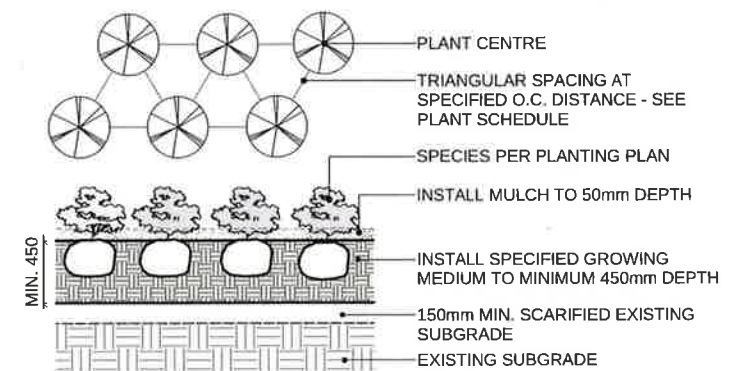
4 STRUCTURAL SOIL AND TREE PROTECTION ZONE
Scale: 1:50



3 RAIN GARDEN PLANTING, TYP.
Scale: 1:25



5 SOD LAWN, TYP.
Scale: 1:10



6 PLANTING, TYP.
Scale: 1:25

3	RE-ISSUED FOR CITY REVIEW	18-05-02
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REVISIONS

**QUALICO OFFICE
BUILDING AND
WAREHOUSE**

Surrey, British Columbia

Scale:	AS SHOWN
Drawn:	OM
Reviewed:	DS
Project No.	06-564

**PLANTING
DETAILS**

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: May 02, 2018 **PROJECT FILE: 7817-0388-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 17714/17740 - 65A Avenue**

REZONE/SUBDIVISION

Works and Services

- Construct south side of 65A Avenue to Local Through Road standard.
- Construct 9.0 metre concrete letdowns at each of the proposed driveway accesses.
- Provide on-lot source controls in accordance with the Cloverdale-McLellan Integrated Stormwater Management Plan (ISMP) along with a water quality/sediment control inlet chamber.
- Provide water, storm, and sanitary service connections to service the proposed development.
- Register legal documents as determined through Detailed Design process.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager
MB


Table 3. Tree Preservation Summary.

TREE PRESERVATION SUMMARY

Surrey Project No: 17-0388
 Address: 17714 and 17740 65A Ave
 Registered Arborist: Michael Harrhy, B.Sc., MSFM
 ISA Certified Arborist (PN-8025A)
 ISA Qualified Tree Risk Assessor (TRAQ)
 Forester in Training
 Biologist in Training

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	12
Protected Trees to be Removed	2
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	10
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	4
- All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 4	
Replacement Trees Proposed	39
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	-
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	

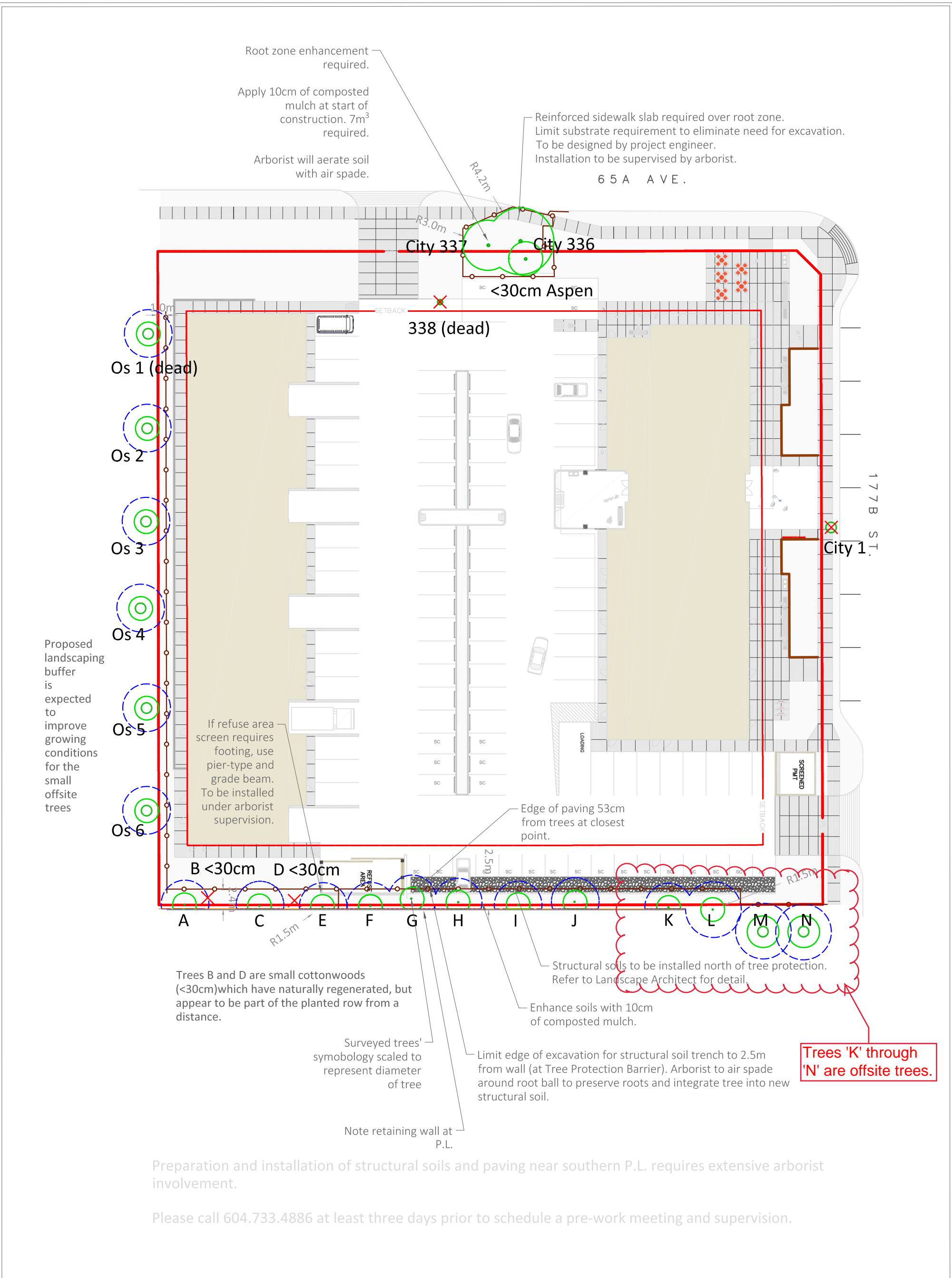
Summary prepared and submitted by:



 Arborist

May 3, 2018

_____ Date



Preparation and installation of structural soils and paving near southern P.L. requires extensive arborist involvement.

Please call 604.733.4886 at least three days prior to schedule a pre-work meeting and supervision.

LEGEND	TREE PROTECTION ZONE	TREE PROTECTION FENCE	UN-SURVEYED TREE	REFERENCE DRAWINGS
	NO-BUILD ZONE	TREE TO BE RETAINED	TREE TO BE REMOVED	
NOTES	1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.			
	2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.			
	3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (1/3 the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)			
	4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.			
	5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).			
	6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.			

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0388-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-331-209
 Lot 4 Block 3 Section 17 Township 8 New Westminster District Plan 1939
 17714 - 65A Avenue

Parcel Identifier: 007-120-869
 Lot 5 Except: Part Dedicated Road on Plan BCP21570; Block 3 Section 17 Township 8
 New Westminster District Plan 1939
 17740 - 65A Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

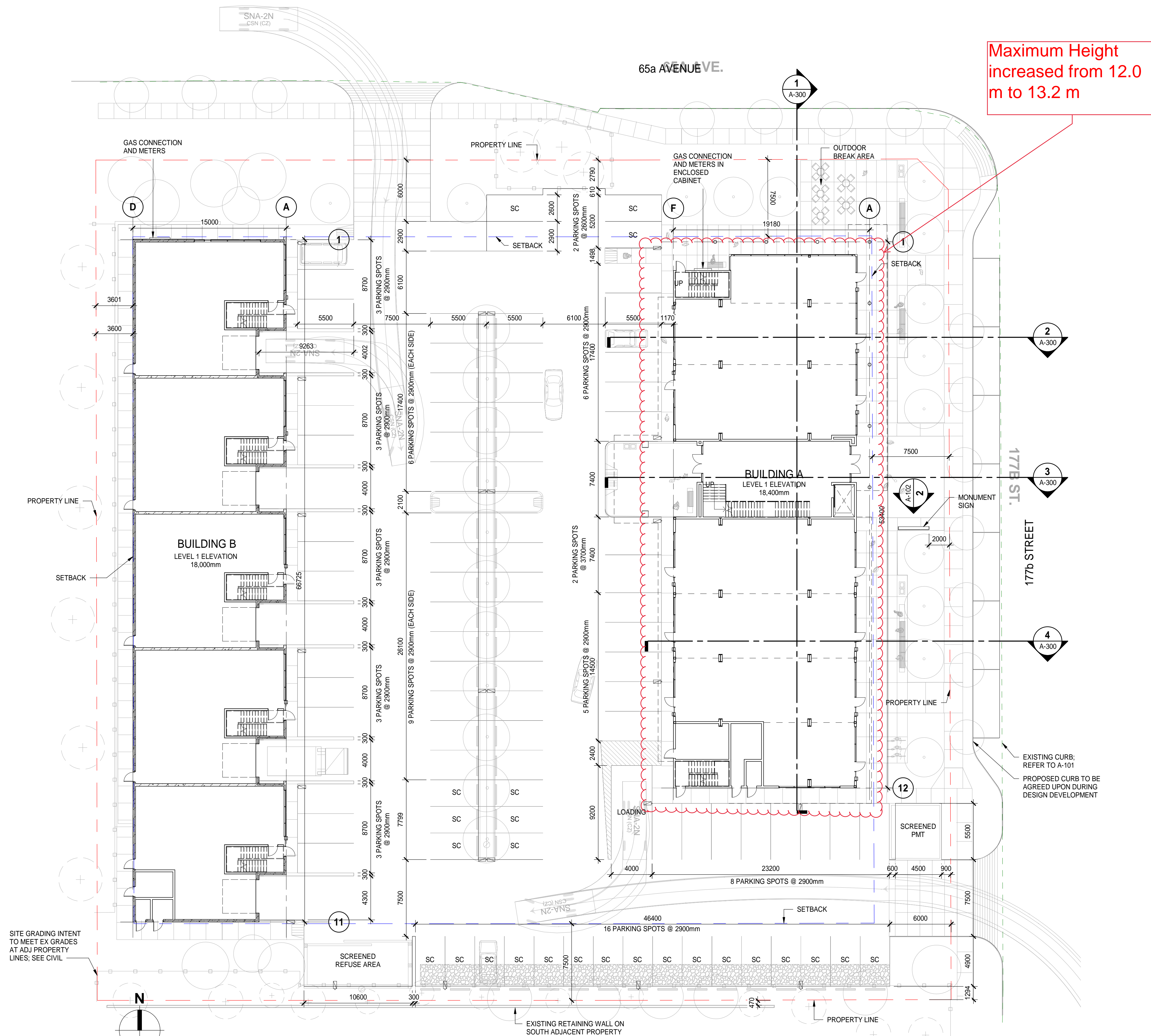
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Part 47, Business Park Zone (IB), Section G, Height of Buildings, Subsection 1, Principal buildings, the maximum height is increased from 12 metres [40 ft.] to 13.2 metres [43 ft.] for proposed Building A.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

SCHEDULE A



2 MONUMENT SIGN ELEVATION
SCALE: 1:25

NOTE:
MONUMENT SIGN FINISH MATERIAL TO BE CEMENTITIOUS WALL PANEL ON ALL SIDES; COLOUR DARK GRAY; MATERIAL TO MATCH BUILDING A EXTERIOR FINISH MATERIAL. SIGNAGE TO BE MOUNTED PROUD OF MONUMENT AND BACKLIT FOR VISIBILITY.

SITE LIGHTING LEGEND

- LITHONIX DSX1 LED MOUNTED ON 6 METER HIGH SQUARE POLE, BLACK IN COLOUR 125 WATTS.
- LIGHT FIXTURES AT BUILDING 'A' TO BE WALL MOUNTED TYPE - FIXTURE MODEL T8D

NOTES:

- PARKING LIGHTING HAS BEEN DESIGNED TO IES STANDARD IES RP-20-14 - LIGHTING FOR PARKING FACILITIES
- FOR THE PURPOSES OF DESIGN, PARKING HAS BEEN CLASSIFIED AS AN EXTERNAL PARKING LOT LIGHTING ZONE 2 (LZ2), WHICH DESCRIBES MODERATE AMBIENT LIGHTING EXPECTED IN THIS AREA
- FOR ASPHALT SURFACES, IES RP-20-14 RECOMMENDS MINIMUM HORIZONTAL ILLUMINANCE OF 5 LUX, MINIMUM VERTICAL ILLUMINANCE 2.5 LUX, MAXIMUM-TO-MINIMUM RATIO TO BE 15:1 OR BETTER

1 SITE PLAN
SCALE: 1:200

GFA BUILDING A 3,013 SQUARE METERS
GFA BUILDING B 1,374 SQUARE METERS

GENERAL NOTES:
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING DETAILS.
REFER TO CIVIL DRAWINGS FOR SITE GRADES AND ELEVATIONS.



Maximum Height increased from 12.0 m to 13.2 m

EXTERIOR FINISH LEGEND	
A	COMPOSITE WALL PANEL; COLOUR - WOOD GRAIN
B	CURTAIN WALL GLAZING; CLEAR ANODIZED; OPERABLE LITES IN LOCATIONS SHOWN
C	CEMENTITIOUS WALL PANEL; COLOUR - DARK GRAY
D	COMPOSITE METAL CLADDING; COLOUR - OFF-WHITE
E	COMPOSITE METAL CLADDING; COLOUR - DARK GRAY
F	METAL DOOR; PAINTED
G	METAL OVERHEAD DOOR; PAINTED
H	CONCRETE; PAINTED
J	LOUVERED MECHANICAL ENCLOSURE; COLOUR - DARK GRAY
K	SIGNAGE
L	COMPOSITE METAL CLADDING; COLOUR - LIGHT GRAY

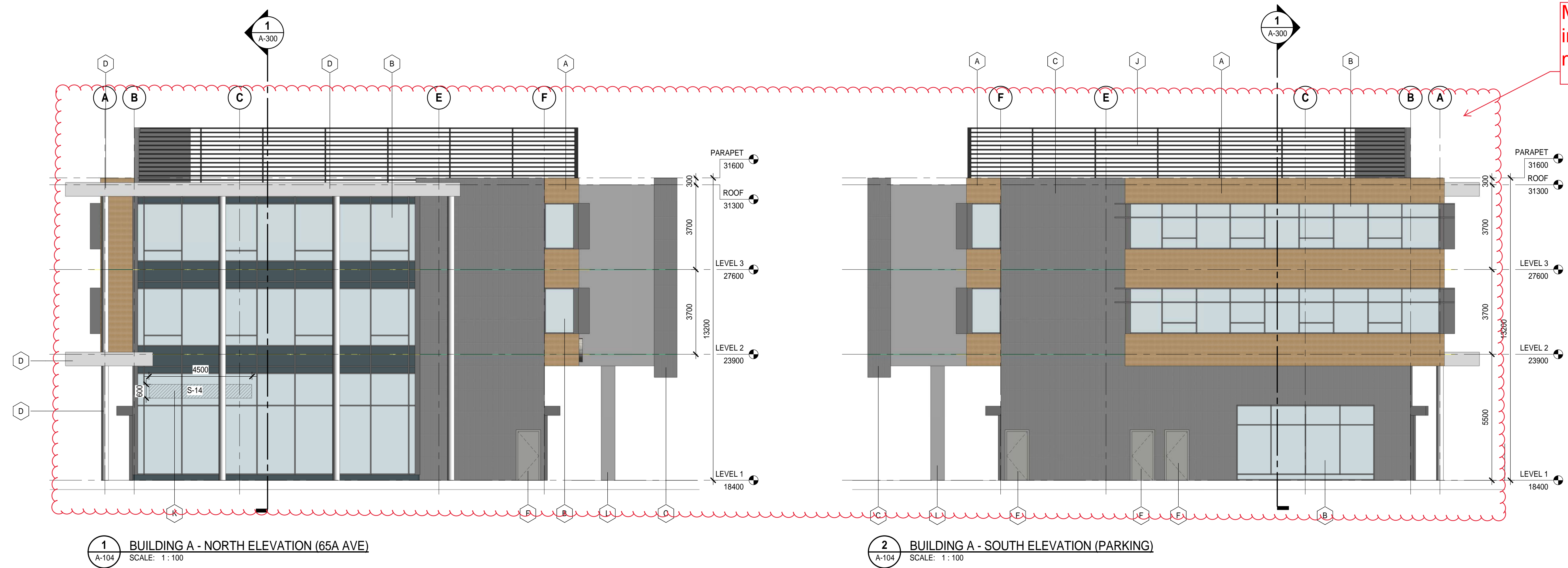
1 BUILDING A - EAST ELEVATION (177B STREET)
A-104 SCALE: 1:100



Maximum Height increased from 12.0 m to 13.2 m

signage			
BUILDING A - EAST FACE			
building frontage	permitted area per meter	permitted sign area	
52.2m	1.0m ²	52.2m ²	
proposed			
S-01 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-02 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-03 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-04 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-05 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²	
S-06 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²	
S-07 - Building Signage	5.0 x 0.95	4.75m ²	
total		23.12m²	
BUILDING A - WEST FACE			
building frontage	permitted area per meter	permitted sign area	
50.6m	1.0m ²	50.6m ²	
proposed			
S-08 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-09 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-10 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-11 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-12 - Tenant Fascia Signage	5.3 x 0.6	3.18m ²	
S-13 - Building Signage	5.0 x 1.0	5.00m ²	
total		20.90m²	

3 BUILDING A - WEST ELEVATION (PARKING)
A-104 SCALE: 1:100

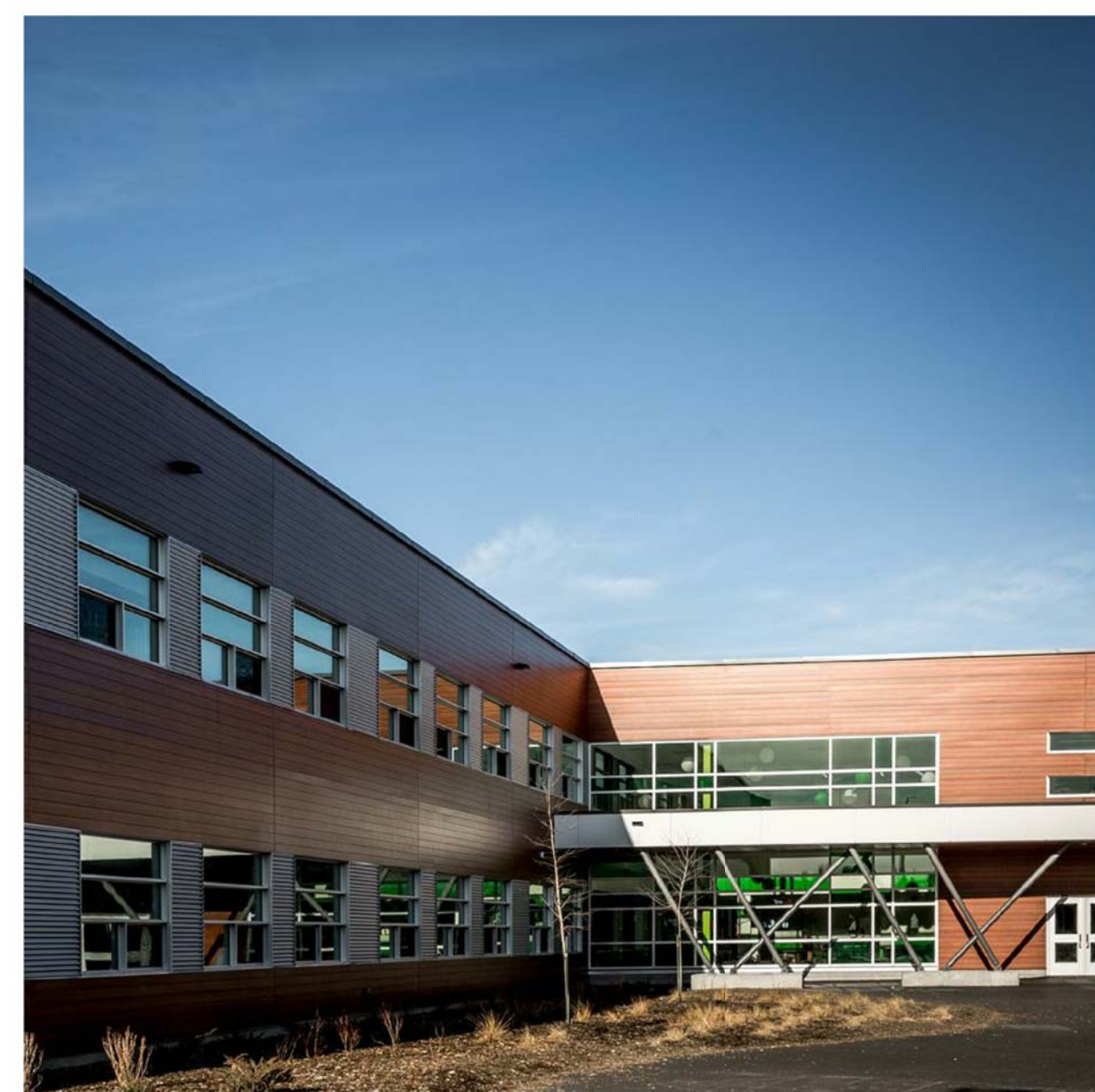


Maximum Height increased from 12.0 m to 13.2 m

signage
BUILDING A - NORTH FACE

building frontage	permitted area per meter	permitted sign area
18.0m	1.0m ²	18.0m ²
proposed		
S-14 - Tenant Fascia Signage	4.5 x 0.6	2.70m ²
total		2.70m²

EXTERIOR FINISH MATERIAL 'A'



ALUMINUM SOFFIT AND SIDING IN WOOD GRAIN FINISH



EXTERIOR FINISH MATERIAL 'C'



FIBRE CEMENT EXTERIOR CLADDING PANELS IN DARK GRAY FINISH