City of Surrey PLANNING & DEVELOPMENT REPORT File: 7917-0379-00

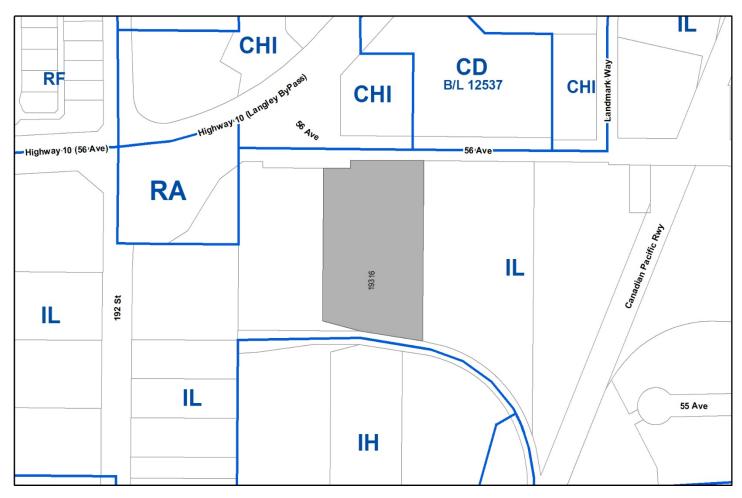
Planning Report Date: November 19, 2018

PROPOSAL:

- Development Permit
- Development Variance Permit

to permit the development of a four-storey ministorage warehouse building and to reduce parking requirements.

LOCATION:19316 - 56 AvenueZONING:ILOCPIndustrialDESIGNATION:Industrial



112 AVE 104 AVE GUILDFORD WHALLEY 96 AVE 88 AVE FLEETWOOD 80 AVE 72 AVE CLOVERDALE **64 AVE** NEWTON 56 AVE 48 AVE ST 40 AVE 120 SOUTH SURREY 32 AVE 24 AVE **16 AVE** 144 ST 152 ST 128 ST 136 ST 8 AVE 160 ST 0 AVE 168 ST 176 ST 184 ST 192 ST

RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the number of required parking spaces from 89 to 46 spaces for a ministorage business.
- Proposing to increase the number of fascia signs allowed above the first floor from one to three.

RATIONALE OF RECOMMENDATION

- The proposed multi-storey storage facility complies with the IL Zone and intensifies the use of industrial land.
- The proposed building is a high quality design, with glazing facing 56 Avenue.
- The City's Transportation Division has reviewed the proposed parking variance and has no concerns given the nature of the proposed use (mini-storage warehouse).
- Proposed signage is proportional in size and scale to the proposed building and no freestanding signage is proposed.

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RECOMMENDATION

The Planning & Development Department recommends that:

- 1. Council authorize staff to draft Development Permit No. 7917-0379-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
- 2. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
- 3. Council approve Development Variance Permit No. 7917-0379-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum number of required on-site parking spaces from 89 to 46 spaces for a proposed mini-storage warehouse.
- 4. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) input from the Ministry of Transportation & Infrastructure;
 - (c) registration of a Section 219 Restrictive Covenant to prohibit a free-standing sign on the subject property;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.
Ministry of Transportation & Infrastructure (MOTI):	No concerns.

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SITE CHARACTERISTICS

Existing Land Use: U-Haul self-storage and truck rentals.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 56 Avenue):	Two-storey highway	Mixed Employment	CHI
	commercial building		
East:	Mansonville Plastics	Industrial	IL
South (Across train spur):	Timber yard	Industrial	IH
West:	Timber yard	Industrial	IL

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located at 19316 56 Avenue in Cloverdale and is 1.46 hectares (3.6 ac.) in size. The subject site is zoned Light Impact Industrial Zone (IL) and is designated Industrial in the OCP.
- There are six existing single storey drive up mini-storage buildings located along the southern and eastern portions of the site, which are to remain.
- An existing two storey office and caretaker suite is located by the eastern entrance and resembles a single family dwelling, which is also to remain.
- The northwest corner of the site is currently used as a storage area for rental vans and trucks which are proposed to be relocated as part of the development.

Current Proposal

- The applicant proposes to construct a four-storey mini-storage warehouse building that is approximately 4,360 square metres (47,000 sq. ft.) in floor area with an approximate 1,248 square metre (13,440 sq. ft.) footprint.
- The proposed mini-storage warehouse use is a permitted use in the IL Zone.

PRE-NOTIFICATION

• A Development Sign was installed on January 18, 2018 and staff have not received any comments.

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DESIGN PROPOSAL AND REVIEW

Proposed Design

- The proposed building is a four-storey steel frame industrial warehouse building. The building is primarily cream and beige in colour. Substantial glazing is proposed along the north façade and the northern corners of the east and west facades facing 56 Avenue. Green trim on the north façade and green canopies on the east façade are proposed to provide some architectural interest.
- The applicant proposes a ramped loading bay along the north façade which will be screened from the public realm by a wooden fence and landscaping. A sliding loading door and two person doors are proposed on the east façade and will be the primary entrances (see Appendix VI).

Parking, Storage, Circulation and Site Access

- The applicant is proposing a total of 46 parking spaces which is below the Zoning By-law requirement of 89 parking spaces based on the combination of uses (mini-storage, office and caretaker suite) proposed. The applicant therefore proposes a Development Variance Permit (DVP) to reduce the number of parking spaces for the mini-storage portion of the development. See By-law Variances section for further details.
- The parking is located primarily to the east of the proposed building. Existing stalls are also located along the south property line. All of the existing mini-storage units are older drive-up units with non-formalized parking spaces in front of them.
- The applicant proposes to store their fleet of rental trucks, vans and trailers to the southeast of the proposed building. To the east of the fleet storage is a parking area for large trucks and trailers.
- The site's existing access from 56 Avenue at the northeastern portion of the site will be retained and upgraded.

Landscaping

- Landscaping is only proposed within the northern quarter of the site as no new development is occurring on the southern three quarters of the site.
- An existing 10-metre (33 ft.) wide easement is located along the northern portion of the site which is proposed to be planted and maintained as grass. South of the grass swale is a proposed one-metre (3 ft.) tall fence and a 3-metre (10 ft.) wide landscape buffer composed of a mix of coniferous and deciduous trees with shrubs.
- A paved pathway is proposed from the entrance of the new building north to 56 Avenue.
- A loading ramp and loading bay is proposed along a portion of the north façade. The loading area will be will be screened by a 2.5 metre (8.5 ft.) tall wooden fence and trees.

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• At the northeast corner of the building an employee/customer break area is proposed which will include two trees and some benches.

<u>Signage:</u>

- The applicant has proposed three fascia signs along the top storey of the new building. The Sign By-law only allows one sign above the first storey. The applicant proposes to increase the number of signs as part of a comprehensive sign design package.
- All signage is proposed to be channelized lettering. Along both sides of the northwest corner are the words "U-Haul" and along the west side of the north façade are the words "self-storage".
- The applicant is not proposing any other signage including fascia or a free-standing sign and will register a Restrictive Covenant to restrict any future free-standing signage in the future.

TREES

• Aelicia Otto, ISA Certified Arborist of M2 Landscape Architecture prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Tree Species	Existing	Remove	Retain
	Coniferous Tree	S	
Pine	3	0	3
Total (excluding Alder and Cottonwood Trees)	3	0	3
Total Replacement Trees Prop (excluding Boulevard Street Trees		14	
Total Retained and Replaceme Trees	nt	17	
Contribution to the Green City	Fund	nil	

Table 1: Summary of Tree Preservation by Tree Species:

- The Arborist Assessment states that there are a total of 3 protected trees on the site. It was determined that all trees can be retained as part of this development proposal. In addition, the applicant proposes to plant 14 new trees. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- In summary, a total of 17 trees are proposed to be retained or replaced on the site and no contribution to the Green City Fund is required.

BY-LAW VARIANCE AND JUSTIFICATION

- (a) Requested Variance:
 - To reduce the minimum required number of on-site parking stalls for the proposed development from 89 to 46 spaces.

Applicant's Reasons:

- Parking calculations for the proposed mini-storage business are based on the follows:
 - The total floor area of mini-storage is 8,578-square metre (92,338 sq. ft.) which includes the six existing single storey buildings, (4,218-square metre/45,406 sq. ft.) and proposed 4-storey mini-storage warehouse building (4,360-square metre/46,932 sq. ft.);
 - A 56-square metre (600 sq. ft.) office component; and
 - A 142-square metre (1,530 sq. ft.) care taker suite.
- The Zoning By-law provisions require one (1) parking space per 100 square metres (1,076 sq. ft.) of mini-storage warehouse space and 2.5 spaces per 100 square metres (1,076 sq. ft.) of office space, and 2 spaces per caretaker suite which equates to 89 parking spaces.
- The six existing mini-storage buildings were constructed as drive-up storage units to allow for parking immediately in front of the unit. The informal parking spaces are not included in the parking calculations but the site has performed without conflict since the original development was constructed.
- If only the new building parking was calculated under the parking regulations, 44 parking spaces would be required for the (4,360-square metre/46,932 sq. ft.) of floor area.
- Mini-storage is not a parking intensive use and warrants a parking requirement of approximately one (1) parking space per 200 square metres (2,152 sq. ft.) which equates to 43 parking spaces for the proposed 4-storey building and the existing six buildings.
- Based on the applicant's experience with mini-storage facilities, peak traffic for the entire site will be between 10 and 15 vehicles at a time which is well below the 46 spaces proposed.
- The 46 formal parking stalls proposed are considered appropriate to accommodate the employee and visitor parking requirements anticipated for this mini-storage development.

Staff Comments:

- The existing (4,218-square metre/45,406 sq. ft.) of mini-storage use in the six (6) existing buildings are exclusively drive-up units which have substantial informal parking and loading located in front of the individual units.
- Mini-storage is a low intensity parking use. The proposed parking calculations of one one (1) parking space per 200 square metres (2,152 sq. ft.) equates to 43 parking spaces for the proposed 4-storey mini-storage building and the existing six buildings.
- Additionally, the proposed caretaker suite requires two (2) parking spaces and the office space of 56 square metres (600 sq. ft.) requires one (1) parking space, which are accommodated.

Use	Area* (ft²)	Area* (m²)	Parking rate (per 100 m²)	Parking Spaces Required	Proposed Parking Spaces
Office	600	56	2.5	1	1
Caretaker's Suite	1,530	142	2 (per unit)	2	2
Mini-storage, existing drive up	45,406	4,218	1.0	42	
Mini-storage, new 4- storey building	46,932	4,360	1.0	44	
Mini-Storage Sub-Total	92,338	8,578	1.0	86	43
TOTAL				89	46

• The following table shows a detailed breakdown of parking requirements for the site:

* Floor area used for parking calculation purposes.

- The City's Transportation Division has reviewed the proposed parking provisions and has no concerns.
- Staff support the proposed variances.
- (b) Requested Variance through comprehensive sign design package:
 - To increase the number of signs above the first storey from one to three signs and allow signage on two facades (north and east).

Applicant's Reasons:

• No free-standing sign is proposed for the subject site.

- Due to substantial landscaping screening along the frontage of the building, first storey signage would not be visible from the road.
- The Sign By-law allows up to six (6) fascia signs for the subject site and the proposed design only incorporates three fascia signs.

Staff Comments:

- The site is a large 1.4 hectare (3.5 acre) property with approximately 8,578 square metres (92,338 sq. ft.) of floor area which would allow for up to six (6) fascia signs at the ground level under the Sign By-law as the premise is over 6,000 square metres (65,000 sq. ft.) of floor area. The applicant is only proposing three (3) fascia signs.
- The applicant is not proposing a free-standing sign and will register a restrictive covenant to prevent future free-standing signage.
- The three signs are all proposed to be channelized lettering, and the signage is proportional in scale to the building.
- Staff support the requested variance as part of a comprehensive sign design package.
- Under the Sign By-law, variances to signage provisions can be approved by Council through a Development Permit that includes a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Appendix II.	Lot Owners and Action Summary (Confidential) and Project Data Sheets Proposed Sign By-law Variances Tables
Appendix III.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7917-0379-00

original signed by Ron Gill

Jean Lamontagne General Manager Planning and Development

APPENDIX I HAS BEEN

REMOVED AS IT CONTAINS

CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.50 m	11.9 m
Rear	7.50 m	78.3 m
Side #1 (east)	7.50 m	61.9 m
Side #2 (west)	7.50 m	7.50 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m	16.76 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		1
Total		1
FLOOR AREA: Residential		142 sq. m.
FLOOR AREA: Commercial		
Retail		
Office		56 sq. m.
Total		
FLOOR AREA: Industrial		4,218 sq. m (existing) 4,360 sq. m (proposed)
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8,776 sq. m
* If the development site consists of more that	n and lat lat dim and	

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.60
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Office	1	1
Industrial	86	43
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	2	2
Residential Visitors		
Institutional		
Total Number of Parking Spaces	89	46
Number of accessible stalls		2
Number of small cars		
Tandem Parking Spaces: Number / % of		16 total tandem
Total Number of Units		spaces
Size of Tandem Parking Spaces width/length		

NO	Tree Survey/Assessment Provided	YES

PROPOSED SIGN BY-LAW VARIANCES

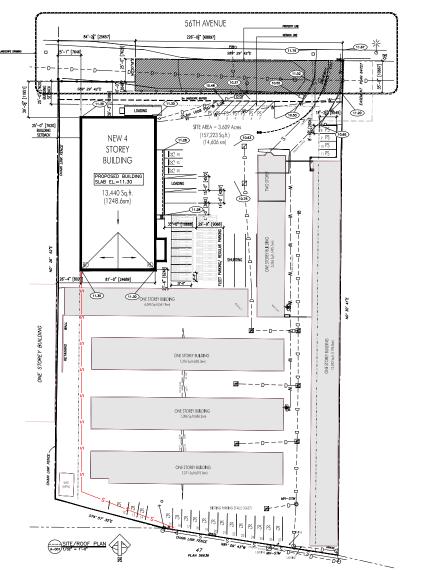
#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two (2) additional fascia signs for a total of three (3) above the first storey and allow the three (3) fascia signs on two facades (north and east).	a maximum of one fascia sign per lot frontage may be located above a first storey to identify the name and/or address of the building to which it is attached, provided no more than one such sign shall be permitted on any one façade of the building above the first storey; (Part 5, Section 27(2)(a.1.)(i).	The proposed fascia signs are comprehensively designed for the building, and are high quality signs that are of an appropriate size and scale in relation to the building. No other fascia or free- standing signage is proposed on site.

U-Haul of Langley, 19316 56th Avenue, Surrey, BC



PROPERTY	y description				DRAWING	LIST
CIVIC:	19316 56th Avenue, Surrey, BC				Architectural:	
LEGAL:	LOT 28 SECTION 3 TO	A-001 A-002 A-101	SITE PLAN & ANALYSIS LARGE SCALE SITE PLAN ENTRY LEVEL FLOOR PLAN			
ZONING CURRENT	CALCULATIONS:	City of Surrey, IL (Ligh	t Impact Industrial)		A-101 A-102 A-103 A-104 A-200	EN INT LEVEL FLOOR FLAN SECOND LEVEL FLOOR FLAN THIRD LEVEL FLOOR FLAN FOURTH LEVEL FLOOR FLAN ELEVATIONS
SITE INFO	DRMATION:				A-2008 A-201 A-2018	ELEVATIONS ELEVATIONS ELEVATIONS
Gross Site Area	-	157.223 sf (14.606 sm)	Allowed	Proposed	CML	
Allowable Site F.A.R. =		107,220 S (14,000 SH)	60% (94,334 sf)[8764sm] 1.0 (157,223 sf)[14606sm]	37% [59,446 sf][8764sm] 0.60 [94,468sf][8082sm]	1 2	TITLE PAGE LOT GRADING
		Required		Proposed	3	SITE SERVICING GENERAL NOTES AND DETAILS
Max. Height = Yard setbacks:		18m (60h)		55(16.76m)	TELECTRICAL:	GENERAL NOTES AND DETAILS
front yard side yard rear yard		7.5m 7.5m (0.0 obutting commercial o 7.5m	r industrial	39'3' (11.9m) 26'4' (8.0m) N.A.	ED.1 E0.2 E1.0	SITE PLAN SCHEDULES AND DETAILS ENTRY LEVEL LIGHTING
Parking Calcul	otions:				E1.1 E2.0	ENTRY LEVEL POWER/TEL/DATA SECOND FLOOR LIGHTING
Table C.1, Par	rt 5 Off-Street Parking and L	.ooding/Unloading			E2.0 E2.1 E3.0	SECOND FLOOR POWER/TEL/DATA THIRD FLOOR LIGHTING
	Required			Proposed	E3.1 E4.0	THIRD FLOOR POWER/TEL/DATA FOURTH FLOOR LIGHTING
		e per 100 m; [1,075 tt] of gross floor are ea = approx. 46,932 soft/1,075 = 43 par		42	E4.1 E5.0	FOURTH FLOOR POWER/TEL/DATA SCHEDULES
		ace per 100 ms [1,075 fts] of gross floor ea= appros. 600 sqft/1,075= 2 parking		Proposed 2	E5.1 E6.0	SCHEDULES SPECIFICATIONS
	Gross Hoor on	ea= approx. ouu sqtr; 1,075= 2 panong	spaces		LANDSCAPE:	
	2 spoces per u	nit (Residentia <mark>l</mark>)		Proposed 2	L1 L2	LANDSCAPE PLAN LANDSCAPE PLANTING PLAN
BUILDING	G AREAS & USAGE	ES:			12 13	LANDSCAPE PLAN LANDSCAPE SPECIFICATIONS

		Areo	Classification
Ton	Existing:	47,536 sq.#	
•	Drive-up storage units	45,406 sq.ft	F2
•	Office (main floor)	600 sq.ft	D
•	Caretaker's suite	1,530 sq.ft	C
Ton	al New:	46,932 sq.≜	
•	Storage facilities main floor	10,451 sq.#	F2
•	Warehouse main floor	2,720 sq.#	F2
•	Storage facilities second foor	10,295 sq.#	F2
•	Storage facilities third floor	10,295 sq.ft	F2
•	Storage facilities fourth floor	13.171 sq.ft	F2



DP ADDENDUM #6



Plot Date 14-NOV-18

PROJECT U-HAUL OF LANGLEY SURREY, BC DRAWING TITLE SITE PLAN & ANALYSIS

Drawing I A-001

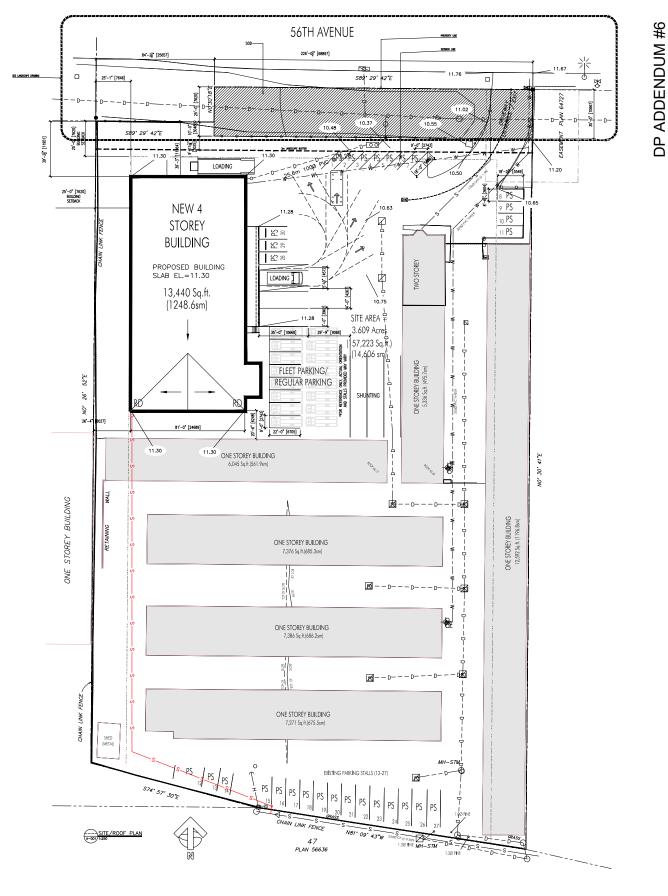
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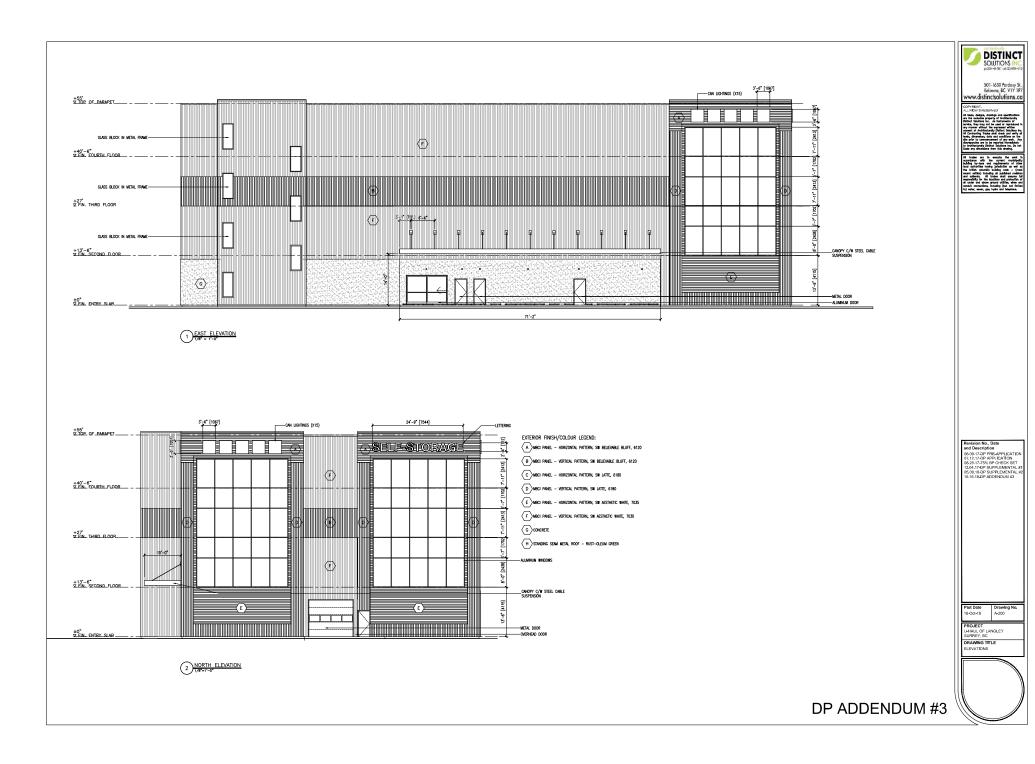
solutions inc. phone:250-448-7801 205-1626 Richter Street, Kelowno, BC VIY 2M3 v.distinctsolutions.ca

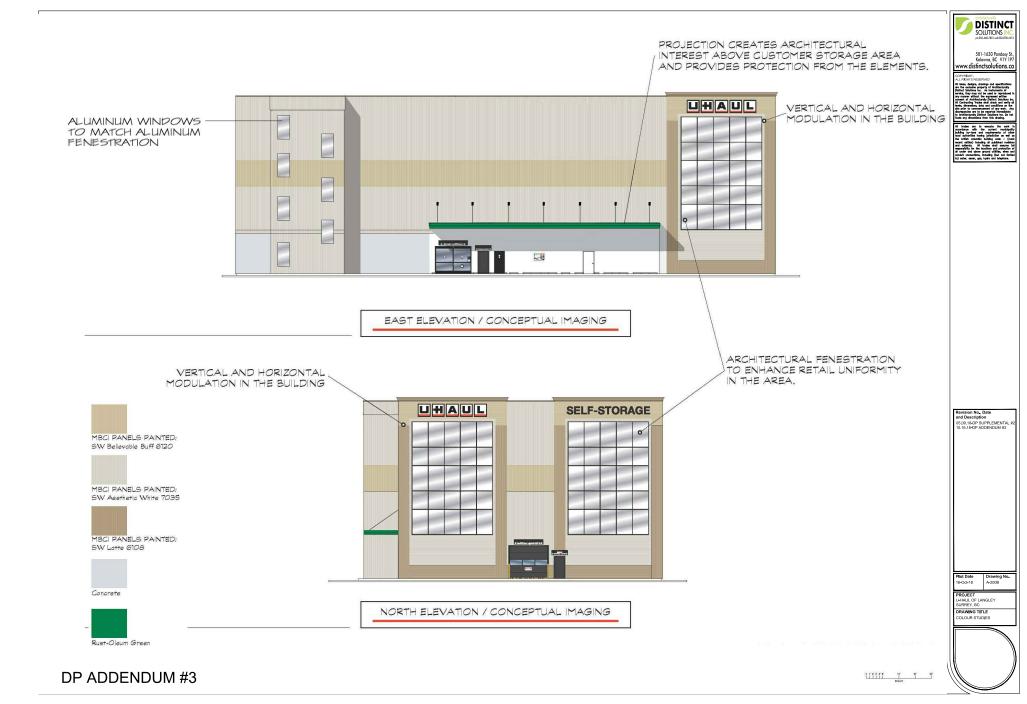


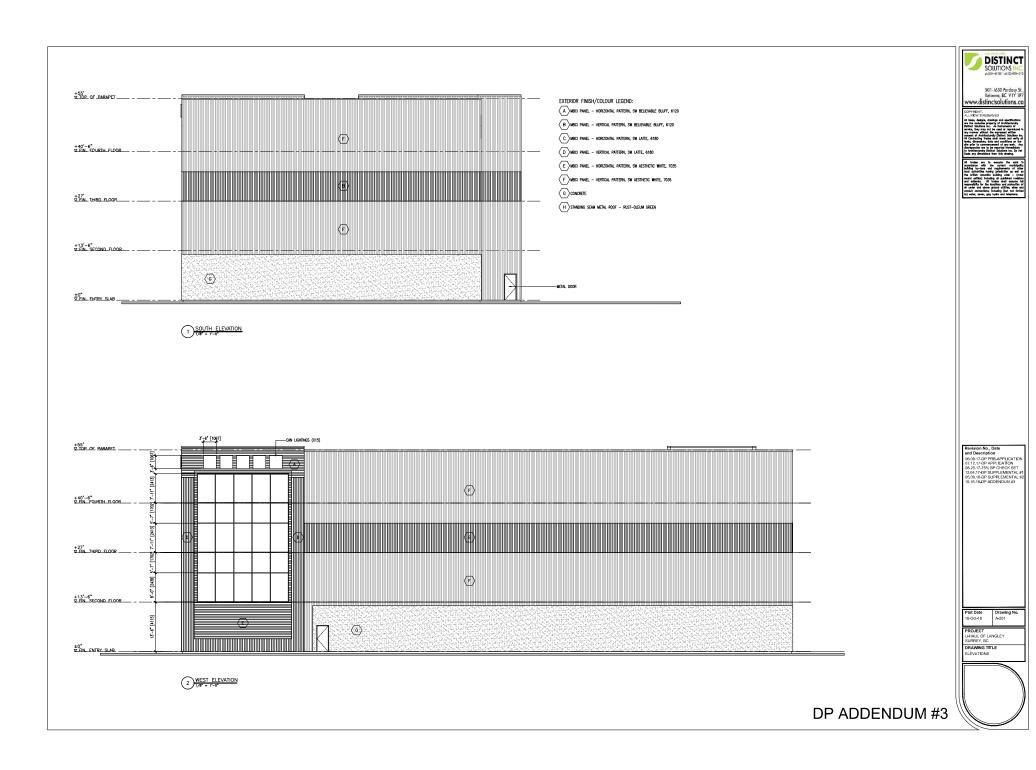


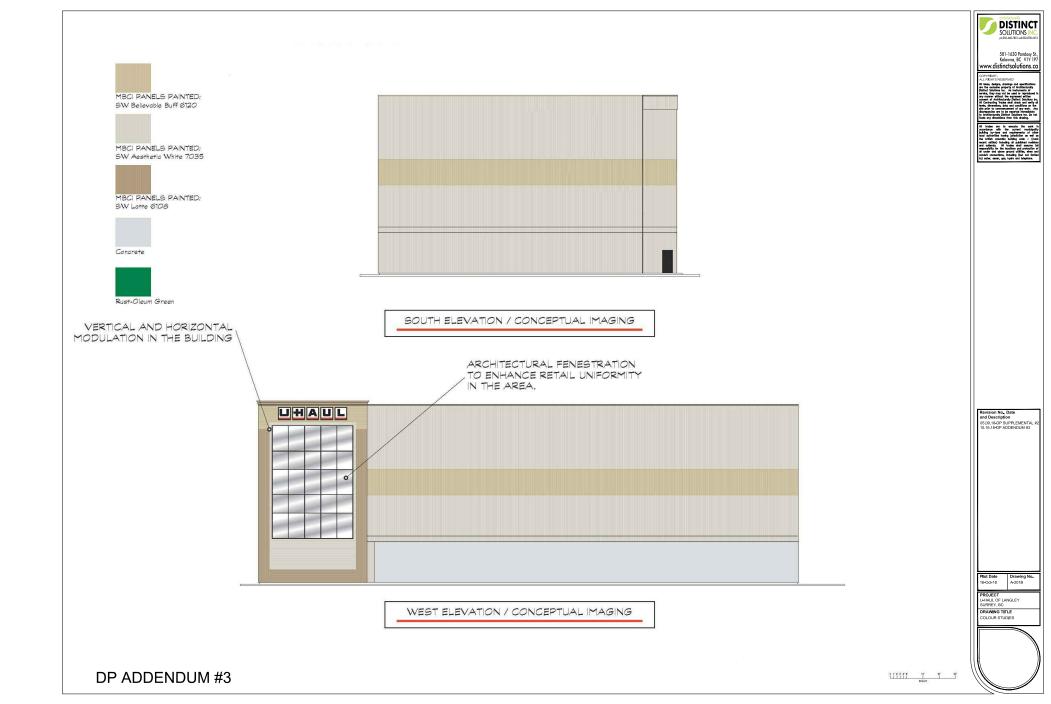












PROPOSED BUILDING 19316 56TH AVENUE SURREY, B.C.

Developer

U HAUL INTERNATIONAL/AMERECO REAL ESTATE C/O ROV CONSULTING INC. ATTN: ANDREW LASICH

UNIT 101 - 2040 SPRINGFIELD ROAD KELOWNA, B.C. V1Y 9N7 PH: 602-263-6502 (x516401) FAX: 602-277-5824

List of Drawings

1 OF 4 COVER

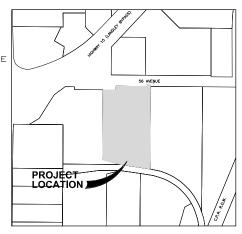
- 2 OF 4 LOT GRADING
- 3 OF 4 SITE SERVICING
- 4 OF 4 GENERAL NOTES & DETAILS



MJL ENG. Project No. 217018

City File No. 17-0379-00

	GENER A	
EXISTING	PROPOSED	DESCRIPTION
		IRON PROPERTY PIN
8		BENCH MARK - GEODETIC DATUM
8	B	TEMPORARY BENCH MARK - GEODETIC DATUM
		EDGE OF PAVEMENT
		CURB & GUTTER
s	s	SANITARY SEWER
→ O → O		STORM SEWER
Ø		CATCH BASIN - TOP INLET
8	=	CATCH BASIN - SIDE INLET
0	۲	LAWN DRAIN
	●C.O.	CLEANOUT
>>		SWALE
\sim \sim	$\sim \sim$	DITCH
		DRAINAGE DIRECTION
		DRAINAGE BREAKLINE
+9.66	12.00	ELEVATIONS
		ASPHALT
		PARKING LOT DETENTION
		SIDEWALK
w	w	WATER MAIN
w		WATER VALVE
w	w	AIR VALVE
	->	HYDRANT AND VALVE ASSEMBLY
		CAPPED END
wo	w	BLOW-OFF
w	w	TEMPORARY BLOW-OFF
T	T	UNDERGROUND TELEPHONE
E	E	UNDERGROUND ELECTRICAL
G	G	GAS MAIN
		TRAFFIC SIGNAL & STREET LIGHT U/G DUCTS
0-0	•*	ORNAMENTAL STREET LIGHT - DAVIT
	-*	ORNAMENTAL STREET LIGHT - POST TOP
~		UTILITY POLE
		UTILITY POLE W/LIGHT
		JUNCTION BOX
2	-	100 YEAR FLOW

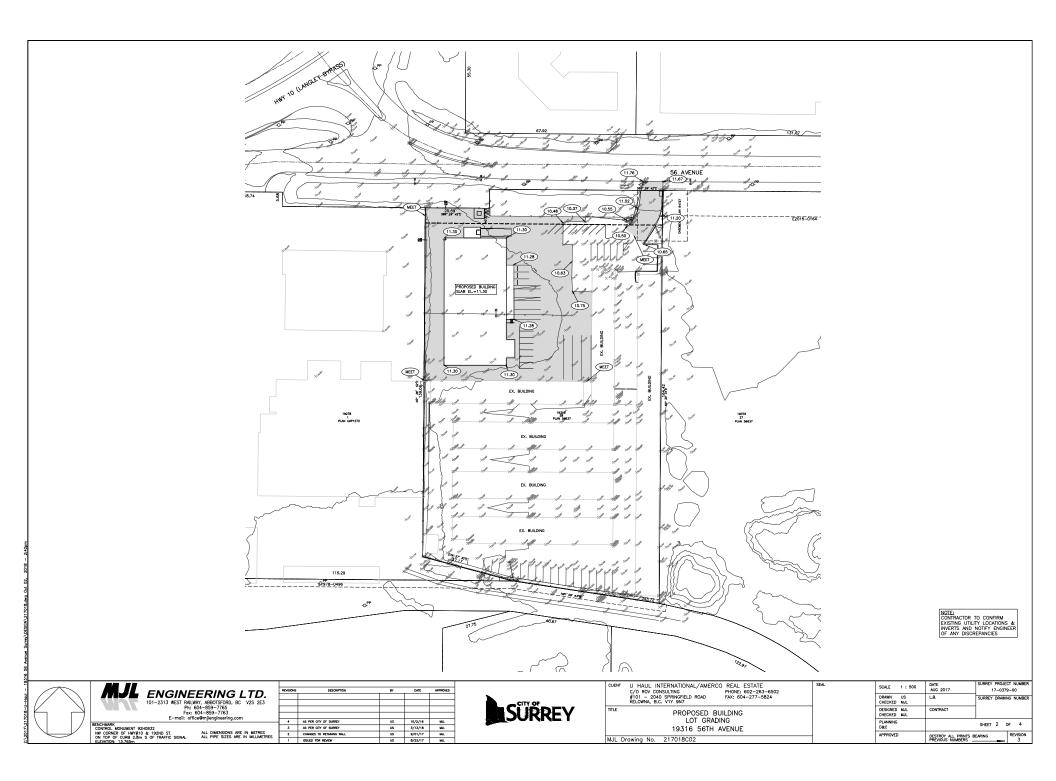


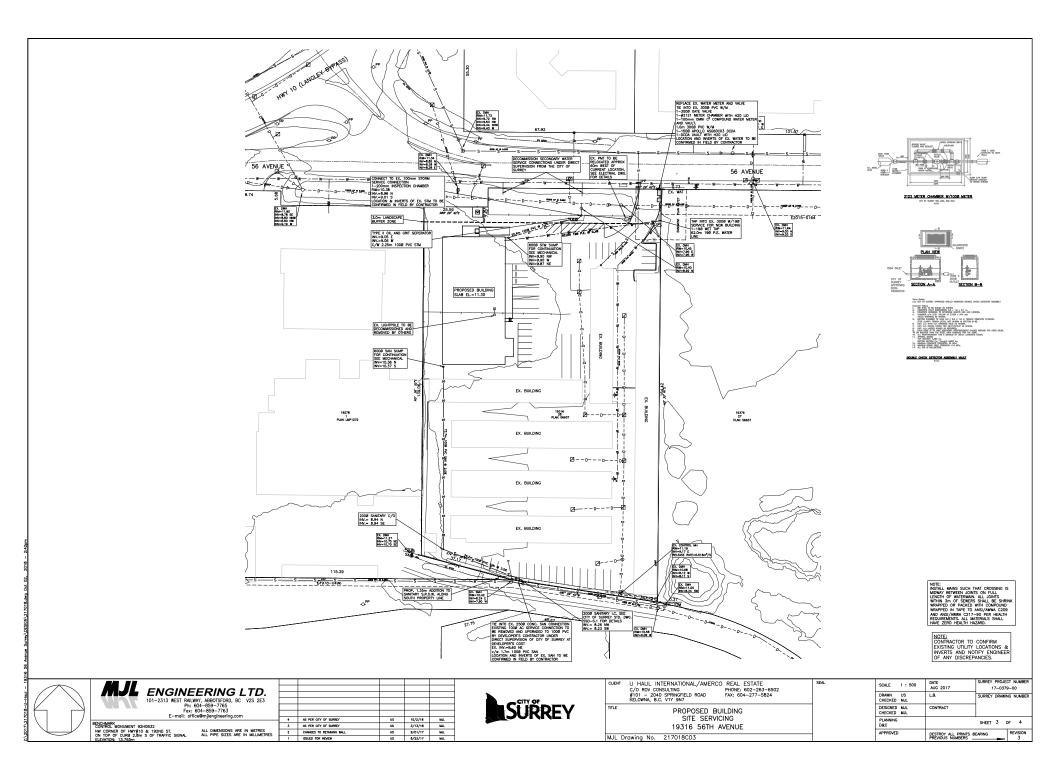
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KEY PLAN 1:5000

Legal Description:

LOT 28, SECTION 3, TOWNSHIP 8, PLAN 56637, NORTH WESTMINSTER DISTRICT PART NW1/4, EXCEPT PLAN EXP 64727





CITY WATER WORKS NOTES

- The developer shall supply all materials and fittings for the tie-in of the new water mains by the city.
- All new water mains, at tie-in points are to be capped 1.5m from the existing water main. The proposed water main is to be set at the line and grade to meet existing water main.
- Tie-ins to existing water mains and final testing and chlorination of new mains are to be performed by the City of Surrey forces at the developer's cost.
- All domestic service connections will be a minimum of 19mm diameter unless otherwise specified.
- Where 100mm diameter pipe is used. It will be Ductile Iron (D.I.) and shall conform to the City Specifications.
- No McAvity fittings or valves etc. are to be used.
 All water service to have a minimum of 1200mm cover.
- 8. All bends are c/w with thrust blocking.
- 9. City of Surrey is responsible to operate all existing gate valves.
- Testing apparatus (tubing) and curb stop to be removed and plugged at main stop.
 The following certification is to be placed on all water main drawings by the consultant as part of the drawing submission.

A) I the Province of British Columbia, hereby certify that the water main design on this drawing has been done in accordance with the Ministry of Health design criteria.

B) two working days prior to the start of any water main construction, the developer is to contact the Ministry of Health, Mr. U. Tin Tin, M.Sc. at $604{-}870{-}7900$

CITY ROADWORKS NOTES

7018

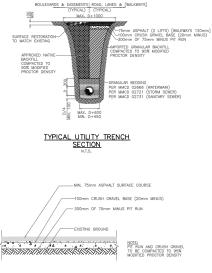
- The developer shall employ a Professional Engineer with experience in Geotechnical Engineering for performance of in place testing during the preparation of the sub-grade and construction of the road structure to verify the adequacy of the proposed and existing road structure and sub-grade. Selection of the Professional Engineer is to be approved by the City.
- Existing valve boxes, manholes, etc. within the road allowance must be adjusted to suit the proposed finished grade.
- All loose, organic, otherwise deleterious materials or soft spot(s) are to be excavated and removed from the roadway and utility trenches in the roadway as per the geotechnical consultant's report or as directed by the City.

CITY SANITARY SEWER AND STORM SEWER NOTES

- Unless prior approval is given to the developer by the City, tie-ins and connections to existing sanitary sewers are to be performed by the City at the Developer's cost.
- All service connections shall be made to the main wherever possible. Should a connection have to be made to a manhole, the connection invert shall be at the same elevation as the crown of the highest sewer main.
- 3. All manholes are to be a minimum of 1050mm diameter unless otherwise noted.
- All sanitary sewer and storm sewer service connections are to be a minimum 100mm diameter.
- All granular pipe bedding shall be either <u>TYPE 1 OR TYPE 2 ONLY</u> as per the MMCD Specification.

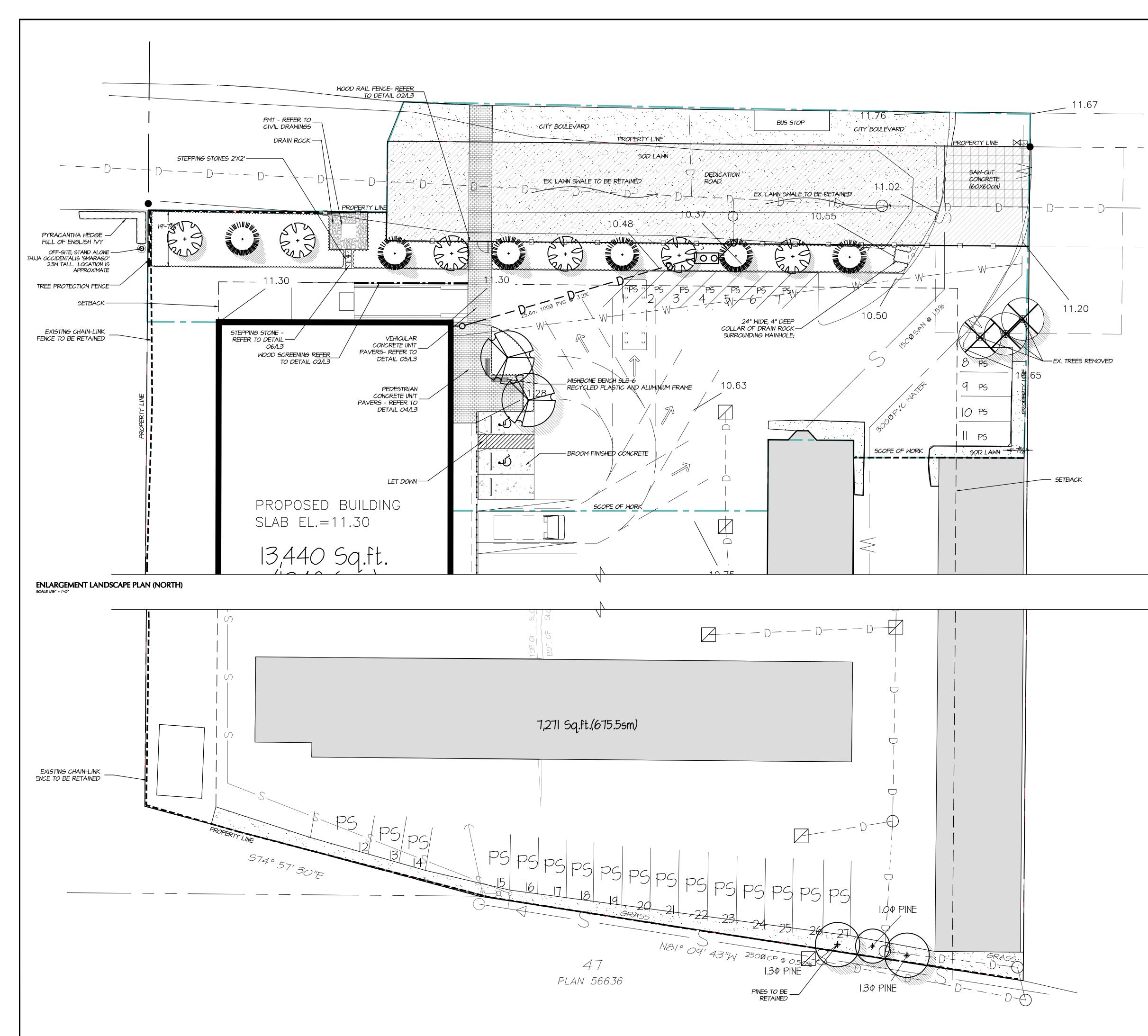
CITY GENERAL NOTES

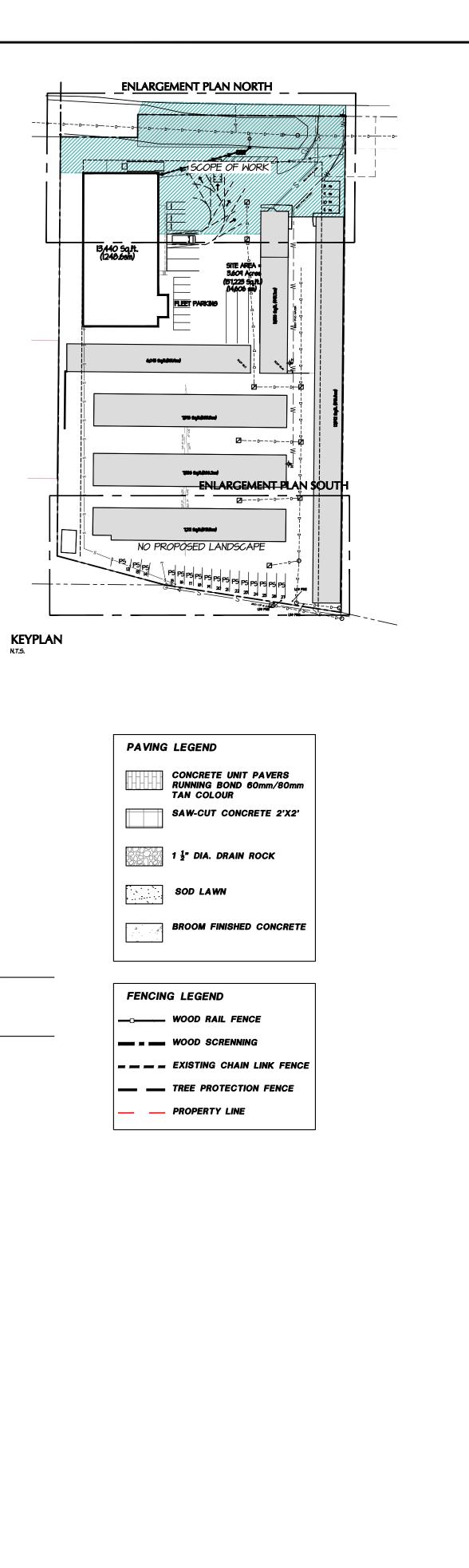
- For the purpose of construction and accountability the developer must advise the Surrey City inspector, in writing, which of the City notes is going to be the responsibility of the developer's contractor.
- Construction is to be in accordance with the City of Surrey Highway and Traffic Bylaw No. 13007, Subdivision Bylaw No. 8830 and applicable Municipal Master specifications and Standard Detail Drawings. City of Surrey Standard Construction Documents, Supplementary Specifications & Standard Drawings and City Design Criteria.
- Traffic control is the responsibility of the developer and the developer shall comply with SECTION 52 of the industrial Health and Sofety Regulations of the Workers' Compensation Board of B.C. and the instructions outlined on the City Road and Right-of-Way Permit and Traffic Obstruction Permit issued by the City.
- The developer is to have ON SITE, a copy of the current "B.C. Traffic Control Manual for Work on Roadways" as published by the Ministry of Transportation and Highways.
- The developer shall be responsible for obtaining all City permits for work within the city road allowance.
- 5. Where utility or service crossings are required across existing povements, on underground method of installation is required unless special approval is given from the City for on open cut operation. All existing povements, boulevards, otherways, etc., are to be reinstated to arginal or better condition and in accordance with the City Specifications and the Povement Cut Policy.
- 6. Surrey's ISA monument(s) are to be protected and should they require raising or relocating, the developer will notify Surrey's Survey Department at least three working days in advance of scheduling work affecting them. An ISA monument shall be considered to be disturbed or destroyed, by the developer, if construction for the project:
- (1) Lowers the grade of the road at the location of an ISA monument(s).
 (2) Ralese the grade of the road at the location of an ISA monument(s), or
 (3) Installar any underground (including Fortis BC, BC Hydro, Telus, CMRD water/sanitary sever/or drainage etc.) within 1.5m radius of the ISA monument(s)
- The City will invoice the developer a non refundable flat rate fee of \$1650.00 for each ISA monument disturbed or destroyed.
- All street, traffic, and advisory signs, pavement markings and no-post guardrails required but not necessarily shown on the drawings, shall be installed by the City at the developer's cost.
- 8. Where infilling of existing ditches is required or where services are constructed in a fill section, fill material is to be in accordance with City specifications and is to be compacted to 95% of Modified Proctor Density.
- Driveway boulevard crossing to each of the proposed lots are to be installed in accordance with the City Standard Drawings.
- Residents directly affected by construction of this project must be given 48 hours written notice of the proposed start of construction.
 - The developer will require written authorization from a private property owner, with a copy to the City, prior to any entry onto private property and a written release, from the property owner, when completed.
- 11. When notive site GRANULAR BACKFILL is proposed for use in trenches the Developer shall employ a Professional Engineer with experience in Geotechnical Engineering for Engineer and use of the site material is to be approved by the Gity. The site material must fail within one of the granular backfill material specifications. River sand is not occeptable as trenche backfill material.
- 12. The developer shall facilitate and supply all necessary safety equipment required under WCB Regulations for the City or it's representatives or the Engineer of Record to inspect the sonitory and storm sever systems. The equipment shall be supplied until such time as a Certificate of Completion is issued by the City.
- Developer is to verify the location and elevation of all pipes, or other utility crossings, prior to construction and shall notify the Engineer of Record of any conflicts.
- 14. The developer shall employ a Professional Engineer to design a sediment and erosion control system in the development in order to prevent silt discharges to the storm drainage system and watercourses.
- 15. The "Tree Cutting and Preservation Bylaw No. 12880" requires that a cutting permit be obtained before any trees are removed from the site. Other provisions of the Bylaw may also be applicable.



PAVEMENT DETAIL

\frown		REVISIONS	DESCRIPTION	BY	DATE	APPROVED	CLIENT	TITAN CONSTRUCTION COMPANY LIMITED ATTN: JACQUES VILJOEN PHONE: 604-856-8888	SEAL	SCALE AS NOTED	DATE SURR AUG 2015	REY PROJECT NUMBE 17-0379-00
	MJL ENGINEERING LTD. 101-2313 WEST RAILWAY, ABBOTSFORD, BC V2S 2E3	-						UNIT 1 – 27355 GLOUCESTER WAY FAX: 604–856–7463 LANGLEY, B.C. V4W 3Z8		DRAWN US CHECKED MJL	L.B. SURF	REY DRAWING NUMBE
	Ph: 604–859–7765 Fox: 604–859–7763 E-mail: office@mjlengineering.com						TITLE	PROPOSED BUILDING	1	DESIGNED MJL CHECKED MJL	CONTRACT	
	BENCHMARK	+	AS PER CITY OF SURREY	US	10/2/18	WL.		GENERAL NOTES AND DETAILS		PLANNING	SHF	EET 4 OF 4
	SUPPEY MONUMENT OCH 8144528	3	AS PER CITY OF SURREY	US	3/13/18	NJL		18780 96 AVENUE		D&C		
	INTERSECTION OF 188 ST. AND 96 AVE. ALL DIMENSIONS ARE IN METRES ELEVATION: 17.824m	2	CHANGES TO RETAINING WALL	US	9/01/17	ML			-	APPROVED	DESTROY ALL PRINTS BEARING	G REVISION
	ELEVATION: 17.824m ALC THE SIZES ALC IN MICLIMETICS	1	ISSUED FOR REVIEW	us	8/23/17	WL	MJL Dr	rawing No. 214007C04			PREVIOUS NUMBERS	3





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LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com



06	18.NOV.01	REV. AS PER CITY'S COMMENTS	JG
05	18.0CT.15	ISSUED FOR DP REVISION	JG
04	18.0CT.02	REV. DP AS PER CITY'S COMMENTS	JG
03	18.SEP.27	ISSUED FOR DP	JG
02	18.MAY.10	REVISION AS PER DRG COMMENTS	JG
01	17.AUG.31	ISSUED FOR BP	QL
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

INDUSTRIAL DEV. UHAUL 19316 56TH AVE. SURREY, B.C.

DRAWING TITLE: LANDSCAPE PLAN DATE: 17.JUN.05 SCALE: 1/16" = 1'-0" DRAWING NUMBER: LESIGN: QL CHK'D: MM

M2LA PROJECT NUMBER:

17044-05.zip

17-044

PLANT SCHEDULE KEY QTY BOTANICAL NAME



ACER RUBRUM 'BOWHALL' CARPINUS BETULUS FRAXINUS ORNUS 'ARIE PETERS'

COMMON NAME

COLUMNAR BOWHALL MAPLE EUROPEAN HORNBEAM ARIE PETERS FLOWERING ASH

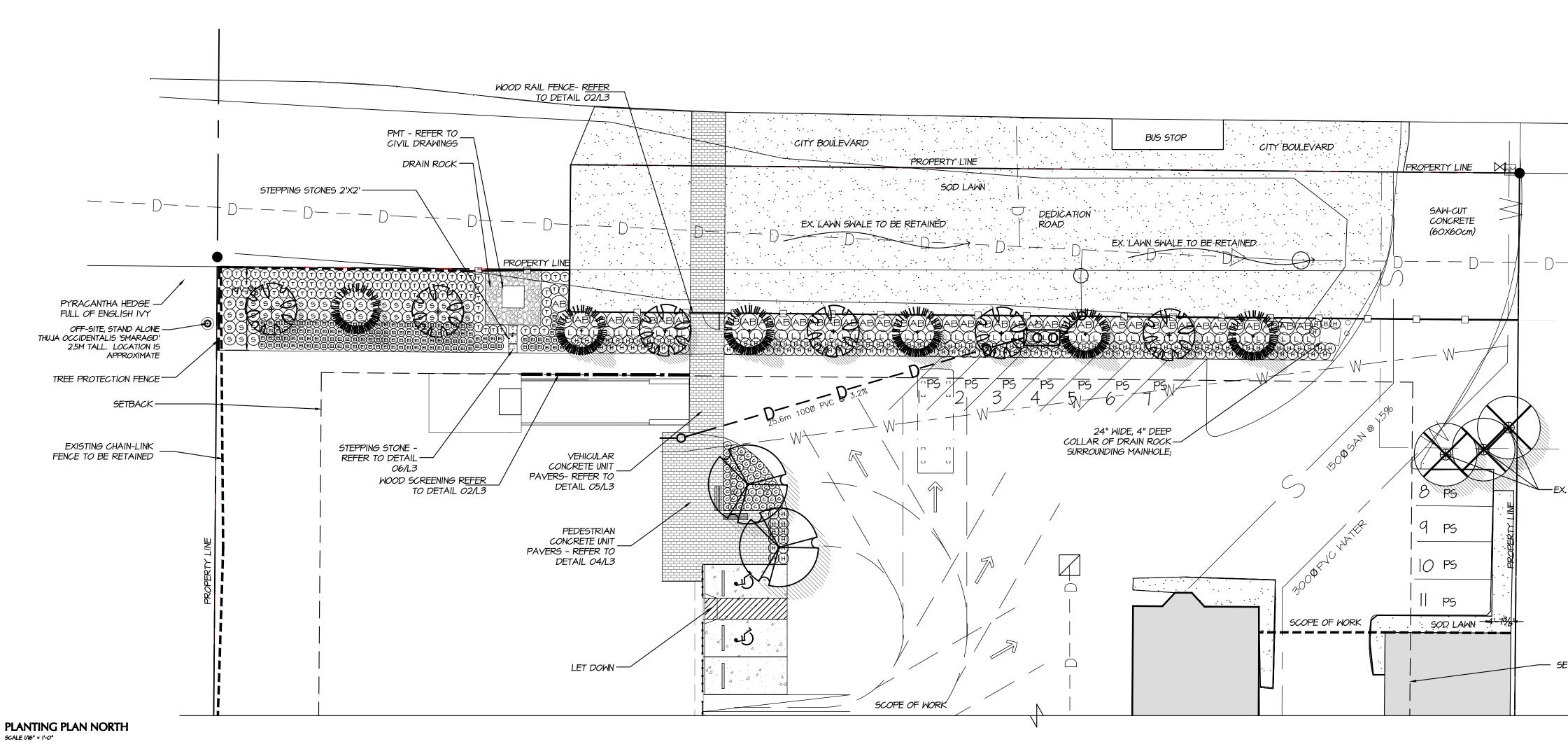
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. C CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFIC MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABI LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAI REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTI

PLANT SCHEDULE KEY QTY BOTANICAL NAME COMMON NAME SHRUB AB L 44 ABELIA GRANDIFLORA GLOSSY ABELIA 57 LONICERA PILEATA PRIVET HONEYSUCKLE (S) T 48 LITTLE PRINCESS SPIRAEA; PINK SPIRAEA X JAPONICA 'LITTLE PRINCESS' 99 TAXUS X MEDIA 'HATFIELDII' HATFIELD YEW GRASS 136 ELYMUS MAGELLANICUS BLUE TANGO BLUE TANGO WHEAT GRASS PERENNIAL HEMEROCALLIS FULVA . 157 DAYLILY H ' *6*C 54 SCOTS HEATHER; DARK PINK CALLUNA VULGARIS 'DARK BEAUTY'

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CO CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFIC MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABL LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAF REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUB STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

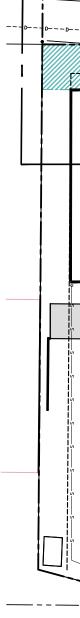
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



M2 JOB NUMBER:	17-044
PLANTED SIZE / REMARKS	
6CM CAL; 2M STD; B&B 5CM CAL; I.2M STD; B&B 6CM CAL; I.8M STD; B&B	
CONTAINER SIZES SPECIFIED AS PER CATIONS FOR DEFINED CONTAINER BLE FOR OPTIONAL REVIEW BY (. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVED SUBSTITUTIONS WILL BE UBJECT TO BC LANDSCAPE	
IFICATION UPON REQUEST.	
M2 JOB NUMBER:	17-044

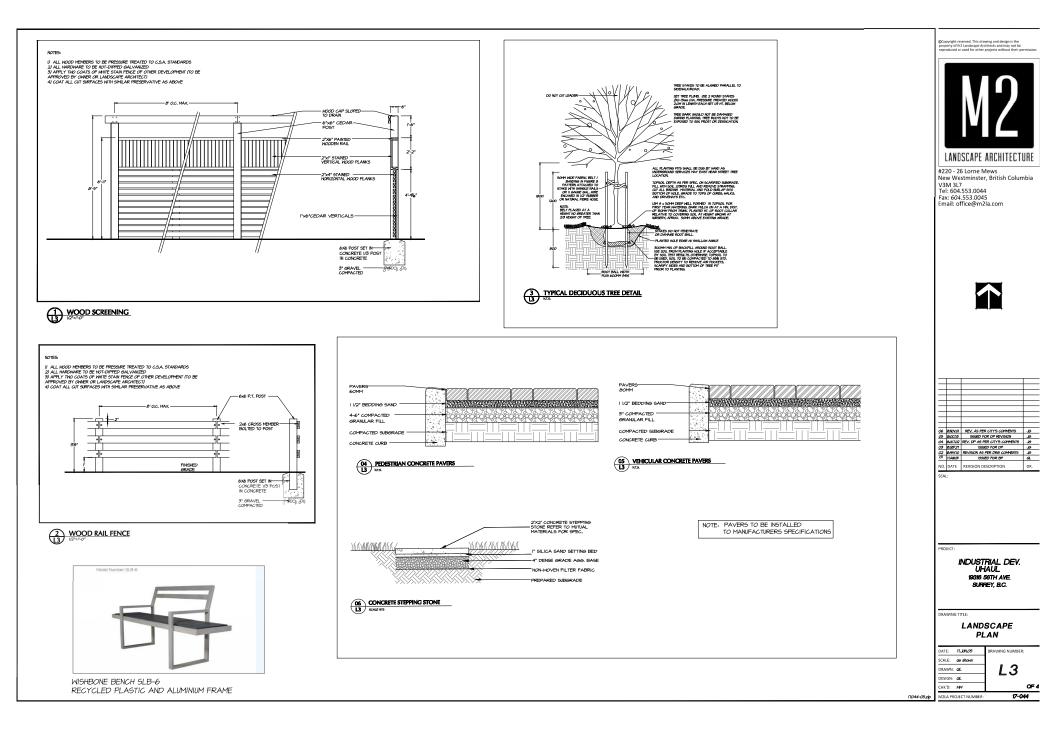
	M2 JOB NUMBER:	17-044
Р	LANTED SIZE / REMARKS	
#	5 POT; 90CM	
#	2 POT; 40CM	
#	2 POT; 40CM	
#	3 POT; 80CM 1.5M B&B	
#	I POT	
#	I POT; I-2 FAN	
#	POT	
	BIZES SPECIFIED AS PER R DEFINED CONTAINER	
	TIONAL REVIEW BY	
	JTIONS: OBTAIN WRITTEN	
	SUBSTITUTIONS WILL BE	
ВЈЕСТ ТО Е	BC LANDSCAPE	





KEYPLAN N.T.S.

PLANTING PLAN ENLARGEMENT		<text><text><text><text></text></text></text></text>
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TREES REMOVED		PROJECT: INDUSTRIAL DEV. UHAUL 19316 56TH AVE. JUHAUL 19316 56TH AVE. SURREY, B.C. DRAWING TITLE: LANDSCAPE PLANTING PLAN DRAWING NUMBER: SCALE: 1/16" = 1'-0" DRAWING NUMBER:
	17044-05 zin	DRAWN: OL OE DESIGN: QL CHK'D: MM CHK'D: MM OF 4 M2LA PROJECT NUMBER: 17-044



RAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT · CONT	
CN	3.1 Recention or Costinue (nec) .1 Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas. .1.1 In some instances the Landscape Architect will had trees or areas to remain. Discuss tree referring news at a start-up mention with the Landscape Architect.	A Application Rate A1 Seed Tisture: Oik log ha 1125 Iku/ Jonel A2 Ferritian Tit Saylo 100 Tistu Annel	. No For all plant morehage, the cancer reserves the right to entered the contractor's neglocodary for average growing season in it is downin, net contractories and growing is an average for a set of the contract of	
e General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents.	2 A physical barrier nust be installed to deliveate clearing boundaries. Perfer to physical barrier detail. If detail not provided, comply with local nunicipal requirements.	4.3 Coastal Midliover Nic: Where specified, apply (318a/acrel 104 Ib.: 13. et grass seed) 8.6 Molec.	3.1. To a ginar analysis, the between bottler resources the right handles when the fail handles is requested by the mather graving quasars it, but is extinct, but development and provide an advected to be requested to a specific or the constraint on provide and provide and quark indications and and quark its development and and an advected to the constraint on provide and quark indications. The constraint on provide and provide and quark indications are larger and quark indications. The constraint on provide and provide and quark indications are larger and quark indications are specification on the two of straint on quark indications. The constraint on quark is advected to the constraint on quark indications are advected to provide and quark indications are advected to provide an advected to the straint of straints are indicating and quark indications. The constraint of straints in a requirement of the straints are advected to provide an advected to the constraint on quark in the straints and advected to the constraints of straints in the constraint on quark in the constraint on quark in the straints of straints are advected to provide an advected to the constraints of straints are indicating and quark interval in the straints of straints are advected to the straints of straints are indicating and quark interval interva	
5, LATEST EXTIDIL, propared by the B.C. Society of Landscape Architects and the B.C. Landscape & Mursery Association, juintig. All work and naterials out in the B.C. Landscape Standard unless supersoded by this specification or as directed by Landscape Architect	3 No nachine travel through or within seguration referition areas or under crowns of trees in the related is allowed.	3.4.1 At the time of Tender provide a complete chart of all components of the nix proposed including match, tabilier, water etc. Sloped sites require tabilier. 3.4.2. Fertilizer:	Interview index is a similar if even three. Proton 3 with the Society 3 (1) (2) (2) (2) (2) (2) (2) (2) (2) (2) (2	
CPICATIONS & STANDARD DETAILS, LATEST EDITION, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction of Engineers Division	A . On not stockpile sell, construction materials, or encavaled materials within vegetation relation areas.	A.2.2 Vertilizer: A.4.2.1 Rough Grass II a sell analysis is available, comply with results. A.4.2.2 Low Water hydrocooling is approved; camply with soil analysis recommendations.	.11.7 Deviation from the specifications may require extension of the Warrardy Period as determined by the Landscape Architect.	
APE IRREGATION SYSTEM, LATEST EXTIDIT Prepared by the irrigation industry Association of British Columbia.	.5 Do not park, fuel or service vehicles within vegetation retention areas.	3. Accurity mesore the quantiles of each of the naturalists to be charged into the task either by each and y accentrally accepted system of near-collarated values exercented. The naturalist shall be added for that while it is being time with water, in the following sequence, seed, furthers: Theready is the a homegoness skary. After charging address with a water and with the task and a many second secon	3.10 R5TALLING LANDSCAPE ON STRUCTURES 1. Verify that Demogra and protection national is completely installed and acceptable before beginning verit. Contract Landscape Architect for instructions if not in place.	
ENGINEERING SPECIFICATIONS WHERE NOTED.	.6 No debris fires, clearing fires or trach burning shall be penalited within vegetation retention areas.		Teerry mer drauge an projecten maleria is companyly microles an acceptant beine argining vers. Canal: Canal ge architect in many merit in the rest. Teerry mer drauge and projecten maleria is companyly microles.	
	.7 No escavalies, drain or service herefues ner any other disruption shall be penaltied within vegetation retention areas without a review of the proposed encreachment by the Ladiscope Architect.	.10 Distribute starry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces.	2. Constaute weis with constructioned genetics and particle drainings. 21. Verify that genetic drains are in place tradegaline drainings in next and prior to placing any drain next or sol.	
n one month) test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility are Architect. Believe crewing medium test results to Landscape Architect for review and accrevel arise to elecement. Befor to Section 3.4 Growing	.8 Do not out branches or roots of retained trees without the approval of the Landscape Architect.	.11 Clean up: Renove all nationals and other debris resulting from seeding operations from the jub site.	.3 Provide clean out at all through-stab drain locations. Use 300mc min. dia. PVC Pipe filled with drain rock unless specific drawing detail shown.	
•	3 Any damage to existing vegetation intended for preservation will be subject to evaluation by an LS.A. Certified Arborist using the "Guide for Plant Approxidal". LATEST	3. Phalescore type automatics installed of affer and data and control for the source of the source of the former. In source of the source of the former and before a source of the so	A Install drain reck evening to a minimum depth of 4" Wildemicer alternate sheet Brain & geochief, install sheet drain as per manufacturer's recommendations.	
nt la leut ar re-teut materiais. Contractor responsible la pay for teuting if nateriais do net meet specification.	EXTOR. .%1 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Canteriors and or the nervanish researching for the disturbance.	Ower. Water in sufficient quantities to ensure deep penetration and all frequent intervals to maintain vigorous growth unit grass is taken over by the Owner. It is the Owner's responsibility to supply value at no entra cost to the Contract.	5 Cover drain resi lar attenate sheet drain if specified on draving details) with filter faink lapping SL200ani at at edges. Obtain approved of drainage system prior to placing graving media.	
differing from that contained in the contract documents must be pre-approved by the Landscape Anthilect.	openaria contractur and or the personal responsible for the distortance.	13 Acceptance of the Rough Grass Areas: Proper gernitation of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably	A Place an even layer of 25 - Sinn clean vashed pump sand over filter fabric.	LANDSCAPE ARCHITEC
product sample or nanofacturer's product description.		3) Accurate we have been as some type periodic of all applied parts and applied to the standard contract. The part has been associated as a standard of the standard contract, the part has been associated as a standard of the standard contract and th	A fince area lay of 3: Shan daw value (app value of file facts. 3 response) and a highly solid file facts (3 and 7 and 8 and 8 and 9 a	LANUSLAFE ANUNITEL
I water as Tabler's Caster 1 with the Grane and when the Landerow Battline's the designated answers the Landerow Battline's Will observe	contraction. 32 GRADES	3# LAWN APEAS - SOODING		#220 - 26 Lorne Mews
Lendrage Architer's Central with the Owner and where the Landrage Architer's is the designated reviewer. The Landrage Architer's will endow In their agains in continue can be in a plane and spectralized. Control Owners Approachemist in surrage for all educations at the Open plane. Supervised sets backed and which are the Indels for the Indelson plane. Second Control. Their is any side distributory, a meding with the general contract in is more three preservation koarse, general landrage kases	 Course subgrade is prepared to conform to depths specified in Section 33, Growing Redux Supply, below. Where planting is indicated class to existing trees, prepare suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the site grading and drainage plan. 	.1 General Treat all areas defined as laws areas on the landscape plan between all property lines of the project including all boulewards to edge of roads and lanes.	3m ESTABLEMENT MANTEWARE Provide a separate price for this section) 3. Intent: The intent of "subdistance" anticeases is to provide writigent care to make installed state material for a relatives short arrive of firm to ensure or increase	New Westminster, British Col V3M 3L7
Several Contract: Prior to any site disturbance, a meeting with the general contractor to review tree preservation issues, general landscape issues	2 On slepes in excess of 31 trench subgrade across slope to 150mm W1 minimum at 15m (5 ft 2 intervals minimum.	 Crowing Median: Comply with Section 223, Growing Median. Prior to solding, request an impection of the finished grade, and depth and candition of growing median by the Landware Architect. 	and a closed the interaction of the provide allow provides and another than come to avoid provide all and another than a closed that come to avoid provide all and another than a closed that a closed to all another than a closed to all another th	Tel: 604.553.0044
Landscape Contract If separately At the start of work with Owner's Representative. Site Superintendent and Landscape Contractor; a neering is to	3 Scrift the ortice subgrade immediately prior to placing graving medium. Re-cultivate where vehicular traffic results in compaction during the construction procedures. Ensure that all planing areas are smoothy contraved after Sight compaction to finished grades.	3 Time of Sodding: Sod from April tot to October tot. Further extensions may be obtained on concurrence of the Landscape Architect.		Fax: 604.553.0045
o observe materials and varianaship as necessary through the course of the verk. Review of different aspects of the wark may be dealt with on		A Set Supply Conform to all conditions of B.C. Landscase Standard Section B.B.C. Standard for Tarlet ass Sed.	2 Naietenance Period: Previde maintenance of installed landscaping for 12 meetins following substantial completion.	Email: office@m2la.com
is may include Site Layout, Rough Grading, Growing Hedium - quality, depites, finish grading, Drainage and Drainage Haterisis, Lawes ar Grass areas, uding negatiations with suppliers, nursery inspections, plant sizes, quality, quantity, planting practice and layout, tree support; Match: Intigation	A Distrate standing value from all finished grades. Provide a smooth, firm and even surface and contars in ogrades shown on the Landscape Drawings. Do not exceed navinum and minimum gradents defined by the B.C. Landscape Standard.	5 Specified Turtgrass by areas Refer to Table 2 beins.	3 Related Standards and Legislation: B.C. Landscape Standard, Jakest edition; Fertilizer Code, B.C. Pesticide Control. Act.	
and a fur why the singletery of the singleter approxis the selfitsen in the classing controls. These privates and an or main- teria the singletery of the si	.5 Construct sweles true to line and grade, smooth and free of sags or high painty. Minimum slape 2%, maximum side slapes 10%. Assure positive drainage to callection paints.	TABLE 2 SPECIFIED TURFGRASS BY AREA	To be a started in addition to the impactions of entering, were remove that every do a traveled control of the A Site Breview to addition to the impactions of substrational control on a grant of the addition to the impactions and substrational control on a designed improvement on the Adverse Matrix and addition to the impact of the adverse Matrix and addition to the impact of the adverse Matrix and addition to the impact of the adverse Matrix and addition of the impact of the adverse Matrix and addition to the impact of the adverse Matrix and addition of the impact of the adverse Matrix and addition of the impact of the adverse Matrix and addition of the adverse Matrix and addition of the adverse Matrix and the impact of the adverse Matrix and addition of the adverse Matrix and addition of the adverse Matrix and the adverse Matr	
ce Review of all work, accounting of all substitutions, deteilons; plant counts, preparations of deficiency list, and reconnendations for completion, in Upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment	& Slope not to exceed the following maximum flough Grass 31, Laws 44, Landscope plantings 21.	Area Description Duality Grade Hulper Species CLASS 1 Laws, all areas noted on dravings as Laws in orban Ke. 1Prenium Kentedy New For son, Fescues For shafe draving and their bruting bruting budgets of a service of the son of the s	designates representante.	
in liges the declaration of Salastatik Performance, a recommendiation for the Salasses of the Conflicture of Congolision will be used to the Payment instruct, a line congolision of the laddack period, clock for completion of declarations, these conflictures of Congolision, and the second payment is the congolision of the usering period (-) ² . The methy second of the Conflicture of Congolision, review at usering material and resport programment.	.7 Thished self-much densities at building to camply with municipal requirements.	CLASS 1 Lave, all areas orbed on drawings as lawn in whan development sites including busievend grass CLASS 2 Grass - public solution, busievend grass CLASS 2 Grass - public solution, busievend grass House 1 and an institutional sites Mo. 2 Standard same	5 Scheduling: Prepare a schedule of anticipated visits and solubility designated representative at start-up. Numberance operations shall be carried out predominately during the growing season between Kurch for and Howenber 38th, however visits at other times of the year may be repaired.	
r to the comparison of the waranty period [+/- 1] nonlins after issuance of the Certificate of Completiond, review all waranty material and report y replacement.	A Inform Londscape Architect of completion of finish grade prior to placement of seed, sind, plants or mulch.	Decomposer tracks exclude decompositions provide DLASSS Decompositions provide DLASS3 Recurrence No.7 Stradgerd same DLASS3 Recurrence Recurrence same DLASS3 Recurrence Recurrence same SPECIAL same same same	4 Maintenance Level: Canady with B. C. Landscape Standard, Section 19, Table 7, Maintenance Level "Medium".	
	33 LANDSCIAPE DATIMAGE .1. Related Work: Graving medium and Finish Grading, Grass areas, Trees Strubs and Gravadowers, Planters, Crib Malis,	SPEON.	Kuterials Couply with Part Two if this specification, Status of the requirements of the 8,C Landscope Standard Formulations and rates as required by sell teating.	
cted in the Cantract Documents, the proparation of the subgrade shall be the responsibility of the General Contractor. Procement of growing medium in subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.	2 Mark beiseten Site finisk erstellen set surfare drainene inskuliktion of ans drainene statistisk official en landstate sites. Rober Calif. basies abaum en landstate eine	6 Line: The Line shall be as defined in Section 2.3.3, Materials. Apply at rates recommended in required soil test. Rafer to Section 3.4 for method.	2.1 Fertilizers: To the requirements of the BC, Landscaps Standard Formulations and roles as required by sell teating. A Plast Reterial Establishment	
dence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herhicides and/or pertitides shall hadd a appropriate autorities.	2. Vers houdes die finde gradig wet werter einige, het klaime et wy beinge tyteks delaket nichtage gran. Being claid weter werter we	 Fartilizen Section 522 Materials. Apply specified fartilizer at rates shown in the required soit test. Apply with a mechanical spreader. Calificate into growing median 43 works prior to sadding. Apply separately from time. 	3 Any Park of Endowner. 3 Any Park of Endowner. 4 Any Park of Endowner. 5 Any Park of Endowner. 6 Any Park of Endowner. 7 Any Park of Endowner.	
	3.2. Detentive exact location of all addring utilities and structures and underground utilities prior to contending well, which may not be located on drawings and conduct werk so as to prevent interruption of service or damage to them. Protect existing structures and willity services and be responsible for damage caused.	menum ve seura prior to sociony. Apply separately from time.	ere segremer cos, nomen as genera per tree per approxime. Ouring the society privility seases, when here pairs ar least every hereing apps behaves April 1 and Apr	
s become familiar with sile conditions before bidding and before start of work.	.2.3 Planter drains on slab. Refer to Section 3.10, Installing Landscapes on Structures.	3 Soday Program Samuelt, The construction for large sod Lay and staggered with sections clearly builting, where everypting or space, smooth and error with adjuicing areas and rell lightly. Value is obtain anistore powerlands of 3" is V"D - Stadi. Couply with requirements of SC Lendocups Standard Section 8, SC Standard for Torfyrass Sect.	revenue, repry were spatiation the water content needs can on their captory, involve and implate with water in the event that any automatic insplicit an system autoactions or has not been coupled by installed. See added applications of water shall be inseed only were nainfail has penetrated the soil fully as required. 47 Mich. Matching autoes the has added applications of water shall be inseed only were nainfail has penetrated the soil fully as required.	
arnicas bafore proceeding with any work.	 Encoden Encoden De homolog net backfilling in accordance with engineering defails and specifications. Up drains on progenet leaf, tree to line and grade with inverts smooth and tree of ongo or high paints. Ensure here of each pipe is in context with bed throughout full- learth. 	ern. 4. Malanana Bark adalaman kanadala alar nakin na sadina fariki ya - ako Adalamia Kondulta antoni ana ako ako a	A3. Vieted cartral: Recover all weeks from all areas all least ance per north daring the growing season by hoeing or cultivation to a maximum depth of Kinn, hard-puting, or, if neuronautric the two as of homefulfare.	
ect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.	32 Lay drains on propared bed, true to line and grade with inverts amoth and free of sags or high points. Ensure berrel of each pipe is in contact with bed throughout full length.	resources weys mammarize interace of a new secting and commer or or eys after substantial conjustion and unit accepted by the Owner. Protect solded areas from danage with tengarry were or twine forces conjuste with signage will law it taken over by the Owner. Nater to obtain mixture posteriols or 3" to 4" (Tr Non) at	A4 - Pest and Disease Control Inspect all planted areas for pests and diseases periodically and all least every two meths during the growing session by an experiment respond Correct on transmission for parts or finance memory and provide the growing distributions. Counter, the distribution of the state and addition of the state	
res to avoid environmential damage. Do not domp any waste materials into value budies. Cantorn with all federal, provincial and local statutes and	 The state of products the state of an end of the state of th	5.4. The advances high addresses interfacely plan and/op plan carbon for all parts of the "address" for a solution of the advances have been a solution of the advances of the advances of the solution of the solution of the advances of the solution of the solution of the solution of the advances of the advances of the solution of the solution of the advances of the solution of the advances of	meansy by the air Harkin. 2.1. You calling the more inflation target and the set of the	
I debris and/ar eccess material from landscape operations. Keep paved surfaces clean and repair clanage resulting from landscape work. Repairs feed acceptance.	.3.5 Noie joints tight in accordance with nanufacturer's directions3.6 De not allow water to flow through the pipes during construction except as approved by Engineer.	mough mit set and man magares. We deractures of two desars The best shell be researching will be tablebad with no second dead ranks or base restricted shell be researching from all works (in \$1"	the opinion of the Landscape Architect. All lagging of gay vires shall be visible and in good repair. 36. Province Instancial in three and sharts of any new how marks during the requires season range to renave all dead week or diseased word. Maintain the natural share	
	.3.1 Noise valerlight connections to existing drains, new or existing matheles or catchbasins where indicated or as directed by Landscape Architect. .3.8 Plug upstream ends of pipe with waterlight deam out caps.	31 Acceptance of Low Access The hord shall be reasonably well established, with no apparent dead sports are have goets and shall be reasonably free of weads line B.C. Landscape Standard, Section Differences Long Of Lapparatorial, the territorial of the standard section and contract finded line was. After the law has been and at load triver, area meeting the conditions also well he beams on the type of the Over.	of the plant. Carry out clipping on shaping only if required in the maintenance contract for specific varieties or conditions. 3.1 Servicing from drives the human events work of a stabilishment existing strategies are conditions.	
ts with existing, and where existing work is allored, make good to match existing undistanted condition.	Serround and cover pipe with drain rock in uniform 150m layers to various depths as shown in details, ninimun 150m. Sour drain rock with non-woven filter cloth tap all udges and seams ninimun 150mm.		9 Frans Areas Fitzbildements	
	3.11 Assure positive drainage. 3.02 Basis fill regulater of trench as indicated.	38 PLANTS AND PLANTING	3.1 Matering: Use hoses and sprinkers, impation systems or other methods to apply water to Glass 1 and Glass 2 grossed areas IB-L Landscope Standard, Section 3, Lawas and Grosseni Such that the crass is existinged in a horizit condition. Spacing water in the overt of any installant proton mathematic installation	
and worknamship for a nininum period of one full year from the date of Certificate of Camptelian. ans for specific varranties.	3.15 Pretect subtrains tree towarane curring instalation. 3.4 Security Health Control (1997)	.1 Conform to planting layout as shown on Landscape Plans.	3) complete de local est primer ingene seguer an en mente region per local in successi per per per local in successi per per per local in successi per	
	 44 General EVENT USED: 54 And Properties The State of provide state appropriate for use in this project for an independent balancing. Provide last results is Landscape. Architect prior to places, for month is tracked. 13 Project appropriate, The state of provide, state 4, and pendent balancing. 14 Project appropriate prior to applications of the state of provide state of provi	2 Obtain approval of Landscape Architect for Layout and proparation of planting prior to commencement of planting operations.	9.2 Weet, insect and Disease Centrel: Inspect grass areas each fine they are neved for weeds, insect pesits, and diseases and treat promptly when necessary by appropriate manual methods, or by the use of chemicals in compliance with the BLSLA/BLLWA Landscape Standards latent edition. Kill broadlesfed weeds in grassed areas by a general	
E OF WORK	places. Less results to exclusion 13 Physical properties, % content of gravel, sand, sitt, day and organics.	.3 Naie edge of bods with snooth clean defined lines.	application of a subable herbickle if the veed population exceeds 10 Devadead veeds or 50 annual veeds or veedy grosses per 48 square meters. This application shall reduce the weed population to zero.	
	 Actory in sed quanties or one of support required to only virtue specified range. Nutrient lands of principle and trace elements and recommodations for required sell anardments. 	A. The of Parring A.1 Paral https://docs.org/activets-only during periods that are normal for such work as defermined by local weather candillons when seasonal conditions are likely to ensure scessional databation of plants to their new localism.	9.3 Fertilizing According to soil analysis 9.4 Linking According to soil analysis	
ract may apply. Confirm Scope of Wark at time of tender.		ensure successful adaptation of plants to their new location.	.85 Moving and Trimming – All areas: The First four cuts shall be a sharp referry type mover. Excess grass clipping shall be removed after each cut. Nov all grassed areas with a sharp neel ar rolary mover when the grass maches a height of 60ms. Nov To a height of 60ms. Citye with a mechanical vertical cutting edge more per year in March.	
all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally	 So universe incursive required for the performance of the Centruct. Do not land, transport or spread growing medium when it is so well that its structure is likely to be demaged. 	5 Databatis 3 Databat	The under parallels trans. 31 Fertility and understand and understand 32 Fertility and understand and understand 33 Fertility and understand and understand and understand and understand and understand and understand and understand 34 Fertility and display of more and the grant and under a high of all data. The bit shadped of all the standard and understand and understand and understand and understand and understand 34 Fertility and display of more and the grant and understand and understand and understand and understand and understand and understand 35 Fertility and display of more and the grant and understand and understand and understand and understand and understand and understand 36 Fertility and understand and understand and understand and understand and understand and understand and understand 36 Fertility and understand and understand and understand and understand and understand and understand and understand 36 Fertility and understand and understand and understand and understand and understand and understand and understand 36 Fertility and understand a	
Yes, Anna of Paraly, https://www.inter.com/anna/anna/anna/anna/anna/anna/anna/an	2 Supply all growing medium administrates as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the	5.11 Refer to B.C. Landscape Standard, Section 9, Plants and Planting and in Section 12, BCUNA Standard for Container Grown Plants for minimum standards. 5.52 Refer to Plant Schedule for specific plant and container sizes and comply with requirements.	30 - And the And the And the And the Property Section 1 in Executing in the Executing Section 2 and the And th	
dscape Drainage. of graving modure.	various areas. 21 Thorwybly nix required anendnerts into the full depth of the growing nedium. 22 Secola mixes are be required for various situations. Refer to drawin notes for instructions.	3.2 Heart indexial obtained from areas with lass severe climetic conditions shall be grown to withis and the site canale.	throughout the growing leasion. Re-level between April 1st and April 15th or between September 1st and September 1sth. Protect re-leveled areas and leven multi live first moving.	
weing nation and/or site topool, in of additives to meet requirements of soil test and Table Doe.		6 Parlow A1 Parlow at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.		
g beds, supply el plant material and planting. prass areas, supply el materials and seeding.	3 Pizes the anended graving modum in all grass and planting areas. Spread graving modum in uniform layers not exceeding 6° (150mm), over uniforms subgrade free of standing water.	A restability: Analogic sector induces the Lower Mainted and Fraser Yolley. Refer to Plant Schedule for any extension of area. Source and of the maintability of the sacrified plant entropic within 30 data of the word of the Contract.		
nes, supply of nationals and sodding. of bark match.	A Minimum depths of growing medium placed and compacted to 40%	.2.2 Supply proof of the availability of the specified plant material within 30 days of the award of the Contract.		
et and sector society and some of the accepted by owner. Adultment Nantenance, Section 311.	A11 Sected and sadded lawn	8 Subsitution &1 Obtain written account of the Landscase Architect arise to making are subsitivities to the specified material. Non-account subsitivities will be rejected.		
er men mis vis, nur specines og cantiscipe af unieti.	A - Statune dellar d'avaig nation place de conputel in 1920 14. 19- page 14. 19- page 14. 20- page de la constante de la co	3 Substration 31 Oktiva within approved of the Landacape Architect prior to making any substitutions to the specified material. Kon-approved substitutions will be rejected. 42 Manue andman of Stopy prior to delivery for respect to substitute. 43 Substrations see subject to Katerape Stander Architect and Conflict of Architectual Virg.		OF BADYON REV. AS PER CITY'S COMMENTS
to BC Landscape Standard for definitions of imported and on-site topool. Refer to Table One below.	sides. A 2 En-Elade	3 Plant Species & Location		05 80.001,05 ISSUED FOR DP REVISION 04 80.00102 REV. DP AS PER CITY'S COMMEN
or Geowing McDuin / Gellevel, 2 Geoemb And Level, 3 Moderate AREAS Jastification Testura Class "Lawy Sand" to "Sindy Law".	den. 10 - Gale 10 - Gale 12 - Galerature zere	 Paint Species & Location That's shall be how to same and of the height, caliger and size of root ball as shown on the Londscape/site plan plant schedule. Caligor of trees is to be taken 6° (Scn) alway syste. 		
lassification Testural Classs' Tuanty Sand' to "Sandy Lean". Low Trattic Areas. High Trattic Planting Areas	A23 Lave without automatic irrigation	alone grade. 3.27 Florar 24 specified species in the lacetion as shown on the landscape drawlags. Rolfly Landscape Artificite 17 conflicting rack or underground/evertead services are accusationed. 3.3 Deviation of given planting location wilk only be allowed after review of the proposed deviation by the Landscape Architect.		02 BMAYJO REVISION AS PER DRS COMMEN 01 (1A463) ISSUED FOR BP
Ballintini (et) et also San in a ang Canini Ballintini (et) et also San in a ang Canini Brees and Largo Sinolo Liven Jeres and Rathers R. 28 29	A25 Trees and specime through the second sec			
2. 21 27 Percent Of Dry Weight of Total Grouing Madum		31 Examiliar 301 Trees and large shrulov Guzzarba a seasor shaped tree pit in the depth of the motifal and he al least fusion the width of the motifald. Assees that finished grade is at the original grade the tree was grown at.		NO. DATE REVISION DESCRIPTION
0-1% 0-1% 0-1%	3 Manually spread growing nedwn/planting soil around existing trees, shrubs and electacies.	ing vegen y ever ing filte Ville grown an. 14 - Avelane of Bitalian Union		SEAL:
1-5X 1-5X 1-5X	.6 In perimeter seeded grass areas, feather graving medium out to nothing at edges and blend into existing grades.	.11 Drainage of Rearing Holes: 131 Provide change of planting his every required, is on staged candidow, track out the side of the planting pile to allow change and in flat conditions, mend to realise traverable lower lapervisor tayes. Helly the Landscape Architect where the change of planting beins is Salited.		
Percent Of Dry Weight of Growing Hedian Excluding Growel	.7 Finished grodes shall conform to the elevations shown on landscape and sile plans. Tax-groups GRASS APEA - Settand	re nom na navnan utere njernata krjet. Nenty me Lantskape Aromech enere ne dranage of planning blets is linited. 37. Blandan sed fastiliska fivendaran		
Sil - HDS 10 - HDS (d - HDS)	Sta-20204 64555 6424. • StCBM4 -1 "Oranges" longing yous areas can noted on the drawings as "Rough Gross". Treat all areas defined as rough gross between all property lines of the project including all beater with Sta_digs of reads and lanes.	12 Flasting and fartituing Precedence 121 Flast all mess and activity with the revis placed in their natural growing position. If luritagped, lessen around the top of the ball and out avey or field under. Do not puil burling from use the ball. Carefully reviews containers without injuring the contains. After satilities in place, on hum. For who basists, dip and network top three news of		
	umerens numeren numeren i verille etti stellet. 1. Bennenskin et fordener. T. Bf. f. anderens förstelad förar 3 danse Bande annal Santine 1113			
11 - ISX 0 - ISX 11 - ISX	 Properation of SurTange, Ta BE Lanckcage Standard Dass 3 Areas Rough grand Saction 31.13 O clean existing und by existing in earns of electric our Stann in any dimension. Tanglar grade scattarton ta BBA're existences specificate esti possible retrange. 	40.5. 2010 puting hash peoply finite the gravity density marked and an end to not puting hash in 15 dial parts, faith the hash and an explored to mark that gravity finite processing and the proceeding with the puting hash and proceeding and the proceeding with the puting hash and proceeding and the proceeding with the puting hash and proceeding and the proceeding with the puting hash and proceeding and the proceeding with the puting hash and proceeding and the proceeding with the puting hash and proceeding with the puting hash and proceeding with the proceeding with the puting hash and proceeding with the puting hash and proceeding with the proceeding with the puting hash and proceeding with the proceeding with the proceeding with the proceeding with the proceeding with th		
0-20X 0-50X 0-20X	2.2 shaping grade surfaces to assert an interesting opening and the positive attendate. 3. There all Seeding Seed from early spring (perifying), point tot) to late (nal September Shill of each year. Further extensions may be obtained on concurrence of the Landscape			
0-25% 0-5% 0-25%	Aronec.	.13 Stabing of Trees: .13.1 Use two 21/21/5' states, unless superseded by nuricipal requirements. Set states minimum 2 ff. in soil. Do not drive state through realitable.		
3 - 10% 3 - 50% 10 - 200%	A Seed Supply & Testing. All seed must be obtained from a recognition and suppler and shall be No. 1 grass solution delivered in containers bearing the following informations A.1. Adaption of the seed minitore A.1. Proventing of each seed System	32. Learn the time confide prefix. 33. Teaching as prepared searce(a), and a new palynappies first bit), adding with these bits. A general predict is for the "a validation of the time of the search predict bits of the "a validation of the time of the search predict bits of the "a validation" of the search predict bits of the search p		
3 - 5% 5 - 20%	A2 Percentage of each seed type	33.4 Conferous Trees over 6 th. height. Guy with three 2-strand wires (IT gauge). Drive three stakes equidistant around the tree completely below grade. 33.5 Trees 6 (t), on blood or Concret Decks, Gue as above using three deallocation (in: 2022). Turing to the number possible deall without of stakes.		
6.0 - 1.0 6.0 - 1.0 4.5 - 6.5 Percolation shall be such that so standing water is visible 60 minutes after at least 10 minutes of moderate to beavy rain or invisation.	5 Sectifiers if is order shall be role as strong performers in the Fairly Barrison 2 along publics to used approach. This County for finance 35 Science Transmit along 35 Science Transmit along 35 Science Transmit along 35 Science Transmit along 36 Fairly Science Science 34 Martineses (Science) Albertane Unit for the Science 3 pro-generate diments.			PROJECT:
	201 Jenuit Ryn 57 Salver Personial Ryn	 Fruing: List pruning: In the minimum necessary is remove deal or injured transfors. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp texts: Rule as all cut clean and cut to the branch cultur leaving as states. Space affected areas as as not in reliain water. Remove damaged naturals. 		INDUSTRIAL DE
nd'or inerganic compound containing Nilrogan (NI, Plosphate (25), and Poltash (soluble 2) in properties required by sell test.	so can be remain any e SS Yerladig Blacepass For Wildinary Areas use a nixture of Wildinavers with Hard Fessaes (Terralitis Coastal Wildinavers) with Hard Fessae of pre-approved alternate.			UHAUL
al linestone. Heet requirements of the BC. Landscape Standard.	A further because a second paper a consistence such as a consistence of the second and the second and the second and the second and the second as a	15 Holding (5) Holding and participants with an even layer of node to 2-1/2 - 3" (15 - 35m) dog/h. Centing placement of much in areas labeled "Soundower Area" on dravings. Patch a 31.0 Without discharts circle areas (trave in layer areas, here a close roles.		19316 56TH AVE.
rold compain product to the requirements of the B.C. Landscape Standard, LATEST EDITION and pre-approved by the Landscape Architect. dworks, The Answer Garden Products, Frazer Richmond Solks & Filter, Stream Organics Management.				SURREY, B.C.
up sand to meet requirements of the B.C. Landscape Standard.	.7 Seeding: Apply seed at a rate of 103x111000s /acrel with a mechanical spreader. Incorporate seed into the top VV* Monil of soil and lightly compact.	.16 Acceptance .16.1 The estudialment of all plant material is the responsibility of the Landscape Contractor.		50mE1, 80.
Non BVF) nines Fir/Henlack bark chips and fines, free of churks and slides, dark brown in calour and free of all soil, stones, reofs or other range in colour bark will be rejected.	Acceptance Provide adequate protection of the sended areas with conditions of acceptance have been net. Camply with Section 37 Hydrosendeg.	37 Plant Material Maintenance		
range in colour bank will be rejected. s: If used, nest conferm to all federal, previncial and local statutes. Appliers must hald current licenses issued by the appropriate authorities in	3.7 Trepagaeeead .1. They dermand as an alternate to nechanical seeding in rough grass areas.	The Reflection of the second sec		
or in uses, more converting on exerce, provided and local statures. Appliers must have current occases issued by the appropriate authorities in	2 Nay not be used in artistical Laws unless pro-approved by the Landscape Architect prior to bidding.	30.2.1 water to supported natural rainfall such that the soil mosture centent is kept to 50% to 60% of field capacity. Water to the full depth of the real zone each line. The Dater is responsible to supply value at no extra cent to the Central's Confine source of value prior to beginning web.		DRAWING TITLE:
Regradable blanket or other filtering neutrane that will allow the passage of water but net fine sel particles. (Such as MBAF1140 NL, GEOLON H40 product pre-appresed by the Landscape Architect)	3 Preparation and Growing Medium	-reso use equipyever necessaries to contact perso or observes company grant namerus. Comply with all local governing statutes and guidelines for chemical control. 1774. Flant natival which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. 1715. Flant natival which that we down induce which and an appropriate season as determined by the Landscape Architect.		
e product pre-approved by the Landscape Architect.) nd Schedula 48 PVC naminal sizes.	3 Prografion and Growing Moduo 31 In proves of Royale France Confly with Science 36-Baggel Grance. 32 Menne generation for weith answell municipal and Antonia Science 30 (and Antonia Science).	17.6 Kantala ners verlag, staten, ett gar anne, ann mennade. 17.6 Kantala ners risklikely verd free Uppervane level 2, BC. Landscape Standard, Chapter DI. 17.7 Michinandrik to nersifield andhe		LANDSCAPE
ed Schedule 48 PVC nominal score. M. Inert: durable, and have a naximum size of Thmn and carizability no material smaller than Minm.	A Protections Essure that fertilizer in solution does not come in contact little the foliage of any trees, strutus, or other susceptible vegetation. Do not spray seed or main on	unit i sense messi di Sportetti oppitale 19. Maria Manuala		SPECIFICATIO
	A Protection Ensure that fortilizer in solution does not care in cost2XT2MALLy foliage at any trees, stards, or viter susceptible vegetation. Do not spray used or mich on objection at exected to group sprays. Protect existing the explorent caselowy, allochanging reference points, numeers, nations and attractives from Ganaga. Mixere constantion for costs, messes explored sprays to particular to attract and attractions from Ganaga. Mixere	38.1 Replace all unablished by plant material except those designated "Specimen" for a period of one 10 year after the Certificate of Coupletion. Replace all unablished by the second of the Discover the Certificate of Coupletion.		
requirements of the B.C. Landscape Standard. Bater to 3.9; Plants and Planting. All plant material must be provided from a certified disease free efficialion.	 Match shall conside of single sound filters ar recycled paper filter designed for hydraulic seeding and dysel filter-sage of nonlineing application. If using recycled paper moleculation of the used filter sadel field constant. 	peer merona versponser openment of a person of the Log person are the Carminate on Compension. Replace as unsanstancery mees and binds and cardinae to replace these write the specified number is complete and safe factory to the Candidage Architect. Such replacement shall be subject to the molification, inspection and approval as another to the unified to the subject to unable to a which the factoria to the factory.		DATE: 17.10.05 DRAWING NUM
a sections in this specification.		sprovers on the organ participant part of the construct as one contract. 32. Those Plants, learning and what here some of the Canada Department of Agriculture housi class for the area, specified by the Landscape Architect and installed by the Landscape Canada and the Utility theory of the landscape and the Canada and		SCALE:
of segmental black walls to provide engineered drawings for all valls signed and social drawings for all valls, individually, in excess of 12m, or linely in excess of 12m, installations must be reviewed and signed off by Certified Protestimus Engineer; inicide cost of engineering services in	A Water: Stall be free of any inputities that may have an injurious effect on the success of seeding or may be barnful in the environment.	the service of the service with the same incomposition representes non-wink average of the service and the service of the serv		
	J. Epipront: Use induity standard hydraelic usedwrhaether apiponel with the teak values certified by an identification pate or vicker atfaud hydrael war on the equiprent. The hydraelic usedwrhaether atability capable of additions to all the antabilities a banapanes target and the instahl the starty in a hittinggest state with it is applied. The doctange program of an entration all the capable of applied instantists offending your the decipited area.	In the terminant of general segments segments and the segment "Specifier" for a point of en 13 year after the for Electric of capations. Bypecifier the segment of the specifier of the specif		DRAWN: QL
or naterial accessory to conside the project as above on the drawings and described herein.	urrs is assess. The discharge purps and our negates shall be capable of applying the materials wilformate were the designated area.			DESIGN: COL



Appendix IV

TO:	Manager, Area Planning - North Surrey Division Planning and Developme	•		
FROM:	Development Services M	anager, Engineering Depa	rtment	
DATE:	Nov 14, 2018	PROJECT FILE:	7817-0379-00	
RE:	Engineering Requiremen Location: 19316 56 Avenu	nts (Commercial/Industria e	al)	

DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

Works and Services

- Construct a 9.0 metre wide driveway.
- Construct an adequate size watermain fronting the property.
- Install water service connection to service the proposed development.
- Remove redundant service connections.
- Replace the existing sanitary sewer connection (greater than 30 years old).
- Provide storm sewer connection.
- Install a water quality/sediment control inlet chamber and register the associated Restrictive Covenant for operation and maintenance of the system

A Servicing Agreement is required prior to Building permit.

Tommy Buchmann, P.Eng. Acting Development Services Manager LR1

Tree Preservation Summary

Surrey Project No:				
Address:	19316 - 56th Ave, Surrey			
Registered Arborist:	Aelicia Otto, PN-2019A			

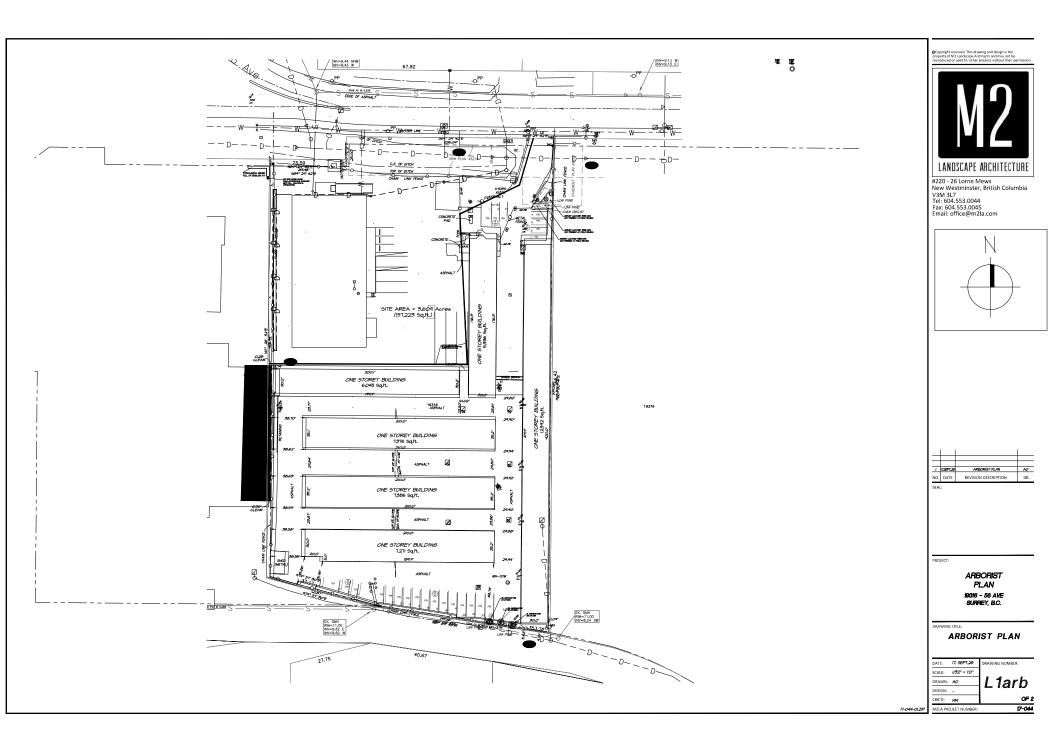
On-Site Trees	Number of Trees
Protected Trees Identified	
(on-site and shared trees, including trees within boulevards and proposed streets	3
and lanes, but excluding trees in proposed open space or riparian areas)	
Protected Trees to be Removed	
Protected Trees to be Retained	2
(excluding trees within proposed open space or riparian areas)	3
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
 Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0 	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

Delivia Alto

Oct. 3, 2017 Date



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0379-00

Issued To:

(the "Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-506-778 Lot 28 Section 3 Township 8 New Westminster District Plan 56637

19316 - 56 Avenue

(the "Land")

- 3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section C.3 of Part 5, Off-Street Parking and Loading/Unloading, the number of required off-street parking spaces may be reduced from 89 to 46 spaces.
- 4. This development variance permit applies to only <u>that portion of the parking, buildings</u> <u>and structures on the Land</u> shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
- 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

- 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 . ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jane Sullivan

