

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0379-00

Planning Report Date: November 19, 2018

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

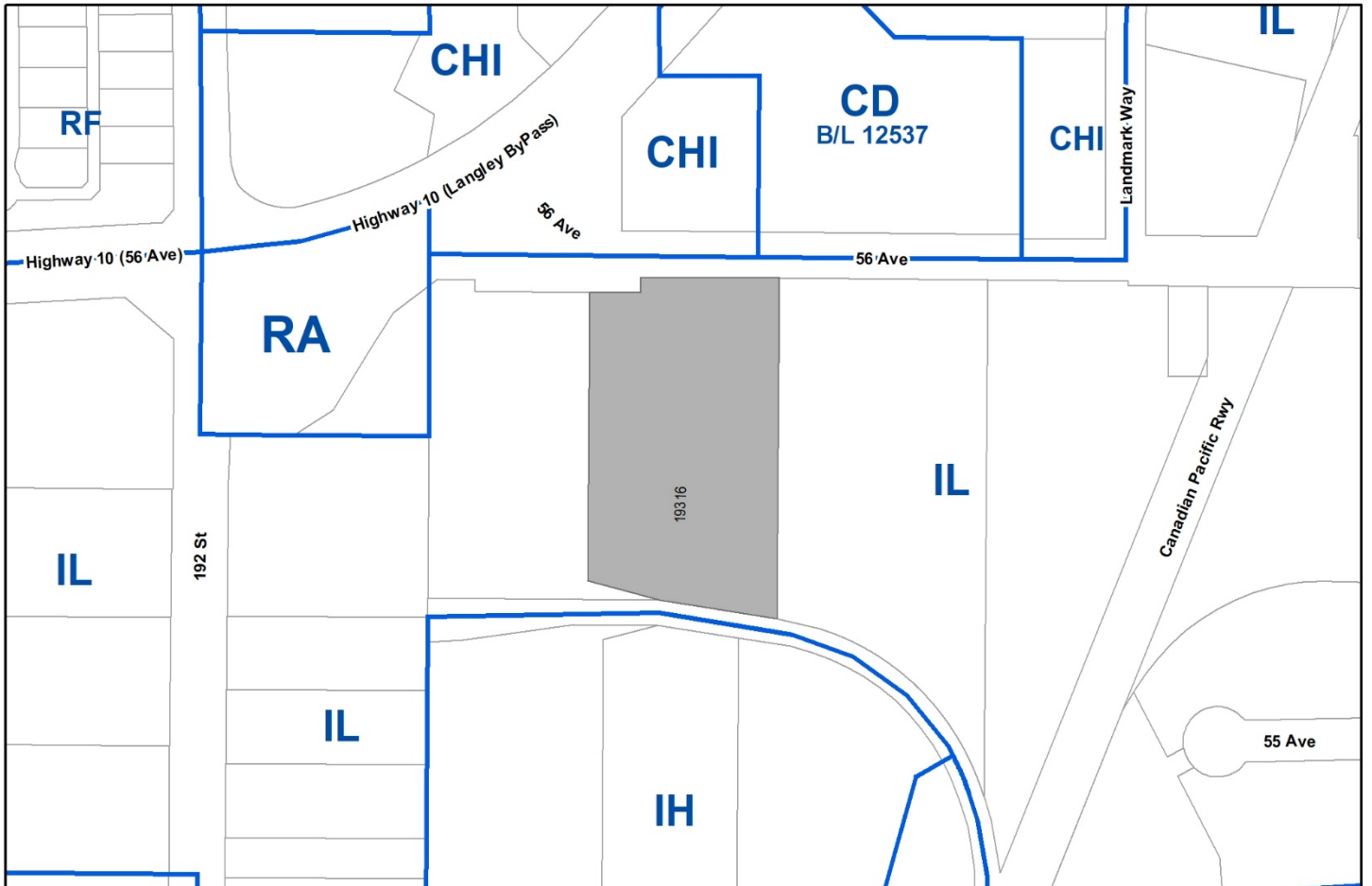
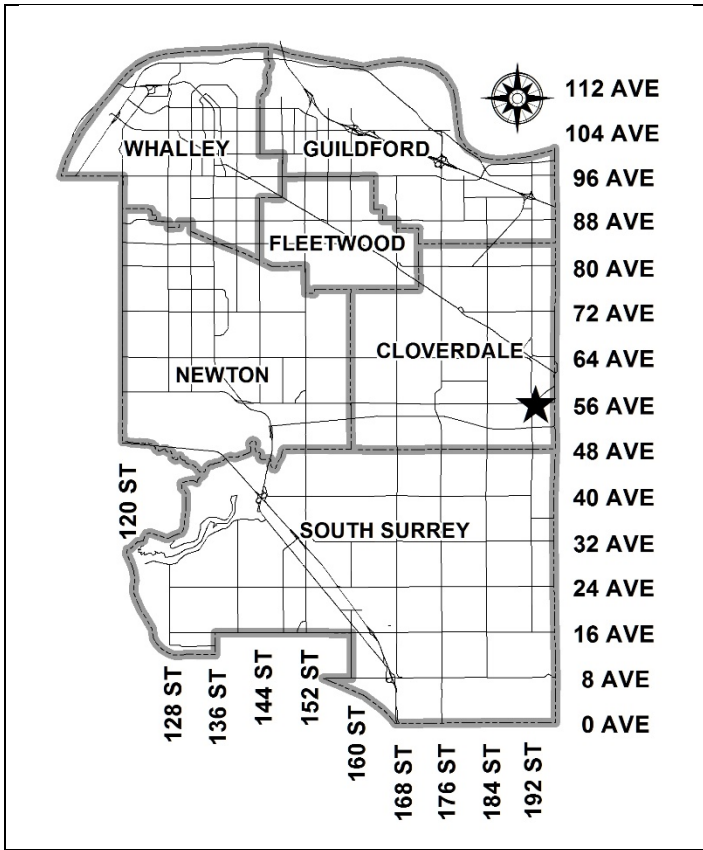
to permit the development of a four-storey mini-storage warehouse building and to reduce parking requirements.

LOCATION: 19316 - 56 Avenue

ZONING: IL

OCP Industrial

DESIGNATION:



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the number of required parking spaces from 89 to 46 spaces for a mini-storage business.
- Proposing to increase the number of fascia signs allowed above the first floor from one to three.

RATIONALE OF RECOMMENDATION

- The proposed multi-storey storage facility complies with the IL Zone and intensifies the use of industrial land.
- The proposed building is a high quality design, with glazing facing 56 Avenue.
- The City's Transportation Division has reviewed the proposed parking variance and has no concerns given the nature of the proposed use (mini-storage warehouse).
- Proposed signage is proportional in size and scale to the proposed building and no free-standing signage is proposed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0379-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
2. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
3. Council approve Development Variance Permit No. 7917-0379-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum number of required on-site parking spaces from 89 to 46 spaces for a proposed mini-storage warehouse.
4. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) input from the Ministry of Transportation & Infrastructure;
 - (c) registration of a Section 219 Restrictive Covenant to prohibit a free-standing sign on the subject property;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

SITE CHARACTERISTICS

Existing Land Use: U-Haul self-storage and truck rentals.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 56 Avenue):	Two-storey highway commercial building	Mixed Employment	CHI
East:	Mansonville Plastics	Industrial	IL
South (Across train spur):	Timber yard	Industrial	IH
West:	Timber yard	Industrial	IL

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is located at 19316 - 56 Avenue in Cloverdale and is 1.46 hectares (3.6 ac.) in size. The subject site is zoned Light Impact Industrial Zone (IL) and is designated Industrial in the OCP.
- There are six existing single storey drive up mini-storage buildings located along the southern and eastern portions of the site, which are to remain.
- An existing two storey office and caretaker suite is located by the eastern entrance and resembles a single family dwelling, which is also to remain.
- The northwest corner of the site is currently used as a storage area for rental vans and trucks which are proposed to be relocated as part of the development.

Current Proposal

- The applicant proposes to construct a four-storey mini-storage warehouse building that is approximately 4,360 square metres (47,000 sq. ft.) in floor area with an approximate 1,248 square metre (13,440 sq. ft.) footprint.
- The proposed mini-storage warehouse use is a permitted use in the IL Zone.

PRE-NOTIFICATION

- A Development Sign was installed on January 18, 2018 and staff have not received any comments.

DESIGN PROPOSAL AND REVIEW

Proposed Design

- The proposed building is a four-storey steel frame industrial warehouse building. The building is primarily cream and beige in colour. Substantial glazing is proposed along the north façade and the northern corners of the east and west facades facing 56 Avenue. Green trim on the north façade and green canopies on the east façade are proposed to provide some architectural interest.
- The applicant proposes a ramped loading bay along the north façade which will be screened from the public realm by a wooden fence and landscaping. A sliding loading door and two person doors are proposed on the east façade and will be the primary entrances (see Appendix VI).

Parking, Storage, Circulation and Site Access

- The applicant is proposing a total of 46 parking spaces which is below the Zoning By-law requirement of 89 parking spaces based on the combination of uses (mini-storage, office and caretaker suite) proposed. The applicant therefore proposes a Development Variance Permit (DVP) to reduce the number of parking spaces for the mini-storage portion of the development. See By-law Variances section for further details.
- The parking is located primarily to the east of the proposed building. Existing stalls are also located along the south property line. All of the existing mini-storage units are older drive-up units with non-formalized parking spaces in front of them.
- The applicant proposes to store their fleet of rental trucks, vans and trailers to the southeast of the proposed building. To the east of the fleet storage is a parking area for large trucks and trailers.
- The site's existing access from 56 Avenue at the northeastern portion of the site will be retained and upgraded.

Landscaping

- Landscaping is only proposed within the northern quarter of the site as no new development is occurring on the southern three quarters of the site.
- An existing 10-metre (33 ft.) wide easement is located along the northern portion of the site which is proposed to be planted and maintained as grass. South of the grass swale is a proposed one-metre (3 ft.) tall fence and a 3-metre (10 ft.) wide landscape buffer composed of a mix of coniferous and deciduous trees with shrubs.
- A paved pathway is proposed from the entrance of the new building north to 56 Avenue.
- A loading ramp and loading bay is proposed along a portion of the north façade. The loading area will be screened by a 2.5 metre (8.5 ft.) tall wooden fence and trees.

- At the northeast corner of the building an employee/customer break area is proposed which will include two trees and some benches.

Signage:

- The applicant has proposed three fascia signs along the top storey of the new building. The Sign By-law only allows one sign above the first storey. The applicant proposes to increase the number of signs as part of a comprehensive sign design package.
- All signage is proposed to be channelized lettering. Along both sides of the northwest corner are the words “U-Haul” and along the west side of the north façade are the words “self-storage”.
- The applicant is not proposing any other signage including fascia or a free-standing sign and will register a Restrictive Covenant to restrict any future free-standing signage in the future.

TREES

- Aelicia Otto, ISA Certified Arborist of M2 Landscape Architecture prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Pine	3	0	3
Total (excluding Alder and Cottonwood Trees)	3	0	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		14	
Total Retained and Replacement Trees		17	
Contribution to the Green City Fund		nil	

- The Arborist Assessment states that there are a total of 3 protected trees on the site. It was determined that all trees can be retained as part of this development proposal. In addition, the applicant proposes to plant 14 new trees. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- In summary, a total of 17 trees are proposed to be retained or replaced on the site and no contribution to the Green City Fund is required.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum required number of on-site parking stalls for the proposed development from 89 to 46 spaces.

Applicant's Reasons:

- Parking calculations for the proposed mini-storage business are based on the follows:
 - The total floor area of mini-storage is 8,578-square metre (92,338 sq. ft.) which includes the six existing single storey buildings, (4,218-square metre/45,406 sq. ft.) and proposed 4-storey mini-storage warehouse building (4,360-square metre/46,932 sq. ft.);
 - A 56-square metre (600 sq. ft.) office component; and
 - A 142-square metre (1,530 sq. ft.) care taker suite.
- The Zoning By-law provisions require one (1) parking space per 100 square metres (1,076 sq. ft.) of mini-storage warehouse space and 2.5 spaces per 100 square metres (1,076 sq. ft.) of office space, and 2 spaces per caretaker suite which equates to 89 parking spaces.
- The six existing mini-storage buildings were constructed as drive-up storage units to allow for parking immediately in front of the unit. The informal parking spaces are not included in the parking calculations but the site has performed without conflict since the original development was constructed.
- If only the new building parking was calculated under the parking regulations, 44 parking spaces would be required for the (4,360-square metre/46,932 sq. ft.) of floor area.
- Mini-storage is not a parking intensive use and warrants a parking requirement of approximately one (1) parking space per 200 square metres (2,152 sq. ft.) which equates to 43 parking spaces for the proposed 4-storey building and the existing six buildings.
- Based on the applicant's experience with mini-storage facilities, peak traffic for the entire site will be between 10 and 15 vehicles at a time which is well below the 46 spaces proposed.
- The 46 formal parking stalls proposed are considered appropriate to accommodate the employee and visitor parking requirements anticipated for this mini-storage development.

Staff Comments:

- The existing (4,218-square metre/45,406 sq. ft.) of mini-storage use in the six (6) existing buildings are exclusively drive-up units which have substantial informal parking and loading located in front of the individual units.
- Mini-storage is a low intensity parking use. The proposed parking calculations of one (1) parking space per 200 square metres (2,152 sq. ft.) equates to 43 parking spaces for the proposed 4-storey mini-storage building and the existing six buildings.
- Additionally, the proposed caretaker suite requires two (2) parking spaces and the office space of 56 square metres (600 sq. ft.) requires one (1) parking space, which are accommodated.
- The following table shows a detailed breakdown of parking requirements for the site:

Use	Area* (ft ²)	Area* (m ²)	Parking rate (per 100 m ²)	Parking Spaces Required	Proposed Parking Spaces
Office	600	56	2.5	1	1
Caretaker's Suite	1,530	142	2 (per unit)	2	2
Mini-storage, existing drive up	45,406	4,218	1.0	42	---
Mini-storage, new 4- storey building	46,932	4,360	1.0	44	---
Mini-Storage Sub-Total	92,338	8,578	1.0	86	43
TOTAL				89	46

* Floor area used for parking calculation purposes.

- The City's Transportation Division has reviewed the proposed parking provisions and has no concerns.
 - Staff support the proposed variances.
- (b) Requested Variance through comprehensive sign design package:
- To increase the number of signs above the first storey from one to three signs and allow signage on two facades (north and east).

Applicant's Reasons:

- No free-standing sign is proposed for the subject site.

- Due to substantial landscaping screening along the frontage of the building, first storey signage would not be visible from the road.
- The Sign By-law allows up to six (6) fascia signs for the subject site and the proposed design only incorporates three fascia signs.

Staff Comments:

- The site is a large 1.4 hectare (3.5 acre) property with approximately 8,578 square metres (92,338 sq. ft.) of floor area which would allow for up to six (6) fascia signs at the ground level under the Sign By-law as the premise is over 6,000 square metres (65,000 sq. ft.) of floor area. The applicant is only proposing three (3) fascia signs.
- The applicant is not proposing a free-standing sign and will register a restrictive covenant to prevent future free-standing signage.
- The three signs are all proposed to be channelized lettering, and the signage is proportional in scale to the building.
- Staff support the requested variance as part of a comprehensive sign design package.
- Under the Sign By-law, variances to signage provisions can be approved by Council through a Development Permit that includes a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Tables
Appendix III.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7917-0379-00

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.50 m	11.9 m
Rear	7.50 m	78.3 m
Side #1 (east)	7.50 m	61.9 m
Side #2 (west)	7.50 m	7.50 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m	16.76 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		1
Total		1
FLOOR AREA: Residential		142 sq. m.
FLOOR AREA: Commercial		
Retail		
Office		56 sq. m.
Total		
FLOOR AREA: Industrial		4,218 sq. m (existing) 4,360 sq. m (proposed)
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8,776 sq. m

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.60
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Office	1	1
Industrial	86	43
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	2	2
Residential Visitors		
Institutional		
Total Number of Parking Spaces	89	46
Number of accessible stalls		2
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		16 total tandem spaces
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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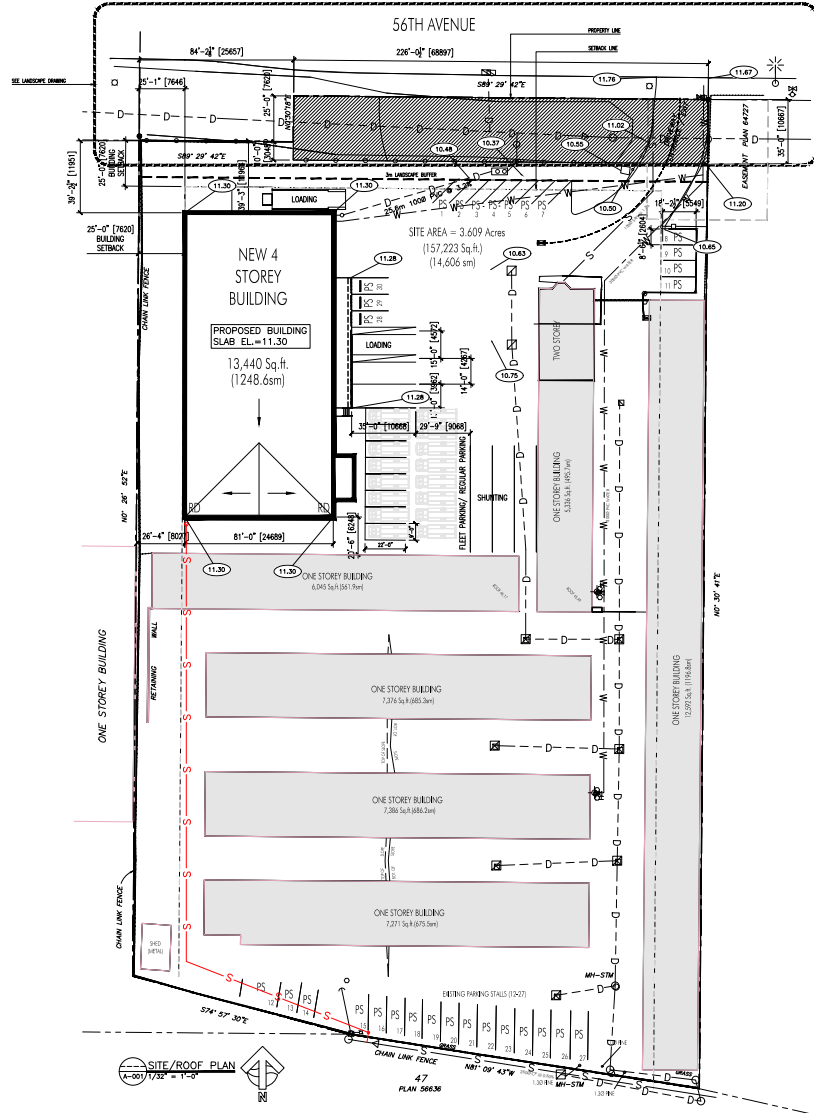
PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two (2) additional fascia signs for a total of three (3) above the first storey and allow the three (3) fascia signs on two facades (north and east).	a maximum of one fascia sign per lot frontage may be located above a first storey to identify the name and/or address of the building to which it is attached, provided no more than one such sign shall be permitted on any one façade of the building above the first storey; (Part 5, Section 27(2)(a.1.)(i).	<p>The proposed fascia signs are comprehensively designed for the building, and are high quality signs that are of an appropriate size and scale in relation to the building.</p> <p>No other fascia or free-standing signage is proposed on site.</p>

U-Haul of Langley, 19316 56th Avenue, Surrey, BC

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 Kelowna, BC V1Y 2M3
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PROPERTY DESCRIPTION

CMC: 19316 56th Avenue, Surrey, BC
 LEGAL: LOT 28 SECTION 3 TOWNSHIP 8 PLAN 56637 NWD PART NW1/4, EXCEPT PLAN EXP 64727

ZONING CALCULATIONS:

CURRENT: City of Surrey, IL (Light Impact Industrial)

SITE INFORMATION:

	Allowed	Proposed
Gross Site Area =	157,223 sq ft (14,606 sm)	376 (99,446 sq ft) [8764 sm]
Warehouse Site Coverage =	60% (94,334 sq ft) [8764 sm]	0.60 (94,486 sq ft) [8828 sm]
F.A.R. =	1.0 (157,223 sq ft) [4606 sm]	

	Required	Proposed
Max. Height =	18m (60ft)	5.9(16.76m)
Yard setbacks:		
front yard -	7.5m	3.95' (11.9m)
side yard -	7.5m (0.0 abutting commercial or industrial)	2.84' (8.6m)
rear yard -	7.5m	N.A.

Parking Calculations:

Table C.1, Part 5 Off-Street Parking and Loading/Unloading

	Required	Proposed
1 parking space per 100 sq ft (1,075 sq ft) of gross floor area (Warehouse & Light Impact Industrial)	42	
Gross floor area = approx. 46,926 sq ft / 1,075 = 43 parking spaces		

	Required	Proposed
2.5 parking spaces per 100 sq ft (1,075 sq ft) of gross floor area (Office)	2	
Gross floor area = approx. 400 sq ft / 1,075 = 2 parking spaces		

	Required	Proposed
2 spaces per unit (Residential)	2	

BUILDING AREAS & USAGES:

	Area	Classification
Total Existing:	47,536 sq ft	
• Drive-in storage units	45,406 sq ft	F2
• Office (main floor)	600 sq ft	D
• Caretaker's suite	1,530 sq ft	C
Total New:	46,932 sq ft	
• Storage facilities main floor	10,651 sq ft	F2
• Warehouse main floor	2,720 sq ft	F2
• Storage facilities second floor	10,295 sq ft	F2
• Storage facilities third floor	10,295 sq ft	F2
• Storage facilities fourth floor	13,171 sq ft	F2

DRAWING LIST

Architectural:

A-001	SITE PLAN & ANALYSIS
A-002	LARGE SCALE SITE PLAN
A-101	ENTRY LEVEL FLOOR PLAN
A-102	SECOND LEVEL FLOOR PLAN
A-103	THIRD LEVEL FLOOR PLAN
A-104	FOURTH LEVEL FLOOR PLAN
A-200	ELEVATIONS
A-200B	ELEVATIONS
A-201	ELEVATIONS
A-201B	ELEVATIONS

CMC:

1	TITLE PAGE
2	LOT GRADING
3	SITE SERVICING
4	GENERAL NOTES AND DETAILS

ELECTRICAL:

ED.1	SITE PLAN
ED.2	SCHEDULES AND DETAILS
ED.3	ENTRY LEVEL LIGHTING
ED.4	ENTRY LEVEL POWER/TELE/DATA
ED.5	SECOND FLOOR LIGHTING
ED.6	SECOND FLOOR POWER/TELE/DATA
ED.7	THIRD FLOOR LIGHTING
ED.8	THIRD FLOOR POWER/TELE/DATA
ED.9	FOURTH FLOOR LIGHTING
ED.10	FOURTH FLOOR POWER/TELE/DATA
ED.11	SCHEDULES
ED.12	SCHEDULES
ED.13	SCHEDULES
ED.14	SCHEDULES
ED.15	SCHEDULES
ED.16	SCHEDULES
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ED.59	SCHEDULES
ED.60	SCHEDULES

LANDSCAPE:

L1	LANDSCAPE PLAN
L2	LANDSCAPE PLANTING PLAN
L3	LANDSCAPE PLAN
L4	LANDSCAPE SPECIFICATIONS

Revision No.	Date	Description
08	05.17.09	PRE-APPLICATION
07	12.17.09	DP APPLICATION
08	25.11.09	BP CHECK SET
12	04.17.10	DP SUPPLEMENTAL #1
01	05.15.10	DP SUPPLEMENTAL #2
02	05.15.10	DP ADDENDUM #3
03	06.16.10	DP ADDENDUM #4
04	11.14.10	DP ADDENDUM #5

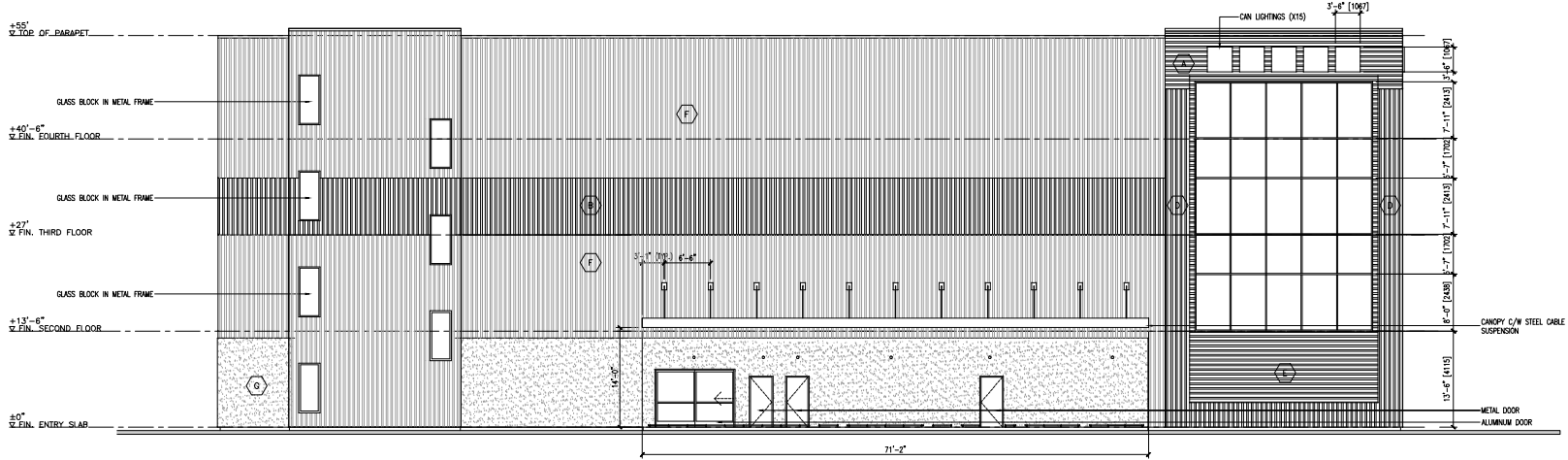
Plot Date	Drawing No.
14-NOV-18	A-001

PROJECT: U-HAUL OF LANGLEY, SURREY, BC
 DRAWING TITLE: SITE PLAN & ANALYSIS

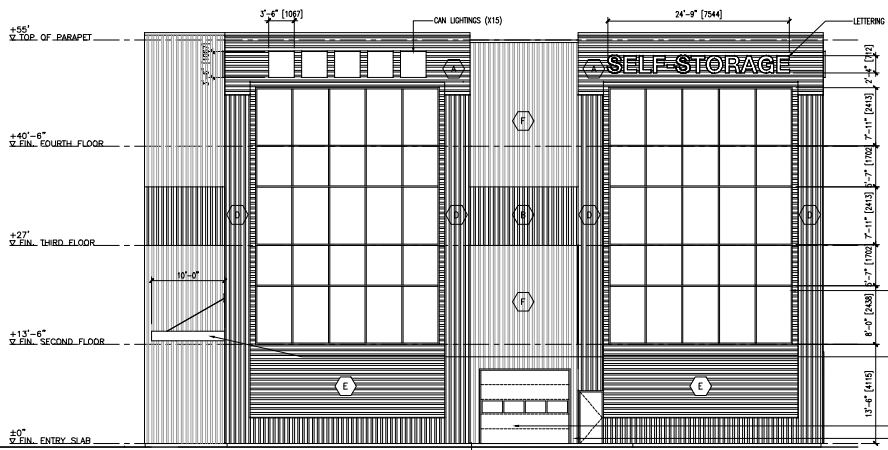


DP ADDENDUM #6

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1 EAST ELEVATION
 78'-0\"/>



2 NORTH ELEVATION
 78'-0\"/>

- EXTERIOR FINISH/COLOUR LEGEND:**
- A MDCI PANEL - HORIZONTAL PATTERN, SW BELEVEABLE BLUFF, 6120
 - B MDCI PANEL - VERTICAL PATTERN, SW BELEVEABLE BLUFF, 6120
 - C MDCI PANEL - HORIZONTAL PATTERN, SW LATTE, 6180
 - D MDCI PANEL - VERTICAL PATTERN, SW LATTE, 6180
 - E MDCI PANEL - HORIZONTAL PATTERN, SW AESTHETIC WHITE, 7035
 - F MDCI PANEL - VERTICAL PATTERN, SW AESTHETIC WHITE, 7035
 - G CONCRETE
 - H STANDING SEAM METAL ROOF - RUST-GLEAM GREEN

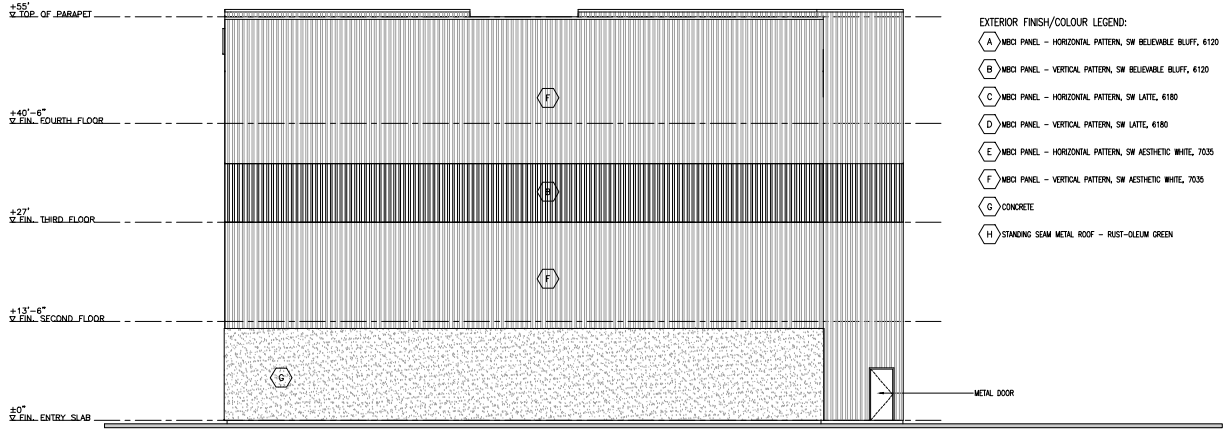
- ALUMINUM WINDOWS
- CANOPY C/W STEEL CABLE SUSPENSION
- METAL DOOR OVERHEAD DOOR

Revision No.	Date	Description
16.08.17-DP	07.12.17	DP PRE-APPLICATION
16.08.17-DP	10.01.18	DP CHECK SET
12.04.17-DP		SUPPLEMENTAL #1
16.08.18-DP		SUPPLEMENTAL #2
16.08.18-DP		ADDENDUM #3

Plot Date 16-Oct-18	Drawing No. A-200
PROJECT LANALIS OF LANGLEY SURREY, BC	
DRAWING TITLE ELEVATIONS	

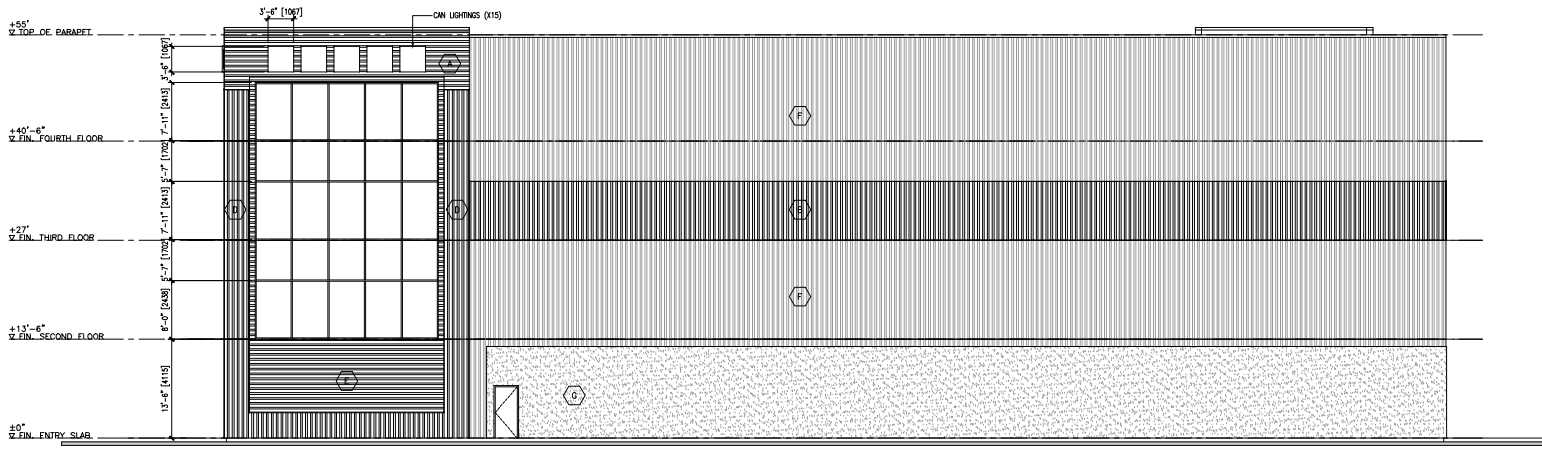
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- EXTERIOR FINISH/COLOUR LEGEND:**
- (A) MBCI PANEL - HORIZONTAL PATTERN, SW BELIEVABLE BLUFF, 6120
 - (B) MBCI PANEL - VERTICAL PATTERN, SW BELIEVABLE BLUFF, 6120
 - (C) MBCI PANEL - HORIZONTAL PATTERN, SW LATTE, 6180
 - (D) MBCI PANEL - VERTICAL PATTERN, SW LATTE, 6180
 - (E) MBCI PANEL - HORIZONTAL PATTERN, SW AESTHETIC WHITE, 7035
 - (F) MBCI PANEL - VERTICAL PATTERN, SW AESTHETIC WHITE, 7035
 - (G) CONCRETE
 - (H) STANDING SEAM METAL ROOF - RUST-OLEUM GREEN

1 SOUTH ELEVATION
 1/8" = 1'-0"



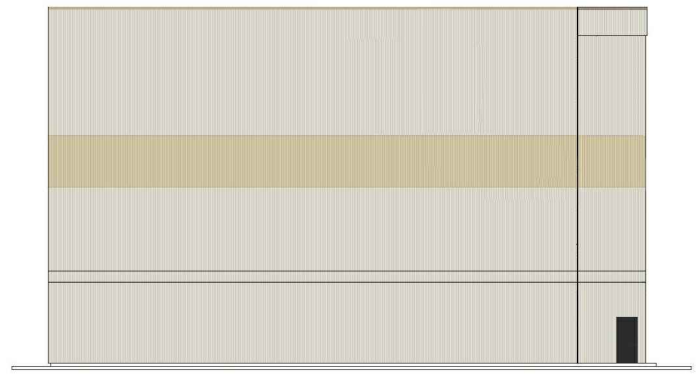
2 WEST ELEVATION
 1/8" = 1'-0"

Revision No.	Date	Description
06.08.17-DP	07.12.17	DP APPLICATION
08.05.17-FIN	08.07.17	SP CHECK SET
12.04.17-DP		SUPPLEMENTAL #1
05.08.18-DP		SUPPLEMENTAL #2
03.16.18-DP		ADDENDUM #3

Plot Date 18-Oct-18	Drawing No. A-201
PROJECT LANALIS OF LANGLEY SURREY, BC	
DRAWING TITLE ELEVATIONS	

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 All trades are to consult the work in accordance with the current applicable building bylaws and requirements of other local authority having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all applicable codes and standards. It shall also ensure full responsibility for the location and protection of any and all above ground utility, pipe and social connections, including but not limited to water, sewer, gas, light and telephone.

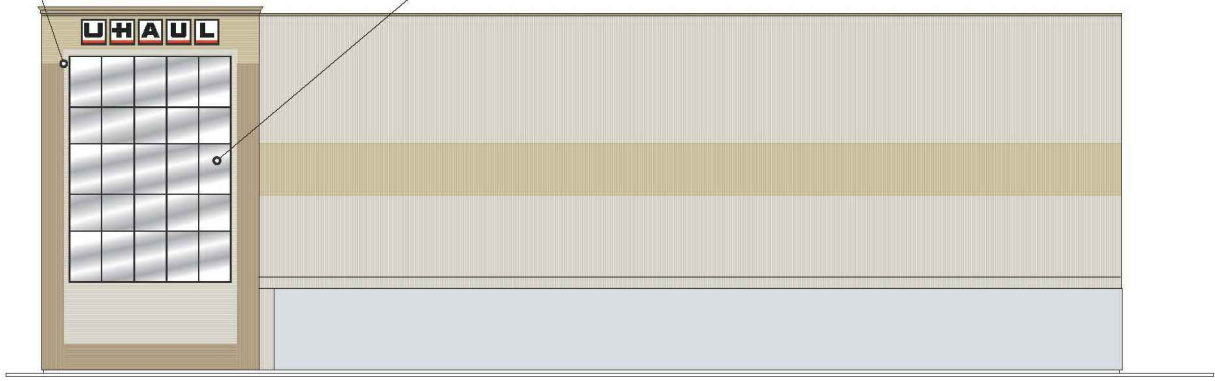
-  MBCI PANELS PAINTED:
SW Believable Buff 6120
-  MBCI PANELS PAINTED:
SW Aesthetic White 7035
-  MBCI PANELS PAINTED:
SW Latte 6108
-  Concrete
-  Rust-Oleum Green



SOUTH ELEVATION / CONCEPTUAL IMAGING

VERTICAL AND HORIZONTAL MODULATION IN THE BUILDING

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA.



WEST ELEVATION / CONCEPTUAL IMAGING

Revision No., Date and Description
 15.02.18-DP SUPPLEMENTAL #2
 10.16.18-DP ADDENDUM #3

Plot Date: 16-Oct-18
 Drawing No.: A-2018

PROJECT: DANIEL OF LANGLEY SURREY, BC

DRAWING TITLE: COLOUR STUDIES

PROPOSED BUILDING 19316 56TH AVENUE SURREY, B.C.

Developer

U HAUL INTERNATIONAL/AMERECO REAL ESTATE
C/O ROV CONSULTING INC.
ATTN: ANDREW LASICH

UNIT 101 - 2040 SPRINGFIELD ROAD
KELOWNA, B.C. V1Y 9N7
PH: 602-263-6502 (x516401)
FAX: 602-277-5824

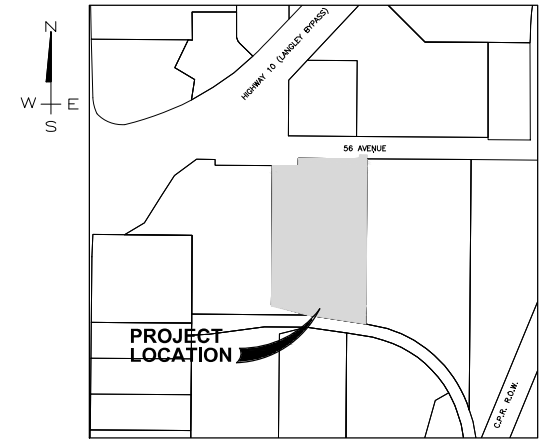
List of Drawings

- 1 OF 4 COVER
- 2 OF 4 LOT GRADING
- 3 OF 4 SITE SERVICING
- 4 OF 4 GENERAL NOTES & DETAILS

MJL ENGINEERING LTD.
101-2313 WEST RAILWAY, ABBOTSFORD, B.C. V2S 2E3
Ph: 604-859-7765
Fax: 604-859-7763
E-mail: office@mjlengeering.com

MJL ENG. Project No. 217018

City File No. 17-0379-00



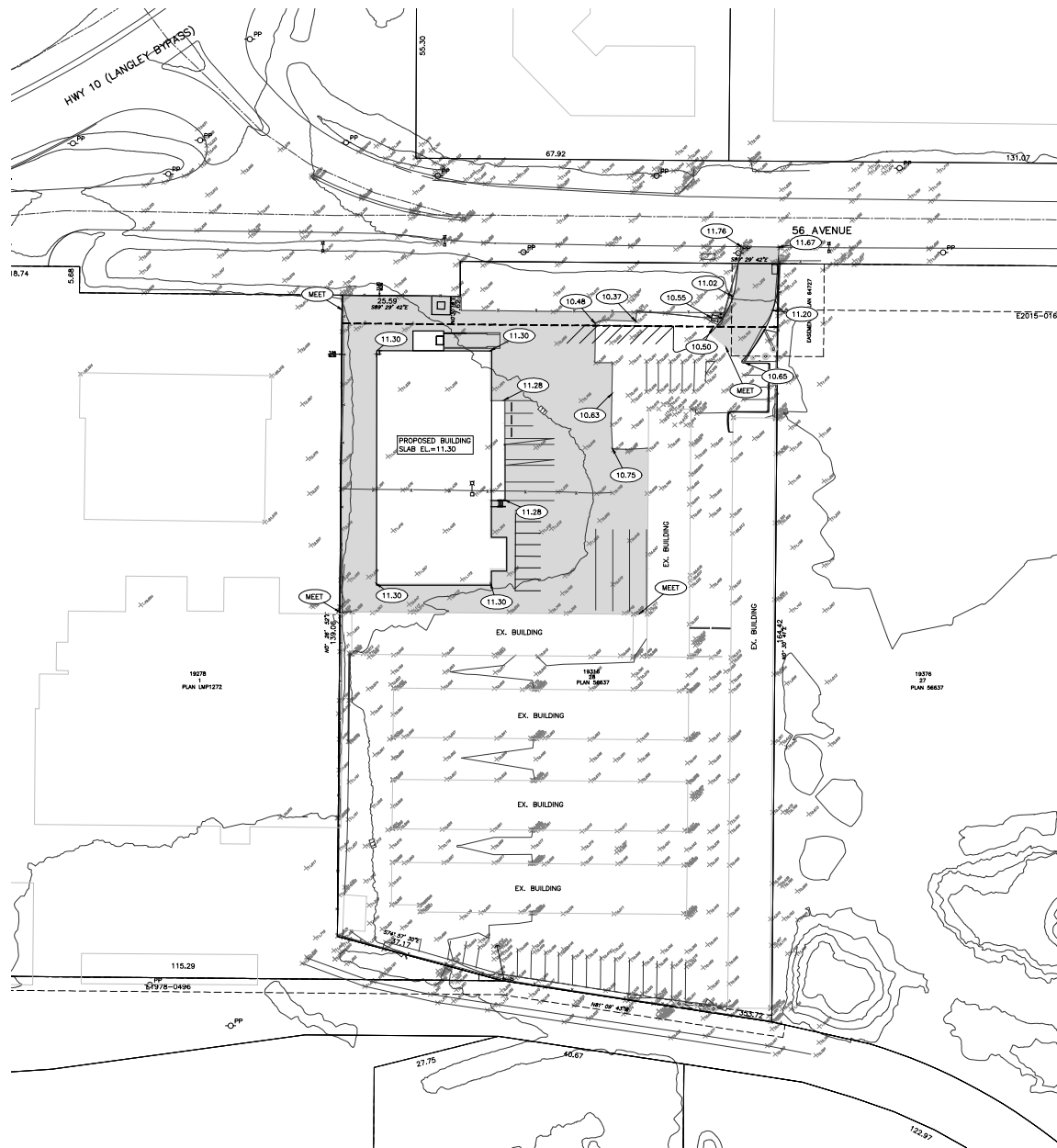
KEY PLAN

1:5000

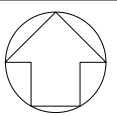
GENERAL LEGEND		
EXISTING	PROPOSED	DESCRIPTION
↑	↑	IRON PROPERTY PIN
⊗	⊗	BENCH MARK - GEODETIC DATUM
⊞	⊞	TEMPORARY BENCH MARK - GEODETIC DATUM
—	—	EDGE OF PAVEMENT
—	—	CURB & GUTTER
—○—	—●—	SANITARY SEWER
—○—	—●—	STORM SEWER
⊞	⊞	CATCH BASIN - TOP INLET
⊞	⊞	CATCH BASIN - SIDE INLET
⊞	⊞	LAWN DRAIN
⊞	⊞	CLEANDOUT
—	—	SWALE
—	—	DITCH
—	—	DRAINAGE DIRECTION
—	—	DRAINAGE BREAKLINE
+9.68	12.00	ELEVATIONS
—	—	ASPHALT
—	—	PARKING LOT DETENTION
—	—	SIDEWALK
—W—	—W—	WATER MAIN
—W—	—W—	WATER VALVE
—W—	—W—	AIR VALVE
—W—	—W—	HYDRANT AND VALVE ASSEMBLY
—W—	—W—	CAPPED END
—W—	—W—	BLOW-OFF
—W—	—W—	TEMPORARY BLOW-OFF
—T—	—T—	UNDERGROUND TELEPHONE
—E—	—E—	UNDERGROUND ELECTRICAL
—G—	—G—	GAS MAIN
—L—	—L—	TRAFFIC SIGNAL & STREET LIGHT U/G DUCTS
○*	○*	ORNAMENTAL STREET LIGHT - DAVIT
○*	○*	ORNAMENTAL STREET LIGHT - POST TOP
○	○	UTILITY POLE
○	○	UTILITY POLE W/LIGHT
⊞	⊞	JUNCTION BOX
→	→	100 YEAR FLOW

Legal Description:

LOT 28, SECTION 3, TOWNSHIP 8, PLAN 56637,
NORTH WESTMINSTER DISTRICT PART NW1/4,
EXCEPT PLAN EXP 64727



NOTE:
 CONTRACTOR TO CONFIRM
 EXISTING UTILITY LOCATIONS &
 INVERTS AND NOTIFY ENGINEER
 OF ANY DISCREPANCIES



MJL ENGINEERING LTD.
 101-2313 WEST RAILWAY, ABBOTSFORD, BC V2S 2E3
 Ph: 604-859-7765
 Fax: 604-859-7763
 E-mail: office@mjlengineering.com

BENCHMARK:
 CONTROL MONUMENT 9240832
 NW CORNER OF HWY#10 & 192ND ST.
 ON TOP OF CURB 2.6m S OF TRAFFIC SIGNAL
 ELEVATION: 13.7250m

**ALL DIMENSIONS ARE IN METRES
 ALL PIPE SIZES ARE IN MILLIMETRES**

REVISIONS	DESCRIPTION	BY	DATE	APPROVED
4	AS PER CITY OF SURREY	US	10/2/18	MAL
3	AS PER CITY OF SURREY	US	3/13/18	MAL
2	CHANGES TO RETAINING WALL	US	9/21/17	MAL
1	ISSUED FOR REVIEW	US	8/23/17	MAL



CLIENT U HAUL INTERNATIONAL/AMERCO REAL ESTATE
 C/O ROV CONSULTING
 #101 - 2040 SPRINGFIELD ROAD
 KILLOWNA, B.C. V1V 8N7

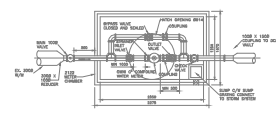
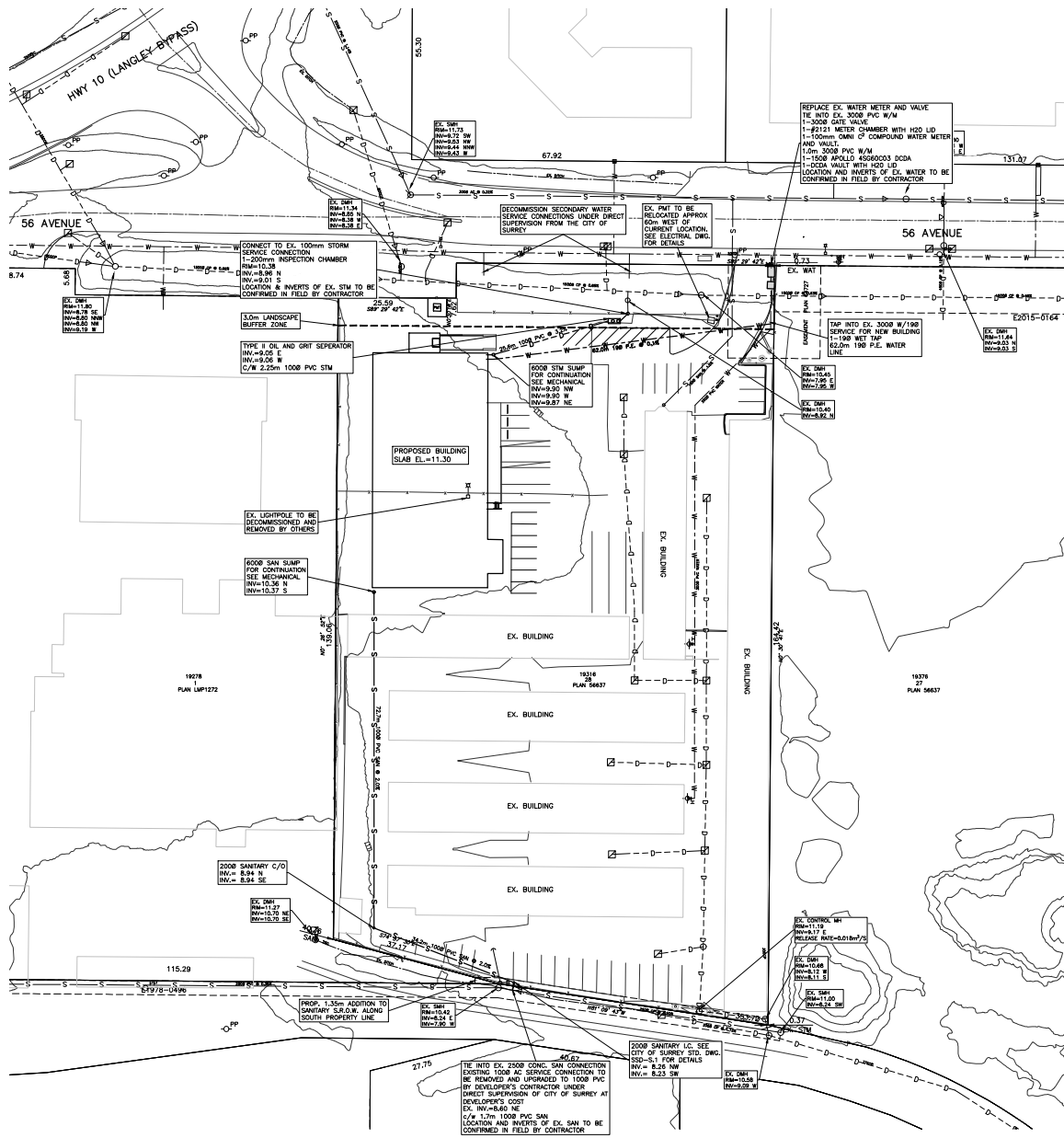
PHONE: 602-263-6502
FAX: 604-277-5824

TITLE PROPOSED BUILDING
 LOT GRADING
 19316 56TH AVENUE

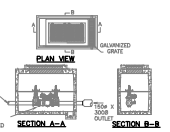
MJL Drawing No. 217018C02

SEAL

SCALE 1 : 500	DATE AUG 2017	SURREY PROJECT NUMBER 17-0378-00
DRAWN US	CHECKED MAL	SURREY DRAWING NUMBER
DESIGNED MJL	CHECKED MJL	CONTRACT
PLANNING	D&C	SHEET 2 OF 4
APPROVED	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	REVISION 3



2122 METER CHAMBER W/DOOR METER
CITY OF SURREY, 2016, 200-000



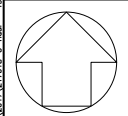
1500 INLET
CITY OF SURREY APPROVED 02/08/00003

NOTE: THESE MANHOLE DETAILS APPLY TO ALL PUBLIC AND PRIVATE AREAS.
 1. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 2. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 3. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 4. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 5. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 6. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 7. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 8. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 9. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.
 10. ALL MANHOLES SHALL BE CONSTRUCTED TO THE FINISHED GRADE OF THE ADJACENT ROAD OR DRIVEWAY.

DOUBLE CHECK SECTION A-A ONLY: MILE

NOTE:
 INSTALL MAINS SUCH THAT CROSSING IS MIDWAY BETWEEN JOINTS ON FULL LENGTH OF WATERMAIN. ALL JOINTS WITHIN 3m OF SEWERS SHALL BE SHRINK WRAPPED OR PACKED WITH COMPOUND WRAPPED IN TAPE TO ANSI/AWWA C209 AND ANSI/AWWA C217-90 FOR HEALTH REQUIREMENTS. ALL MATERIALS SHALL HAVE ZERO HEALTH HAZARD.

NOTE:
 CONTRACTOR TO CONFIRM EXISTING UTILITY LOCATIONS & INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



MJL ENGINEERING LTD.
 101-2313 WEST RAILWAY, ABBOTSFORD, BC V2S 2E3
 Ph: 604-859-7765
 Fax: 604-859-7763
 E-mail: office@mjlengineering.com

BENCHMARK CONTROL: MONUMENT 9200832
 NW CORNER OF HWY#10 & 192ND ST.
 ON TOP OF CURB 2.0m S OF TRAFFIC SIGNAL
 ELEVATION: 13.725m

ALL DIMENSIONS ARE IN METRES
 ALL PIPE SIZES ARE IN MILLIMETRES

NO.	DESCRIPTION	DATE	BY	CHECKED
4	AS PER CITY OF SURREY	10/2/18	MAL	
3	AS PER CITY OF SURREY	3/13/18	MAL	
2	CHANGES TO RETAINING WALL	9/21/17	MAL	
1	ISSUED FOR REVIEW	8/23/17	MAL	



CLIENT: U HAUL INTERNATIONAL/AMERCO REAL ESTATE
 C/O ROY CONSULTING
 #101 - 2040 SPRINGFIELD ROAD
 KILLOWNA, B.C. V1Y 8N7
 PHONE: 602-263-6502
 FAX: 604-277-5824

TITLE: PROPOSED BUILDING SITE SERVICING
 19316 56TH AVENUE

MJL Drawing No. 217018C03

SCALE	DATE	SURREY PROJECT NUMBER
1 : 500	AUG 2017	17-0378-00
DRAWN US	L.B.	SURREY DRAWING NUMBER
CHECKED M.J.L.		
DESIGNED M.J.L.	CONTRACT	
PLANNING		SHEET 3 OF 4
D&C		REVISION
APPROVED	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	3

217018C03.dwg - 1318.56 Avenue - Surrey - 217018.dwg - 1318.56 Avenue - Surrey - 217018.dwg - 1318.56 Avenue - Surrey - 217018.dwg

CITY WATER WORKS NOTES

- The developer shall supply all materials and fittings for the tie-in of the new water mains by the city.
- All new water mains, at tie-in points are to be capped 1.5m from the existing water main. The proposed water main is to be set at the line and grade to meet existing water main.
- Tie-ins to existing water mains and final testing and chlorination of new mains are to be performed by the City of Surrey forces at the developer's cost.
- All domestic service connections will be a minimum of 19mm diameter unless otherwise specified.
- Where 100mm diameter pipe is used, it will be Ductile Iron (D.I.) and shall conform to the City Specifications.
- No McAvity fittings or valves etc. are to be used.
- All water service to have a minimum of 1200mm cover.
- All bends are c/w with thrust blocking.
- City of Surrey is responsible to operate all existing gate valves.
- Testing apparatus (tubing) and curb stop to be removed and plugged at main stop.
- The following certification is to be placed on all water main drawings by the consultant as part of the drawing submission.
 - Professional Engineer, in good standing in and for the Province of British Columbia, hereby certify that the water main design on this drawing has been done in accordance with the Ministry of Health design criteria.
 - two working days prior to the start of any water main construction, the developer is to contact the Ministry of Health, Mr. U. Tin Tin, M.Sc. at 604-870-7900

CITY ROADWORKS NOTES

- The developer shall employ a Professional Engineer with experience in Geotechnical Engineering for performance of in place testing during the preparation of the sub-grade and construction of the road structure to verify the adequacy of the proposed and existing road structure and sub-grade. Selection of the Professional Engineer is to be approved by the City.
- Existing valve boxes, manholes, etc. within the road allowance must be adjusted to suit the proposed finished grade.
- All loose, organic, otherwise deleterious materials or soft spot(s) are to be excavated and removed from the roadway and utility trenches in the roadway as per the geotechnical consultant's report or as directed by the City.

CITY SANITARY SEWER AND STORM SEWER NOTES

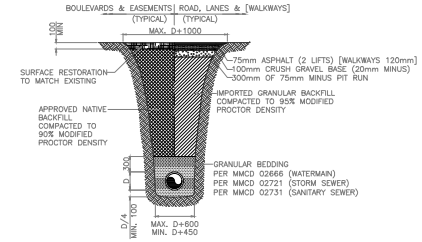
- Unless prior approval is given to the developer by the City, tie-ins and connections to existing sanitary sewers are to be performed by the City at the Developer's cost.
- All service connections shall be made to the main wherever possible. Should a connection have to be made to a manhole, the connection invert shall be at the same elevation as the crown of the highest sewer main.
- All manholes are to be a minimum of 1050mm diameter unless otherwise noted.
- All sanitary sewer and storm sewer service connections are to be a minimum 100mm diameter.
- All granular pipe bedding shall be either **TYPE 1 OR TYPE 2 ONLY** as per the MMCD Specification.

CITY GENERAL NOTES

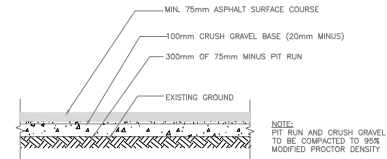
- For the purpose of construction and accountability the developer must advise the Surrey City Inspector, in writing, which of the City notes is going to be the responsibility of the developer's contractor.
- Construction is to be in accordance with the City of Surrey Highway and Traffic Bylaw No. 13007, Subdivision Bylaw No. 8830 and applicable Municipal Master specifications and Standard Detail Drawings, City of Surrey Standard Construction Documents, Supplementary Specifications & Standard Drawings and City Design Criteria.
- Traffic control is the responsibility of the developer and the developer shall comply with SECTION 52 of the Industrial Health and Safety Regulations of the Workers' Compensation Board of B.C. and the instructions outlined on the City Road and Right-of-Way Permit and Traffic Obstruction Permit issued by the City.
The developer is to have ON SITE, a copy of the current "B.C. Traffic Control Manual for Work on Roadways" as published by the Ministry of Transportation and Highways.
- The developer shall be responsible for obtaining all City permits for work within the city road allowance.
- Where utility or service crossings are required across existing pavements, an underground method of installation is required unless special approval is given from the City for an open cut operation. All existing pavements, boulevards, driveways, etc., are to be reinstated to original or better condition and in accordance with the City Specifications and the Pavement Cut Policy.
- Surrey's ISA monument(s) are to be protected and should they require raising or relocating, the developer will notify Surrey's Survey Department at least three working days in advance of scheduling work affecting them. An ISA monument shall be considered to be disturbed or destroyed, by the developer, if construction for the project:
 - Lowers the grade of the road at the location of an ISA monument(s).
 - Raises the grade of the road at the location of an ISA monument(s), or
 - Installs any underground (including Fortis BC, BC Hydro, Telus, GVRD water/sanitary sewer/or drainage etc.) within 1.5m radius of the ISA monument(s)
 The City will invoice the developer a non refundable flat rate fee of \$1650.00 for each ISA monument disturbed or destroyed.

- All street, traffic, and advisory signs, pavement markings and no-post guardrails required but not necessarily shown on the drawings, shall be installed by the City at the developer's cost.
- Where infilling of existing ditches is required or where services are constructed in a fill section, fill material is to be in accordance with City specifications and is to be compacted to 95% of Modified Proctor Density.
- Driveway boulevard crossing to each of the proposed lots are to be installed in accordance with the City Standard Drawings.
- Residents directly affected by construction of this project must be given 48 hours written notice of the proposed start of construction.

- The developer will require written authorization from a private property owner, with a copy to the City, prior to any entry onto private property and a written release, from the property owner, when completed.
- When native site GRANULAR BACKFILL is proposed for use in trenches the Developer shall employ a Professional Engineer with experience in Geotechnical Engineering for performance of in place density and sieve testing. Selection of the Professional Engineer and use of the site material is to be approved by the City. The site material must fall within one of the granular backfill material specifications. River sand is not acceptable as trench backfill material.
- The developer shall facilitate and supply all necessary safety equipment required under WCB Regulations for the City or it's representatives or the Engineer of Record to inspect the sanitary and storm sewer systems. The equipment shall be supplied until such time as a Certificate of Completion is issued by the City.
- Developer is to verify the location and elevation of all pipes, or other utility crossings, prior to construction and shall notify the Engineer of Record of any conflicts.
- The developer shall employ a Professional Engineer to design a sediment and erosion control system in the development in order to prevent silt discharges to the storm drainage system and watercourses.
- The "Tree Cutting and Preservation Bylaw No. 12880" requires that a cutting permit be obtained before any trees are removed from the site. Other provisions of the Bylaw may also be applicable.



TYPICAL UTILITY TRENCH SECTION
N.T.S.



PAVEMENT DETAIL
N.T.S.

21-007-121070-B-1-1059 - 1318 56 Avenue Surrey, BC V2Y 1B6, Canada Doc. 02_2018 - 2429mm

M.J.L. ENGINEERING LTD.
101-2313 WEST RAILWAY, ABBOTSFORD, BC V2S 2E3
Ph: 604-859-7765
Fax: 604-859-7763
E-mail: office@mjengineering.com

BENCHMARK
SURREY MONUMENT (CCM 8114628)
INTERSECTION OF 188 ST. AND 96 AVE.
ELEVATION: 17.824m

ALL DIMENSIONS ARE IN METRES
ALL PIPE SIZES ARE IN MILLIMETRES

REVISIONS	DESCRIPTION	BY	DATE	APPROVED
4	AS PER CITY OF SURREY	US	10/2/18	MAL
3	AS PER CITY OF SURREY	US	5/2/18	MAL
2	CHANGES TO RETAINING WALL	US	9/9/17	MAL
1	ISSUED FOR REVIEW	US	8/23/17	MAL



CLIENT TITAN CONSTRUCTION COMPANY LIMITED
ATTN: JACQUES VILJOEN
UNIT 1 - 27355 GLOUCESTER WAY
LANGLEY, B.C. V4W 3Z8

PHONE: 604-856-8888
FAX: 604-856-7463

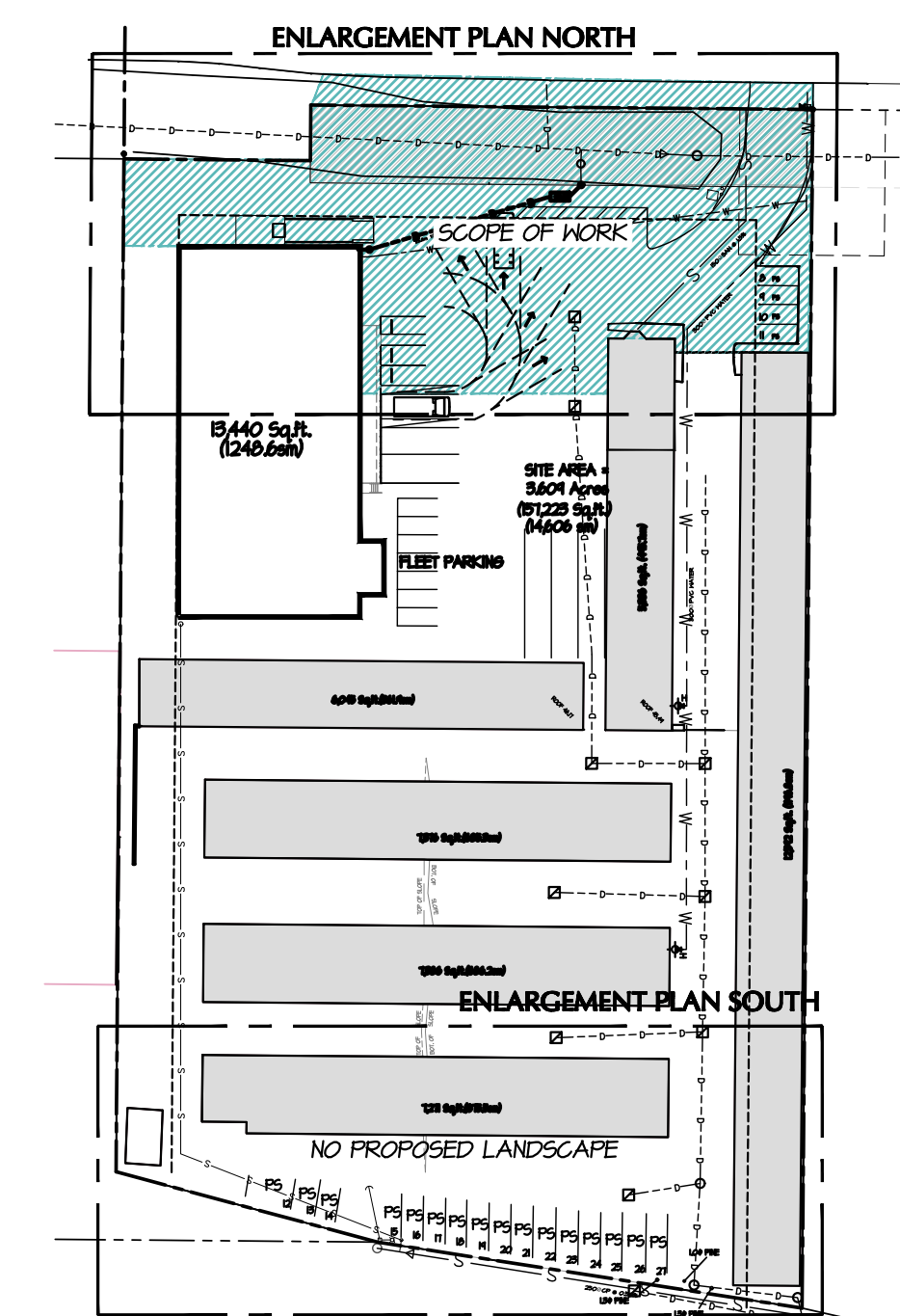
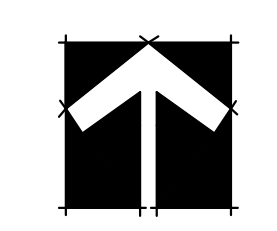
TITLE
PROPOSED BUILDING
GENERAL NOTES AND DETAILS
18780 96 AVENUE

MJL Drawing No. 214007C04

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		AUG 2015	17-0378-00
DRAWN	US	L.B.	SURREY DRAWING NUMBER
CHECKED	MJL		
DESIGNED	MJL	CONTRACT	
CHECKED	MJL		
PLANNING			SHEET 4 OF 4
DAC			REVISION
APPROVED		DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	3



#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



KEYPLAN
 NTA

PAVING LEGEND

- CONCRETE UNIT PAVERS RUNNING BOND 60mm/80mm TAN COLOUR
- SAW-CUT CONCRETE 2'X2'
- 1 1/2" DIA. DRAIN ROCK
- SOD LAWN
- BROOM FINISHED CONCRETE

FENCING LEGEND

- WOOD RAIL FENCE
- WOOD SCREENING
- EXISTING CHAIN LINK FENCE
- TREE PROTECTION FENCE
- PROPERTY LINE

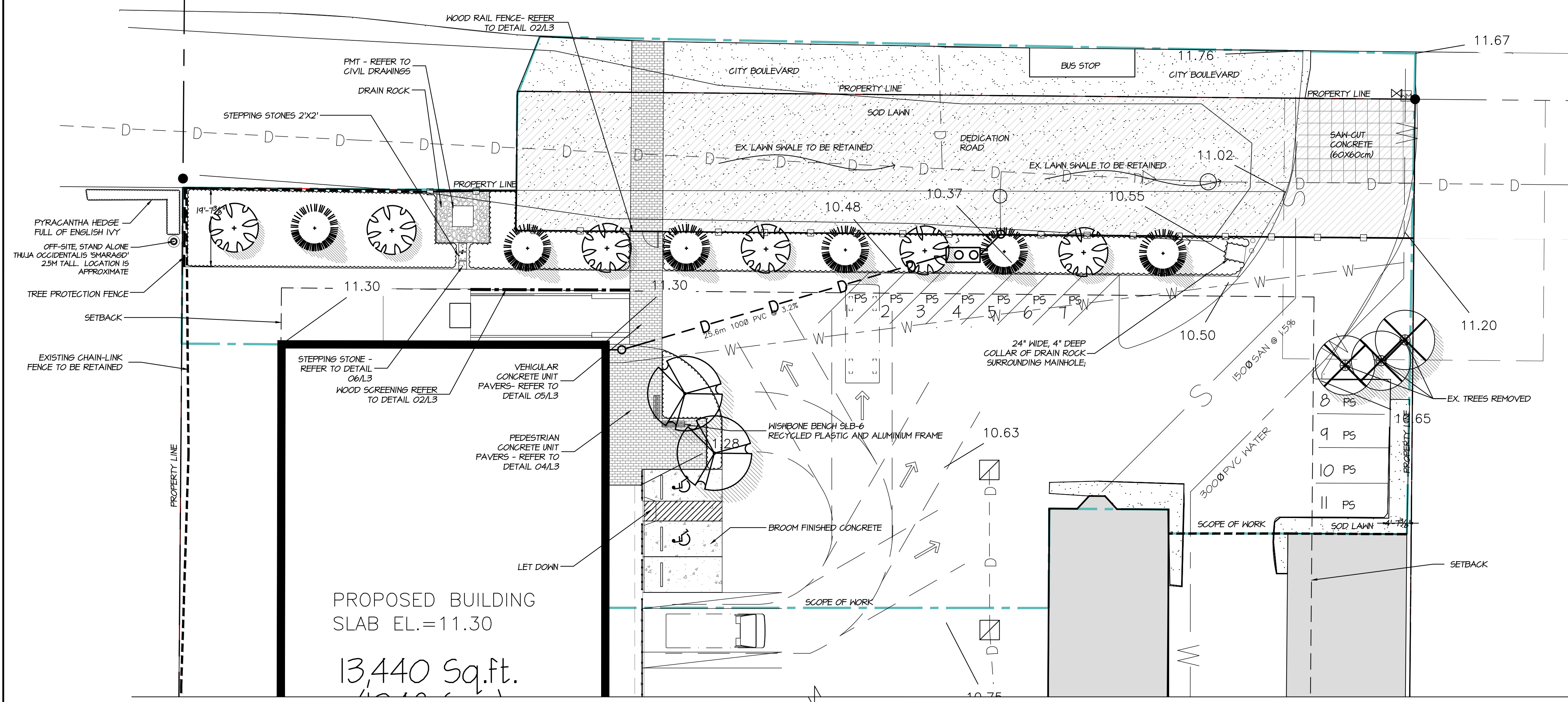
NO.	DATE	REVISION DESCRIPTION	DR.
06	10/NOV/01	REV. AS PER CITY'S COMMENTS	JS
05	10/OCT/05	ISSUED FOR DP REVISION	JS
04	10/OCT/02	REV. DP AS PER CITY'S COMMENTS	JS
03	10/SEP/01	ISSUED FOR DP	JS
02	10/MAY/00	REVISION AS PER DRG COMMENTS	JS
01	17/AUG/99	ISSUED FOR DP	QL

SEAL:

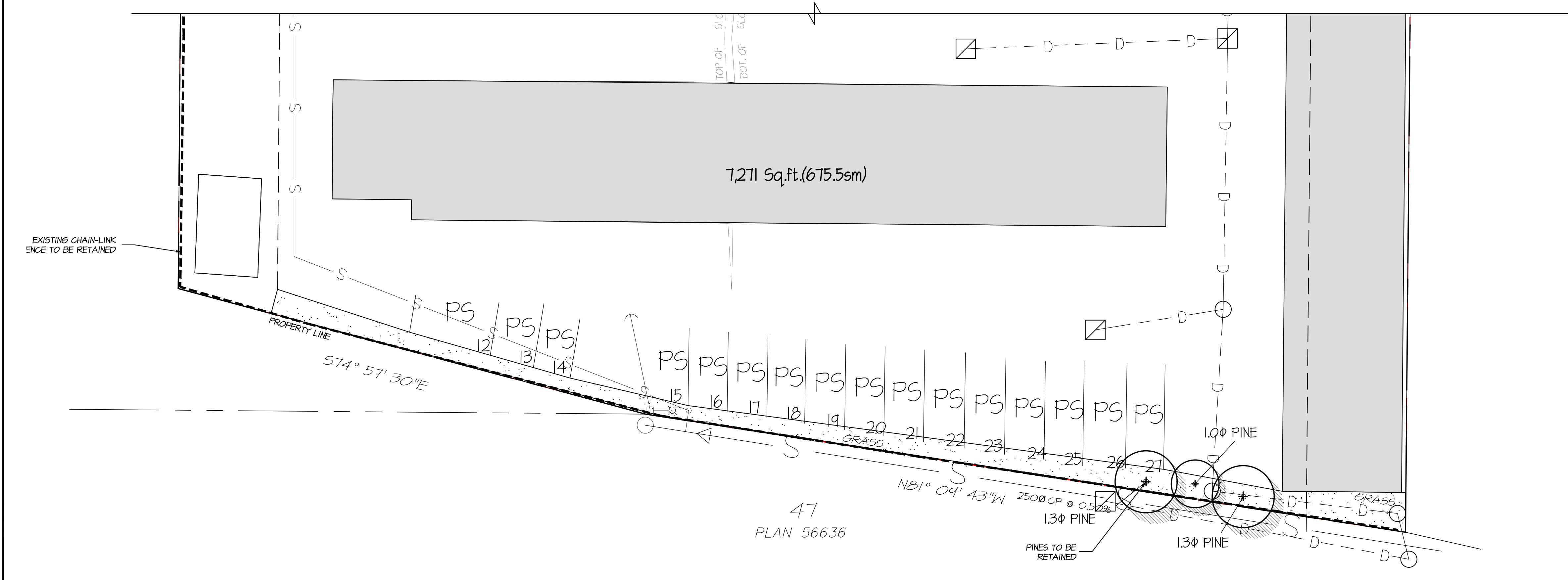
PROJECT:
INDUSTRIAL DEV. UHAUL
 19316 56TH AVE.
 SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 17_JUN_05	DRAWING NUMBER:
SCALE: 1/16" = 1'-0"	L1
DRAWN: QL	
DESIGN: QL	
CHK'D: MM	



ENLARGEMENT LANDSCAPE PLAN (NORTH)
 SCALE 1/8" = 1'-0"



ENLARGEMENT LANDSCAPE PLAN (SOUTH)
 SCALE 1/8" = 1'-0"

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
	2	ACER RUBRUM 'BONHALL'	COLUMNAR BONHALL MAPLE	6CM CAL; 2M STD; B4B
	6	CARPINUS BETULUS	EUROPEAN HORNBEAM	5CM CAL; 1.2M STD; B4B
	6	FRAXINUS ORNUS 'ARIE PETERS'	ARIE PETERS FLOWERING ASH	6CM CAL; 1.8M STD; B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

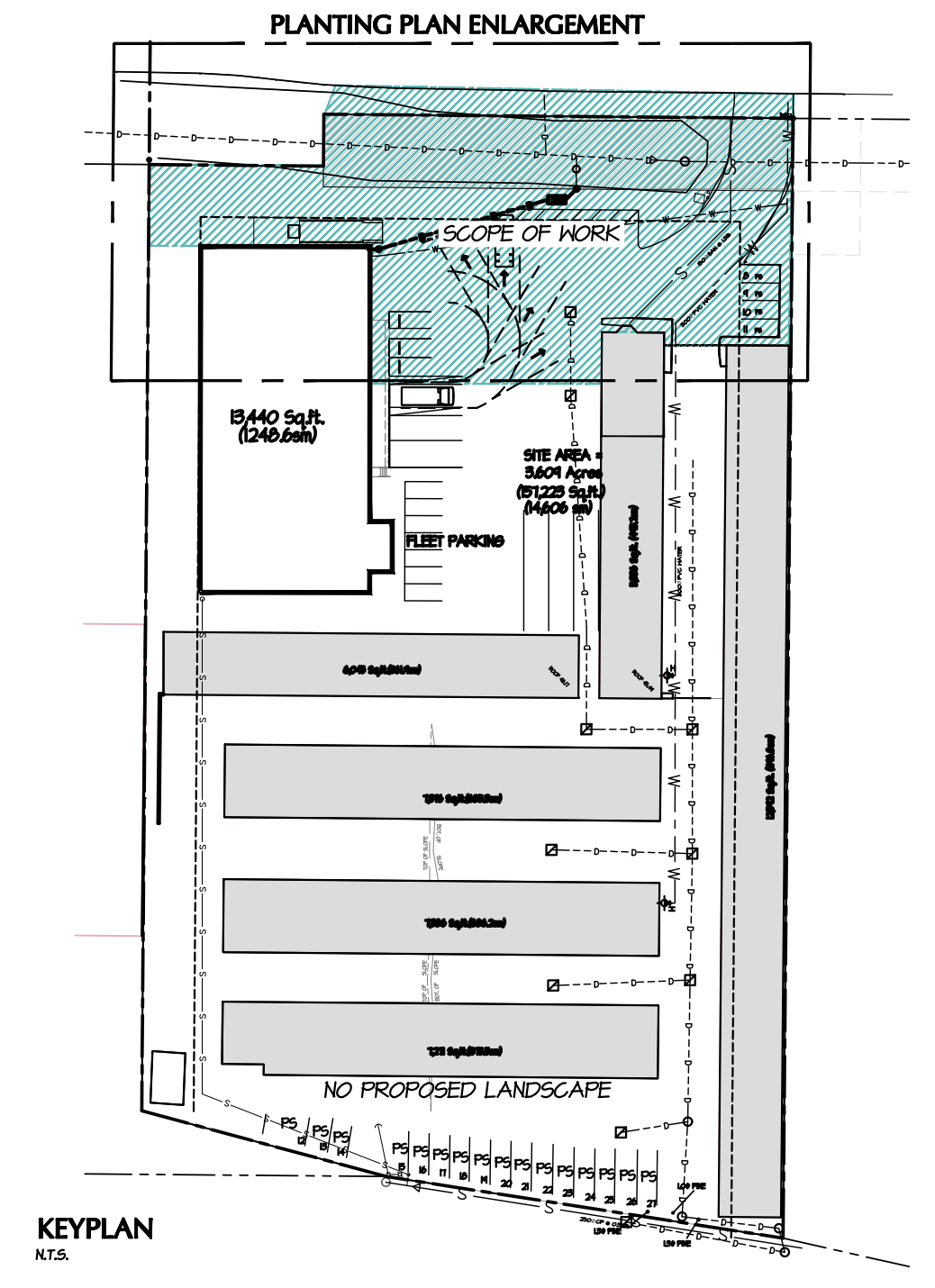
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
	44	ABELIA GRANDIFLORA	GLOSSY ABELIA	#5 POT; 90CM
	57	LONICERA PILEATA	PRIVET HONEYSUCKLE	#2 POT; 40CM
	48	SPIRAEA X JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
	99	TAXUS X MEDIA 'HATFIELDII'	HATFIELD YEW	#3 POT; 80CM 1.5M B4B
GRASS				
	136	ELYMUS MAGELLANICUS BLUE TANGO	BLUE TANGO WHEAT GRASS	#1 POT
PERENNIAL				
	157	HEMEROCALLIS FULVA	DAYLILY	#1 POT; 1-2 FAN
GC				
	54	CALLUNA VULGARIS 'DARK BEAUTY'	SCOTS HEATHER; DARK PINK	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

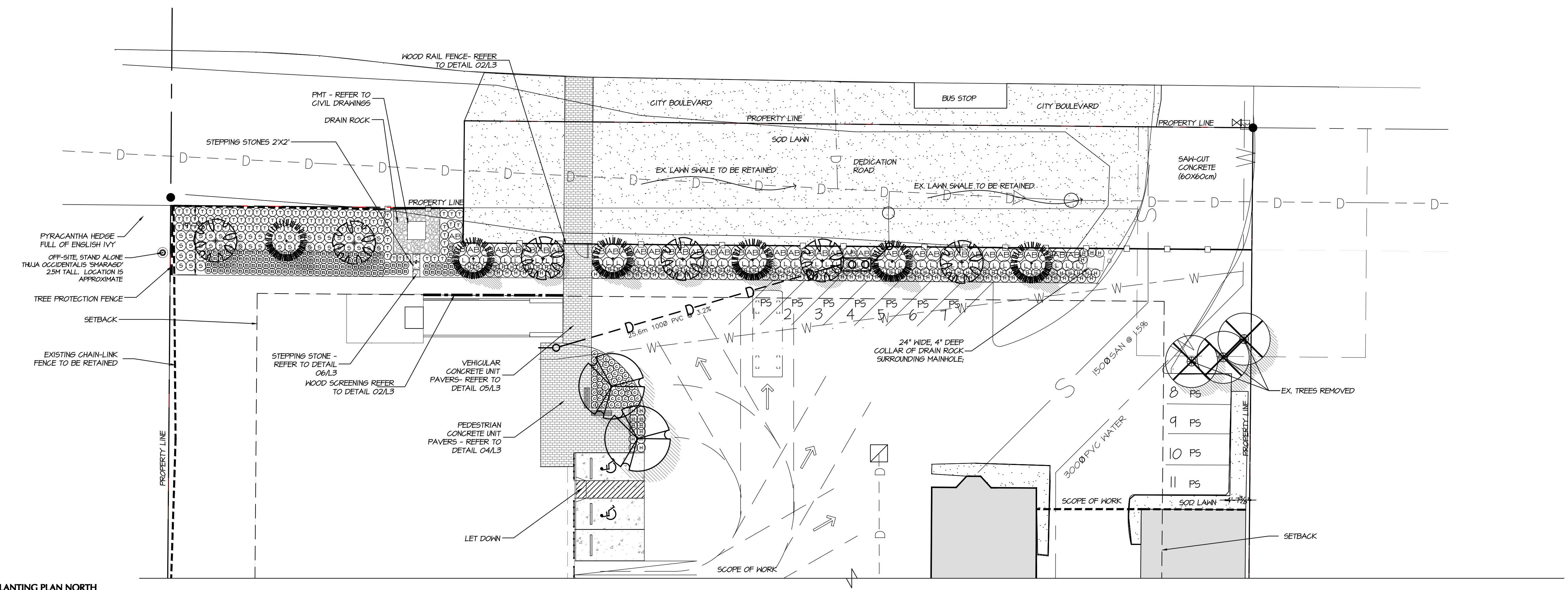
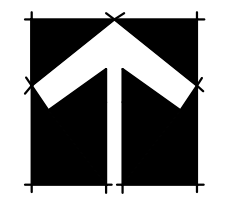


KEYPLAN
N.T.S.

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PLANTING PLAN NORTH
SCALE 1/8" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
06	10/NOV/21	REV. AS PER CITY'S COMMENTS	JS
05	10/OCT/21	ISSUED FOR DP REVISION	JS
04	10/OCT/22	REV. DP AS PER CITY'S COMMENTS	JS
03	10/SEP/21	ISSUED FOR DP	JS
02	10/MAY/20	REVISION AS PER DRG COMMENTS	JS
01	17/AUG/19	ISSUED FOR BP	GL

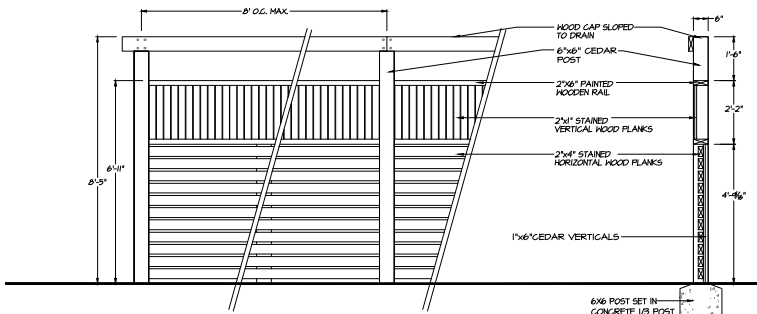
SEAL:

PROJECT:
INDUSTRIAL DEV. UHAUL
19316 56TH AVE.
SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLANTING PLAN

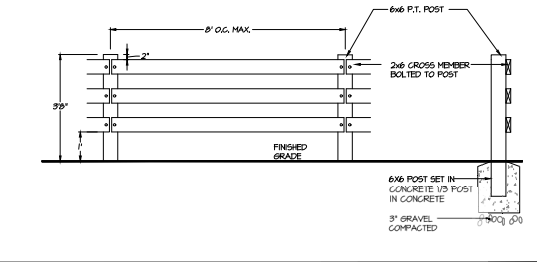
DATE: 17.JUN.23	DRAWING NUMBER:
SCALE: 1/16" = 1'-0"	L2
DRAWN: GL	
DESIGN: GL	
CHK'D: MM	

- NOTES:
- 1) ALL HOOD MEMBERS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
 - 2) ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
 - 3) APPLY TWO COATS OF WHITE STAIN FENCE OF OTHER DEVELOPMENT (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)
 - 4) COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE



13 WOOD SCREENING
1/2" x 1/2"

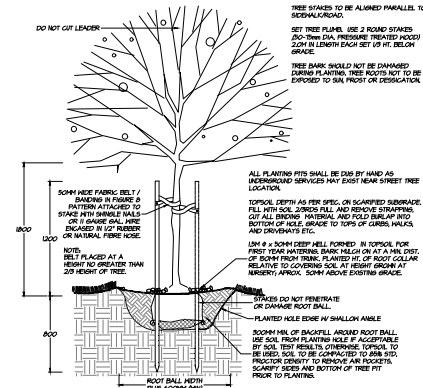
- NOTES:
- 1) ALL HOOD MEMBERS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
 - 2) ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
 - 3) APPLY TWO COATS OF WHITE STAIN FENCE OF OTHER DEVELOPMENT (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)
 - 4) COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE



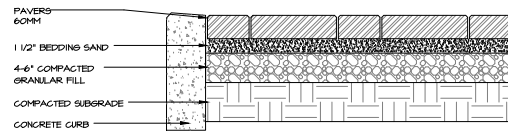
2 WOOD RAIL FENCE
1/2" x 1/2"



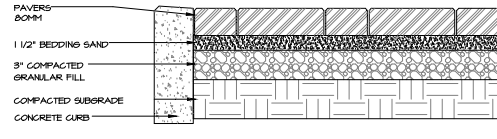
WISHBONE BENCH SLB-6
RECYCLED PLASTIC AND ALUMINIUM FRAME



3 TYPICAL DECIDUOUS TREE DETAIL
1/2" x 1/2"

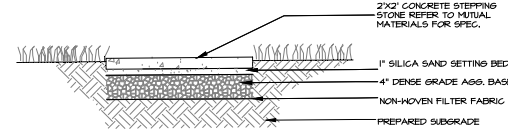


04 PEDESTRIAN CONCRETE PAVERS
1/2" x 1/2"



05 VEHICULAR CONCRETE PAVERS
1/2" x 1/2"

NOTE: PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS



06 CONCRETE STEPPING STONE
1/2" x 1/2"

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NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT:
INDUSTRIAL DEV. UHAUL
19316 56TH AVE
SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 11/1/2025	DRAWING NUMBER:
SCALE: as shown	L3
DRAWN: gl	
DESIGN: gl	
CHKD: MH	OF 4

M2LA PROJECT NUMBER: 17-044

PART THREE - GENERAL REQUIREMENTS

- 1.0 GENERAL
1.1 CONCEPT
1.2 DESIGN
1.3 MATERIALS
1.4 INSTALLATION
1.5 MAINTENANCE
1.6 INSPECTION
1.7 WARRANTY

PART TWO - SCOPE OF WORK

- 2.1 SITE
2.2 MATERIALS
2.3 PLANTING
2.4 IRRIGATION
2.5 MAINTENANCE

PART THREE - SOFT LANDSCAPE DEVELOPMENT

- 3.1 DESIGN
3.2 MATERIALS
3.3 PLANTING
3.4 IRRIGATION
3.5 MAINTENANCE
3.6 INSPECTION
3.7 WARRANTY

PART THREE - SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.8 DESIGN
3.9 MATERIALS
3.10 PLANTING
3.11 IRRIGATION
3.12 MAINTENANCE
3.13 INSPECTION
3.14 WARRANTY

PART THREE - SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.15 DESIGN
3.16 MATERIALS
3.17 PLANTING
3.18 IRRIGATION
3.19 MAINTENANCE
3.20 INSPECTION
3.21 WARRANTY

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Table with columns: NO, DATE, REVISION DESCRIPTION, DR. Includes a grid for tracking revisions and dates.

INDUSTRIAL DEV.
UHAUL
1838 56TH AVE
SURREY, B.C.

LANDSCAPE SPECIFICATIONS

DATE: 11/20/23 DRAWING NUMBER:
SCALE:
DRAWN: G.L.
DESIGN: G.L.
CHECKED:
M2LA PROJECT NUMBER: 17-044

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Nov 14, 2018** PROJECT FILE: **7817-0379-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19316 56 Avenue**

DEVELOPMENT PERMIT /DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit.

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

Works and Services

- Construct a 9.0 metre wide driveway.
- Construct an adequate size watermain fronting the property.
- Install water service connection to service the proposed development.
- Remove redundant service connections.
- Replace the existing sanitary sewer connection (greater than 30 years old).
- Provide storm sewer connection.
- Install a water quality/sediment control inlet chamber and register the associated Restrictive Covenant for operation and maintenance of the system

A Servicing Agreement is required prior to Building permit.



Tommy Buchmann, P.Eng.
Acting Development Services Manager
LR1

Tree Preservation Summary

Surrey Project No:

Address: 19316 - 56th Ave, Surrey

Registered Arborist: Aelicia Otto, PN-2019A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	3
Protected Trees to be Removed	
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	3
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	0
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

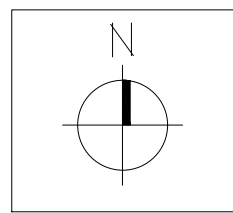
 _____

Oct. 3, 2017
Date _____

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NO.	DATE	REVISION DESCRIPTION	DR.
1	17 SEPT 20	ARBORIST PLAN	AD

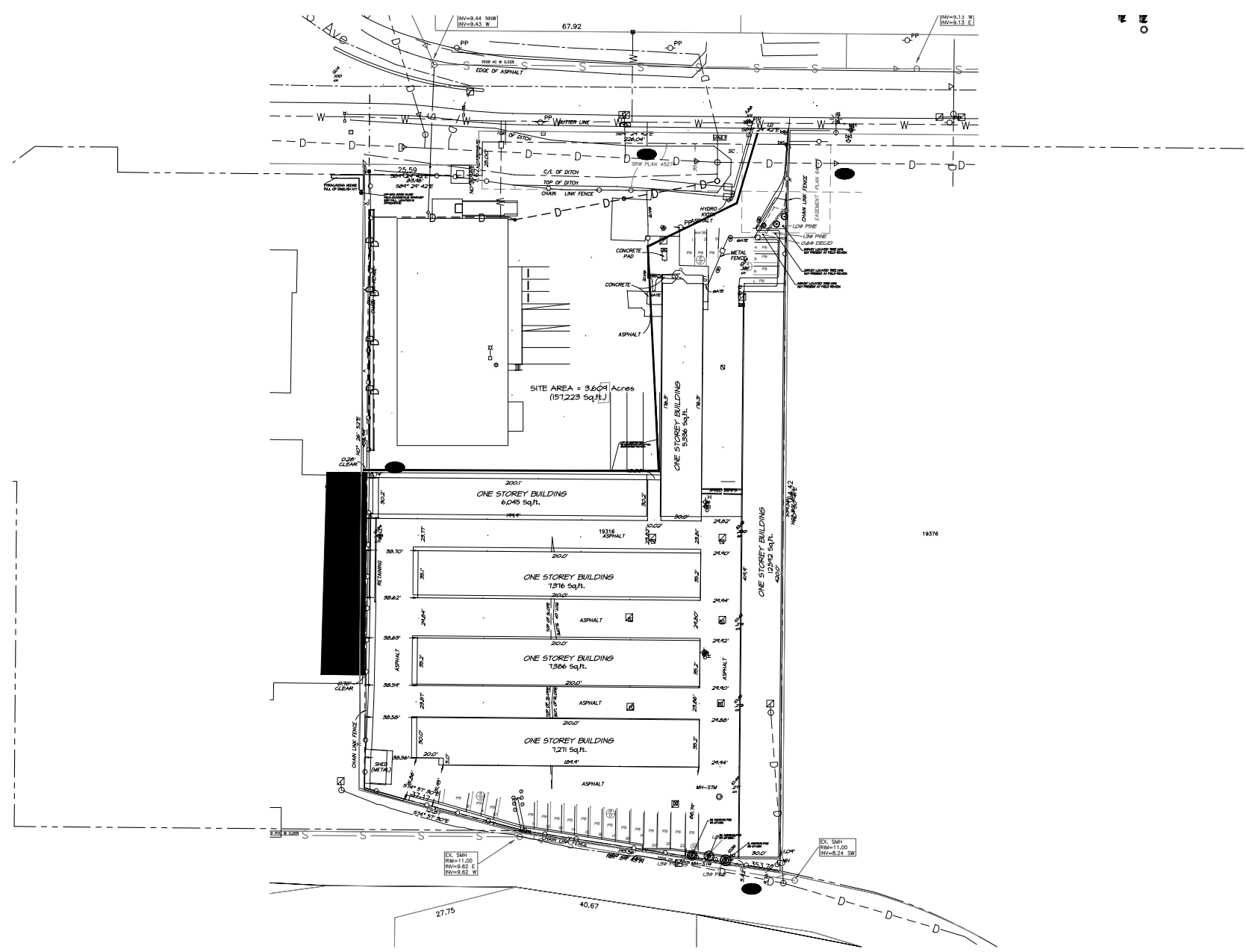
SEAL:

PROJECT:
ARBORIST PLAN
19316 - 56 AVE
SURREY, B.C.

DRAWING TITLE:
ARBORIST PLAN

DATE:	17, SEPT, 20	DRAWING NUMBER:	L1arb
SCALE:	1/32" = 10'		
DRAWN:	AD		
DESIGN:	-		
CHK'D:	MM		OF 2

M2LA PROJECT NUMBER: **17-044**



17-044-012P

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0379-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-506-778
Lot 28 Section 3 Township 8 New Westminster District Plan 56637
19316 - 56 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section C.3 of Part 5, Off-Street Parking and Loading/Unloading, the number of required off-street parking spaces may be reduced from 89 to 46 spaces.
4. This development variance permit applies to only that portion of the parking, buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

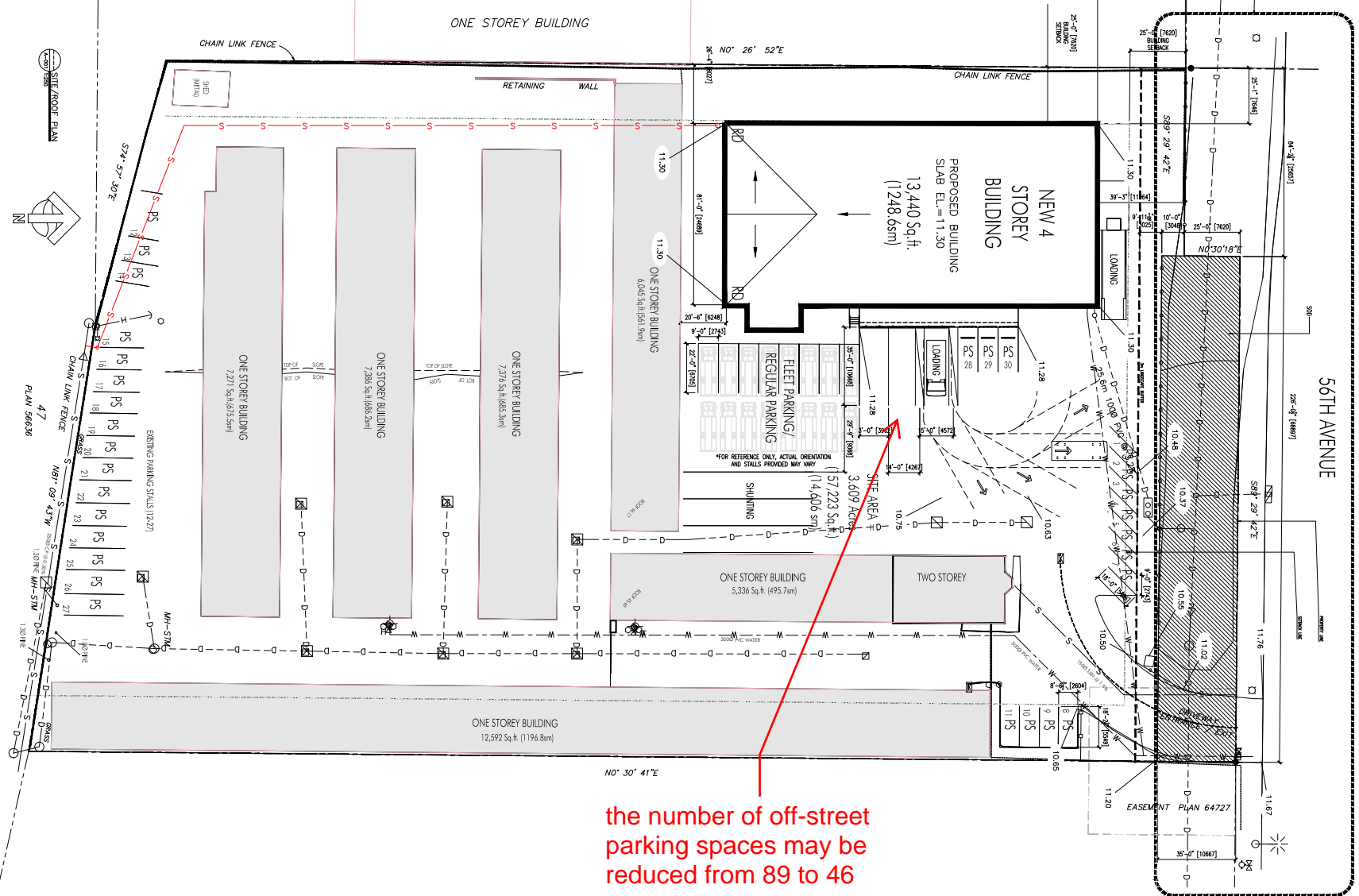
City Clerk – Jane Sullivan

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Revision No., Date and Description
 05.16.18-DP SUPPLEMENTAL #2
 10.16.18-DP ADDENDUM #3
 10.20.18 - DP ADDENDUM #4
 11.14.18 - DP ADDENDUM #6

Plot Date 14-NOV-18 Drawing No. A-002

PROJECT U-HALL OF LANGLEY SURREY, BC
 DRAWING TITLE LARGE SCALE SITE PLAN



the number of off-street parking spaces may be reduced from 89 to 46 spaces.