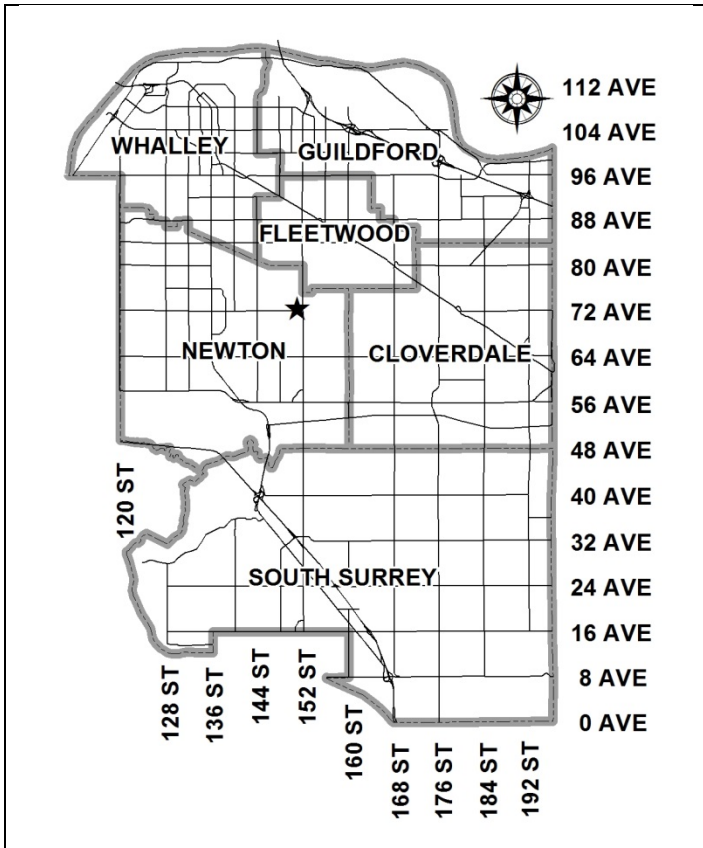


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0372-00

Planning Report Date: April 9, 2018



**PROPOSAL:**

- **Rezoning** from RA to PA-1
- **Development Variance Permit**

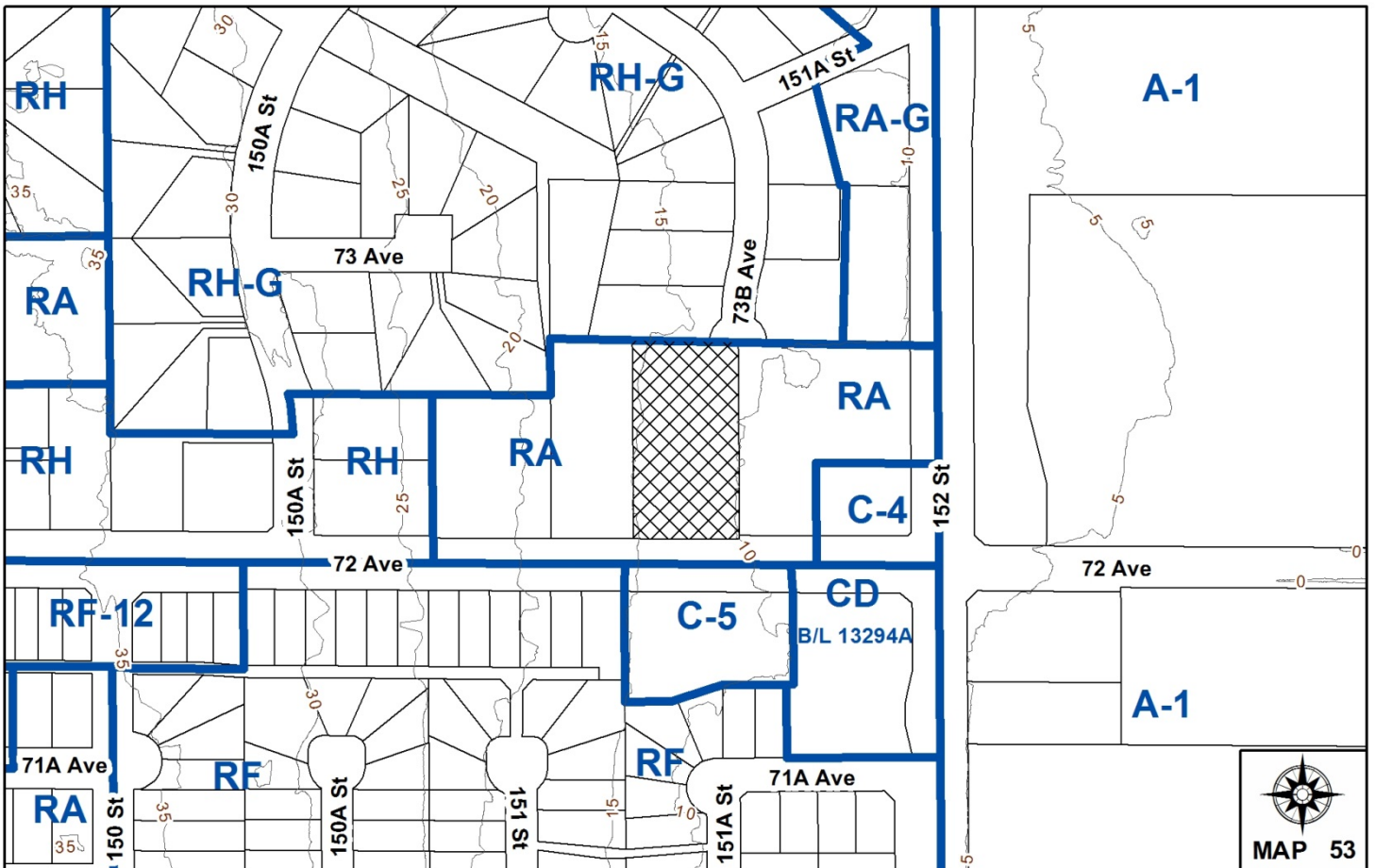
to permit the development of a church and daycare.

**LOCATION:** 15141 - 72 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Suburban

**NCP/LAP DESIGNATION:** n/a



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a reduction to the landscape buffer of the Assembly Hall 1 Zone (PA-1) along east side.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the site's OCP Designation.
- The proposal is appropriate for this part of Newton, within a small commercial node at the west corner of 72 Avenue and 152 Street. Furthermore, the proposal has been designed with appropriate interfaces to the existing suburban residential neighbourhood to the north and west, and includes the dedication of a 10-metre (33 ft.) wide strip along the north boundary of the site, at no cost to the City, for a future expansion of Chimney Hill Park.
- Proposed landscape buffer reduction is adjacent to a business and will not affect residential users.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Assembly Hall 1 Zone (PA-1)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7917-0372-00 (Appendix V), to reduce the minimum landscape strip of the PA-1 Zone along the east property line from 3.0 metres (10 ft.) to 1.5 metres (5 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (f) registration of a Section 219 Restrictive Covenant to provide for installation and maintenance of the required landscape buffer.

## REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	Parks accepts the area along the northern portion to be conveyed to the City at no cost.
Surrey Fire Department:	No concerns.

## SITE CHARACTERISTICS

Existing Land Use: single family acreage.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Single family lots	Suburban / -	RH-G
East:	"Hunters" Garden Centre	Suburban / -	C-4 and RA
South (Across 72 Avenue):	Commercial plaza	Urban / Neighbourhood & Local Commercial	C-5
West:	Single family acreage lots	Suburban /-	RA

DEVELOPMENT CONSIDERATIONS

- The subject 0.5-hectare (1.2-acres) site is located on the north side of 72 Avenue, west of 152 Street in Newton, in an area known as Chimney Hill.
- The site is designated Suburban in the Official Community Plan (OCP), zoned "One-Acre Residential Zone (RA)", and is not in a Secondary Land Use Plan Area. The area across the street on the south side of 72 Avenue is in the East Newton South Neighbourhood Concept Plan, and the area east of 152 Street is in the Agricultural Land Reserve (ALR).
- The applicant is proposing to rezone the site from "One-Acre Residential Zone (RA)" to "Assembly Hall 1 Zone (PA-1)", in order to develop a church and daycare on the site. This proposed institutional use is compatible with the site's Suburban designation.
- The west corner of 72 Avenue and 152 Street provides a commercial node in the neighbourhood, with a nursery at the northwest corner, a gas station and convenience store at the southwest corner, and a commercial plaza across the street from the subject site.
- A Development Variance Permit is also proposed for a reduction of the landscape strip along the east property line, and is discussed later in this report.
- As the proposed use is institutional, a Form & Character Development Permit application is not required.
- The applicant is proposing to convey a 389.8 square-metre (4,197 sq. ft.) area along the northern portion of the site at no cost to the City for a future expansion of Chimney Hill Park. This is a linear 10-metre (33 ft.) park, planned to connect west to the existing Chimney Hill Park. The park will also assist in further separating the proposed church and daycare from the residential uses to the north.
- There are also road dedications along 72 Avenue and the 73B Avenue cul-de-sac. The site's net area after road and park dedications is 4,322 square metres (1.07 acres).
- The site has a Statutory-Right-of-Way (SROW) from Metro Vancouver running north-south along the western portion of the site. No buildings or structures are permitted within the SROW.

### PRE-NOTIFICATION

- Pre-notification letters were sent on January 15, 2018 to 70 properties within 100 metres (328 ft.) of the subject site and to the Newton Community Association and the Sullivan Amateur Athletic and Community Association. A development proposal sign was also installed on the site on January 19, 2018.
- In response, staff has received phone calls and letters from twenty six (26) residents and business owners in the area. Of the 26, 18 letters were in support of the application, and 8 indicated the following concerns:
  - Six (6) respondents indicated concern regarding traffic on 72 Avenue and parking both on 72 Avenue and on adjacent roads.

*The subject site has frontage on both 73B Avenue and 72 Avenue. An access to 73B Avenue would require all traffic to drive through a residential neighbourhood in order to access the facility. Given the institutional land use proposed, an access to 72 Avenue can be accepted. The applicant is providing sufficient parking according to the requirements of the Zoning By-law.*

- One (1) respondent indicated opposition to the proposed land use.

*The proposed land use is acceptable under the Suburban designation and is considered a neighbourhood-scale facility.*

- One (1) respondent, representing a Block Watch group of neighbours, indicated opposition to the extension of 73B Avenue cul-de-sac and removal of vegetation.

*After discussions with the Engineering Department, it was agreed that no vegetation would be removed and no construction would be done on the cul-de-sac until the last quarter (southeast corner) of the cul-de-sac is dedicated through future developments. At this time, the applicant is required to contribute cash-in-lieu to the construction of the cul-de-sac.*

### DESIGN PROPOSAL AND REVIEW

- The applicant is proposing to retain the existing building, and build an additional building to the east.
- The existing 205-square-metre (2,207 sq. ft.) building would be retained as a caretaker residence, and the new 566-square-metre (6,095 sq. ft.) building would house a daycare on the lower level, and a church on the upper level. The total proposed Floor Area Ratio (FAR) is 0.18, which is within the maximum 0.35 permitted in the PA-1 Zone. A total floor area of 771.3 square-metres (8,302 sq. ft.) is proposed.
- The daycare is proposed with two separate programs for 0-36 months-old, and 30 months to school age. A maximum of 37 children is proposed, 12 under 36 months of age, and 25 between 30 months and school age. A total of 6 staff members will be needed for the programs.

- An outdoor play area is proposed to the east of the new building with direct access to the daycare.
- Access is proposed on 72 Avenue, on the western portion of the site, along the SROW. Parking is proposed in front of the buildings, along 72 Avenue for Phase 1.
- Parking requirements for the current proposal is for 25 parking spaces, with sharing of spaces between the church and the daycare, given the different hours of operation. The applicant proposes to build 25 spaces at this time.
- The applicant has a long-term plan of expanding the facility (Phase 2), where the existing residence would be demolished, and a new building would be constructed for the church along 72 Avenue, with the parking moving to the back of the property at that time. In Phase 2, the outdoor playground would move to where the existing building currently is, the daycare would remain and the upper level would be converted to a caretaker residence, with the church moving to the new building. Phase 2 would comply with the provisions of the proposed PA-1 Zone, and additional parking spaces would be required to accommodate the additional floor area. There is sufficient space on the property to accommodate future parking requirements.
- For any long-term plans, the proposal would need to comply with the PA-1 Zone, which limits the church to a maximum of 300 seats, and the daycare to a maximum of 50 students.
- The proposal complies with the setback requirements on all sides, and a landscape buffer is provided along all lots lines. The applicant has requested a reduction of the landscape strip along the east property line, which is discussed later in this report. Both north and south landscape buffers are proposed at 3 metres (10 ft.), the west landscape buffer is proposed at varying from 4.2 metres (14 ft.) to 6 metres (20 ft.) (along the edge of the SROW), and the east landscape buffer is provided at 1.5 metres (5 ft.). The increased landscape buffer along the west side will assist in further separating the subject site from residential uses to the west.
- One free-standing sign is proposed on the southwest corner of the site, and complies with the minimum setbacks and maximum dimensions in the Zoning By-law. The sign is proposed to advertise the daycare and the church, with some changeable text for church service and events. Dimensions are proposed at 1.83 metres (6 ft.) in height and 1.07 metres (3.5 ft.) in width.
- A fascia sign is proposed for the church along the main façade facing 72 Avenue. The sign is proposed in individual channel letters on a rail support, and dimensions are 3.89 metres (12.7 ft.) in width and 0.84 metres (2.7 ft.) in height. No fascia sign is proposed for the daycare.

## TREES

- Andrew MacLellan, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder / Cottonwood	-	-	-
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Walnut	2	0	2
Norway Maple	1	0	1
Cherry	5	4	1
Crabapple	1	0	1
Lombardy Poplar	10	7	3
<b>Coniferous Trees</b>			
Cypress	1	0	1
Colorado Spruce	2	1	1
Western Red Cedar	26	1	25
Serbian Spruce	1	0	1
Norway Spruce	2	1	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>51</b>	<b>14</b>	<b>37</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>28</b>	
<b>Total Retained and Replacement Trees</b>		<b>65</b>	
<b>Contribution to the Green City Fund</b>		<b>-</b>	

- The Arborist Assessment states that there are a total of 51 protected trees on the site, with no Alder and Cottonwood trees. It was determined that 37 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 28 replacement trees on the site. The applicant is proposing 28 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Autumn Blaze Maple, paperbark Maple, Orchard Apple, Serbian Spruce, Hisakura Cherry, Red Oak, Pyramid Cedar, Western Red Cedar and a variety of shrubs and groundcovers.
- In summary, a total of 65 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on September 07, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	• The proposed land use is compatible with the Suburban OCP designation of the site.
2. Density & Diversity (B1-B7)	• n/a
3. Ecology & Stewardship (C1-C4)	• Natural landscaping and permeable pavement / surfaces.
4. Sustainable Transport & Mobility (D1-D2)	• The proposed includes shared parking between the church and daycare uses.
5. Accessibility & Safety (E1-E3)	• 2 accessible parking spaces are proposed.
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

**BY-LAW VARIANCE AND JUSTIFICATION****(a) Requested Variance:**

- To reduce the minimum east landscape strip of the PA-1 Zone from 3 metres (10 ft.) to 1.5 metres (5 ft.).

**Applicant's Reasons:**

- Setback reduction adjacent to a commercial property allows for increase setback along the west side, adjacent to residential properties.

**Staff Comments:**

- Reduced landscape strip along the east side would not negatively affect any residential neighbours, and would allow for increased buffer along the west side.
- The applicant is proposing the minimum 3 metre (10 ft.) landscape strip along the north and south property lines, and is also dedicating a 10 metre (30 ft.) wide strip to the City as Park along the north portion of the site.



INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation, and Tree Preservation and Removal Plan
Appendix V.	Development Variance Permit No. 7917-0372-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Denis Bruneau Architecture and Greenway Landscape Architecture, respectively, dated December 19, 2017 and February 16, 2018.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

LFM/da

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## SUBDIVISION DATA SHEET

Proposed Zoning: PA-1

<b>Requires Project Data</b>	<b>Proposed</b>
<b>GROSS SITE AREA</b>	
Acres	1.2 acres
Hectares	0.5 hectares
<b>NUMBER OF LOTS</b>	
Existing	1
Proposed	2
<b>SIZE OF LOTS</b>	
Range of lot widths (metres)	51.81 m
Range of lot areas (square metres)	4,322 m <sup>2</sup> and 389.8 m <sup>2</sup> (park)
<b>SITE COVERAGE (in % of gross site area)</b>	
Maximum Coverage of Principal & Accessory Building	10%
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
<b>PARKLAND</b>	
Area (square metres)	389.8 m <sup>2</sup>
% of Gross Site	7.7%
	<b>Required</b>
<b>PARKLAND</b>	
5% money in lieu	NO
<b>TREE SURVEY/ASSESSMENT</b>	YES
<b>MODEL BUILDING SCHEME</b>	NO
<b>HERITAGE SITE Retention</b>	NO
<b>FRASER HEALTH Approval</b>	YES/NO
<b>DEV. VARIANCE PERMIT required</b>	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Landscape Strip	YES

## DEVELOPMENT DATA SHEET

Proposed Zoning: PA-1

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		5,013.8 m <sup>2</sup>
Road Widening area		302 m <sup>2</sup>
Undevelopable area		389.8 m <sup>2</sup> (park)
Net Total		4,322 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	35%	10%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front	7.5 m	21.57 m
Rear	7.5 m	40.95 m
Side #1 (E)	3.6 m	14.13 m
Side #2 (W)	3.6 m	12.65 m
<i>all setbacks shall be greater than or equal to the measurement of the height of the highest building on the lot.</i>	6.71 m*	
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	9 m	6.71 m
Accessory	4 m	
<b>NUMBER OF RESIDENTIAL UNITS</b> (caretaker)	1	1
<b>FLOOR AREA: Residential</b>	260 m <sup>2</sup>	205.04 m <sup>2</sup>
<b>FLOOR AREA: Institutional</b>		566.25 m <sup>2</sup>
<b>TOTAL BUILDING FLOOR AREA</b>		771.29 m <sup>2</sup>
<b>DENSITY</b>		
FAR (gross)		0.15
FAR (net)		0.18
<b>PARKING</b> (number of stalls)		
Residential	3	3
Institutional	12 daycare + 22 church (shared spaces)	22
Total Number of Parking Spaces		25
Number of accessible stalls		2
Number of small cars		4

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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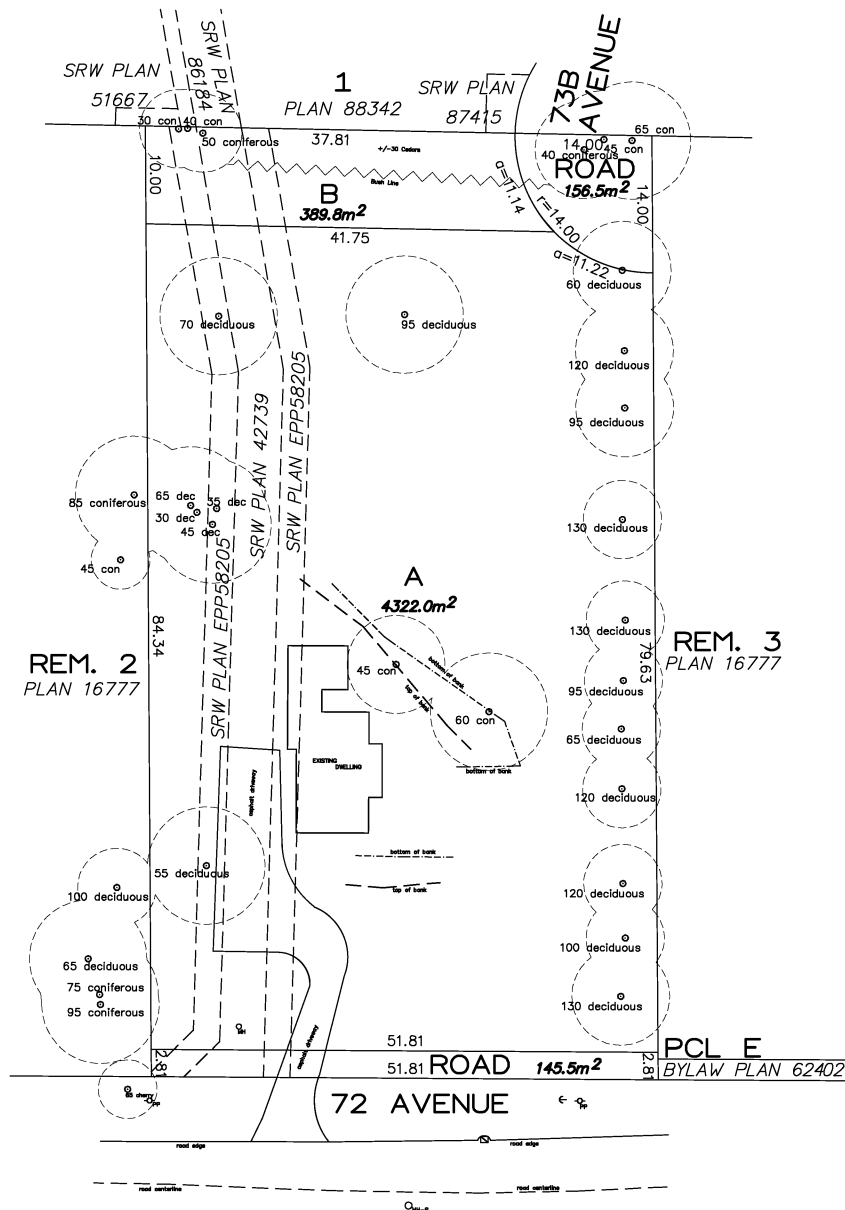
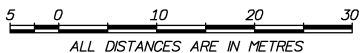
**PROPOSED SUBDIVISION OF LOT 4  
SECTION 22 TOWNSHIP 2  
NEW WESTMINSTER DISTRICT  
PLAN 23497**

**DRAFT JAN-29-2018**

CIVIC ADDRESS:

15141 72nd AVENUE, SURREY, BC  
P.I.D.: 009-223-100

SCALE 1 : 500



Lot dimensions are derived from SRW PLAN EPP58205

Property dimensions and areas are subject to detailed survey and may vary.

This Plan was prepared for informational purposes, and is for the exclusive use of our client. Target Land Surveying accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document.



**PROJECT ANALYSIS - PHASE 1**

**ST GEORGE MALANKARA ORTHODOX CHURCH - 15141 72ND AVENUE, SURREY, B.C.**

LEGAL DESCRIPTION: LOT 4 SECTION 22 TOWNSHIP 2 NWD LOT 23497

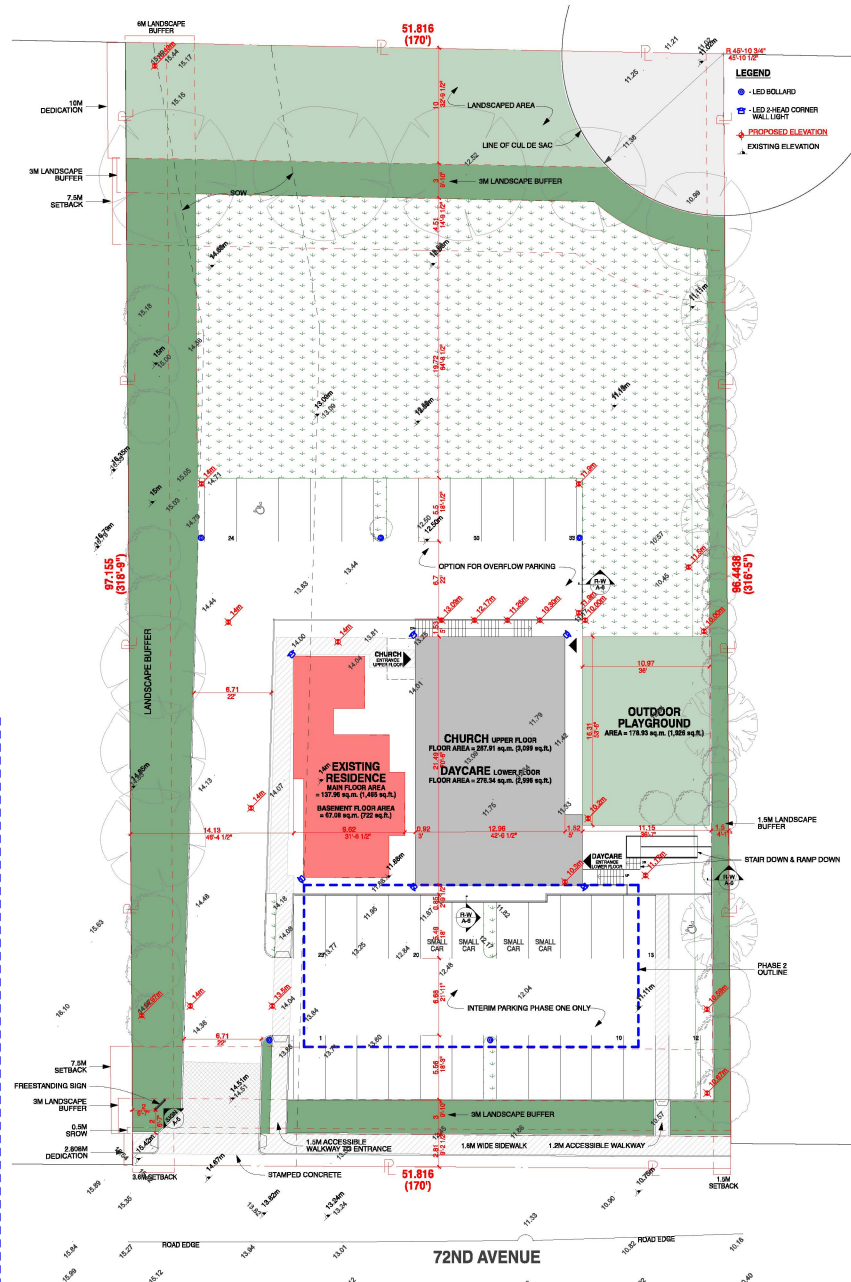
	<b>PERMITTED / REQUIRED AS PER ZONING BY-LAW</b>
<b>ZONING:</b>	PA-1 (EXISTING ZONING = RA)
<b>USES:</b>	ASSEMBLY HALLS W/ MAX. 300 SEATS CHILD CARE CENTRES LIMITED TO 50 STUDENTS ONE OR TWO DWELLING UNITS LIMITED TO 260 SQ.M. (2800 SQ.FT.)
<b>DENSITY:</b>	FSR = 0.35
<b>SITE AREA:</b>	5,013.9 SQ.M. - N. DEDICATION (888.8 SQ.M.) - CUL DE SAC PORTION (156.5 SQ.M.) -S. DEDICATION (145.5 SQ.FT.) = 4,322 SQ.M.
<b>LOT COVERAGE:</b>	35%
<b>SETBACK:</b>	FRONT SETBACK (SOUTH) = 7.5 M (24'-7") REAR SETBACK (NORTH) = 7.5 M (24'-7") SIDE SETBACK (EAST) = 3.6 M (11'-10") SIDE SETBACK (WEST) = 3.6 M (11'-10") ALL SETBACKS SHALL BE GREATER THAN OR EQUAL TO THE MEASUREMENT OF THE HEIGHT OF THE HIGHEST BUILDING ON THE LOT.
<b>HEIGHT OF BUILDING:</b>	9 M (30 FT)
<b>PARKING:</b>	CHURCH = 7.5 PARKING SPACES PER 100 SQ.M. (1,075 SQ.FT.) OF GROSS FLOOR AREA CHILD CARE CENTRE = 1 PARKING SPACE PER EMPLOYEE PLUS AN EQUAL NUMBER OF PARKING SPACES FOR DROP-OFF OR 2 PARKING SPACES, WHICHEVER IS GREATER. DWELLING UNIT = 3 PARKING SPACES
<b>PARKING SIZE:</b>	WIDTH = 2.7 M (9 FT) OR 3.7 M (12 FT) FOR PERSONS W/ DISABILITIES PARKING LENGTH = 5.5 M (18 FT) WIDTH OF AISLE = 6.7 M (22 FT)
<b>LANDSCAPING:</b>	LOT NOT COVERED BY BLDGS, STRUCTURES OR PAVED AREAS SHALL BE LANDSCAPED ALONG ALL LOT LINES OF THE DEVELOPED PORTIONS OF THE LOT, A 3 M (10 FT) WIDE LANDSCAPED STRIP SHALL BE PROVIDED, CONSISTING OF HEDGES, GROUND COVER OR A DECORATIVE FENCE OR A COMBINATION THEREOF.
<b>SPECIAL REGULATIONS:</b>	CHILD CARE CENTRES ARE ACCESSED FROM A HIGHWAY, INDEPENDENT FROM THE ACCESS TO OTHER USES. CHILD CARE CENTRES HAVE DIRECT ACCESS TO AN OPEN SPACE AN PLAY AREA. REFER TO THE COMMUNITY CARE AND ASSISTED LIVING ACT, S.B.C., 2002, C.75 & THE CHILD CARE LICENSING REGULATION SET OUT UNDER B.C. REG. 95/2003.

	<b>PROPOSED</b>
<b>ZONING:</b>	PA-1
<b>USES:</b>	CHURCH (UPPER FLOOR) = 287.91 SQ.M. DAYCARE (LOWER FLOOR) = 278.34 SQ.M. ONE DWELLING UNIT FOR CARETAKER (EXISTING BUILDING) = MAIN FLOOR = 137.96 SQ.M. & BASEMENT = 67.06 SQ.M.
<b>DENSITY:</b>	FSR = (CHURCH + DAYCARE + EXISTING BUILDING) / SITE AREA = (287.91 + 278.34 + 137.96 + 67.06) SQ.M. / 4,322 SQ.M. = 0.18
<b>SITE AREA:</b>	= 4,322 SQ.M.
<b>LOT COVERAGE:</b>	= LOT COVERAGE OF (CHURCH + EXISTING BUILDING) / SITE AREA = (287.91 + 137.96) SQ.M. / 4,322 SQ.M. = 0.0985 = 9.9%
<b>SETBACK:</b>	70'-9" = 21.57M 134'-4" = 40.95M 48'-4 1/2" = 14.13M 41'-9" = 12.65M
<b>HEIGHT OF BUILDING:</b>	22' = 6.71M
<b>PARKING:</b>	= (287.91 SQ.M. / 100 SQ.M.) X 7.5 = 22 PARKING SPACES = 10 PARKING SPACES SHARED PARKING = 3 PARKING SPACES FOR RESIDENCE TOTAL REQUIRED PARKING SPACES = 22 + 3 = 25 PARKING SPACES PROPOSED PARKING SPACES = 29 + 4 SMALL CARS = 33 PARKING SPACES
<b>PARKING SIZE:</b>	WIDTH = 2.7 M (9 FT) OR 3.7 M (12 FT) FOR PERSONS W/ DISABILITIES PARKING LENGTH = 5.5 M (18 FT) WIDTH OF AISLE = 6.7 M (22 FT)
<b>LANDSCAPING:</b>	NORTH = 3M SOUTH = 3M EAST = 1.5M WEST = 4.2M - 6M

**PROJECT ANALYSIS - PHASE 2**

	<b>PERMITTED / REQUIRED AS PER ZONING BY-LAW</b>
<b>ZONING:</b>	PA-1 (EXISTING ZONING = RA)
<b>USES:</b>	ASSEMBLY HALLS W/ MAX. 300 SEATS CHILD CARE CENTRES LIMITED TO 50 STUDENTS ONE OR TWO DWELLING UNITS LIMITED TO 260 SQ.M. (2800 SQ.FT.)
<b>DENSITY:</b>	FSR = 0.35
<b>SITE AREA:</b>	5,013.9 SQ.M. - N. DEDICATION (888.8 SQ.M.) - CUL DE SAC PORTION (156.5 SQ.M.) -S. DEDICATION (145.5 SQ.FT.) = 4,322 SQ.M.
<b>LOT COVERAGE:</b>	35%
<b>SETBACK:</b>	FRONT SETBACK (SOUTH) = 7.5 M (24'-7") REAR SETBACK (NORTH) = 7.5 M (24'-7") SIDE SETBACK (EAST) = 3.6 M (11'-10") SIDE SETBACK (WEST) = 3.6 M (11'-10") ALL SETBACKS SHALL BE GREATER THAN OR EQUAL TO THE MEASUREMENT OF THE HEIGHT OF THE HIGHEST BUILDING ON THE LOT.
<b>HEIGHT OF BUILDING:</b>	9 M (30 FT)
<b>PARKING:</b>	CHURCH = 7.5 PARKING SPACES PER 100 SQ.M. (1,075 SQ.FT.) OF GROSS FLOOR AREA CHILD CARE CENTRE = 1 PARKING SPACE PER EMPLOYEE PLUS AN EQUAL NUMBER OF PARKING SPACES FOR DROP-OFF OR 2 PARKING SPACES, WHICHEVER IS GREATER. DWELLING UNIT = 3 PARKING SPACES
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<b>LANDSCAPING:</b>	LOT NOT COVERED BY BLDGS, STRUCTURES OR PAVED AREAS SHALL BE LANDSCAPED ALONG ALL LOT LINES OF THE DEVELOPED PORTIONS OF THE LOT, A 3 M (10 FT) WIDE LANDSCAPED STRIP SHALL BE PROVIDED, CONSISTING OF HEDGES, GROUND COVER OR A DECORATIVE FENCE OR A COMBINATION THEREOF.
<b>SPECIAL REGULATIONS:</b>	CHILD CARE CENTRES ARE ACCESSED FROM A HIGHWAY, INDEPENDENT FROM THE ACCESS TO OTHER USES. CHILD CARE CENTRES HAVE DIRECT ACCESS TO AN OPEN SPACE AN PLAY AREA. REFER TO THE COMMUNITY CARE AND ASSISTED LIVING ACT, S.B.C., 2002, C.75 & THE CHILD CARE LICENSING REGULATION SET OUT UNDER B.C. REG. 95/2003.

	<b>PROPOSED</b>
<b>ZONING:</b>	PA-1
<b>USES:</b>	CHURCH = MAIN FLOOR = 405.99 SQ.M. & BASEMENT = 405.99 SQ.M. DAYCARE (LOWER FLOOR) = 278.34 SQ.M. ONE DWELLING UNIT FOR CARETAKER (UPPER FLOOR) = 200 SQ.M. DWELLING UNIT + 87.91 SQ.M. OFFICE
<b>DENSITY:</b>	FSR = (CHURCH + DAYCARE + ONE DWELLING UNIT) / SITE AREA = ((405.99X2) + 278.34 + 287.91) SQ.M. / 4,322 SQ.M. = 0.32
<b>SITE AREA:</b>	= 4,322 SQ.M.
<b>LOT COVERAGE:</b>	= LOT COVERAGE OF (CHURCH + ONE DWELLING UNIT) / SITE AREA = (405.99 + 287.91) SQ.M. / 4,322 SQ.M. = 0.18005 = 18.1%
<b>SETBACK:</b>	24'-9" = 7.54M 134'-4" = 40.95M 28'-1/2" = 7.94M OR HEIGHT OF CHURCH BLDG 48'-11" = 14.91M
<b>HEIGHT OF BUILDING:</b>	26' = 7.93M
<b>PARKING:</b>	= (4370X2)/SQ.FT. / (1,075 SQ.FT.) X 7.5 = 61 PARKING SPACES = (405.99X2)/SQ.M. / (100 SQ.M.) X 7.5 = 61 PARKING SPACES = 10 PARKING SPACES SHARED PARKING = 3 PARKING SPACES TOTAL REQUIRED PARKING SPACES = 61+3 = 64 PROPOSED PARKING SPACES = 56 + 7 SMALL CARS = 64 PARKING SPACES
<b>PARKING SIZE:</b>	WIDTH = 2.7 M (9 FT) OR 3.7 M (12 FT) FOR PERSONS W/ DISABILITIES PARKING LENGTH = 5.5 M (18 FT) WIDTH OF AISLE = 6.7 M (22 FT)
<b>LANDSCAPING:</b>	NORTH = 3M SOUTH = 3M EAST = 1.5M WEST = 4.2M - 6M



PROPOSED CONCEPTUAL PLAN - PHASE 1  
SCALE: 1:200

N

**DENIS BRUNEAU ARCHITECTURE**  
COQUITLAM, BC

Improving the built environment

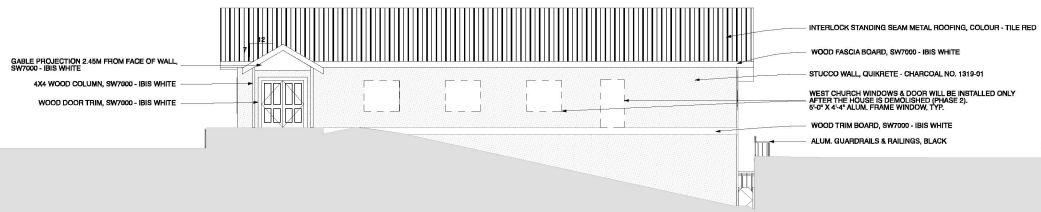
PROJECT:  
**ST. GEORGE MALANKARA ORTHODOX CHURCH**  
SURREY, B.C.

DRAWING TITLE:  
**PROPOSED CONCEPTUAL PLAN - PHASE 1 & PROJECT ANALYSIS**

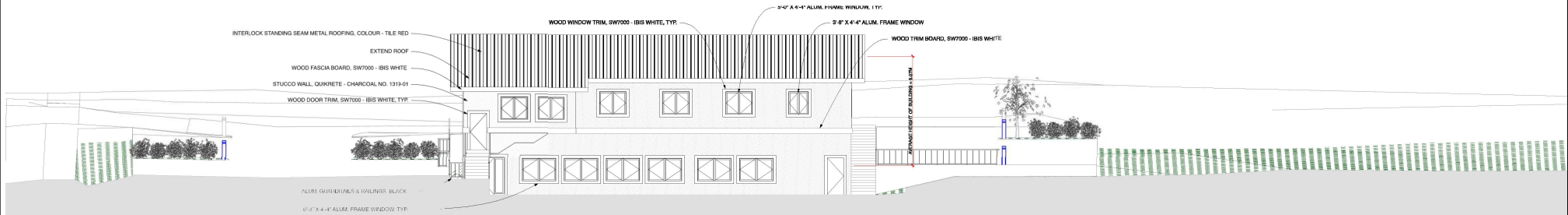
DATE:  
DECEMBER 19, 2017

SCALE:  
1 : 200

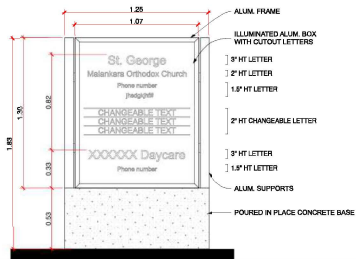
DRAWING NUMBER:  
**A-1**



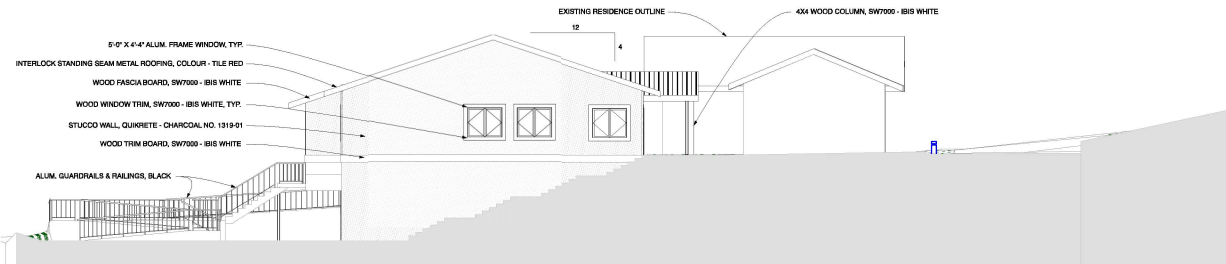
**E1 WEST ELEVATION**  
SCALE: 1:100



**E2 EAST ELEVATION**  
SCALE: 1:100



**SIGN FREESTANDING EXTERIOR SIGN**  
SCALE: 1:20



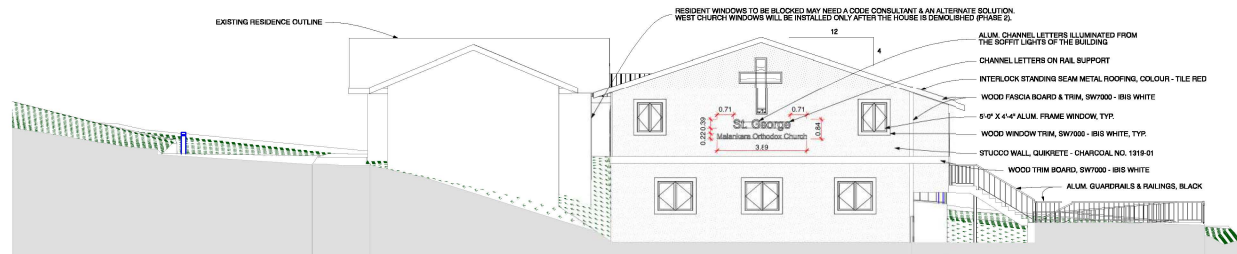
**E3 NORTH ELEVATION**  
SCALE: 1:100



INTERLOCK ROOF  
STANDING SEAM METAL ROOFING  
COLOUR - TILE RED



QUIKRETE  
STUCCO & MORTAR  
COLOUR - CHARCOAL NO. 1319-01



**E4 SOUTH ELEVATION**  
SCALE: 1:100



**DENIS BRUNEAU ARCHITECTURE**  
COQUITLAM, BC

Improving the built environment



PROJECT:

**ST. GEORGE MALANKARA ORTHODOX CHURCH**  
SURREY, B.C.

DRAWING TITLE:

**ELEVATIONS**

DATE:

DECEMBER 19, 2017

SCALE:

AS NOTED

DRAWING NUMBER:

**A-5**



GABLE PROJECTION 2.45M FROM FACE OF WALL, SW7000 - IBIS WHITE

4x4 WOOD COLUMN, SW7000 - IBIS WHITE

WOOD DOOR TRIM, SW7000 - IBIS WHITE

INTERLOCK STANDING SEAM METAL ROOFING, COLOUR - TILE RED

WOOD FASCIA BOARD, SW7000 - IBIS WHITE

STUCCO WALL, QUIKRETE - CHARCOAL NO. 1319-01

WOOD TRIM BOARD, SW7000 - IBIS WHITE

ALUM. GUARDRAILS & RAILINGS, BLACK

**E1** WEST ELEVATION COLOURED

SCALE: 1:50



WOOD WINDOW TRIM, SW7000 - IBIS WHITE, TYP.

WOOD TRIM BOARD, SW7000 - IBIS WHITE

INTERLOCK STANDING SEAM METAL ROOFING, COLOUR - TILE RED

WOOD FASCIA BOARD, SW7000 - IBIS WHITE

STUCCO WALL, QUIKRETE - CHARCOAL NO. 1319-01

WOOD DOOR TRIM, SW7000 - IBIS WHITE, TYP.

ALUM. GUARDRAILS & RAILINGS, BLACK

**E2** EAST ELEVATION COLOURED

SCALE: 1:50



**DENIS BRUNEAU  
ARCHITECTURE**  
COQUITLAM, BC

Improving the built environment



PROJECT:

**ST. GEORGE MALANKARA  
ORTHODOX CHURCH**  
SURREY, B.C.

DRAWING TITLE:

**COLOURED ELEVATIONS -  
WEST & EAST**

DATE:

DECEMBER 19, 2017

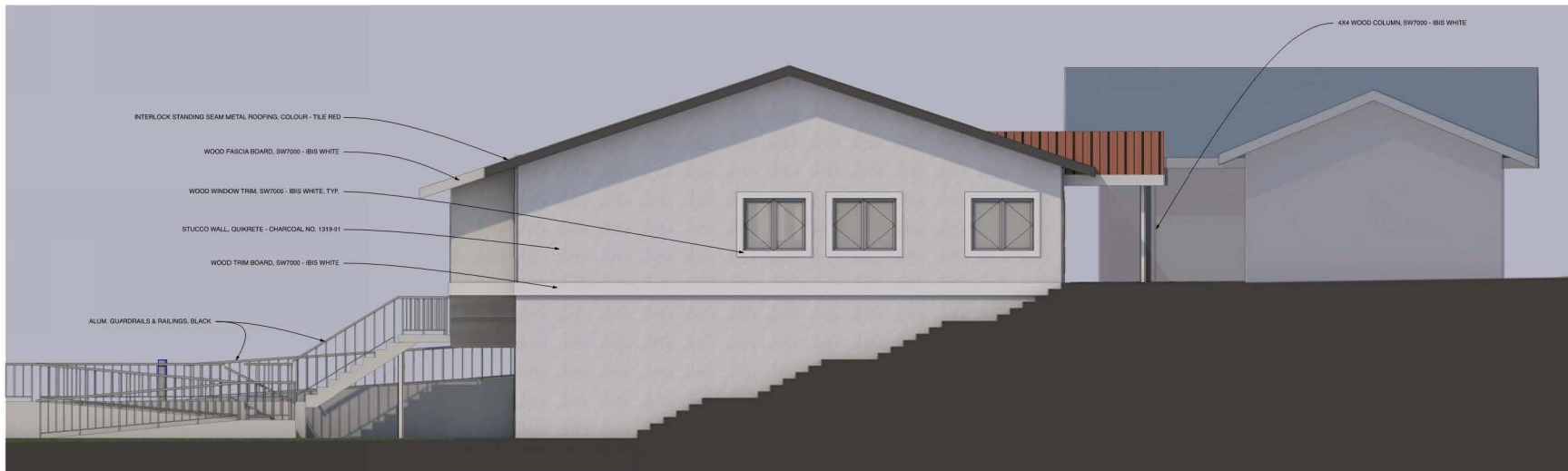
SCALE:

1 : 50

DRAWING NUMBER:

**A-5a**





**E3** NORTH ELEVATION COLOURED  
SCALE: 1:50



**E4** SOUTH ELEVATION COLOURED  
SCALE: 1:50



**DENIS BRUNEAU**  
**ARCHITECTURE**  
COQUITLAM, BC

*Improving the built environment*



PROJECT:  
**ST. GEORGE MALANKARA**  
**ORTHODOX CHURCH**  
SURREY, B.C.

DRAWING TITLE:  
**COLORED ELEVATIONS -**  
**NORTH & SOUTH**

DATE:  
DECEMBER 19, 2017

SCALE:  
1 : 50

DRAWING NUMBER:  
**A-5b**



STREETScape  
NOT TO SCALE



PROPOSED 3D COLORED RENDERING



**DENIS BRUNEAU**  
**ARCHITECTURE**  
COQUITLAM, BC

Improving the built environment



PROJECT:

**ST. GEORGE MALANKARA**  
**ORTHODOX CHURCH**  
SURREY, B.C.

DRAWING TITLE:

**STREETScape**

DATE:

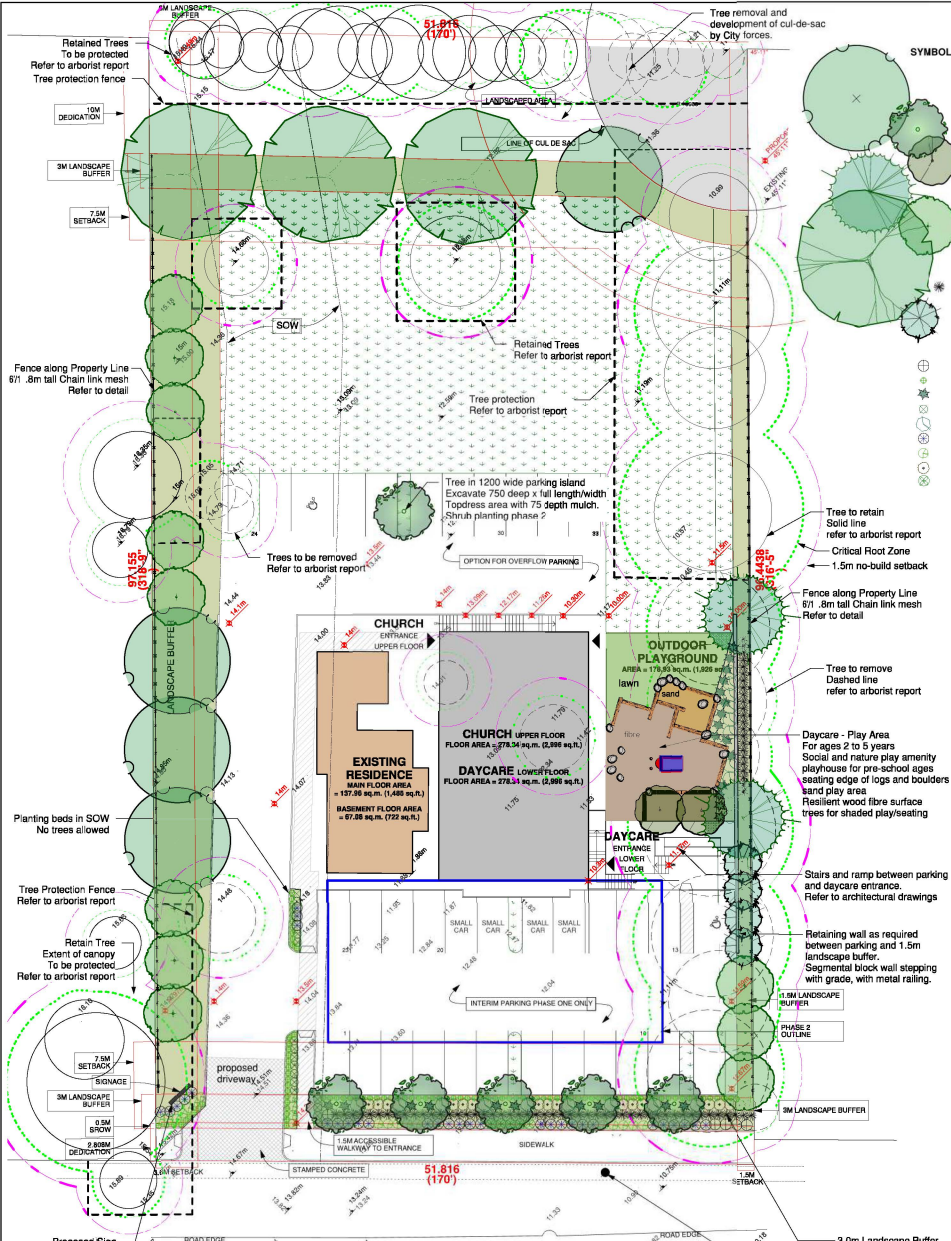
DECEMBER 19, 2017

SCALE:

NOT TO SCALE

DRAWING NUMBER:

**A-7**



### PLANT LIST - St George Church - Phase 1

updated February 16, 2018

TOTAL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
4	Acer x fremani	Autumn Blaze Maple	6cm cal. B&B	
6	Acer griseum	Paperbark Maple	2.0m standard	
2	Malus domestica	Orchard Apple	2.0m standard	
2	Picea omorika	Serbian Spruce	2.0m Tall, B&B	
11	Prunus serrulata Kwanzan	Hisakura Cherry	6cm cal. B&B	
3	Quercus rubra	Red Oak	6cm cal. B&B	
72	Thuja occidentalis Brandon	Pyramid Cedar	2.5m Tall, B&B	
4	Thuja plicata Excelsa	Western Red Cedar	2.0m Tall, B&B	

#### SHRUBS and GROUNDCOVERS

5	Forsythia x intermedia T.G'	Lynwood Gold Forsythia	#1 pot	900 o.c.
100	Gaulltheria shallon	Salal	#1 pot	400 o.c.
25	Polystichum munium	Western Sword Fern	#1 pot	900 o.c.
15	Potentilla fruticosa 'Gold Star'	Gold Star Shrubby Cinquefoil	#1 pot	750 o.c.
18	Rhododendron Yulcan	Red Rhodo (large)	#2 pot	900 o.c.
91	Salix purpurea 'Nana'	Purple Willow	#1 pot	750 o.c.
21	Spiraea x bumalda Goldflame	Goldflame Spiraea	#1 pot	750 o.c.
17	Vaccinium ovatum	Evergreen Huckleberry	#1 pot	750 o.c.
5	Weigelia florida MW	Midnight White Weigelia	#2 pot	750 o.c.

- #### NOTES:
- 1) In case of discrepancy between plant numbers on this list and on the plan, the plan shall prevail.
  - 2) All planting shall be in accordance with BCSCA/BCOLNA Landscape Standard, latest edition.
  - 3) Growing medium: 450mm depth for planting beds, 150mm depth for lawn areas.
  - 4) All planting beds: cover with 75mm of decomposed organic mulch or approved equal.
  - 5) All trees in lawn areas to have 1.0m dia watering dish with 75mm depth mulch.

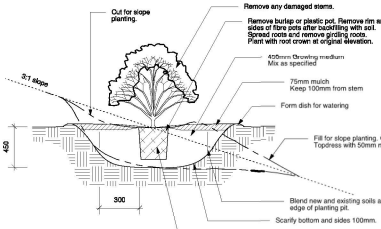
#### SOIL, PLANTS & LANDSCAPING

1. GENERAL REQUIREMENTS
  - 1.1 Furnish all labour, materials, equipment and operations to supply and install planting soil and soil landscaping, as shown on the drawings and as specified herein.
  - 1.2 All materials and execution shall conform to the latest edition of the BCSCA/BCOLNA British Columbia Landscape Standard.
  - 1.3 FINAL ACCEPTANCE
    - Final Acceptance of the work will be certified by the landscape architect, when landscape construction and all deficiencies are completed.
    - The maintenance period may be extended if there are outstanding deficiencies.
    - Provide full landscape maintenance for 45 days after Final Acceptance, including all work consistent with good horticultural practice to ensure normal, vigorous, healthy growth of all plants.
    - Avoid the use of herbicides. Pull all weeds and weed roots by hand.
  - 1.4 MAINTENANCE
    - The maintenance period may be extended if there are outstanding deficiencies.
    - Provide full landscape maintenance for 45 days after Final Acceptance, including all work consistent with good horticultural practice to ensure normal, vigorous, healthy growth of all plants.
    - Avoid the use of herbicides. Pull all weeds and weed roots by hand.
2. PLANTING SOIL
  - 2.1 Planting soil analysis report to be supplied to the landscape architect for approval prior to supplying any soil to the site. Incorporate recommendations of soil testing agency.
  - 2.2 Planting soil properties: 12 - 20% organic matter, 60 - 70% sand, maximum 25% fines.
  - 2.3 Apply planting soil mix over free-draining substrate at the following minimum settled depths:
    - 300mm around all sides and bottom of trees
    - 150mm for lawn areas
    - 450mm for all planting beds
  - 2.4 Fine grade/slope for a smooth, firm surface. Ensure there is 2% min. slope or as indicated on drawings.
3. PLANTS
  - 3.1 Plants shall be first class representatives of their species or variety. Plants shall be subject to inspection for quality, health, size and colour. Plant material to meet or exceed minimum BCSCA/BCOLNA Landscape Standard.
  - 3.2 Ensure that all planting beds and pits are free-draining, as verified with 24 hour percolation test.
  - 3.3 Set plants in the centre of the pits and at original grade, or slightly higher, allowing for settlement.
  - 3.4 All planting and layout to the satisfaction of the Landscape Architect.
4. MULCH
  - 4.1 Mulch to be decomposed hem-fir, medium texture, free of all extraneous matter and weeds.
  - 4.2 Apply fresh mulch, 75mm depth to all shrub beds and trees. Rake smooth and even.
5. SOIL TURF
  - 5.1 Sod to be non-retted, cultured sand-based sports turf from approved supplier.
  - 5.2 Lay sod to more than 48 hours before drying and installation.
  - 5.3 Lay sod with staggered ends, prevent gaps, and roll to achieve a smooth uniform surface.
6. WATERING
  - 6.1 Water all planted areas sufficient to prevent drying.
  - 6.2 Sprinkle lawn lightly for the first three days sufficient to prevent drying and water normally for the remainder of the maintenance period.
7. CLEAN UP
  - 7.1 Remove all surplus materials and other landscape debris.
  - 7.2 Leave all planting areas neatly dressed and finished, and leave all paved areas flushed clean to the satisfaction of the Consultant.

- #### Site Review Requirements
1. The City requires confirmation of work during installation, including, but not limited to soil depths, soil quality, removal of root ball, removal of tree stakes for final inspection, etc.
  2. Excavation for planting beds to be reviewed and approved by Landscape Architect prior to filling.
  3. All landscape improvements to be reviewed and approved by Landscape Architect upon completion of work.
  4. Contact Landscape Architect to arrange site review.

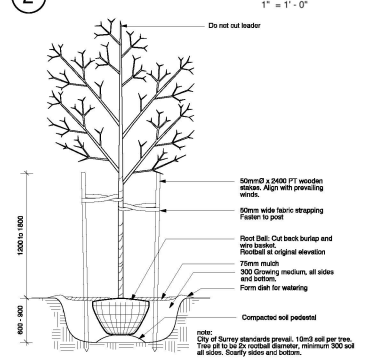
#### GENERAL NOTES

1. All work to satisfaction of the Owner.
  2. All work in compliance with City of Surrey municipal standards.
  3. Dispose of all excavated and surplus materials off site, recycle where feasible.
  4. Contractor to confirm location of city site services before proceeding.
  5. Contractor to confirm actual site conditions and layout before proceeding.
  6. All dimensions are in millimeters, unless noted otherwise.
  7. Contractor to coordinate landscape construction with work of other disciplines, including civil, electrical, and architectural, as directed by the Owner.
  8. Contractor to make good all damage to satisfaction of the Owner, at no additional cost.
  9. Public to be protected from harm at all times. Do not leave work areas in an unsafe or hazardous condition, fence and/or make safe as required.
  10. All work to be completed consistent with all drawings and specifications.
  11. Ensure positive drainage for all landscape areas.
- Refer to architectural and civil engineering drawings. Paving, grading, drainage, and retaining wall design by others.
- Tree locations to be adjusted in the field as determined by location of underground services and pole lights. Confirm locations before digging.
- Off site work shown for illustrative purposes only, including street trees as applicable.

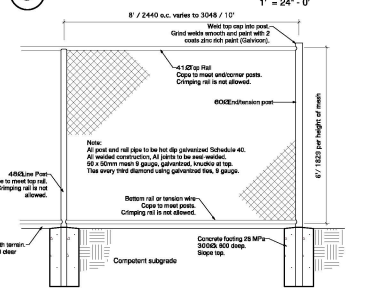


Note: Planting and plant material in accordance with latest BCSCA/BCOLNA Landscape Standard. Planting soil depth to be continuous 450mm depth in planting beds.

#### 2 Shrub Planting



#### 3 Tree Planting



#### 4 6' / 1.8m Fencing



All drawings remain the property of Greenway Landscape Architecture. Use for any purpose and reproduction only by written consent.

DATE	REVISION/DESCRIPTION
1 Nov 2017	ISSUED FOR PERMITS
2 Nov 2017	REVISED FOR PERMITS
3 Nov 2017	REVISED FOR PERMITS
4 Nov 2017	REVISED FOR PERMITS

PAUL A. WHITEHEAD  
REGISTERED LANDSCAPE ARCHITECT  
November 23, 2017

**Greenway**  
Landscape Architecture  
2280 Park Crescent  
Coquitlam BC V3J 5T4  
T: 604-461-9120  
E: paul@greenwayia.ca

Paul Whitehead RBCSLA  
Registered Landscape Architect #248

CLIENT  
St. George Malankara  
Orthodox Church

PROJECT  
St. George  
Malankara Orthodox  
Church  
15141 - 72 Avenue  
Surrey BC V3S 2G3

DRAWING  
Phase 1  
Landscape  
Plan

DRAWING NUMBER  
**L-1**

SCALE 1:200 metric  
DRAWN PACW

PROJECT NUMBER 1713

1 Landscape Treatment

1cm = 20cm

0 2m 5m 10m 40'

72ND AVENUE

3.0m Landscape Buffer  
Continuous soil trench 450 deep  
Planted with combination of ornamental trees, evergreen hedge, with evergreen and deciduous shrubs to provide screening.  
Variety of native and ornamental species, providing floral and fruiting interest.  
Existing pole and overhead utilities  
approximate alignment for illustration only

## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Mar 29, 2018** PROJECT FILE: **7817-0372-00**

---

RE: **Engineering Requirements  
Location: 15141 72 Avenue**

**REZONE/SUBDIVISION*****Property and Right-of-Way Requirements***

- Dedicate 2.808- metres fronting 72 Avenue for an ultimate 30.0-meter Arterial Road.
- Dedicate portion of 14.0- metres radius for the cul-de-sac fronting 73B Avenue.
- Register a 0.5-metre Statutory Right-of-Way (SRW) for infrastructure maintenance on 72 Avenue.

***Works and Services***

- Construct 73B Avenue to the Limited Local Road Standard.
- Construct a minimum 6.0-metre concrete letdown.
- Construct storm, sanitary, and water service connections to service the subject property.
- Provide on-site stormwater mitigation features as determined through detailed design.
- Install 450mm topsoil, sod, and street trees along 72 Avenue Boulevard.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Variance Permit.



Tommy Buchmann, P.Eng.  
Development Engineer

A3H

## Tree Preservation Summary

**Surrey Project No:**

**Address:** 15141 72 Avenue, Surrey

**Registered Arborist:** Andrew C. MacLellan #ON-1978A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>45</b>
<b>Protected Trees to be Removed</b>	<b>14</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>31</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0	<b>28</b>
- All other Trees Requiring 2 to 1 Replacement Ratio _____ 14 X two (2) = 28	
<b>Replacement Trees Proposed</b>	<b>28</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	<b>0</b>

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0	<b>0</b>
- All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>

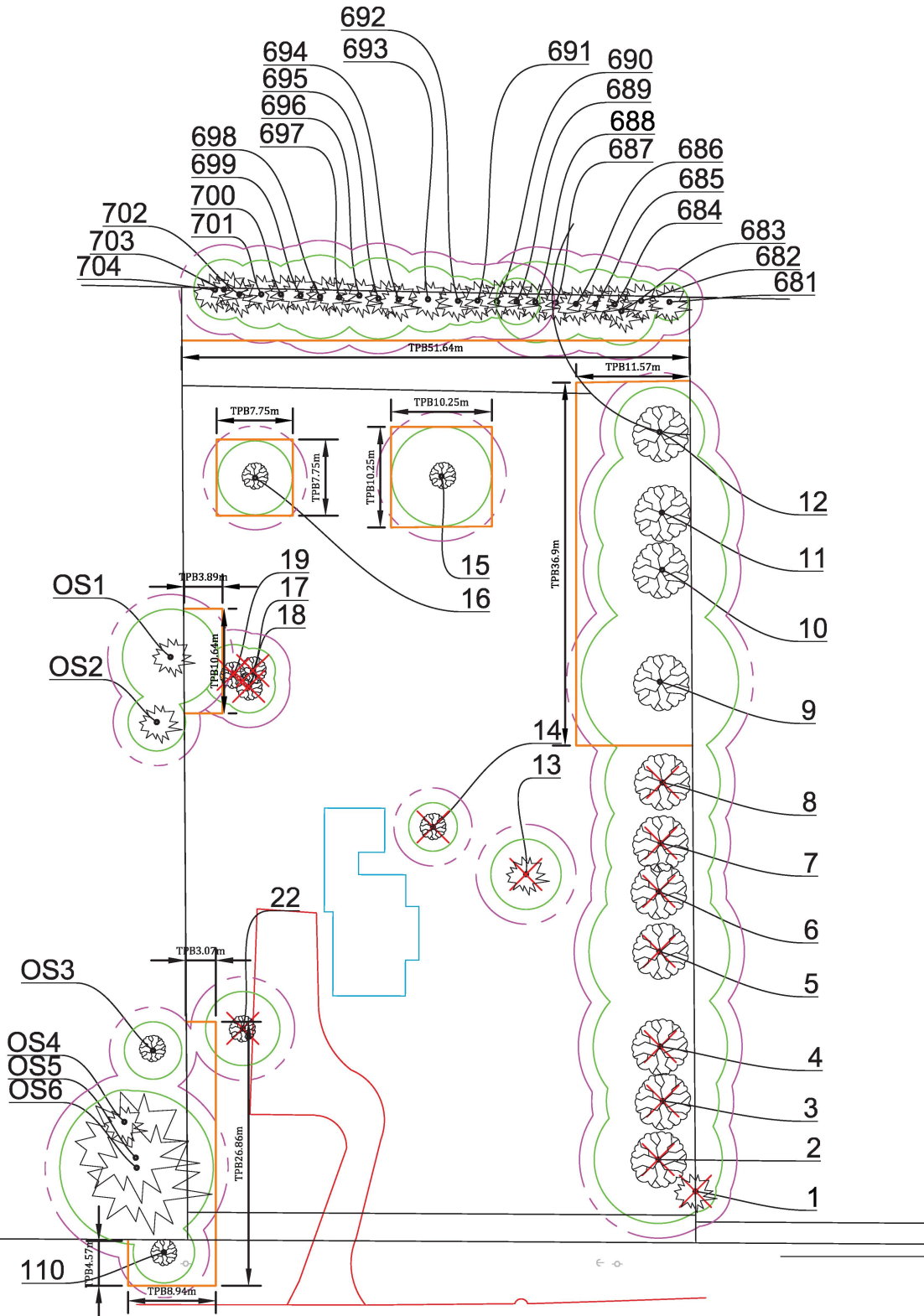
Summary, report and plan prepared and submitted by:

  
\_\_\_\_\_  
(Signature of Arborist)

13-Feb-18  
\_\_\_\_\_  
Date

# Tree Preservation and Removal Plan

## 15141 72 Avenue, Surrey



Legend		Andrew C. MacLellan I.S.A. Certified Arborist #ON-1978A I.S.A. Tree Risk Assessment Qualification Forestry Technician FtDipl.	
	Critical Root Zone (CRZ)	Scale	1:400
	No Build (1.5m Offset)	Date	February 13 <sup>th</sup> , 2018
	Removal Recommended	Approved By:	TW
	Tree Protection Barrier	Revision #	4
	Tree Protection Barrier Dimensions		

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0372-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-223-100  
 Lot 4 Section 22 Township 2 New Westminster District Plan 23497  
 15141 - 72 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection I. Landscaping of Part 31 Assembly Hall 1 Zone, the minimum landscape strip along the east property line is reduced from 3 metres (10 ft.) to 1.5 metres (5 ft.).
  
5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

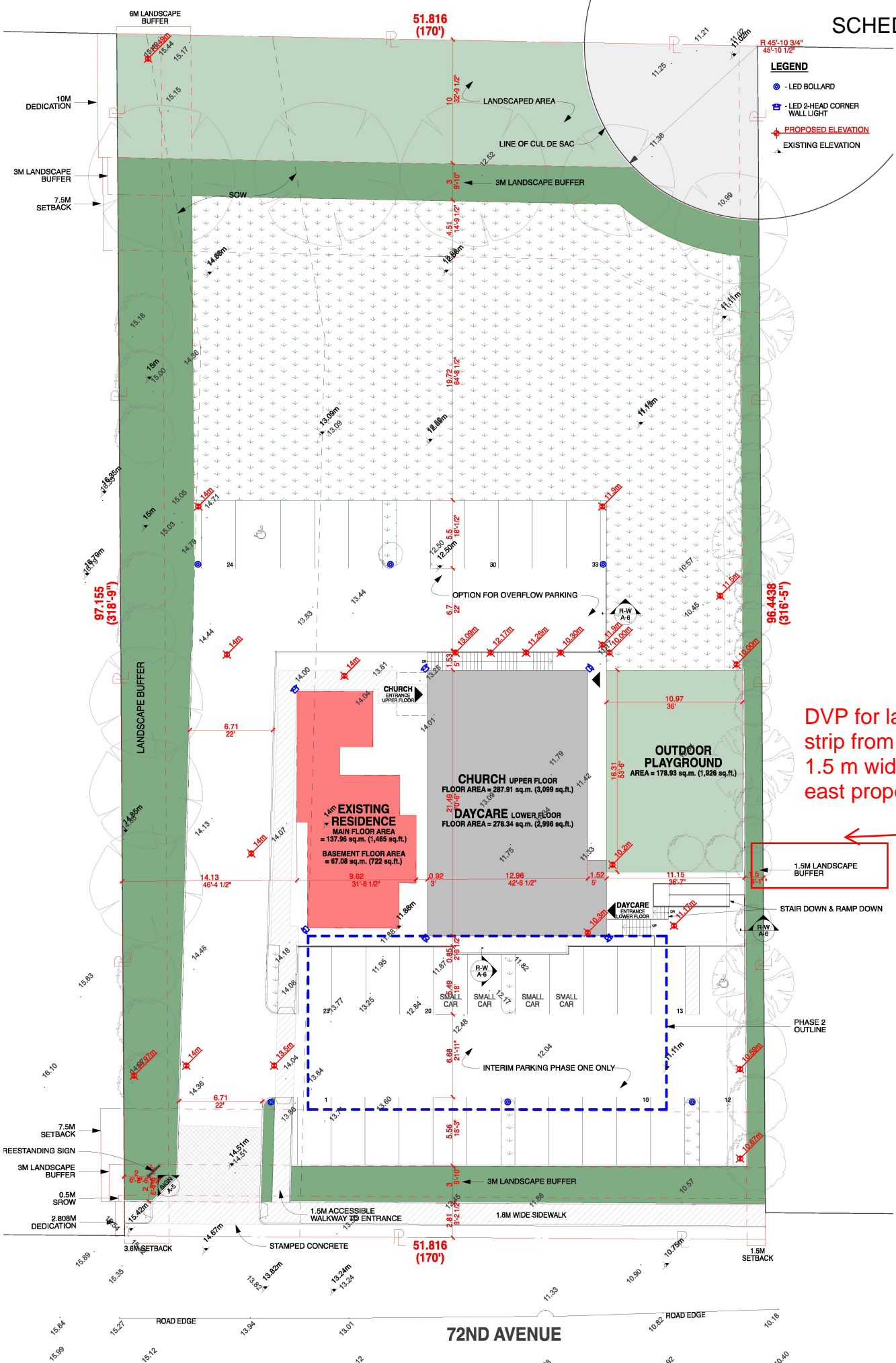
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Mayor – Linda Hepner

---

City Clerk – Jane Sullivan





DVP for landscape strip from 3 m to 1.5 m wide along east property line

1.5M LANDSCAPE BUFFER

PROPOSED CONCEPTUAL PLAN - PHASE 1

SCALE: 1:200

72ND AVENUE