

INTER-OFFICE MEMO

Regular Council - Land Use
Item D.1: 7917-0301-00
Monday, March 28, 2022
Supplemental Information: Page Replacements

TO: **City Clerk**

FROM: **Manager, Area Planning & Development - North Division**

DATE: **March 25, 2022** FILE: **7917-0301-00**

RE: **Item D.1 - March 28, 2022, Regular Council - Land Use agenda Additional Recommendation for Additional Planning Comments Report**

An additional recommendation has been added to the Additional Planning Comments report for Development Application No. 7917-0301-00, which is Item D.1 on the March 28, 2022, Regular Council – Land Use agenda. The additional recommendation has been added under the list of issues for Council to instruct staff to resolve prior to final adoption as follows:

- (p) the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road and provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of ultimate road construction and interim maintenance costs.

Details and rationale for the additional recommendation have also been added in various sections within the body of the Additional Planning Comments report.



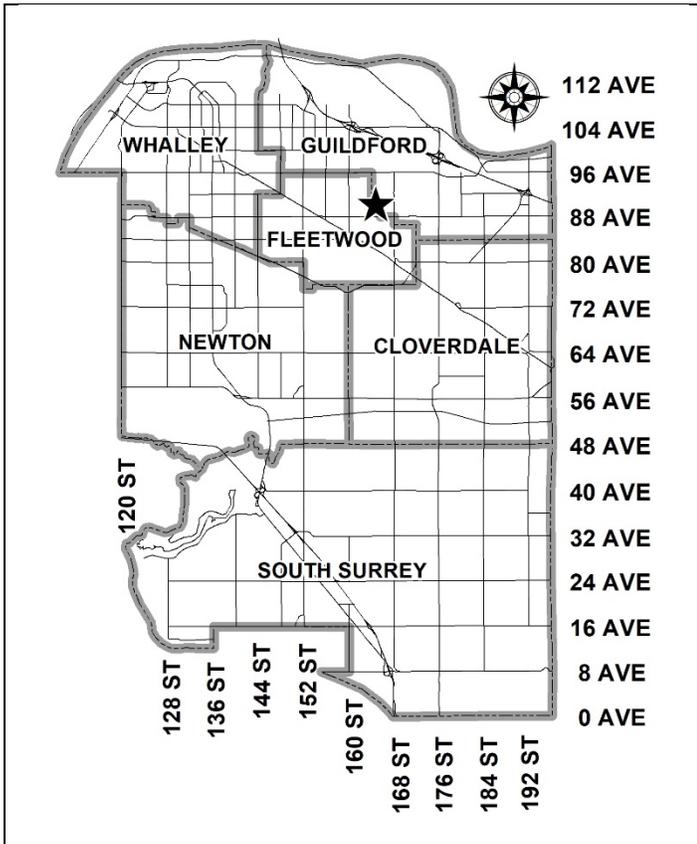
Ron Gill
Manager, Area Planning & Development - North Division

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MAR 28, 2022
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City of Surrey
ADDITIONAL PLANNING COMMENTS REPORT

Application No.: 7917-0301-00

Planning Report Date: March 28, 2022



PROPOSAL:

- **OCP Amendment** for a portion of the site from Suburban to Urban
- **Rezoning** a portion of the site from A-1 and RH-G to CD
- **Development Permit** for Form and Character, Sensitive Ecosystems, Hazard Lands (Steep Slopes) and Farm Protection

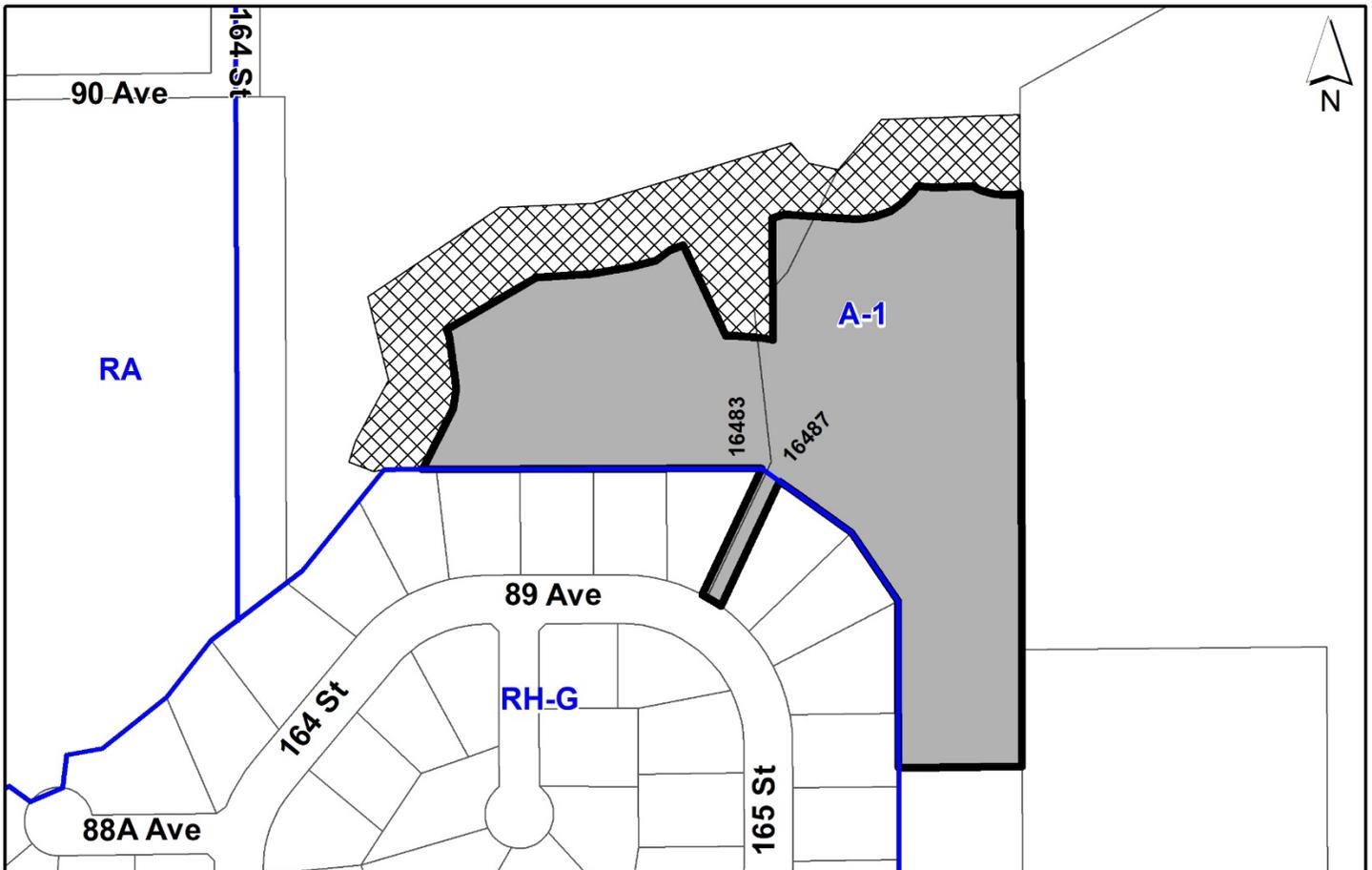
to permit the development of 117 townhouse units and the conveyance of the riparian protection area to the City.

LOCATION: 16483 – 89 Avenue
 16487 – 89 Avenue

ZONING: A-1 & RH-G

OCP DESIGNATION: Suburban & Agricultural

TCP DESIGNATION: Fleetwood Plan Extension Area



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, Hazard Lands, and Farm Protection.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Suburban to Urban for a portion of the site.

RATIONALE OF RECOMMENDATION

- The proposal does not comply with the Suburban and Agricultural designation in the Official Community Plan (OCP). An OCP amendment from 'Suburban' to 'Urban' is required in order to allow for the proposed net density of 42 uph for the townhouse proposal.
- The subject site was included in the Stage 1 Fleetwood Plan, approved by Council on March 7, 2022. The site is located with the Extension Area with land uses to be determined in advance of Stage 2.
- The site is proposed to be designated 'Townhouse' as part of the subject application, which allows for ground-oriented townhouse buildings (row or stacked) and related amenity spaces.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of providing a range of housing options near a transit corridor. The subject site is located approximately 1.7 kilometers from the future Skytrain Station at Fraser Highway and 160th Street.
- The proposed land use and density has merit as it is consistent with OCP principles and commitments as part of the Surrey Langley SkyTrain (SLS) Supportive Policies Agreement (SPA) to:
 - Support the concentration of homes, jobs, and key activities within close proximity of SLS SkyTrain Stations at a level appropriate to support the transit investment; and
 - The provision of diverse land uses and housing for a range of types, residential tenures, and household incomes.

- The proposed townhouse development has protected riparian areas to the north and east, existing mature trees along the south property lines, and a landscape buffer between the Agricultural Land Reserve (ALR) to the east, creating an unique opportunity for townhouse living in an enclave type setting.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems Streamside Areas, Hazard Lands Steep Slopes, and Form and Character.
- The proposal does not fully comply with the Development Permit requirements in the OCP for Farming Protection, however, the proposal was reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC) and they recommended support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR.
- The proposed buildings have been designed to reflect a three-storey form that will be the same height, or lower, than the existing single-family homes to the south. There is also a 10 metres setback between the proposed townhouses and the existing homes.
- Approximately 1.09 acres of environmentally sensitive area is proposed to be conveyed to the City for riparian protection purposes.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines, although the proposed townhouses will be minimally visible from 89 Avenue.
- On March 7, 2022, staff forwarded a report to Council on the proposed development with a recommendation of denial, given that the site has access constraints due to only being accessible through a 9-metre wide, 56-metre long panhandle, between two existing suburban residential lots.
- Staff suggested that the application could be revisited should additional land (minimum one lot) be acquired to provide more conventional access to the site.
- Council referred the application back to staff to process the application as proposed.
- Staff are recommending that, in order to provide an improved access to the subject site in the longer term, the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road. This would allow the City to seek further widening in the future should the existing suburban lots to the south redevelop. The ultimate targeted road width would be 14.5 metres and would accommodate 7.5 metres of pavement, with 1.5 metre sidewalks on both sides and 2 metre boulevards. Staff are also recommending that the applicant provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of the ultimate road construction and interim maintenance costs. The applicant disagrees with this requirement.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from "General Agriculture Zone (A-1)" and "Half-Acre Residential Gross Density Zone (RH-G)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No.7917-0301-00 generally in accordance with the attached drawings (Appendix I), the finalized Geotechnical Report, and finalized Ecosystem Development Plan.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a design for the pedestrian path from the southern portion of the Godwin Farm Biodiversity Preserve to 89 Avenue through the subject property to the satisfaction of the General Manager Parks, Recreation and Culture along with registration of a right-of-way for public rights-of-passage;
 - (h) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
 - (i) conveyance of proposed Lot B, the riparian protection area, at no cost, to the City;

- (j) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area along the eastern edge of the site for both “No Build” and conveyance access;
 - (k) submission of a finalized Geotechnical Report to the satisfaction of City staff along with registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions of the Geotechnical Report;
 - (l) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, as applicable, to the satisfaction of the General Manager, Planning and Development Department;
 - (m) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (n) registration of a Section 219 Restrictive Covenant for installation and maintenance of the ALR landscape buffer; **and**
 - (o) registration of a Section 219 Restrictive Covenant advising future homeowners of the potential farm operations of the adjacent agricultural lands; **and**
 - (p) **the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road and provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of ultimate road construction and interim maintenance costs.**
6. Council pass a resolution to designate a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) as “Townhouse” in the Fleetwood Plan if this application proceeds for final adoption prior to Stage 2 of the Fleetwood Plan.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP	Existing Zone
Subject Site	Undeveloped residential land with environmentally sensitive area.	Suburban and Agricultural	A-1/RH-G
North:	Godwin Farm Biodiversity Preserve	Agricultural	A-1
East:	Vacant and developed agricultural land	Agricultural	A-1
South:	Single-family homes on suburban lots	Suburban	RH-G/A-1
West:	Godwin Farm Biodiversity Preserve	Agricultural	A-1

Context & Background

- The subject site includes two properties, 16483 and 16487 – 89 Avenue, located in Fleetwood. They are large suburban properties located north of 89 Avenue and adjacent to the Godwin Farm Biodiversity Preserve, immediately to the north.
- The site is designated ‘Suburban’ and ‘Agricultural’ in the Official Community Plan (OCP). The site, and adjacent suburban lots to the south and west, were added to the Fleetwood Plan as an extension area as part of the Stage 1 Fleetwood Plan to be further assessed through the Stage 2 planning process. The subject application proposes a ‘Townhouse’ designation for the developable portion of the subject site.
- The Agricultural Land Reserve (ALR) is located immediately east and north of the site.
- The subject site has a gross site area of 3.96 hectares.
- There is a Class A watercourse located north and west of the subject site, and within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- On March 7, 2022, staff forwarded a report to Council on the proposed development with a recommendation of denial, given that the site has access constraints due to only being accessible through a 9-metre wide, 56-metre long panhandle, between two existing suburban residential lots.
- Staff suggested that the application could be revisited should additional land (minimum one lot) be acquired to provide more conventional access to the site.
- Council referred the application back to staff to process the application as proposed.
- Staff are recommending that, in order to provide an improved access to the subject site in the longer term, the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road. This would allow the City to seek further widening in the future should the existing suburban lots to the south redevelop. The ultimate targeted road width would be 14.5 metres and would accommodate 7.5 metres of pavement, with 1.5 metre sidewalks on both sides and 2 metre boulevards. Staff are also recommending that the applicant provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of the ultimate road construction and interim maintenance costs. The applicant disagrees with this requirement.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing an OCP Amendment to redesignate a portion of the site from Suburban to Urban and to rezone that portion of the site from A-1 and RH-G to CD (based on RM-15) to accommodate a 117-unit townhouse project.

- Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes. The remaining development site for the proposed townhouse development is 2.9 hectares in net area.
- Development Permits for Form and Character, Sensitive Ecosystems (Streamside Protection), Hazard Lands (Steep Slopes) and Farm Protection are required.
- A total of 117 townhouse units are proposed on the site. Development details are provided in the following table:

Proposed	
Lot Area	
Gross Site Area:	4.0 hectares
Road Dedication:	N/A
Undevelopable Area:	1.1 hectares
Net Site Area:	2.9 hectares
Number of Lots:	2
Building Height:	11.0 metres / 3-storeys
Unit Density:	42 units per hectare
Residential Units:	
3-Bedroom:	117
Total:	117

- The proposed townhouse development has land use merit as a cluster form of housing that will provide greater housing options in the neighbourhood, while still protecting existing environmental features and incorporating buffering from adjacent agricultural land.
- The proposed vehicular access to the site is from 89 Avenue, via the panhandle portion of the site. The panhandle is situated between two existing single-family homes, with shared trees and hedges planted on both sides of the panhandle and is approximately 9.0 metres in width.
- The 9.0-metre access width to the proposed townhouse development satisfies BC Building Code and Emergency Access requirements.
- The 9.0 metre panhandle access will include a minimum asphalt pavement width of 6.0 metres. The remaining 3.0 metres would allow for a 1.5 metre sidewalk and 0.75 metres of landscaping on both sides of the access.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:

The School District has advised that there will be approximately 47 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.

21 Elementary students at Serpentine Heights Elementary School
15 Secondary students at North Surrey Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2024.

Parks, Recreation & Culture:

A public pathway from 89 Avenue to Godwin Farm Biodiversity Preserve is required in accordance with the Godwin Farm Biodiversity Preserve Management Plan, secured as either dedication or through a right-of-way for public access. Details of the path (which should be designed to ensure the path looks and feels like public space) and accompanying signage are to be provided on the landscape drawing set to be reviewed by Parks.

The applicant's QEP is required to submit their stream classification letter to the Province to confirm provincial setbacks.

Parks will accept the voluntary conveyance of the streamside protection area for E Creek as a lot, without compensation, for conservation purposes. Parks would prefer that the streamside protection area for the unnamed Class B ditch on the neighbouring property to the east be conveyed to Parks.

Arborist Report to be updated to capture the trees around the detention depression. No trees or vegetation are to be removed from future or existing parkland without preapproval by Parks.

The drive aisle directly adjacent to parkland is required to be separated and screened with fencing and landscape planting. Fencing adjacent to parkland is to be permeable, no higher than 1.2 metres and offset a minimum of 0.1 metres on the private side of the property line. Onsite planting adjacent to parkland are to be native species to support the riparian area.

Surrey Fire Department:

Addressing is to reflect the primary response point. A site plan is to be installed at the primary entrance to the property and shall be large enough to be legible from a vehicle, constructed to withstand the elements, and be illuminated at night.

Agriculture, Environment, and Investment Advisory Committee (AEIAC): Recommend support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR.

Transportation Considerations

Transit

- There is an existing bus route in proximity to the subject development, route 388 (22nd Street Station / Carvolth Exchange) with stops at the intersection of 88 Avenue and 164 Street (less than 400 m away).
- TransLink's Transport 2050 Plan identifies this segment of 88 Avenue as a future part of the Major Transit Network and Reliable and Fast Transit Network, with consideration for Rapid Transit.
- The nearest station along the new Surrey-Langley SkyTrain line will be approximately 1,700 metres from the subject site at Fraser Highway and 160 Street.

Traffic Impacts

- This proposal did not meet the Surrey Design Criteria Manual Threshold for requiring a Traffic Impact Analysis (TIA) threshold of generating 100 trips during the peak hour.
- Based off the Institute of Transportation Engineers (ITE) Trip Generation Manual Townhouse land use designation, approximately 56 vehicle trips are expected to be generated in the Weekday AM Peak Hour and 66 vehicle trips in the Weekday PM Peak Hour, which translates to roughly one vehicle trip every minute. Given the magnitude of trips relative to the existing volumes, there are no off-site improvements required to mitigate the expected traffic impacts.

Road Network and Infrastructure

- The subject site is located on the north side of 89 Avenue and is accessible by a panhandle driveway approximately 9.0 m in width and 56.0 metres in length. No dedication requirements or further road upgrades are required for 89 Avenue.
- To address the additional traffic volume on the road network accessing the subject site, and to facilitate safe pedestrian crossing to access the bus stops on 88 Avenue, a full movement traffic signal at the intersection of 88 Avenue and 164 Street will be required to be constructed through this development.

Access

- One shared full movement vehicle and pedestrian access is proposed for the site along the existing panhandle driveway off 89 Avenue, which is proposed to consist of 6.0 metres of pavement, a 1.5 metre sidewalk, and a 0.75 metre landscape strip on either side.

- Staff are recommending that, in order to provide an improved access to the subject site in the longer term, the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road. This would allow the City to seek further widening in the future should the existing suburban lots to the south redevelop. The ultimate targeted road width would be 14.5 metres and would accommodate 7.5 metres of pavement, with 1.5 metre sidewalks on both sides and 2 metre boulevards. Staff are also recommending that the applicant provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of the ultimate road construction and interim maintenance costs. The applicant disagrees with this requirement.

Parking

- The proposed 117 townhouse units require a minimum of 234 residential and 23 visitor parking spaces, as per the Zoning Bylaw (257 spaces total). The applicant is exceeding the Zoning Bylaw requirements by providing 29 visitor spaces (263 spaces total).
- On-street parking is currently permitted on both sides of 89 Avenue in proximity to the subject site.

Parkland and Natural Area Considerations

- Development Permits for Sensitive Ecosystems (Streamside Protection) and Hazard Lands (Steep Slopes) are required.
- There is a Class A watercourse located adjacent to the north and west property lines of the site, within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- The required streamside setbacks, as outlined in Part 7A of the Zoning Bylaw, are provided within the proposed development. No variances are requested.
- The site has a gross site area of 3.96 hectares with approximately 1.1 hectare of environmentally sensitive area proposed to be conveyed, at no cost, to the City, for riparian protection and Parks purposes.
- Currently, the only access to Godwin Farm Biodiversity Preserve's trail network is from the parking lot along 164 Street. The management plan for the Godwin Farm envisions a future access via pedestrian path from the southern portion of the preserve to 89 Avenue through the subject property. This pedestrian path will provide an important connection to the preserve for existing and future residents in the Fleetwood Town Centre Plan.
- The pedestrian path is to be designed to look as public as possible and provide a direct access route across the site to connect with the parkland to the north. The path should include landscaping along both sides and raised crosswalks are to be considered for crossing of drive aisles.
- Registration of a right-of-way for public rights-of-passage will be required over the pedestrian path.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Pervious materials will be used for landscaping, sidewalks, etc. to minimize runoff and planting beds and soft landscaping have been provided to reduce the overall use of paved areas.
 - High efficiency, low water consumption kitchen and bathroom faucets and toilets are proposed to reduce daily water consumption and will also reduce pressure on the sanitary system.
 - Energy Efficient - LED lighting is proposed to be used for the site lighting, as well as Energy Efficient bulbs for all fixtures in common areas and within units.
 - Use of Low-VOC (Volatile Organic Compound) products such as paints, carpeting and adhesives are considered to achieve an improved air quality.
 - Energy modelling will be done prior to Building Permit application and will form part of the design specifications.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed townhouse development complies with the 'General Urban' designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is designated 'Suburban' and 'Agricultural' in the OCP. The 'Suburban' designation allows for densities up to 4 units per acre.
- An OCP amendment from 'Suburban' to 'Urban' is proposed for a portion of the site in order to allow for the proposed net density of 42 units per hectare. The 'Urban' designation allows for densities of up to 72 units per hectare in Secondary Plan Areas.
- There is a small portion of the land designated 'Agricultural' at the northern edge of the site that will be part of the proposed dedicated open space and is not proposed to be amended.

Amendment Rationale

- The subject site is located within the Extension Area of the Stage 1 Fleetwood Plan, which was approved by Council on March 7, 2022. The subject application will inform the land use designation and density for the subject site within the Fleetwood Plan in advance of Stage 2.
- The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of providing a range of housing options near a transit corridor. The subject site is located approximately 1.7 kilometers from the future Skytrain Station at Fraser Highway and 160th Street.
- The proposed land use and density has merit as it is consistent with OCP principles and commitments as part of the Surrey Langley SkyTrain (SLS) Supportive Policies Agreement (SPA) to:
 - Support the concentration of homes, jobs, and key activities within close proximity of SLS SkyTrain Stations at a level appropriate to support the transit investment; and
 - The provision of diverse land uses and housing for a range of types, residential tenures, and household incomes.
- The proposed townhouse development has protected riparian areas to the north and west, existing mature trees along the south property lines, and a landscape buffer between the Agricultural Land Reserve (ALR) to the east, creating an unique opportunity for townhouse living in an enclave type setting.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems Streamside Areas, Hazard Lands Steep Slopes, and Form and Character.
- Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes/Policies:
 - A2.1 – Directing higher density development to Town Centres and Frequent Transit Corridors
 - the subject site is located within the Fleetwood Plan Extension Area.
 - The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of achieving higher density, and greater housing options near a transit corridor.
 - A1.5a – Support Frequent Transit Corridors as priority development areas to accommodate an increased proportion of density and growth.

Secondary Plans

Land Use Designation

- The subject site was included in the Stage 1 Fleetwood Plan, approved by Council on March 7, 2022. The site is located with the Extension Area with land uses to be determined in advance of Stage 2.
- The site is proposed to be designated 'Townhouse' as part of the subject application, which allows for ground-oriented townhouse buildings (row or stacked) and related amenity spaces.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed townhouse development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 15 Zone (RM-15)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-15 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-15 Zone (Part 21)	Proposed CD Zone
Unit Density:	37 units per hectare	42 units per hectare
Floor Area Ratio:	0.70	0.70
Lot Coverage:	45%	30%
Yards and Setbacks	7.5 m from all lot lines	North: 4.5 m East: 11.4 m South: 4.2 m Southwest: 9.4 m West: 4.5 m
Principal Building Height:	11.0 metres	11.0 metres
Permitted Uses:	<ul style="list-style-type: none"> • Ground-oriented multiple unit residential buildings. • Child care centres, provided they do not constitute a singular use of the lot. 	<ul style="list-style-type: none"> • Ground-oriented multiple unit residential buildings.
Amenity Space		
Indoor Amenity:	351 square metres	The proposed 204 square metres [+ CIL of \$122,500 at 2022 rates] meets the Zoning By-law requirement.
Outdoor Amenity:	351 square metres	729 square metres

Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class A (red-coded) Stream:	30.0 metres	30.0 metres
Class B (yellow-coded) Ditch:	7.0 metres	7.0 metres
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	234	234
Residential Visitor:	23	29
Total:	257	263
Tandem (%):	50%	0%

- The CD Bylaw proposes an increased unit density above that specified in the RM-15 Zone from 37 uph to 42 uph, however, the floor area ratio (FAR) of 0.70 complies with the maximum of 0.70 permitted under the RM-15 Zone.
- The proposed unit density has merit as it allows for additional units, while still accommodating all double, side-by-side garages (no tandems), with sufficient indoor and outdoor amenity space and setback areas.
- Child care centres has been removed as a permitted use due to the additional traffic that such a use typically generates and given the constrained access to the site.
- The building setbacks are proposed to be reduced along the north property line from 7.5 metres to 4.5 metres, adjacent to the riparian protection area.
- The west building setback adjacent to Buildings 1 and 8 is proposed to be reduced from 7.5 metres to 4.5 metres, adjacent to the riparian protection area.
- The south building setback adjacent to Buildings 21 and 22 is proposed to be reduced from 7.5 metres to 4.2 metres.
- The proposed setback reductions are only proposed along interfaces that do not abut single family dwellings. The setbacks abutting single family dwellings have been increased to 10.0 metres at the ground floor level and 9.4 metres for the upper floors, to provide for additional buffering and privacy. Adjacent to the ALR, the setbacks are between 11.4 metres and 14.4 metres.
- The proposal meets the Zoning Bylaw requirements in terms of height, indoor and outdoor amenity space, streamside setbacks, and parking.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance.
- Tier 2 Capital Plan Project CACs as applicable will be payable at the rate applicable at the time of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 9, 2018, the contribution does not apply.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 24, 2021, and the Development Proposal Signs were installed on November 26, 2021. Staff received 26 responses from neighbouring residents. Four (4) of the comments were in support of the proposed development and 22 expressed concerns or opposition (*staff comments in italics*):
- **Access, traffic, construction, and safety concerns** - concerns were expressed regarding the increase in traffic resulting from the proposed 117 townhouses compared with the number of single family homes that could be built under the existing 'Suburban' designation in the OCP.
 - *This proposal did not meet the Surrey Design Criteria Manual Threshold for requiring a Traffic Impact Analysis (TIA) threshold of generating 100 trips during the peak hour.*
 - *The Institute of Traffic Engineers (ITE) Trip Generation Manual Townhouse land use designation indicates that the site is anticipated to generate approximately 56 Weekday AM Peak Hour vehicle trips and 66 Weekday PM Peak Hour vehicle trips, which translates to roughly one vehicle trip every minute.*
 - *A future SkyTrain station is proposed for the intersection of 160 Avenue and Fraser Highway, approximately 1.7 km walking distance from the subject site.*
 - *The applicant has agreed to install a signal at the intersection of 188 Street and 64 Avenue. Staff expect this signal to help address some of the comments related to traffic in and around the immediate neighbourhood.*

- Concerns were expressed regarding the access to the site from 89 Avenue because of the narrow pan-handle configuration of the access between two (2) existing single-family homes.
 - *A Planning report with information on the proposed driveway access was presented to Council at the March 7, 2022, Regular Council – Land Use meeting. The driveway meets minimum specifications under the BC Building Code and Emergency Access requirements but is in an unconventional panhandle configuration. Council referred the application back to staff to continue to process the application as proposed.*
- Concerns were expressed regarding the impact of construction and service vehicles in the neighbourhood and narrow access.
 - *The driveway meets minimum specifications under the BC Building Code and Emergency Access requirements.*
 - *Staff are recommending that, in order to provide an improved access to the subject site in the longer term, the applicant dedicate the existing 9-metre-wide panhandle portion of the site to the City as road. This would allow the City to seek further widening in the future should the existing suburban lots to the south redevelop. The ultimate targeted road width would be 14.5 metres and would accommodate 7.5 metres of pavement, with 1.5 metre sidewalks on both sides and 2 metre boulevards. Staff are also recommending that the applicant provide a financial contribution to the City in the amount of \$600,000.00 to cover the cost of the ultimate road construction and interim maintenance costs. The applicant disagrees with this requirement.*
- Concerns were expressed regarding pedestrian safety.
 - *The applicant is required to construct a full movement traffic signal at the intersection of 88 Avenue and 164 Street.*
- **Environmental and wildlife concerns** - concerns were expressed regarding the potential damage to the natural environment, the Godwin Farm Biodiversity preserve and riparian area on the site.
 - *The proposed streamside setbacks, for the protection of riparian areas are in compliance with Part 7A of the Zoning Bylaw and will comply with all provincial and federal regulations. The riparian area, within proposed Lot B, is being conveyed to the City for conservation and parks purposes. The riparian protection area along the eastern portion of the site will be protected on-site with the registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area for both “No Build” and access.*
- **OCP Amendment** – opposition was expressed regarding the proposed amendment to the OCP and residents expressed desire for the site to remain suburban and to develop in accordance with the OCP.
 - *The proposed townhouse development has merit and development on this site is anticipated in the Stage 1 Fleetwood Plan Land Use Concept, supported by Council on March 7, 2022. The subject site is situated within the extension area of the Fleetwood Plan. The proposed designation, as part of this development application is ‘Townhouses’. OCP designations are intended to be updated as part of the Fleetwood Plan process to reflect the suggested land uses and densities contemplated in the Secondary Plan.*

- **Tree retention** – comments were received regarding the desire to retain the many mature trees on the site.
 - *There are 62 trees within the riparian protection area, to be conveyed to the City, proposed for retention. There are 305 on-site trees, 80 of which are proposed for retention. The on-site trees proposed for removal would be impacted by the proposed development. The development is proposing to retain the majority of the mature trees along the south property lines, that interface with the existing single-family homes.*
- **Existing servicing issues** – comments were received about the condition of existing servicing, and in particular water lines, in the neighbourhood in need of repair and future concerns.
 - *Staff have reviewed the Engineering service requests and confirmed that the applicant will not be required to remediate the water line issues, since this is a system maintenance issue, having no direct impact to the proposed development. Water Planning will complete further investigation to better understand the issue and perform any necessary work as required.*
- A response to the development proposal was received from the property owners of Fleetwood Estates, which comprises the single family dwellings in the half-acre gross density subdivision directly to the southwest of the subject property. Their comments can be summarized as follows (*staff comments in italics*):
 - Fifty (50) existing single family homes and a farm property will be impacted by the development, with 48 single of the single family homes being directly impacted by an increase in traffic.
 - Concern was raised that the proposed development does not provide adequate access through the long, narrow panhandle for the number of units proposed and that the existing streets will become congested with vehicles parking in the street. In particular, it was raised that snow removal and garbage collection vehicles could have difficulties accessing the site due to their wide turning radius if vehicles were to be parked near the site entrance.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
 - A review of other townhouse projects in the area demonstrates that the proposed access is much longer and narrower than other comparable developments and that typically developments over 60 units have at least two access points.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
 - Concerns were raised that the increased traffic from proposed development could impact pedestrian safety at the intersection of 164 Street and 88 Avenue. Additionally, given the long distance from the site to Serpentine Heights Elementary School and North Surrey Secondary School, it is anticipated that most students will be driven to school, increasing peak am and pm traffic.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
 - The proposal includes the removal of a significant number of mature trees that will impact local habitat, including that of the federally protected Barn Owl.
 - *See staff comments in "Environmental and wildlife concerns" and "Tree retention" sections above.*

- The proposed development has not adequately responded to the Farming Protection Development Permit guidelines, in particular the minimum vegetated buffer and setback requirements.
 - *The proposal does not meet the minimum building setback to the ALR or minimum vegetated buffer guidelines for the Farming Protection Development Permit, however, the proposal was reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC) and they recommended support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR. The applicant increased the building setback along a portion of the boundary from 12.0 metres to 15.0 metres and increased the vegetated buffer from 8.0 metres to 8.5 metres for a portion of the interface and 11.5 metres for the remainder.*
- Concerns were raised regarding the impacts to neighbouring residents from construction, including the potential of damage to streets from additional construction traffic.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
- The subject development application was reviewed by the Fleetwood Community Association. The Fleetwood Community Association provided the following comments (*staff comments in italics*):
 - The Fleetwood Community Association concurs with the concerns raised by the Fleetwood Estate neighbours.
 - The overall density is too high for the site.
 - *See staff comments in the "OCP Amendment" section above.*
 - Concerns raised those plans, setbacks, and buffers are not being adhered to.
 - *See staff comments in the "Environmental and wildlife concerns" and "OCP Amendment" sections above.*
 - A lack of attention given to school and traffic impacts.
 - *The School District anticipates the proposed development will result in an additional 21 elementary students at Serpentine Heights Elementary School and an additional 15 secondary students at North Surrey Secondary School.*
 - *Serpentine Heights Elementary School still has enrollment space available and will accommodate any enrollment growth within its existing capacity and portables until a new school is constructed in the community.*
 - *North Surrey Secondary is operating over its current capacity. As part of the School District's 2022/23 Five Year Capital Plan submission, there is a request for a 325 student capacity addition targeted to open in September 2025, however, this project has not yet been approved by the Ministry.*
 - *See also staff comments in the "Access, traffic, construction and safety concerns" section above.*
 - The proposed one access for 117 units is insufficient and unsafe.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
 - Panhandle access is not generally accepted for single family dwellings in Surrey, so should not be accepted for a townhouse development.

- See staff comments in "Access, traffic, construction and safety concerns" section above.

Public Information Meeting

- The applicant held public information meetings (PIMs) for the proposed townhouse development. Notifications for the PIM were mailed on November 23, 2021.
- The virtual PIMs were held via a Zoom Webinar platform on:
 - December 7th from 1:00pm – 2:00 pm
 - December 7th from 6:00pm – 7:00 pm
- A project website was created that included project information and presentation boards. This website was launched on November 30, 2021, and remained active until December 21, 2021, to allow residents the opportunity to provide comments after the presentation.
- Approximately 36 people attended the virtual meeting at 1:00pm and approximately 26 at 6:00pm for an estimated total of 62, excluding panel members.
- Each webinar PIM included an applicant team panel with City staff in attendance.
- 64 questions and comments were received during the 1st PIM session, and 155 questions and comments received during the 2nd PIM session. In addition, 47 emails were received via the website.

SUMMARY OF CONCERNS

Topic	Summary of Comments	Number of comments
Traffic	Increased Traffic Access flow & Congestion Safety Parking	18 13 7 1
Site Access	Narrow strata drive aisle access between existing single-family houses	10
Density	Number of units being too high for the area	9
Environmental	Owl quality of life/ nesting Impacts on environment Close proximity to the ALR Would like access to Godwin Preserve	10 9 2 2
Trees	Tree retention Helps filter the smell from mushroom farm	9 1
Schools	Over capacity	4

Topic	Summary of Comments	Number of comments
Construction	Noise	2
	Damage to existing roads / infrastructure	4
	Disruption to neighbourhood life	1
Neighbouring Property Value	Concern over property values being negatively affected	3

SUMMARY OF SUPPORT

Topic	Summary of Comments	# of comments
Design	Smaller affordable houses	6
	Diversity in housing type / size	6
	Elimination of illegal activity on the site if developed	2

Concerns and comments received at the Public Information Meeting were the same as those received as part of the City's pre-notification process.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse and Class B (yellow-coded) ditch which flow northeast. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 30 metres, as measured from the top of bank and a Class B (yellow-coded) ditch requires a 7 metre. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area for the Class A (red-coded) watercourse is proposed to be conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, while the riparian area for the Class B (yellow-coded) ditch to the east of the subject site will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Ian Whyte R.P. Bio., of Envirowest Consultants Inc. and dated November 8, 2021, was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required.

- A peer review of the Ecosystem Development Plan will be required prior to it being finalized. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site is within 30 metres from the top of a slope. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The site slopes down towards the northeast and is adjacent to a Class A (red-coded) watercourse within a ravine with steeper slopes to the west and north of the subject site.
- A geotechnical report, prepared by Harman Dhillon, *P. Eng.*, of Braun Geotechnical Ltd. and dated June 8, 2021, was reviewed by staff and found to address Development Permit requirements outlined in the OCP, with some modifications to the content and format of the report still required.
- A peer review of the geotechnical report will be required prior to it being finalized. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including a geotechnical setback of 6.0 metres from top of bank.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundary. The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for multiple family uses are outlined below (*with staff comments in italics*):
 - The minimum building setback for the ALR boundary is 30 metres.

The applicant is proposing a 12.0 to 15.0 metre building setback to the ALR boundary along the eastern portion of the site. This is an increase from the proposed minimum setback of 12.0 metres that was previously proposed and reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC).

- Provide a minimum of 3.5 metres of rear yard space between multiple family dwellings and landscaped buffers.

The proposed rear yards provide 3.5 metres of space between the dwelling units and the landscaped buffer.

- The minimum vegetated buffer width is 24 metres.

The vegetated buffer of variable width between 8.5 metres and 11.5 metres is proposed along the eastern edge of the site. This is an increase from the 8.0 metre buffer that was previously proposed and reviewed by AEIAC.

- Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2.0 metres to 4.0 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.

A mix of deciduous and coniferous trees have been proposed within the vegetated buffer, along with a variety of shrubs. Additional off-site hedges located within the ALR properties to the east are proposed to be retained.

- For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour, and dust.

A Section 219 Restrictive Covenant will be registered on Title advising future homeowners of the potential farm operations of the adjacent agricultural lands.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the OCP.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The site slopes down towards the northeast withing the developable portion of the site.
- All the units are three-storeys, however, given the grade changes, the units will sit lower than the adjacent single family houses to the southwest.
- The applicant has worked with staff to improve the interface with the single family houses to the southwest, by increasing the building setback and providing a 5.0 metre landscape buffer and retaining existing trees where possible.

- No signage details have been provided yet by the applicant, however, as previously noted, the proposed 9.0 metre wide driveway provides insufficient width for project signage, and as such the applicant will need to consider options to improve wayfinding.

Landscaping

- The proposed landscaping concept for the site is comprised of a primary outdoor amenity area in the northeast portion of the site and two smaller community garden amenity areas in the northwest portion and southern leg of the site.
- In addition to the amenity areas, the landscaping concept also includes a vegetated buffer of variable width (12 to 15 metres) adjacent to the ALR lands along the eastern edge of the site.
- Additional landscaping will be provided within private patios areas, consisting of hydra pressed slab decks, sod, shrubs, trees, and fencing.
- The landscape plan shows a total of 160 trees to be planted throughout the townhouse site, including coniferous and deciduous trees.
- A variety of shrubs, flowering plants, and groundcovers will complete the landscape planting throughout the site.

Indoor Amenity

- The required indoor amenity space is 351 square metres, while the applicant is proposing to provide 204 square metres of indoor amenity on site, requiring a cash-in-lieu contribution for the shortfall in accordance with City policy.
- The indoor amenity is proposed to be a 2-storey, standalone building adjacent to the outdoor amenity area between proposed buildings 25 and 28.
- The amenity building is proposed to consist of a party room on the main floor and a gym on the upper floor.

Outdoor Amenity

- The required outdoor amenity space is 351 square metres. The applicant is proposing to provide 729 square metres of outdoor amenity space, exceeding the minimum requirement.
- The outdoor amenity area is in the northeast portion of the site and is proposed to be comprised of a children's play area, a fire pit with seating, and an outdoor kitchen.
- An additional small amenity area is proposed in the northwest portion of the site, consisting of community garden plots and a gazebo. Similarly, within the southern leg of the site, a small amenity area with additional community garden plots is proposed.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues as follows:
 - Further design development to improve the interface with adjacent properties;
 - Improve the design of the public pathway through the subject site;
 - Provide additional information to identify proposed building character and materials; and
 - Coordination and clarification among drawings to ensure a well-resolved development.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	3	3	0
Red Maple	1	1	0
Coniferous Trees			
Giant Redwood	158	146	12
Western Hemlock	5	5	0
Western Red Cedar	138	70	68
Total (excluding Alder and Cottonwood Trees)	305	225	80
Additional Trees in the proposed Riparian Area	62	0	62
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		160	
Total Retained and Replacement Trees		302	
Contribution to the Green City Program		\$116,000	

- The Arborist Assessment states that there are a total of 305 mature trees on the site, excluding Alder and Cottonwood trees. No existing trees are Alder and Cottonwood trees. It was determined that 80 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 62 protected trees that are located within the proposed riparian area. The trees within the proposed riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 450 replacement trees on the site. Since only 160 replacement trees can be accommodated on the site, the deficit of 290 replacement trees will require a cash-in-lieu payment of \$116,000, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Grand Fir, Bloodgood Japanese Maple, Crimson Sentry Norway Maple, Dawyck Purple European Beech, Princeton Sentry Maidenhair Tree, Worplesdon Sweet Gum, Ruby Vase Persian Parrotia, White Spruce, Vanderwolf's Pyramid Limber Pine, Arnold Sentinel Austrian Pine, Douglas Fir, Pin Oak, Japanese Stewartia, Western Red Cedar, and Littleleaf Linden.
- In summary, a total of 222 trees are proposed to be retained or replaced on the site with a contribution of \$116,000 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Agriculture, Environment, and Investment Advisory Committee Minutes
Appendix VI.	OCP Redesignation Map
Appendix VII.	Aerial Photo
Appendix VIII.	Initial Planning Report No. 7917-0301-00, dated March 7, 2022

approved by Ron Gill

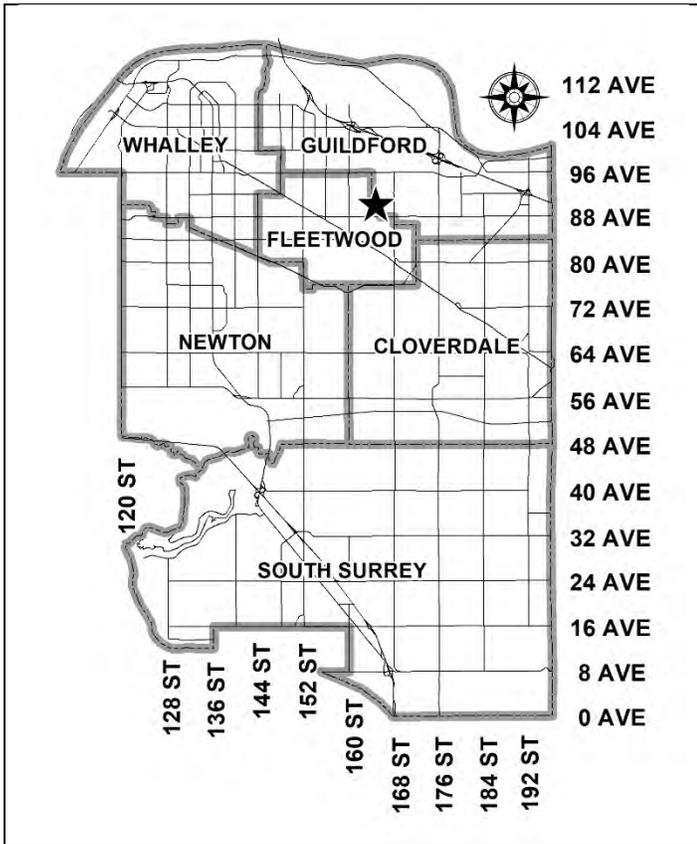
Jeff Arason
Acting General Manager
Planning and Development

CB/cm

City of Surrey
ADDITIONAL PLANNING COMMENTS REPORT

Application No.: 7917-0301-00

Planning Report Date: March 28, 2022



PROPOSAL:

- **OCP Amendment** for a portion of the site from Suburban to Urban
- **Rezoning** a portion of the site from A-1 and RH-G to CD
- **Development Permit** for Form and Character, Sensitive Ecosystems, Hazard Lands (Steep Slopes) and Farm Protection

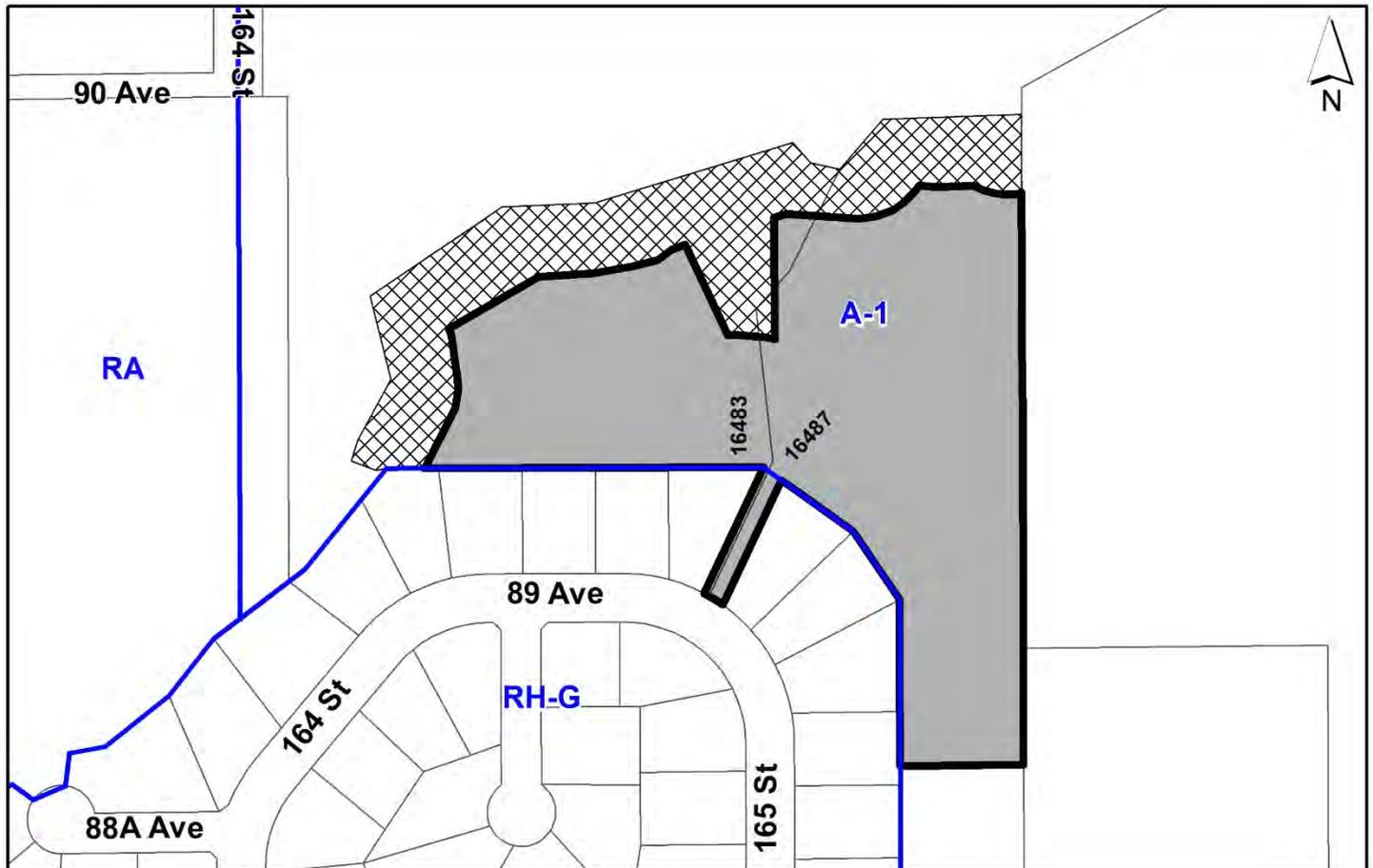
to permit the development of 117 townhouse units and the conveyance of the riparian protection area to the City.

LOCATION: 16483 – 89 Avenue
 16487 – 89 Avenue

ZONING: A-1 & RH-G

OCP DESIGNATION: Suburban & Agricultural

TCP DESIGNATION: Fleetwood Plan Extension Area



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, Hazard Lands, and Farm Protection.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Suburban to Urban for a portion of the site.

RATIONALE OF RECOMMENDATION

- The proposal does not comply with the Suburban and Agricultural designation in the Official Community Plan (OCP). An OCP amendment from 'Suburban' to 'Urban' is required in order to allow for the proposed net density of 42 uph for the townhouse proposal.
- The subject site was included in the Stage 1 Fleetwood Plan, approved by Council on March 7, 2022. The site is located with the Extension Area with land uses to be determined in advance of Stage 2.
- The site is proposed to be designated 'Townhouse' as part of the subject application, which allows for ground-oriented townhouse buildings (row or stacked) and related amenity spaces.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of providing a range of housing options near a transit corridor. The subject site is located approximately 1.7 kilometers from the future Skytrain Station at Fraser Highway and 160th Street.
- The proposed land use and density has merit as it is consistent with OCP principles and commitments as part of the Surrey Langley SkyTrain (SLS) Supportive Policies Agreement (SPA) to:
 - Support the concentration of homes, jobs, and key activities within close proximity of SLS SkyTrain Stations at a level appropriate to support the transit investment; and
 - The provision of diverse land uses and housing for a range of types, residential tenures, and household incomes.

- The proposed townhouse development has protected riparian areas to the north and east, existing mature trees along the south property lines, and a landscape buffer between the Agricultural Land Reserve (ALR) to the east, creating an unique opportunity for townhouse living in an enclave type setting.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems Streamside Areas, Hazard Lands Steep Slopes, and Form and Character.
- The proposal does not fully comply with the Development Permit requirements in the OCP for Farming Protection, however, the proposal was reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC) and they recommended support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR.
- The proposed buildings have been designed to reflect a three-storey form that will be the same height, or lower, than the existing single-family homes to the south. There is also a 10 metres setback between the proposed townhouses and the existing homes.
- Approximately 1.09 acres of environmentally sensitive area is proposed to be conveyed to the City for riparian protection purposes.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines, although the proposed townhouses will be minimally visible from 89 Avenue.
- On March 7, 2022, staff forwarded a report to Council on the proposed development with a recommendation of denial, given that the site has access constraints due to only being accessible through a 9-metre wide, 56-metre long panhandle, between two existing suburban residential lots.
- Staff suggested that the application could be revisited should additional land (minimum one lot) be acquired to provide more conventional access to the site.
- Council referred the application back to staff to process the application as proposed.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) from "General Agriculture Zone (A-1)" and "Half-Acre Residential Gross Density Zone (RH-G)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No.7917-0301-00 generally in accordance with the attached drawings (Appendix I), the finalized Geotechnical Report, and finalized Ecosystem Development Plan.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a design for the pedestrian path from the southern portion of the Godwin Farm Biodiversity Preserve to 89 Avenue through the subject property to the satisfaction of the General Manager Parks, Recreation and Culture along with registration of a right-of-way for public rights-of-passage;
 - (h) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
 - (i) conveyance of proposed Lot B, the riparian protection area, at no cost, to the City;

- (j) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area along the eastern edge of the site for both “No Build” and conveyance access;
 - (k) submission of a finalized Geotechnical Report to the satisfaction of City staff along with registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions of the Geotechnical Report;
 - (l) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, as applicable, to the satisfaction of the General Manager, Planning and Development Department;
 - (m) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
 - (n) registration of a Section 219 Restrictive Covenant for installation and maintenance of the ALR landscape buffer; and
 - (o) registration of a Section 219 Restrictive Covenant advising future homeowners of the potential farm operations of the adjacent agricultural lands.
6. Council pass a resolution to designate a portion of the subject site shown as Block A on the attached Survey Plan (Appendix I) as “Townhouse” in the Fleetwood Plan if this application proceeds for final adoption prior to Stage 2 of the Fleetwood Plan.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP	Existing Zone
Subject Site	Undeveloped residential land with environmentally sensitive area.	Suburban and Agricultural	A-1/RH-G
North:	Godwin Farm Biodiversity Preserve	Agricultural	A-1
East:	Vacant and developed agricultural land	Agricultural	A-1
South:	Single-family homes on suburban lots	Suburban	RH-G/A-1
West:	Godwin Farm Biodiversity Preserve	Agricultural	A-1

Context & Background

- The subject site includes two properties, 16483 and 16487 – 89 Avenue, located in Fleetwood. They are large suburban properties located north of 89 Avenue and adjacent to the Godwin Farm Biodiversity Preserve, immediately to the north.

- The site is designated ‘Suburban’ and ‘Agricultural’ in the Official Community Plan (OCP). The site, and adjacent suburban lots to the south and west, were added to the Fleetwood Plan as an extension area as part of the Stage 1 Fleetwood Plan to be further assessed through the Stage 2 planning process. The subject application proposes a ‘Townhouse’ designation for the developable portion of the subject site.
- The Agricultural Land Reserve (ALR) is located immediately east and north of the site.
- The subject site has a gross site area of 3.96 hectares.
- There is a Class A watercourse located north and west of the subject site, and within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- On March 7, 2022, staff forwarded a report to Council on the proposed development with a recommendation of denial, given that the site has access constraints due to only being accessible through a 9-metre wide, 56-metre long panhandle, between two existing suburban residential lots.
- Staff suggested that the application could be revisited should additional land (minimum one lot) be acquired to provide more conventional access to the site.
- Council referred the application back to staff to process the application as proposed.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing an OCP Amendment to redesignate a portion of the site from Suburban to Urban and to rezone that portion of the site from A-1 and RH-G to CD (based on RM-15) to accommodate a 117-unit townhouse project.
- Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes. The remaining development site for the proposed townhouse development is 2.9 hectares in net area.
- Development Permits for Form and Character, Sensitive Ecosystems (Streamside Protection), Hazard Lands (Steep Slopes) and Farm Protection are required.
- A total of 117 townhouse units are proposed on the site. Development details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	4.0 hectares
Road Dedication:	N/A
Undevelopable Area:	1.1 hectares
Net Site Area:	2.9 hectares

	Proposed
Number of Lots:	2
Building Height:	11.0 metres / 3-storeys
Unit Density:	42 units per hectare
Residential Units:	
3-Bedroom:	117
Total:	117

- The proposed townhouse development has land use merit as a cluster form of housing that will provide greater housing options in the neighbourhood, while still protecting existing environmental features and incorporating buffering from adjacent agricultural land.
- The proposed vehicular access to the site is from 89 Avenue, via the panhandle portion of the site. The panhandle is situated between two existing single-family homes, with shared trees and hedges planted on both sides of the panhandle and is approximately 9.0 metres in width.
- The 9.0-metre access width to the proposed townhouse development satisfies BC Building Code and Emergency Access requirements.
- The 9.0 metre panhandle access will include a minimum asphalt pavement width of 6.0 metres. The remaining 3.0 metres would allow for a 1.5 metre sidewalk and 0.75 metres of landscaping on both sides of the access.

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:

The School District has advised that there will be approximately 47 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.

21 Elementary students at Serpentine Heights Elementary School
15 Secondary students at North Surrey Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2024.

Parks, Recreation & Culture:

A public pathway from 89 Avenue to Godwin Farm Biodiversity Preserve is required in accordance with the Godwin Farm Biodiversity Preserve Management Plan, secured as either dedication or through a right-of-way for public access. Details of the path (which should be designed to ensure the path looks and feels like public space) and accompanying signage are to be provided on the landscape drawing set to be reviewed by Parks.

The applicant's QEP is required to submit their stream classification letter to the Province to confirm provincial setbacks.

Parks will accept the voluntary conveyance of the streamside protection area for E Creek as a lot, without compensation, for conservation purposes. Parks would prefer that the streamside protection area for the unnamed Class B ditch on the neighbouring property to the east be conveyed to Parks.

Arborist Report to be updated to capture the trees around the detention depression. No trees or vegetation are to be removed from future or existing parkland without preapproval by Parks.

The drive aisle directly adjacent to parkland is required to be separated and screened with fencing and landscape planting. Fencing adjacent to parkland is to be permeable, no higher than 1.2 metres and offset a minimum of 0.1 metres on the private side of the property line. Onsite planting adjacent to parkland are to be native species to support the riparian area.

Surrey Fire Department:

Addressing is to reflect the primary response point. A site plan is to be installed at the primary entrance to the property and shall be large enough to be legible from a vehicle, constructed to withstand the elements, and be illuminated at night.

Agriculture, Environment, and Investment Advisory Committee (AEIAC):

Recommend support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR.

Transportation Considerations

Transit

- There is an existing bus route in proximity to the subject development, route 388 (22nd Street Station / Carvolth Exchange) with stops at the intersection of 88 Avenue and 164 Street (less than 400 m away).
- TransLink's Transport 2050 Plan identifies this segment of 88 Avenue as a future part of the Major Transit Network and Reliable and Fast Transit Network, with consideration for Rapid Transit.
- The nearest station along the new Surrey-Langley SkyTrain line will be approximately 1,700 metres from the subject site at Fraser Highway and 160 Street.

Traffic Impacts

- This proposal did not meet the Surrey Design Criteria Manual Threshold for requiring a Traffic Impact Analysis (TIA) threshold of generating 100 trips during the peak hour.
- Based off the Institute of Transportation Engineers (ITE) Trip Generation Manual Townhouse land use designation, approximately 56 vehicle trips are expected to be generated in the Weekday AM Peak Hour and 66 vehicle trips in the Weekday PM Peak Hour, which translates to roughly one vehicle trip every minute. Given the magnitude of trips relative to the existing volumes, there are no off-site improvements required to mitigate the expected traffic impacts.

Road Network and Infrastructure

- The subject site is located on the north side of 89 Avenue and is accessible by a panhandle driveway approximately 9.0 m in width and 56.0 metres in length. No dedication requirements or further road upgrades are required for 89 Avenue.
- To address the additional traffic volume on the road network accessing the subject site, and to facilitate safe pedestrian crossing to access the bus stops on 88 Avenue, a full movement traffic signal at the intersection of 88 Avenue and 164 Street will be required to be constructed through this development.

Access

- One shared full movement vehicle and pedestrian access is proposed for the site along the existing panhandle driveway off 89 Avenue, which is proposed to consist of 6.0 metres of pavement, a 1.5 metre sidewalk, and a 0.75 metre landscape strip on either side.

Parking

- The proposed 117 townhouse units require a minimum of 234 residential and 23 visitor parking spaces, as per the Zoning Bylaw (257 spaces total). The applicant is exceeding the Zoning Bylaw requirements by providing 29 visitor spaces (263 spaces total).
- On-street parking is currently permitted on both sides of 89 Avenue in proximity to the subject site.

Parkland and Natural Area Considerations

- Development Permits for Sensitive Ecosystems (Streamside Protection) and Hazard Lands (Steep Slopes) are required.
- There is a Class A watercourse located adjacent to the north and west property lines of the site, within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- The required streamside setbacks, as outlined in Part 7A of the Zoning Bylaw, are provided within the proposed development. No variances are requested.

- The site has a gross site area of 3.96 hectares with approximately 1.1 hectare of environmentally sensitive area proposed to be conveyed, at no cost, to the City, for riparian protection and Parks purposes.
- Currently, the only access to Godwin Farm Biodiversity Preserve's trail network is from the parking lot along 164 Street. The management plan for the Godwin Farm envisions a future access via pedestrian path from the southern portion of the preserve to 89 Avenue through the subject property. This pedestrian path will provide an important connection to the preserve for existing and future residents in the Fleetwood Town Centre Plan.
- The pedestrian path is to be designed to look as public as possible and provide a direct access route across the site to connect with the parkland to the north. The path should include landscaping along both sides and raised crosswalks are to be considered for crossing of drive aisles.
- Registration of a right-of-way for public rights-of-passage will be required over the pedestrian path.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Pervious materials will be used for landscaping, sidewalks, etc. to minimize runoff and planting beds and soft landscaping have been provided to reduce the overall use of paved areas.
 - High efficiency, low water consumption kitchen and bathroom faucets and toilets are proposed to reduce daily water consumption and will also reduce pressure on the sanitary system.
 - Energy Efficient - LED lighting is proposed to be used for the site lighting, as well as Energy Efficient bulbs for all fixtures in common areas and within units.
 - Use of Low-VOC (Volatile Organic Compound) products such as paints, carpeting and adhesives are considered to achieve an improved air quality.
 - Energy modelling will be done prior to Building Permit application and will form part of the design specifications.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed townhouse development complies with the 'General Urban' designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is designated 'Suburban' and 'Agricultural' in the OCP. The 'Suburban' designation allows for densities up to 4 units per acre.
- An OCP amendment from 'Suburban' to 'Urban' is proposed for a portion of the site in order to allow for the proposed net density of 42 units per hectare. The 'Urban' designation allows for densities of up to 72 units per hectare in Secondary Plan Areas.
- There is a small portion of the land designated 'Agricultural' at the northern edge of the site that will be part of the proposed dedicated open space and is not proposed to be amended.

Amendment Rationale

- The subject site is located within the Extension Area of the Stage 1 Fleetwood Plan, which was approved by Council on March 7, 2022. The subject application will inform the land use designation and density for the subject site within the Fleetwood Plan in advance of Stage 2.
- The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of providing a range of housing options near a transit corridor. The subject site is located approximately 1.7 kilometers from the future Skytrain Station at Fraser Highway and 160th Street.
- The proposed land use and density has merit as it is consistent with OCP principles and commitments as part of the Surrey Langley SkyTrain (SLS) Supportive Policies Agreement (SPA) to:
 - Support the concentration of homes, jobs, and key activities within close proximity of SLS SkyTrain Stations at a level appropriate to support the transit investment; and
 - The provision of diverse land uses and housing for a range of types, residential tenures, and household incomes.
- The proposed townhouse development has protected riparian areas to the north and west, existing mature trees along the south property lines, and a landscape buffer between the Agricultural Land Reserve (ALR) to the east, creating an unique opportunity for townhouse living in an enclave type setting.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems Streamside Areas, Hazard Lands Steep Slopes, and Form and Character.
- Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes.

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes/Policies:
 - A2.1 – Directing higher density development to Town Centres and Frequent Transit Corridors
 - the subject site is located within the Fleetwood Plan Extension Area.
 - The proposed development is in close proximity to the Surrey-Langley Skytrain Corridor Planning Area and conforms to the goal of achieving higher density, and greater housing options near a transit corridor.
 - A1.5a – Support Frequent Transit Corridors as priority development areas to accommodate an increased proportion of density and growth.

Secondary Plans

Land Use Designation

- The subject site was included in the Stage 1 Fleetwood Plan, approved by Council on March 7, 2022. The site is located with the Extension Area with land uses to be determined in advance of Stage 2.
- The site is proposed to be designated ‘Townhouse’ as part of the subject application, which allows for ground-oriented townhouse buildings (row or stacked) and related amenity spaces.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed townhouse development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 15 Zone (RM-15)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-15 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-15 Zone (Part 21)	Proposed CD Zone
Unit Density:	37 units per hectare	42 units per hectare
Floor Area Ratio:	0.70	0.70
Lot Coverage:	45%	30%
Yards and Setbacks	7.5 m from all lot lines	North: 4.5 m East: 11.4 m South: 4.2 m Southwest: 9.4 m West: 4.5 m
Principal Building Height:	11.0 metres	11.0 metres
Permitted Uses:	<ul style="list-style-type: none"> • Ground-oriented multiple unit residential buildings. • Child care centres, provided they do not constitute a singular use of the lot. 	<ul style="list-style-type: none"> • Ground-oriented multiple unit residential buildings.
Amenity Space		
Indoor Amenity:	351 square metres	The proposed 204 square metres [+ CIL of \$122,500 at 2022 rates] meets the Zoning By-law requirement.
Outdoor Amenity:	351 square metres	729 square metres
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class A (red-coded) Stream:	30.0 metres	30.0 metres
Class B (yellow-coded) Ditch:	7.0 metres	7.0 metres
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	234	234
Residential Visitor:	23	29
Total:	257	263
Tandem (%):	50%	0%

- The CD Bylaw proposes an increased unit density above that specified in the RM-15 Zone from 37 uph to 42 uph, however, the floor area ratio (FAR) of 0.70 complies with the maximum of 0.70 permitted under the RM-15 Zone.
- The proposed unit density has merit as it allows for additional units, while still accommodating all double, side-by-side garages (no tandems), with sufficient indoor and outdoor amenity space and setback areas.
- Child care centres has been removed as a permitted use due to the additional traffic that such a use typically generates and given the constrained access to the site.
- The building setbacks are proposed to be reduced along the north property line from 7.5 metres to 4.5 metres, adjacent to the riparian protection area.

- The west building setback adjacent to Buildings 1 and 8 is proposed to be reduced from 7.5 metres to 4.5 metres, adjacent to the riparian protection area.
- The south building setback adjacent to Buildings 21 and 22 is proposed to be reduced from 7.5 metres to 4.2 metres.
- The proposed setback reductions are only proposed along interfaces that do not abut single family dwellings. The setbacks abutting single family dwellings have been increased to 10.0 metres at the ground floor level and 9.4 metres for the upper floors, to provide for additional buffering and privacy. Adjacent to the ALR, the setbacks are between 11.4 metres and 14.4 metres.
- The proposal meets the Zoning Bylaw requirements in terms of height, indoor and outdoor amenity space, streamside setbacks, and parking.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance.
- Tier 2 Capital Plan Project CACs as applicable will be payable at the rate applicable at the time of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 9, 2018, the contribution does not apply.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 24, 2021, and the Development Proposal Signs were installed on November 26, 2021. Staff received 26 responses from neighbouring residents. Four (4) of the comments were in support of the proposed development and 22 expressed concerns or opposition (*staff comments in italics*):
- **Access, traffic, construction, and safety concerns** - concerns were expressed regarding the increase in traffic resulting from the proposed 117 townhouses compared with the number of single family homes that could be built under the existing 'Suburban' designation in the OCP.
 - *This proposal did not meet the Surrey Design Criteria Manual Threshold for requiring a Traffic Impact Analysis (TIA) threshold of generating 100 trips during the peak hour.*
 - *The Institute of Traffic Engineers (ITE) Trip Generation Manual Townhouse land use designation indicates that the site is anticipated to generate approximately 56 Weekday AM Peak Hour vehicle trips and 66 Weekday PM Peak Hour vehicle trips, which translates to roughly one vehicle trip every minute.*
 - *A future SkyTrain station is proposed for the intersection of 160 Avenue and Fraser Highway, approximately 1.7 km walking distance from the subject site.*
 - *The applicant has agreed to install a signal at the intersection of 188 Street and 64 Avenue. Staff expect this signal to help address some of the comments related to traffic in and around the immediate neighbourhood.*
- Concerns were expressed regarding the access to the site from 89 Avenue because of the narrow pan-handle configuration of the access between two (2) existing single-family homes.
 - *A Planning report with information on the proposed driveway access was presented to Council at the March 7, 2022, Regular Council – Land Use meeting. The driveway meets minimum specifications under the BC Building Code and Emergency Access requirements but is in an unconventional panhandle configuration. Council referred the application back to staff to continue to process the application as proposed.*
- Concerns were expressed regarding the impact of construction and service vehicles in the neighbourhood and narrow access.
 - *The driveway meets minimum specifications under the BC Building Code and Emergency Access requirements.*
- Concerns were expressed regarding pedestrian safety.
 - *The applicant is required to construct a full movement traffic signal at the intersection of 88 Avenue and 164 Street.*
- **Environmental and wildlife concerns** - concerns were expressed regarding the potential damage to the natural environment, the Godwin Farm Biodiversity preserve and riparian area on the site.
 - *The proposed streamside setbacks, for the protection of riparian areas are in compliance with Part 7A of the Zoning Bylaw and will comply with all provincial and federal regulations. The riparian area, within proposed Lot B, is being conveyed to the City for conservation and parks purposes. The riparian protection area along the eastern portion of the site will be protected on-site with the registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area for both "No Build" and access.*

- **OCP Amendment** – opposition was expressed regarding the proposed amendment to the OCP and residents expressed desire for the site to remain suburban and to develop in accordance with the OCP.
 - *The proposed townhouse development has merit and development on this site is anticipated in the Stage 1 Fleetwood Plan Land Use Concept, supported by Council on March 7, 2022. The subject site is situated within the extension area of the Fleetwood Plan. The proposed designation, as part of this development application is ‘Townhouses’. OCP designations are intended to be updated as part of the Fleetwood Plan process to reflect the suggested land uses and densities contemplated in the Secondary Plan.*
- **Tree retention** – comments were received regarding the desire to retain the many mature trees on the site.
 - *There are 62 trees within the riparian protection area, to be conveyed to the City, proposed for retention. There are 305 on-site trees, 80 of which are proposed for retention. The on-site trees proposed for removal would be impacted by the proposed development. The development is proposing to retain the majority of the mature trees along the south property lines, that interface with the existing single-family homes.*
- **Existing servicing issues** – comments were received about the condition of existing servicing, and in particular water lines, in the neighbourhood in need of repair and future concerns.
 - *Staff have reviewed the Engineering service requests and confirmed that the applicant will not be required to remediate the water line issues, since this is a system maintenance issue, having no direct impact to the proposed development. Water Planning will complete further investigation to better understand the issue and perform any necessary work as required.*
- A response to the development proposal was received from the property owners of Fleetwood Estates, which comprises the single family dwellings in the half-acre gross density subdivision directly to the southwest of the subject property. Their comments can be summarized as follows (*staff comments in italics*):
 - Fifty (50) existing single family homes and a farm property will be impacted by the development, with 48 single of the single family homes being directly impacted by an increase in traffic.
 - Concern was raised that the proposed development does not provide adequate access through the long, narrow panhandle for the number of units proposed and that the existing streets will become congested with vehicles parking in the street. In particular, it was raised that snow removal and garbage collection vehicles could have difficulties accessing the site due to their wide turning radius if vehicles were to be parked near the site entrance.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
 - A review of other townhouse projects in the area demonstrates that the proposed access is much longer and narrower than other comparable developments and that typically developments over 60 units have at least two access points.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*

- Concerns were raised that the increased traffic from proposed development could impact pedestrian safety at the intersection of 164 Street and 88 Avenue. Additionally, given the long distance from the site to Serpentine Heights Elementary School and North Surrey Secondary School, it is anticipated that most students will be driven to school, increasing peak am and pm traffic.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
- The proposal includes the removal of a significant number of mature trees that will impact local habitat, including that of the federally protected Barn Owl.
 - *See staff comments in "Environmental and wildlife concerns" and "Tree retention" sections above.*
- The proposed development has not adequately responded to the Farming Protection Development Permit guidelines, in particular the minimum vegetated buffer and setback requirements.
 - *The proposal does not meet the minimum building setback to the ALR or minimum vegetated buffer guidelines for the Farming Protection Development Permit, however, the proposal was reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC) and they recommended support of the proposal, subject to addressing the mitigation of the eastern buffer with the ALR. The applicant increased the building setback along a portion of the boundary from 12.0 metres to 15.0 metres and increased the vegetated buffer from 8.0 metres to 8.5 metres for a portion of the interface and 11.5 metres for the remainder.*
- Concerns were raised regarding the impacts to neighbouring residents from construction, including the potential of damage to streets from additional construction traffic.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
- The subject development application was reviewed by the Fleetwood Community Association. The Fleetwood Community Association provided the following comments (*staff comments in italics*):
 - The Fleetwood Community Association concurs with the concerns raised by the Fleetwood Estate neighbours.
 - The overall density is too high for the site.
 - *See staff comments in the "OCP Amendment" section above.*
 - Concerns raised those plans, setbacks, and buffers are not being adhered to.
 - *See staff comments in the "Environmental and wildlife concerns" and "OCP Amendment" sections above.*
 - A lack of attention given to school and traffic impacts.
 - *The School District anticipates the proposed development will result in an additional 21 elementary students at Serpentine Heights Elementary School and an additional 15 secondary students at North Surrey Secondary School.*
 - *Serpentine Heights Elementary School still has enrollment space available and will accommodate any enrollment growth within its existing capacity and portables until a new school is constructed in the community.*

- *North Surrey Secondary is operating over its current capacity. As part of the School District's 2022/23 Five Year Capital Plan submission, there is a request for a 325 student capacity addition targeted to open in September 2025, however, this project has not yet been approved by the Ministry.*
- *See also staff comments in the "Access, traffic, construction and safety concerns" section above.*
- The proposed one access for 117 units is insufficient and unsafe.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*
- Panhandle access is not generally accepted for single family dwellings in Surrey, so should not be accepted for a townhouse development.
 - *See staff comments in "Access, traffic, construction and safety concerns" section above.*

Public Information Meeting

- The applicant held public information meetings (PIMs) for the proposed townhouse development. Notifications for the PIM were mailed on November 23, 2021.
- The virtual PIMs were held via a Zoom Webinar platform on:
 - December 7th from 1:00pm – 2:00 pm
 - December 7th from 6:00pm – 7:00 pm
- A project website was created that included project information and presentation boards. This website was launched on November 30, 2021, and remained active until December 21, 2021, to allow residents the opportunity to provide comments after the presentation.
- Approximately 36 people attended the virtual meeting at 1:00pm and approximately 26 at 6:00pm for an estimated total of 62, excluding panel members.
- Each webinar PIM included an applicant team panel with City staff in attendance.
- 64 questions and comments were received during the 1st PIM session, and 155 questions and comments received during the 2nd PIM session. In addition, 47 emails were received via the website.

SUMMARY OF CONCERNS

Topic	Summary of Comments	Number of comments
Traffic	Increased Traffic Access flow & Congestion Safety Parking	18 13 7 1
Site Access	Narrow strata drive aisle access between existing single-family houses	10
Density	Number of units being too high for the area	9

Topic	Summary of Comments	Number of comments
Environmental	Owl quality of life/ nesting	10
	Impacts on environment	9
	Close proximity to the ALR	2
	Would like access to Godwin Preserve	2
Trees	Tree retention	9
	Helps filter the smell from mushroom farm	1
Schools	Over capacity	4
Construction	Noise	2
	Damage to existing roads / infrastructure	4
	Disruption to neighbourhood life	1
Neighbouring Property Value	Concern over property values being negatively affected	3

SUMMARY OF SUPPORT

Topic	Summary of Comments	# of comments
Design	Smaller affordable houses	6
	Diversity in housing type / size	6
	Elimination of illegal activity on the site if developed	2

Concerns and comments received at the Public Information Meeting were the same as those received as part of the City's pre-notification process.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse and Class B (yellow-coded) ditch which flow northeast. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 30 metres, as measured from the top of bank and a Class B (yellow-coded) ditch requires a 7 metre. The proposed setbacks comply with the requirements outlined in the Zoning By-law.

- The riparian area for the Class A (red-coded) watercourse is proposed to be conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, while the riparian area for the Class B (yellow-coded) ditch to the east of the subject site will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Ian Whyte *R.P. Bio.*, of Envirowest Consultants Inc. and dated November 8, 2021, was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required.
- A peer review of the Ecosystem Development Plan will be required prior to it being finalized. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site is within 30 metres from the top of a slope. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The site slopes down towards the northeast and is adjacent to a Class A (red-coded) watercourse within a ravine with steeper slopes to the west and north of the subject site.
- A geotechnical report, prepared by Harman Dhillon, *P. Eng.*, of Braun Geotechnical Ltd. and dated June 8, 2021, was reviewed by staff and found to address Development Permit requirements outlined in the OCP, with some modifications to the content and format of the report still required.
- A peer review of the geotechnical report will be required prior to it being finalized. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including a geotechnical setback of 6.0 metres from top of bank.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundary. The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for multiple family uses are outlined below (*with staff comments in italics*):

- The minimum building setback for the ALR boundary is 30 metres.

The applicant is proposing a 12.0 to 15.0 metre building setback to the ALR boundary along the eastern portion of the site. This is an increase from the proposed minimum setback of 12.0 metres that was previously proposed and reviewed by the Agriculture, Environment, and Investment Advisory Committee (AEIAC).

- Provide a minimum of 3.5 metres of rear yard space between multiple family dwellings and landscaped buffers.

The proposed rear yards provide 3.5 metres of space between the dwelling units and the landscaped buffer.

- The minimum vegetated buffer width is 24 metres.

The vegetated buffer of variable width between 8.5 metres and 11.5 metres is proposed along the eastern edge of the site. This is an increase from the 8.0 metre buffer that was previously proposed and reviewed by AEIAC.

- Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2.0 metres to 4.0 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.

A mix of deciduous and coniferous trees have been proposed within the vegetated buffer, along with a variety of shrubs. Additional off-site hedges located within the ALR properties to the east are proposed to be retained.

- For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour, and dust.

A Section 219 Restrictive Covenant will be registered on Title advising future homeowners of the potential farm operations of the adjacent agricultural lands.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the OCP.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The site slopes down towards the northeast withing the developable portion of the site.
- All the units are three-storeys, however, given the grade changes, the units will sit lower than the adjacent single family houses to the southwest.
- The applicant has worked with staff to improve the interface with the single family houses to the southwest, by increasing the building setback and providing a 5.0 metre landscape buffer and retaining existing trees where possible.
- No signage details have been provided yet by the applicant, however, as previously noted, the proposed 9.0 metre wide driveway provides insufficient width for project signage, and as such the applicant will need to consider options to improve wayfinding.

Landscaping

- The proposed landscaping concept for the site is comprised of a primary outdoor amenity area in the northeast portion of the site and two smaller community garden amenity areas in the northwest portion and southern leg of the site.
- In addition to the amenity areas, the landscaping concept also includes a vegetated buffer of variable width (12 to 15 metres) adjacent to the ALR lands along the eastern edge of the site.
- Additional landscaping will be provided within private patios areas, consisting of hydra pressed slab decks, sod, shrubs, trees, and fencing.
- The landscape plan shows a total of 160 trees to be planted throughout the townhouse site, including coniferous and deciduous trees.
- A variety of shrubs, flowering plants, and groundcovers will complete the landscape planting throughout the site.

Indoor Amenity

- The required indoor amenity space is 351 square metres, while the applicant is proposing to provide 204 square metres of indoor amenity on site, requiring a cash-in-lieu contribution for the shortfall in accordance with City policy.
- The indoor amenity is proposed to be a 2-storey, standalone building adjacent to the outdoor amenity area between proposed buildings 25 and 28.
- The amenity building is proposed to consist of a party room on the main floor and a gym on the upper floor.

Outdoor Amenity

- The required outdoor amenity space is 351 square metres. The applicant is proposing to provide 729 square metres of outdoor amenity space, exceeding the minimum requirement.
- The outdoor amenity area is in the northeast portion of the site and is proposed to be comprised of a children's play area, a fire pit with seating, and an outdoor kitchen.
- An additional small amenity area is proposed in the northwest portion of the site, consisting of community garden plots and a gazebo. Similarly, within the southern leg of the site, a small amenity area with additional community garden plots is proposed.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues as follows:
 - Further design development to improve the interface with adjacent properties;
 - Improve the design of the public pathway through the subject site;
 - Provide additional information to identify proposed building character and materials; and
 - Coordination and clarification among drawings to ensure a well-resolved development.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	3	3	0
Red Maple	1	1	0
Coniferous Trees			
Giant Redwood	158	146	12
Western Hemlock	5	5	0
Western Red Cedar	138	70	68

Tree Species	Existing	Remove	Retain
Total (excluding Alder and Cottonwood Trees)	305	225	80
Additional Trees in the proposed Riparian Area	62	0	62
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		160	
Total Retained and Replacement Trees			
		302	
Contribution to the Green City Program			
		\$116,000	

- The Arborist Assessment states that there are a total of 305 mature trees on the site, excluding Alder and Cottonwood trees. No existing trees are Alder and Cottonwood trees. It was determined that 80 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 62 protected trees that are located within the proposed riparian area. The trees within the proposed riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 450 replacement trees on the site. Since only 160 replacement trees can be accommodated on the site, the deficit of 290 replacement trees will require a cash-in-lieu payment of \$116,000, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Grand Fir, Bloodgood Japanese Maple, Crimson Sentry Norway Maple, Dawyck Purple European Beech, Princeton Sentry Maidenhair Tree, Worplesdon Sweet Gum, Ruby Vase Persian Parrotia, White Spruce, Vanderwolf's Pyramid Limber Pine, Arnold Sentinel Austrian Pine, Douglas Fir, Pin Oak, Japanese Stewartia, Western Red Cedar, and Littleleaf Linden.
- In summary, a total of 222 trees are proposed to be retained or replaced on the site with a contribution of \$116,000 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Agriculture, Environment, and Investment Advisory Committee Minutes
- Appendix VI. OCP Redesignation Map
- Appendix VII. Aerial Photo
- Appendix VIII. Initial Planning Report No. 7917-0301-00, dated March 7, 2022

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

CB/cm

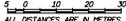
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW
No: _____ OF: LOTS 2 AND 3 PLAN LMP20848;
ALL OF SECTION 36 TOWNSHIP 2 NEW WESTMINSTER DISTRICT

DATED: MARCH-18-2022

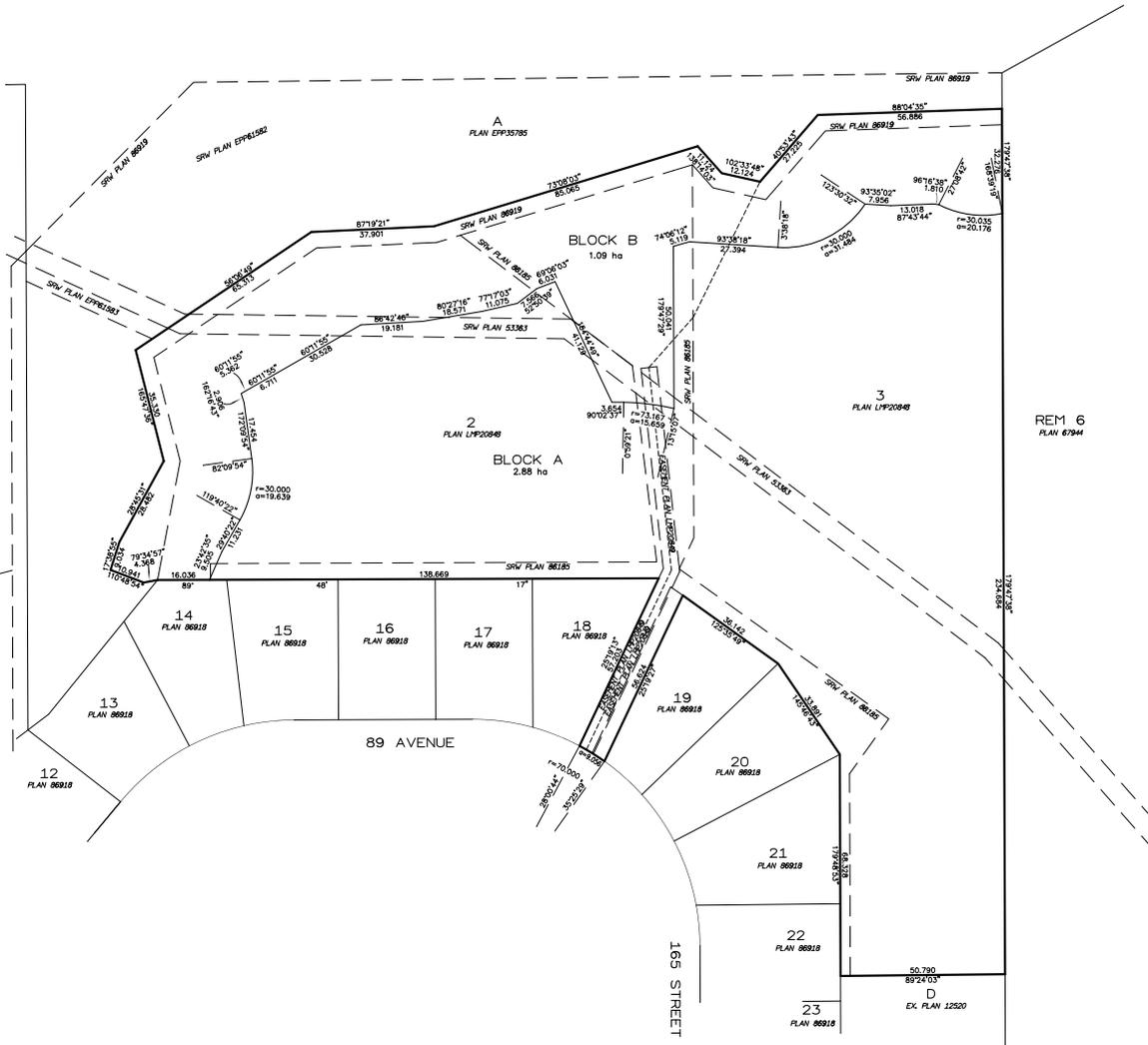
LEGEND
ha DENOTES HECTARES



SCALE 1 : 750



The intended plot size of this plan is 864mm in width and 560mm in height (A size) when plotted at a scale of 1:750.



Notes:
Property boundary dimensions shown hereon are derived from field survey.

CERTIFIED CORRECT
DATED THE 18TH DAY OF MARCH, 2022.

H. Adam Fullerton B.C.L.S.

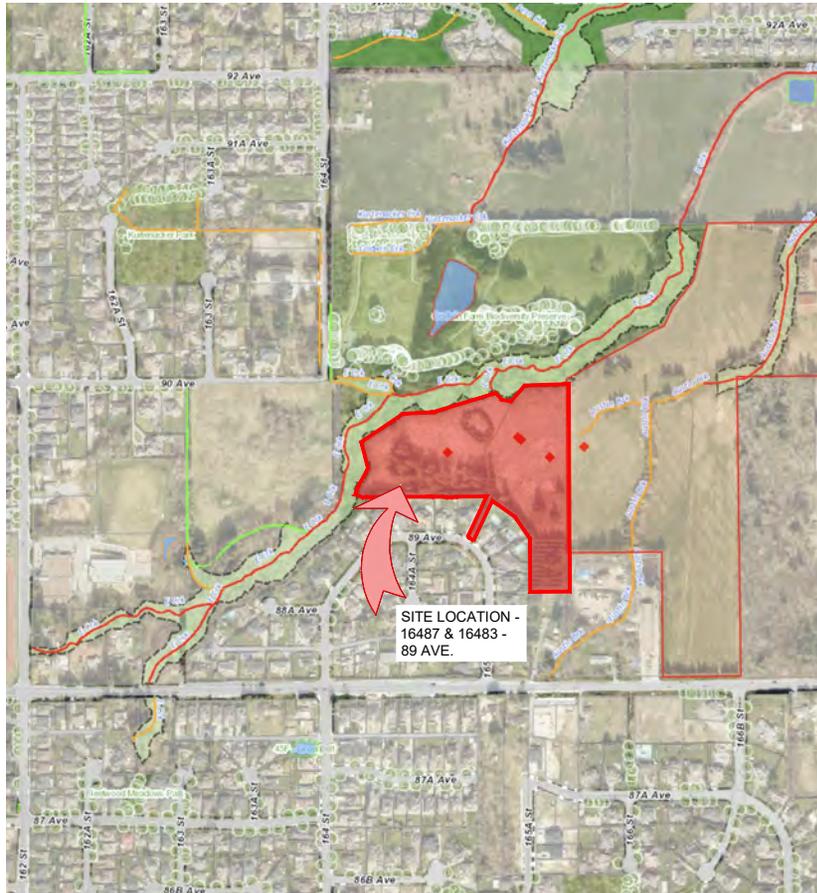


1120 - 20178 96th Ave
Langley, BC V1M 0R2
604-883-6161

FILE: 8179-BLOCK PLAN

PROPOSED 117 UNIT TOWNHOUSE DEVELOPMENT

16487 & 16483 - 89 AVENUE, SURREY, BC



2 SITE CONTEXT
100 SCALE: N.T.S.

PROJECT DATA			
C/V/C ADDRESS :	16487 & 16483 - 89 AVE., SURREY, BC		
LEGAL DESCRIPTION :	LOT 2 SECTION 36 TOWNSHIP 2 PLAN LMP20848 NWD PART SEL/4, LOT 3 SECTION 36 TOWNSHIP 2 PLAN LMP20848 NWD PART SEL/4.		
LOT INFO			
GROSS SITE AREA	9.78 Ac	3.96 Hc	426,387.0 SQFT
DEDICATIONS / GREENWAY	2.69 Ac	1.09 Hc	117,020.0 SQFT
NET AREA	7.10 Ac	2.87 Hc	309,367.0 SQFT
39,612.3 SQM			10,871.4 SQM
28,740.9 SQM			
ZONING			
EXISTING	A-1 / RH-G		
PROPOSED	CD BASED ON RM-15		
SETBACKS			
		PROPOSED	
NORTH SETBACK (FROM RIPARIAN AREA)		15.0 Ft	4.57 M
SOUTH SETBACK (FROM NEIGHBORING LOTS) - BLDGS 1-4		32.8 Ft	10.00 M
(FOR UPPER FLOORS) - BLDGS 1-4		30.8 Ft	9.40 M
(FROM NEIGHBORING LOT) - BLDG 21, 22		13.8 Ft	4.21 M
EAST SETBACKS (MAIN FLOOR FROM NEIGHBORING LOT)		49.2 Ft	15.00 M
(FOR UPPER FLOORS)		47.3 Ft	14.41 M
(FROM NEIGHBORING LOT) - BLDG 18-15		39.4 Ft	12.00 M
(FOR UPPER FLOORS) - BLDG 18-15		37.4 Ft	11.40 M
WEST SETBACKS (FROM NEIGHBORING LOT) - BLDGS 22-24		32.8 Ft	10.00 M
(FOR UPPER FLOORS) - BLDGS 22-24		30.8 Ft	9.39 M
(FROM RIPARIAN AREA) - BLDG 1, 8, 12 & 13		15.0 Ft	4.57 M
HEIGHT			
ALLOWED	11 M	3 STOREY	
PROPOSED	11 M	3 STOREY	
SITE COVERAGE			
PROPOSED	(ALLOWED ON NET = 45.00%)	29.7%	
UPH			
	ALLOWED	PROPOSED	
PROPOSED (ON GROSS AREA)	17.0 UPA	37.0 UPH	11.96 UPA
PROPOSED (ON NET AREA)		16.48 UPA	40.7 UPH

FAR CALCULATIONS							
UNIT TYPE		LVL 1	LVL 2	LVL 3	GARAGE	TOTAL	NO. OF UNITS
TYPE 'A' - INTERNAL UNITS	3BD	361.40 Sq.Ft.	910.74 Sq.Ft.	910.74 Sq.Ft.	482.94 Sq.Ft.	2,182.88 Sq.Ft.	28
TYPE 'Aa' - END UNITS	3BD	303.73 Sq.Ft.	784.26 Sq.Ft.	784.26 Sq.Ft.	413.28 Sq.Ft.	1,872.25 Sq.Ft.	34
TYPE 'Ba' - END UNITS	3BD	209.42 Sq.Ft.	684.91 Sq.Ft.	684.91 Sq.Ft.	425.64 Sq.Ft.	1,579.24 Sq.Ft.	15
TYPE 'B' - INTERNAL UNITS	3BD	243.06 Sq.Ft.	793.03 Sq.Ft.	793.03 Sq.Ft.	482.94 Sq.Ft.	1,829.12 Sq.Ft.	16
TYPE 'Ca' - END UNITS	3BD	92.50 Sq.Ft.	696.50 Sq.Ft.	696.50 Sq.Ft.	525.17 Sq.Ft.	1,485.50 Sq.Ft.	12
TYPE 'C' - INTERNAL UNITS	3BD	92.50 Sq.Ft.	692.33 Sq.Ft.	692.33 Sq.Ft.	521.50 Sq.Ft.	1,477.16 Sq.Ft.	12
TOTAL NUMBER OF UNITS							117
FAR ON NET SITE AREA							213,283.58 Sq.Ft.
							(ALLOWED = 0.70) 0.69

OFF STREET PARKING				
	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAV
RESIDENTIAL REQUIRED	117	2	234	234
NO. OF VISITOR CAR PARK REQUIRED	117	0.2	23.4	23
TOTAL NO. OF PARKING REQUIRED				257
TOTAL NO. OF PARKING PROPOSED				263
NO. OF VISITOR PARKING PROPOSED				29
NO. OF SMALL CAR STALLS PROPOSED			0	0%

AMENITY SPACE			
OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	117	3.0 SQM	351.0 SQM
PROVIDED		207.6%	728.6 SQM
INDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	117	3.0 SQM	351.0 SQM
PROVIDED		58.2%	204.4 SQM

NOTES:

2022-03-15	D	REISSUED FOR DP
2022-02-18	F	REISSUED FOR DP
2021-10-22	K	REISSUED FOR DP
2021-08-03	G	UPDATED DP DRAWINGS
2021-06-29	L	ISSUED FOR PMA
2021-06-24	H	PRELIMINARY SITE LAYOUT
2021-02-27	A	PRELIMINARY SITE LAYOUT



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PROJECT:
16487 & 16483 - 89 AVE.,
SURREY, BC

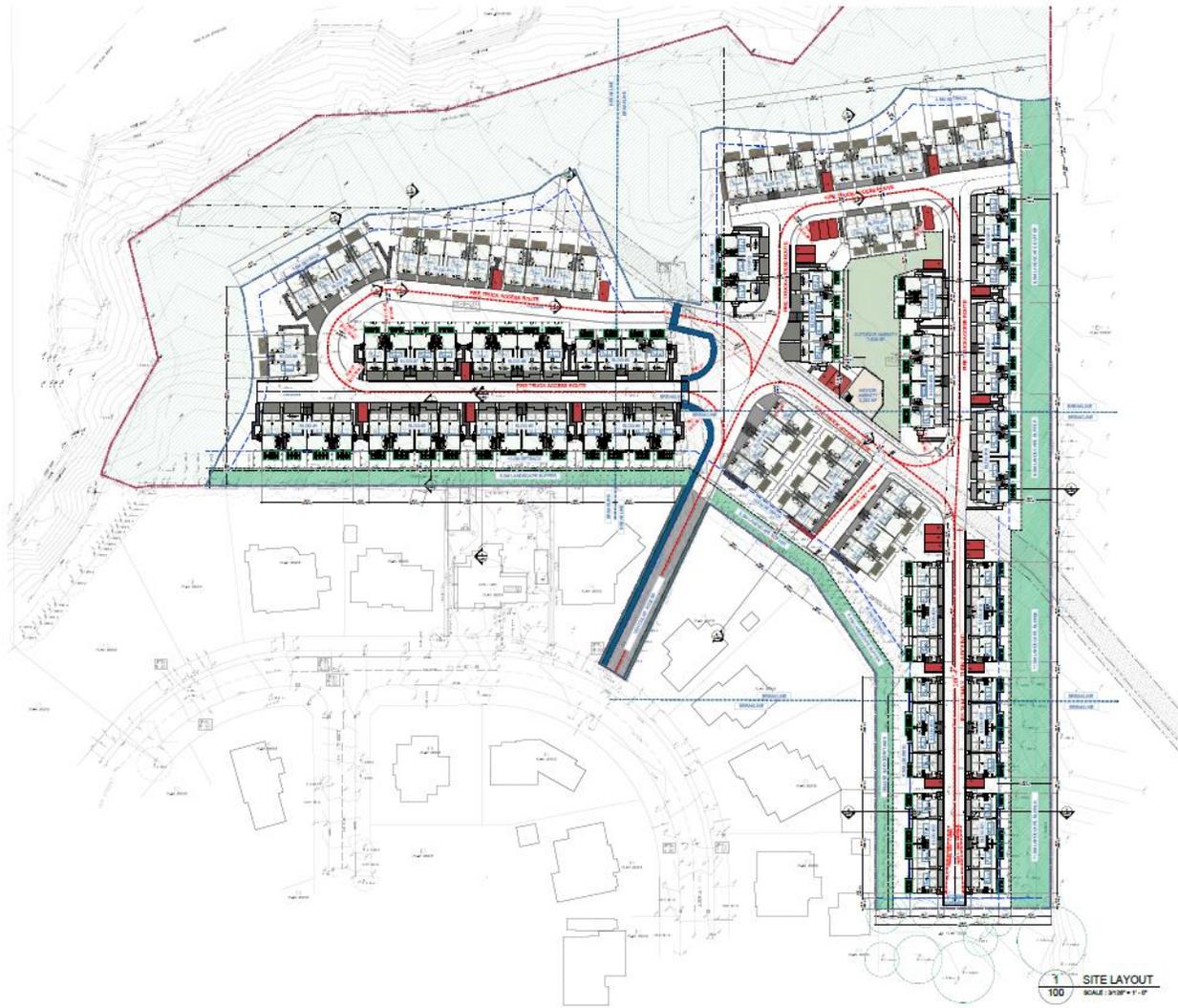
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DATE:	JUL 2021
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NOTES:



2022-03-15	REVISED FOR I/P
2022-03-17	REVISED FOR I/P
2022-03-18	REVISED FOR I/P
2022-03-24	REVISED FOR I/P
2022-04-03	UPDATED OF CHANGING
2022-04-28	REVISED FOR I/P
2022-05-04	PRELIMINARY SITE LAYOUT
2022-05-27	PRELIMINARY SITE LAYOUT

df
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PROJECT
16487 & 16483 - 80 Ave.,
SURREY, BC

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SITE LAYOUT

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A-100 | **G**

1 SITE LAYOUT
SCALE 1/8" = 1'-0"



1 SITE LAYOUT
SCALE: 3/16" = 1'-0"

NOTES:



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201-00-99	PRELIMINARY SITE LAYOUT
201-00-100	PRELIMINARY SITE LAYOUT

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DATE:	01/11/2023
SCALE:	3/16" = 1'-0"
PROJECT:	108-4671 SHILL ROAD
CLIENT:	108-4671 SHILL ROAD
DATE:	01/11/2023
SCALE:	3/16" = 1'-0"
PROJECT:	108-4671 SHILL ROAD
CLIENT:	108-4671 SHILL ROAD

FIRE ACCESS ROUTE

108-4671 SHILL ROAD
A-100.1 **G**

East Creek Townhomes

Issued for Development Permit

Contact Information	Other Key Contacts:	
VDZ+A Project Landscape Architecture Fort Langley Studio 100 - 9101 Church Street Fort Langley, British Columbia, V1M 2R8 Mount Pleasant Studio 102-3330 Kiplingway Vancouver, British Columbia, V0T 3J7 Primary project contact: Andrew Garstman andrew@vdz.ca o: 604 569 0911 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o: 604 569 0920	Type name here Project Owner Address 1 Address 2 Phone	d Architecture Project Building Architecture 1205-4671 99th Road Richmond, BC V6X 3Z6 p: 604 284 5194



Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03A	SITE PLAN A
L-03B	SITE PLAN B
L-03C	SITE PLAN C
L-04A	PLANTING PALLETTE
L-04B	EAST PLANTING BUFFER
LC-01A	HARDSCAPE DETAILS
LC-01B	HARDSCAPE DETAILS
LC-02A	FENCE DETAILS
LC-02B	FENCE DETAILS
LC-03A	SITE FURNITURE DETAILS
LC-03B	SITE FURNITURE DETAILS
LC-04A	STRUCTURE DETAILS
LC-05	PLANTING DETAILS



VDZ+A
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 100-9101 Church St. | 604 569 0911
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No.	By	Description	Date
1	AD	Issued for DP	Mar 15, 2022
2	AD	Issued for DP	Mar 28, 2022
3	AD	Issued for DP	Mar 30, 2021
4	AD	Issued for DP	Mar 30, 2021
5	AD	Issued for DP	Mar 30, 2021
6	AD	Issued for DP	Mar 30, 2021
7	AD	Issued for DP	Mar 30, 2021
8	AD	Issued for DP	Mar 30, 2021
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19	AD	Issued for DP	Mar 30, 2021
20	AD	Issued for DP	Mar 30, 2021

No.	By	Description	Date
1	AD	Issued for DP	Mar 15, 2022
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20	AD	Issued for DP	Mar 30, 2021

VDZ Project # DP2021-58
 Drawing # L-01
 Drawing Title: COVER PAGE

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-01A	CONCRETE PAVING
	4 LD-01A	STAMPED CONCRETE PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	7 LD-01A	PERMEABLE CONCRETE UNIT PAVING
	1 LD-01B	HYDRO-PRESSED SLABS
	5 LD-01B	GRANULAR PAVING
	2 LD-03B	RUBBER SAFETY SURFACE
	1 LD-02B	REAR YARD FENCE
	2 LD-02B	SIDE YARD FENCE
	4 LD-02B	AMENITY FENCE
	3 LD-02B	FRONT YARD FENCE
	1 LD-03B	WASTE RECEPTACLE
	1 LD-03A	BENCH
	2 LD-03A	BIKE RACK
	3 LD-03A	PICNIC TABLE
		PATIO TABLE BY OWNER
	4 LD-03A	BOLLARD LIGHT
	5 LD-03A	PEDESTRIAN LIGHT
		SOIL See landscape notes for specifications
		SHRUB PLANTING
		EAST BUFFER RIPARIAN AREA



MATCHLINE - SEE SHEET L-03B

MATCHLINE - SEE SHEET L-03C



VDZ+A
 LANDSCAPE ARCHITECTURE LTD. (INCORPORATED) LANDSCAPE ARCHITECTS
 100-1015 27th Street NE, Unit 200, Surrey, BC V4N 1Y1
 Tel: (604) 273-1100 Fax: (604) 273-1101
 www.vdz.ca 1231 100 07 17 604-840-8814

Key Map (N7S)



No.	By	Description	Date
4	AD	Issued for DP	Mar 15, 2022
3	AD	Issued for DP	Feb 25, 2022
2	AD	Issued for DP	Oct 30, 2021
1	AD	Issued for DP	Sep 3, 2021

REVISIONS TABLE FOR DRAWINGS

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Project: EAST CREEK TOWNHOMES
 Location: 16485 89 AVENUE
 SURREY, B.C.

Drawn: AD
 Stamp:

Checked: MDZ
 Approved: MDZ
 Original Sheet Size: 24" x 36"

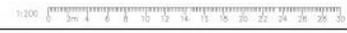
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Drawing # L-03A
 Project # DP2021-58
 Drawing Title: SITE PLAN A
 North Arrow



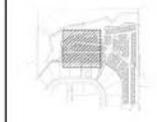
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION									
	4 LD-01A	CONCRETE PAVING		7 LD-01A	PERMEABLE CONCRETE UNIT PAVING		1 LD-025	REAR YARD FENCE		1 LD-03A	BENCH
	4 LD-01A	STAMPED CONCRETE PAVING		8 LD-01B	HYDRO-PRESSED SLABS		2 LD-025	SIDEYARD FENCE		2 LD-03A	BIKE RACK
	5 LD-01A	CONCRETE UNIT PAVING		5 LD-01B	ORGANIC PAVING		4 LD-025	AMENITY FENCE		3 LD-03A	PICNIC TABLE
	5 LD-01A	CONCRETE UNIT PAVING		2 LD-03B	RUBBER SAFETY SURFACE		3 LD-025	FRONT YARD FENCE		4 LD-03A	PATIO TABLE BY OWNER
							1 LD-036	WASTE RECEPTACLE		4 LD-03A	BOLLARD LIGHT
										5 LD-03A	PEDESTRIAN LIGHT
											500 See landscape notes for specifications
											SHRUB PLANTING
											EAST BUFFER/PARKING AREA



VDZ+A
 ARCHITECTURE INTERIOR DESIGN LANDSCAPE ARCHITECTURE
 10463 89 AVENUE SURREY, B.C. V4W 2G7
 TEL: 604.273.1234 FAX: 604.273.1235
 WWW.VDZ.A CA 604.882.8028

Key Map (r/s)



No.	By	Description	Date
4	AD	Issued for CP	Mar 11, 2022
3	AD	Issued for CP	Feb 12, 2022
2	AD	Issued for CP	Oct 30, 2021
1	AD	Issued for CP	Sept 3, 2021

REVISIONS TABLE FOR SHEET

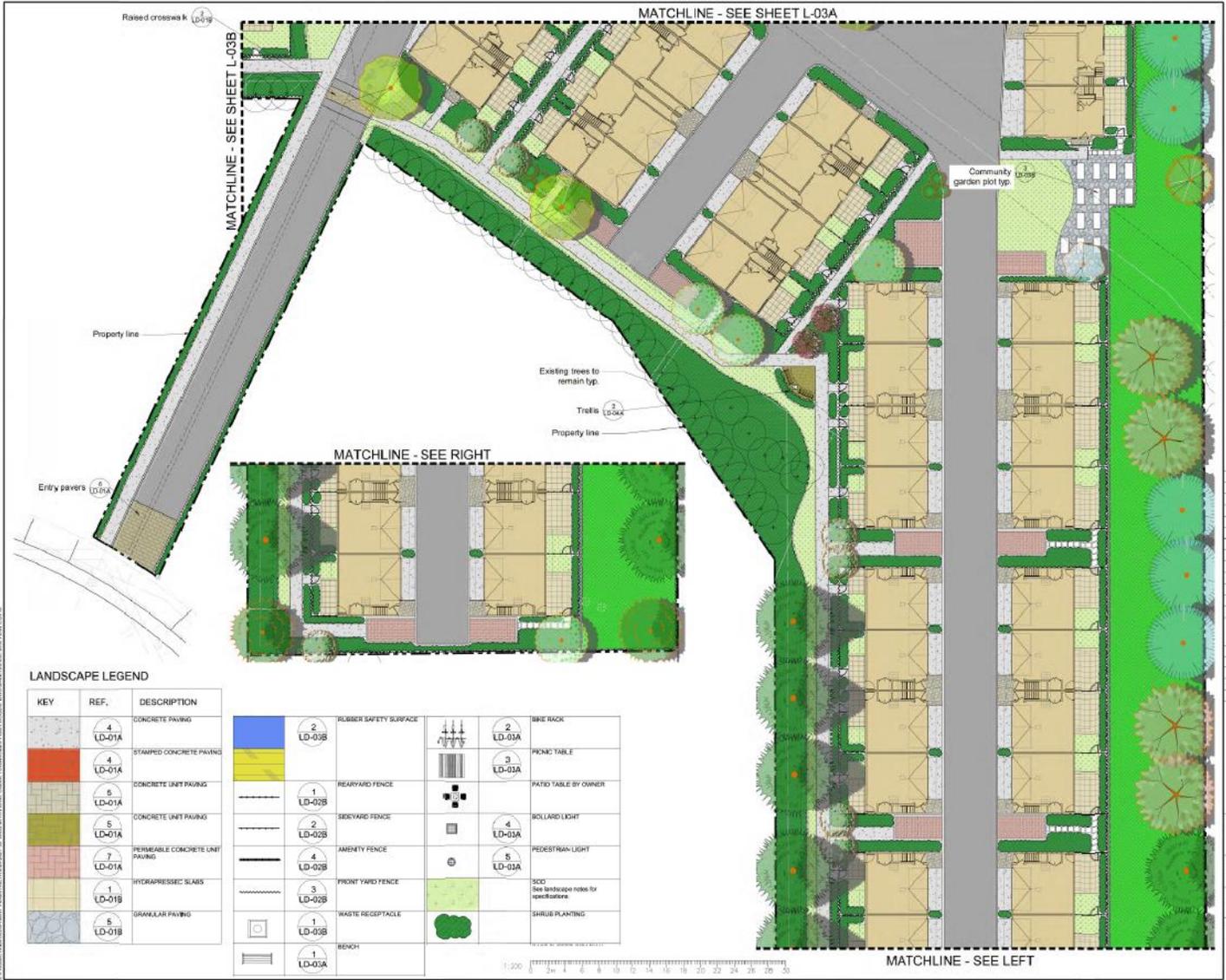
No.	By	Description	Date

Project:
EAST CREEK TOWNHOMES

Location:
10463 89 AVENUE
SURREY, B.C.

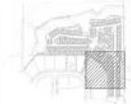
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Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:200	VDZ+A (in public domain) will not be responsible for any errors or omissions in this drawing. The user of this drawing is responsible for the accuracy of the information provided. The user of this drawing is responsible for the accuracy of the information provided. The user of this drawing is responsible for the accuracy of the information provided.

VDZ Project # DP2021-58
 Drawing Title: SITE PLAN B
 Drawing #: L-03B



VDZ+A
 LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN PLANNING
 FORT LANGLEY STUDIO | RICHMOND PRELIMINARY STUDIO
 4000 BRUCE ROAD, SUITE 102, FORT LANGLEY, BC
 V5Y 1R6 | TEL: 604.881.1111 | WWW.VDZ.A
 604.881.1111 | 604.881.1111

Key Map (N15)



No.	By	Description	Date
4	AD	Issued for DP	Mar 15, 2022
3	AD	Issued for DP	Feb 05 2022
2	AD	Issued for DP	Feb 26, 2021
1	AD	Issued for DP	March 3, 2021

REVISIONS TABLE FOR SHEET

Project:
EAST CREEK TOWNHOMES

Location:
 10451 89 AVENUE
 SURREY, B.C.

Drawn:
 AD

Checked:
 MVDZ

Approved:
 MVDZ

Scale:
 1:200

Stamp:
 Original Sheet Date:
 24/12/21

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 4000 BRUCE ROAD, SUITE 102, FORT LANGLEY, BC
 V5Y 1R6 | TEL: 604.881.1111 | WWW.VDZ.A
 604.881.1111 | 604.881.1111

LANDSCAPE LEGEND

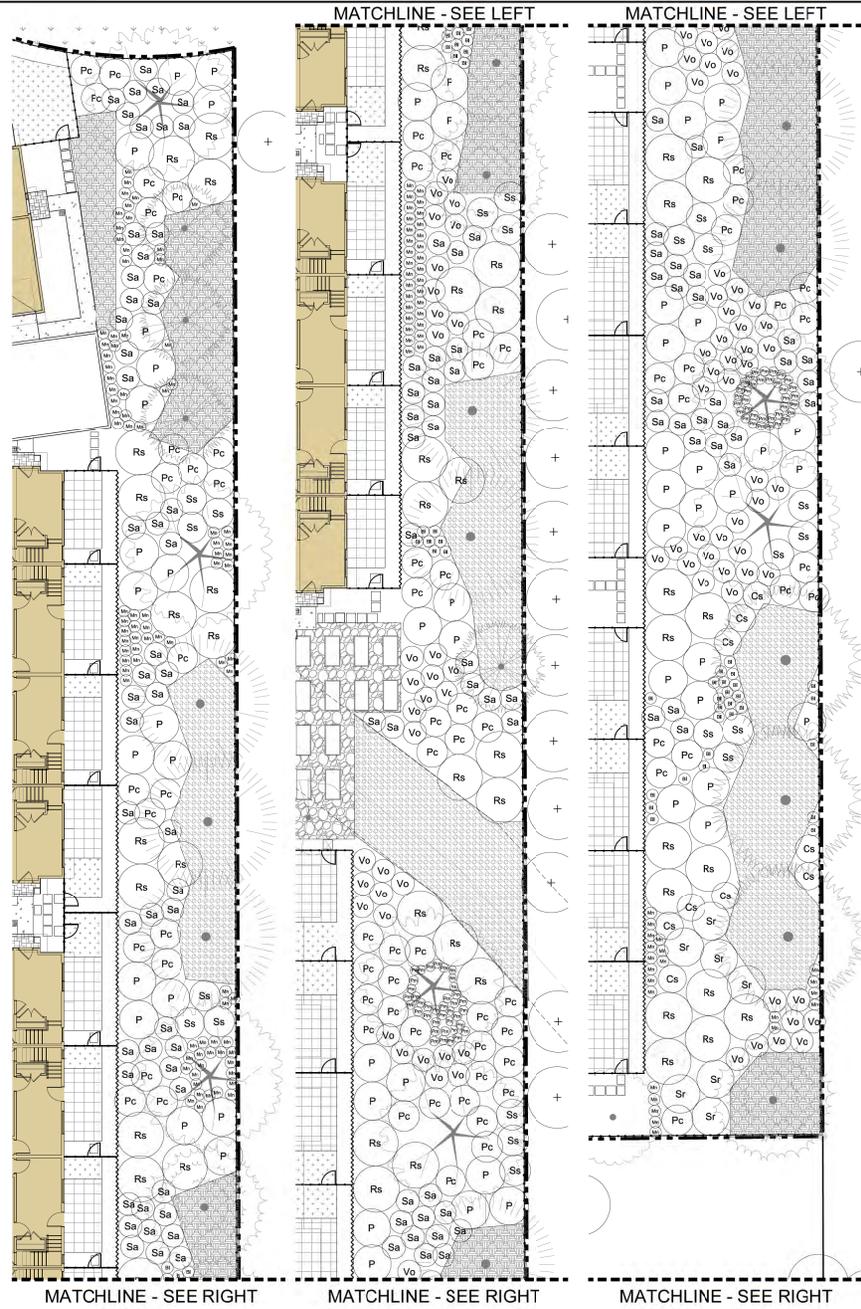
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	5 LD-01A	CONCRETE UNIT PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	7 LD-01A	PERMEABLE CONCRETE UNIT PAVING
	1 LD-01B	HYDRAPRESSIC SLABS
	5 LD-01B	GRANULAR PAVING

	2 LD-03B	RUBBER SAFETY SURFACE		2 LD-03A	BIKE RACK
	1 LD-02B	REARYARD FENCE		3 LD-03A	PICNIC TABLE
	2 LD-02B	SIDEYARD FENCE		4 LD-03A	PATIO TABLE BY OWNER
	4 LD-02B	AMENITY FENCE		4 LD-03A	BOLLARD LIGHT
	3 LD-02B	PRIORITY YARD FENCE		5 LD-03A	PEDESTRIAN LIGHT
	1 LD-03B	WASTE RECEPTACLE			SCO See landscape notes for specifications
	1 LD-03A	BENCH			SHRUB PLANTING

1:200
 1 2m 4 8 12 16 20 24 28 32

VDZ Project #: DP2021-58
 Drawing #: L-03C
 Drawing Title: SITE PLAN C

Z:\PROJECTS\DEVELOPMENT\PERMIT\ACTIVEDP2021-58-16483 BAY EAST CREEK TOWNHOMES ELECTRICOS.DWG SHEETS\04 EAST PLANTING BUFFER.DWG



PLANT SCHEDULE EAST BUFFER

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Bt	Blechnum spicant / Deer Fern	#1 Pct	0.75m	45
Cs	Cornus sericea / Red Twig Dogwood	#3 Pct	1.8m	9
Mn	Mahonia nervosa / Oregon Grape	#2 Pct	0.75m	140
P	Philadelphus lewisii / Wild Mockorange	#3 Pct	2.5m	57
Pc	Physocarpus opulifolius / Pacific Ninebark	#3	2m	74
Pm	Polystichum munitum / Western Sword Fern	#2 Pct	0.6m	73
Ri	Ribes sanguineum / Red Flowering Currant	#3	3m	45
Sa	Salix sitchensis / Sitka Willow	#2 Pct	2m	21
Sr	Sambucus racemosa / Red Elderberry	#2 Pct	2.5m	7
Sa	Symphoricarpos albus / Common White Snowberry	#2 Pct	1.5m	110
Vo	Vaccinium ovatum / Evergreen Huckleberry	#2 Pct	1.5m	82

SHRUB AREAS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Arctostaphylos uva-ursi / Kinnikinnick	#2	600mm	1 076
	Gaultheria shallon / Salal	#2	600mm	850

VDZ+A
 LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | WATER TREATMENT
FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 100-9181 Church St | 101-355 Kingsway
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 www.vdz.ca 604-882-3004

No.	By:	Description	Date
4	AD	Issued to DP	Mar 15, 2022
3	AD	Issued to DP	Feb 25, 2022
2	AD	Issued to DP	Oct 28, 2021
1	AD	Issued to DP	Sep 3, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
EAST CREEK TOWNHOMES

Location:
 16483 89 AVENUE
 SURREY, B.C.

Drawn: AD	Stamp:
Checked: MVDZ	
Approved: MVDZ	
Scale: 1:150	Original Sheet Size: 24"x36"



CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL NECESSARY PERMITS AND CONSTRUCTION LAISEZ PASSER ISSUED BY THE DISTRICT OF SURREY.

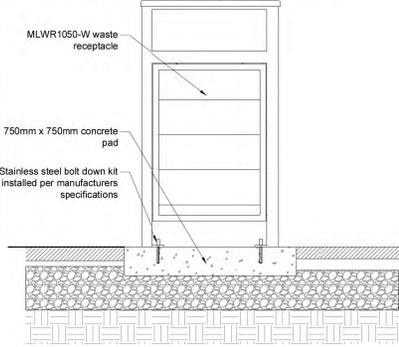
Drawing Title: **EAST PLANTING BUFFER**



VDZ Project #: **DP2021-58**

Drawing #: **L-04B**

- NOTES:
1. Install to manufacturers specifications.
 2. Concrete pad to be included at all waste receptacle locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.

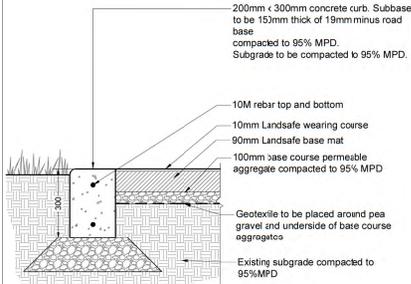


WASTE RECEPTACLE
Model Number: MLWR1050-W
Size: 765mm x 537mm x 537mm
Wood Colour: IPE Wood
Metal Colour: Gloss Black

Manufacturer: Maglin
Maglin.com
Note: or approved equal



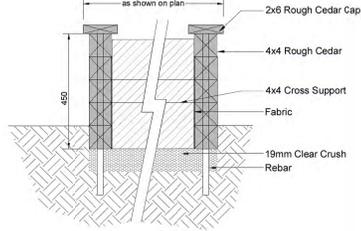
1 WASTE RECEPTACLE
Scale 1:10



Note:
Rubber colour to be:
Softline solutions
Colour: TBD

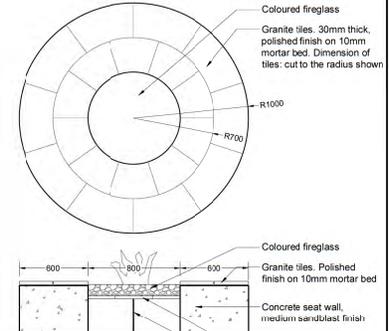
- NOTES:
1. Poured in place rubber safety surface.
 2. Colours and pattern per plan.
 3. By Marathon surfaces or approved alternate.

2 RUBBER SAFETY SURFACE
Scale 1:10



- NOTES:
1. Cap to be sanded smooth.
 2. Cap and exterior or planter to be treated with Sikkeys Cetol WB SRD, Colour: #017 (Cedar)
 3. All fasteners to be not dipped galvanized
- AT GRADE COMMUNITY GARDEN PLOTS
1. Granular or wood chips around plots.
 2. Plot size 1m x 2m.
 3. Cedar frame.
 4. Top of plot ±300mm above grade.

3 COMMUNITY GARDEN PLOT
Scale 1:10

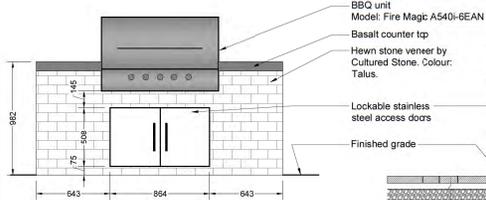
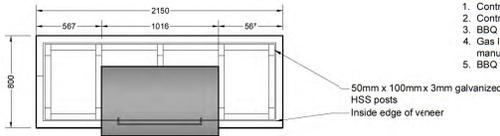


- NOTES
1. Fire place burner to be supplied by Vancouver Gas Fireplaces at 604-732-3470.

4 FIRE PIT
Scale 1:20

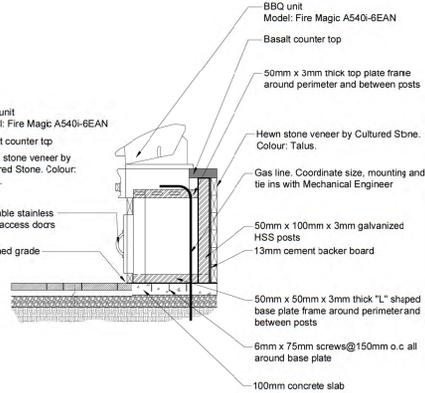


5 GAZEBO
N.T.S.



6 OUTDOOR KITCHEN
Scale 1:20

- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model Model: Fire Magic A540i-6EAN or approved substitute.



No.	By:	Description	Date
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3	AD	Issued to DP	Feb 25, 2022
2	AD	Issued to DP	Oct 28, 2021
1	AD	Issued to DP	Sep 3, 2021

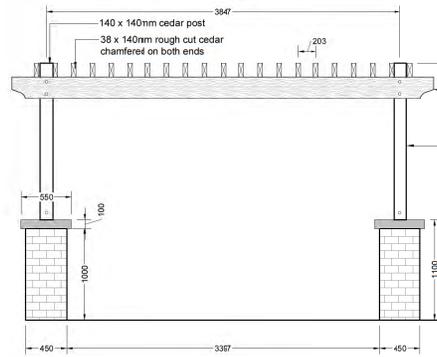
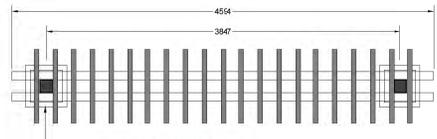
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No.	By:	Description	Date

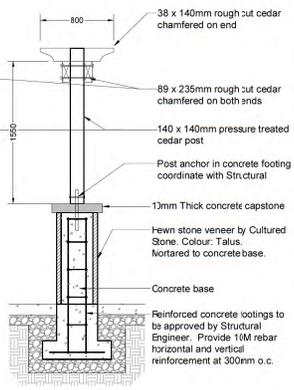
Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

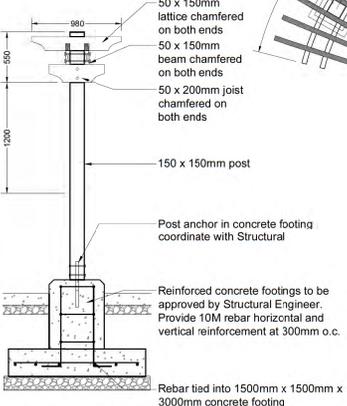
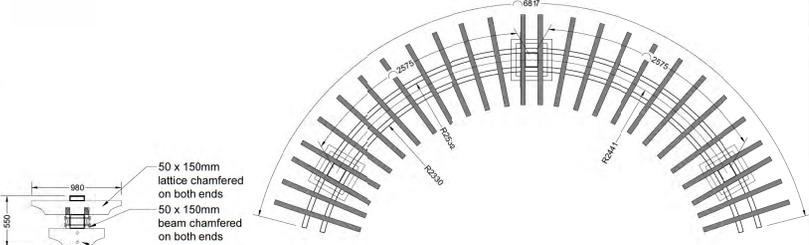
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Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE APPROVED BY THE OWNER. DIMENSIONS MUST BE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS MUST BE TO FACE UNLESS OTHERWISE SPECIFIED.



- Notes:
1. All metal hardware to be hot dip galvanized and painted black.
 2. All wood to be sealed and painted charcoal (2 coats).
 3. Contractor to submit shop drawings for approval.

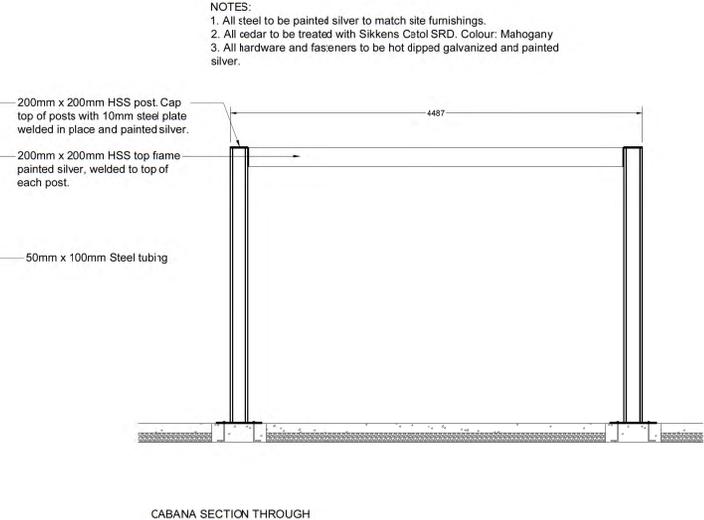
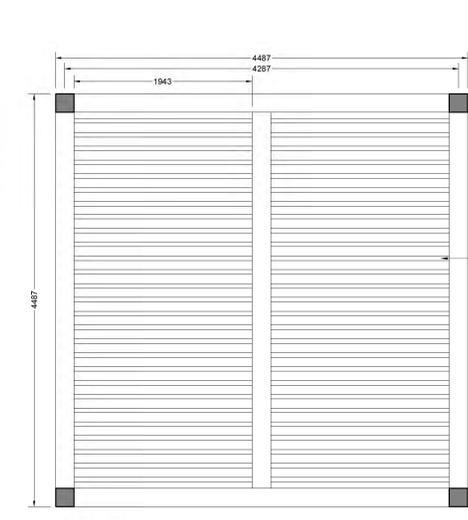


1 STRAIGHT TRELLIS
Scale 1:25



- Notes:
1. All metal hardware to be hot dip galvanized and painted black.
 2. Use Sikkens oak colour stain on all Wood elements.
 3. All wood to be 34S DF#1.
 4. Contractor to submit shop drawings for review.

2 CURVED TRELLIS
Scale 1:25



- NOTES:
1. All steel to be painted silver to match site furnishings.
 2. All cedar to be treated with Sikkens Cstol SRD. Colour: Mahogany
 3. All hardware and fasteners to be hot dipped galvanized and painted silver.

3 AMENITY TRELLIS
Scale 1:25



SQUARE AND RECTANGULAR TRELLIS
1. Wood members.
2. Embedded in concrete footings.

4 MAILBOX TRELLIS
N.T.S.

No.	By:	Description	Date
4	AD	Issued to DP	Mar 15, 2022
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

Drawn: AD	Stamp:
Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS FROM THE CONTRACTOR MUST BE RECORDED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER CONSTRUCTION.

Z:\PRODUCT DEVELOPMENT\PERMITS\DP2021-58-16483 89 AVENUE EAST CREEK TOWNHOMES ELEVATIONS\STRUCTURE DETAILS.DWG



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 17, 2022** PROJECT FILE: **7817-0301-00**

RE: **Engineering Requirements
Location: 16483 89 Avenue**

OCP AMENDMENT

The following issues are to be addressed as a condition of the OCP Amendment:

- Construct full movement traffic signal at the intersection of 88 Avenue and 164 Street.
- Secure off-site SRWs as required to accommodate the signalized intersection.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Register additional statutory rights-of-ways (SRW) for the existing storm and sanitary sewer mains on the subject property as required.

Works and Services

- Confirm adequacy of existing roadworks on 89 Avenue and construct upgrades if required.
- Upsize or twin the existing 900 mm trunk sanitary sewer main on the subject property.
- Provide video inspection reports for the existing storm and sanitary mains on the subject property and construct upgrades if required.
- Construct storm, sanitary and water service connections to service the site.
- Provide on-site stormwater mitigation and water quality/sediment control.

A Servicing Agreement is required prior to Rezone/Subdivision

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

DJS

NOTE: Detailed Land Development Engineering Review available on file



March 17, 2022

Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Serpentine Heights is one of the few elementary schools in the northeast area of the District that still has enrolling space available. This school will serve the future Anniedale/Tynehead community, until the west side of NCP new residential housing can support a new school in the local area. The enrolment projection table should be regarded as conservative. Serpentine Heights will accommodate any enrolment growth within its existing capacity and portables until a new school is constructed in the community.

North Surrey Secondary is currently operating at 113%. Over the next 10 years, enrolment is projected to grow by approximately 130 students. As part of the District's 2022/23 Five Year Capital Plan submission, there is a request 325 capacity addition targeted to open September 2025. This project has yet to be approved by the Ministry.

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0301 00

SUMMARY

The proposed 117 townhouse units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	21
Secondary Students:	15

September 2021 Enrolment/School Capacity

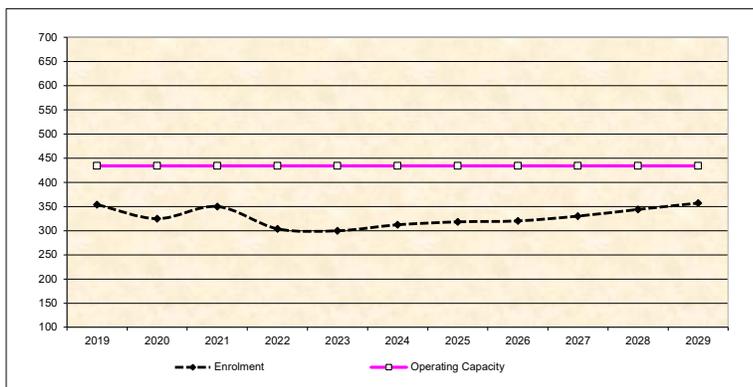
Serpentine Heights Elementary	
Enrolment (K/1-7):	37 K + 313
Operating Capacity (K/1-7)	38 K + 396
North Surrey Secondary	
Enrolment (8-12):	1418
Capacity (8-12):	1175

Projected population of school-age children for this development:	47
--------------------------------------------------------------------------	----

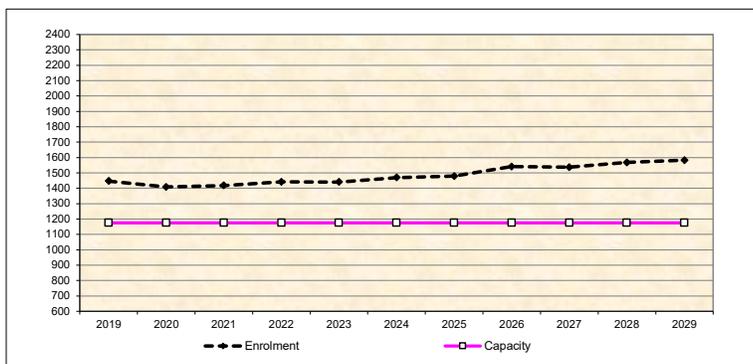
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Serpentine Heights Elementary



North Surrey Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 17-0301-00

Address: 16483 / 16487 - 89 Avenue

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	305
Protected Trees to be Removed	225
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	80
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 225 X two (2) = 450 	450
Replacement Trees Proposed	160
Replacement Trees in Deficit	290
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	62

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: March 14, 2022
------------------------------------------------------------------------------------------------------------	----------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





Agriculture, Environment and Investment Advisory Committee Minutes

Location: Virtual
WEDNESDAY, FEBRUARY 9, 2022
Time: 6:05 p.m.

Present:

Councillor Patton, Chair
Councillor Elford
M. Lamont
S. Rai
S. Van Keulen

Regrets:

Councillor Nagra
Shannon Lambie, Agriculture Land
Commission
Mikayla Roberts, Ministry of Agriculture

Staff Present:

Y. Yohannes, Manager, Utilities
L. Peterson, Environmental Technologist
B. Daly, Planner
I. Matthews, Planner
P. Zevit, Planner
L. Blake, Administrative Assistant
S. Hayer, Assistant City Clerk

A. ADOPTIONS

1. Adoption of the Agenda

It was Moved by Councillor Elford
Seconded by S. Van Keulen
That the Agriculture, Environment, and
Investment Advisory Committee meeting agenda held February 9, 2022 be adopted.
Carried

2. Adoption of the Minutes – January 12, 2022

It was Moved by Councillor Elford
Seconded by S. Van Keulen
That the minutes of the Agriculture, Environment,
and Investment Advisory Committee meeting held January 12, 2022, be adopted.
Carried

B. DELEGATIONS

1. Yonatan Yohannes, Manager Utilities City of Surrey

Lauren Peterson, Environmental Technologist, provided a PowerPoint presentation regarding City of Surrey's Benthic Monitoring Program. The following information was highlighted:

- Benthic Invertebrates are organisms that live in or on the bottom sediments of waterways and are an important food source for fish populations.
- Benthic Invertebrates are monitored because the quantity, variety and species composition can be used as indicators of overall watershed health. They are reliable indicators as they spend their lives in the waterway, are easy to collect and differ in their tolerance to pollution.

- The abundance of Benthic Invertebrates differs across Metro Vancouver due to differences in watersheds.
- Staff monitor Benthic Invertebrates as Adaptive Management Framework monitoring guidelines include Benthic sampling as a requirement for all high gradient systems, which many creeks in Surrey are classified as. Benthic sampling is also advocated for in the Metro Vancouver Integrated Stormwater Management Planning (ISMP).
- Surrey's Benthic Program started as part of the East Clayton Monitoring Program in 1999 and sites were added as ISMP's were developed for other areas.
- Benthic sampling was continuously monitored in East Clayton prior to and during development. Mitigation measures reduced but did not eliminate the effects of urban development on water quality. Some changes may be temporal due to erosion and sediment in relation to land development rather than best management practices related to drainage. The changes in the Benthic community reflect the cumulative effects of changing streamflow, water quality and other factors in North Creek.
- The Benthic Sampling Program is completed yearly, there are 40 sampling sites in the spring and four sampling sites in the fall; all sites are used for Adaptive Management Framework reporting or ISMP analysis.
- Staff continues to monitor Benthic Invertebrates as the consistency between sampling periods allows for year-to-year comparisons and shows immediate issues in watercourses and associated watersheds. It is also a good indicator to use before and after projects, development areas and detention ponds to show impacts on water quality and aquatic life.
- Surrey leads the region in water quality monitoring through benthic invertebrates and Metro Vancouver has used Surrey's data to help develop protocols for its integration into the ISMP process.

In response to questions from the Committee, Ms. Peterson and Yonatan Yohannes, Manager, Utilities provided the following information:

- Stream sampling is conducted at multiple points to look at the health of the stream from the inlet, middle and outlet of the stream.
- Samples are taken in the headwaters and are strategically placed to view what is entering and exiting Surrey. The sample locations remain consistent every year and provides information on how the waterways are impacted.
- At each location, three samples are taken as a composite sample, providing the required information for the City's ISMP.

- Visible change in the waterways can take five to ten years to become present.
- Streams in Surrey are considered fair but in relation to urban streams, they are doing well.
- Data relating to Benthic sampling has not been published as the amount of data is intensive, it is however provided to Metro Vancouver and included in their biannual reports. The data is readily available to requestors.
- Information regarding Benthic Sampling was provided to the Liquid Waste Committee at Metro Vancouver, and staff will consider bringing this presentation forward to advisory committees in the future.

C. NEW BUSINESS

1. Development Application 7920-0258-00

Ben Daly, Planner

Address: 14159 – 40 Avenue

S. Van Keulen declared a conflict of interest at 6:32 p.m. and left the meeting.

Ben Daly, Planner, summarized the report dated January 31, 2022, regarding Development Application No. 7920-0258-00 which proposes to construct a 1,989 square metre building at the southeast corner of the site to allow for a dairy processing facility with additional value-added uses including a retail store, butcher, and small café. The following information was highlighted:

- The site is 23.8 hectares in area and forms part of a larger dairy operation, Donia Farms Ltd. In total, Donia Farms Ltd. operates on 364.2 hectares of land in Surrey and another 80.9 hectares in Delta, with approximately 445 hectares in the Lower Mainland.
- Approximately 1,117 square metres of the building will be used for dairy processing. Additional value-added uses will occupy the ground floor of the building including approximately 573 square metres for a retail store and butcher and 171 square metres for a café. A 500 square metres outdoor amenity area will be located adjacent to the café. An office that is approximately 322 square metres in area is proposed on the second floor.
- The Applicant intends to create a space that can connect consumers to agriculture. The vision of the proposed dairy processing facility is to have a location that people can visit, learn, and connect to the farm.
- The bistro will be used to highlight and showcase Donia Farm's products, while building a connection between farm and table.
- The proposed retail area exceeds the maximum area allowed in both the Agricultural Land Reserve (ALR) Use Regulation and the Zoning Bylaw.

- The ALR Use Regulation only permits a maximum of 1,000 square metres of land to be filled for a particular farm use before the placement of soil needs to be considered by the Commission.

In response to questions from the Committee, Mr. Daly and Yonatan Yohannes, Manager, Utilities, provided the following information:

- An analysis of similar operations in the Lower Mainland can be completed and included in the Planning report.
- The proposal will not be connecting to City infrastructure as it is outside the Fraser Sewerage Area. The Applicant will be required to deal with sanitary waste onsite at the Applicant's expense. The Applicant will need to make an application to create an onsite sewage system and obtain necessary Provincial approvals and support from Fraser Health Authority.
- Nicomekl Waterfront Park, which is currently being designed, is the closest attraction to the subject location. One or two small parking lots will be associated with the park with one parking lot on parkland. Designs are underway and there is interest to connect roads in the area for residents to have the option to cycle to the park and surrounding area.

The Committee expressed concerns regarding the treatment of wastewater onsite, as there is a fair amount of wastewater and sewage that results in the daily operation of a milk processing facility. The Committee also questioned if there is an option for the Applicant to connect to a nearby sanitary sewer connection.

Staff noted the Committee's concerns and advised:

- There is no main nearby to the subject property for the Applicant to connect to the sanitary sewer.
- The Consulting Engineer for this application is very familiar with this kind of work and has completed similar projects in the Fraser Valley. Planning and Engineering staff can detail in the report that is forwarded to Council on what approvals are required for the sanitary sewer discharge and how it can be accommodated onsite.

It was Moved by Councillor Elford
 Seconded by M. Lamont
 That the Agriculture, Environment, and
 Investment Advisory Committee recommend that the General Manager of
 Planning and Development support Development Application 7920-0258-00.
Carried by members remaining

S. Van Keulen rejoined the meeting at 6:51 p.m.

2. **Development Application 7917-0301-00**

Ingrid Matthews, Planner

Address: 16483 and 16487 – 89 Avenue

Ingrid Matthews, Planner, summarized the report dated February 2, 2022, regarding Development Application No. 7917-0301-00 which proposes a townhouse development. The following information was highlighted:

- Two properties are involved in this proposal, the subject site is designated Suburban and neither property is located within the Agricultural Land Reserve (ALR), however, the subject site is located adjacent to the ALR on the eastern and northern sides.
- To the north of the subject site is the Godwin Biodiversity Preserve, which is situated within the ALR, but staff is primarily seeking feedback on the proposed interface with the ALR to the east.
- The subject site is outside of the Fleetwood Plan boundary. It may be considered for inclusion of the draft plan, to realign the plan boundary using the ALR as the boundary of the draft plan.
- The proposal involves an Official Community Plan amendment, Rezoning amendment and Agricultural Development Permit to allow for the proposed 117 townhouse units with 1 hectare of riparian protection conveyed to the City for environmental protection purposes.
- No watercourse runs through the subject site. There are watercourses to the north and east of the subject site.
- Planning staff are specifically seeking comment regarding the applicant's proposed building setbacks and landscape buffer.
- According to DP4 Guidelines, the Applicant is proposing a reduction in the building setback from 30 metres to 12 metres and a reduction in the vegetative buffer from 24 metres to 8 metres. The building setback from the vegetative buffer is 3.5 metres, which is being met by the policy.

In response to questions from the Committee, Ms. Matthews, provided the following information:

- It is not the intention of staff to change policies included in the DP4 Guidelines in relation to ALR setbacks, it is to obtain comments specifically related to the development application.
- Staff are unaware of an existing City policy where landscaping is increased with density.
- Planning staff are currently working with the Applicant to review the interface between the single family suburban homes to the south and the proposed application.

- A public information meeting was held and staff are currently reviewing the comments provided by the area residents.
- Staff have requested deeper setbacks south of the proposed townhouses.
- When this application goes before Council, it will include comments from the community and staff.
- The site is close in proximity to the draft Fleetwood Plan area and similar densities are being sought in the area or are likely to be sought as part of the Fleetwood Plan area.
- No variances are being sought with respect to streamside setbacks.
- There is a Class B watercourse on the property to the east. The required setback under the Zoning Bylaw does extend into the subject property, a portion of which would be included in the 12 metre setback adjacent to the ALR. Landscaping will form a part of the Sensitive Ecosystems Development Permit associated with that setback.
- The larger site within the ALR, immediately to the east is not actively farmed. The smaller property to the east is a mushroom farm and is within the ALR. The Godwin Biodiversity Farm is not actively farmed.
- The proposal does not have an impact on farming and food security.
- Planning staff are satisfied with the setbacks along the south portion of the site and are seeking comments regarding the eastern portion.
- Widening the setback on the eastern portion would significantly impact the number of units for the site because of the depth of the property.
- Environmental reports have been submitted to review the environmentally sensitive areas which are being coordinated with the Applicant's servicing concept plan. Staff are mindful of the environmental concerns as part of the application review process.
- Environmental Reports have been submitted to staff including the geotechnical reports, reports relating to the streamside setbacks and follow-up submissions to the Province are generally acceptable. The proposed setbacks meet or exceed the setbacks outlined in the Zoning Bylaw and related Provincial requirements.
- Staff can follow up with information related to specific servicing details.

It was Moved by S. Van Keulen
Seconded by S. Rai
That the Agriculture, Environment, and
Investment Advisory Committee recommend that the General Manager of
Planning and Development support Development Application 7917-0301-00,
subject to addressing the mitigation of the eastern buffer.

Carried

3. Update on Grant Application to the Investment Agriculture Foundation of BC
Pamela Zevit, Biodiversity Conservation Planner
File: 0540-06

Pamela Zevit, Biodiversity Conservation Planner, summarized the report dated January 31, 2022, regarding an update on the grant application to the Investment Agriculture Foundation of BC's Local Government Partnership Program (IAFBC LGPP). The IAF grant application intended to secure funding to develop a comprehensive plan for management and stewardship of agricultural lands within the ALR under City ownership, specifically those lands within parks. The grant would contribute \$15,000 (50%) towards the \$30,000 project, with the remainder coming from Parks (Urban Forestry). The project, entitled "Parkland in Surrey's ALR: A comprehensive plan for agriculture" seeks to achieve the following:

- Comprehensive planning to assess the value and role of agricultural lands in parks;
- Assess the feasibility for parkland outside of those locations being actively farmed to support agricultural activities; and
- Identify how these opportunities link to broader agricultural objectives for the City.

The following information was highlighted:

- The grant application was successful with funding through the IAFBC, with the objective of taking a comprehensive feasibility study to review the opportunities for agriculture in parks that fall in the Agricultural Land Reserve (ALR).
- There are 20 parks in Surrey that are in the ALR.
- Two parks in Surrey are actively leased for farming activities, Sullivan Station and Mount Farm Park.
- Campbell Heights Biodiversity Preserve will be available for farming activities and staff have developed a process to target areas for agricultural use.
- Upland Agricultural Consulting Ltd. has been retained as the contractor for this project, it is a valuable partnership as they are currently working with Metro Vancouver and several other partners on agricultural-related projects.

- This is a collaborative project across various departments that will last six months and the project is scheduled to finish at the end of June 2022. The first staff meeting occurred last week to acknowledge the role of staff in each department. This project will be working closely with the Agriculture, Environment and Invest Advisory Committee and will be a milestone project for the City.
- Upland is conducting a literature review currently and they have a host of policies and plans, some of which are published, some of which are not, for the City to review.
- Staff are in the process of creating Park Management Plans for some of the sites as not all Parks have management plans.
- Staff are currently reviewing 20 parks, as not all the locations are feasible for further investigation as part of potential agricultural planning, either due to size, adjacency issues or high environmental sensitivity.
- There is a strong focus on First Nation engagement and Upland is working with staff to lay the foundation for an outreach program to involve First Nation communities and capture Indigenous views.
- Staff are working with Kwantlen Polytechnic University to engage with the university's agricultural programs.

In response to questions from the Committee, Ms. Zevit provided the following information:

- Staff are assessing parks within the ALR to determine where there is potential for agricultural farming and activities.
- As part of the engagement process, staff will determine where there is a potential opportunity and will have an open transparent conversation regarding the feasibility, especially for areas that have high environmental sensitivity.
- The project provides an opportunity to engage with adjacent farmers even if their parkland is not feasible for active farming opportunities.
- Regenerative agriculture involves working with the land from a stewardship perspective and taking a more sustainable approach that works with the ecological processes that currently exist on the site and having a light footprint.
- Staff are preparing a profile on the project, which will be posted on the What's Happening with Parks planning webpage

- Staff will be providing further updates to the Committee in line with their communication plan along with a detailed presentation from the consultant.

It was

Moved by M. Lamont

Seconded by V. Van Keulen

That the Agriculture, Environment, and

Investment Advisory Committee receive the report for information.

Carried

**4. 2022-2023 Work Plan
Yonatan Yohannes, Manager Utilities**

The Committee discussed that the Workplan will be grouped into three compartments. Agriculture and Agricultural Investment, Environment, and Climate.

Yonatan Yohannes, Manager Utilities, outlined details within the workplan and the following comments were made:

- Funding for SHARP (Salmon Habitat Restoration Program) comes from two funding mechanisms: the Eco Canada Fund and City's Drainage Utility. Funding is not provided through the Provincial or Federal Governments. Supplemental funding is provided by the Engineering department. Staff will continue to monitor any funding opportunities is possible from Provincial or Federal Governments.
- The Committee requested a staff delegation regarding the development requirements and conditions required to develop and install community gardens as there is growing interest from individuals being interested in where their food comes from.
- The Committee requested a staff delegation regarding supportive measures that can be implemented to encourage more value-added farming operations. Smaller production farmers may not have the resources to actively pursue value-added options.
- The Committee requested that a representative from the Agricultural Land Commission provide additional regulatory insight and opinion so informed discussions can take place regarding topics related to agriculture.

D. OUTSTANDING BUSINESS

1. Verbal Updates

No updates were provided.

E. ITEMS REFERRED BY COUNCIL

This section had no items to consider.

F. CORRESPONDENCE

This section had no items to consider.

G. OTHER BUSINESS

This section had no items to consider.

H. NEXT MEETING

The next meeting of the Agriculture, Environment, and Investment Advisory Committee is scheduled for Wednesday, March 9, 2022, at 6:00 p.m.

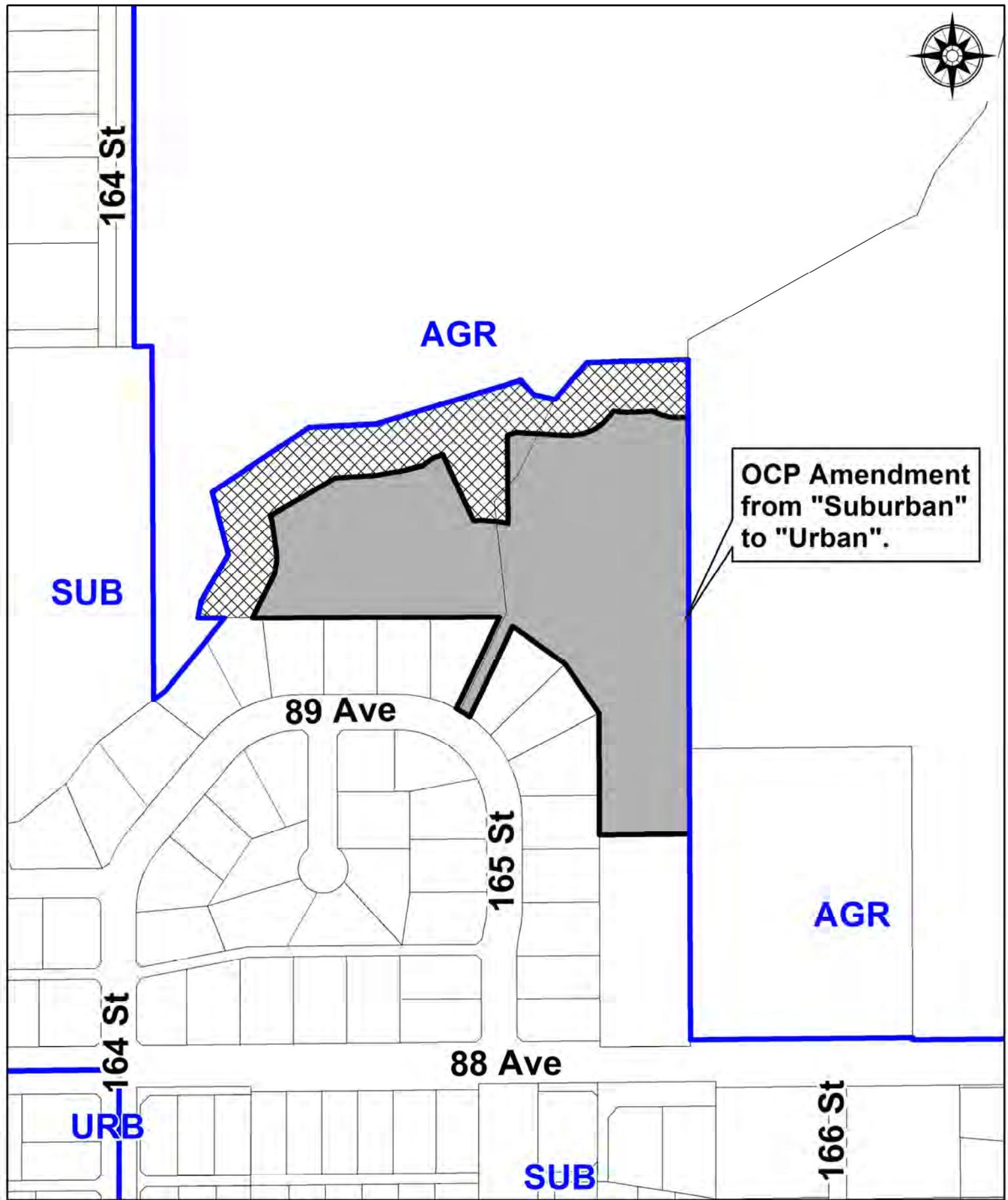
I. ADJOURNMENT

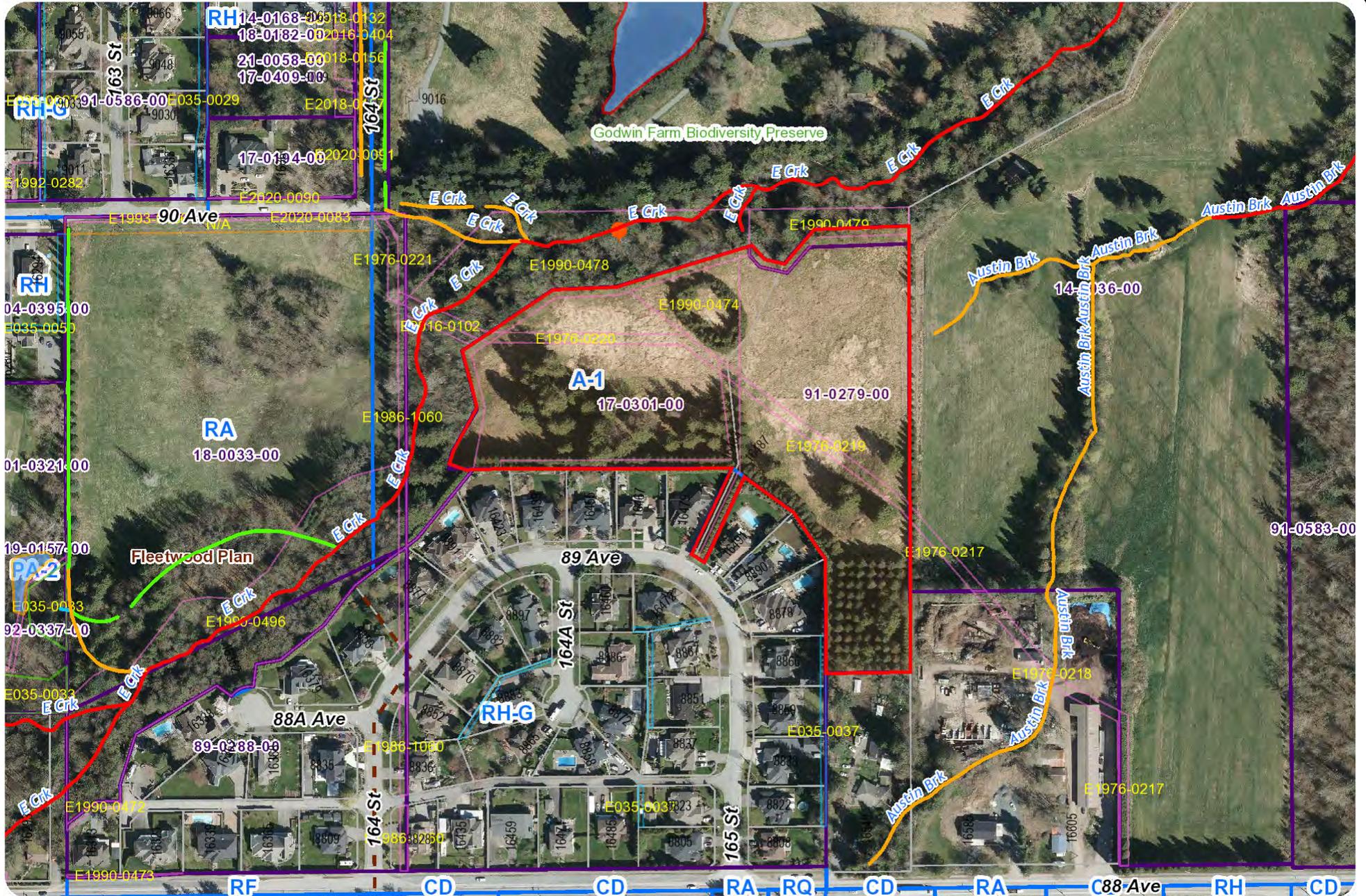
It was
Investment Advisory Committee meeting adjourn.
Moved by M. Lamont
Seconded by S. Van Keulen
That the Agriculture, Environment, and
Carried

The Agriculture, Environment, and Investment Advisory Committee adjourned at 8:08 p.m.

Jennifer Ficocelli, City Clerk

Councillor Allison Patton, Chair

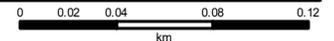




Development Application 7917-0301-00

Scale: 1:3,127

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca

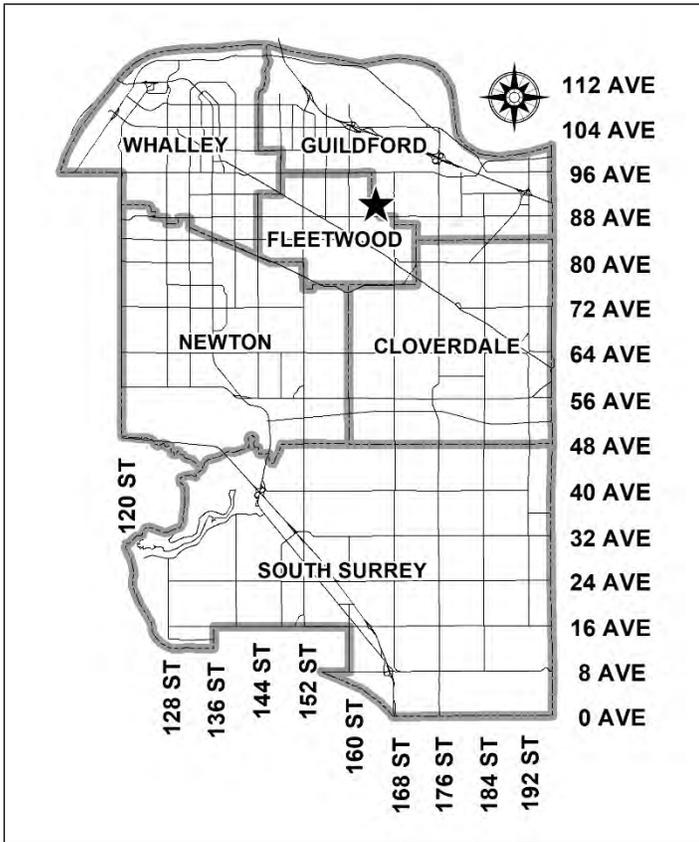


Map created on: 2022-03-22

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0301-00

Planning Report Date: March 7, 2022



PROPOSAL:

- OCP Amendment from Suburban and Agricultural to Urban
- Rezoning from A-1 to CD
- Development Permits for Form and Character, Sensitive Ecosystems, Hazard Lands (Steep Slopes) and Farm Protection

to permit the development of 117 townhouse units and the conveyance of the riparian protection area to the City.

LOCATION:

16483 - 89 Avenue

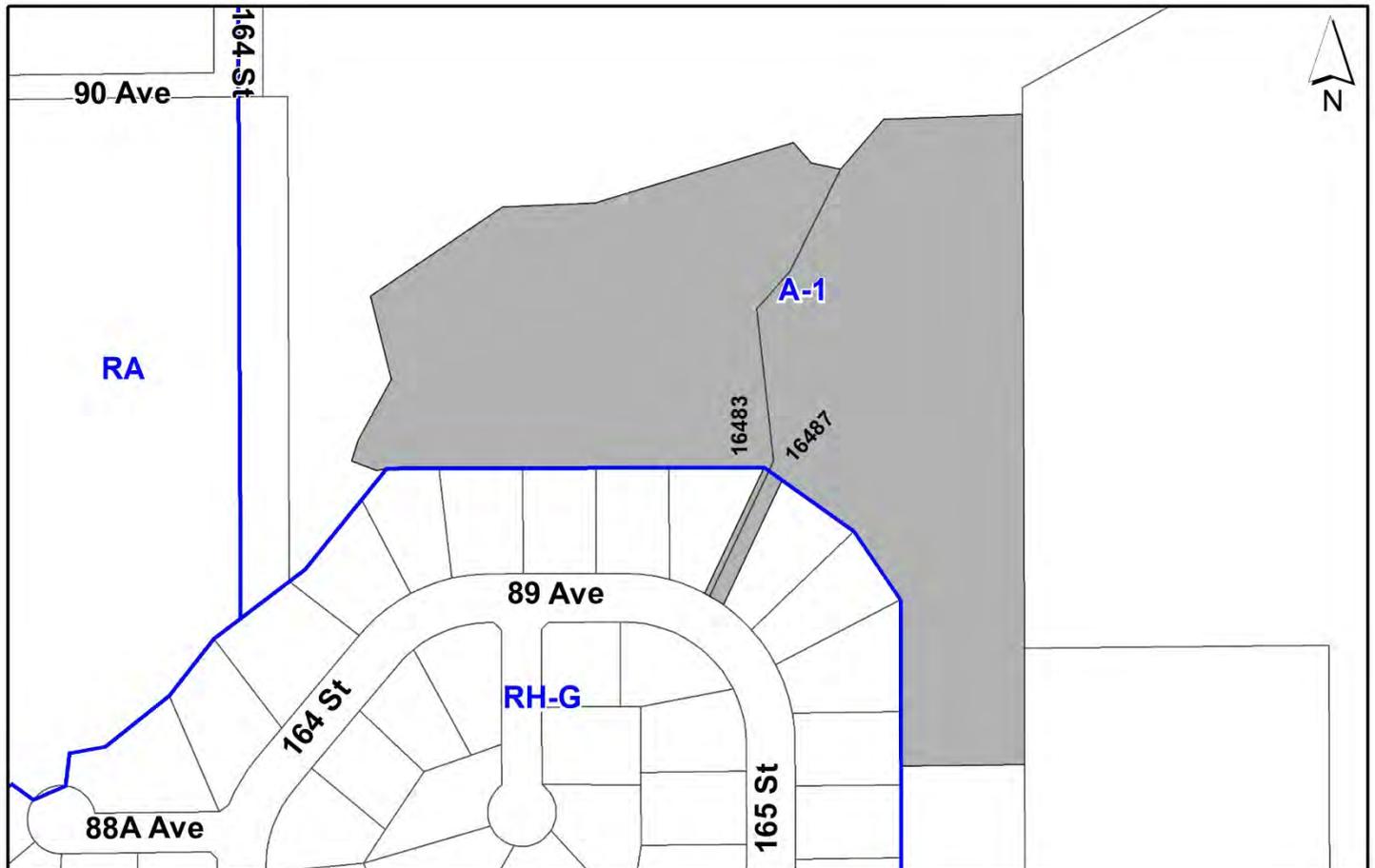
16487 - 89 Avenue

ZONING:

A-1

OCP DESIGNATION:

Suburban and Agricultural



RECOMMENDATION SUMMARY

The Planning & Development Department recommends that this application be denied.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an OCP Amendment from Suburban and Agricultural to Urban.
- Staff have concerns with the unconventional long, narrow driveway access (along an existing panhandle) to the proposed townhouse development.

RATIONALE OF RECOMMENDATION

- The proposed townhouse development has land use merit as a cluster form of housing that will provide greater housing options in the neighbourhood, while still protecting existing environmental features and incorporating buffering from adjacent agricultural land.
- The subject site is adjacent to the Draft Stage 1 Fleetwood Plan and is not currently within the Plan boundary. The Fleetwood Plan boundary is, however, proposed be adjusted to include the subject site as part of the Draft Stage 1 Fleetwood Plan Update. This would include the remaining 'Suburban' designated properties and would result in the Agricultural Land Reserve (ALR) boundary establishing the eastern and northern edge of the Plan.
- While the land use has merit, the proposed driveway access to the site, which is currently proposed to be along a 9-metre wide, 56-metre-long panhandle, between two existing suburban residential lots is considered problematic and as such staff recommend that this application be denied and could be revisited should additional land (minimum one lot) be acquired to provide a more conventional access into the site.
- Staff is recommending that this application be denied due to concerns with the proposed driveway access for the following reasons:
 - The proposed driveway access will consist of 6 metres of pavement, a 1.5 metre sidewalk, and a 0.75 metre landscape strip on either side. While meeting minimum technical requirements (BC Building Code and Emergency Access) for pavement and sidewalk width, 0.75 metres is considered insufficient area to provide appropriate landscape screening and buffering of the driveway from adjacent homes.
 - The proposed driveway access must accommodate typical day-day vehicular and pedestrian access for the residents and visitors of the proposed 117 townhouse units, but also delivery, emergency, construction, maintenance vehicles and garbage and recycling pick-up vehicles. Staff have concerns that the driveway access as currently proposed could unreasonably impact adjacent property owners.
 - The proposed 9-metre-wide access provides insufficient width for project signage, and as such wayfinding could be an ongoing issue for resident deliveries and visitors of the proposed townhouse development.

- In support of the proposed OCP amendment, the applicant was required to host a virtual Public Information Meeting (PIM) to obtain preliminary community feedback on the proposed townhouse development. One of the key concerns communicated by residents was in relation to the proposed access.
- Planning & Development recommends that the access to the proposed townhouse development be widened to provide a better interface with the existing neighbourhood. A wider access would achieve the following:
 - allow for increased boulevard width, tree planting and sidewalks;
 - increase the separation between existing single-family homes and the future access;
 - allow for additional landscaping between the future driveway access and existing single-family homes;
 - provide better opportunity to consider a connection through the site to ultimately connect with Godwin Farm Biodiversity Preserve and the ultimate trail network in Fleetwood;
 - provide opportunity for tree retention; and
 - provide opportunity for typical project entry signage for wayfinding and project identification.
- The subject site's only existing road frontage is via the panhandle to 89 Avenue. In order to achieve a wider access, additional land must be acquired to form part of the development application (minimum one lot is recommended).
- A townhouse development application on the subject site could be revisited in the future, once a more supportable driveway access has been achieved.
- The applicant is requesting that Council allow the development to proceed with the driveway access arrangement as currently proposed, contesting that the driveway access meets minimum pavement width in meet the BC Building Code and Emergency Access requirements and that hedge planting and fencing will be sufficient to mitigate nuisance impacts on adjacent homeowners.

RECOMMENDATION

The Planning & Development Department recommends that this application be denied.

If Council is of the view that there are merits to proceeding with the currently proposed access, Council could refer the application back to staff to continue to process the application as proposed.

This report is being forwarded to Council in advance of a full application review as the application involves a significant decision regarding driveway access, and it was not considered practical to undertake all of the work associated with refining and detailing the proposal until it is determined if Council is prepared to consider the current application as proposed.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP	Existing Zone
Subject Site	Undeveloped residential land with environmentally sensitive area.	Suburban and Agricultural	A-1
North:	Godwin Farm Biodiversity Preserve	Agricultural	A-1
East:	Vacant and developed agricultural land	Agricultural	A-1
South:	Single-family homes on suburban lots	Suburban	RH-G/A-1
West:	Godwin Farm Biodiversity Preserve	Agricultural	A-1

Context & Background

- The subject site includes two properties, 16483 and 16487 – 89 Avenue, located in Fleetwood. They are large suburban properties located north of 89 Avenue and adjacent to the Godwin Farm Biodiversity Preserve, immediately to the north.
- The site is designated ‘Suburban’ and ‘Agricultural’ in the Official Community Plan (OCP) and is adjacent to the Draft Stage 1 Fleetwood Plan. The Fleetwood Plan boundary may be adjusted to include the subject site as part of the Draft Stage 1 Fleetwood Plan Update. This update would include the remaining ‘Suburban’ designated properties and result in the Agricultural Land Reserve (ALR) boundary establishing the eastern and northern edge of the Plan.
- Development Permits for Form and Character, Sensitive Ecosystems (Streamside Protection), Hazard Lands (Steep Slopes) and Farm Protection are required.

- The Agricultural Land Reserve (ALR) is located immediately east and north of the site.
- The subject site has a gross site area of 3.96 hectares.
- There is a Class A watercourse located north and west of the subject site, and within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- The applicant is proposing to redesignate (from Suburban and Agricultural to Urban) and rezone the site (from A-1 to CD) to accommodate a 117-unit townhouse project. Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes. The remaining development site for the proposed townhouse development is 2.9 hectares in net area.

DEVELOPMENT PROPOSAL

Planning Considerations

- The site is designated 'Suburban' and 'Agricultural' in the Official Community Plan (OCP) and is adjacent to the Draft Stage 1 Fleetwood Plan. The Fleetwood Plan boundary is proposed to be adjusted to include the subject site as part of the Draft Stage 1 Fleetwood Plan Update, which would include the remaining 'Suburban' designated properties and would result in the Agricultural Land Reserve establishing the eastern and northern edge of the Plan.
- Development Permits for Form and Character, Sensitive Ecosystems (Streamside Protection), Hazard Lands (Steep Slopes) and Farm Protection are required.
- Approximately 1.1 hectares of environmentally sensitive area is proposed to be conveyed at no cost to the City for riparian protection and parks purposes.
- A total of 117 townhouse units are proposed on the site. Development details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	3.96 hectares
Road Dedication:	N/A
Undevelopable Area:	1.1 hectares
Net Site Area:	2.9 hectares
Number of Lots:	2
Building Height:	3-storeys
Unit Density:	16.7 upa
Residential Units:	
3-Bedroom:	117
Total:	117

- The proposed townhouse development has land use merit as a cluster form of housing that will provide greater housing options in the neighbourhood, while still protecting existing environmental features and incorporating buffering from adjacent agricultural land.
- However, the proposed driveway access to the site, which is currently proposed to be along a 9-metre wide, 56-metre-long panhandle, between two existing suburban residential lots, is considered problematic. One of the key concerns communicated by residents through the public consultation process was in relation to the proposed driveway access to the proposed townhouse development.
- The proposed vehicular access to the site is from 89 Avenue, via the panhandle portion of the site. The panhandle is situated between two existing single-family homes, with shared trees and hedges planted on both sides of the panhandle and is approximately 9 metres in width.
- While the 9.0-metre access width to the proposed townhouse development would satisfy BC Building Code and Emergency Access requirements, staff are concerned that the access could unreasonably impact nearby property owners and the neighbourhood.
- The 9-metre panhandle access is required to include a minimum asphalt pavement width of 6.0 metres. The remaining 3 metres would allow for a 1.5 metre sidewalk and 0.75 metres of landscaping on both sides of the access. This does not allow room for any tree planting and limited opportunity for landscape planting.
- The proposed driveway access must accommodate typical day-day vehicular and pedestrian access for the residents and visitors of the proposed 117 townhouse units, but also delivery, emergency, construction, maintenance vehicles and garbage and recycling pick-up vehicles. Staff have concerns that the driveway access as currently proposed could unreasonably impact adjacent property owners.
- The proposed 9-metre-wide access provides insufficient width for project signage, and as such wayfinding could be an ongoing issue for resident deliveries and visitors of the proposed townhouse development.
- Planning & Development recommends that the access to the proposed townhouse development be widened to provide a better interface with the existing neighbourhood. A wider access would achieve the following:
 - allow for increased boulevard width, tree planting and sidewalks;
 - increase the separation between existing single-family homes and the future access;
 - allow for additional landscaping between the future access and existing single-family homes;
 - provide better opportunity to consider ultimate connection through the site to connect with Godwin Farm Biodiversity Preserve and the ultimate trail network in Fleetwood;
 - provide opportunity for tree retention; and
 - provide opportunity for typical project entry signage for wayfinding and project identification.

- The subject site's only road frontage is via the panhandle to 89 Avenue. In order to achieve a wider access, additional land must be acquired as part of the development application.
- There are multiple options for land acquisition along 89 Avenue/165 Street and/or 88 Avenue that could allow for a widened access to the site.

Parkland and Natural Area Considerations

- Development Permits for Sensitive Ecosystems (Streamside Protection) and Hazard Lands (Steep Slopes) are required.
- There is a Class A watercourse located adjacent to the north and west property lines of the site, within the Godwin Farm Biodiversity Preserve, and a Class B watercourse on the adjacent lands to the east.
- The required streamside setbacks, as outlined in Part 7A of the Zoning Bylaw, are provided within the proposed development. No variances are requested.
- The site has a gross site area of 3.96 hectares with approximately 1.1 hectare of environmentally sensitive area proposed to be conveyed, at no cost, to the City, for riparian protection and Parks purposes.
- Currently, the only access to Godwin Farm Biodiversity Preserve's trail network is from the parking lot along 164 Street. The management plan for the Godwin Farm envisions a future access via pedestrian path from the southern portion of the preserve to 89 Avenue through the subject property. This pedestrian path will provide an important connection to the preserve for existing and future residents in the Fleetwood Town Centre Plan.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed townhouse development complies with the 'General Urban' designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The subject site is designated 'Suburban' and 'Agricultural' in the OCP. The 'Suburban' designation allows for densities up to 4 units per acre.
- An OCP amendment from 'Suburban' and 'Agricultural' to 'Urban' is proposed in order to allow for the proposed net density of 16.8 units per acre. The 'Urban' designation allows for densities of up to 20 units per acre.
- There is a small portion of the land designated 'Agricultural' at the northern edge of the site that will be part of the proposed dedicated open space and is not proposed to be amended.

Secondary Plans

Land Use Designation

- The subject site is adjacent to the Draft Stage 1 Fleetwood Plan and is not currently within the Plan boundary. This Plan boundary is proposed to be adjusted to include the subject site as part of the Draft Stage 1 Fleetwood Plan Update, which would include the remaining 'Suburban' designated properties and would result in the Agricultural Land Reserve (ALR) boundary establishing the eastern and northern edge of the Plan.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development would be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP/Secondary Plan designation.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 24, 2021, and the Development Proposal Signs were installed on November 23, 2021. Staff received approximately 28 responses from neighbouring residents.
- As this report is being forwarded to Council in advance of a full application review, and is in-stream, the comments provided to date are summarized and staff responses are not included at this time.
- The main comments received by staff were in regard to:
 - driveway access to the site;
 - increase in traffic volume;
 - density;
 - safety;
 - parking;
 - tree retention;
 - environmental concerns;
 - desire to retain the existing 'Suburban' designation;
 - impacts of construction; and
 - impacts to property values.
- The subject development application received a preliminary review by the Fleetwood Community Association (FCHA). The FCHA intends to provide more detailed comments during the development application review process, however the FCHA provided the following preliminary comment:
 - The site is currently outside the proposed Fleetwood Town Centre boundary that has gone through an extensive public consultation process. The site also has major transportation, access, and environmental issues.

Public Information Meeting (PIM)

- The applicant held public information meetings (PIMs) for the proposed townhouse development. Notifications for the PIM were mailed on November 23, 2021.
- The virtual PIMs were held via a Zoom Webinar platform on:
 - December 7th from 1:00pm – 2:00 pm
 - December 7th from 6:00pm – 7:00 pm
- A project website was created that included project information and presentation boards. This website was launched on November 30, 2021, and remained active until December 21, 2021, to allow residents the opportunity to provide comments after the presentation.
- Approximately 36 people attended the virtual meeting at 1:00pm and approximately 26 at 6:00pm for an estimated total of 62, excluding panel members.
- Each webinar PIM included an applicant team panel with City staff in attendance.
- 64 questions and comments were received during the 1st PIM session, and 155 questions and comments received during the 2nd PIM session. In addition, 47 emails were received via the website.

SUMMARY OF CONCERNS

Topic	Summary of Comments	Number of comments
Traffic	Increased Traffic Access flow & Congestion Safety Parking	18 13 7 1
Site Access	Narrow strata drive aisle access between existing single-family houses	10
Density	Number of units being too high for the area	9
Environmental	Owl quality of life/ nesting Impacts on environmental Close proximity to the ALR Would like access to Godwin Preserve	10 9 2 2
Trees	Tree retention Helps filter the smell from mushroom farm	9 1
Schools	Over capacity	4
Construction	Noise Damage to existing roads / infrastructure Disruption to neighbourhood life	2 4 1

Topic	Summary of Comments	Number of comments
Neighbouring Property Value	Concern over property values being negatively affected	3

SUMMARY OF SUPPORT

Topic	Summary of Comments	# of comments
Design	Smaller affordable houses	6
	Diversity in housing type / size	6
	Elimination of illegal activity on the site if developed	2

While there are other comments and concerns that need to be considered as part of the proposed development application, a key concern is the proposed driveway access. Staff are recommending that this issue be addressed prior to a development application proceeding for further review on this site.

CONCLUSION

- The Planning & Development Department recommends that this application be denied.
- If Council is of the view that there are merits to proceeding with the currently proposed access, Council could refer the application back to staff to continue to process the application as proposed.
- The applicant is requesting that Council allow the development to proceed with the driveway access arrangement as currently proposed, contesting that the driveway access meets minimum pavement width in meet the BC Building Code and Emergency Access requirements and that hedge planting and fencing will be sufficient to mitigate nuisance impacts on adjacent homeowners.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Site Plan, Architectural Plans and Landscape Plans

approved by Ron Gill

Ron Gill
Acting General Manager
Planning and Development

IM/cm



NOTES:



2022-02-19	ISSUED FOR DP
2021-10-22	ISSUED FOR DP
2021-09-03	LOCATED OF DRAWINGS
2021-08-29	ISSUED FOR PM
2021-08-09	PRELIMINARY SITE LAYOUT
2021-02-07	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD
 RICHMOND, BRITISH COLUMBIA
 CANADA V6X 3Z8
 T (604)284-0104 F (604)284-0101

PROJECT:
**16487 & 16483 - 89 Ave.,
 SURREY, BC**

CLIENT:
 SURREY, BC

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DESIGN:	ZB
CHECKED:	ZB
SCALE:	N.T.S.
JOB No.:	SUR-145
DATE:	FEB 2021
SHEET TITLE:	

PART PLAN - A

DRAWING NO.:	A-101	F
--------------	--------------	----------

1 PART SITE LAYOUT
 SCALE: 1/16" = 1'-0"



NOTES:



NO.	DATE	DESCRIPTION
1	2022-02-16	PREPARED FOR CP
2	2021-10-22	PREPARED FOR CP
3	2021-09-03	UPDATED CP DRAWINGS
4	2021-06-22	PREPARED FOR PM
5	2021-06-24	PRELIMINARY SITE LAYOUT
6	2021-02-27	PRELIMINARY SITE LAYOUT



1006-4871 SHELL ROAD
 RICHMOND BRITISH COLUMBIA
 CANADA V6X 3Z6
 T (604) 284-0194 F (604) 284-0231
 11111 100 AVE UNIT 1006, SURREY, BC

PROJECT:
 16487 & 16483 - 89 Ave.,
 SURREY, BC

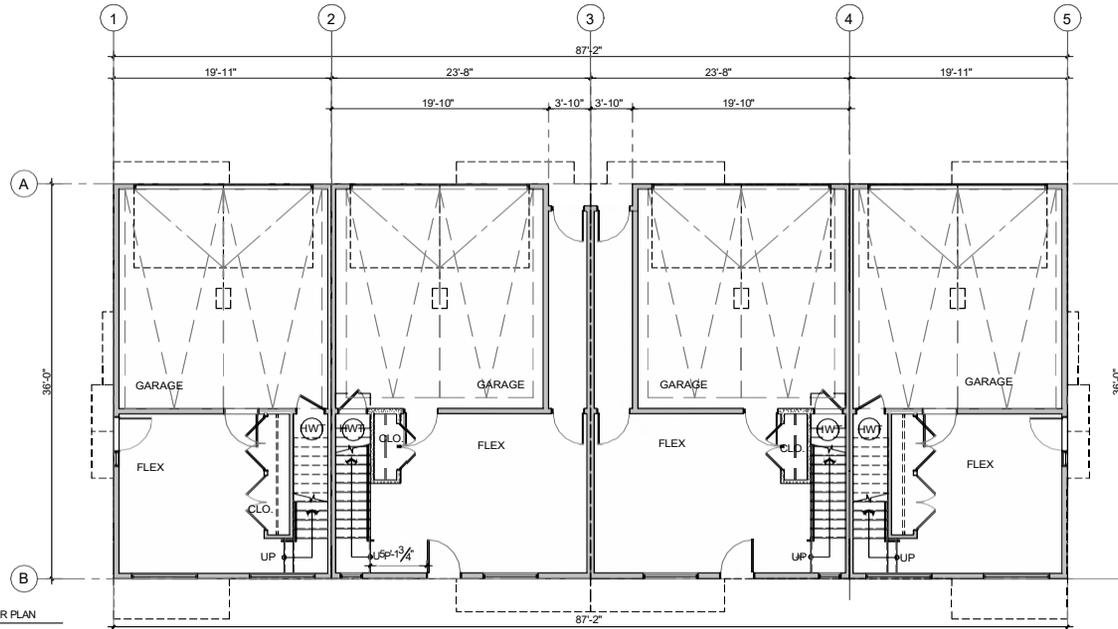
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 PLAN 67944
 SURREY, BC

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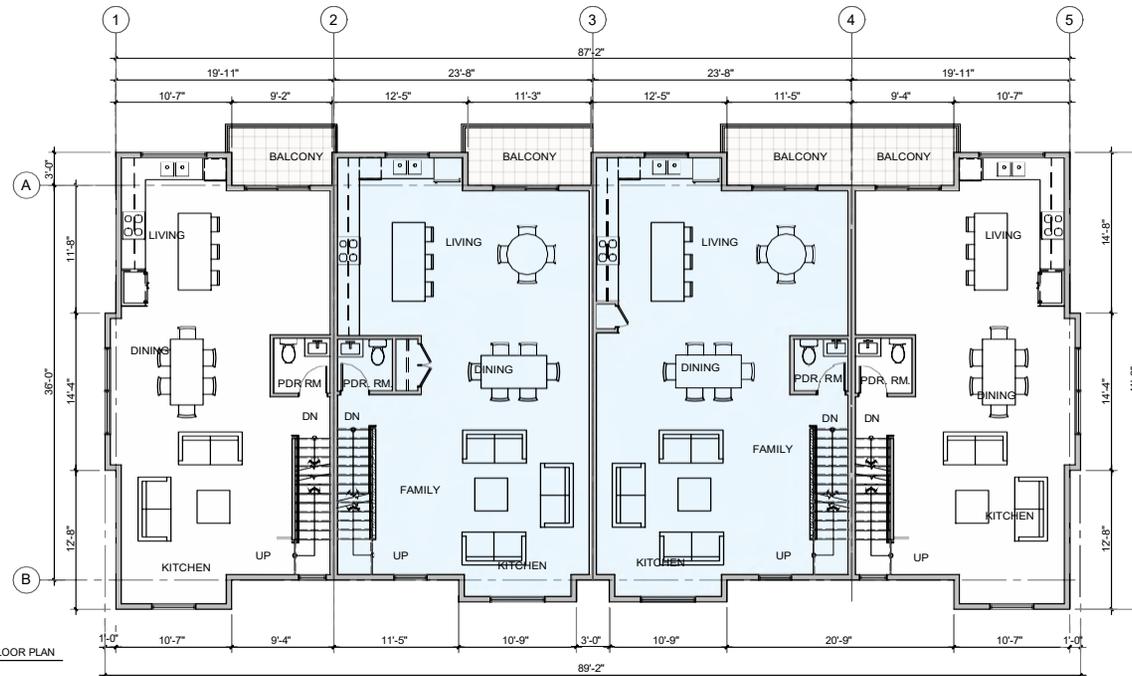
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CHECKED:	ZB
SCALE:	1/16" = 1'-0"
JOB No.:	SUR-143
DATE:	APR 2020
SHEET TITLE:	

PART PLAN - B

DRAWING NO.:
A-102 F

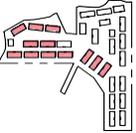


1 BUILDING TYPE A MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 BUILDING TYPE A SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTES:



NO.	DATE	DESCRIPTION
2021-10-22	A	PRELIMINARY SITE LAYOUT
2021-06-29	B	ISSUED FOR PERM
2021-06-03	C	UPDATED DP DRAWINGS
2021-06-29	D	ISSUED FOR PERM
2021-10-22	E	PRELIMINARY SITE LAYOUT
2021-02-27	A	PRELIMINARY SITE LAYOUT



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PROJECT:
16487 & 16483 - 89 Ave.,
SURREY, BC

CLIENT:
SURREY, BC

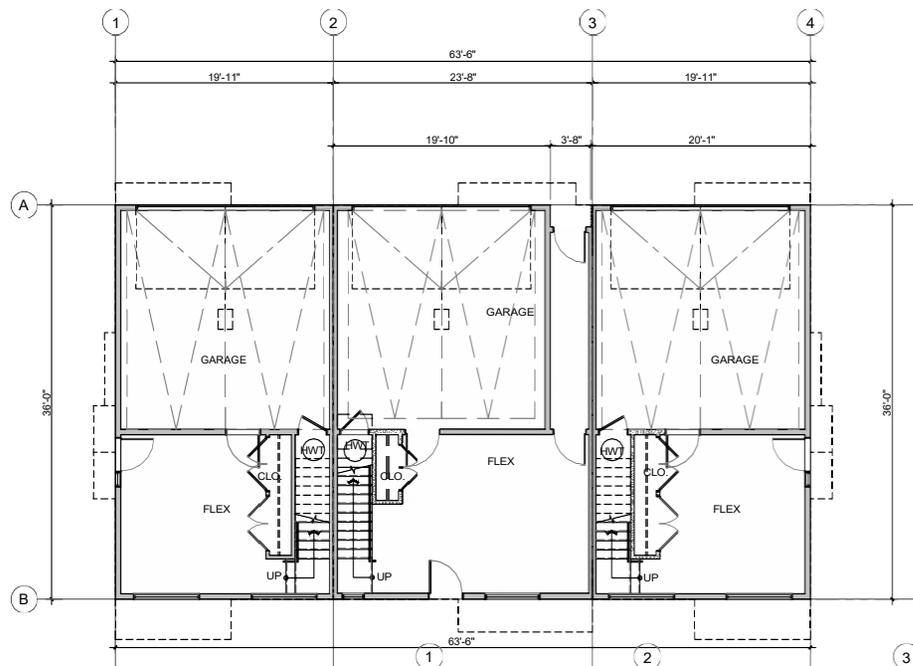
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DRAWN	RL
CHECKED	ZB
SCALE	-
JOB NO.	200-144
DATE	JUL 2021
SHEET TITLE	

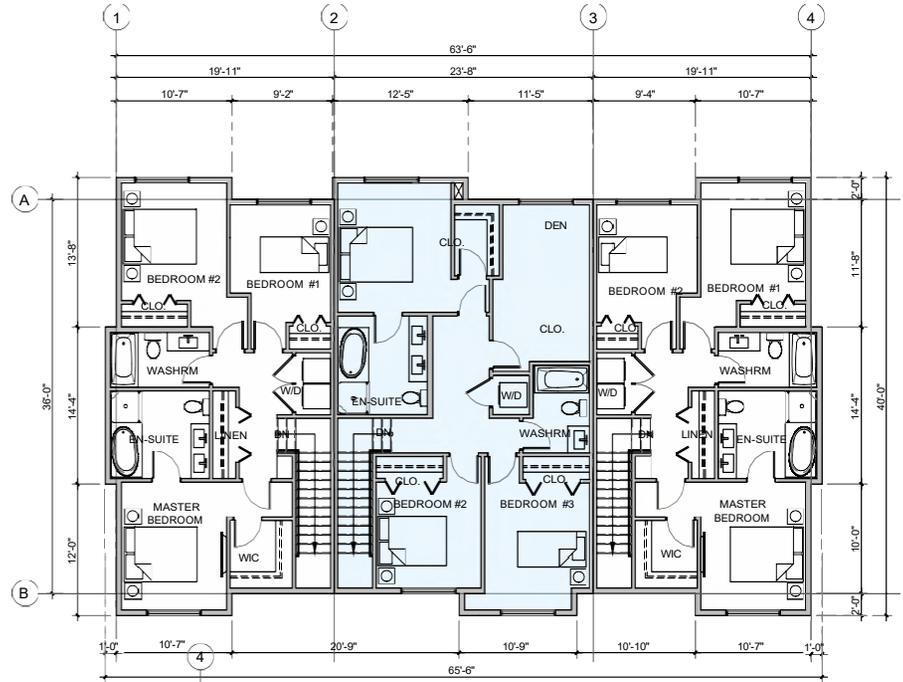
BUILDING TYPE A
FLOOR PLANS

DRAWING NO.	
A-200	E

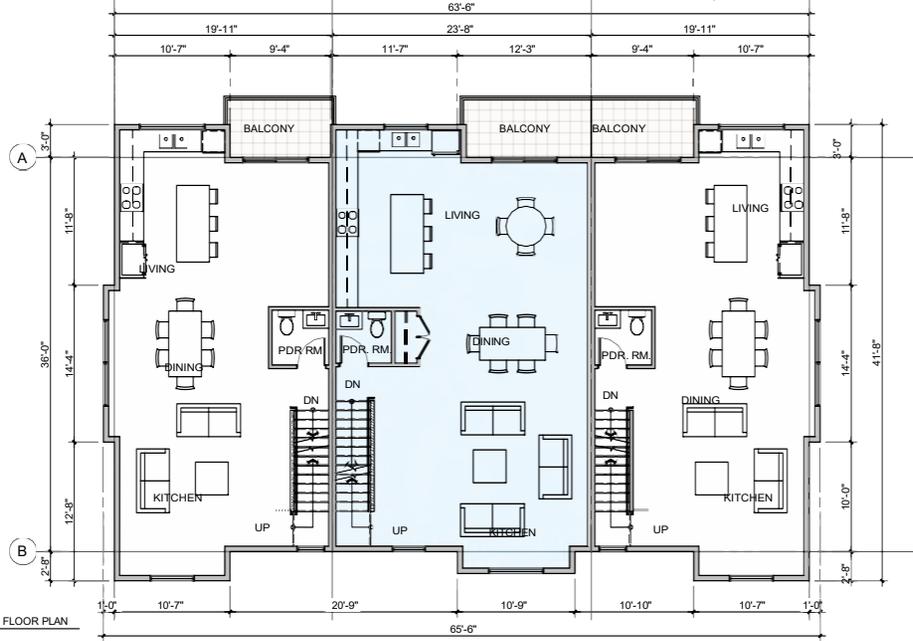
1:000-1/8"=1'-0" SCALE. ALL DIMENSIONS GIVEN UNLESS OTHERWISE SPECIFIED.



1 BUILDING TYPE B MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 BUILDING TYPE B THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



3 BUILDING TYPE B SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTES:



NO.	DATE	DESCRIPTION
2021-10-22		REISSUED FOR DP
2021-09-03		UPDATED DP DRAWINGS
2021-08-20		ISSUED FOR PM
2021-06-25		PRELIMINARY SITE LAYOUT
2021-02-27		PRELIMINARY SITE LAYOUT



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SURREY, BC

CLIENT:
SURREY, BC

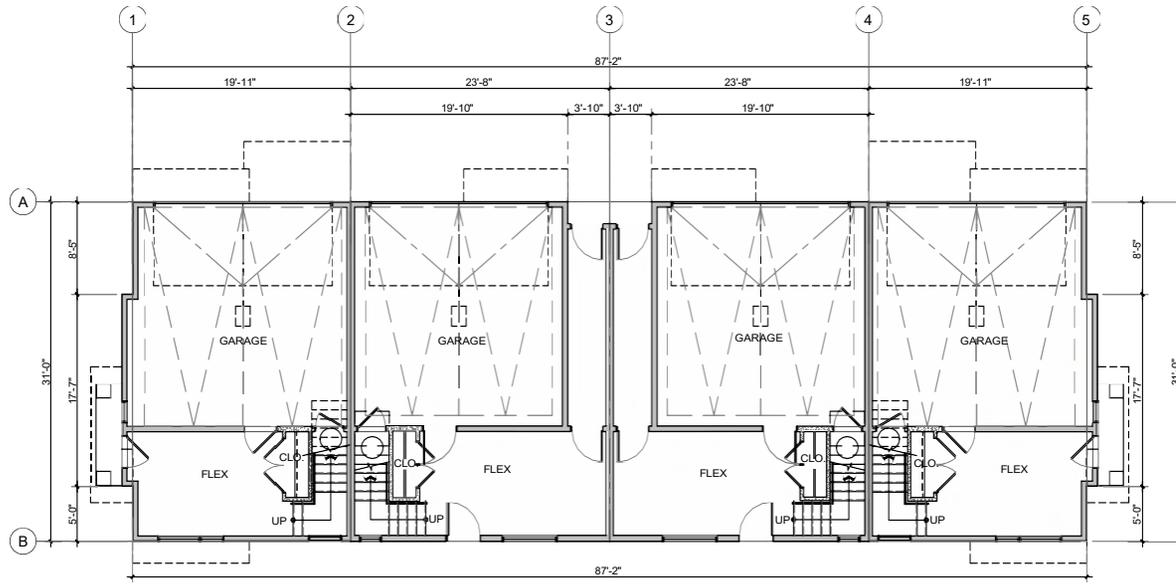
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CHECKED	ZB
SCALE	-
JOB NO.	2021-104
DATE	JUL 2021
SHEET TITLE	

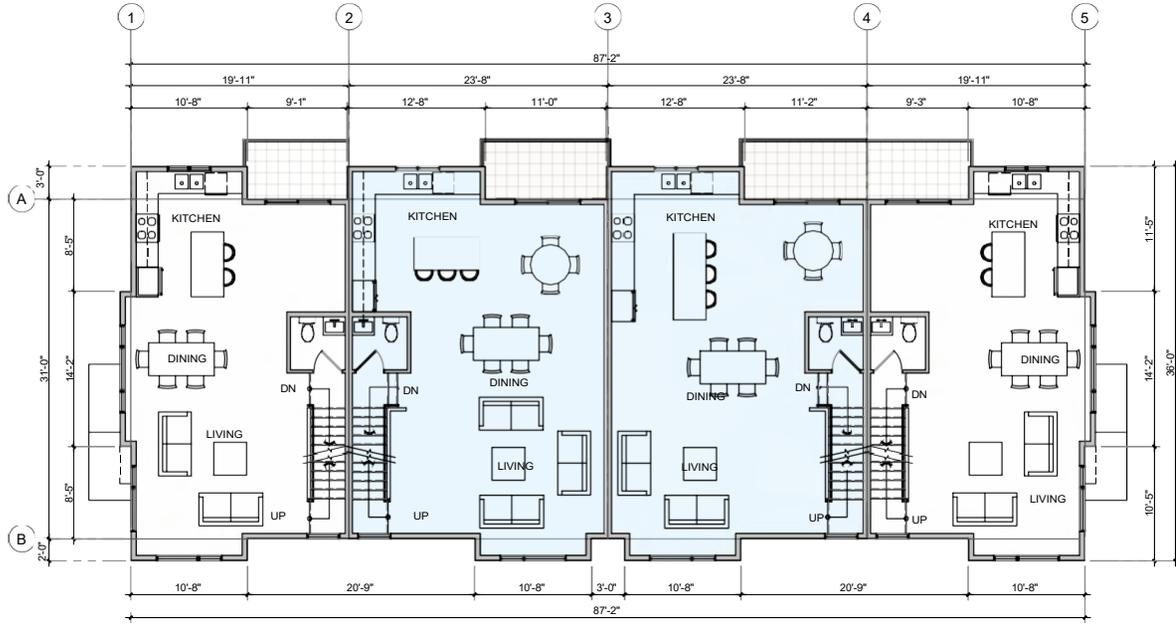
BUILDING TYPE B
FLOOR PLANS

DRAWING NO.:
A-202 **E**

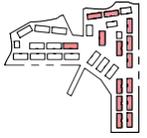
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1 BUILDING TYPE C MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



NOTES:



NO.	DATE	DESCRIPTION
2021-10-22	A	PREPARED FOR DP
2021-09-29	B	UPDATED DP DRAWINGS
2021-06-29	C	ISSUED FOR PM
2021-08-24	D	PRELIMINARY SITE LAYOUT
2021-02-27	E	PRELIMINARY SITE LAYOUT



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PROJECT:
16487 & 16483 - 89 Ave.,
SURREY, BC

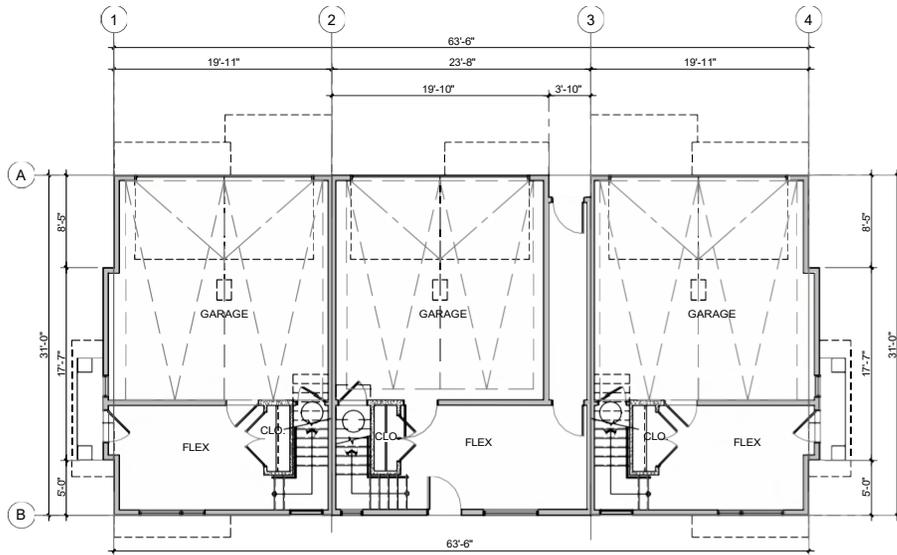
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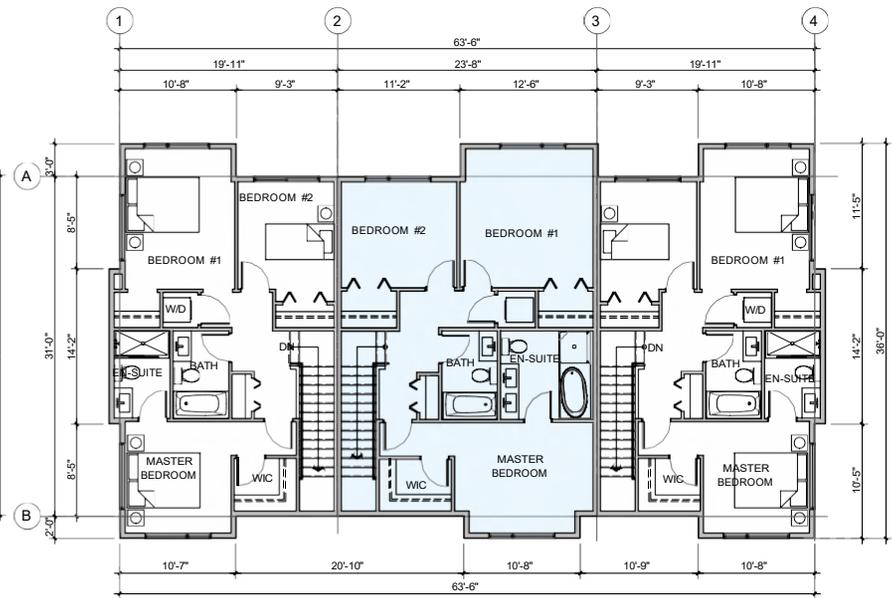
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CHECKED	ZB
SCALE	-
JOB No.	208-144
DATE	JUL 2021
SHEET TITLE:	

BUILDING TYPE C
FLOOR PLANS

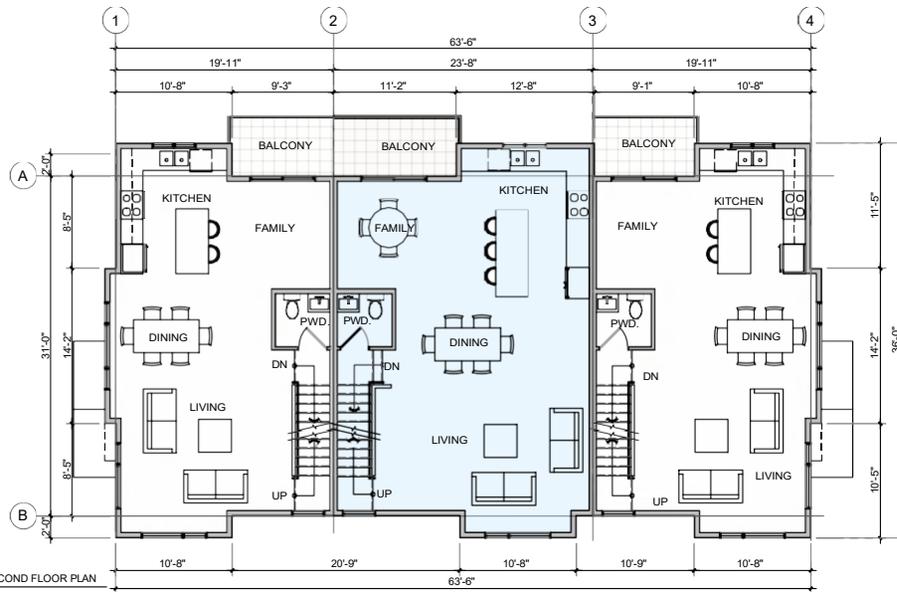
DRAWING NO.:	A-203	E
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1 BUILDING TYPE D MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 BUILDING TYPE D THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



3 BUILDING TYPE D SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTES:



NO.	DATE	DESCRIPTION
2021-10-22		REVISED FOR GP
2021-09-10		UPDATED DP DRAWINGS
2021-06-29		ISSUED FOR PM
2021-06-23		PRELIMINARY SITE LAYOUT
2021-02-27		PRELIMINARY SITE LAYOUT



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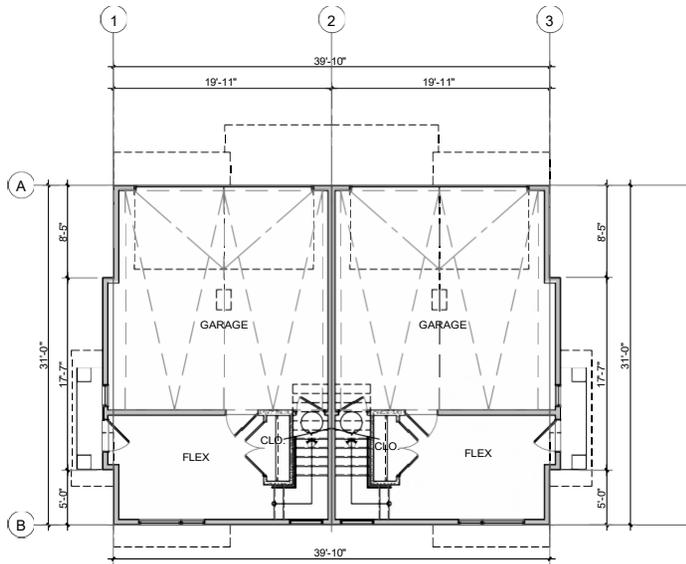
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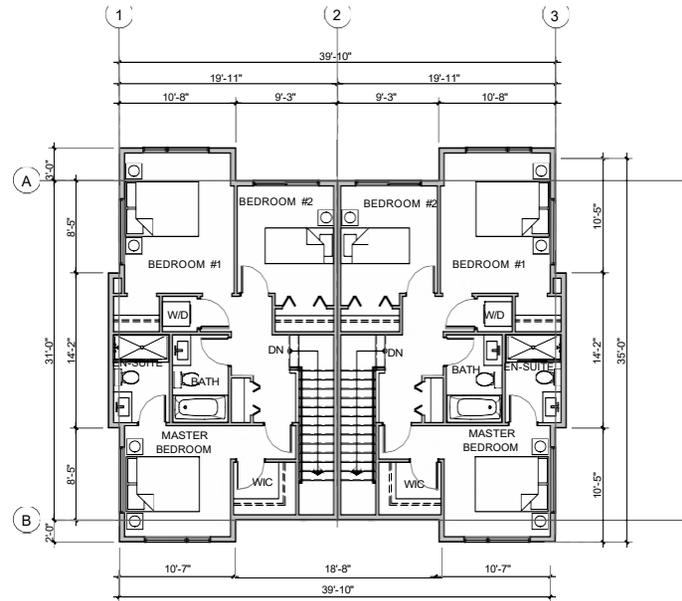
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CHECKED	ZP
SCALE	-
JOB No.	SR-144
DATE	APR 2021
SHEET TITLE	

BUILDING TYPE D
FLOOR PLANS

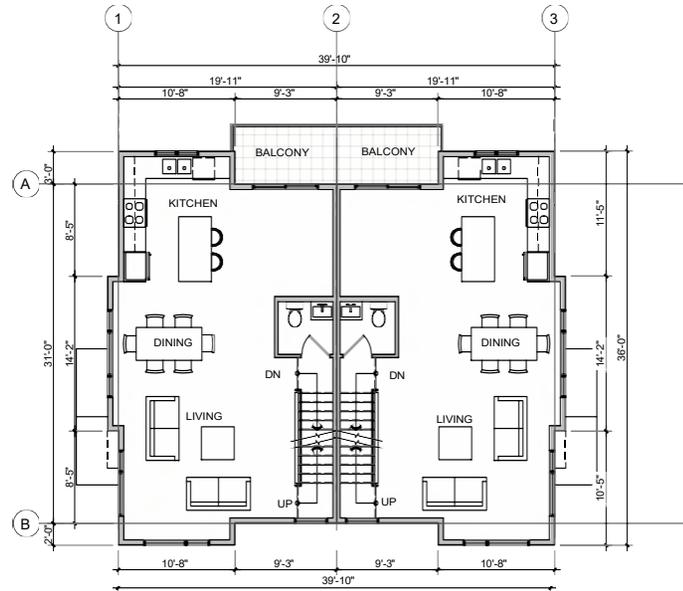
DRAWING NO.:
A-205 **E**



1 BUILDING TYPE E MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"

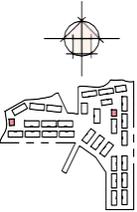


2 BUILDING TYPE E THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



3 BUILDING TYPE E SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTES:



NO.	DATE	DESCRIPTION
2021-10-22	REISSUED FOR DP	
2021-09-03	UPDATED DP DRAWINGS	
2021-06-29	ISSUED FOR PM	
2021-08-24	PRELIMINARY SITE LAYOUT	
2021-02-27	PRELIMINARY SITE LAYOUT	



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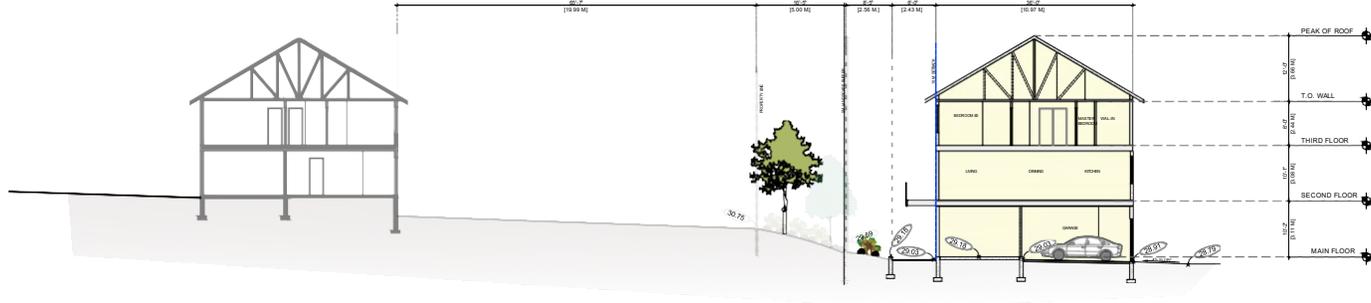
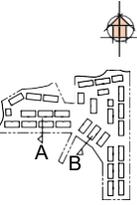
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CHECKED	ZP
SCALE	-
JOB No.	SR-144
DATE	APR 2021
SHEET TITLE	

BUILDING TYPE E
FLOOR PLANS

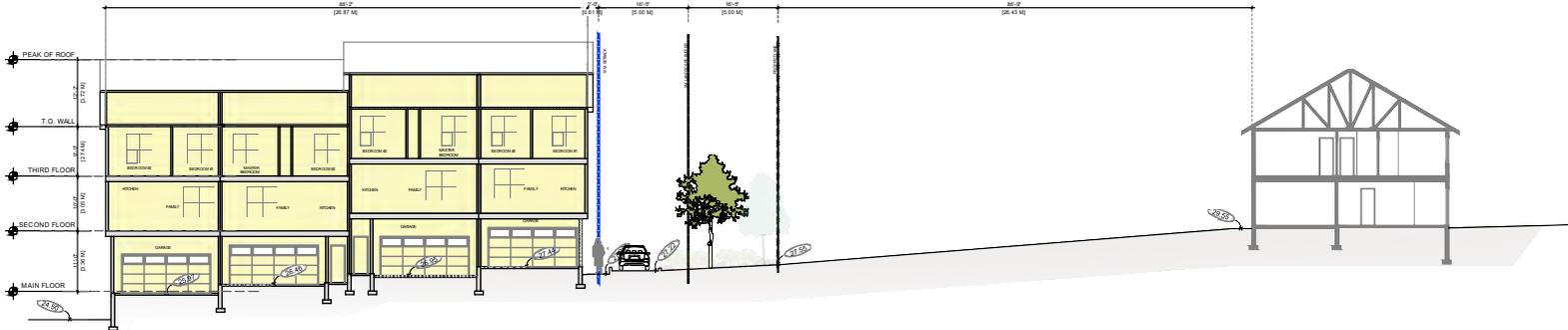
DRAWING NO.:
A-206 **E**

NOTES:



1 SECTION-A
SCALE: 3/32" = 1'-0"

NO.	DATE	DESCRIPTION
2021-10-22	F	REISSUED FOR DP
2021-09-03	D	UPDATED FOR DRAWINGS
2021-08-29	C	ISSUED FOR PM
2021-06-24	B	PRELIMINARY SITE LAYOUT
2021-02-27	A	PRELIMINARY SITE LAYOUT



2 SECTION-B
SCALE: 3/32" = 1'-0"



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PROJECT:
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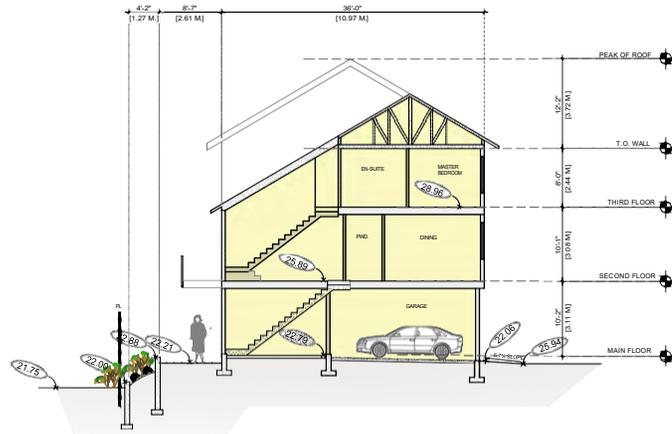
DATE:
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NO.	DATE	DESCRIPTION
DRAWN	AL	
CHECKED	ZB	
SCALE	-	
JOB No.	508-144	
DATE	JUL 2021	
SHEET TITLE:		

SECTIONS

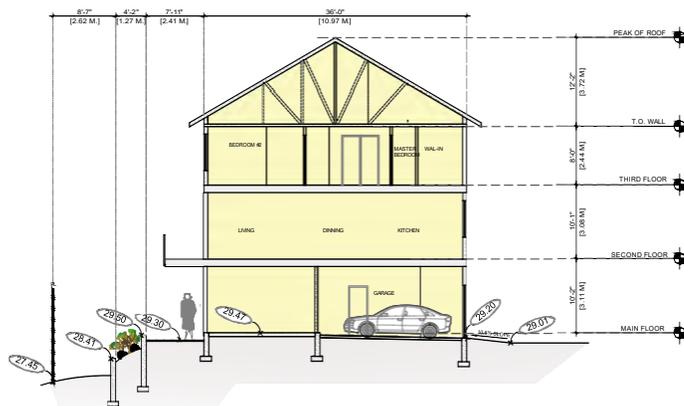
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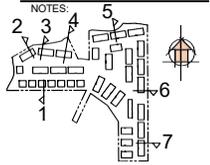
1 SECTION-5
SCALE: 1/8" = 1'-0"



2 SECTION-6
SCALE: 1/8" = 1'-0"



3 SECTION-7
SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
2021-10-22	A	REISSUED FOR DP
2021-09-03	B	UPDATED DP DRAWINGS
2021-06-29	C	ISSUED FOR PM
2021-06-24	D	PRELIMINARY SITE LAYOUT
2021-02-27	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD
RICHMOND, BRITISH COLUMBIA
CANADA, V6X 3Z5
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info@dfarchitect.com

PROJECT:
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CHECKED	ZB
SCALE	-
JOB No.	SUR-144
DATE	JAN 2021
SHEET TITLE	

SECTIONS

DRAWING NO.	
A-402	E

TOTAL PL. AREA: 1007.00 SQ. METERS (3303.00 SQ. FEET)

East Creek Townhomes

Issued for Development Permit

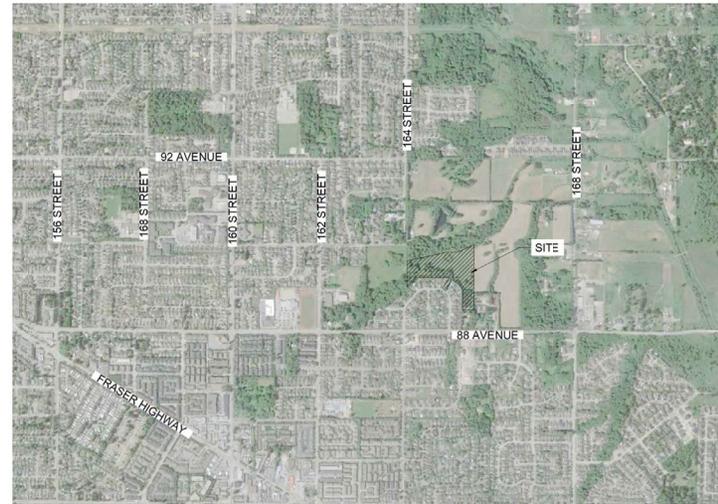
Contact Information	Other Key Contacts:	
VDZ+A Project Landscape Architecture Fort Langley Studio 100 - 9181 Church Street Fort Langley, British Columbia, V1M 2R8 Mount Pleasant Studio 102-355 Kingsway Vancouver, British Columbia, V5T 3J7 Primary project contact: Andrew Danielson andrew@vdz.ca o. 604 546 0931 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	Type name here Project Owner Address 1 Address 2 Phone	df Architecture Project Building Architecture 1205-4871 Shell Road Richmond, BC V6X 3Z6 p. 604 284 5194

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03A	SITE PLAN A
L-03B	SITE PLAN B
L-03C	SITE PLAN C
L-04	PLANTING PALLETTE
LD-01A	HARDSCAPE DETAILS
LD-01B	HARDSCAPE DETAILS
LD-02A	FENCE DETAILS
LD-02B	FENCE DETAILS
LD-03A	SITE FURNITURE DETAILS
LD-03B	SITE FURNITURE DETAILS
LD-04A	STRUCTURE DETAILS
LD-05	PLANTING DETAILS



1 SITE PLAN OVERVIEW
 Scale: 1:750



2 LOCATION MAP
 N.T.S.

No.	By:	Description	Date
3	AD	Issued for DP	Feb. 25, 2022
2	AD	Issued for DP	Oct. 26, 2021
1	AD	Issued for DP	Sep. 3, 2021

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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
EAST CREEK TOWNHOMES

Location:
 16483 89 AVENUE
 SURREY, B.C.

Drawn: AD	Stamp:
Checked: AD	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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Drawing Title:
COVER PAGE



Project:
DP2021-58

Drawing #:
L-01

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LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-01A	CONCRETE PAVING
	4 LD-01A	STAMPED CONCRETE PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	7 LD-01A	PERMEABLE CONCRETE UNIT PAVING
	1 LD-01B	HYDRAPRESSED SLABS
	5 LD-01B	GRANULAR PAVING
	2 LD-03B	RUBBER SAFETY SURFACE
	1 LD-02B	REARYARD FENCE
	2 LD-02B	SIDEYARD FENCE
	4 LD-02B	AMENITY FENCE
	3 LD-02B	FRONT YARD FENCE
	1 LD-03A	WASTE RECEPTACLE
	1 LD-03A	BENCH
	2 LD-03A	BIKE RACK
	3 LD-03A	PICNIC TABLE
		PATIO TABLE BY OWNER
	4 LD-03A	BOLLARD LIGHT
	5 LD-03A	PEDESTRIAN LIGHT
		SOD See landscape notes for specifications
		SHRUB PLANTING

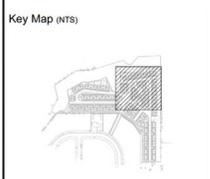
MATCHLINE - SEE SHEET L-03B



MATCHLINE - SEE SHEET L-03C



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No.	By	Description	Date
3	AD	Issued for DP	Feb. 25, 2022
2	AD	Issued for DP	Oct. 26, 2021
1	AD	Issued for DP	Sep. 3, 2021

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

Drawn: AD	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
1:200

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Drawing Title:
SITE PLAN A



VDZ Project #:
DP2021-58

Drawing #:
L-03A



No.	By	Description	Date
3	AD	Issued for DP	Feb. 25, 2022
2	AD	Issued for DP	Oct. 26, 2021
1	AD	Issued for DP	Sep. 3, 2021

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
EAST CREEK TOWNHOMES

Location:
 16483 89 AVENUE
 SURREY, B.C.

Drawn: AD	Stamp:
Checked: MVDZ	 <small>CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REQUIREMENTS MUST BE CONSTRUCTION AND BE LABELLED ISSUED FOR TENDER/CONSTRUCTION.</small>
Approved: MVDZ	
Scale: 1:200	Original Sheet Size: 24"x36"



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION	7 LD-01A	PERMEABLE CONCRETE UNIT PAVING	1 LD-02B	REARYARD FENCE	1 LD-03A	BENCH	5 LD-03A	PEDESTRIAN LIGHT
	4 LD-01A	CONCRETE PAVING		1 LD-01B	HYDRAPRESSED SLABS		2 LD-02B	SIDEYARD FENCE	2 LD-03A	BIKE RACK
	4 LD-01A	STAMPED CONCRETE PAVING		5 LD-01B	GRANULAR PAVING		4 LD-02B	AMENITY FENCE	3 LD-03A	PICNIC TABLE
	5 LD-01A	CONCRETE UNIT PAVING		2 LD-03B	RUBBER SAFETY SURFACE		3 LD-02B	FRONT YARD FENCE	4 LD-03A	PATIO TABLE BY OWNER
	5 LD-01A	CONCRETE UNIT PAVING		1 LD-03B	WASTE RECEPTACLE		4 LD-03A	BOLLARD LIGHT		SHRUB PLANTING



Z:\PROJECTS\COLLUMBER FERRAMENT\DP2021-58 DP2021-58 EAST CREEK TOWNHOMES ELEVATIONS & SITE PLAN B.DWG

Z:\PROJECTS\DEVELOPMENT\PERMIT\2021\DP2021-58 - 16483 BAYVIEW EAST CREEK TOWNHOMES ELEVATED\0300 - LAYOUTS\0300 - SITE PLAN\LANDSCAPE\0300 - SITE PLAN L-03C.DWG



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No.	By	Description	Date
3	AD	Issued for DP	Feb. 25, 2022
2	AD	Issued for DP	Oct. 26, 2021
1	AD	Issued for DP	Sep. 3, 2021
No.	By	Description	Date

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Project:
EAST CREEK TOWNHOMES

Location:
 16483 89 AVENUE
 SURREY, B.C.

Drawn: AD
 Checked: MVDZ
 Approved: MVDZ
 Stamp: [Stamp]
 Original Sheet Size: 24" x 36"
 Scale: 1:200

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Drawing Title:
SITE PLAN C



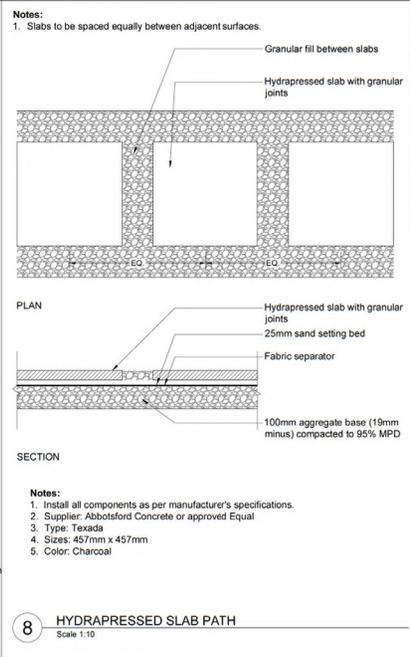
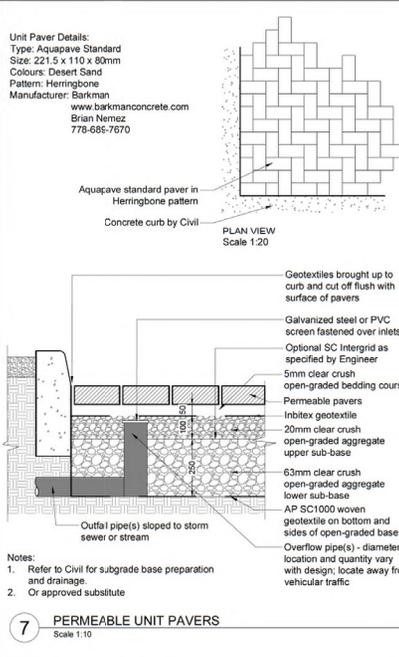
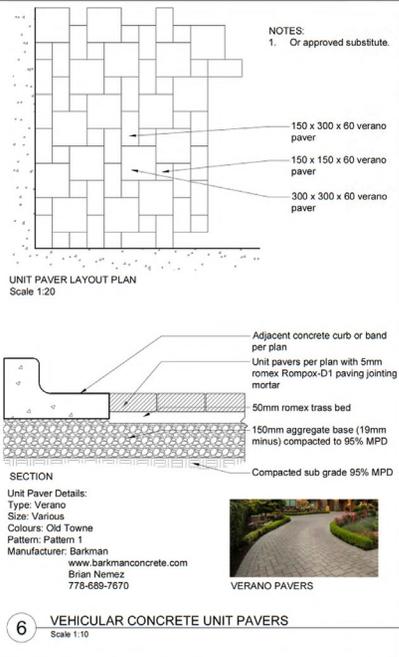
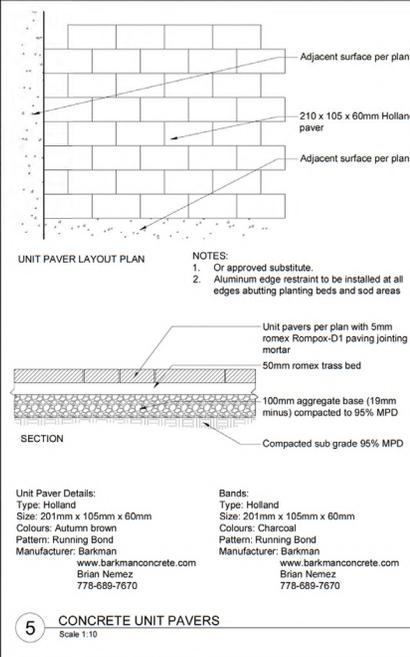
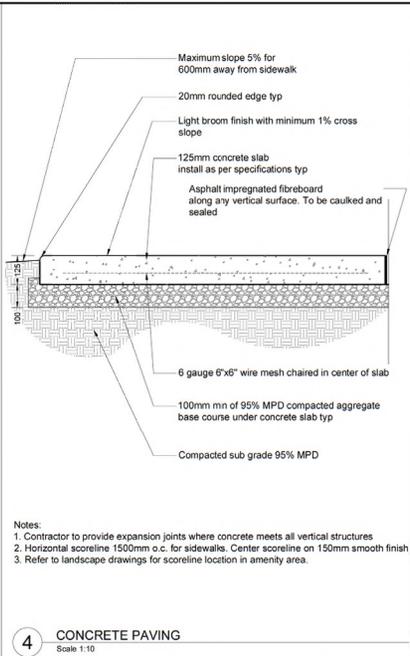
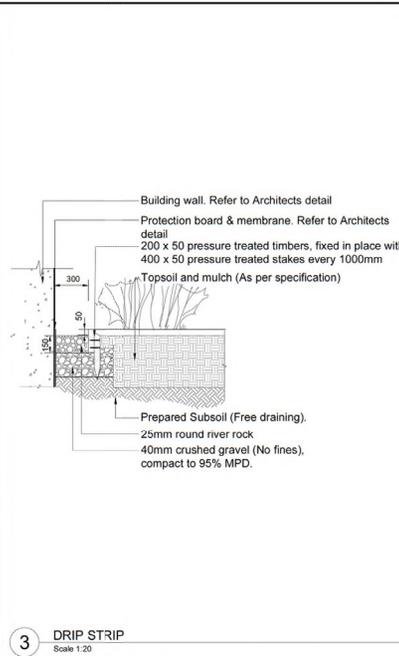
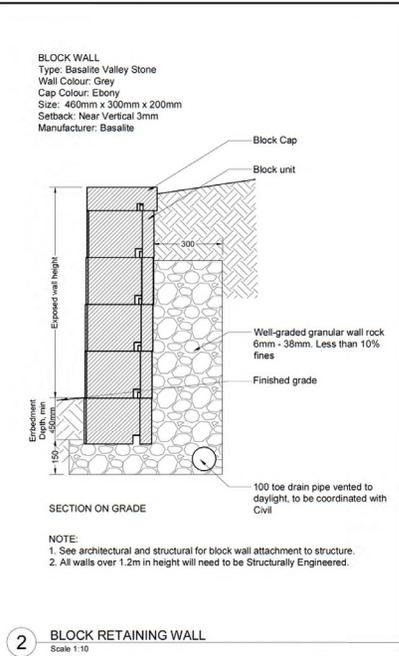
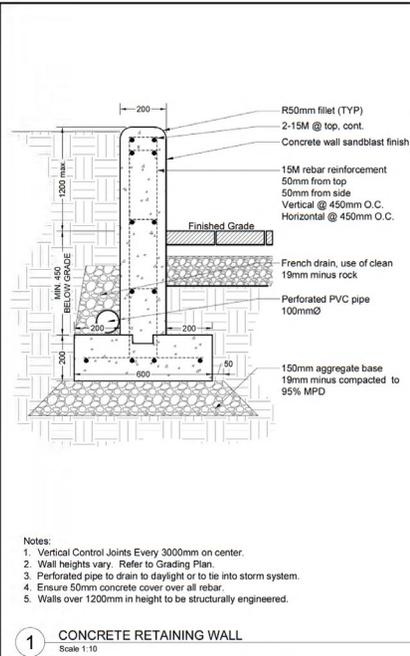
VDZ Project #:
DP2021-58

Drawing #:
L-03C

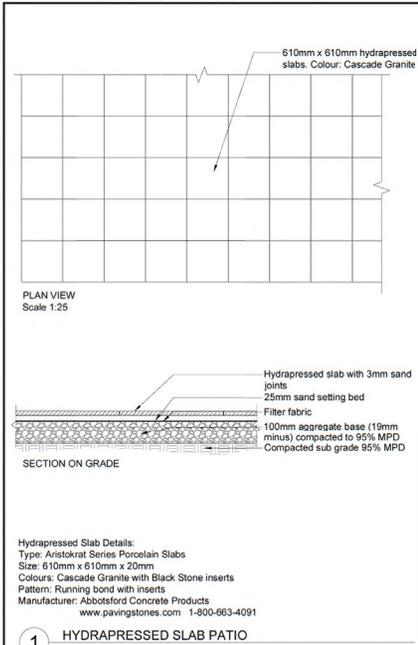
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-01A	CONCRETE PAVING
	4 LD-01A	STAMPED CONCRETE PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	5 LD-01A	CONCRETE UNIT PAVING
	7 LD-01A	PERMEABLE CONCRETE UNIT PAVING
	1 LD-01B	HYDRAPRESSED SLABS
	5 LD-01B	GRANULAR PAVING
	2 LD-03B	RUBBER SAFETY SURFACE
	2 LD-03A	BIKE RACK
	3 LD-03A	PICNIC TABLE
		PATIO TABLE BY OWNER
	4 LD-03A	BOLLARD LIGHT
	5 LD-03A	PEDESTRIAN LIGHT
		SOD See landscape notes for specifications
		SHRUB PLANTING
	1 LD-03B	WASTE RECEPTACLE
	1 LD-03A	BENCH

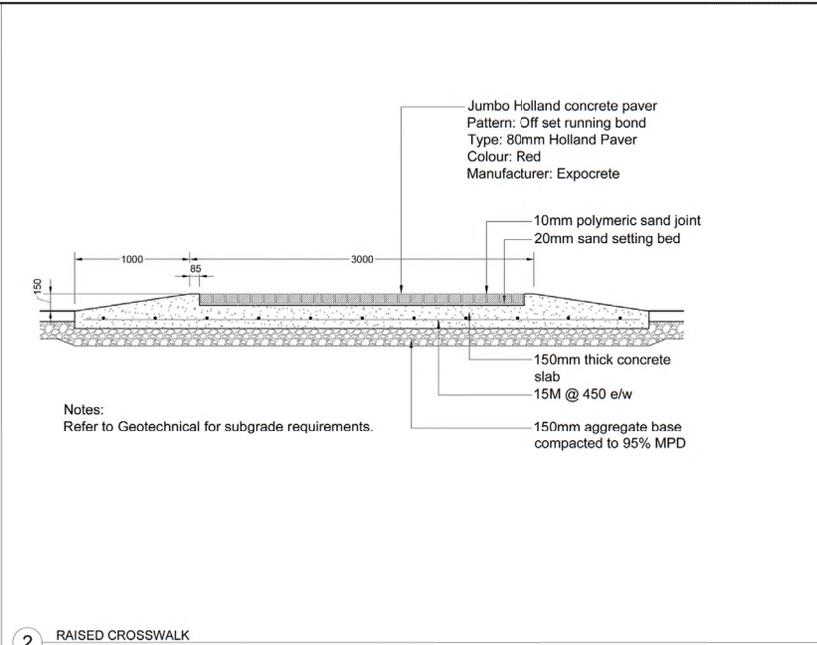




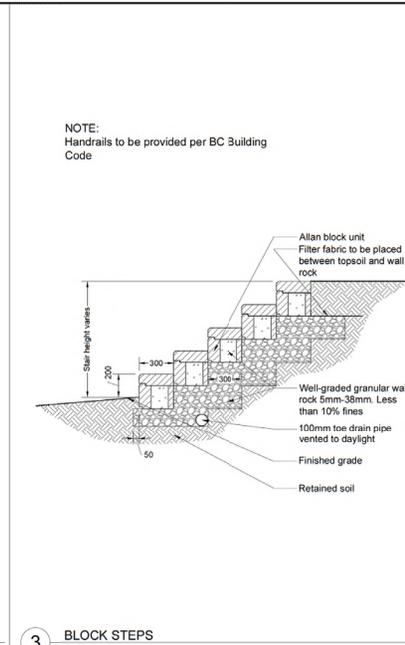
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1	AD	Issued for DP	Sep. 3, 2021
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REVISIONS TABLE FOR SHEET			
No.	By	Description	Date
Project: EAST CREEK TOWNHOMES			
Location: 16483 89 AVENUE SURREY, B.C.			
Drawn:	Stamp:		
AD			
Checked:			
AD			
Approved:	Original Sheet Size:		
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AS SHOWN			



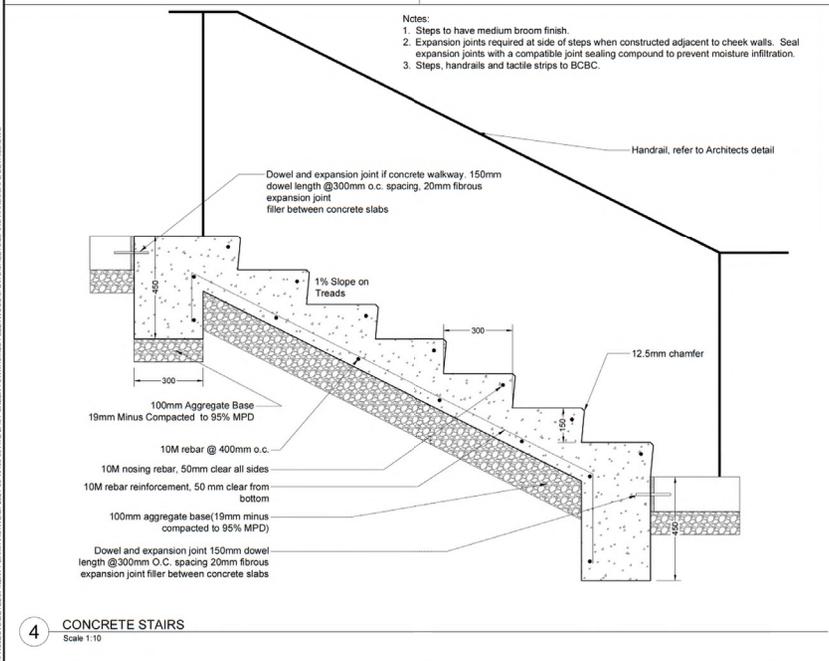
1 HYDRAPRESSED SLAB PATIO
Scale 1:10



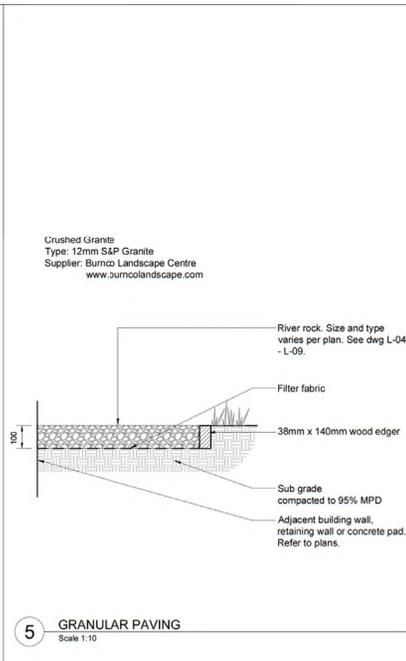
2 RAISED CROSSWALK
Scale 1:20



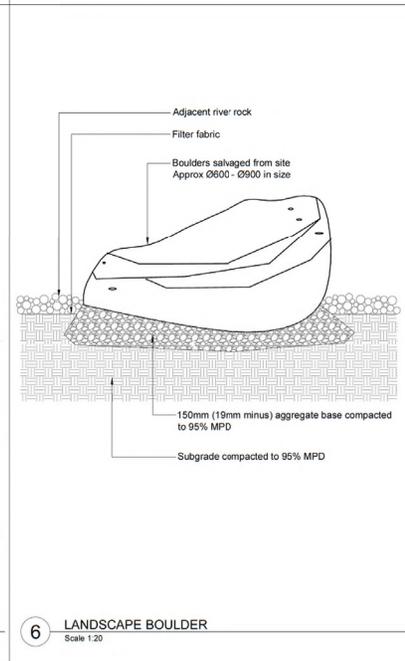
3 BLOCK STEPS
Scale 1:20



4 CONCRETE STAIRS
Scale 1:10



5 GRANULAR PAVING
Scale 1:10



6 LANDSCAPE BOULDER
Scale 1:20

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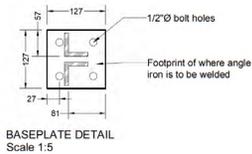
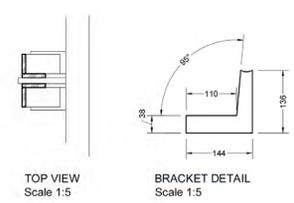
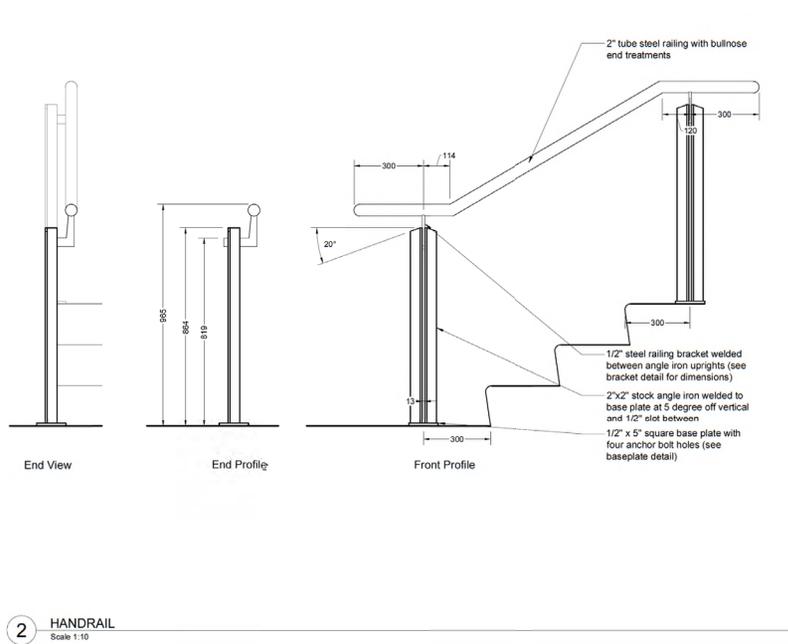
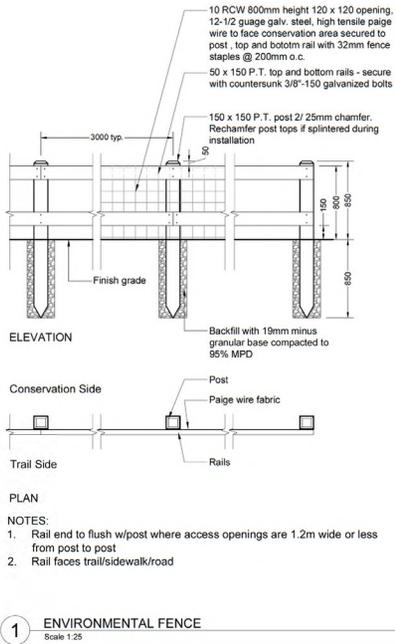
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

Drawn: AD	Stamp:
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Z:\PROJECTS\2021\2021-58 EAST CREEK TOWNHOMES\2021-58-HARDSCAPE-DETAILS\2021-58-HARDSCAPE-DETAILS.DWG



- NOTES:**
1. All metal components to be primed and painted "cloud" grey to match other metal work.
 2. All fasteners to be stainless steel
 3. Contractor to provide shop drawings

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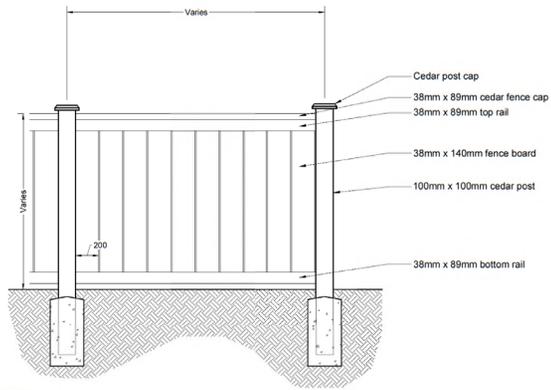
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Drawing Title: **FENCE DETAILS**
 Drawing #: **LD-02A**
 Project #: **DP2021-58**

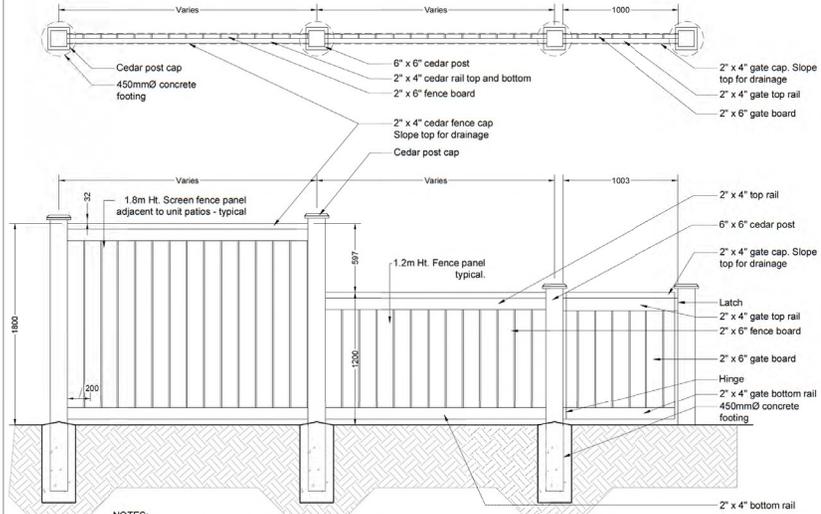
Z:\PROJECTS\DEVELOPMENT\TERRACE\TERRACE\2021-58\16483 89 AVENUE EAST CREEK TOWNHOMES ELEVATIONS\ENVIRONMENTAL FENCE DETAILS.DWG



- NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
 2. All wood to be S4S western red cedar.
 3. All wood to be sealed and painted charcoal (2 coats).

1 REAR YARD FENCE

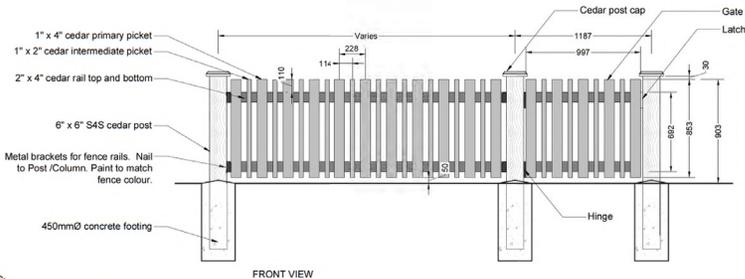
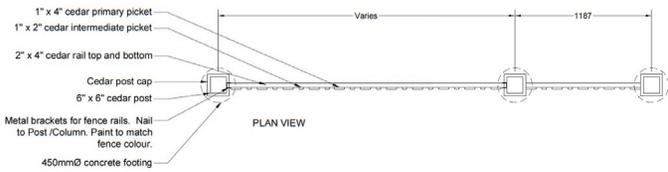
Scale 1:20



- NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
 2. All wood to be S4S western red cedar.
 3. All wood to be sealed and painted charcoal (2 coats).
 4. Spacing between wooden boards to be 13mm (1/2").
 5. Min. 4 screws per board.

2 SIDELAND FENCE

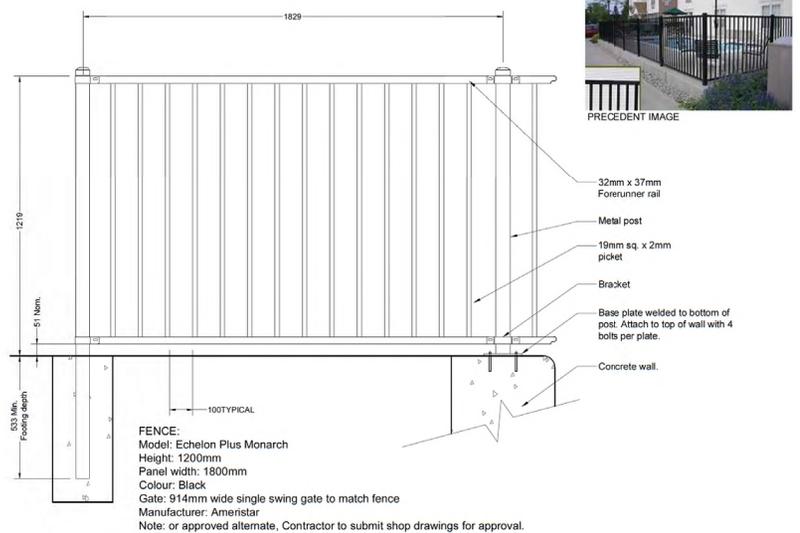
Scale 1:20



- NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
 2. All wood to be S4S western red cedar.
 3. All wood to be sealed and painted charcoal (2 coats).
 4. Amenity area gate to be compliant with sentence 3.3.1.13 (2) and (10) respectively.
 5. Min. 4 screws per board.

3 FRONT YARD FENCE

Scale 1:20



- FENCE:
- Model: Echelon Plus Monarch
 - Height: 1200mm
 - Panel width: 1800mm
 - Colour: Black
 - Gate: 914mm wide single swing gate to match fence
 - Manufacturer: Ameristar
- Note: or approved alternate, Contractor to submit shop drawings for approval.

4 AMENITY FENCE

Scale 1:10

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Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

Drawn: AD Stamp:

Checked: AD

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: AS SHOWN

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NOTES:

1. Install bench to manufacturers specifications.
2. Concrete pad to be included at all bench locations.
3. Size of concrete pad as noted on details unless shown otherwise on plans.
4. Or approved substitute.
5. Refer to concrete paving detail for additional information on concrete pad.

Bench
 Model Number: MLB870-W
 Size: 1765mm
 Options: Center Arm
 Wood Colour: IPE Wood
 Metal Colour: Gloss Black

Manufacturer: Maglin
 maglin.com
 Note: or approved equal

Bench by Maglin
 Stainless steel bolt down kit installed per manufacturers specifications

125mm depth by 900mm x 2000mm concrete pad at each bench location

1 BENCH
Scale: 1:10

NOTES:

1. Install to manufacturers specifications.
2. Concrete pad to be included at all waste receptacle locations.
3. Size of concrete pad as noted on details unless shown otherwise on plans.
4. Or approved substitute.
5. Refer to concrete paving detail for additional information on concrete pad.

MBR350-4-S bike rack by Maglin
 Stainless steel bolt down kit installed per manufacturers specifications

Bike Rack
 Model Number: MBR350-4-S
 Size: 1565mm x 959mm
 Metal Colour: Gloss Black

Manufacturer: Maglin
 maglin.com
 Note: or approved equal

2 BIKE RACK
Scale: 1:10

Picnic table with chess board
 Model Number: MTB-1100
 Options: Game Board
 Wood Colour: IPE Wood
 Metal Colour: Gloss Black

Manufacturer: Maglin
 maglin.com
 Note: or approved equal

3 PICNIC TABLE
N.T.S.

Specification Sheet

lumenpulse

BOLLARD LIGHT:
 Type: Element Bollard
 Colour: Black
 Manufacturer: Lumenpulse
 Supplier: Meaghan Boyd
 CD/M2 Lightworks
 330-825 Powell Street
 Vancouver BC, V6A 1H7
 Note: final light fixture to be coordinated with Electrical.

4 BOLLARD LIGHT
N.T.S.

Specification Sheet

lumenpulse

PEDESTRIAN LIGHT:
 Type: Element Column
 Finish: Black
 Height: 4645mm
 Manufacturer: Lumenpulse
 Supplier: Meaghan Boyd
 CD/M2 Lightworks
 330-825 Powell Street
 Vancouver BC, V6A 1H7
 Note: final light fixture to be coordinated with Electrical.

5 PEDESTRIAN LIGHT
N.T.S.

Notes:

1. Jambette cable structure.
2. Install per manufacturers specifications.
3. Footing to be coordinated with structural.

ROPE CLIMBER
N.T.S.

6 ROPE CLIMBER
N.T.S.

Notes:

1. Jambette playstructure.
2. Install per manufacturers specifications.
3. Concrete footing to be coordinated with structural.

PLAY STRUCTURE
N.T.S.

7 PLAY STRUCTURE
N.T.S.

Notes:

1. Jambette play structure.
2. Install per manufacturers specifications.
3. Concrete footing to be coordinated with structural.

SPINNER TOY
N.T.S.

8 SPINNER TOY
N.T.S.

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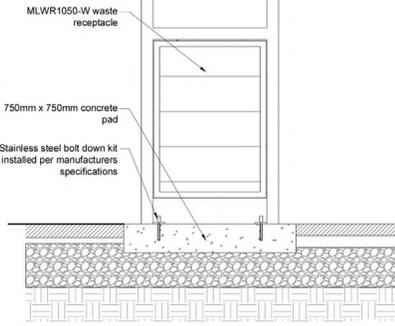
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Project:
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- NOTES:
1. Install to manufacturers specifications.
 2. Concrete pad to be included at all waste receptacle locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.

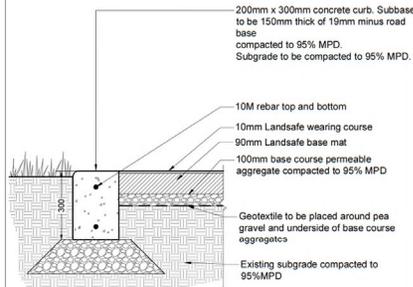


WASTE RECEPTACLE
Model Number: MLWR1050-W
Size: 750mm x 537mm x 537mm
Wood Colour: IPE Wood
Metal Colour: Gloss Black

Manufacturer: Maglin
Maglin.com
Note: or approved equal



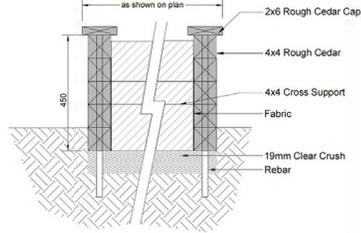
1 WASTE RECEPTACLE
Scale 1:10



Note:
Rubber colour to be:
Softline solutions
Colour: TBD

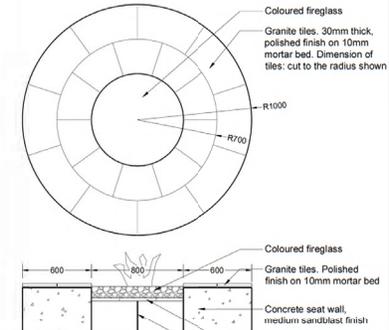
- NOTES:
1. Poured in place rubber safety surface.
 2. Colours and pattern per plan.
 3. By Marathon surfaces or approved alternate.

2 RUBBER SAFETY SURFACE
Scale 1:10



- NOTES:
1. Cap to be sanded smooth.
 2. Cap and exterior or planter to be treated with Sikkenes Cetol WB SRD, Colour: #077 (Cedar)
 3. All fasteners to be not dipped galvanized
- AT GRADE COMMUNITY GARDEN PLOTS
1. Granular or wood chip around plots.
 2. Plot size 1m x 2m.
 3. Cedar frames.
 4. Top of plot ±300mm above grade.

3 COMMUNITY GARDEN PLOT
Scale 1:10

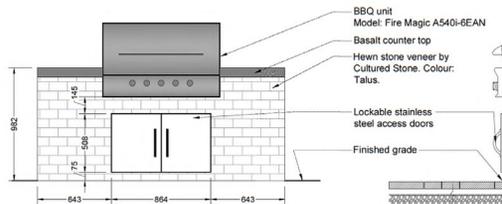


- NOTES:
1. Fire place burner to be supplied by Vancouver Gas Fireplaces at 604-732-3470.

4 FIRE PIT
Scale 1:20

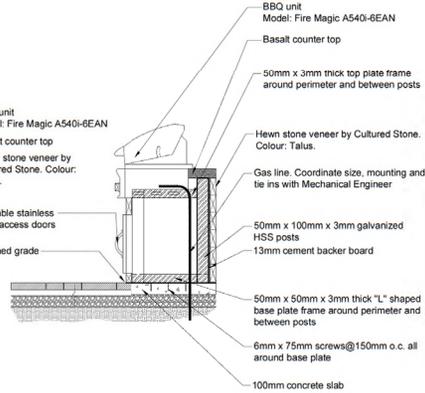


5 GAZEBO
N.T.S.



6 OUTDOOR KITCHEN
Scale 1:20

- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model Model: Fire Magic A540i-6EAN or approved substitute.



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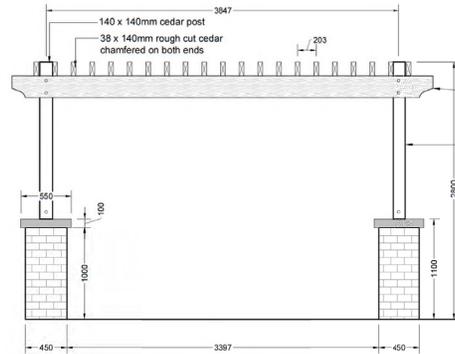
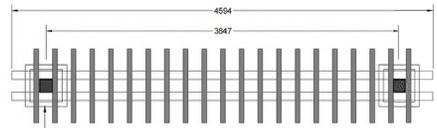
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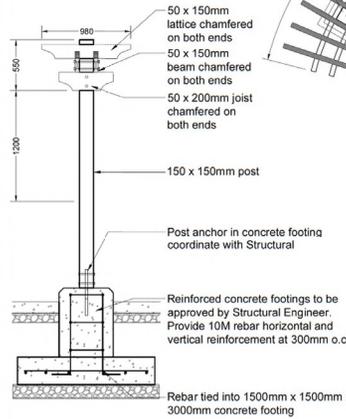
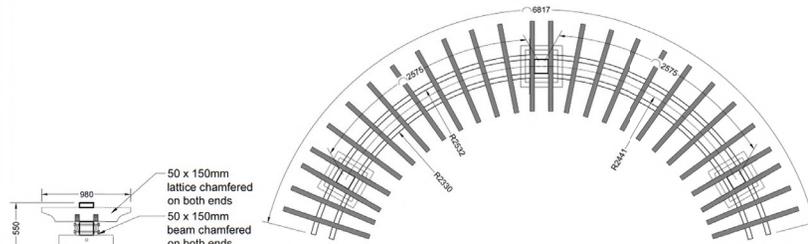
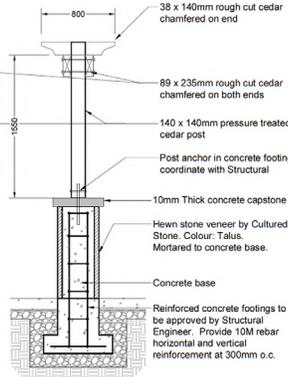
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- Notes:
1. All metal hardware to be hot dip galvanized and painted black.
 2. All wood to be sealed and painted charcoal (2 coats).
 3. Contractor to submit shop drawings for approval.

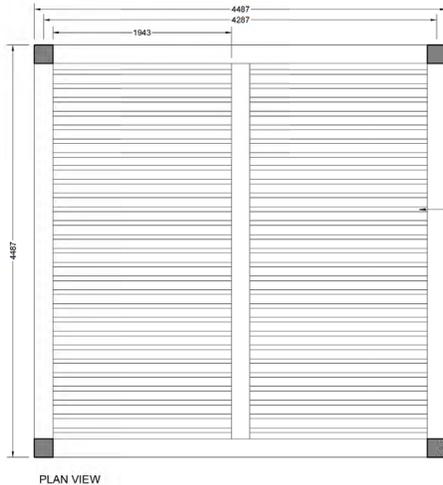


- Notes:
1. All metal hardware to be hot dip galvanized and painted black.
 2. Use Sikkens oak colour stain on all Wood elements.
 3. All wood to be S4S DF#1.
 4. Contractor to submit shop drawings for review.

1 STRAIGHT TRELLIS
Scale 1:25

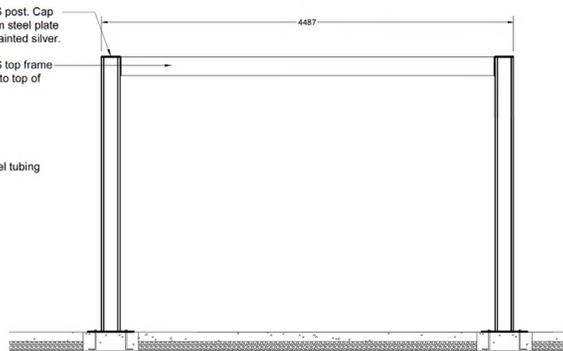
2 CURVED TRELLIS
Scale 1:25

- NOTES:
1. All steel to be painted silver to match site furnishings.
 2. All cedar to be treated with Sikkens Catol SRD. Colour: Mahogany
 3. All hardware and fasteners to be hot dipped galvanized and painted silver.



200mm x 200mm HSS post. Cap top of posts with 10mm steel plate welded in place and painted silver.

200mm x 200mm HSS top frame painted silver, welded to top of each post.



CABANA SECTION THROUGH POSTS

3 AMENITY TRELLIS
Scale 1:25



SQUARE AND RECTANGULAR TRELLIS
1. Wood members.
2. Embedded in concrete footings.

4 MAILBOX TRELLIS
N.T.S.

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

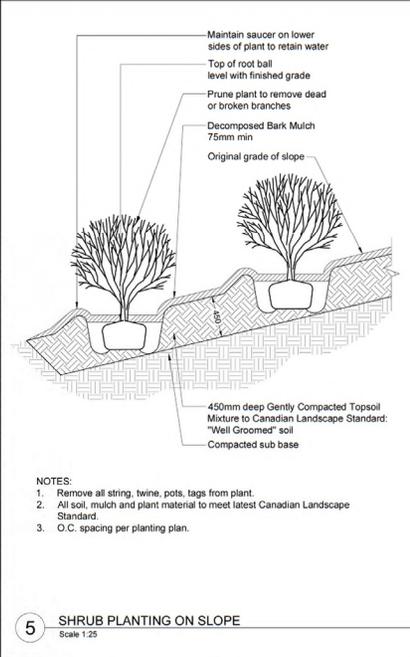
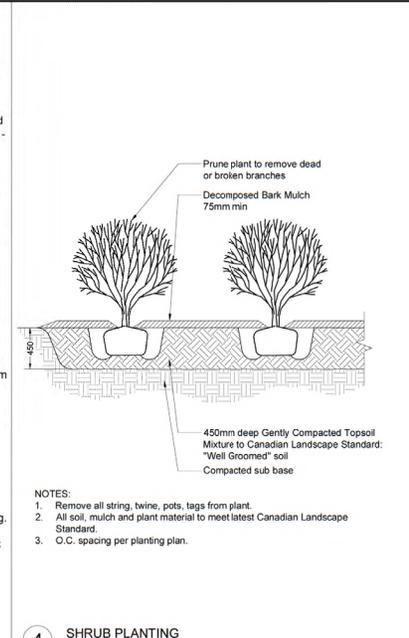
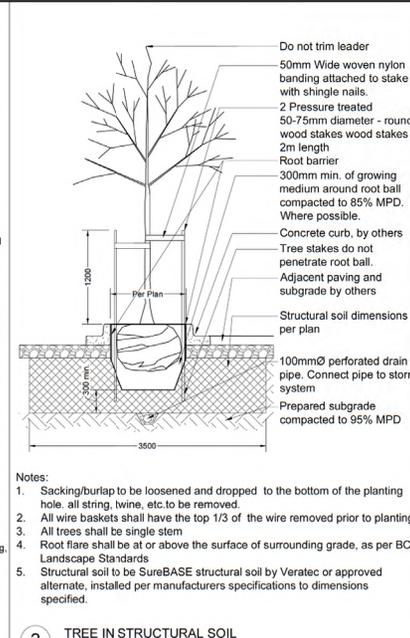
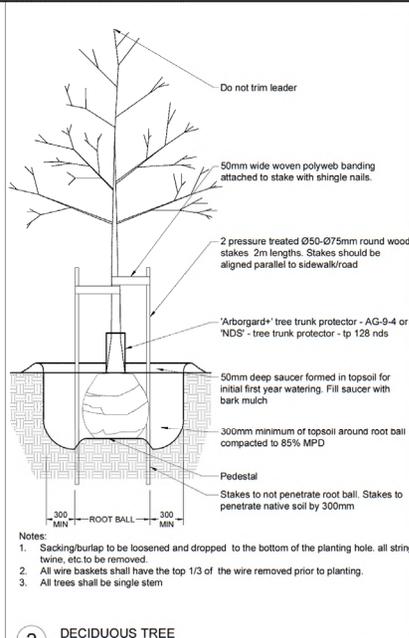
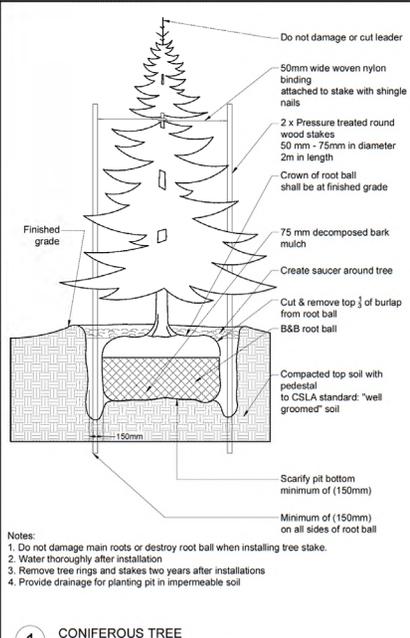
Project:
EAST CREEK TOWNHOMES

Location:
16483 89 AVENUE
SURREY, B.C.

Drawn: AD	Stamp:
Checked: AD	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS SHALL BE MADE BY THE CONSULTANT AND MUST BE LABELLED ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\CONCRETE\PROJECTS\2021\58 EAST CREEK TOWNHOMES\16483\STRUCTURE DETAILS



No.	By	Description	Date
3	AD	Issued for DP	Feb. 25, 2022
2	AD	Issued for DP	Oct. 26, 2021
1	AD	Issued for DP	Sep. 3, 2021

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: EAST CREEK TOWNHOMES			
Location: 16483 89 AVENUE SURREY, B.C.			

Drawn: AD	Stamp:
Checked: AD	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE SPECIFIED. CONSTRUCTION LINE IS LABELED ISSUED FOR TENDER/CONTRACTOR.

Z:\PROJECTS\ENVIRONMENTAL\FACTORY\DP2021-58\16483 89 AVENUE EAST CREEK TOWNHOMES SHEET 00205.DWG (DATE PLOTTED) 26/10/2021 10:58:00 AM

PROPOSED SUBDIVISION PLAN OF
 LOTS 2 AND 3 PLAN LMP20B48;
 ALL OF SECTION 36 TOWNSHIP 2 NEW WESTMINSTER DISTRICT

PLAN EPP

DRAFT: FEB-28-2022

CIVIC ADDRESSES:

16483 & 16487 89th Ave, Surrey, BC

LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES LEAD PLUMB FOUND
- DENOTES LEAD PLUMB SET
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST SET
- WT DENOTES WITNESS
- no DENOTES HECTARES
- m² DENOTES SQUARE METRES
- REF. DENOTES REFERENCE
- EX. DENOTES EXPLANATORY
- NF DENOTES NOT FOUND
- NSP DENOTES NOT SUITABLE FOR POSTING
- U DENOTES UNKNOWN CORNER
- FP DENOTES POSTING PLAN
- BR DENOTES BLOCK

Coordinates are shown for mapping purposes only.

Note:
 This plan shows one or more witness points
 which are NOT set on the true corner(s).
 Witness post locations are exaggerated for clarity.



SCALE 1 : 750

ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 864mm in width and
 580mm in height (A) size when plotted at a scale of 1/750.

INTEGRATED SURVEY AREA No. 1, SURVEY

NAD 83 (CSRS) 440262119HD
 Grid bearings are derived from conventional survey observations
 to geodetic control monuments S24282 and S551 and are
 referred to the central meridian of UTM Zone 18N.

The UTM coordinates and estimated absolute accuracy achieved
 are derived from GNSS/RTK based information.

This plan shows horizontal ground-level distances unless otherwise
 specified. To compute grid distances, multiply ground-level
 distances by the average combined factor of 0.9998000, which
 has been derived from control monument S24282.

