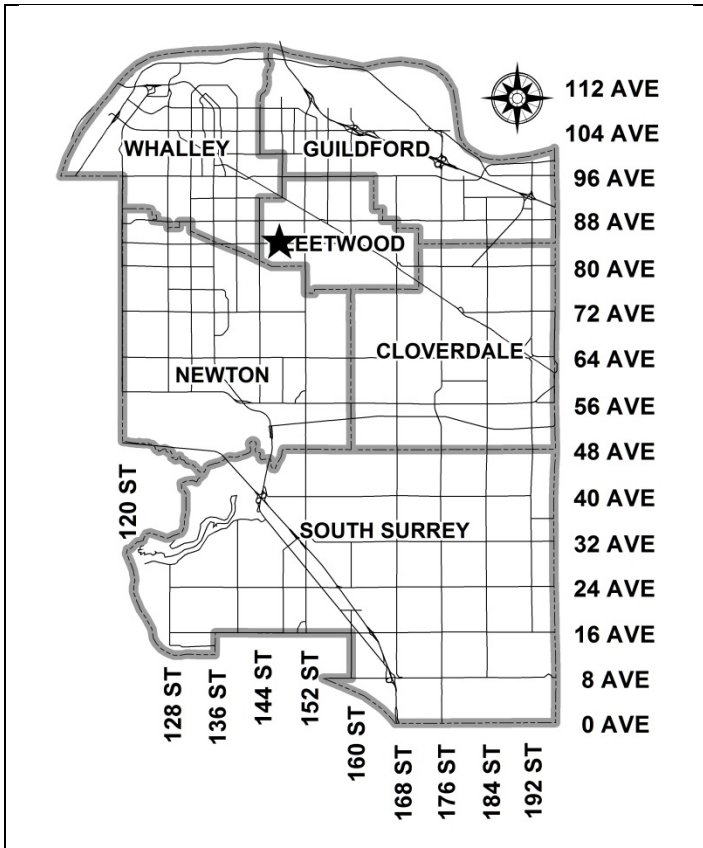


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0274-00

Planning Report Date: September 11, 2017



**PROPOSAL:**

- **Development Variance Permit**

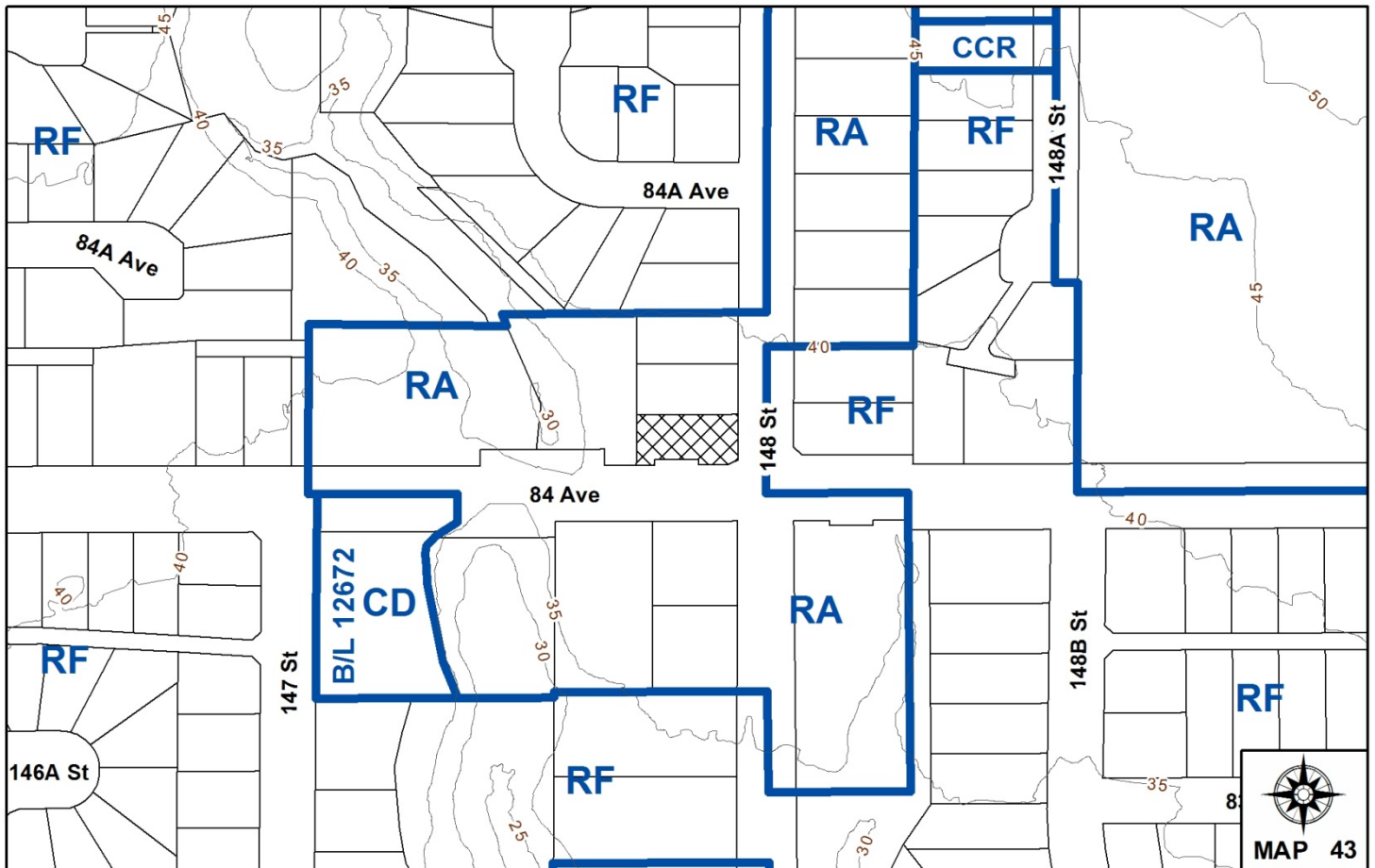
to reduce the south side yard on a flanking street setback in order to construct a single family dwelling.

**LOCATION:** 8407 - 148 Street

**OWNER:** Jagmel Somal  
 Karamjit Somal

**ZONING:** RA

**OCP DESIGNATION:** Urban



### RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- To permit the construction of a single family dwelling, the applicant is seeking to vary the side yard on a flanking street setback for an undersized RA-zoned lot, which is subject to the setback requirements of the RF Zone.

### RATIONALE OF RECOMMENDATION

- The subject property is 633 square metres (6,813 sq. ft.) in area. For RA-zoned urban residential lots that are 1,858 square metres (0.5 acre) or less in area, the regulations of the RF Zone apply.
- In accordance with Part 7 Special Building Setbacks of the Zoning By-law, the setbacks of lots flanking or fronting an arterial or collector road are measured from the centerline of the ultimate road allowance.
- 84 Avenue, which flanks the south side of the subject property, is classified as an arterial road. 84 Avenue requires an ultimate road width of 30 metres (100 ft.).
- The existing south property line is approximately 10 metres (33 ft.) from centerline, while the ultimate south property line is 15 metres (50 ft.) from centerline. Therefore, the setback baseline is approximately 5 metres (16 ft.) north of the existing property line.
- The proposed setback reduction will allow the applicant to construct a house with a width of approximately 9.8 metres (32 feet) allowing for a more proportional front façade and efficient floor plan, while decreasing the potential visual dominance of the garage element.
- Staff supports the requested variance to proceed to Public Notification.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7917-0274-00 (Appendix III), to reduce the minimum south side yard on a flanking street setback of the RA Zone, which references the RF Zone for urban residential lots less than 1,858 square metres (0.5 acres) in area, from 3.6 metres (12 ft.) to 2.4 metres (8 ft.) for the principal building, to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling (to be demolished).

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings	Urban	RA
East (Across 148 Street):	Single family dwellings	Urban	RA and RF
South (Across 84 Avenue):	Single family dwellings (proposed 5-lot subdivision under Development Application No. 7914-0150-00)	Urban	RA (proposed rezoning to RF-12 under Development Application No. 7914-0150-00)
West:	Single family dwellings, Price Creek (Red-coded)	Urban	RA

DEVELOPMENT CONSIDERATIONSBackground

- The 633 square metre (6,813 sq. ft.) subject lot is located at 8407 – 148 Street in Fleetwood.
- The subject lot is designated Urban in the Official Community Plan and is zoned "One-Acre Residential Zone (RA)".

- The density, lot coverage and building setbacks of the RF Zone are applicable to the subject property as it is an RA-zoned, Urban-designated lot that is 1,858 square metres (0.5 acres) in area or less.

### Special Building Setback

- 84 Avenue, which flanks the subject lot, is classified as an arterial road. For lots fronting or flanking an arterial or collector road, in accordance with Part 7 Special Building Setbacks of the Zoning By-law, front yard setbacks and side yard setbacks on a flanking street are measured from the centerline of the ultimate road allowance.
- Since 84 Avenue is an arterial road, under the revised standards of the Subdivision & Development By-law approved by Council in 2012, the ultimate width is 30 metres (100 ft.). The existing road allowance for 84 Avenue is 20 metres (66 ft.) in width.
- The existing south property line is approximately 10 metres (33 ft.) from centerline, while the ultimate south property line is 15 metres (50 ft.) from centerline. Therefore, the setback baseline is approximately 5 metres (16 ft.) north of the existing property line.
- The Engineering Department has determined that, for this portion of 84 Avenue, 30 metres (100 ft.) of road allowance will not be necessary at this time as it is not likely to be constructed to its ultimate width in the foreseeable future.
- Although the Engineering Department has no plans to widen this portion of 84 Avenue to its ultimate standard in the foreseeable future, the special setback requirements of Part 7 in the Zoning By-law continue to apply for building siting.
- The subject property also fronts 148 Street, which is classified as a collector road. The existing front property line is approximately 10 metres (33 ft.) from centerline, while the ultimate front lot line is 12 metres (40 ft.) from centerline. The setback baseline is therefore approximately 2 metres (6.5 ft.) from the existing east property line.
- The combination of both Special Building Setbacks on 84 Avenue and 148 Street has restricted the buildable area achievable for any new single family dwelling on the lot.

### Current Proposal

- The applicant is seeking to construct a single family dwelling on the subject property; however, given the combined special setback requirements, the prepared plans cannot be realized. The applicant is therefore requesting a Development Variance Permit (DVP) to reduce the minimum south side yard on a flanking street setback from 3.6 metres (12 ft.) to 2.4 metres (8 ft.).
- In accordance with the RF Zone, for lots adjoining an RF-zoned lot the minimum required side yard setback on one side of a lot may be reduced from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) provided that the side yard setback on the opposite side is at least 2.4 metres (8 ft.). The applicant is proposing a 1.2 metres (4 ft.) north side yard setback.
- The proposed reduced south side yard on a flanking street setback will allow the applicant to construct a wider single family dwelling.

### BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary the setbacks of the RA Zone which references the RF Zone for urban residential lots less than 1,858 square metres (0.5 acres) in area, for a single family dwelling as follows:
  - Reduce the south side yard on a flanking street setback for the principal building, from 3.6 metres (12 ft.) to 2.4 metres (8 ft.).

Applicant's Reasons:

- When plotting out a building within the permitted building envelope, it is not possible to attain an appropriate and livable design.
- The requested variance would increase the width of the proposed dwelling by approximately 1.2 metres (4 ft.), which will allow for a more functional house design.

Staff Comments:

- A typical RF-zoned house is 11.4 metres (37 ft.) wide and 18 metres (60 ft.) deep. Applying the full 3.6 metre (12 ft.) south flanking side yard setback with the additional 5 metres (16 ft.) of special building setback, as well as the 1.2 metre (4 ft.) north side yard setback, the buildable width on the lot is only 8.5 metres (28 ft.). The result would be a house that appears narrow in relation to its overall depth and poses a difficulty in achieving an efficient floor plan.
- The applicant's proposed house plan presents an attractive street presentation with a front access, double garage that does not dominate the 148 Street front façade. The well-proportioned massing along the flanking north side façade interfaces well with the existing streetscape of 84 Avenue.
- The applicant's proposed house plan meets the front yard setback requirements, including the special setback provisions.
- 84 Avenue is not intended to be widened to its ultimate standard in the foreseeable future.
- Staff supports the proposed variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Site Plan and Building Elevations
- Appendix III. Development Variance Permit No. 7917-0274-00

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

RT/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                      Pawandeep Somal  
  
   Address:                      8407 - 148 Street  
   Surrey, BC V3S 3G5
  
2.      Properties involved in the Application
  - (a)      Civic Address:                      8407 - 148 Street
  
  - (b)      Civic Address:                      8407 - 148 Street  
   Owner:                                      Karamjit Somal  
   Jagmel Somal  
   PID:    005-433-177  
   Lot 1 Except: Firstly: Plan BCP7774 Secondly: Part Road on Plan BCP11344; Section 27  
   Township 2 New Westminster District Plan 19343
  
3.      Summary of Actions for City Clerk's Office
  - (a)      Proceed with Public Notification for Development Variance Permit No. 7917-0274-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

**GENERAL NOTES:**

THESE DRAWINGS HAVE BEEN PREPARED BY D.MAND DESIGN AND DRAFTING SERVICES LTD. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C. 2012). THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE RESPONSIBILITY OF THE BUILDER/FRAMER TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.

DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS. DO NOT SCALE THESE DRAWINGS.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURERS INSTRUCTIONS IN A TIMELY MANNER.

STRUCTURAL FRAMING MATERIALS ARE TO BE:

- JOISTS: DOUGLAS FIR #2 OR BETTER.
- LINTELS: DOUGLAS FIR #2 OR BETTER.
- BEAMS: DOUGLAS FIR #2 OR BETTER.
- HEADERS: DOUGLAS FIR #2 OR BETTER.
- RAFTERS: DOUGLAS FIR #2 OR BETTER.
- PLATES: DOUGLAS FIR OR SPF #2 OR BETTER.
- STUDS: DOUGLAS FIR OR SPF STUD GRADE.

UNLESS OTHERWISE STATED. APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C.B.C. RESIDENTIAL STANDARDS AND THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6'-0" ON CENTER, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 45LB. FELT, SILL GASKET OR OTHER APPROVED METHODS.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.

FLOOR JOISTS SPANNING MORE THAN 7'-0" ARE TO BE BRIDGED AT MID SPAN OR AT 7'-0" O.C. BY 2" X 2" DIAGONAL BRACING. ALL SUBFLOORS TO BE 5/8" T&G PLYWOOD, GLUED AND NAILED TO FLOOR JOISTS.

PARTITION WALL PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE JOIST OR BLOCKING BETWEEN JOISTS. PARTITION WALLS, SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.

ALL LINTELS TO BE 2" X 10" DOUGLAS FIR #2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 2" BEARING.

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

ROOF SPACE SHALL BE VENTED W/ H ROOF TYPE, EAVE TYPE, AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:150.

CRAWLSPACES SHALL BE VENTED TO A MINIMUM OF 1:500. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT.

MINIMUM INSULATION REQUIREMENTS:

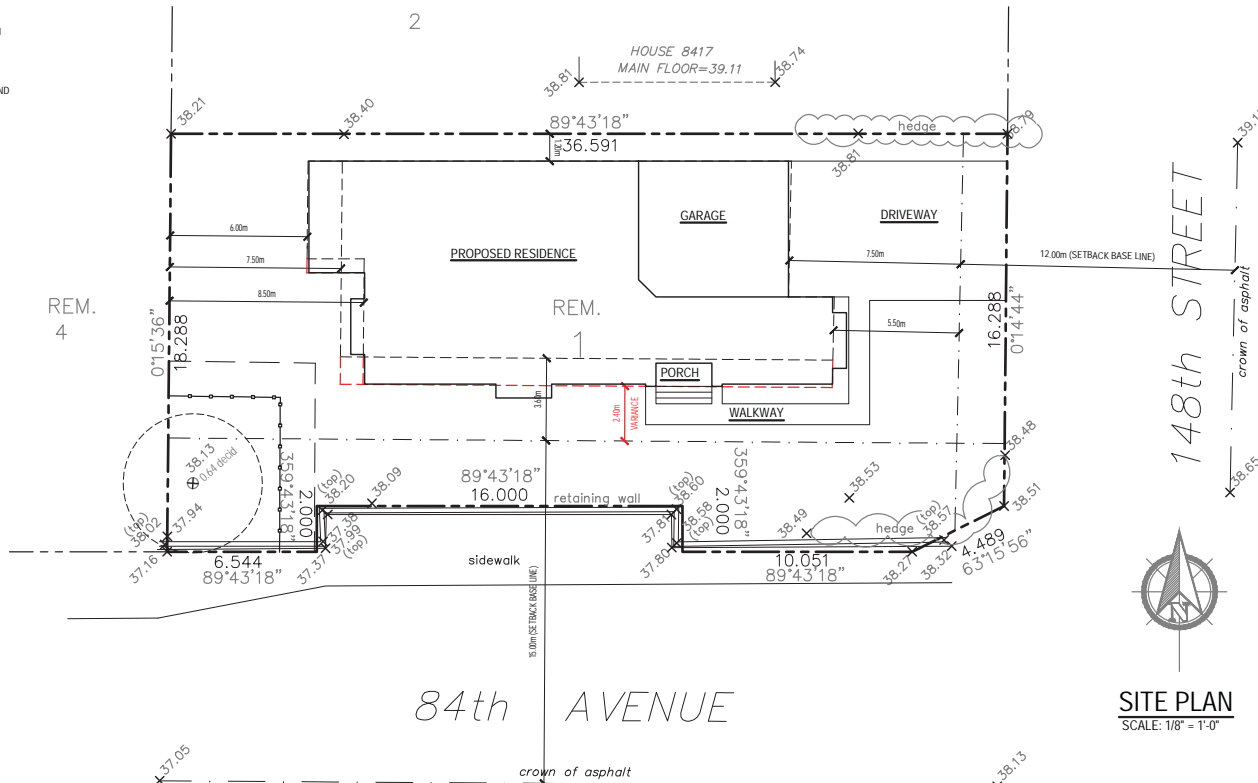
- FOUNDATION WALL: R-12
  - ROOF: R-40
  - 2" X 4" WALLS: R-14
  - 2" X 6" WALLS: R-20
  - CANTILEVERED FLOORS, CEILINGS AND DECKS ABOVE FLOORS: R-28
- WITH 6MIL POLY VAPOUR BARRIER INSTALLED ON THE WARM SIDE OF THE INSULATION.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 20" X 32" ACCESS HATCHWAY, WEATHERSTRIPPED

PROVIDE A COPY OF SIGNED ANS SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.

REMOVING WEB MEMBERS, DRILLING OR CUTTING CHORDS WILL NOT BE PERMITTED.



14658 - 84 AVENUE  
SURREY, BC  
V3S 9K7  
t: 6045971838  
f: 6045971350  
dmand@telus.net  
www.dmanddesign.com

THESE PLANS CONFORM TO BCBC 2012 CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND LOCAL BUILDING BY-LAWS.  
CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.  
THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER RESPONSIBILITY TO REVIEW AND VERIFY ALL LEVELS, DIMENSIONS AND STRUCTURAL ADJUSTMENTS PRIOR TO CONSTRUCTION.  
DO NOT SCALE DRAWINGS  
\*\* BUILDERS NOTES:  
THE OWNER/BUILDER IS AWARE THAT DOORS, WINDOWS AND BUILDING ELEVATIONS MAY VARY DUE TO SITE CONDITIONS.  
SQUARE FOOTAGE SHOWN ARE APPROXIMATE  
THE BUILDER RESERVES RIGHT TO MAKE ON GOING CHANGES AND ADJUSTMENTS  
FINAL HOME DESIGN AND MEASUREMENTS MAY NOT MATCH AS PER PLANS  
IN ORDER TO COMPLY WITH BYLAWS, BUILDING CODES AND SITE CONDITIONS, THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE TO CLIENT/BUILDER.



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**ZONING ANALYSIS:**

LOT SIZE:	633 sq.m (8,814 sq.ft)		
FLOOR AREA:			
PERMITTED:	6,028 sq.ft. X 40	3,617 sq.ft.	1,622 sq.ft.
	786 sq.ft. X 20	275 sq.ft.	
SUBTRACT:	420 sq.ft. (GARAGE)		
ALLOWABLE FLOOR AREA:			3,472 sq.ft.
PROPOSED:			
	PRINCIPAL BUILDING:		
	MAIN FLOOR:	1,763 sq.ft.	
	UPPER FLOOR:	1,463 sq.ft.	3,366 sq.ft.
	GARAGE AREA:	420 sq.ft.	
TOTAL PROPOSED FLOOR AREA (NET):			7,336 sq.ft.
COVERED OUTDOOR SPACE:			
PERMITTED (70% OF MAXIMUM F.A.R.):			1,881 sq.ft.
SUBTRACT:	80 sq.ft. (FRONT PORCH/VERANDA)		
ALLOWABLE OUTDOOR SPACE:			279 sq.ft.
PROPOSED:			
	PORCH/VERANDA RESERVED:	28 sq.ft.	
	COVERED OUTDOOR SPACE:	0 sq.ft.	
TOTAL PROPOSED COVERED OUTDOOR SPACE:			28 sq.ft.
LOT COVERAGE:			
PERMITTED (61.4%):		2,618 sq.ft.	
PROPOSED:		7,213 sq.ft.	

JOB DESCRIPTION:	
ADDRESS:	8407 148 STREET SURREY, BC
LEGAL DESCRIPTION:	
CLIENT:	PAVAN SOMAL (604) 725-9470 somalp92@gmail.com
DATE:	MAY 25/17
SCALE:	1/4" = 1'-0" (UND)
DRAWING:	D.M.
CHECKED:	D.M.
OF 5	





LEFT ELEVATION



RIGHT ELEVATION



14658 - 84 AVENUE  
 SURREY, BC  
 V3S 9K7  
 t: 6045971838  
 f: 6045971350  
 dmand@telus.net  
 www.dmandesign.com

THESE PLANS CONFORM TO BCBC 2012  
 CONSTRUCTION SHALL COMPLY WITH  
 THESE PLANS AND LOCAL BUILDING  
 BY-LAWS.

CONTRACTOR SHALL CONFIRM ALL  
 DIMENSIONS PRIOR TO START OF  
 CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY  
 FOR ANY ERRORS OR OMISSIONS IN  
 THESE PLANS. IT IS THE BUILDER/DOWNER  
 RESPONSIBILITY TO REVIEW AND VERIFY  
 ALL LEVELS, DIMENSIONS AND  
 STRUCTURAL ADEQUACIES PRIOR TO  
 CONSTRUCTION.

DO NOT SCALE DRAWINGS

\*\* BUILDERS NOTES:

THE OWNER/BUYER IS AWARE THAT  
 DOORS, WINDOWS AND BUILDING ELEVATIONS  
 MAY VARY DUE TO SITE CONDITIONS.

SQUARE FOOTAGE SHOWN ARE APPROXIMATE

THE BUILDER RESERVES RIGHT TO MAKE  
 ON GOING CHANGES AND ADJUSTMENTS  
 FINAL HOME DESIGN AND MEASUREMENTS  
 MAY NOT MATCH AS PER PLANS

IN ORDER TO COMPLY WITH BYLAWS,  
 BUILDING CODES AND SITE CONDITIONS,  
 THESE PLANS ARE SUBJECT TO CHANGE  
 WITHOUT NOTICE TO CLIENT/BUILDER.

JOB DESCRIPTION:

-  
 -

ADDRESS:  
 8407 148 STREET  
 SURREY, BC

LEGAL DESCRIPTION:

-  
 -  
 -  
 -  
 -

CLIENT:  
 PAVAN SOMAL  
 (604) 725-9470  
 somalp92@gmail.com

DATE: MAY 25/17

SCALE:  
 1/4" = 1'-0" (UND)

DRAWN: D.M. CHECKED: D.M.

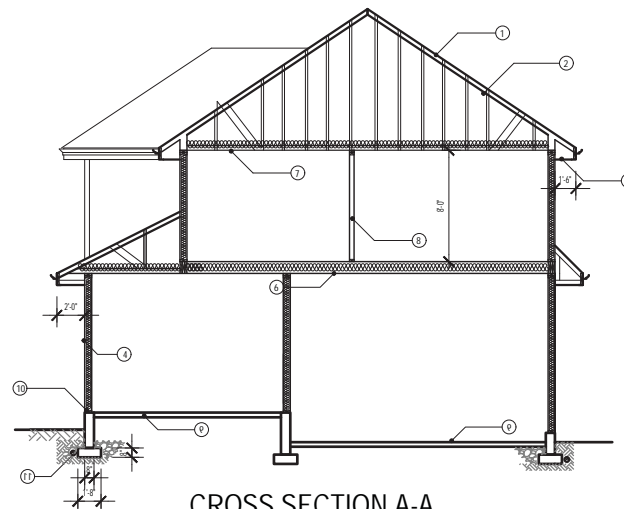
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 OF 5



FRONT ELEVATION



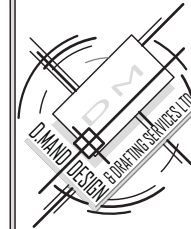
REAR ELEVATION



CROSS SECTION A-A

CROSS SECTION SCHEDULE

- ① ASPHALT SHINGLE ROOFING, MIN. 2 THICKNESSES OF SHINGLE OVER ENTIRE ROOF, MIN. HEAD LAP OF 50mm, TABS SECURED BY MAX. 20mm SPOT OF PLASTIC CEMENT SHINGLES TO EXTEND MIN. 4" ON EITHER SIDE OF HIP OR RIDGE, AS PER B.C.B.C. 9.26.7  
1" X 4" STRAPPING - SPACING IN ACCORDANCE WITH ROOF SLOPE AND MANUFACTURERS SPECIFICATIONS.  
2 LAYERS OF 30 MIN. BUILDING PAPER TO CONFORM TO CAN/CSG-51.34-M  
3/8" THICK PLYWOOD SHEATHING PLACED WITH GRAIN PERPENDICULAR TO ROOF FRAMING, STAGGERED.  
CONTINUOUS VENTED ALUMINUM SOFFITS.
- ② ATTIC SPACE  
ROOF TYPE VENTS AT 1/300 UNIFORMLY AT OPPOSITE SIDES OF BUILDING.  
CONTINUOUS RIBBED BAFFLE TO PREVENT INSULATION FROM BLOCKING SOFFIT VENTS & TO MAINTAIN 1" GAP FOR VENTILATION AIR TRAVEL.
- ③ ALUMINUM GUTTERS, 2" X 12" ROUGH FASCIA, CONTINUOUS VENTED ALUMINUM SOFFITS.
- ④ HARDIE BOARD SIDING, INCLUDING FLASHING AND TRIM ACCESSORIES TO CONFORM TO CAN/CSG-41.24 ATTACHMENT TO CONFORM TO REQUIREMENTS IN SUBSECTION B.C.B.C. 9.27.5.  
WEATHER TREATED LUMBER  
1" X 2" VERTICAL STRAPPING @ 16" O/C TO PROVIDE 1" AIRSPACE BETWEEN CLADDING AND SHEATHING MEMBRANE.  
2 LAYERS OF 30 MIN. BUILDING PAPER TO CONFORM TO CAN/CSG-51.33-M  
7/16" O.S.B.  
2" X 4" STUDS @ 16" C.C.  
R-20 BATT INSULATION AS PER B.C.B.C. 9.25.2 UNIFORMLY OVER ENTIRE FACE OF WALL, FULL WIDTH AND LENGTH OF FRAMING, WITH ONE FACE IN FULL CONTACT WITH SHEATHING.  
POLYETHYLENE SHEET CONTINUOUS TO PREVENT AIR LEAKAGE FROM INSIDE BUILDING OUT AND OUTSIDE BUILDING IN, LAP MIN 4" AT JOINTS, TAPE OR SEAL AIR TIGHT.  
PROVIDE CONTINUOUS SEAL AT PENETRATIONS TO CONFORM TO CAN/CSG-51.33-M TO PROTECT ENTIRE SURFACE, MAXIMUM PERMEANCE <math>= 600 \text{ (Pa} \cdot \text{S} \cdot \text{m}^2)</math>, MEASURED IN ACCORDANCE WITH ASTM E 96 AS PER B.C.B.C. 9.25.4.  
1/2" TYPE 'X' GYPSUM WALL BOARD
- ⑤ FINISH FLOOR ON 5/8" T&G PLYWOOD, T.J.I JOIST (AS PER ENG) C/W BRIDGING, 1/2" GYP. BOARD ON THE CEILING.
- ⑥ 5/8" GYP. BOARD ON CEILING.
- ⑦ 2" X 4" @ 16" C.C., 1/2" GYP. BOARD ON BOTH SIDES
- ⑧ CONCRETE SKIM COAT ON 6 MIL POLY AND COMPACTED BASE
- ⑨ 1/2" ANCHOR BOLT @ 8" O.C. 2" X 6" WOOD SILL PLATE C/W MOISTURE BARRIER, TYPE 'S' ROLL ROOFING SILL GASKET, 4" CONCRETE FOUNDATION
- ⑩ 4" PERFORATED DRAIN TILE TO CONFORM TO CAN/CSA-B182.1 AS PER B.C.B.C. 9.14.3.1 WALL ON 18" X 8" FOOTING C/W 2 COATS OF ASPHALT, INSTALLED AS PER B.C.B.C. 9.14.3.3 C/W MINIMUM 6" GRANULAR MATERIAL OR CRUSHED STONE.



14658 - 84 AVENUE  
SURREY, BC  
V3S 9K7  
t: 6045971838  
f: 6045971350  
dmand@telus.net  
www.dmandesign.com

THESE PLANS CONFORM TO BCBC 2012 CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND LOCAL BUILDING BY-LAWS.

CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE BUILDER/DOWNER RESPONSIBILITY TO REVIEW AND VERIFY ALL LEVELS, DIMENSIONS AND STRUCTURAL ADEQUACIES PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS

\*\* BUILDERS NOTES:  
THE OWNER/BUYER IS AWARE THAT DOORS, WINDOWS AND BUILDING ELEVATIONS MAY VARY DUE TO SITE CONDITIONS.

SQUARE FOOTAGE SHOWN ARE APPROXIMATE  
THE BUILDER RESERVES RIGHT TO MAKE ON GOING CHANGES AND ADJUSTMENTS  
FINAL HOME DESIGN AND MEASUREMENTS MAY NOT MATCH AS PER PLANS

IN ORDER TO COMPLY WITH BYLAWS, BUILDING CODES AND SITE CONDITIONS, THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE TO CLIENT/BUILDER.

JOB DESCRIPTION:  
-

ADDRESS:  
8407 148 STREET  
SURREY, BC

LEGAL DESCRIPTION:  
-

CLIENT:  
PAVAN SOMAL  
(604) 725-9470  
somalp92@gmail.com

DATE: MAY 25/17  
SCALE: 1/4" = 1'-0" (UND)  
DRAWING: D.M. CHECKED: D.M.  
3 OF 5

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0274-00

Issued To: JAGMEL SOMAL  
KARAMJIT SOMAL  
  
(the "Owner")

Address of Owner: 8407 - 148 Street  
Surrey, BC V3S 3G5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-433-177  
Lot 1 Except: Firstly: Plan BCP7774 Secondly: Part Road on Plan BCP11344; Section 27  
Township 2 New Westminster District Plan 19343

8407 - 148 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) Section F. Yards and Setbacks of Part 12 "One-Acre Residential Zone (RA)" which references Section F. Yards and Setbacks of Part 16 "Single Family Residential Zone (RF)" for urban residential lots less than 1,858 square metres (0.5 acres) in area, is varied by reducing the minimum south side yard on a flanking street setback for the principal building from 3.6 metres (12 ft.) to 2.4 metres (8 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Linda Hepner

---

City Clerk – Jane Sullivan

# SCHEDULE A



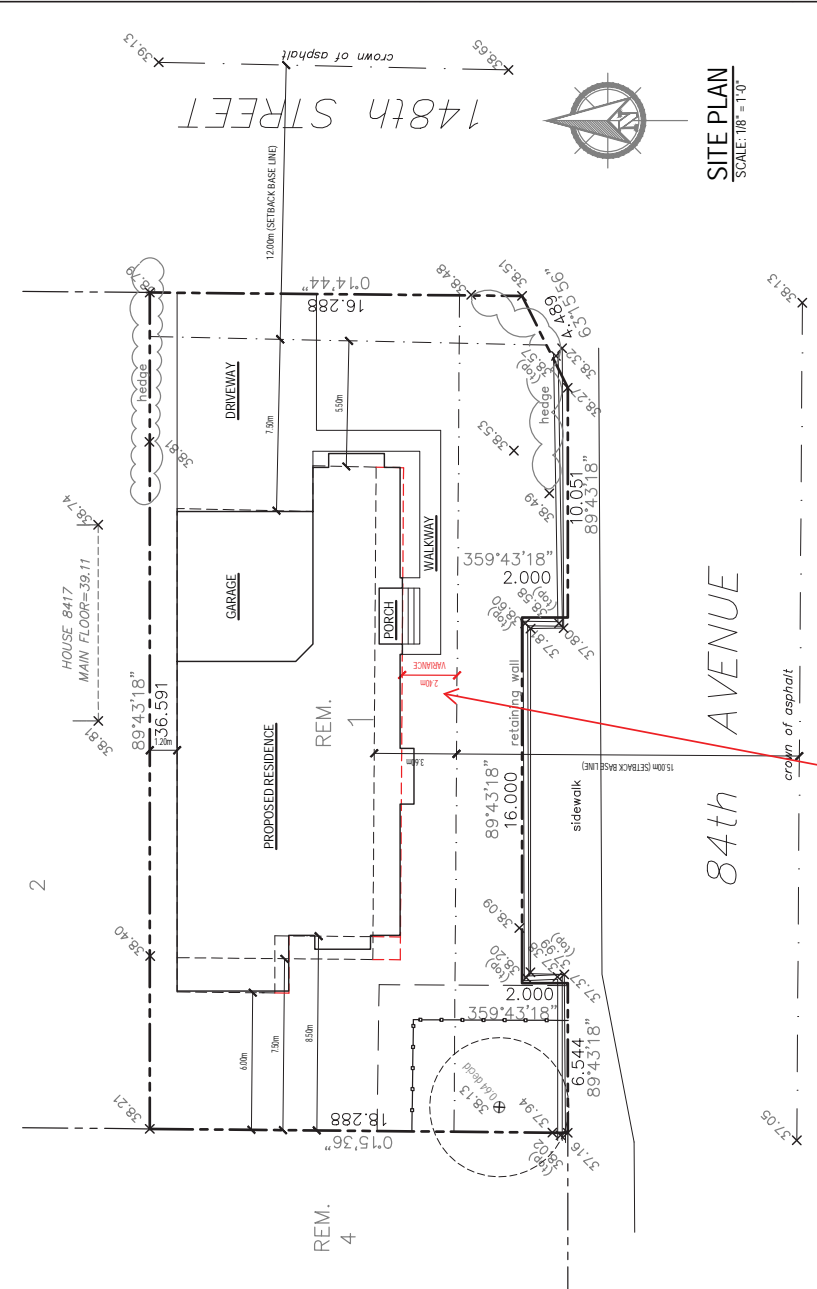
DMAND DESIGN  
14558 - 84 AVENUE  
SURREY, BC  
V3S 9K7  
t: 604-597-8338  
f: 604-597-8350  
dmanddesign.net  
www.dmanddesign.com

THESE PLANS CONFORM TO BRCC 2012 CONSTRUCTION. SHALL COMPLY WITH THESE PLANS AND LOCAL BUILDING REGULATIONS.  
CONTRACTOR SHALL CONFORM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.  
THE DESIGNER ASSUMES NO LIABILITY FOR THESE PLANS. IT IS THE BUILDERS RESPONSIBILITY TO VERIFY DIMENSIONS AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
DO NOT SCALE DRAWINGS.  
BUILDER'S NOTES:  
THE OWNER/BUILDER IS AWARE THAT DIMENSIONS AND CONDITIONS MAY VARY DUE TO SITE CONDITIONS.  
SQUARE FOOTAGE SHOWN ARE APPROXIMATE.  
THE BUILDER DESIGNS MUST MAKE DIMENSIONAL CHANGES AND ADJUSTMENTS FINAL HOME DESIGN AND MEASUREMENTS MAY NOT MATCH AS PER PLANS.  
IN ORDER TO COMPLY WITH PLANS, THE BUILDER SHALL VERIFY DIMENSIONS WITHOUT NOTICE TO THE OWNER/BUILDER.

ADDRESS: 8407 148 STREET  
SURREY, BC

CLIENT: PAVAN SOMAL  
(604) 725-9470  
somalp92@gmail.com

DATE: MAY 25/17  
SCALE: 1/4" = 1'-0" (UND)  
DRAWN BY: [ ]  
CHECKED BY: [ ]  
DATE: [ ]



To reduce the minimum south side yard on a flanking street setback for the principal building from 3.6 metres (12 ft.) to 2.4 metres (8 ft.).

**GENERAL NOTES:**  
THESE DRAWINGS HAVE BEEN PREPARED BY DMAND DESIGN AND DRAFTING SERVICES LTD TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C. 2012). THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONCERNS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.  
IT IS THE RESPONSIBILITY OF THE BUILDER/FRAME TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. THE DESIGNER ASSUMES NO LIABILITY FOR THESE PLANS. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY DIMENSIONS AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS. DO NOT SCALE THESE DRAWINGS.  
ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURERS INSTRUCTIONS IN A TIMELY MANNER.

- STRUCTURAL FRAMING MATERIALS ARE TO BE:
- LINTELS: DOUGLAS FIR #2 OR BETTER.
  - BEAMS: DOUGLAS FIR #2 OR BETTER.
  - RAFTERS: DOUGLAS FIR #2 OR BETTER.
  - STUDS: DOUGLAS FIR OR SFT STUD GRADE.
  - UNLESS OTHERWISE STATED, APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C. B.C. RESIDENTIAL STANDARDS AND THE SPAN BOOK 2004 EDITION.
- BUILDING FRAMES SHALL BE ANCHORED TO FOUNDATION WALLS BY FASTENING. SKILL TRAP TO FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6" ON CENTER, UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 4LB. FELT, SILL GASKET OR OTHER APPROVED METHODS.
- CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.
- FLOOR JOISTS SPANNING MORE THAN 7' 0" ARE TO BE BRIDGED AT MID SPAN OR AT 7' 0" O.C. BY 2" X 2" DIAGONAL BRACING. ALL SUBFLOORS TO BE 5/8" T&G IN WOOD, GULF AND NAILED TO FLOOR JOISTS.
- PARTITION WALL IN WALLS TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE LOST OR BLOCKING BETWEEN JOISTS. PARTITION WALLS SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.
- ALL LINTELS TO BE 2" X 10" DOUGLAS FIR #2 OR BETTER UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 2" BEARING.

- BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.
  - ROOF SPACE SHALL BE VENTED WITH 1/8" ROOF TYPE, EXHAUST TYPE AND/OR CABLE TYPE VENTS TO A MINIMUM OF 1:30 OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:50.
  - CRAWL SPACES SHALL BE VENTED TO A MINIMUM OF 1:50. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWL SPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO ADJACENT BASEMENT.
- MINIMUM INSULATION REQUIREMENTS:
- FOUNDATION WALL: R-12
  - ROOF: R-40
  - 2" X 4" WALLS: R-14
  - 6" X 6" WALLS: R-20
  - CEILING: R-20
  - CRAWL SPACE: R-10
- WITH 4MIL POLY VAPOUR BARRIER INSTALLED ON THE WARM SIDE OF THE INSULATION.

- CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.
- ATTIC SPACES AND CRAWL SPACES TO HAVE A MINIMUM 2" X 32" ACCESS HATCHWAY, WEATHER STRIPPED.
- PROVIDE A COPY OF SKINNED ANS SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.
- REMOVING WEB MEMBERS, DRILLING OR CUTTING CHORDS WILL NOT BE PERMITTED.

**ZONING ANALYSIS:**

ITEM	DESCRIPTION	MINIMUM	PROPOSED	STATUS
MAXIMUM HEIGHT	45.00 METERS (147.64 FT)	45.00 METERS (147.64 FT)	45.00 METERS (147.64 FT)	COMPLIES
MINIMUM SETBACK	15.00 METERS (49.21 FT)	15.00 METERS (49.21 FT)	15.00 METERS (49.21 FT)	COMPLIES
MAXIMUM GROUND COVER	3.00 METERS (9.84 FT)	3.00 METERS (9.84 FT)	3.00 METERS (9.84 FT)	COMPLIES
MINIMUM SETBACK	3.60 METERS (11.81 FT)	2.40 METERS (7.87 FT)	2.40 METERS (7.87 FT)	VARIANCE
MINIMUM SETBACK	3.60 METERS (11.81 FT)	2.40 METERS (7.87 FT)	2.40 METERS (7.87 FT)	VARIANCE
MINIMUM SETBACK	3.60 METERS (11.81 FT)	2.40 METERS (7.87 FT)	2.40 METERS (7.87 FT)	VARIANCE