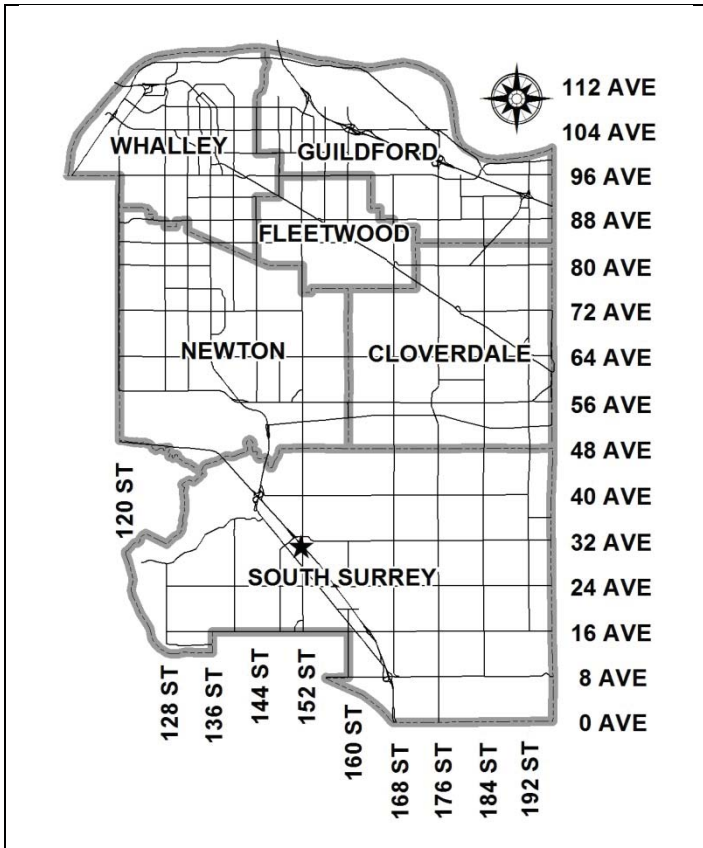


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0273-00

Planning Report Date: September 11, 2017



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

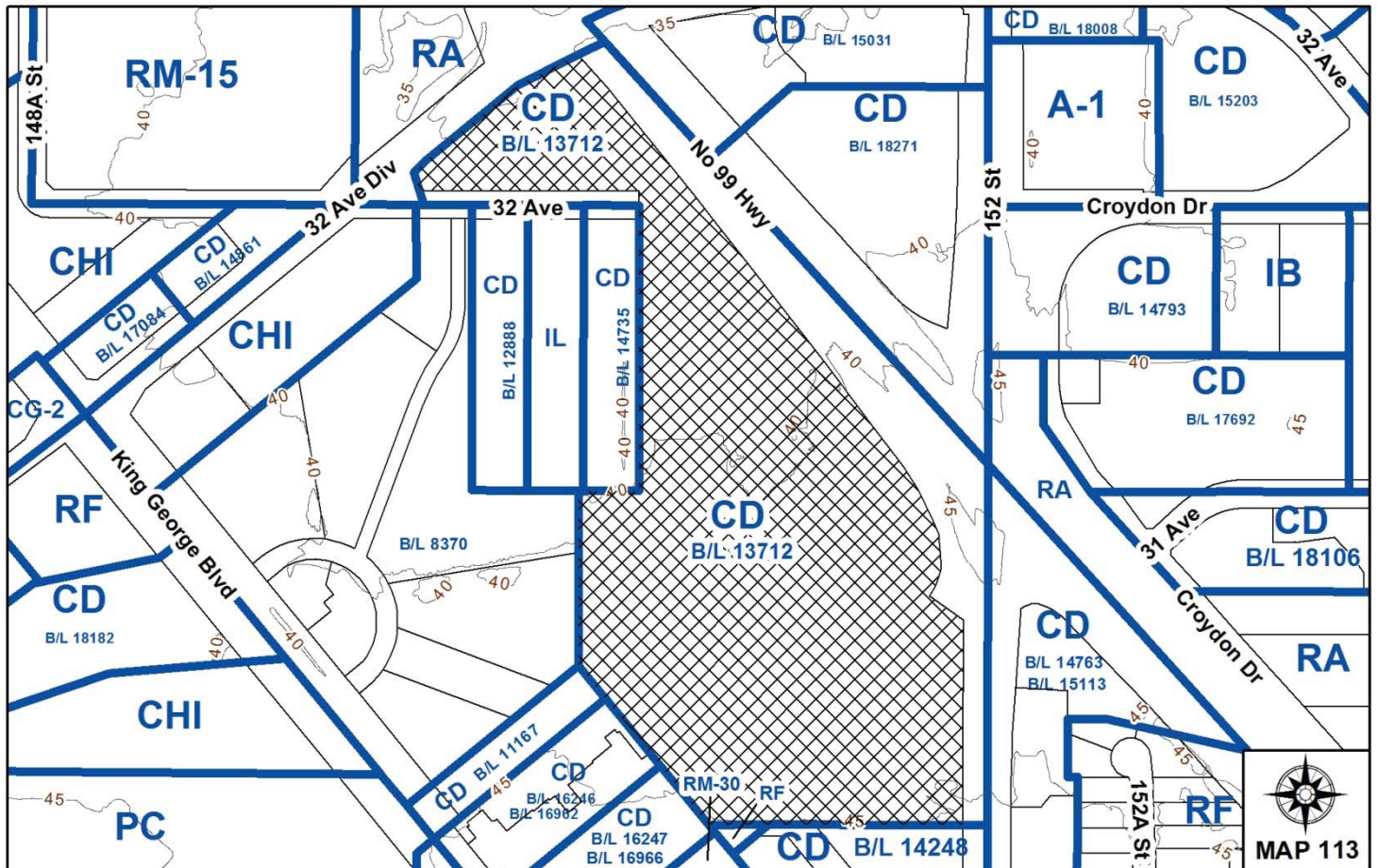
to permit one (1) additional fascia sign for a first floor tenant as part of a comprehensive sign design package.

**LOCATION:** 3033 - 152 Street

**OWNER:** SPE BT Holdings Limited

**ZONING:** CD (By-law No. 13712)

**OCP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to the Sign By-law in order to allow for one (1) additional fascia sign providing for a total of three (3) fascia signs for a single premises.

### RATIONALE OF RECOMMENDATION

- The proposed additional fascia sign does not alter the essential character of the existing commercial environment and is consistent with the design of the existing two fascia signs.
- The proposed sign is high quality, modest in size, and the area of the three fascia signs combined complies with the Surrey Sign By-law.
- The visibility of the existing east and west fascia signs are partially restricted by trees located in the landscaping of the shopping centre parking area. Vehicles approaching the shopping centre from the south and vehicle approaching the premises from the internal parking lot drive aisles cannot see the existing signage.
- The additional fascia sign will provide additional visibility for the business for vehicles approaching the shopping centre from the south on 152 Street.
- The third fascia sign is proposed to be located at the south elevation of the building on a separate façade from the other fascia signs. The proposed sign would be the only fascia sign on the south elevation of the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No.7917-0273-00 (Appendix III), including a comprehensive sign design package, and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use:

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Commercial uses in the same retail complex as the subject property.	Commercial	CD (By-law No. 13712)
East (Across 152 Street):	Community commercial uses.	Commercial	CD (By-law Nos. 14763 & 15113)
South:	Commercial uses in the same retail complex as the subject property and townhouse and apartment units.	Commercial and Multiple Residential	CD (By-law Nos. 13712 & 18248)
West:	Commercial uses in the same retail complex as the subject property.	Commercial	CD (By-law BL13712)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site located at 3033-152 Street in the South Point Exchange Shopping Centre, is designated "Commercial" in the Official Community Plan (OCP), and zoned Comprehensive Development (CD By-law No. 13712).
- Council approved the rezoning and General Development Permit for the subject site in 1999 (Development Permit No. 7999-0044-00). The shopping centre development was constructed in three phases, with the subject building completed under Phase 2 under Development Permit No. 7900-0177-00.
- Development Permit 7900-0177-00 allowed for seven (7) fascia signs on the western elevation, six (6) fascia signs on the eastern elevation, one (1) fascia sign on the north elevation, and no fascia signs on the south elevation of the building of the subject building to serve the individual tenants. The fascia sign permitted on the north elevation was never installed.

### Current Proposal

- The applicant proposes a Comprehensive Sign Design Package to amend the Development Permit and to vary the Sign By-law in order to permit an additional fascia sign, increasing the allowable number of fascia signs from two (2) to three (3) for a single premise.
- The tenant proposing the additional signage occupies the south corner unit of the single storey building. The tenant has two existing fascia signs, one located on the east façade of the building facing 152 Street, and one located on the west façade of the building facing the parking lot of the shopping centre.
- The third fascia sign is proposed to be located at the south elevation of the building on a separate façade from the other fascia signs. The proposed sign would be the only fascia sign on the south elevation of the building.

## BY-LAW VARIANCE AND JUSTIFICATION

### (a) Requested Variance:

- to increase the allowable number of fascia signs for a single premise from two (2) to three (3).

### Applicant's Reasons:

- The additional fascia sign will provide additional visibility for the business for vehicles approaching the shopping centre from the south on 152 Street.
- The visibility of the existing east and west fascia signs are partially restricted by trees located in the landscaping of the shopping centre parking area. Vehicles approaching the shopping centre from the south and vehicle approaching the premises from the internal parking lot drive aisles cannot see the existing signage.

**Staff Comments:**

- The third fascia sign is proposed to be located at the south elevation of the building on a separate façade from the other fascia signs. The proposed sign would be the only fascia sign on the south elevation of the building.
- The proposed additional fascia sign does not alter the essential character of the existing commercial environment and are consistent with the design of the existing two fascia signs.
- The proposed sign is modest in size and the area of the three fascia signs combined complies with the Surrey Sign By-law.
- The additional sign will provided enhanced wayfinding for customers of the business approaching the shopping centre from the south on 152 Street
- Staff support the requested variance.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Proposed Sign By-law Variance Table
Appendix III.	Development Permit No. 7917-0273-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

RJG/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:        Name:                    Shaun Creaney  
   Priority Permits Ltd.  
   Address:                    604 - Columbia Street, Unit 407  
   New Westminster, BC V3M 1A5
  
2.        Properties involved in the Application
  - (a)        Civic Address:                    3033 - 152 Street
  
  - (b)        Civic Address:                    3033 - 152 Street  
   Owner:                                    SPE BT Holdings Limited  
   PID:                                        024-577-090  
   Lot A Section 22 and 27 Township 1 New Westminster District Plan LMP42918
  
3.        Summary of Actions for City Clerk's Office
  - (a)        Approval and issuance of Development Permit No. 7917-0273-00.

## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow one (1) additional fascia sign for a total of three (3). The additional fascia sign is proposed for the south elevation of the building.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are of an appropriate size and scale in relation to the building. The proposed 3 <sup>rd</sup> fascia sign will provide enhanced wayfinding for customers approaching the shopping centre from the south as the existing fascia sign on the east and west elevations have restricted visibility due landscaping trees.

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7917-0273-00

Issued To: SPE BT HOLDINGS LIMITED  
(the "Owner")

Address of Owner: 4248 - W 13<sup>th</sup> Avenue  
Vancouver, BC V6R 2T8

**A. General Provisions**

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 024-577-090  
Lot A Section 22 and 27 Township 1 New Westminster District Plan LMP42918

3033 - 152 Street

(the "Land")

3. This development permit applies to only the fascia signs shown in accordance with the drawings numbered 7917-0273-00(A) through to and including 7917-0273-00(F) (the "Drawings"), which are attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan, 2013, No. 18020, as amended.

**B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7917-0273-00(A) through to and including 7917-0273-00(F) (the "Drawings").



2. Signage shall be installed in conformance with the Drawings 7917-0273-00(A) through to and including 7917-0273-00(F).
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

### **C. Variances**

The issuance of a development permit limits activity on the Land to that of strict compliance with all City bylaws, unless specific variances have been authorized by the development permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations or within reports which are inconsistent with City bylaw provisions and which have not been identified as variances below:

1. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as follows:
  - To allow for a total of three (3) fascia signs for the single premises.
2. This development permit supplements and amends Development Permit Nos. 7999-0044-00 and 7901-0177-00.

### **D. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.
  
6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF \_\_\_\_\_, 20\_\_ .

ISSUED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: (Signature)

\_\_\_\_\_  
Name: (Please Print)



**Priority Permits**  
 331 Parkdale Ave. N.  
 Hamilton, ON L8H 5Y1  
 Tel: (289)389-8951  
 Fax: 1(888) 738-3846  
 info@prioritypermits.com  
 www.prioritypermits.com

ENG

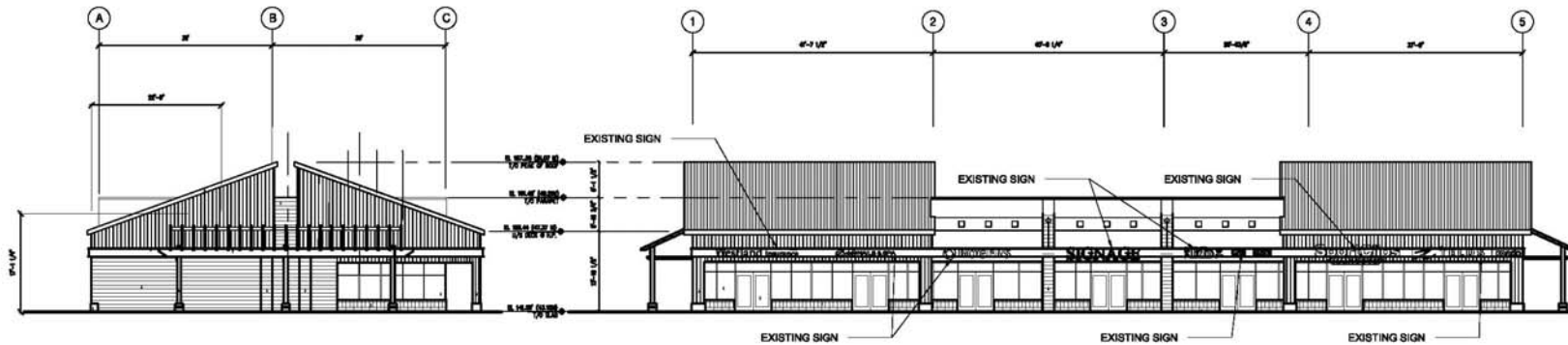


REV	DESCRIPTION
A	-
<b>KOODO TELUS</b>	
860-3041 152ND ST. SURREY, BC	
SIGN PLAN (SITE PLAN)	

DATE:	01 JUN 2
SCALE:	1:250
JOB No.:	-
DRAWN BY:	SC
CHECKED BY:	-
<b>L1</b>	

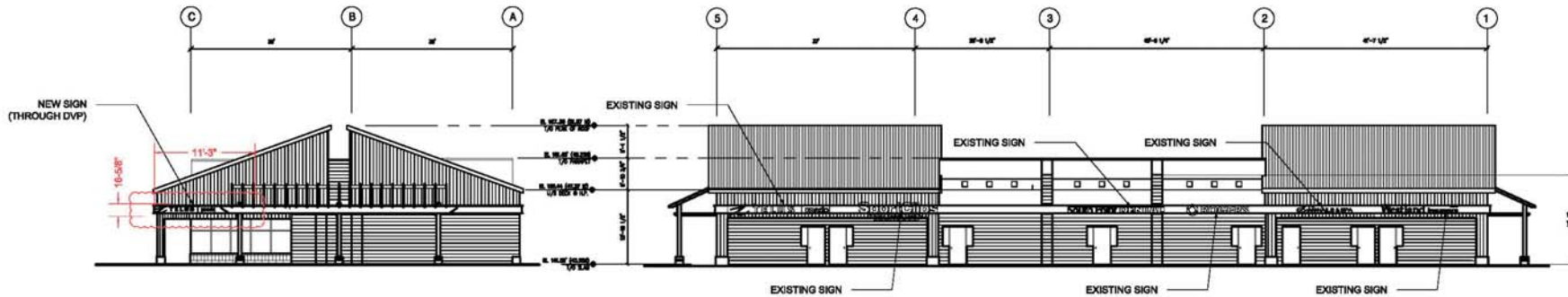
NOTE: THESE DRAWINGS ARE INTENDED FOR PROCESSING ONLY. ALL DIMENSIONS, BRONAGE P AND DESIGN TO BE VERIFIED BY SIGNAGE CLIENT FABRICATOR PRIOR TO CONSTRUCTION OR INST

7917-0273-00 (A)



**NORTH ELEVATION**

**WEST ELEVATION**



**SOUTH ELEVATION**

**EAST ELEVATION**

REV	DESCRIPTION
A	-
<b>KOODO TELUS</b>	
860-3041 152ND ST. SURREY, BC	
SIGN PLAN (ELEVATIONS)	
-	
DATE:	01 JUN 2
SCALE:	1:250
JOB No.:	-
DRAWN BY:	SC
CHECKED BY:	-
<b>L1</b>	

NOTE: THESE DRAWINGS ARE INTENDED FOR PROCESSING ONLY. ALL DIMENSIONS, SPACING & AND DESIGN TO BE VERIFIED BY SIGNAGE CLIENT FABRICATOR PRIOR TO CONSTRUCTION OR INST

7917-0273-00 (B)

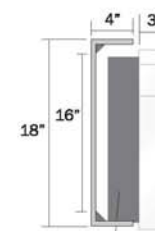


**Channel Letters & logo**

**Quantity:** One (1) Set  
**Size:** 16 5/8" high logo & 9 3/8" high channel letters  
**Type:** Face lit  
**Lighting:** Non-illuminated  
**Return:** 3" deep white returns  
**Face:** 3/16" white acrylic face (flush with return)  
**Mounting:** Letters mounted to 3" deep raceway

**Koodo Channel Letters**

**Quantity:** One (1) Set  
**Size:** 9.5" OAH  
**Type:** Face lit  
**Lighting:** Non-illuminated  
**Return:** 3" deep white returns  
**Face:** 3/16" white acrylic face (flush with return)  
**Mounting:** Letters mounted to 3" deep raceway

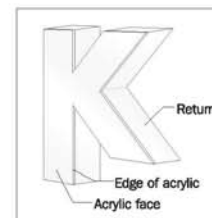
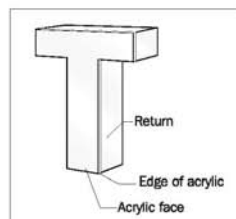


3" deep raceway to fit into existing c-channel

**Colour Specifications**

- White acrylic / white returns
- Raceway to match Pantone Cool Grey 8 U

**SIZES BASED ON SURVEY**



**FOR PRODUCTION**

Sign:  
Scale: 3/4" = 1'-0"



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The colours used in this presentation may vary slightly from those of the actual finished product.

**Project Name:** Dual Branding Telus Koodo

**Project Address:** South Point Shopping Centre - Unit 860-3041 152 Street, Surrey

**Account Manager:** Ryan Shepherd

**Date:** Aug 26, 2016

**File Name:** 260816-DB-TK-SthSurrey-R5

**Revision Date:** Nov 23, 2016

**Client Approval (signature):** \_\_\_\_\_

**Approval Date:** \_\_\_\_\_

**Landlord Approval (signature):** \_\_\_\_\_

Drawing

**2.1**

Proposed



**FOR PRODUCTION**

Existing



Side Elevation Rendering



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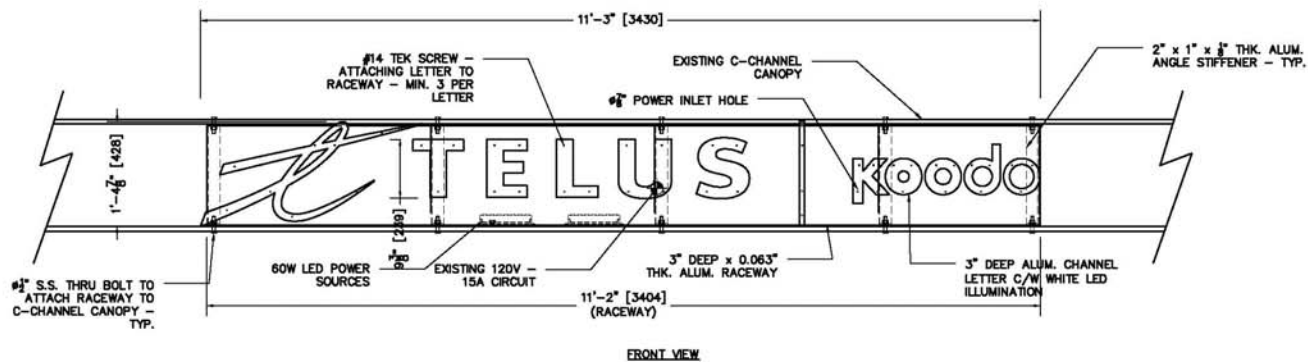
Client Approval (signature):

Approval Date:

Landlord Approval (signature):

Drawing

2.2



SCALE 1:20



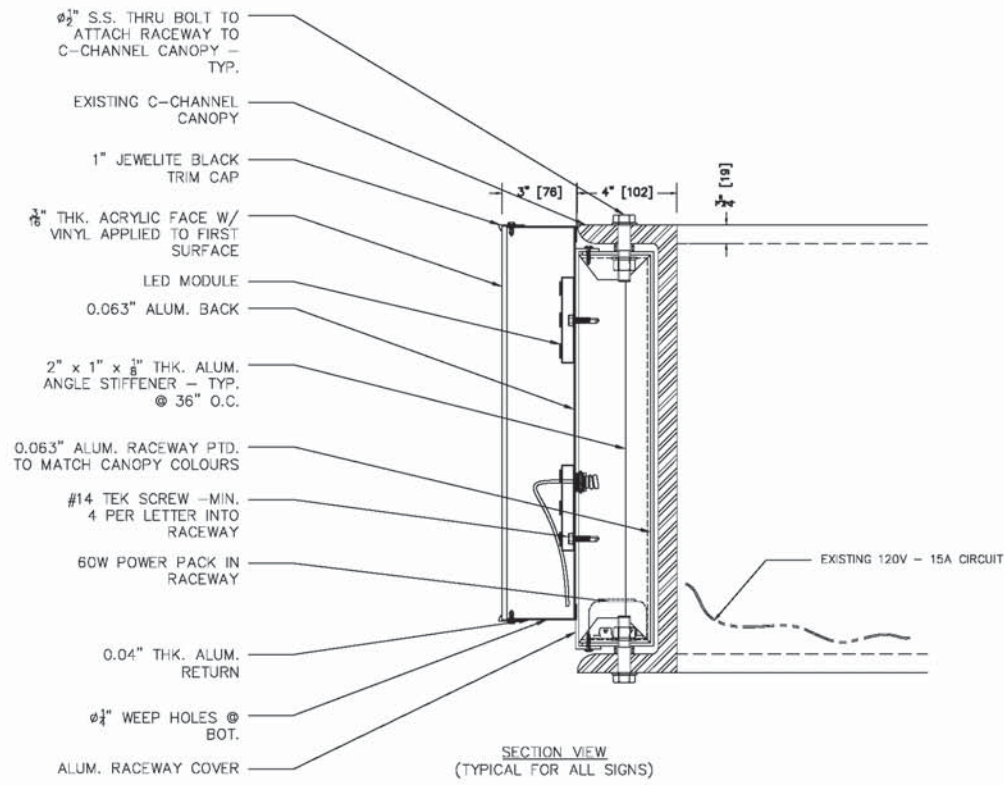
PROJECT:  
 TELUS KOODO  
 UNIT B60 - 3041 152ND ST.  
 SURREY, BC

DRAWING TITLE:  
 SIGN

TELUS KOODO		
FILE NO: XX-XXX	SHEET NO: 1	DRAWN: SC
DATE: 2017/02/14	SCALE: AS NOTED	APPROVED: REVO

GENERAL NOTES:  
 ALL ALUMINUM MEMBERS TO BE ALUMINUM - ALLOY 6061-T6 STANDARD PROFILES

7917-0273-00 (E) Ph. 250-478-8610 Fax. 250-478-8651



SCALE 1:20

7917-0273-00 (F)  
Ph. 250-478-8610  
Fax. 250-478-8631

PROJECT:  
TELUS KOODO  
UNIT B60 - 3041 152ND ST.  
SURREY, BC

DRAWING TITLE:  
SIGN

TELUS KOODO		
FILE NO: XX-XXX	SHEET NO: 2	DRAWN: SC
DATE: 2017/02/14	SCALE: AS NOTED	APPROVED: REV0

GENERAL NOTES:  
ALL ALUMINUM MEMBERS TO BE  
ALUMINUM - ALLOY 6061-T6  
STANDARD PROFILES