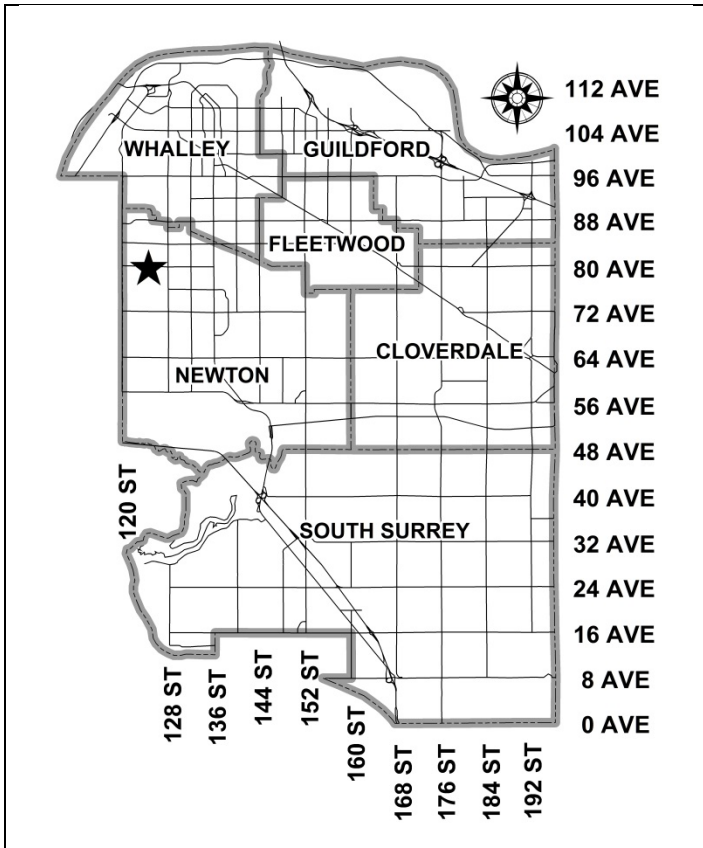


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0272-00

Planning Report Date: February 5, 2018



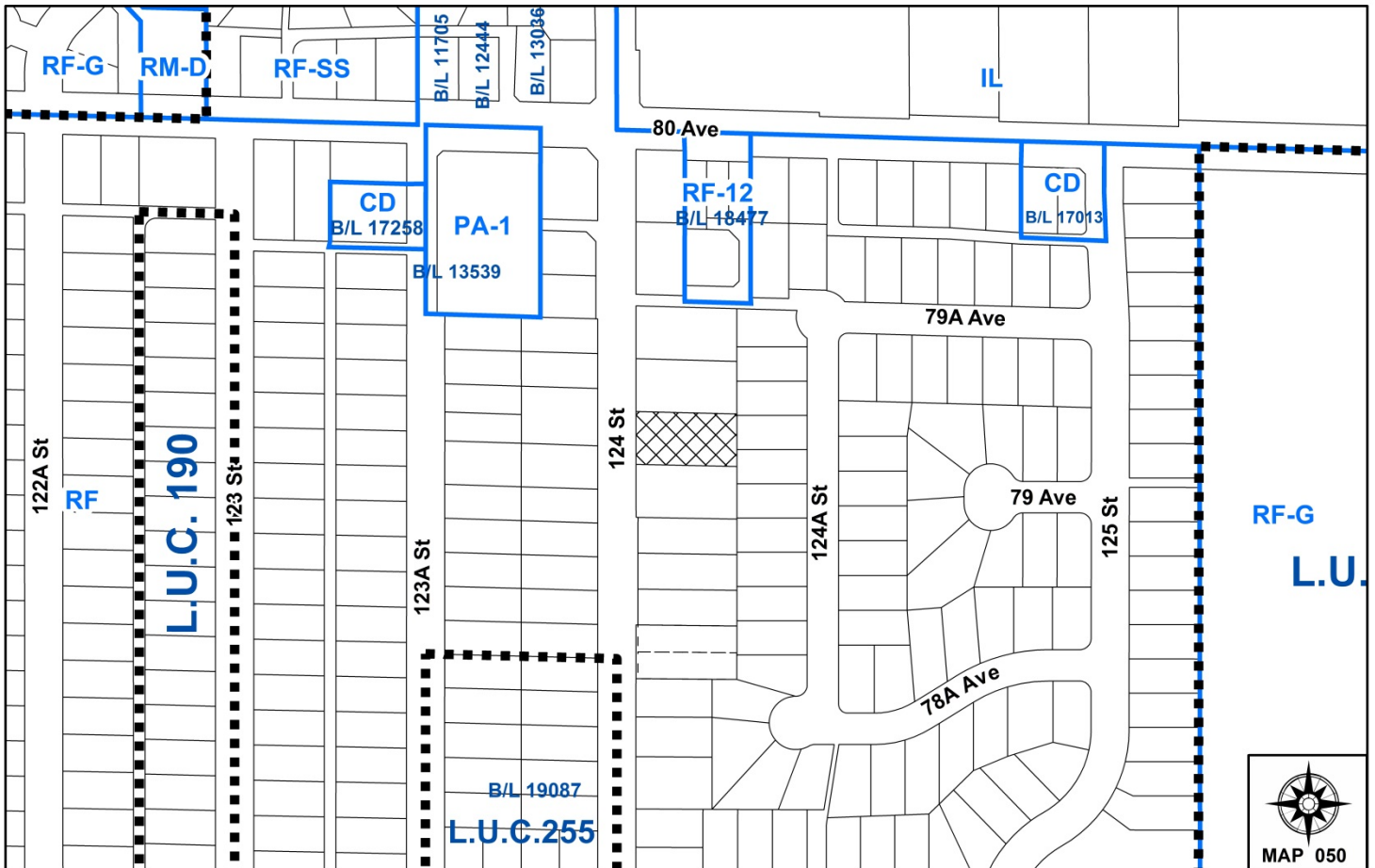
PROPOSAL:

- **Development Variance Permit**
 to allow subdivision into two single family lots.

LOCATION: 7910 - 124 Street

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking a variance to reduce the minimum lot width of the "Single Family Residential Zone (RF)" from 15 metres (50 ft.) to 13.9 metres (46 ft.).
- The applicant is also seeking a variance to reduce the side yard setbacks of the "Single Family Residential Zone (RF)" for the south side yard of proposed Lot 1 and for the north side yard of proposed Lot 2 from 1.8 metres (6 ft.) to 1.2 metres (4 ft.).

RATIONALE OF RECOMMENDATION

- Lots 1 and 2 are very deep at approximately 52.1 metres (171 ft.). Despite the reduced lot width, Lots 1 and 2 are proposed to be 722 square metres (7,767 sq. ft.) in size. The proposed lot areas exceed the RF Zone minimum lot size of 560 square metres (6,000 sq. ft.) by 162 square metres (1,744 sq. ft.).
- The variance to the side yard setbacks will allow for more functional (wider) buildings on the proposed lots.
- The required side yard setback under the RF Zone (1.8 metres (6 ft.)) will be maintained for the outer side yards, limiting the impact on existing neighbours adjacent to the subject site.
- A similar proposal to the south of the subject property at 7860 – 124 Street (Development Application No. 7916-0177-00) received support from Council at the Regular Council – Land Use meeting on February 20, 2017. A Development Variance Permit to reduce the minimum lot width and interior side yard setbacks was subsequently issued on March 6, 2017.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7917-0272-00 (Appendix III), varying the following, to proceed to Public Notification:

- (a) to reduce the minimum lot width of the RF Zone from 15 metres (50 ft.) to 13.9 metres (46 ft.) for proposed Lots 1 and 2;
- (b) to reduce the minimum south yard setback of the RF Zone for the principal building from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for proposed Lot 1; and
- (c) to reduce the minimum north yard setback of the RF Zone for the principal building from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for proposed Lot 2.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling	Urban	RF
East:	Single family dwellings	Urban	RF
South:	Single family dwelling	Urban	RF
West (Across 124 Street):	Single family dwellings	Urban	RF

DEVELOPMENT CONSIDERATIONSBackground

- The subject property is located at 7910 – 124 Street in Newton. The property is designated "Urban" in the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- The subject property is 1,470 square metres (15,823 sq. ft.) in area, with a width of 27.8 metres (91 ft.) and a depth of 52.1 metres (171 ft.), making it an oversized lot in the RF Zone. The property is much larger than the majority of other properties on the block.

Current Proposal

- The applicant is proposing to subdivide the subject property into two single family residential lots fronting 124 Street.
- To facilitate this subdivision, the applicant is proposing a Development Variance Permit (DVP) to reduce the lot widths of both proposed lots and to reduce one side yard setback for each lot, along the shared lot line.
- Proposed Lots 1 and 2 are to be 13.9 metres (46 ft.) wide, 52.1 metres (171 ft.) deep, and have areas of 722 square metres (7,767 sq. ft.).
- Although the proposed lot widths are below the minimum of 15 metres (50 ft.) required under the RF Zone, the proposed lots will exceed the minimum lot size of 560 square metres (6,000 sq. ft.) due to their depth.
- To allow for more functional buildings on the proposed lots, the applicant is also proposing variances to reduce the required side yard setbacks of the RF Zone from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for the south side yard of proposed Lot 1 and the north side yard for proposed Lot 2.

PRE-NOTIFICATION

- The property owners obtained four (4) letters of support from neighbours in the vicinity of the proposal.
- A development proposal sign was installed on the subject property on August 30, 2017. To date, Staff have not received any comments on the proposed subdivision.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum lot width of the RF Zone from 15 metres (50 ft.) to 13.9 metres (46 ft.) for proposed Lots 1 and 2.

Applicant's Reasons:

- Reducing the required lot widths will allow the subject property to be subdivided into two lots.

Staff Comments:

- Currently, the subject property is one of the largest on the block, along with four other properties of similar size and dimensions. Of the other four properties, the one at 7860 – 124 Street has received support for a variance in lot width from 15 metres (50 ft.) to 14.1 metres (46 ft.) under Development Application No. 7916-0177-00. Other lots on the block have lot widths that range from 17.8 metres (58 ft.) to 30.2 metres (99 ft.).

- Despite the reduced lot width, Lots 1 and 2 are each proposed to be 722 square metres (7,767 sq. ft.) in area, which exceeds the minimum lot area of 560 square metres (6,000 sq. ft.) required under the RF Zone.

(b) Requested Variance:

- To reduce the minimum side yard setback of the RF Zone for the principal building from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for the south side yard of proposed Lot 1 and the north side yard of proposed Lot 2.

Applicant's Reasons:

- The reduced side yard setback will improve the appearance and functionality of the proposed dwellings by reducing the dominance of the garage along the front façade and allowing for a larger room adjacent the front entrance.

Staff Comments:

- The requested setback variances are only for the interior side yards between the two proposed lots. Therefore, the existing homes to the north and south of the subject site will not be directly impacted.
- The proposed setback variances will allow for the width of the houses on each lot to be increased by 0.6 metres (2 ft.), for a total width of 10.9 metres (35.5 ft.).
- Mike Tynan, of Tynan Consulting Ltd., has advised that a reduction to the interior side yard setback of the narrower lots will improve the functionality of the floor plan for the proposed dwellings. The variance will allow for a larger flex-room, with a larger window, facing the street and will reduce the appearance of the garage as the dominant building element when viewed from the street.
- Development Application No. 7916-0177-00, at 7860 – 124 Street, received support from Council for a setback variance to the interior side yards from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) on February 20, 2017 and a Development Variance Permit was subsequently issued on March 6, 2017.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Engineering Summary
- Appendix III. Development Variance Permit No. 7917-0272-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

CB/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Current Zoning: RF Zone

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.36 ac
Hectares	0.14 ha
NUMBER OF LOTS	
Existing	1
Proposed	2
SIZE OF LOTS	
Range of lot widths (metres)	13.9
Range of lot areas (square metres)	722
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	13.6 uph / 5.5 upa
Lots/Hectare & Lots/Acre (Net)	13.9 uph / 5.6 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	34%
Estimated Road, Lane & Driveway Coverage	6.5%
Total Site Coverage	40.5%
PARKLAND	
Area (square metres)	N/A
% of Gross Site	N/A
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others (Lot Width and Setbacks)	YES

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **Jan 29, 2018** PROJECT FILE: **7817-0272-00**

RE: **Engineering Requirements
Location: 7910 - 124 Street**

SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 0.942 m toward Collector Road allowance.
- Register 0.5 m SRW along 124 Street.

Works and Services

- Construct 124 Street to Collector Road standard.
- Pay 50% cash-in-lieu contribution for the construction costs of the future frontage sanitary main on 124 Street.
- Register a Restrictive Covenant (RC) for on-site stormwater mitigation according to Cruikshank Grenville Mahood Integrated Stormwater Management Plan.
- Register RC for transfer of sanitary connection to future fronting sewer on 124 Street.
- Provide a water, storm, and sanitary service connection to each lot.

A Servicing Agreement is required prior to Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Tommy Buchmann, P.Eng.
Development Project Engineer

MB

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0272-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-506-961

Lot 6 Except: Part Subdivided by Plan 60221; Section 19 Township 2 New Westminster District Plan 18008

7910 - 124 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section K. Subdivision of Part 16 Single Family Residential Zone (RF), the minimum lot width is reduced from 15 metres (50 ft.) to 13.9 metres (46 ft.) for proposed Lots 1 and 2;
 - (b) In Section F. Yards and Setbacks of Part 16 Single Family Residential Zone (RF), the minimum side yard (south) setback for the principal building is reduced from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for proposed Lot 1; and
 - (c) In Section F. Yards and Setbacks of Part 16 Single Family Residential Zone (RF), the minimum side yard (north) setback for the principal building is reduced from 1.8 metres (6 ft.) to 1.2 metres (4 ft.) for proposed Lot 2.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

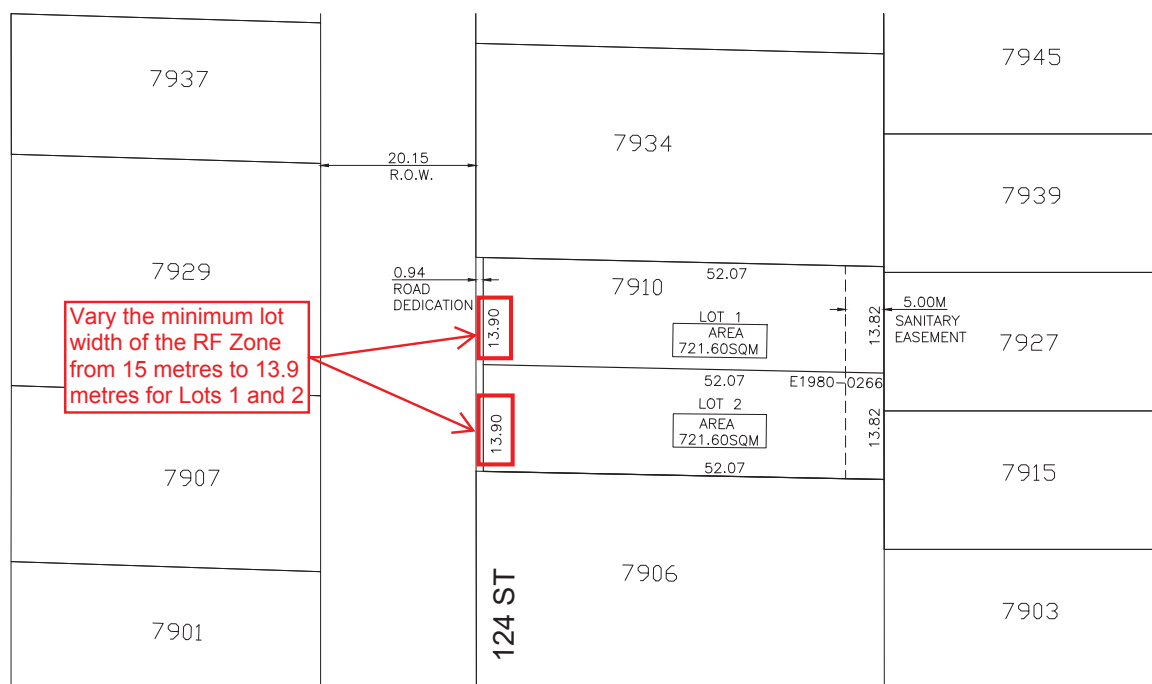
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

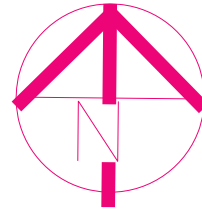
City Clerk – Jane Sullivan



Vary the minimum lot width of the RF Zone from 15 metres to 13.9 metres for Lots 1 and 2



NOTE: 1. ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. 2. EXACT LOT DIMENSIONS & AREAS ARE TO BE VERIFIED BY THE SURVEYOR.	ZONING: EXISTING ZONING: RF PROPOSED ZONING: RF SITE AREA GROSS SITE AREA: 1468.48sqm.	NO.	YY/MM/DD	DRN	CH.	REVISION	MAINLAND ENGINEERING DESIGN CORPORATION UNIT 206 8363 128TH STREET SURREY, B.C. V3W 4G1 TEL: (604) 543 8044 FAX: (604) 543 8104 EMAIL: CIVIL@MAINLANDENG.COM	DEVELOPMENT/SITE LOCATION 2 LOT SUBDIVISION # 7910 124 ST, SURREY, B.C.	SEAL	SCALE N.T.S.	SURREY PROJECT NO.	DRAWING NO.
		0	17/05/26	IG	RM	ISSUED FOR APPROVAL				DWG. NAME PRELIMINARY LAYOUT PLAN	DRAWN IG	MAINLAND PROJECT NO. C-1732
										CHECKED RM	DATE 17/05/26	OF 1 REV. 0
										APPROVED AB		



10.00 m INCREASED FRONT
SETBACK RECOMMENDED

Vary the minimum south side
yard setback for Lot 1 and
the north side yard setback
for Lot 2 from 1.8 m to 1.2 m

