

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0255-00

Planning Report Date: September 11, 2017

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

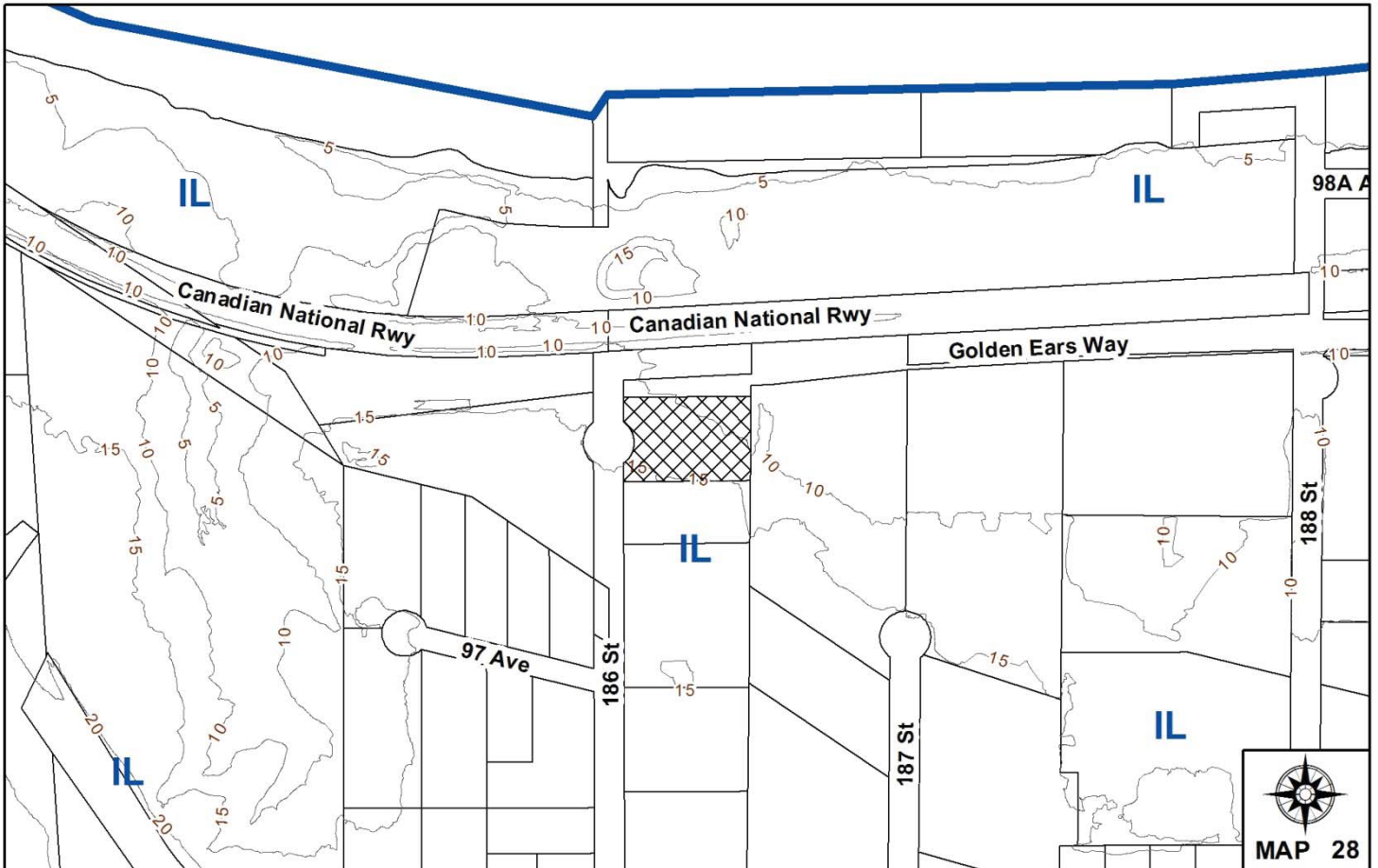
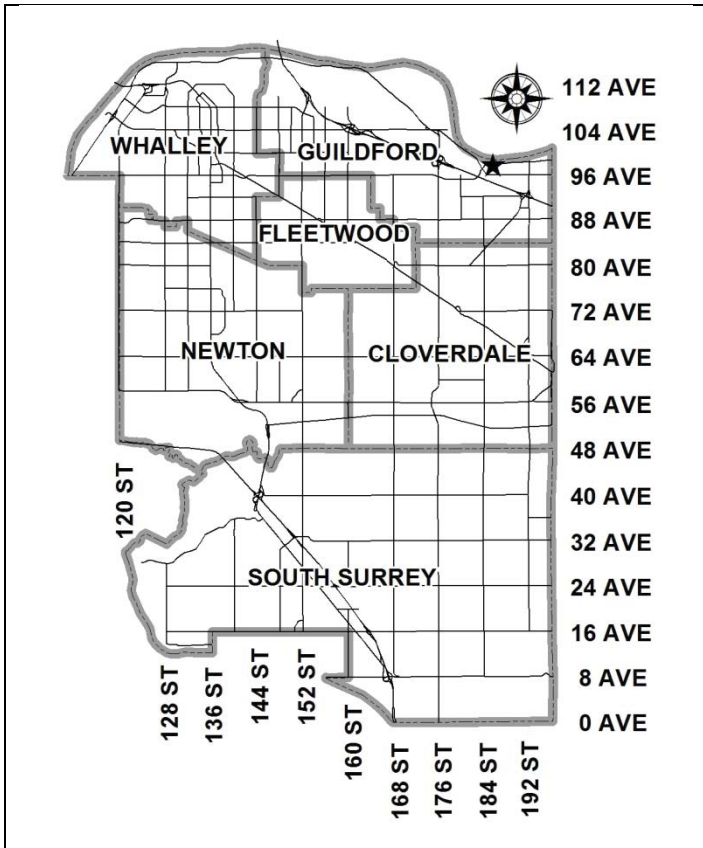
to permit the development of a contractor's office and industrial storage building.

LOCATION: 9788 - 186 Street

OWNER: 1897 Holdings Ltd.

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the rear yard setback for an accessory building in the IL Zone from 7.5 metres (25 ft.) to 3.6 metres (12 ft.).

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the OCP and supports the City's Employment Lands Strategy through more efficient use of industrial land.
- The proposed building incorporates high quality materials and design, which is appropriate as Golden Ears Way is considered a gateway location into the City.
- The applicant has created a high quality landscaped interface between the Golden Ears Greenway and the proposed building.
- It is the applicant's intent to relocate their business from Vancouver to this site.
- The proposed variance allows for a more efficient industrial layout and for better grading of the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0255-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7917-0255-00 (Appendix V), to reduce the minimum rear yard setback of the IL Zone for an Accessory Building from 7.5 metres (25 ft.) to 3.6 metres (12 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a sealed letter from a Geotechnical Engineer:
 - i. outlining how the storage shed will be constructed at close proximity to the south property line and neighbouring buildings; and
 - ii. providing the assurance that the proposed design and construction methods for the construction of the storage shed will substantially comply with all the requirements of the applicable codes, legislation and bylaws and will be safe for their intended purpose.
 - (c) input from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Translink: TransLink has no concerns with the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across Golden Ears Way and Greenway as well as Canadian National Railway):	Sawmill.	Industrial	IL
East:	Vacant lot.	Industrial	IL
South:	Game bird processor.	Industrial	IL
West (Across 186 Street cul-de-sac):	Vacant lot under Development Permit application No. 7916-0320-00 to permit an industrial building.	Industrial	IL

DEVELOPMENT CONSIDERATIONS

- The subject lot is located on the east side of 186 Street cul-de-sac and borders Golden Ears Way to the north. The site was created through subdivision application No. 7990-0079-00 as part of a 5-lot industrial subdivision.
- The 4,637 square-metre (49,912 sq.-ft.) property is designated Industrial in the Official Community Plan (OCP) and is zoned "Light Impact Industrial Zone (IL)".
- Development Permit and Development Variance Permit Nos. 7913-0099-00 were previously issued on December 16, 2013 to allow for a truck company dispatch office. Both permits have since expired and the property has been sold to the current applicant.
- The proposed Development Permit and Development Variance Permit are for a contractor's office and storage shed for Smith Brothers and Wilson Ltd. which is relocating their offices and approximately 20 to 25 employees from Vancouver.
- The proposed site includes a 1,163-square metre (12,519 sq. ft.) 3-storey contractor's office, a 465-square metre (5,000 sq. ft.) storage building and parking and outdoor storage as well as a staging area.
- The proposed development complies with all requirements of the IL Zone with the exception of the rear yard setback to the accessory storage building, which is proposed to be reduced from 7.5 metres (25 ft.) to 3.6 metres (12 ft.). See By-law Variances Section.

DESIGN PROPOSAL AND REVIEW

Office Building

- At the northwest corner of the site, the applicant proposes a 1,138-square metres (12,245 sq. ft.) 3-storey contractor's office. The dimensions of the building are approximately 43 metres (141 ft.) in length, 10 metres (33 ft.) in width and 11 metres (36 ft.) in height. The proposed design includes cantilevering of portions of the second and third floors.
- The proposed building is of a high quality design. Smith Brothers and Wilson Ltd. (SBW) is a contractor that specializes in the use of concrete. The design of the building reflects this by using substantial concrete in the building design and retaining walls on site.
- The proposed building will be accented with blue metal panels, wood, substantial glazing and architectural concrete.
- All three floors are designed with an east-west corridor with offices off of the north and south sides of the corridor. Each of the three floors is approximately 364 square metres (3,900 sq. ft.) to 406 square metres (4,370 sq. ft.) in area.

Accessory Building

- At the southeast corner of the site is a proposed 465-square metre (5,000 sq. ft.) storage building that is approximately 26 metres (85 ft.) wide and 17.5 metres (57 ft.) deep and is proposed to be 6 metres (20 ft.) in height.
- The proposed pre-engineered storage shed will be primarily blue with grey and white accents to match the contractor's office building. Along the north elevation is a large sliding door.
- The proposed shed is proposed to be constructed at a zero setback to the south property line. Due to the complexities of constructing at the property line, the applicant will be required to provide a letter from a Geotechnical Engineer outlining how construction of the proposed building and retaining wall will occur.
- The applicant is proposing a reduced rear yard setback for the proposed shed of 3.6 metres (12 ft.). See variance section for further details.

Outside Storage

- Outside storage is located in the northeastern portion of the site. The applicant proposes a storage area incorporating approximately eight storage containers that will be double stacked along the centre of the east property line.
- The northeast corner will be used for the periodic transitioning and staging area for construction supplies and equipment required for off-site projects.

Parking, Access and Circulation

- One driveway access is proposed off of the 186 Street cul-de-sac. The proposed driveway is 6 metres (20 ft.) wide and has an approximate five percent slope as it enters the site.

- The applicant proposes a total of 37 employee and customer parking spaces which exceeds the 34 employee and customer parking spaces required under Surrey Zoning By-law No. 12000 for both the office building and accessory building.
- Employee and customer parking is located in the southwest portion of the site. Four (4) of the proposed parking spaces are in a parallel arrangement.

Trees, Landscaping and Retaining Walls

- The site slopes downward approximately 7.5 metres (25 ft.) from the southwest corner to the northeast corner. The proposed grading requires the use of substantial lock-block retaining walls along the north, east and south property lines as well as a retaining wall through the parking area in the middle of the site to assist with leveling the site.
- Along the east side of the site, the applicant proposes an approximate 1.7-metre (5.5 ft.) high lock block retaining wall that is setback approximately 4.5 metres (15 ft.) from the property line. The proposed wall is approximately 20 metres (65 ft.) in length and will be screened by a 1.5 metre (5 ft.) wide cedar hedge adjacent to an existing a 3-metre (10 ft.) wide drainage easement.
- Along the north property line, along both Golden Ears Way and Golden Ears Greenway, an approximate 1-metre (3 ft.) tall retaining wall is proposed. The proposed wall will be setback 3-metres and will be screened the full length of the property line by retaining existing undersized trees along the north property line and augmenting these trees with an additional 9 maple trees and shrubs.
- Along the 186 Street cul-de-sac, the applicant proposes a 3-metre (10 ft.) wide landscaping area which includes four tulip trees and shrubs. Decorative saw cut concrete is proposed across the entrance.
- To the south of the contractor's office building, the applicant proposes four stepped retaining walls from the main floor of the building to the parking lot. The main entrance to the building will be the second floor which has a pathway and ramp leading up to it from the parking lot.
- A retaining wall is proposed within the parking lot to assist with leveling the grades.
- A 2.4-metre (8 ft.) high security fence is proposed around the eastern portion of the site to primarily protect the outside storage and staging area. The fencing will primarily be high quality omega fencing with chain link proposed along the non-visible east property line.
- A staff patio area is proposed to the north of the office building.

Signage

- The applicant is proposing one single-sided free-standing monument sign located to the north of the driveway along the 186 Street cul-de-sac. The proposed oval sign is approximately 2.1 metres (7 ft.) wide and 1.1 metre (3.5 ft.) tall on a 0.35-metre (1 ft.) base. The proposed signage complies with the Sign By-law.

- The concrete sign will have the company letters of SBW and addressing. All lettering will be aluminum and lined with LED lighting and mounted to the concrete base.

TREES

- Austin Peterson, ISA Certified Arborist of van der Zalm and Associates Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Cottonwood Tree			
Cottonwood	4	4	0
Total (excluding Cottonwood Trees)	0	0	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		13	
Total Retained and Replacement Trees		13	
Contribution to the Green City Fund		nil	

- The Arborist Assessment states that all four (4) of the existing trees on-site are Cottonwood tree and that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. The applicant is proposing to retain 15 off-site trees.
- For those Cottonwood trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio. This will require a total of 4 replacement trees on the site, and the applicant is proposing 13 replacement trees.
- In summary, a total of 13 trees are proposed to be planted on the site.

PRE-NOTIFICATION

- In accordance with Council policy, a development proposal sign was erected on the property. To date, staff have not received any comments with respect to the proposal.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 17, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location	<ul style="list-style-type: none"> The proposed development complies with the Industrial designation in the OCP.
2. Density & Diversity	<ul style="list-style-type: none"> N/A
3. Ecology & Stewardship	<ul style="list-style-type: none"> The applicant will plant and maintain landscaping throughout the site. Along the north property line there are groupings of six and four undersized cedar trees that will be retained through development.
4. Sustainable Transport & Mobility	<ul style="list-style-type: none"> The site is within 300m of a bus stop to bus numbers 388 and 501 and is directly adjacent to the Golden Ears Greenway.
5. Accessibility & Safety	<ul style="list-style-type: none"> The current design has incorporated CPTED strategies and included continuous perimeter fencing, exterior directed lighting and landscaping to establish a comfortable and safe work environment.
6. Green Certification	<ul style="list-style-type: none"> N/A
7. Education & Awareness	<ul style="list-style-type: none"> The current design of the Smith Bros Wilson Head Office celebrates the companies 120th anniversary and reflects their projects, through construction materials and a strong sustainable vision. The project incorporates and makes visible heavy timber (Glulam beams and columns, NLT floors and roof) and advanced wood systems (CLT walls) into the construction and incorporates sustainable mechanical and electrical systems.

BY-LAW VARIANCE AND JUSTIFICATION**(a) Requested Variance:**

- To reduce the rear yard setback in the IL Zone from 7.5 metres (25 ft.) to 3.6 metres (12 ft.) for an accessory building.

Applicant's Reasons:

- Site topography and grading has made development of the site difficult. The relaxed setback assists in providing a better site layout.
- The proposed setback relaxation allows for a shed size that is equivalent in size to the existing operation in Vancouver. A smaller shed would not allow for the area to safely operate.

Staff Comments:

- The proposed variance allows for reduced setback along a rear property line which borders a vacant industrial lot.
- Due to existing sloping grades, the site is difficult and inefficient to design. The reduced setback helps with grading transition and site design while making the site more efficient.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7917-0255-00

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Jeff Musialek
 1897 Holdings Ltd.
 Address: 8729 - Aisne Street
 Vancouver, BC V6P 3P1

2. Property involved in the Application
 - (a) Civic Address: 9788 - 186 Street

 - (b) Civic Address: 9788 - 186 Street
 Owner: 1897 Holdings Ltd.
 Director Information:
 James Clark Campbell
 Timothy Harrington
 Jeff Musialek
 H. Murray Saunders

 No Officer Information Filed

 PID: 016-676-645
 Lot 5 District Lot 388A Group 2 New Westminster District Plan 87305 Except Plans
 BCP25789 and BCP23778.

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7917-0255-00 and
 bring the Development Variance Permit forward for an indication of support by
 Council. If supported, the Development Variance Permit will be brought forward for
 issuance and execution by the Mayor and City Clerk in conjunction with the issuance of
 the associated Development Permit.

 - (b) Remove Notice of Development Permit No. 7913-0099-00 from title.

 - (c) Remove Notice of Development Variance Permit No. 7913-0099-00 from title.

DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)	4,637 m ²	
Gross Total		
Road Widening area		
Undevelopable area		
Net Total	4,637 m ²	
LOT COVERAGE (in % of net lot area)	60%	
Buildings & Structures		19%
Paved & Hard Surfaced Areas		53%
Total Site Coverage		72%
SETBACKS (in metres)		
Front	7.5 m	7.5 m
Rear	7.5 m	3.6 m *
Side #1 (North)	7.5 m	7.5 m
Side #2 (South)	0 m	0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m	11 m
Accessory	6 m	6 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		1,163 m ²
Total		1,163 m ²
FLOOR AREA: Industrial		464.5 m ²
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	4,637 m ²	1,627.8 m ²

* Development Variance Permit required for relaxation to rear setback for accessory building

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	1.0	0.36
FAR (net)	1.0	0.36
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Office	29	32
Industrial	5	5
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	34	37
Number of accessible stalls	1	1
Number of small cars		3
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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Smith Bros & Wilson Ltd. - New Head Office

9788 186 Street, Surrey, B.C., V4N 3N7

Development Permit - COS file # 7917-0255-00

May 25, 2017: re Submission: August 10, 2017

m² Architecture

106 – 2893 West 41st Avenue
Vancouver BC, V6N 3C5
tel: (604) 724-7602



PROJECT DATA

Legal Address:

LOT 5 DISTRICT LOT 388A PLAN
87305 NWD GROUP 2, EXCEPT PLAN
BCP25788, & EXC PL BCP23778
P.I.D.: 018-878-845

Land Use: Industrial

Present Zone: IL

Site Area: 4,639 m²

F.S.R.: 1.0

Lot Coverage: 60% max

Proposed: 19% Bldgs & Storage Shed

Setbacks:

- Front = 7.5m
- Rear = 7.5m (existing)
* 3.6m (variance)
- Side = 7.5m - north ,0.0m -
south (if abuts commercial or
Industrial land)

Max. Height:

- Principal Bldg. = 18m
- Proposed - 11m
- Accessory Bldg. = 6m

Floor Area:

- Office. = 1,181.3 m²
- Industrial = 464.5 m²

Total Bldg Floor Area = 1, 625.8m²

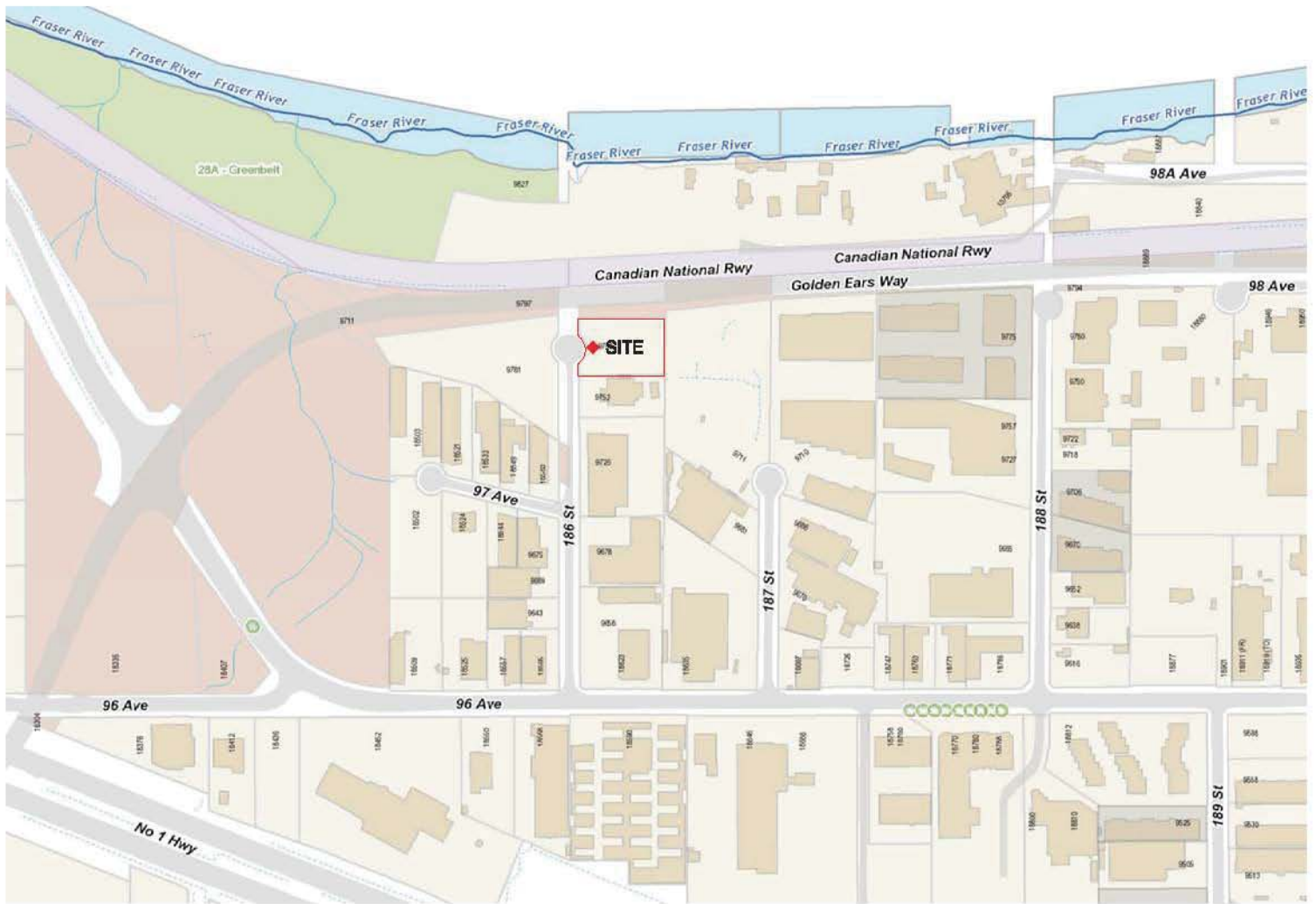
Density:

- FAR (gross) allowed = 1.0
- FAR (gross) proposed = 0.36
- FAR (net) allowed = 1.0
- FAR (net) proposed = 0.36

Parking:

- Commercial = 33
- Disabled Stalls = 1 (incl)
- Small Cars = 8 (incl)

Total # Parking Stalls = 33



1 / Location Map / n.t.s

m² Architecture inc.
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 Vancouver BC, V6N 3C5



Project
 Smith Bros & Wilson Ltd.
 New Head Office

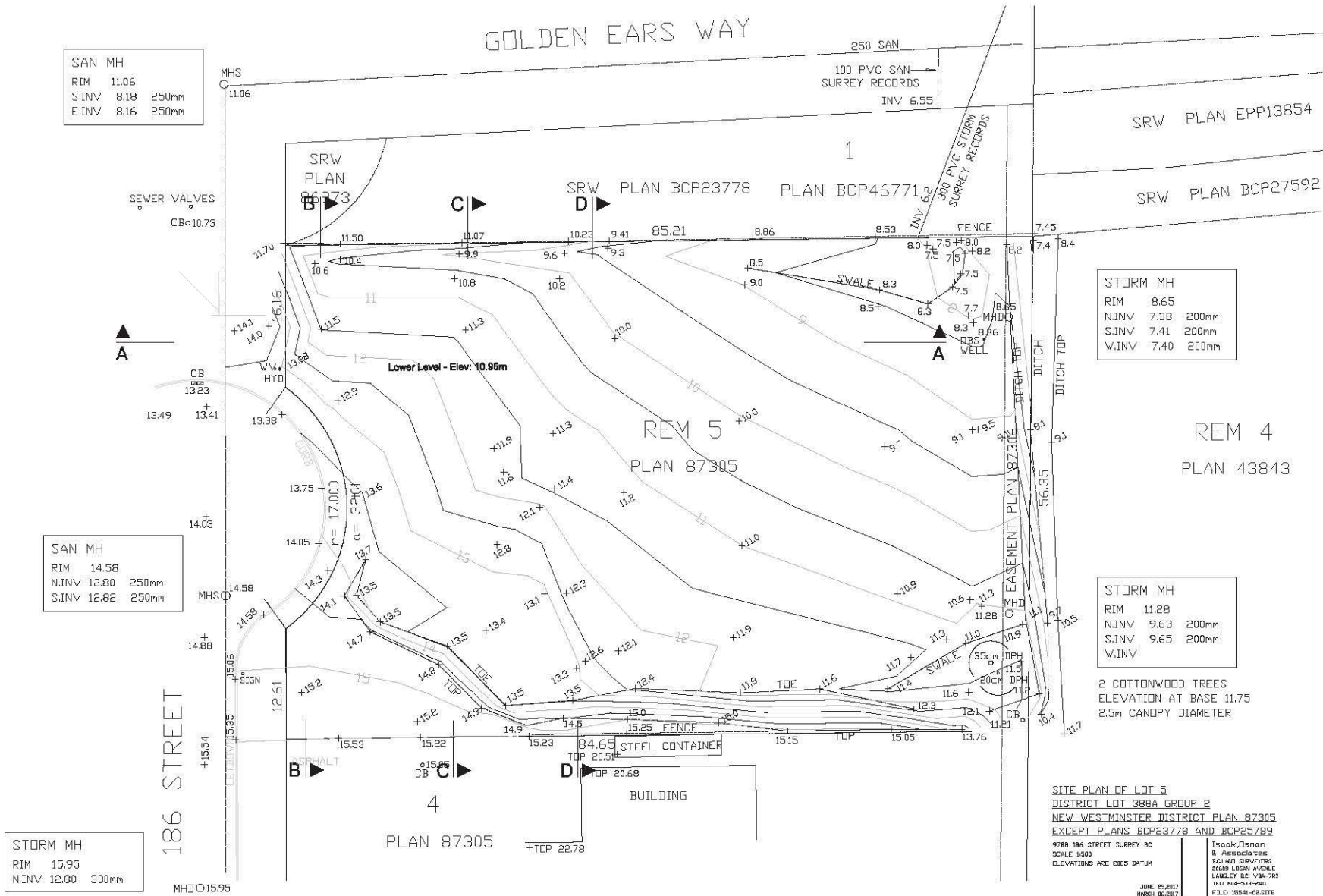
address
 9788 186 Street
 Surrey, B.C., V4N 9N7

phase
 Development Permit

sheet title
 LOCATION MAP

scale n.t.s. | **date** Aug 18, 2017

sheet no.



submission	YY-Mo-DD	Consultant:
BP Submission	17-08-21	
DP re-Submission	17-07-18	
internal BP Review re-Submission	17-07-28	

Permit Seal:

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New Head Office
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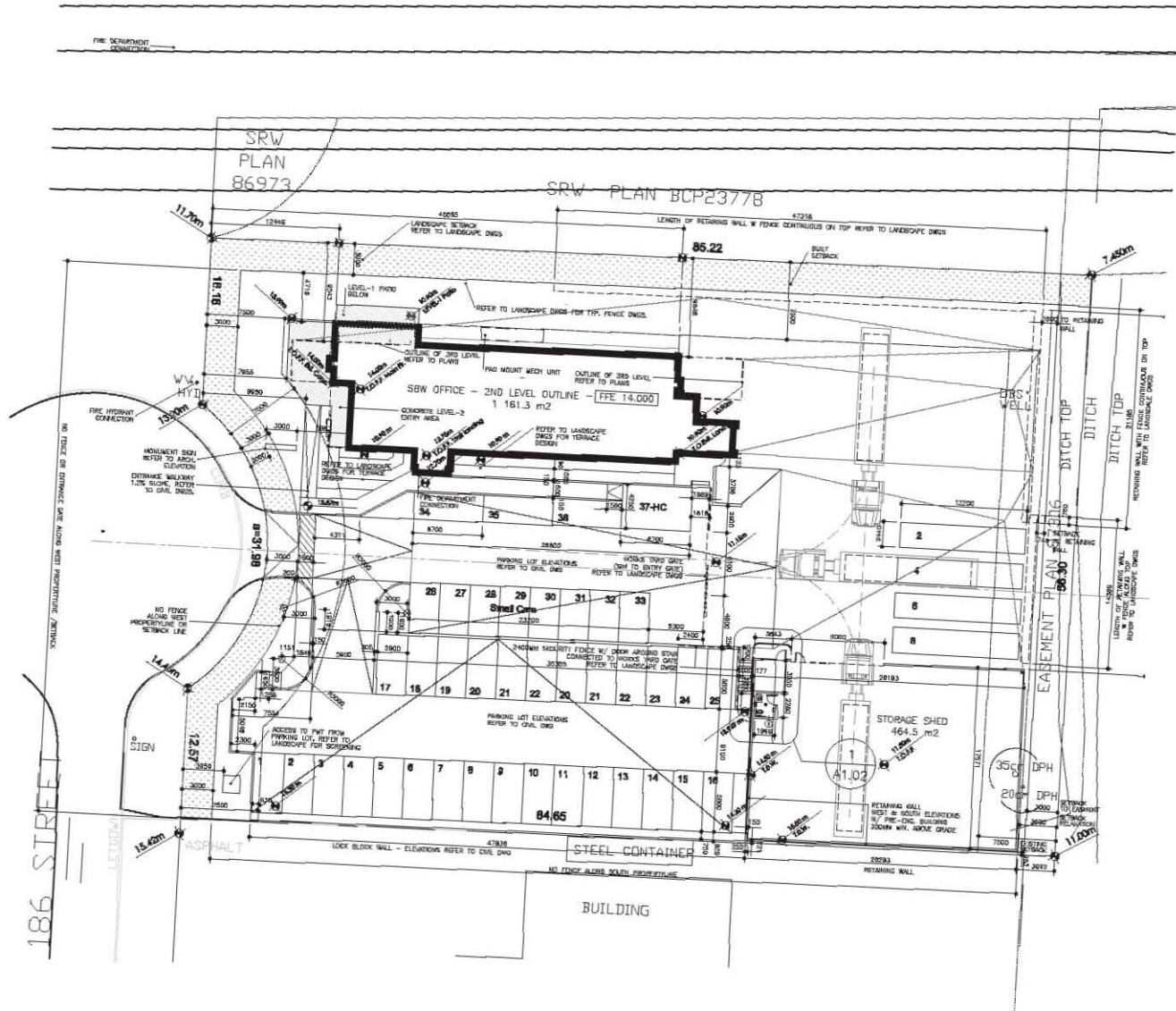
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sheet title
Survey Plan - w/ Level 1-2 - Reference Only

scale 1:200 | date Aug 15, 2017

sheet no.
a1.01



submission	YY-Mo-DD
BP Submission	17-08-21
DP re-Submission	17-07-18
internal BP Review re-Submission	17-07-28

Consultant:

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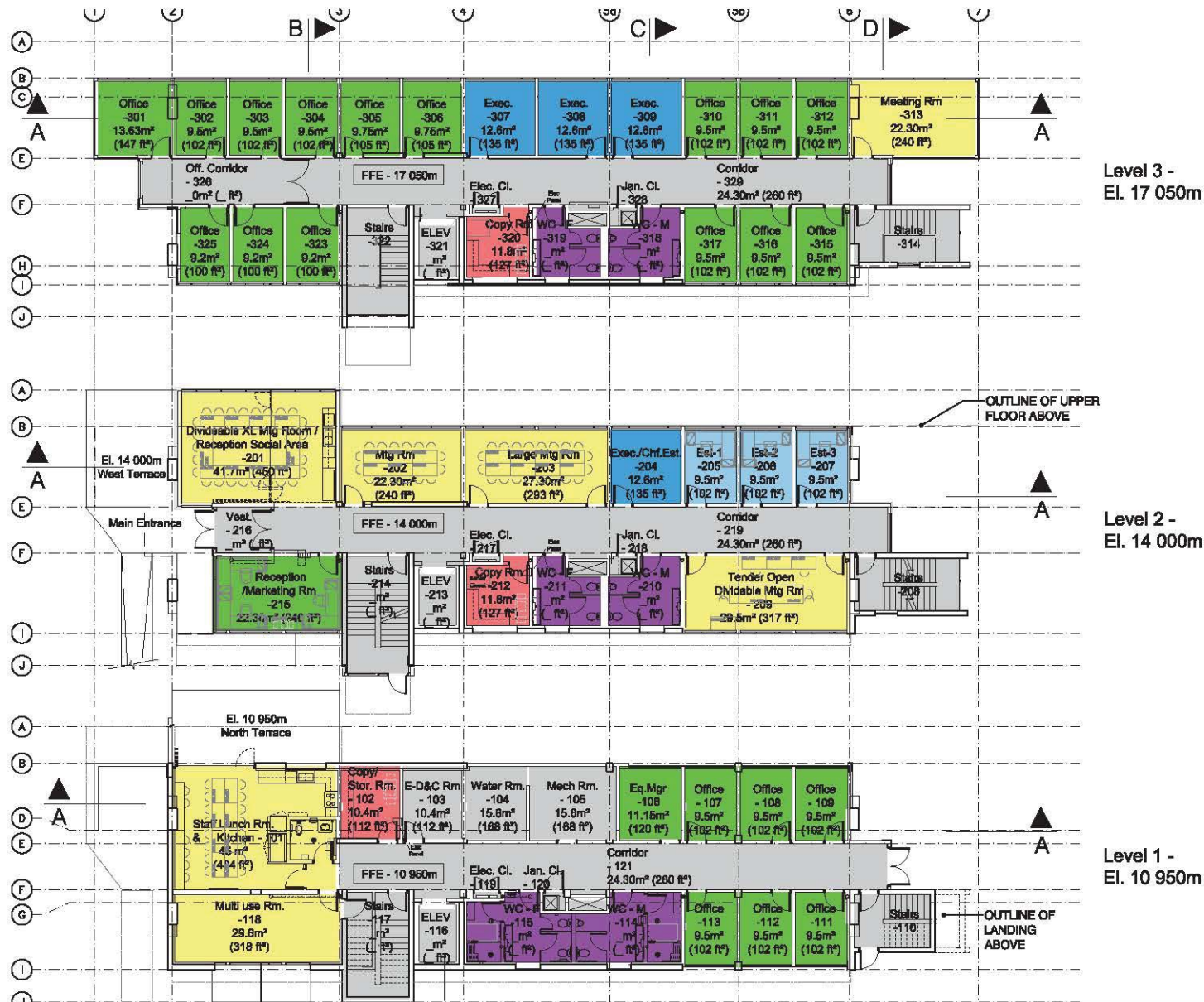
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SITE PLAN

scale 1:200 | date Aug 15, 2017

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a1.02



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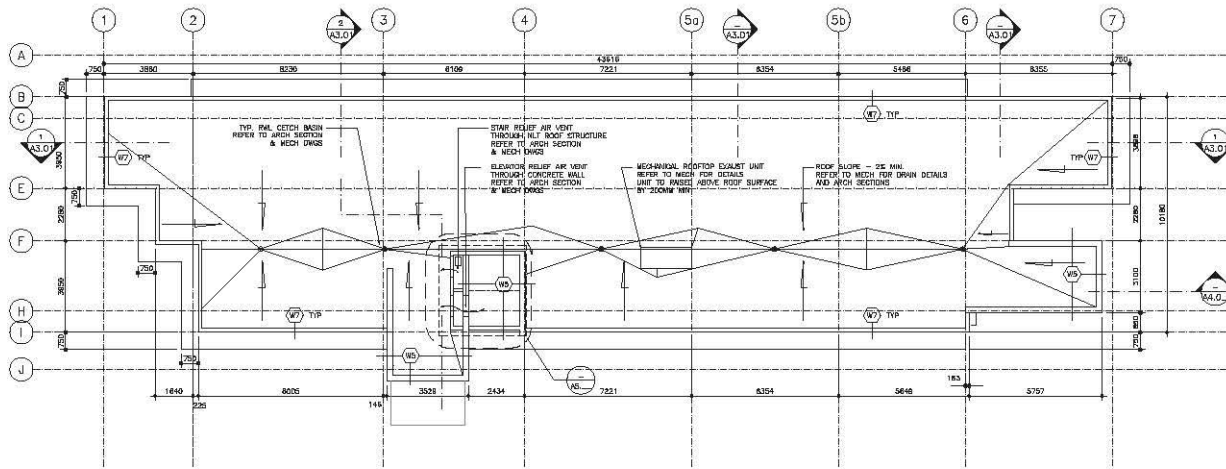
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phase
Development Permit

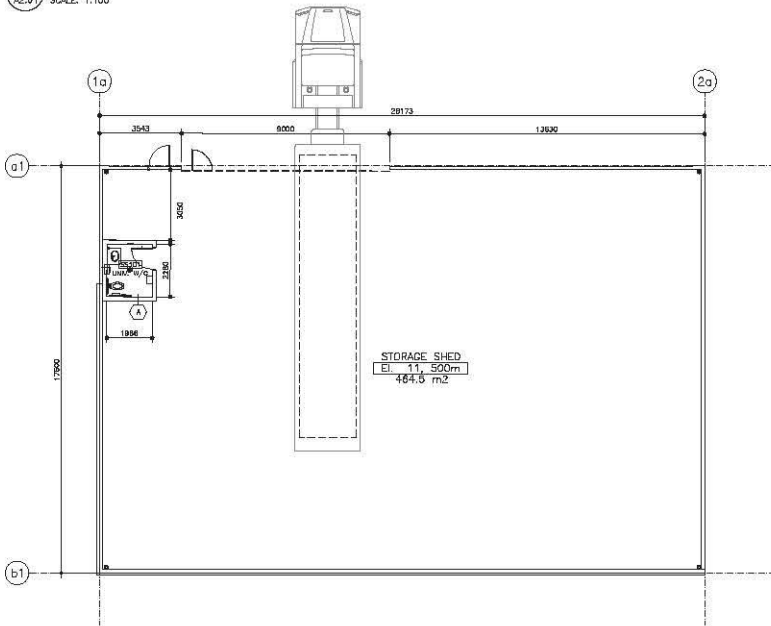
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FLOOR PLANS - 1st, 2nd & 3rd Level
 scale 1: 200 | date Aug 15, 2017

sheet no.

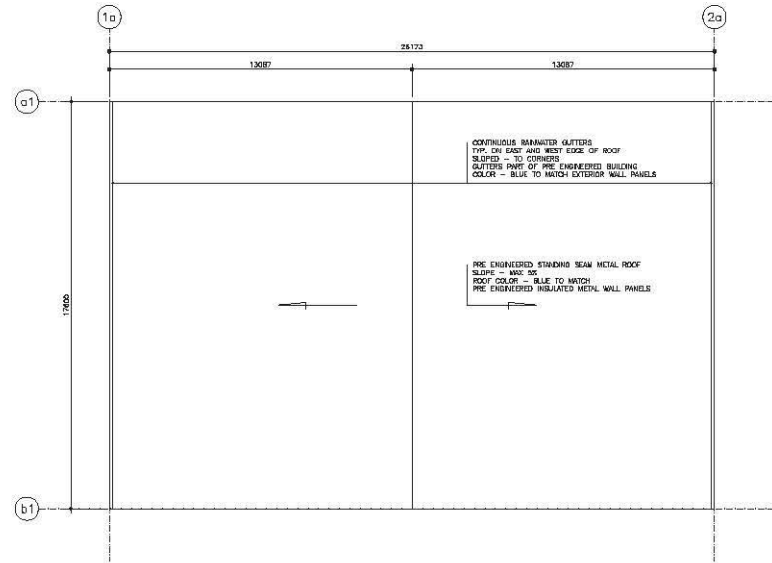
a2.00



1 ROOF PLAN - OFFICE
A2.01/ SCALE: 1:100



2 FLOOR PLAN - ACCESSORY BUILDING
A2.01/ SCALE: 1:100



3 ROOF PLAN - ACCESSORY BUILDING
A1.01/ SCALE: 1:100

submission	YY-Mo-DD
BP Submission	17-08-21
DP re-Submission	17-07-18
internal BP Review re-Submission	17-07-28

Consultant: Permit Seal:

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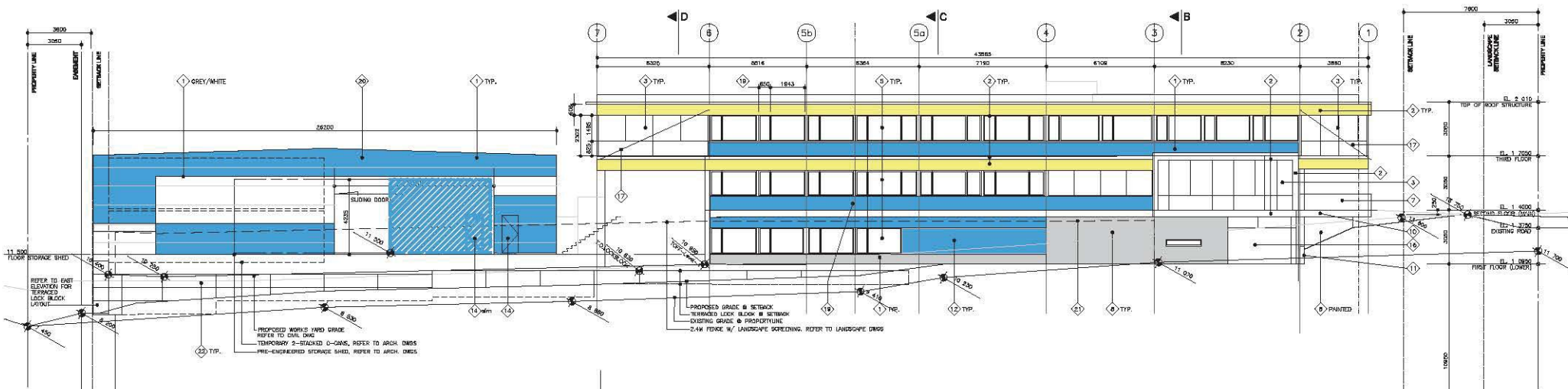
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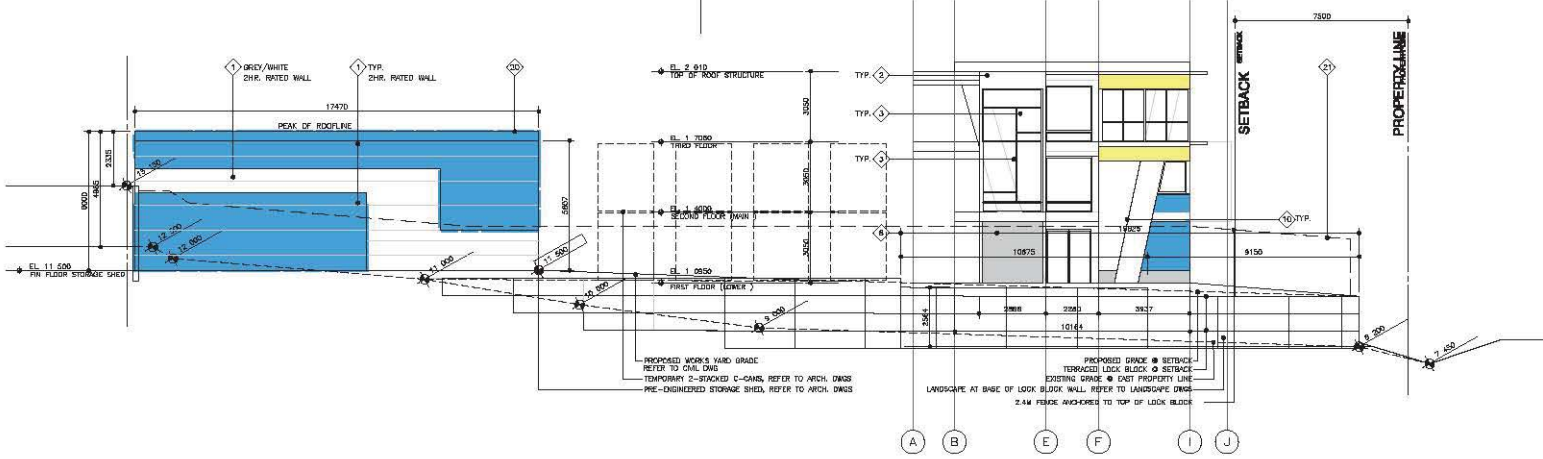
sheet title
ROOF PLAN - Office
ROOF & FLOOR PLAN - Accessory Bldg
scale 1:100 | date Aug 15, 2017

sheet no.

a2.01



1 NORTH ELEVATION
SCALE: 1:100



2 EAST ELEVATION
SCALE: 1:100

ELEVATION KEY NOTES	
1	INSULATED PREFINISHED METAL PANEL - COLOR: SIBY BLUE
2	WOOD (INCL. MTL. DECK & BEAMS AND COLUMNS) CLEAR STAIN
3	TINTED GLASS VISION PANEL - 2 COLORS REFER TO ELEV'S
4	PREFINISHED ALUMINUM MILLION GAP
5	THERMALLY BROKEN VINYL MULLIONS
6	PREFINISHED ALUMINUM DOOR W/ TINTED GLAZING
7	PAINTED STEEL CHAIRSEAT W/ CLEAR GLAZING
8	ARCHITECTURAL CONCRETE W/ LIGHT SANDBLAST FINISH
9	CONCRETE PANEL REVEAL TO MATCH PANEL JOINTS
10	CONCRETE COLUMNS W/ LIGHT SANDBLAST FINISH AND 1" x 1" BEZEL
11	CONCRETE RETAINING WALLS - REFER TO CIVIL DWGS.
12	PREFINISHED METAL LOUVERES - REFER TO MECH. DWGS.
13	PREFINISHED METAL FLASHING
14	INSULATED HOLLOW METAL DOOR - PAINTED
15	CONCRETE FILLED STEEL PIPE BOLLARD - PAINTED
16	GLAZED OVERHEAD DOOR & STEEL FRAME - PAINTED
17	STRUCTURAL OVERLEAF SUPPORT - REFER TO STRUCT. DWGS.
18	CONCRETE PIEDestal SIGN WITH LED BACKLIT LETTERS (SIGNAGE TO INCLUDE SIGN LOGO AND STREET ADDRESS)
19	PRE-ENGINEERED BUILDING W/ STANDING SEAM METAL ROOF AND INSULATED METAL PANELS - COLORS TO MATCH OFFICE
20	SECURITY FENCE - REFER TO LANDSCAPE DWGS.
21	LOCK BLOCK RETAINING WALL - REFER TO LANDSCAPE AND CIVIL DWGS.
22	1100MM HIGH SUPER RAIL - REFER TO LANDSCAPE DWGS.

submission	YY-Mo-DD	Consultant:	Permit Seal:
BP Submission	17-08-21		
DP re-Submission	17-07-18		
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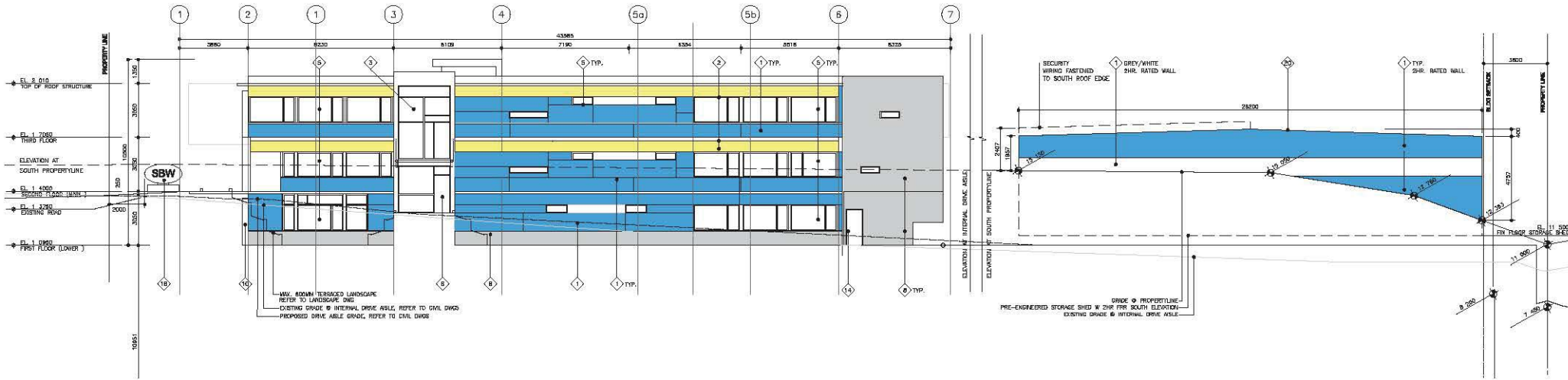


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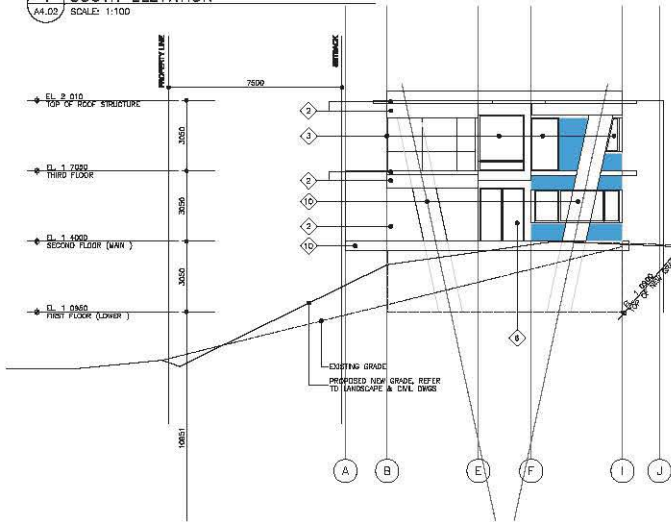
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ELEVATIONS - North & East
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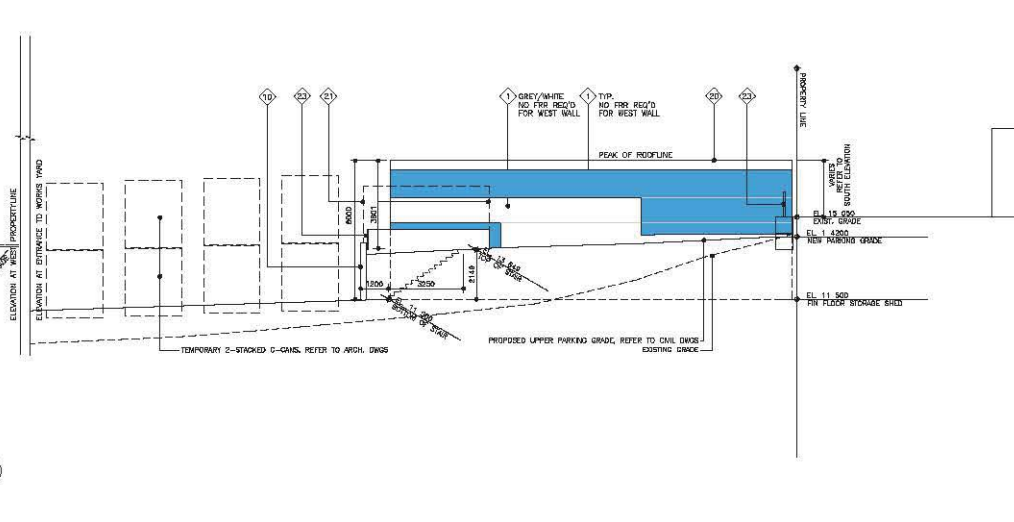
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a4.01



1 SOUTH ELEVATION
A4.02 SCALE: 1:100



2 WEST ELEVATION
A4.02 SCALE: 1:100



ELEVATION KEY NOTES	
1	INSULATED PREFINISHED METAL PANEL - COLOR: SBW BLUE
2	WOOD (INCL. NLT DECK & BEAMS AND COLLARS) CLEAR STAIN
3	TINTED GLASS VISION PANEL - 2 COLORS REFER TO ELEV'S
4	PREFINISHED ALUMINUM MULLION CAP
5	THERMALLY BROKEN VERT. MULLIONS
6	PREFINISHED ALUMINUM DOOR W/ TINTED GLAZING
7	PAINTED STEEL GLUSPANEL W/ CLEAR GLAZING
8	ARCHITECTURAL CONCRETE W/ LIGHT SANDBLAST FINISH
9	CONCRETE PANEL REVEAL TO MATCH PANEL JOINTS
10	CONCRETE COLUMNS W/ LIGHT SANDBLAST FINISH AND 1" x 1" REVEAL
11	CONCRETE RETAINING WALLS - REFER TO CIVIL DWGS.
12	PREFINISHED METAL LOADERS - REFER TO MECH. DWGS
13	PREFINISHED METAL FLASHING
14	INSULATED HOLLOW METAL DOOR - PAINTED
15	CONCRETE FILLED STEEL PIPE BOLLARD - PAINTED
16	GLAZED OVERHEAD DOOR & STEEL FRAME - PAINTED
17	STRUCTURAL CANTILEVER SUPPORT - REFER TO STRUCT. DWGS.
18	CONCRETE PEDESTAL SIGN WITH LED BACK LIT LETTERS SIGNAGE TO INCLUDE SBW LOGO AND STREET ADDRESS
20	PRE-ENGINEERED BUILDING W/ STANDING SEAM METAL ROOF AND INSULATED METAL PANELS - COLORS TO MATCH OFFICE SECURITY FENCE - REFER TO LANDSCAPE DWGS.
21	LOCK BLOCK RETAINING WALL REFER TO LANDSCAPE AND CIVIL DWGS.
22	1.200M HIGH GALVANIZED RIB REFER TO LANDSCAPE DWGS.

submission	YY-Mo-DD	Consultant:	Permit Seal:
BP Submission	17-08-21		
DP re-Submission	17-07-18		
internal BP Review re-Submission	17-07-28		

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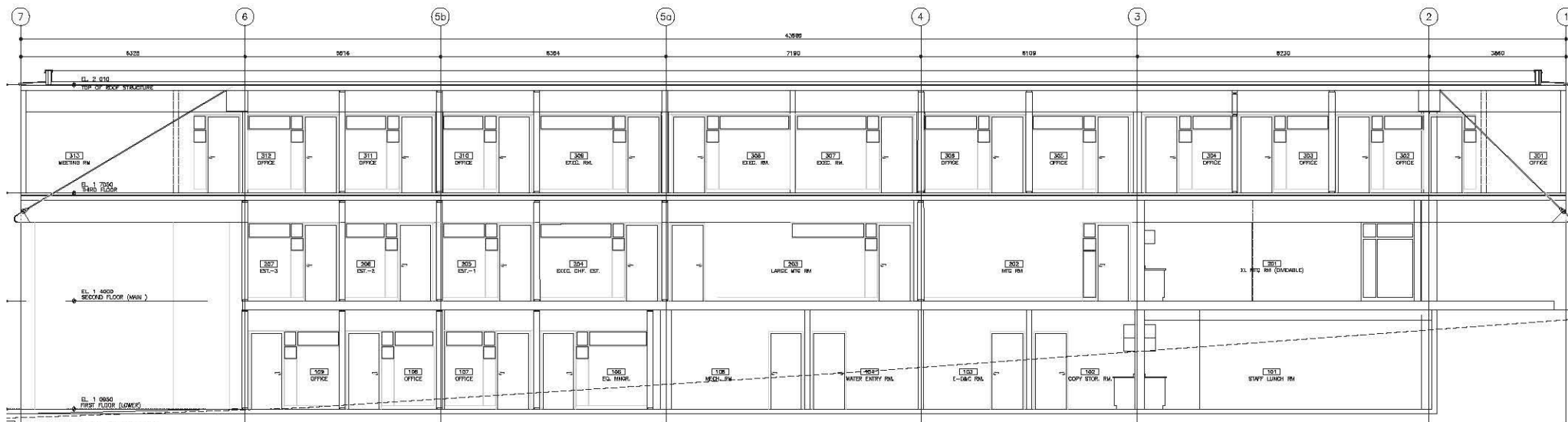


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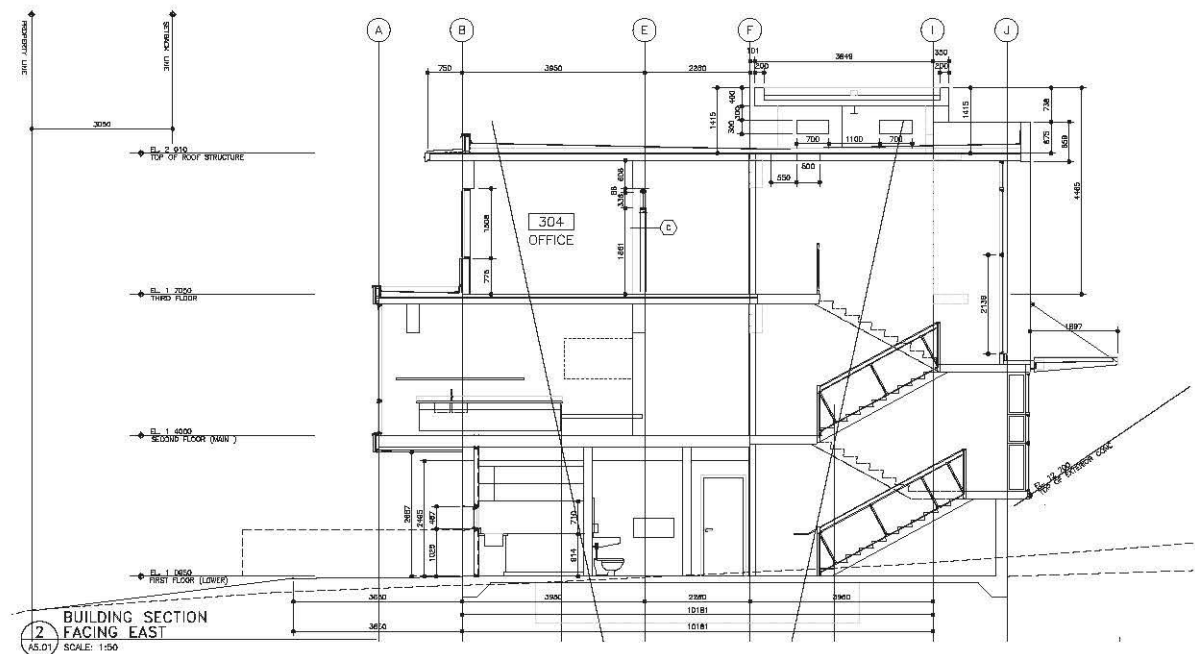
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sheet title
ELEVATIONS - South & West
scale 1:100 | date Aug 15, 2017

sheet no.
a4.02



BUILDING SECTION SOUTH FACING
 1 AS.01 SCALE: 1:50



BUILDING SECTION EAST FACING
 2 AS.01 SCALE: 1:50

submission	YY-Mo-DD
DP re-Submission	17-08-15
DP re-Submission	17-08-10
DP re-Submission	17-07-12
internal BP Review re-Submission	17-07-28

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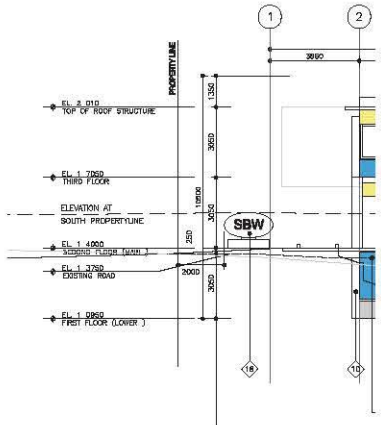


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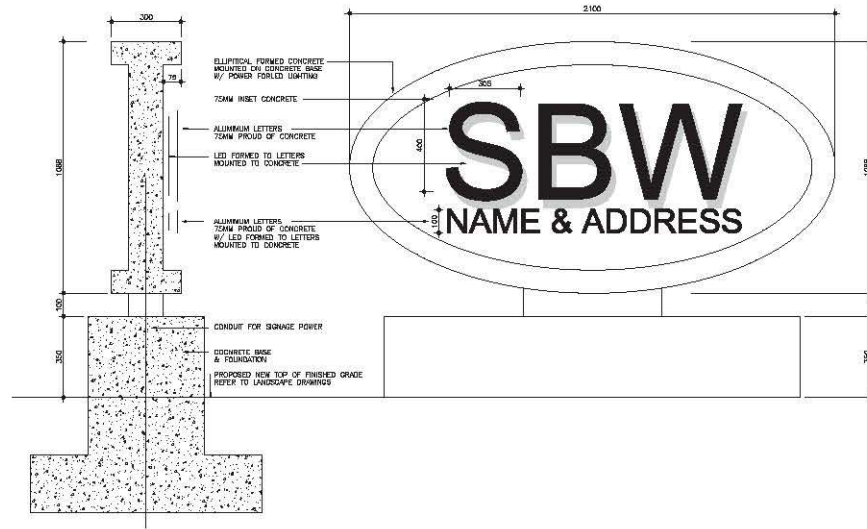
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sheet title
SECTIONS - North & East-1
 scale 1:100 | date Aug 15, 2017

sheet no.
a5.01



1 REFERENCE SOUTH ELEVATION DETAIL-18
LOCATION OF MONUMENT SIGNAGE
AS 01 SCALE: 1:100



2 SIGNAGE ELEV. DETAIL - 18
MONUMENT SIGN
AS 01 SCALE: 1:10

submission	YY-Mo-DD
DP re-Submission	17-08-15
DP re-Submission	17-08-10
DP re-Submission	17-07-12
internal BP Review re-Submission	17-07-28

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SIGNAGE DETAILS

scale

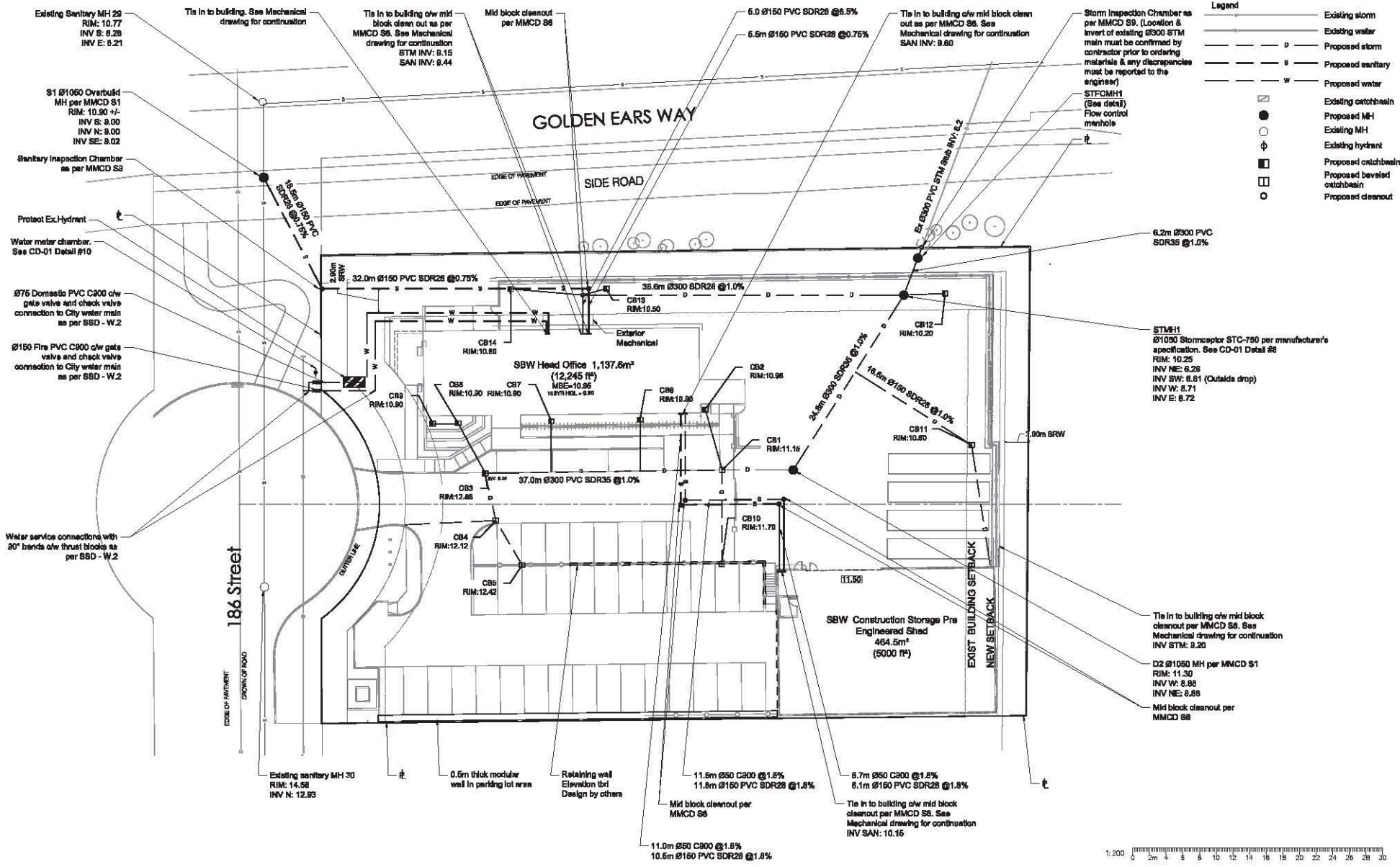
1:100

date

Aug 15, 2017

sheet no.

a5.22



submission issued for DP	YY-Mo-DD 15-08-17

Consultant:
van der Zalm + associates inc.
 Urban & Residential • CIVIL Engineering
 Urban Design • Landscape Architecture
 Suite 1, 2077 77th Avenue • 604-273-8222
 2000 West 4th Avenue • 604-273-8222

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SERVICING PLAN
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sheet no.
CV-01

Smith Bros & Wilson Ltd. - New Head Office

9788 186 Street, Surrey, B.C., V4N 3N7

Issued for Development Permit

Contact Information	Other Key Contacts:		
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024 f. 604 882 0042 Primary project contact: Travis Martin travis@vdz.ca o. 604 882 0024 x25 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 882 0024 x22	Smith Bros. & Wilson Ltd. Project Owner 8729 Alane St. Vancouver, BC V6P 3P1 t. 604 324-1155	m² Architecture inc. Project Building Architecture 106 – 2893 West 41st Avenue Vancouver, BC, V6N 3C5 t. 604 724 7802	Bush, Bohlman & Partners Structural Engineer 1500 W Georgia St #1550, Vancouver, BC V6G 2Z6 t. 604 688-8661
	van der Zalm + associates Project Civil Engineer Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024	Legal Address and Description: LOT 5 DISTRICT LOT 388A PLAN 87305 HWD GROUP 2, EXCEPT PLAN BCP25789, & EXC PL BCP23778 P.I.D.: 016-676-645	

Sheet List Table

Sheet Number	Sheet Title
L-00	COVER SHEET
L-01	TREE PROTECTION PLAN
L-02	SITE AND FENCING PLAN
L-03	PLANTING PLAN
LD-01	LANDSCAPE DETAILS
LD-02	LANDSCAPE SECTIONS
LD-03	LANDSCAPE SECTIONS
LN-01	LANDSCAPE NOTES



1 LOCATION MAP
Scale NTS

submission	DD-Mo-YY
Issued for DP Resubmission	10-08-17
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Issued for Building Permit	16-08-17
Issued for DP Resubmission	29-08-17

Consultant:
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 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture

 Suite 1, 20177 97th Avenue
 Langley, British Columbia
 V1M 4B9
 P: 604 882 0024
 F: 604 882 0042
 info@vdz.ca

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 106 – 2893 West 41st Avenue
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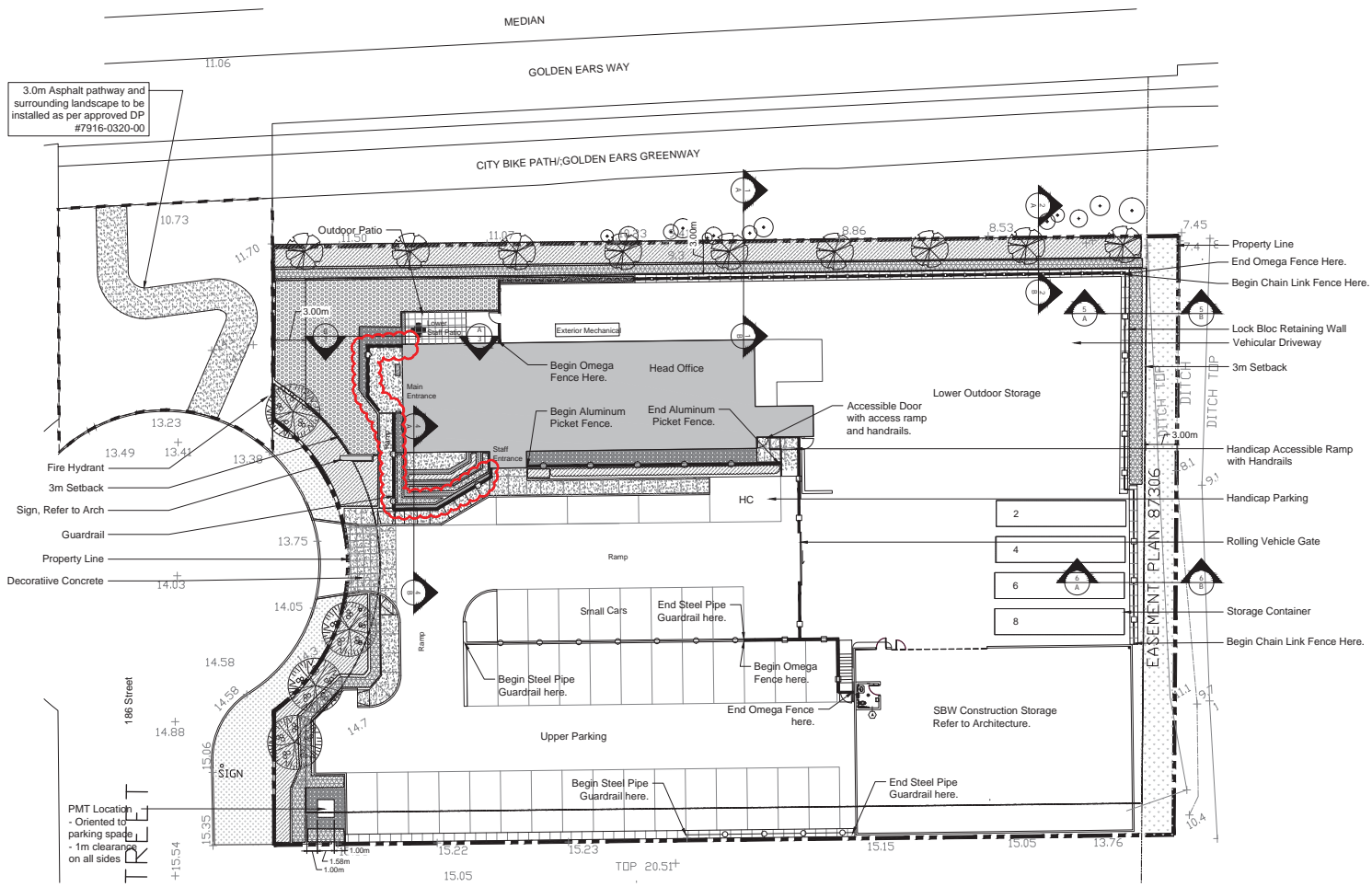
sheet title

COVER SHEET

scale AS SHOWN | date Aug 29, 2017

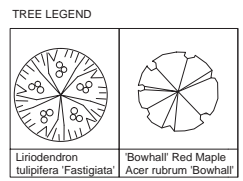
sheet no.

L-00



3.0m Asphalt pathway and surrounding landscape to be installed as per approved DP #7916-0320-00

- Fire Hydrant
- 3m Setback
- Sign, Refer to Arch
- Guardrail
- Property Line
- Decorative Concrete



TREES

DECIDUOUS

QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
4	see legend	Liriodendron tulipifera 'Fastigiata'	Pyramidal Tulip Tree	B&B, 6cm caliper, 1.2m std	As shown
9	see legend	Acer rubrum 'Bowhall'	Bowhall Red Maple	B&B, 6cm caliper, 1.2m std	As shown

MATERIALS LEGEND

KEY	REF.	DESCRIPTION
	4 LD-01	CONCRETE SIDEWALK
	3 LD-01	HYDRAPRESSED SLAB Colour: Natural Pattern: Random Bond Manufacturer: Absolut Concrete
	6 LD-01	ALLAN BLOCK RETAINING WALL
		CONCRETE RETAINING WALL Finish: Sack Finish Colour: Natural
		LOCK-BLOCK WALL
	5 LD-01	PICNIC TABLE Model: EP199 Colour: Black Finish, PPE Wood Manufacturer: Equiptac Size: 2.0m
	7 LD-01	DRILL STRIP See Critical Landscape Notes for Specifications
		PERENNIAL AND SHRUB PLANTING
		EVERGREEN HEDGE
		WILDFLOWER SEED MIX Supplier: Premier Pacific Product Name: Coastal Wildflower Mix with Herb Fescue
		TURF SEED MIX Supplier: Premier Pacific
		SOD

FENCE LEGEND

KEY	REF.	DESCRIPTION
	9 LD-01	OMEGA FENCE Location: North and East Colour: Black Height: 2.4 M
	8 LD-01	CHAIN LINK SECURITY FENCE Location: West Colour: Black vinyl coated chain link Height: 2.4 M All Metal to be Hot Dipped Galvanized
		STEEL PIPE GUARDRAIL All Metal to be Hot Dipped Galvanized Colour: Black Mount: Surface Height: 1075mm
		ALUMINUM PICKET GUARDRAIL Colour: Black Mount: Surface Height: 1075mm

1 SITE AND FENCING PLAN
Scale: 1:200



submission	DD-Mo-YY
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Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture
Suite 1, 20177 87th Avenue
Langley, British Columbia
V1M 4B5
P: 604-882-0284
F: 604-882-0282
info@vzai.com

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SITE AND FENCING PLAN
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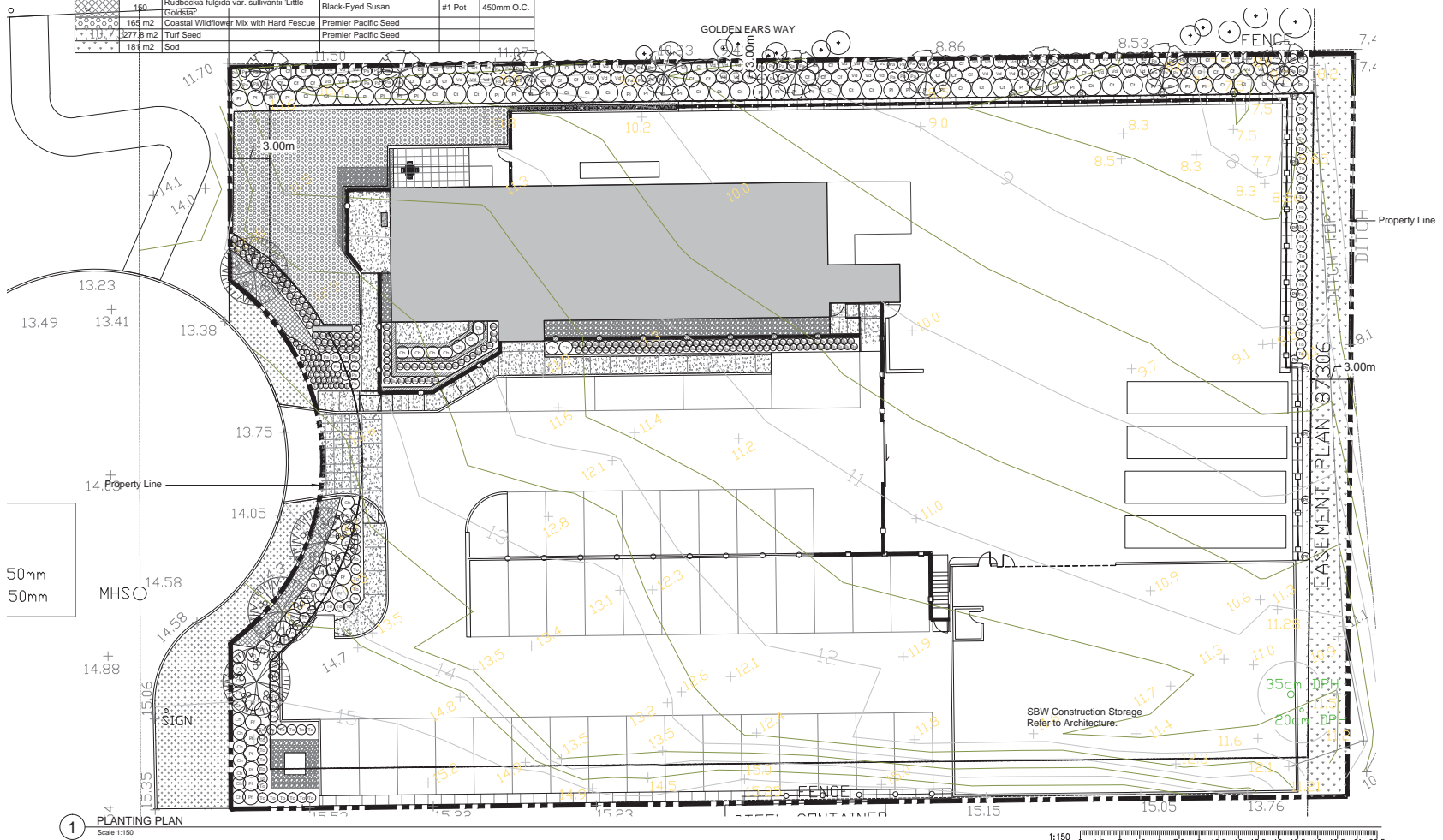
L-02

PLANT LIST SCHEDULE

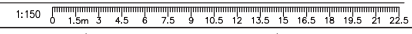
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Bu	174	Buxus x 'Green Velvet'	Green Velvet Boxwood	#3 Pot	0.5m O.C.
Ch	35	Chamaecyparis pisifera 'Lemon Thread'	Lemon Thread False Cypress	#2 Pot	1.0m O.C.
Cf	39	Cornus flaviramea	Yellowtwig Dogwood	#3 Pot	1.2m O.C.
Cl	24	Ceanothus thyrsiflorus	California Lilac	#2 Pot	1.5m O.C.
To	72	Thuja occidentalis 'Brandon'	Brandon Cedar	1.8m Ht	0.75m O.C.
Ph	16	Photinia x fraseri	Fraser's Photinia	#3 Pot	1.2m O.C.
Pr	34	Prunus laurocerasus	Cherry Laurel	#3 Pot	1.2m O.C.
Vd	57	Viburnum davidii	David's viburnum	#2 Pot	1.0m O.C.
PERENNIALS/GROUNDCOVERS/VINES					
E	40	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	350mm O.C.
Pa	75	Pennisetum alopecuroides 'Hamlin'	Dwarf Fountain Grass	#1 Pot	750mm O.C.
Pt	19	Parthenocissus tricuspidata	Boston Ivy	#2 Pot	As Shown
Ru	180	Rudbeckia fulgida var. sullivanti 'Little Goldstar'	Black-Eyed Susan	#1 Pot	450mm O.C.
Co	165 m2	Coastal Wildflower Mx with Hard Fescue	Premier Pacific Seed		
Tu	2778 m2	Turf Seed	Premier Pacific Seed		
S	181 m2	Sod			



Buxus x 'Green Velvet' Chamaecyparis pisifera 'Lemon Thread' Thuja occidentalis 'Brandon' Photinia x fraseri Festuca glauca 'Elijah Blue' Rudbeckia fulgida var. sullivanti 'Little Goldstar' Prunus laurocerasus Cornus flaviramea



1 PLANTING PLAN Scale 1:150



submission	DD-Mo-YY
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Issued for DP Resubmission	29-08-17

Consultant: **van der Zalm + associates inc.**
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
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 Langley, British Columbia F 604-882-0202
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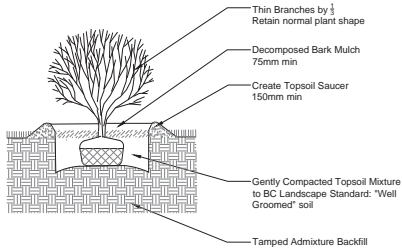
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 VDZ job no: DP2017-13

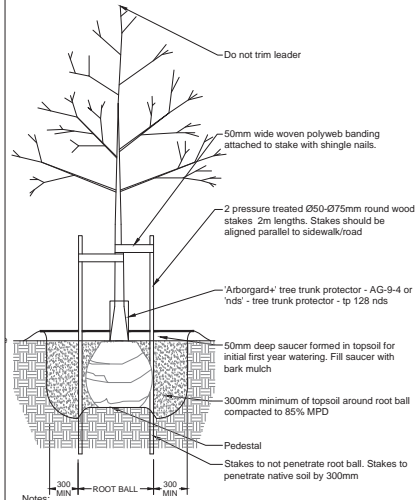
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PLANTING PLAN
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L-03



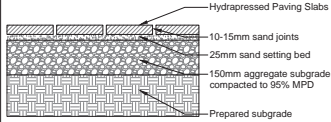
1 SHRUB PLANTING DETAIL
Scale 1:25



2 DECIDUOUS TREE DETAIL
Scale 1:25

Notes:

- Sacking/burlap to be loosened and dropped to the bottom of the planting hole, all string twine, etc to be removed.
- All wire baskets shall have the top 1/3 of the wire removed prior to planting.
- All trees shall be single stem.
- Contractor shall refer to the latest CSLA landscape standards.



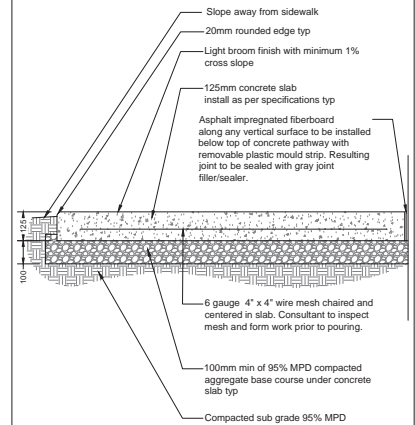
Hydrapressed Slab Details:

Pattern:	Sandstone - Running Bond
Colour:	Natural
Size:	457mmX457mmX40mm
Manufacturer:	Abbotsford Concrete Products
TEL:	1-800-663-4091
Website:	www.pavingstones.com

Notes:

- Contractor to provide shop drawings
- Install all components as per manufacturer's specifications

3 HYDRAPRESSED SLAB
Scale 1:10



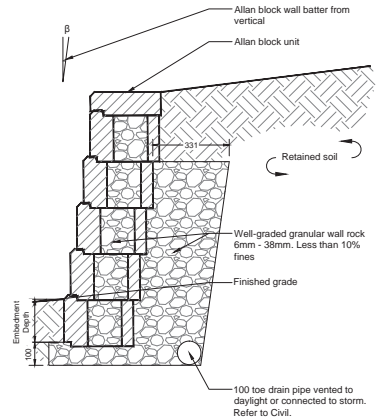
Notes:

- Contractor to provide expansion joints where concrete meets all vertical structures
- Horizontal scoreline max. 1800mm o.c. center scoreline on 150mm smooth finish or to match existing concrete pathway

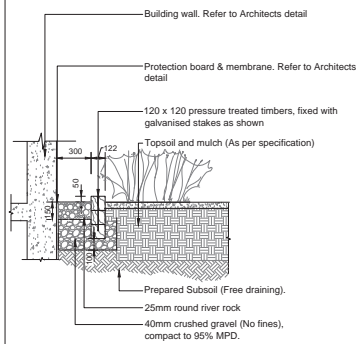
4 CONCRETE PATHWAY
Scale 1:10



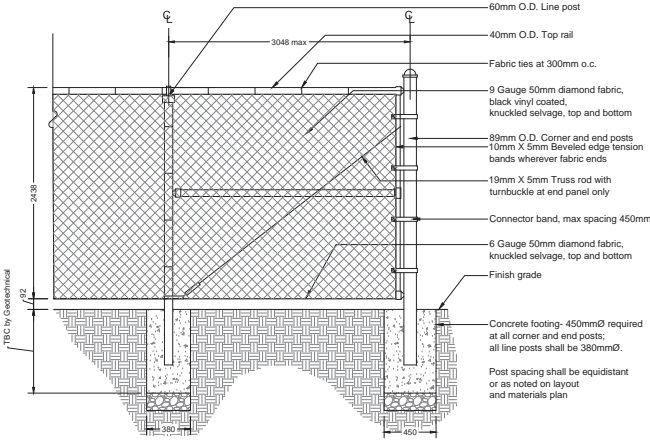
5 PICNIC TABLE
Scale: NTS



6 ALLAN BLOCK WALL
Scale 1:10



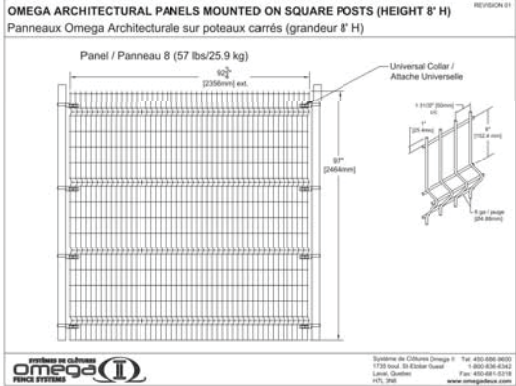
7 DRIP STRIP
Scale 1:20



NOTES:

- Chainlink to be black vinyl coated.
- All fence components to be hot-dipped galvanized and painted black.
- Contractor to provide shop detail drawings for fencing and roll gates to Landscape Architect for approval prior to manufacturing.

8 CHAINLINK SECURITY FENCE
Scale 1:20



9 OMEGA FENCE
Scale: NTS

submission	DD-Mo-YY
Issued for DP Resubmission	10-08-17
Issued for DP Resubmission	15-08-17
Issued for Building Permit	16-08-17
Issued for DP Resubmission	29-08-17

Consultant:

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Urban Design • Landscape Architecture

1040-1222-2222
Suite 1, 20177 87th Avenue
Langley, British Columbia
V1M 4B5
P: 604-882-2222
F: 604-882-0002
info@vzai.com

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North Arrow

Project

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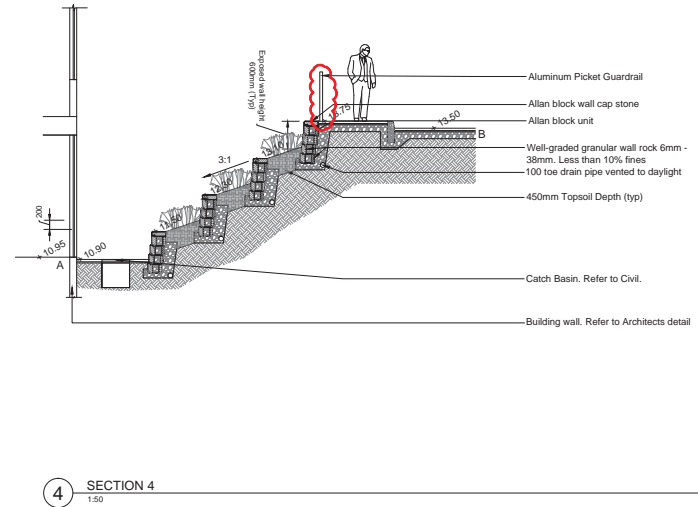
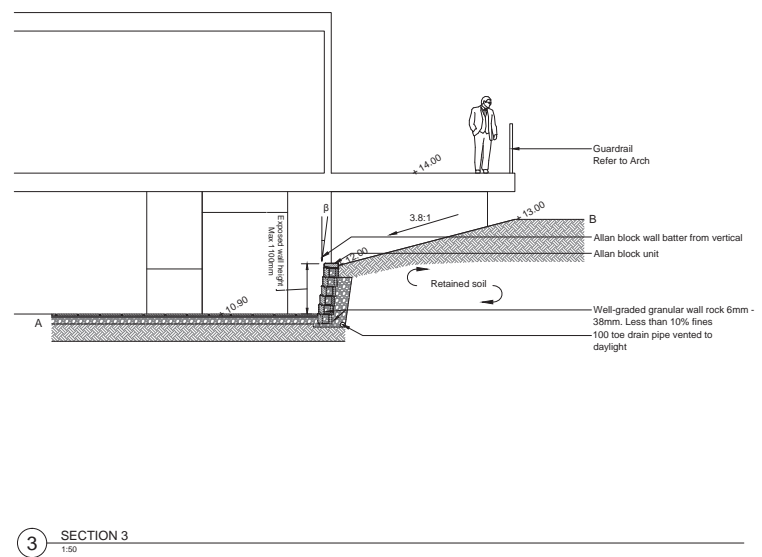
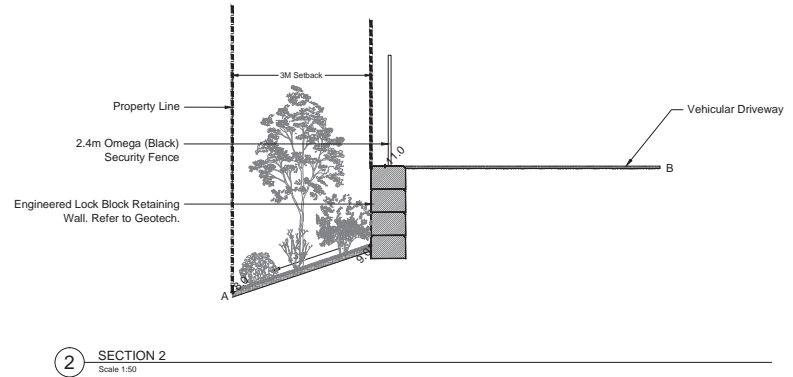
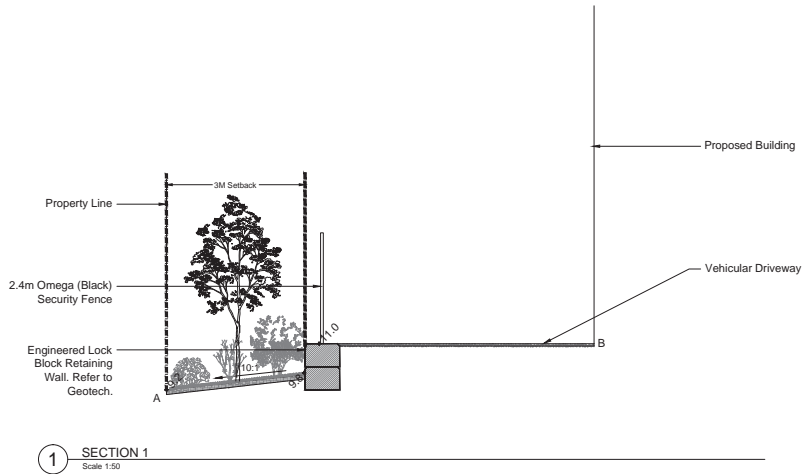
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LANDSCAPE DETAILS

scale AS SHOWN | date Aug 29, 2017

sheet no.

LD-01



submission	DD-Mo-YY
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van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 20177 87th Avenue
 Langley, British Columbia
 V1M 4B5
 P: 604.882.0204
 F: 604.882.0042
 info@vzwa.com

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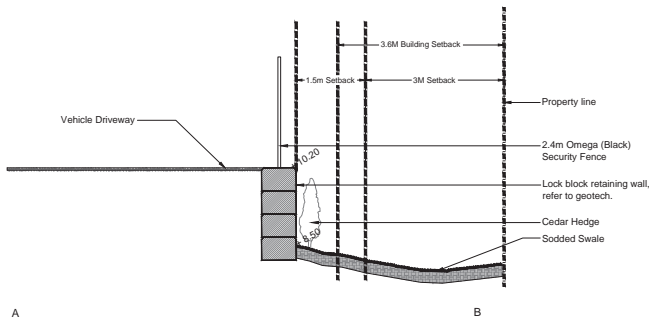
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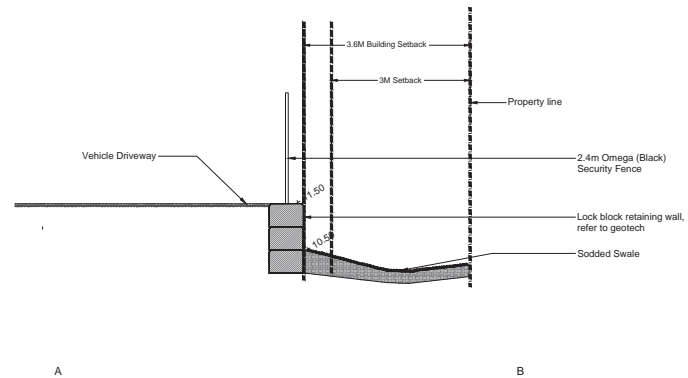
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LANDSCAPE SECTIONS
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LD-02



1 SECTION 5
Scale: 1:50



2 SECTION 6
Scale: 1:50

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Issued for Building Permit	16-08-17
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Consultant:
van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 20177 97th Avenue
 Langley, British Columbia V1M 4B5
 P: 604.882.2284 F: 604.882.0042
 info@vzai.com

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LANDSCAPE SECTIONS

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LD-03

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: July 17, 2017 PROJECT FILE: **7817-0255-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 9788 186 Street**

DEVELOPMENT PERMIT

The following Works and Services must be completed as a condition of the Development Permit and subsequent Building Permit issuance:

Property and Right-of-Way Requirements

- Dedicate Pcl 1 of Pcl 'A' Bylaw Plan 66776.

Works and Services

- Construct the east half of 186 Street to the Industrial Limited Local Road Standard.
- Construct an 11.0 meter concrete driveway letdown at the cul-de-sac.
- Construct a 3.0 meter wide asphalt Multi-use Pathway (MUP) and letdown to connect the cul-de-sac and the Golden Ears Way MUP.
- Provide water, sanitary, and storm service connections to service the proposed development.
- Provide stormwater management features (quality and quantity measures along with detention to meet the ISMP) and register corresponding Restrictive Covenants.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager
CE4



Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	3	0	3
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	2	0	2
Coniferous Trees			
Red Cedar	10	0	10
Total (excluding Alder and Cottonwood Trees)	12	0	12
Additional Trees in the proposed Open Space / Riparian Area			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		4	
Total Retained and Replacement Trees		4	

LANDSCAPE ARCHITECTURE

URBAN DESIGN
RECREATION

PARKS &



Tree Preservation Summary

Surrey Project No:

Address: 9788 – 186 St. Surrey, BC

Registered Arborist: Austin Peterson PN 1570A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	4
Protected Trees to be Removed	4
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 2 </u> X one (1) = 2 All other Trees Requiring 2 to 1 Replacement Ratio <u> </u> X two (2) =	
Replacement Trees Proposed	4
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> </u> X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio <u> </u> X one (2) = 0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by: Austin Peterson PN 1570A

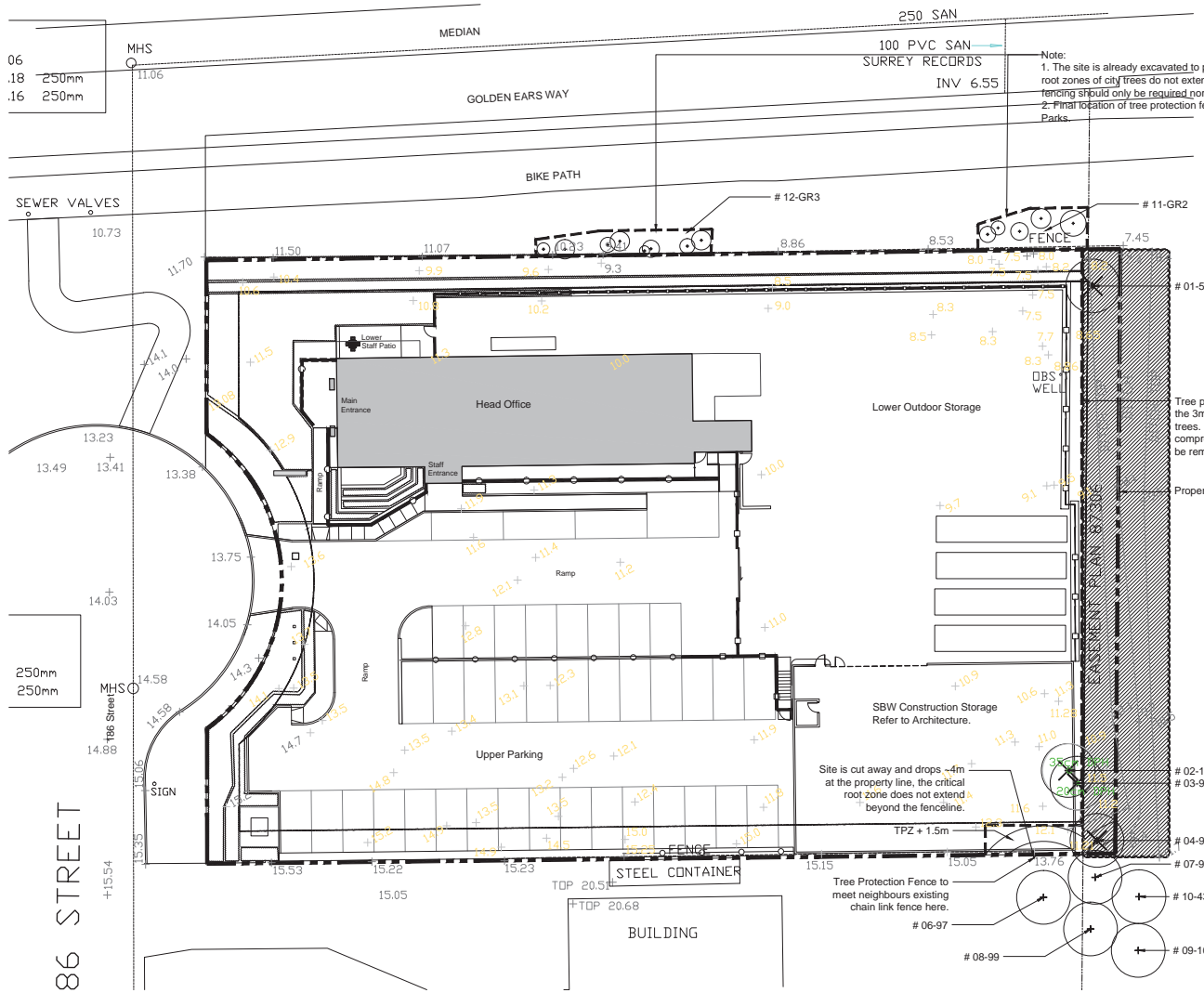
(Signature of Arborist)

Date: July 10, 2017

LANDSCAPE ARCHITECTURE

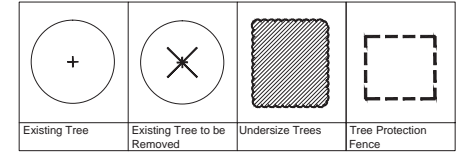
URBAN DESIGN
RECREATION

PARKS &



Note:
 1. The site is already excavated to property line. Therefore, critical root zones of city trees do not extend to property line. Tree protection fencing should only be required north of the property line.
 2. Final location of tree protection fencing to be coordinated by Parks.

LEGEND



Specifications for Construction

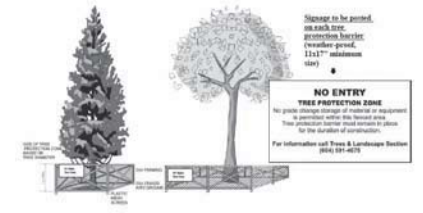
- Failure to meet these specifications will result in inspection failure and subsequent delay in issuance of other permits:
- 1.2 m (-4') height
 - 2"x 4"s to be used for vertical posts, top and bottom rails and cross-bracing (in an "X"); round, untreated vertical posts may be used with a minimum diameter of 9 cm
 - Spacing between vertical posts to be no further apart than 3.7 m (12') on centre
 - Structure must be sturdy with vertical posts driven firmly into the ground
 - Continuous plastic mesh screening (e.g. orange snow fencing)
 - Posted with visible signage advising that encroachment inside the protected area is forbidden
 - Located at distances based on tree diameter, use table below:

Trunk Diameter (DBH) measured at 1.4 m from the ground	Critical Root Zone minimum fence distance from the tree
20 cm (7.9")	1.2 m (4.9')
25 cm (9.8")	1.5 m (4.9')
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7")	2.4 m (7.9')
45 cm (17.7")	2.7 m (8.9')
50 cm (19.7")	3.0 m (9.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4.5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')

• For distances not on this table divide the DBH (in cm) by 16.6
 • Example: 80 cm = 16.6 = 4.8 m

If There Are Obstacles to Installation Underneath Trees
 If the critical root zone of any tree is within an existing building, asphalt or concrete building, an independent Certified Arborist must be on-site during installation. The barrier line must be constructed at the appropriate distance before the Building Permit will be issued.

Shared Ownership Trees and Neighbour's Trees
 • The distance value always must be used to determine location of tree protection fencing for shared trees and trees on adjacent properties, if any size.
 • Barriers for shared trees and trees on adjacent property must be installed to the property line.
 • Trees on shared lots and trees on adjacent property may require removal, unless satisfaction from the neighbours must be obtained before applying for a tree cutting permit.



2 CITY OF SURREY TREE PROTECTION FENCING
 CONTRACTOR SHALL REFER TO THE LATEST COPY OF SYLW116100

1 TREE PROTECTION PLAN
 Scale 1:200



submission	DD-Mo-YY
Issued for DP Resubmission	10-08-17
Issued for DP Resubmission	15-08-17
Issued for Building Permit	16-08-17
Issued for DP Resubmission	29-08-17

Consultant:
van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 20177 97th Avenue
 Langley, British Columbia
 V1M 4B8
 P: 604-882-2244
 F: 604-882-0042
 info@vzai.com

Permit Seal:

m² Architecture inc.
 106 – 2893 West 41st Avenue
 Vancouver BC, V6N 3C5



Project
Smith Bros & Wilson Ltd.
 New Head Office
 9788 186 Street, Surrey, B.C., V4N 3N7
 VDZ job no: DP2017-13

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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawings, any errors or omissions shall be reported to the respective Architectural firm without delay. The Contractor shall design and construct the property of the named Architecture. Reproduction or use for any purpose other than that authorized by the named Architecture is forbidden.

sheet title
TREE PROTECTION PLAN
 scale AS SHOWN | date Aug 29, 2017

sheet no.

L-01

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0255-00

Issued To: 1897 HOLDINGS LTD.

(the "Owner")

Address of Owner: 8729 - Aisne Street
Vancouver BC V6P 3P1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 016-676-645

Lot 5 District Lot 388A Group 2 New Westminster District Plan 87305 Except Plans
BCP25789 and BCP23778

9788 - 186 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Section F. Yards and Setbacks, of Part 48 "Light Impact Industrial Zone (IL)", the minimum rear yard setback for an accessory building is reduced from 7.5 metres (25 ft.) to 3.6 metres (12 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

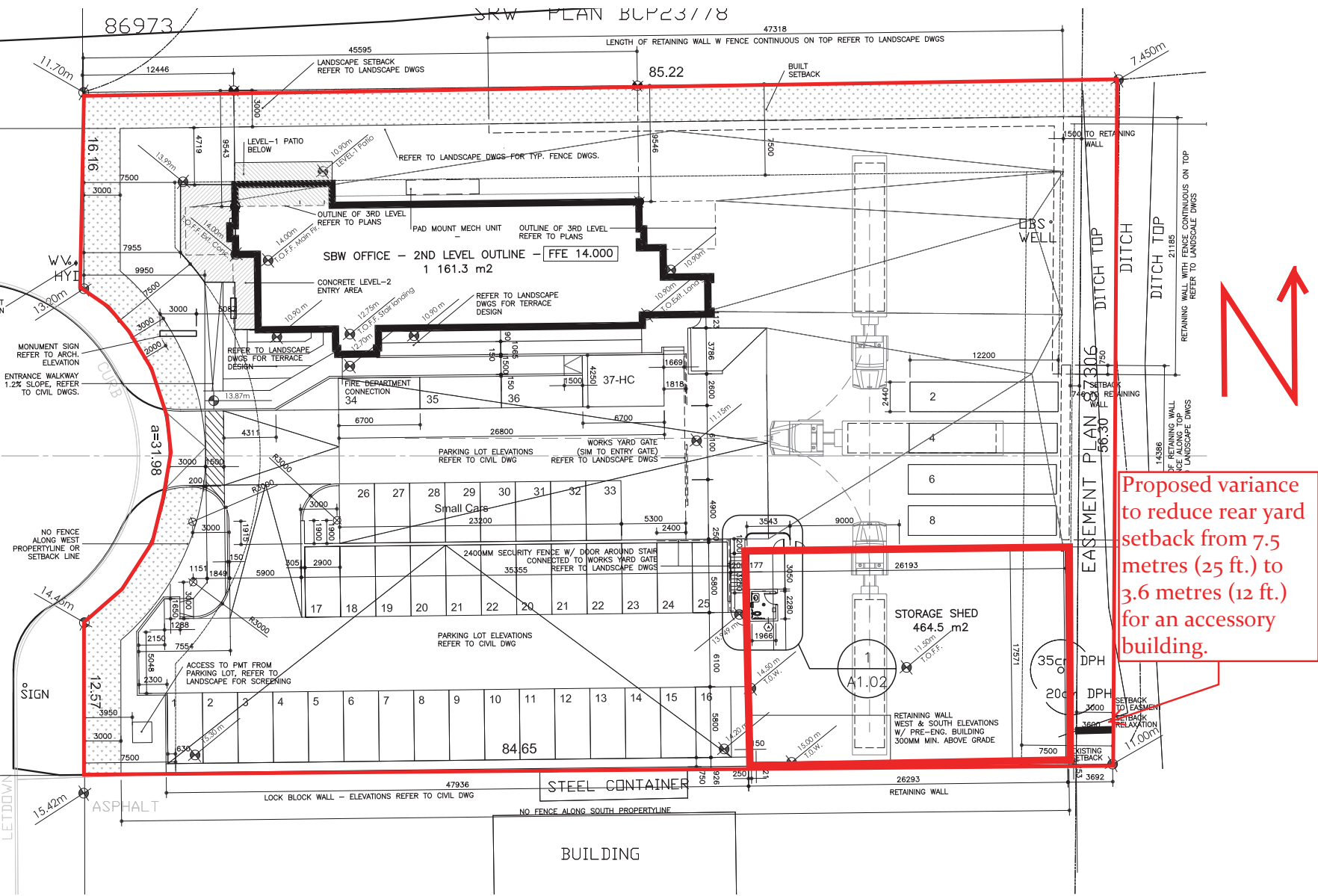
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



Proposed variance to reduce rear yard setback from 7.5 metres (25 ft.) to 3.6 metres (12 ft.) for an accessory building.