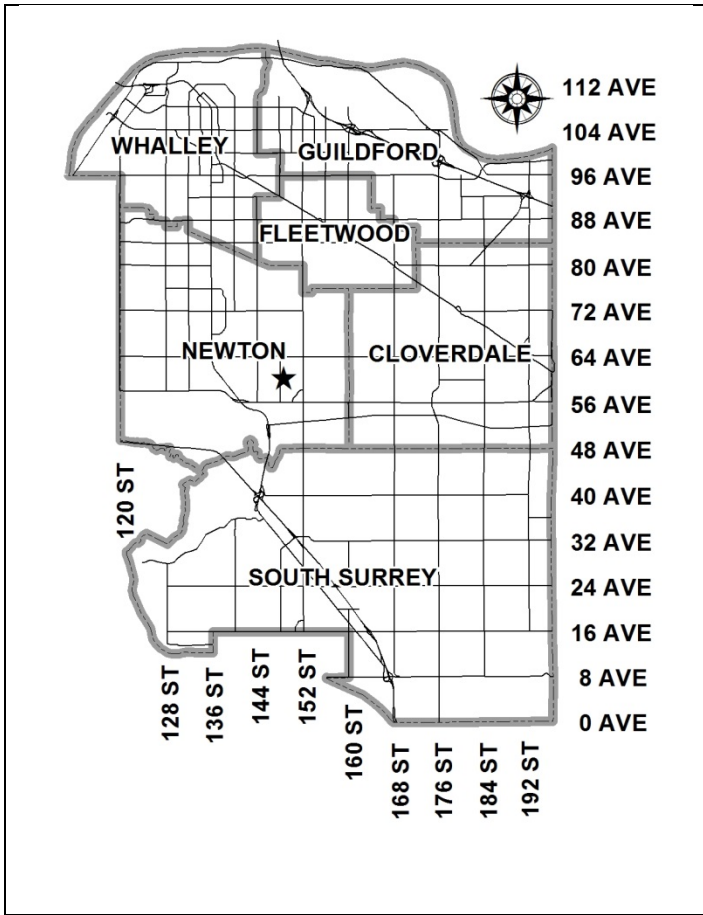


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0242-00

Planning Report Date: January 8, 2018



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **NCP Amendment** from Mixed Commercial-Residential (Townhouses) to Mixed Commercial-Residential (Apartments)
- **Rezoning** from RH to CD (based on RM-45 and C-5)
- **Development Permit**

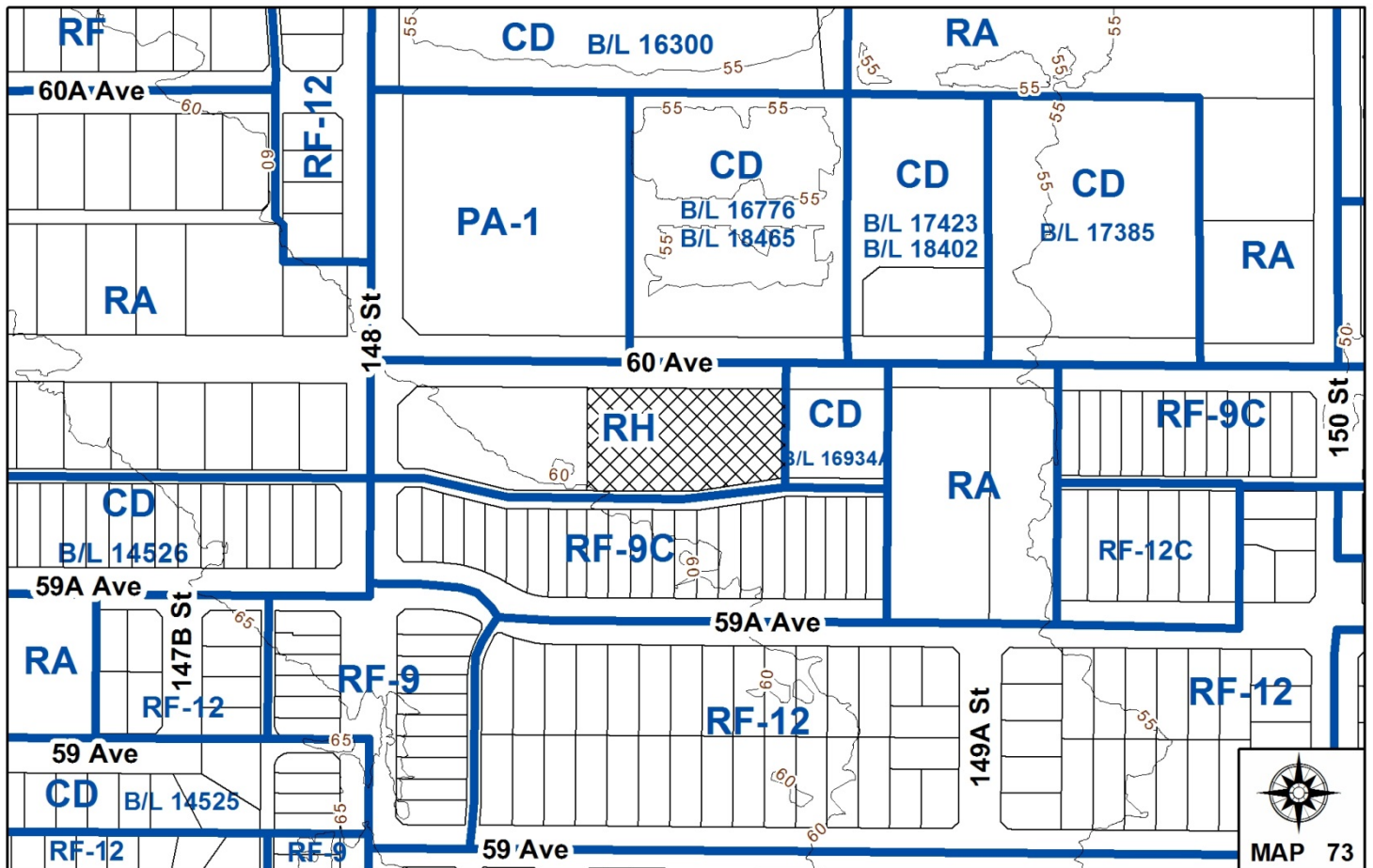
to permit the development of a three-storey mixed use building with a commercial floor area of approximately 810 square metres (8,719 sq.ft.) and 29 apartment units.

LOCATION: 14856 - 60 Avenue

ZONING: RH

OCP DESIGNATION: Urban

NCP DESIGNATION: Mixed Commercial-Residential (Townhouses)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to amend the site's Neighbourhood Concept Plan (NCP) designation from Mixed Commercial-Residential (Townhouses) to Mixed Commercial-Residential (Apartments).

RATIONALE OF RECOMMENDATION

- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve specific pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The proposed density and building form are appropriate for this part of the South Newton NCP area.
- The OCP amendment is required to allow the proposed density of 82 units per hectare (33 units per acre). The site's Urban designation allows a maximum unit density of 75 units per hectare (30 u.p.a.).
- The NCP amendment is required to reflect the proposed land use designation (apartments), and proposed building form. The proposed one and two-bedroom apartment units are expected to generate fewer elementary and secondary school students than townhouses would and therefore should have a smaller impact on capacity in local schools.
- The proposed design will achieve a more urban and pedestrian oriented streetscape, in compliance with the South Newton NCP design guidelines.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site in Development Application No. 7917-0242-00 from Urban to Multiple Residential and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Half-Acre Residential Zone (RH)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7917-0242-00 generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) approval from the Ministry of Transportation & Infrastructure;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
6. Council pass a resolution to amend the South Newton NCP to redesignate the land from Mixed Commercial-Residential (Townhouses) to Mixed Commercial-Residential (Apartments) when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

1 Elementary students at Cambridge Elementary School
1 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2019.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval granted.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 60 Avenue):	Church	Institutional	PA1
	Mixed-use commercial/residential development.	Mixed Commercial-Residential (Apartments)	CD By-law Nos. 16776 and 18465
East:	Single family dwelling	Mixed Commercial-Residential (Townhouses)	CD By-law No. 16934A
South:	Single family dwellings	Single family small lots	RF-9C

Direction	Existing Use	NCP Designation	Existing Zone
West:	Single family dwelling under Development Application No. 7917-0211-00 for a proposed mixed-use development.	Mixed Commercial-Residential (Townhouses)	RH

JUSTIFICATION FOR PLAN AMENDMENT

- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve specific pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The Official Community Plan (OCP) allows a maximum unit density of 75 units per hectare (30 u.p.a.) within approved Secondary Plan areas. An OCP amendment is required to support the proposed density of 82 units per hectare (33 u.p.a.)
- One-and two-bedroom apartment units are proposed. The proposed apartment units are expected to generate fewer elementary and secondary school students than townhouses would and therefore should have a lesser impact on local school capacity.
- The proposed density and building form are appropriate for this part of the South Newton NCP area.

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is approximately 3,611 square metres (0.9 acres) in area and is zoned "Half-Acre Residential Zone (RH)". The property is designated Urban in the Official Community Plan (OCP) and designated Mixed Commercial-Residential (Townhouses) in the South Newton Neighbourhood Concept Plan (NCP).

Proposed Development

- The applicant is proposing:
 - an Official Community Plan (OCP) amendment from "Urban" to "Multiple Residential";
 - a Neighbourhood Concept Plan (NCP) amendment from "Mixed Commercial-Residential (Townhouses)" to "Mixed Commercial-Residential (Apartments)";

- rezoning the site from "Half-Acre Residential Zone (RH)" to "Comprehensive Development Zone (CD)" (based on the "Multiple Residential 45 Zone [RM-45]" and the "Neighbourhood Commercial Zone [C-5]"); and
- a Development Permit to allow the development of approximately 29 apartment units in a three-storey mixed use building with a gross commercial floor area of approximately 810 square metres (8,719 sq.ft.).

Proposed CD Zone

- The Zoning By-law does not have a zone that will allow for a mixed-use development of the size and scope that is being proposed; therefore rezoning to a "Comprehensive Development Zone (CD)" is required.
- The proposed CD By-law (Appendix IX) is based on the "Multiple Residential (45) Zone (RM-45)" and the "Neighbourhood Commercial Zone (C-5)". A comparison of the key criteria of the RM-45 Zone, C-5 Zone, and the proposed CD Zone is outlined in the table below:

	C-5	RM-45	CD Zone
FAR	0.50	1.30	1.10
Lot Coverage	50%	45%	40%
Building Height	9 metres (30 ft.)	15 m (50 ft.)	13 m (43 ft.)
Setbacks	7.5 metres (25 ft.) from all lot lines.	7.5 metres (25 ft.) from all lot lines.	South (along lane): 16 m (52 ft.) West : 3.3 m (10 ft.) North (along 60 Avenue): 4.0 m (13 ft.) East : 16.5 m (54 ft.)
Permitted Uses	- Neighbourhood scale commercial uses (list in detail in Section B.1 and B.2 of the C-5 Zone).	- Multiple unit residential buildings; - Ground-oriented multiple unit residential buildings; - Child care centres (provided not a singular use on the lot).	- Multiple unit residential buildings. - All uses permitted under Section B-1 of the C-5 Zone with the exception of Neighbourhood Pub.

- The commercial uses permitted in the development are drawn from the C-5 Zone with the exception of neighbourhood pubs. However, eating establishments are only permitted provided that the gross floor area of each individual business does not exceed 150 square metres [1,615 sq.ft.] due to the high parking requirement associated with this use.
- The proposed floor area ratio (FAR) is 1.10, which is below the maximum 1.3 FAR permitted under the RM-45 Zone on which the CD Zone is based.
- The proposed lot coverage is 40%, which is the maximum lot coverage permitted under the RM-45 Zone and C-5 Zone.

- The height of the proposed building is limited to 3 storeys and is proposed to be 13 metres (43 ft.), which is 2 metres (6 ft.) below the maximum height of 15 metres (50 ft.) permitted under the RM-45 Zone.
- The minimum setback for principal buildings in the CD By-law is reduced from the minimum 7.5 metres (25 ft.) that is permitted from all lot lines in the RM-45 Zone. The proposed setback to the building face is 4.0 metres (13 ft.) from 60 Avenue. This reduction is in recognition of the commercial expression of the building and to provide an appropriate commercial street presence along 60 Avenue. The proposed 3.3 metre (10 ft.) setback from the west property line is a side yard condition and will have minimal impact on the drive aisle and parking area proposed on the adjacent mixed-use project at 14838-60 Avenue (7917-0211-00).
- The proposed south and east setbacks exceed the minimum setback requirements of the RM-45 Zone.

DESIGN PROPOSAL AND REVIEW

Site and Building Design

- All of the residential units are located on the second and third floors with the exception of three (3) units which are located at ground level at the rear (south) of the building. These units are oriented toward a pedestrian walkway and feature fenced outdoor patios.
- A total of 9 commercial retail units are proposed on the ground floor of the building, fronting 60 Avenue. The floor area of the commercial retail units vary between 70 square metres (752 sq.ft.) and 260 square metres (2,800 sq.ft.).
- The site design reflects an effort to provide an attractive interface with the public realm. The street-fronting buildings are oriented to the street with glazing and doors on the street-facing elevations.
- The building utilizes a contemporary design with clear lines and articulation along the building face. The residential lobby entrance on 60 Avenue is highlighted through the use of materials to define the sense of entry for the residential portion of the building. Repetition of hardie panel cladding in alternating colours along with brick veneer defines the residential units. A combination of raised and flat roofs provides articulation and visual interest to the second and third floor residential units.
- The commercial portion of the building is clearly defined from the residential portion through the provision of a storefront window system along the retail frontages, individual unit entries and fascia signage over the individual units. A glass and metal awning system provides for continuous weather protection and enhances the pedestrian experience along the retail frontage.
- The proposed exterior materials include hardie panel siding in white and blue, limestone siding in beige, brick veneer (red) and glass balcony guardrails with powder coated aluminum railings.

- Metal and glass weather canopies further enhance the building design and provide pedestrian weather protection which will encourage pedestrian activity on the site.

Access, Pedestrian Circulation and Parking

- Vehicular access to the site is proposed from 60 Avenue, along the east side of the building.
- Pedestrian connections to the commercial units are provided from the multi-use pathway that is to be constructed along 60 Avenue.
- The applicant is proposing to provide 24 parking spaces for the commercial uses, which meets the CD By-law requirement of 24 parking spaces. Of the required parking spaces for the commercial uses, 15 spaces are provided at grade while 9 spaces are provided within the underground parkade.
- The applicant is also proposing to provide 45 resident parking spaces and 6 visitor parking spaces, for a total of 51 residential parking spaces, which meets the CD By-law requirements of 51 residential parking spaces. All of the resident and visitor parking spaces are provided within the underground parkade.
- The parking count includes 2 accessible parking spaces. The applicant is also providing a 43-stall bike parking locker room in the underground parkade as well as 4 bike racks with space for 12 bicycles at the front of the building, along 60 Avenue. A total 55 bike parking spaces are being provided, which exceeds the Zoning By-law requirement of 42 spaces.
- A 2.3 metre (7.5 ft.) wide landscape buffer is proposed along the south property line. This buffer, along with a substantial grade difference between the lane and the surface parking area results in a sensitive interface between the proposed development and the rear garages of the single family dwellings on the south side of the existing lane.

Amenity Space

- The Zoning By-law requires that 87 square metres (936 sq. ft.) of both indoor and outdoor amenity space be provided, based on the requirement of 3 square metres (32 sq. ft.) per dwelling unit being proposed.
- The applicant is proposing to provide 92 square metres (990 sq. ft.) of indoor amenity space, exceeding By-law requirements. The indoor amenity space is to be located on the ground floor of the building and will include a washroom and a kitchen. The indoor amenity space is functional as it can be programmed in a variety of ways to meet the needs of the residents.
- The applicant is proposing to provide 171 square metres (1,840 sq. ft.) of outdoor amenity space, which consists of a covered patio space with a picnic table and benches and a children's play area that includes various play structures.

Signage

- The applicant is proposing fascia signs for the individual commercial units. The fascia signage is generally 0.45 metres (1.5 ft.) in height. The signs are proposed to be individually illuminated channel letter signs and mounted on a metal raceway. There are no box type signs proposed.
- The applicant is also proposing under-awning/canopy signs that are pedestrian-oriented and a free-standing identification sign for the residential portion of the building at the east end of the building, along 60 Avenue. The proposed free-standing sign is 2.4 metres (8 ft.) in height, incorporates brick and metal materials, and is architecturally coordinated with the building.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept is to provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- The applicant is proposing to plant approximately 35 trees on the site, including maple and redbud trees. An inside row of trees is also proposed along all the street frontages, which, when combined with the street trees, will create a double row of trees along the street frontages. The double row of trees will enhance the pedestrian experience for residents and visitors to the site.
- Decorative paving is proposed at the site entrance. Various seating areas are provided along 60 Avenue, outside of the commercial retail units.
- The garbage and recycling containers for the residential uses are proposed to be located within the building. The garbage and recycling containers for the commercial uses are located on the east side of the building and are incorporated into the design of the building and screened from view.

PRE-NOTIFICATION

Pre-notification letters were sent on July 13, 2017 to 482 households within 100 metres (328 ft.) of the subject site. To date, staff have received 2 emails in response to the Pre-Notification Letters. Comments received are as follows with staff responses in italics:

- Concerns about increased traffic in the area as a result of the proposal.

(The South Newton NCP, along with its Engineering Servicing Strategy, identifies a finer grid road network and infrastructure improvements to service the anticipated growth in the area. Specifically, a roundabout is planned for at 60 Avenue and 148 Street (currently a medium-term project in Engineering's 10 Year Servicing Plan) to facilitate growing traffic movements at the intersection. The proposed density and mix of residential and commercial uses is consistent with the NCP's designation and will generate the traffic originally anticipated in the NCP.)

- Concerns about lack of tree retention.

(The proposed tree retention was assessed taking into consideration the location of services, underground parking, building footprints, road dedication and proposed lot grading. The public sidewalks along 60 Avenue as well as the excavation for the underground parkade conflict with tree retention.

The applicant is proposing to plant 35 replacement trees within the project and approximately 6 boulevard street trees along 60 Avenue .)

- Concerns about the displacement of wildlife.

(The subject site is not identified as being ecologically significant in the City of Surrey’s Biodiversity Conservation Strategy.)

- Concerns about the proposed mixed-use. The site should be developed as single family homes or townhouses with no commercial component.

(The subject site is designated for Mixed-Use Commercial/Residential in the South Newton NCP.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	5	5	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Mountain Ash	1	1	0
Paper Birch	1	1	0
Bitter Cherry	1	1	0
Big Leaf Maple	7	7	0
Vine Maple	4	4	0

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Douglas Fir	3	3	0
Grand Fir	1	1	0
Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	19	19	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		35	
Total Retained and Replacement Trees		35	

- The Arborist Assessment states that there are a total of 19 protected trees on the site, excluding Alder and Cottonwood trees. 5 existing trees, approximately 20 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, underground parking, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 43 replacement trees on the site. Since only 35 replacement trees can be accommodated on the site (based on the extent of the underground parking), the deficit of 8 replacement trees will require a cash-in-lieu payment of \$3,200, representing \$400 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In addition to the replacement trees, approximately 6 boulevard street trees will be planted along 60 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Japanese Maple, Red Sunset Maple, Beech, Maidenhair, Sourwood and Pine.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 5, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the South Newton Neighbourhood Concept Plan (NCP). • The proposal is generally in keeping with the intent of the South Newton NCP.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed gross density is 82 uph (33 upa). • The proposal includes a mix of commercial and residential uses. • The proposal includes 27 two-bedroom plus den and 2 studio apartments that range in size from 38 square metres (410 sq.ft.) to 120 square metres (1,289 sq.ft.).
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils, vegetated swales and natural landscaping are proposed. • Recycling and organic waste pickup will be made available on the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • 85 metres (279 ft.) of paths and sidewalks are proposed to be provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Shrub planting heights will be kept to below eye level and lower branches of trees will be kept above eye level to ensure sightlines and permeability of the site. • The site is designed with on-site lighting and open sightlines onto pedestrian pathways, into commercial units and into the residential lobby. • All parking and pedestrian areas are proposed to be well-lit with street lighting and wall lights provided along all building facades. • A daycare space, including an outdoor playground/recreation space is proposed. • Indoor and outdoor community gathering spaces are proposed for the residential units.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

The application was presented to the Advisory Design Panel (ADP) on October 12, 2017. The ADP comments and suggestions have been satisfactorily addressed (Appendix VI).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Responses
Appendix VII.	NCP Amendment Map
Appendix VIII.	OCP Re-designation Map
Appendix IX.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by DF Architecture Inc. and PMG Landscape Architects, respectively, dated December 5, 2017 and December 17, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

TH/RJG/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Existing Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		3,611 m ²
Road Widening area		84 m ²
Undevelopable area		
Net Total		3,527 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
North		4.0 m
South		16.0 m
East		16.5 m
West		3.3 m
BUILDING HEIGHT (in metres/storeys)		
Principal		13 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		2
Two Bedroom		27
Three Bedroom +		0
Total		29
FLOOR AREA: Residential		3,070.15 m ²
FLOOR AREA: Commercial		
Retail		810.59 m ²
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		3,880.72 m ²

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		32.58 upa
# of units/ha /# units/acre (net)		33.33 upa
FAR (gross)		1.07
FAR (net)		1.10
AMENITY SPACE (area in square metres)		
Indoor	87	92.6 m ²
Outdoor	87	170.84 m ²
PARKING (number of stalls)		
Commercial	24	24
Industrial		
Residential Bachelor + 1 Bedroom	3	3
2-Bed	41	42
3-Bed		
Residential Visitors	6	6
Institutional		
Total Number of Parking Spaces	74	75
Number of accessible stalls	1	2
Number of small cars	0	0

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED MIX-USE DEVELOPMENT

14856 - 60 AVENUE, SURREY, BRITISH COLUMBIA

PROJECT INFO

CIVIC ADDRESS
14856 - 60th AVENUE, SURREY, BC

LEGAL ADDRESS
LOT 13 SECTION 10 TOWNSHIP 2
PLAN BCP 40251 NWD

APPLICANTS
609940 BC LTD.
16341 60th AVE.
SURREY, BC

EXISTING ZONE : R1
PROPOSED ZONE : CD

SITE
GROSS SITE AREA : 38376 SQ.FT. (0.871 SQ.MT.) (0.88 ACRE)
DEDICATIONS : 869 SQ.FT. (84.44 SQ.MT.) (0.02 ACRE)
NET SITE AREA : 37507 SQ.FT. (0.527 SQ.MT.) (0.87 ACRE)



1 SITE LOCATION
SCALE: N.T.S.



2 VIEW ALONG BACK LANE
SCALE: N.T.S.



DATE	2024-09-10
PROJECT	PROPOSED MIX-USE DEVELOPMENT 14856 - 60 AVENUE, SURREY, B.C.
CLIENT	609940 BC LTD.
ARCHITECT	DF ARCHITECTURE INC.
ENGINEER	CITIVEST CONSULTING LTD.
LANDSCAPE ARCHITECT	PMG LANDSCAPE ARCHITECTS
SURVEYOR	CITIVEST CONSULTING LTD.
DATE	2024-09-10
SCALE	N.T.S.
PROJECT NO.	2024-09-10
CLIENT NO.	2024-09-10
ARCHITECT NO.	2024-09-10
ENGINEER NO.	2024-09-10
LANDSCAPE ARCHITECT NO.	2024-09-10
SURVEYOR NO.	2024-09-10



2024-09-10 10:00 AM
PROPOSED MIX-USE DEVELOPMENT
14856 - 60 AVENUE
SURREY, B.C.

PROPOSED MIX-USE DEVELOPMENT
14856 - 60 AVENUE,
SURREY, B.C.

CLIENT
609940 BC LTD.
16341 60th AVE.
SURREY, BC

DATE	2024-09-10
PROJECT	PROPOSED MIX-USE DEVELOPMENT 14856 - 60 AVENUE, SURREY, B.C.
CLIENT	609940 BC LTD.
ARCHITECT	DF ARCHITECTURE INC.
ENGINEER	CITIVEST CONSULTING LTD.
LANDSCAPE ARCHITECT	PMG LANDSCAPE ARCHITECTS
SURVEYOR	CITIVEST CONSULTING LTD.
DATE	2024-09-10
SCALE	N.T.S.
PROJECT NO.	2024-09-10
CLIENT NO.	2024-09-10
ARCHITECT NO.	2024-09-10
ENGINEER NO.	2024-09-10
LANDSCAPE ARCHITECT NO.	2024-09-10
SURVEYOR NO.	2024-09-10

COVER SHEET

A-001 G

ARCHITECTURAL

- A-001 COVER PAGE
- A-002 TO A-003 SITE CONTEXT
- A-004 STREETSCAPE
- A-100 SITE PLAN
- A-101 DEVELOPMENT DATA
- A-102 BASE PLAN
- A-200 PARKADE LAYOUT
- A-201 FIRST FLOOR LAYOUT
- A-202 SECOND FLOOR LAYOUT
- A-203 ROOF PLAN
- A-200 TO A-202 UNIT LAYOUTS
- A-300 TO A-301 ELEVATIONS
- A-302 RENDERINGS
- A-400 TO A-401 SECTIONS
- A-401 SHADOW ANALYSIS

PROJECT DIRECTORY

CLIENT:
609940 BC LTD.
16341 60th AVE.
SURREY, BC
T 604 910 0116
VERBATIMCONSULTING@SHAW.CA

ARCHITECTURAL:
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Richmond, B.C. V6X 3Z6
CONTACT: JESSIE ANORA
T 604 284 5194
jessie@dfarchitecture.ca info@dfarchitecture.ca

LANDSCAPE ARCHITECT:
PMG LANDSCAPE ARCHITECTS
C130 - 4188 BIRCH CREEK DRIVE
SURREY, BC, V5C 9Z8
CONTACT: PAT CAMPBELL
T 604 284 0511
office@pmglandscape.com

CIVIL ENGINEER:
CITIVEST CONSULTING LTD.
#131 8030 KING GEORGE BLVD.,
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CONTACT: PETER MOROSO
T 604 881 2213
pmoroso@civest.com

ARCHITECT:
MINE FADUM & ASSOCIATES LTD.
#124 8277 - 129 STREET,
SURREY, B.C. V3V 5A8
CONTACT: MIKE FADUM
T 778 583 0300
office@mfadum.com

SURVEYOR:
CITIVEST CONSULTING LTD.
#131 8030 KING GEORGE BLVD.,
SURREY, BC, V3V 7Y3
CONTACT: PETER MOROSO
T 604 881 2213
pmoroso@civest.com



3 VIEW ALONG 60 AVE.
SCALE: N.T.S.

NOTES

1. BRICK/CONCRETE/CLADDING PANELS - SEE FINISH SCHEDULE
2. BRICK/CONCRETE/CLADDING PANELS - SEE FINISH SCHEDULE
3. SEE PLAN FOR WINDOW LOCATIONS
4. SEE CITY PLANNING DEPARTMENT FOR ANY CHANGES TO THIS PLAN
5. SEE CITY PLANNING DEPARTMENT FOR ANY CHANGES TO THIS PLAN
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NO. 1	BRICK
NO. 2	CONCRETE
NO. 3	CLADDING
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NO. 19	CLADDING
NO. 20	CLADDING



1000 WEST BURNHAMPTON
 VANCOUVER, BC V6L 1A5
 TEL: 604.273.1111
 WWW.DFAARCHITECTURE.COM

PROPOSED MAX USE DEVELOPMENT
 1480 - 80 AVENUE,
 SURREY, BC

DATE: 10/10/2023
 DRAWING NO: A-300
 SHEET NO: 1 OF 2

NO.	DESCRIPTION
1	BRICK
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ELEVATIONS

NO. 1	BRICK
NO. 2	CONCRETE
NO. 3	CLADDING
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NO. 20	CLADDING

1 NORTH ELEVATION

2 SOUTH ELEVATION





3 WEST ELEVATION



4 EAST ELEVATION

- NOTES**
1. BRICK: FINE WHITE SPAN 2 1/2 PANEL ARCH WOOD
 2. BRICK: FINE WHITE SPAN 2 1/2 PANEL PYRAMID BR
 3. CELESTY RED BRICK WOOD CLADDING
 4. SPAN CUT TUSSELMISTONE CLADDING CUT CORNER STONE 1/4 x 1/2 1/2" WOOD W/ BUCKWOOD STONE COLLECTION
 5. 2 1/2" X 1/2" X 1/2" ADHESIVE FINISH TO MATCH ARCHIT. WHITE COLOR
 6. 1/2" H. WINDOWS - COLOR TO MATCH BRICK
 7. POWDER COATED ALUMINUM FRAME WITH GLASS - COLOR TO MATCH BRICK
 8. SECOND FLOOR WINDOWS - COLOR TO MATCH BRICK
 9. SCOTT - 1/2" LONGBOARD WOOD TRIM CHANNEL LIGHT WOOD TRIM 1/2"
 10. GLASS BRING - 1/4" TYP
 11. WHITE BRICK SPANSEL SLAB - 2" X 1/2" X 1/2" BRICK SYSTEM CURTAIN WALL



PROPOSED MAX USE DEVELOPMENT
1480 - 80 FVENCE,
SURREY, B.C.

88848 BC L 10,
1241 GET AVE.,
SURREY, BC

Project Name	
Client	
Address	
Scale	1/8" = 1'-0"
Date	2024-01-15
Author	J.M.
Check	J.M.
Scale	1/8" = 1'-0"
Sheet No.	

ELEVATIONS

A-301	G
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1 VIEW ALONG 60th AVENUE



2 VIEW ALONG LANE

NOTES

1	DATE	10/15/2024
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3	BY	DF
4	CHECKED	DF
5	DATE	10/15/2024
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8	CHECKED	DF
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12	CHECKED	DF
13	DATE	10/15/2024
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100	CHECKED	DF



300 WEST BAYVIEW STREET
 SUITE 200
 VANCOUVER, BC V6E 2Z4
 TEL: 604.681.1111
 WWW.DFAARCHITECTURE.COM

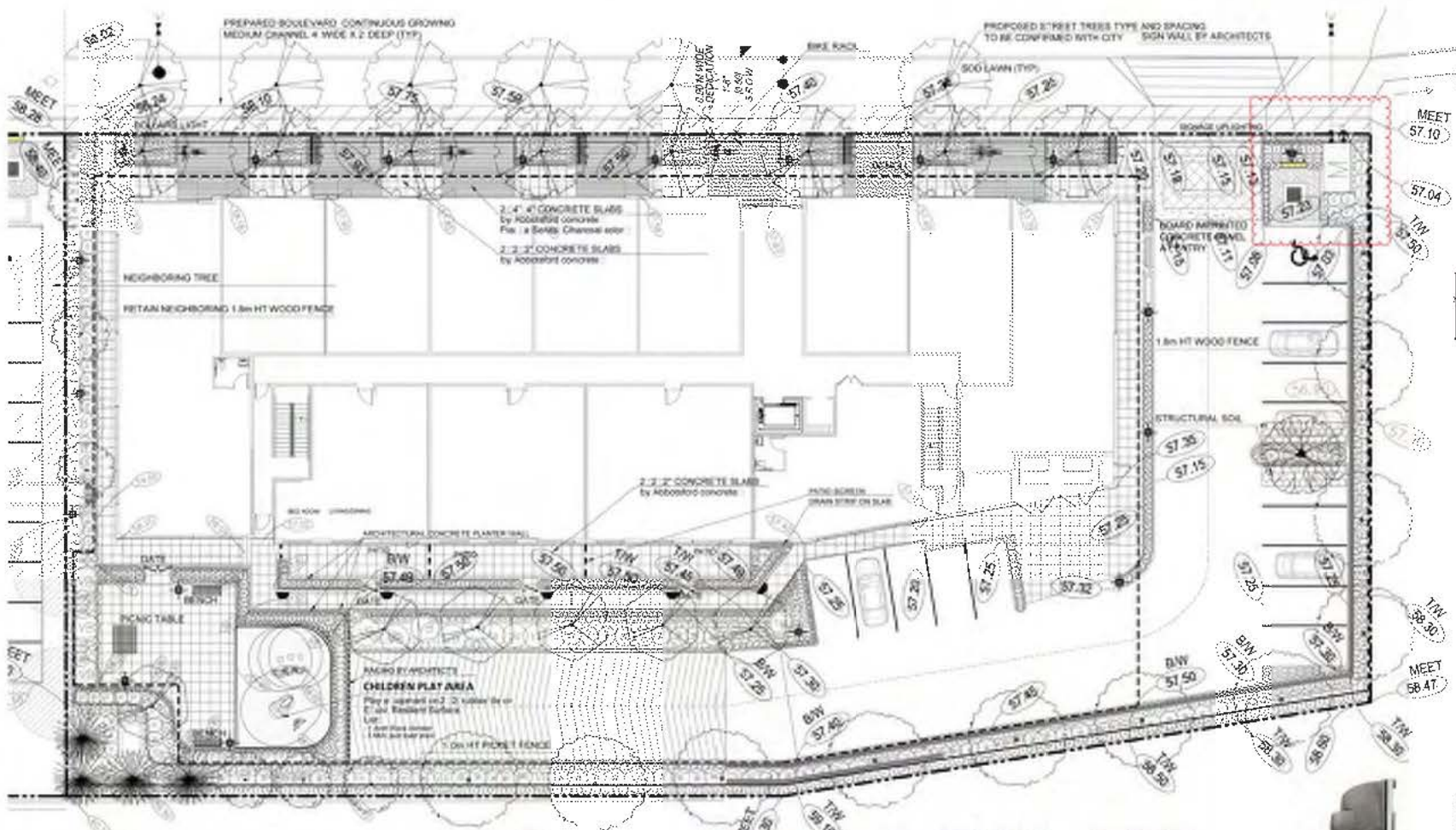
PROPOSED MIX USE DEVELOPMENT
 1850 - 50 AVENUE,
 SURREY, B.C.

80840 BC LTD.
 1241 104 AVE.,
 SURREY, BC

DATE	10/15/2024
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SCALE	1/8" = 1'-0"
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SCALE	1/8" = 1'-0"
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ISSUED	10/15/2024
SCALE	1/8" = 1'-0"
DATE	10/15/2024
ISSUED	10/15/2024
SCALE	1/8" = 1'-0"

RENDERINGS

A-302	G
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PLANT SCHEDULE	SYMBOL	PLANT NAME	PLANT SPECIFICATION
(Symbol)	(Symbol)	PHILIPS BOLLARD LIGHT	PHILIPS BOLLARD LIGHT BOP 151 BLACK COLOR 10.3m H SURFACE MOUNT ON CONCRETE PAD AS PER MANUFACTURER SPECIFICATIONS
(Symbol)	(Symbol)	MAGLIN PICNIC TABLE	MAGLIN PICNIC TABLE - MLP 100 METAL MATTIE FINISH SILVER/16 POWDER COATED IPE WOOD
(Symbol)	(Symbol)	MAGLIN BENCH	MAGLIN BENCH - MB 0110-01 M/MH METAL MATTIE FINISH BLACK COLOR POWDER COATED
(Symbol)	(Symbol)	MAGLIN BIKE RACK	MAGLIN BIKE RACK - MBR430-5-5 METAL MATTIE FINISH BLACK COLOR POWDER COATED

PHILIPS Bollard light BOP 151
 Black color 10.3m H
 SURFACE MOUNT ON CONCRETE PAD AS PER MANUFACTURER SPECIFICATIONS



MAGLIN PICNIC TABLE - MLP 100
 METAL MATTIE FINISH SILVER/16
 POWDER COATED IPE WOOD



MAGLIN BENCH - MB 0110-01 M/MH
 METAL MATTIE FINISH BLACK COLOR
 POWDER COATED



MAGLIN BIKE RACK - MBR430-5-5
 METAL MATTIE FINISH BLACK COLOR
 POWDER COATED



RockScope Crest
 Rock No 7085
 Colour: Eco Earth
 BY GameTime SUTLE RECREATION

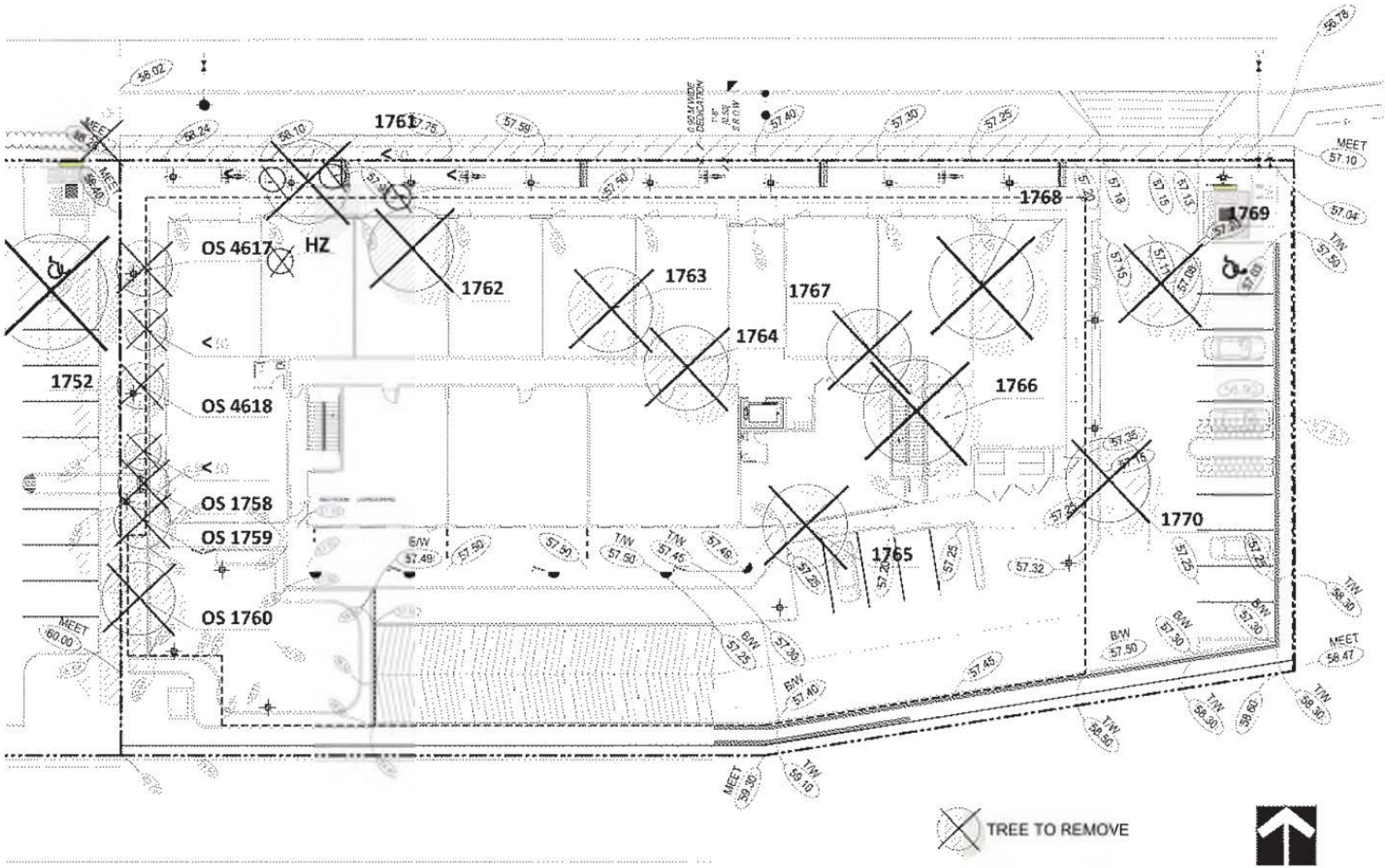
PLANT SCHEDULE - STREET TREE ONLY	SYMBOL	PLANT NAME	PLANT SPECIFICATION
(Symbol)	(Symbol)	STREET TREE	STREET TREE SPECIFICATION



LUMINAIRE TO BE CHOSEN BY APPROPRIATE OUTFIT TO PREVENT LIGHT POLLUTION IN TO NEIGHBORING REFER TO SPECIFICATIONS

NOTE:
 - All soft landscape areas to be irrigated with automatic underground Design-Build system. Irrigation Design and installation to I.A.B.C. Standards, latest edition
 - OFF-SITE PLAN-SEE CIVIL
 - ON-SITE GRADING PLAN-SEE ARCHITECTURAL

NO.	DATE	REVISION DESCRIPTION
1	2018-11-15	ISSUE FOR PERMIT
2	2018-11-15	ISSUE FOR PERMIT
3	2018-11-15	ISSUE FOR PERMIT
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9	2018-11-15	ISSUE FOR PERMIT
10	2018-11-15	ISSUE FOR PERMIT



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pmg
LANDSCAPE ARCHITECTS

Suite 1110 - 4 9th Ave South
Burnaby, British Columbia, V5C 3G2
416-284-0011 | 416-284-0022

DATE:

NO.	DATE	REVISION DESCRIPTION	BY
1		PRELIMINARY DESIGN	
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CLIENT: [REDACTED] LTD.

CLIENT OF ARCHITECTURE:

PROJECT:

MIXED-USE BUILDING

14856 - 66TH AVENUE
SURREY

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE:	1/20/21	ISSUE/REVISION:
SCALE:	AS SHOWN	
DRAWN:	JD	L3
DESIGN:	JD	
CHECK:	MS	
DATE:	1/20/21	

PROJECT NUMBER: 17-002

DATE PLOTTED:

OF 1

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 22, 2017** PROJECT FILE: **7817-0242-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 14856 60 Ave**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment beyond those noted below.

REZONE

Property and Right-of-Way Requirements

- dedicate 1.0 m along 60 Avenue for the ultimate collector road allowance of 12.0 m from centerline; and
- register 0.5 m statutory right-of-ways (SRW) along 60 Avenue for inspection chambers and sidewalk maintenance.

Works and Services

- construct 60 Avenue with ultimate 14.0 m pavement (from existing north curb), 1.8 m concrete sidewalk along property line, street lighting, and street trees;
- construct a 7.3 m concrete letdown (with 2.25 m curb bulge) for access to the site;
- construct drainage, water, and sanitary service connections to the site, complete with inspection chambers and water meter; and
- construct a new 300 mm water main on 60 Ave between 148 Street and the east end of the development site.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Rémi Dubé, P.Eng.
Development Services Manager
M51



Planning December-22-17

THE IMPACT ON SCHOOLS

APPLICATION #: 17 242 00

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Cambridge Elementary along with Goldstone Park, Woodward Hill and Sullivan Elementary service the south Newton community. With 64th Street to the north, ALR to east and south and King George Boulevard to the West, these schools are contained within these barriers. As both 64th and King George serve as major arterial roads, catchments have been created to ensure families do not have to cross such major roadways for safety reasons.

As of September 2017, all three schools are severely overcrowded operating at 130% capacity or greater. It is important to look at all three of these schools when looking for available space in the area to accommodate growth as there is no space available at Cambridge. Previous enrolment management strategies applied to this family of schools have been to:

1. Change boundaries between the three schools to spread the enormous enrolment pressure on all three sites. This years enrolment numbers have started to reflect the impact of these changes, however, the new growth in the area is still overwhelming each of these campuses.
2. Construct a new 200 capacity addition to Woodward Hill. This new addition, when it is open in 2019, will only reduce the current number of portables on site and will not address new growth in the coming years.
3. Reduce the French Immersion program to one kindergarten class from two at Woodward Hill. The impact of this change will take several years to begin to have an impact on making space available to regular stream students
4. Designing a 200 addition to Sullivan Elementary which is targeted to open September 2020. The Ministry has yet to approve construction funding for this project.

Therefore, until the Ministry of Education approves the construction of a new 655 capacity elementary school in the area as requested by the District, the District will have to consider more drastic enrolment strategies which could include capping enrolment to local in-catchment demand.

Because of the overcrowding at Goldstone Park, Woodward Hill and Cambridge, Sullivan Heights is also experiencing the same over crowding issues. The secondary school currently caps the amount of students the school can accept at each grade. In-catchment students that can not be accommodated at Sullivan are then placed in a high school that can accommodate them and their program needs.

As part of the District's 2018/19 Capital Plan submission to the Ministry of Education, the district is asking for a 700 capacity addition to the Sullivan Heights Secondary targeted to open September 2020. This project has yet to be approved for capital funding by the Ministry, therefore, delaying our targeted opening date.

SUMMARY
 The proposed 29 lowrise units are estimated to have the following impact on the following schools:

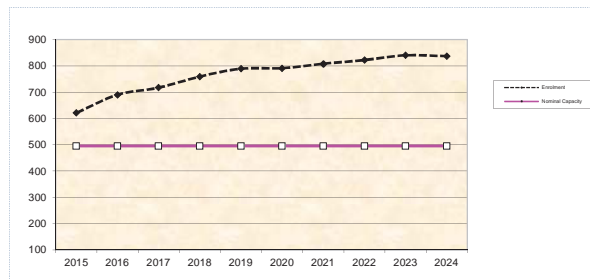
Projected # of students for this development:

Elementary Students:	1
Secondary Students:	1

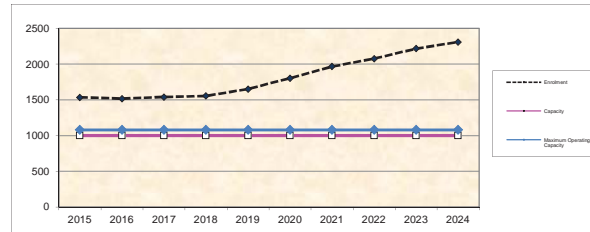
September 2017 Enrolment/School Capacity

Cambridge Elementary	
Enrolment (K/1-7):	105 K + 612
Nominal Capacity (K/1-7)	76 K + 419
Sullivan Heights Secondary	
Enrolment (8-12):	1540
Capacity (8-12):	1000
Maximum Operating Capacity*(8-12):	1080

Cambridge Elementary



Sullivan Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 17-0242-00

Address: 14856 - 60 Avenue, Surrey, BC

Registered Arborist: Peter Mennel

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	24
Protected Trees to be Removed	24
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 5 X one (1) = 5 - All other Trees Requiring 2 to 1 Replacement Ratio 19 X two (2) = 38 	43
Replacement Trees Proposed onsite	35
Replacement trees proposed – Street Trees	6
Replacement Trees in Deficit	8
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2 	2
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: November 30, 2017
--	-------------------------



Present:

Chair - L. Mickelson
A. Scott
S. Forrest
J. Leger
K. Johnston
M. Younger
D. Staples

Guests:

J. Arora, DF Architecture
Z. Billimoria, DF Architecture
D. Dimitrova, PMG Landscape Architects
R. Ciccozzi, Ciccozzi Architecture
S. Seefeldt, Ciccozzi Architecture
A. Walsa, Ciccozzi Architecture
D. Jerke, Van der Zalm + Associates
H. Besharat, Besharat Friars Architects
M. Van der Zalm, Van Der Zalm + Associates
C. Sethi, Tien Sher Developments
B. Weih, Wensley Architecture Ltd.
O. Verbenkov, Pacific Land Group
D. Hester, AECOM
O. Lozanova, AECOM

Staff Present:

T. Ainscough, Planning & Development
M. Rondeau, Planning & Development
N. Chow, Planning & Development
L. Blake, Legislative Services

A. RECEIPT OF MINUTES

It was

Moved by S. Forrest
Seconded by A. Scott
That the minutes of the Advisory Design

Panel meeting of July 27, 2017 be received.

Carried

B. NEW SUBMISSIONS**2. 4:30 PM**

File No.:	7917-0242
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Rezoning DP, OCP and NCP amendment for a 3-storey mixed-use commercial and residential building with 1 level of underground parking
Address:	14856 60 Avenue, Newton
Developer:	Tarn Uppal, Verbatim Consulting
Architect:	Jesse Arora, Architect AIBC, DF Architecture
Landscape Architect:	Patricia Campbell, BCSLA, PMG Landscape Architecture
Planner:	Taryn Hayes
Urban Design Planner:	Nathan Chow

The **Urban Design Planner** advised that the projects are located beside each other and have similar design; however, both projects have separate developers. The land-use complements the existing small neighbourhood commercial node. There is a rear lane, which will be connected to 149 Street in the future, is not available to commercial traffic due to concerns with the existing single family residential neighbours. Staff have no specific issues.

The **Project Architect** presented an overview of the site and building plans, streetscapes and elevations.

The **Landscape Architect** presented an overview of the landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was
Moved by J. Leger
Seconded by S. Forrest
That the Advisory Design Panel (ADP)
supports the project and recommends that the applicant address the following
issues to the satisfaction of the Planning & Development Department.
Carried

Form and Character

- The scale and massing are appropriate for the site and neighbourhood; however, the massing appears repetitive, especially between the two projects, which could be differentiated such as colour and materials.

Noted. Revisited the colors and materials added to differentiate.

- Review the main lobby, as it requires additional prominence which could be achieved with additional roof undulation and material treatments.

Noted. The two storey curtain wall is introduced with glulam beam awning for more prominent residential entrance to reflect the same. Please Ref. drwg. no. A-300.

- Recommend taking advantage of the higher massing and implementing clerestory windows.

Noted. Have revised the elevations to reflect the same. Please ref. drwg. no. A-301.

- The stepping awnings may allow too much weather to get in.

Noted.

- At the rear, the residential units appear too similar to the commercial design; recommend more residential character and distinction. The

treatment of the ground floor units with patios, etc. could be differentiated from the upper floor residential units.

Noted. Same material & pattern used from first floor to third floor to differentiate between commercial & residential use. Please ref. drwg.no. A-300.

- For the unit design, the living rooms seem small and bedrooms large proportionally.

Noted & revised unit plans Please ref. drwg.no.A-202.

- The colors and materials provide a nice, soft palette.

Noted.

- Recommend utilizing brick detailing, e.g. soldier coursing.

Noted & soldier course added in brick cladding. Please ref drwg.no. A-300.

- Consider varying the Hardie-board panels in terms of the trim to accent the rhythm of the building.

Noted.

- Encourage the implementation of a loading bay.

Noted. No room for loading bay on grade. Also it is not required by zoning bylaw.

- Concerned that the garbage/recycling area are undersized, and there may be issues with truck access to the area.

Noted. Will confirm as per Metro Vancouver guidelines.

- Make provisions to allow for future restaurant with venting.

Noted. No restaurants proposed. All retail units are less than 150 SqMt.

- A more detailed signage package would be appreciated.

Noted. Kindly ref. drwg.no. A-401.

Landscape

- Confirm access from the indoor amenity area to the outdoor amenity area.

Noted. To be provided by PMG landscape consultant.

CPTED

- Complete a CPTED review of security lighting.

Noted.

Accessibility

- Confirm that the accessible parking spaces meet the by-law i.e. a minimum of 12' wide.

Noted and provided.

- Recommend that one residential unit per floor be made to be accessible.

Noted. Owners may look into this during Building Permit stage.

- Recommend that unit entrances be made accessible or be provided with power doors.

Noted.

- Recommend that the elevator call buttons be accessible and implemented no higher than 42 inches.

Noted and shall provide.

- Recommend that commercial unit washrooms be made accessible if they are ever made available to the public.

Noted and provided.

Sustainability

- Features presented are too generic.
- Recommend the use of Heat Recovery Ventilators and direct duct ventilation to suites.
- Recommend the use of Energy Star appliances.

Noted and shall be provided.

C. OTHER COMPETENT BUSINESS**D. NEXT MEETING**

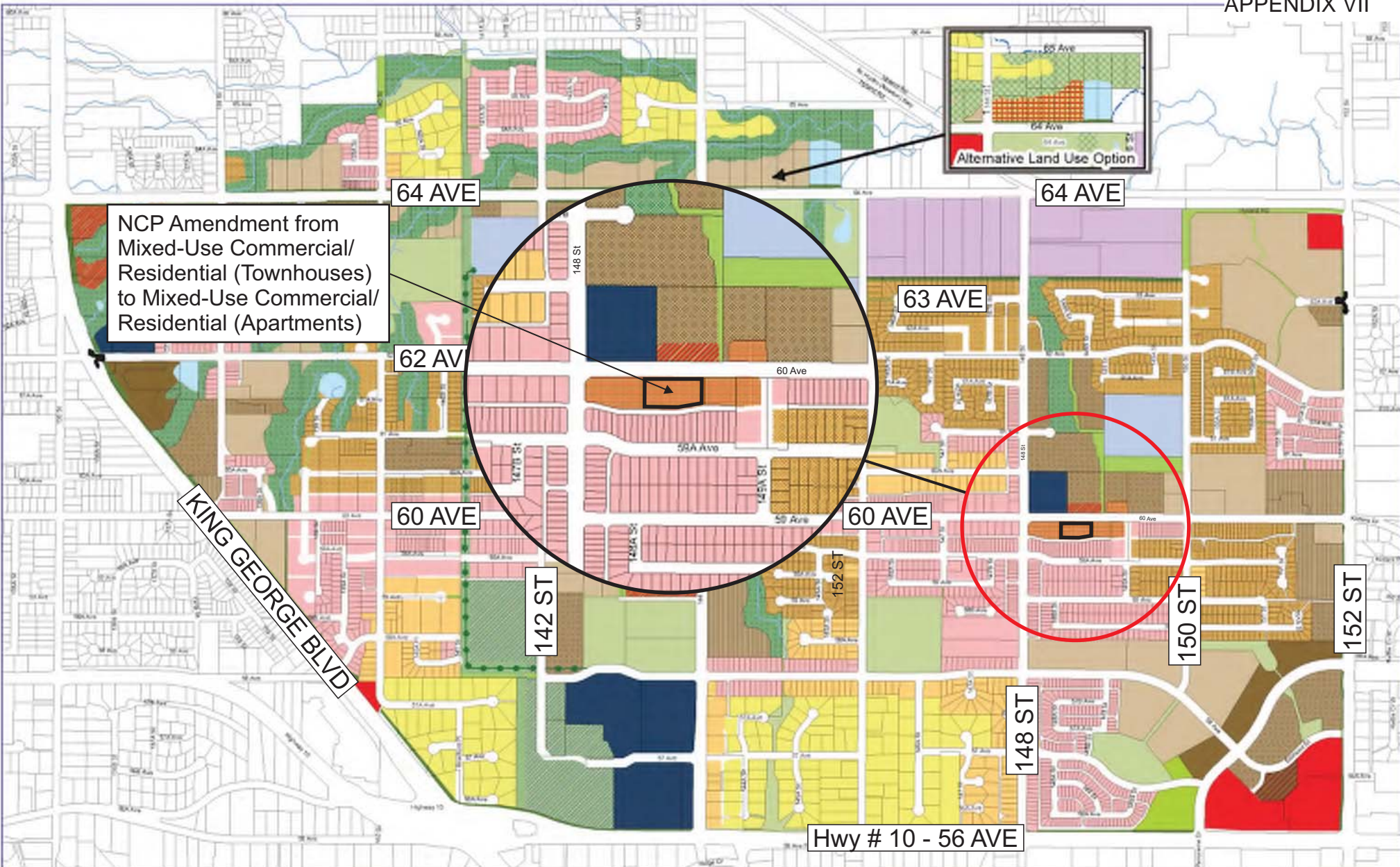
The next Advisory Design Panel is scheduled for **Thursday, November 9, 2017.**

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:07 p.m.

Jane Sullivan, City Clerk

L. Mickelson, Chair, Advisory Design Panel



NCP Amendment from Mixed-Use Commercial/ Residential (Townhouses) to Mixed-Use Commercial/ Residential (Apartments)



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department



- Apartments 45 upa max
- Apartments 45 upa max
- Townhouses 30 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max

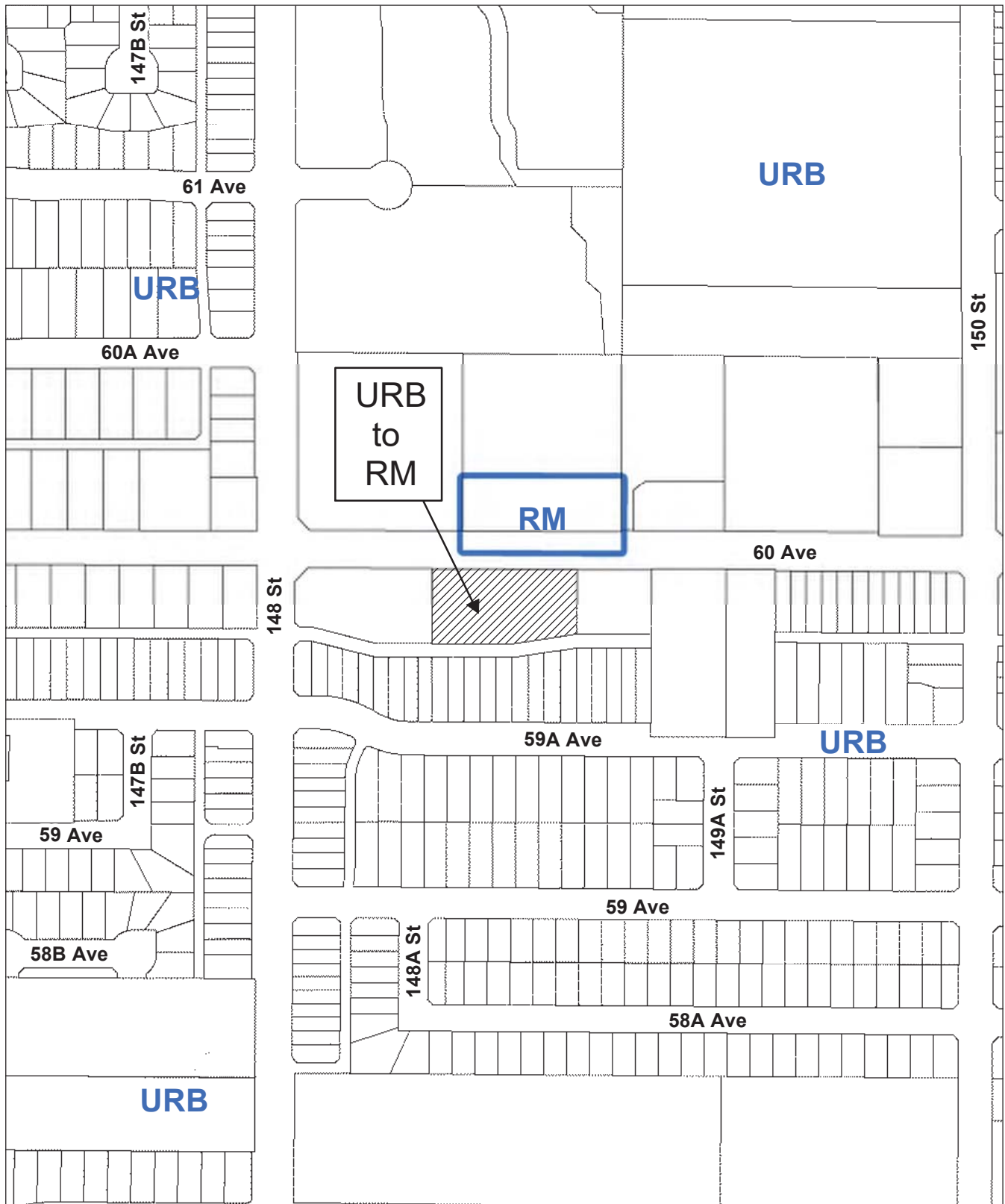
- Single Family Small Lots
- Row Housing
- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



OCP Amendment 7917-0242-00

Proposed amendment from Urban to Multiple Residential



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: HALF-ACRE RESIDENTIAL ZONE (RH)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 028-696-140
 Lot 10 Section 10 Township 2 New Westminster District Plan BCP49291

14856 - 60 Avenue

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings, ground oriented multiple unit residential buildings*, related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*

2. The following uses are permitted provided that the *gross floor area* of each individual business does not exceed 370 square metres [4,000 sq.ft.]:
 - (a) *Retail stores, excluding adult entertainment stores, auction houses, secondhand stores and pawnshops.*
 - (b) *Personal service uses, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops.*
 - (c) *Office uses, excluding social escort services and methadone clinics.*
 - (d) *General service uses, excluding funeral parlours, drive-through banks and vehicle rentals;*
 - (e) *Indoor recreational facilities; and*
 - (f) *Community services.*

3. The following use is permitted provided that the *gross floor area* of each individual business does not exceed 150 square metres [1,6150 sq.ft.]:
 - (a) *Eating establishments excluding drive-through restaurants.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a building area of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a *floor area ratio* of 1.10 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2(a) of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 40%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard	Rear Yard	Side Yard (East)	Side Yard (West)
<i>Buildings and Structures</i>		4.0 m [13 ft.]	16.0 m [52 ft.]	16.5 m [54 ft.]	3.3 m [10 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 13 metres [43 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the *principal building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
3. Garbage containers and *passive recycling containers* shall not be located within any required *setback* adjacent any *residential lot*.
4. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Part.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-45 Zone, as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-5 Zone for the commercial uses and the RM-45 Zone for the residential uses.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK