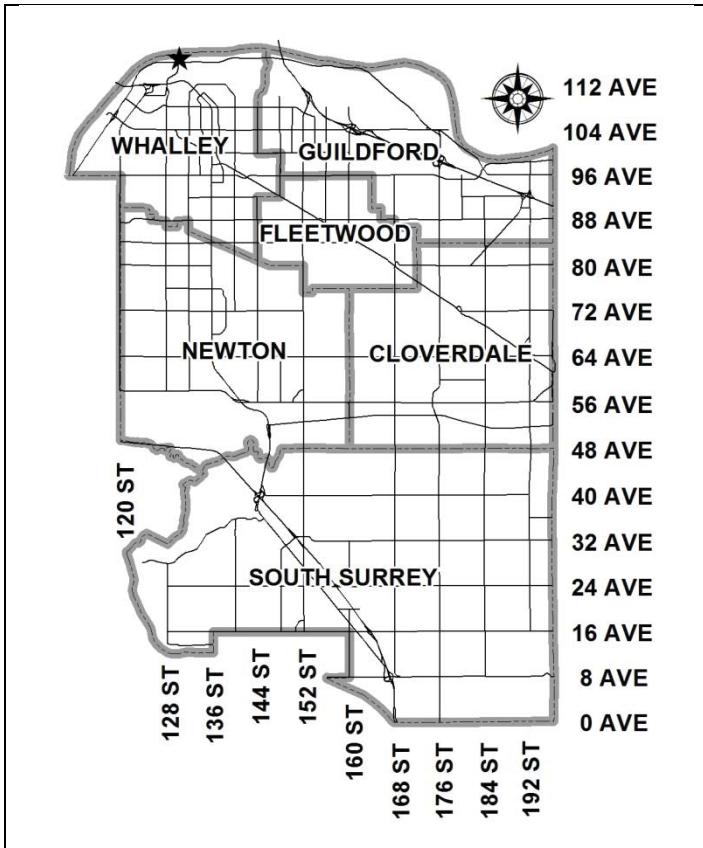


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0186-00

Planning Report Date: July 24, 2017



PROPOSAL:

- **Development Permit**

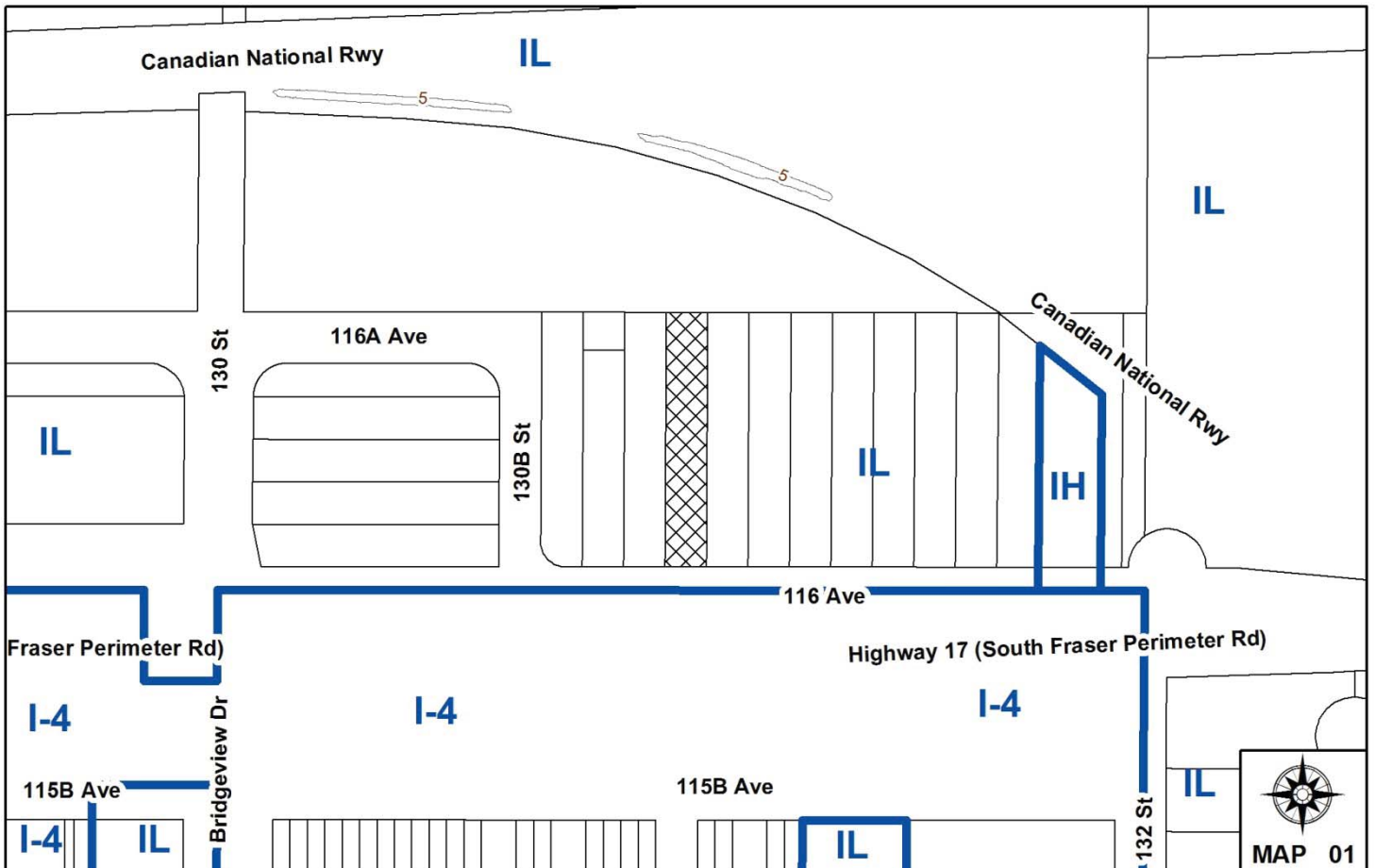
to permit the development of a two-storey industrial building in Bridgeview.

LOCATION: 13099 - 116 Avenue

OWNER: Abdul Hamid
 Salikat Hamid

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Form and Character, Hazard Lands and Sensitive Ecosystems Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the OCP.
- The proposed building form and land use are appropriate for this industrial area.
- The proposal supports the City's Economic Development and Employment Lands Strategies.
- The proposal includes consideration for the streamside setback area associated with an A/O class ditch on an adjacent property.
- The applicant has submitted a geotechnical report which includes completion of drill exploration and comments pertaining to site preparation and foundation design. The Geotechnical Report addresses the Development Guidelines for Hazard Lands outlined in the Official Community Plan (OCP), and will be incorporated into the proposed Development Permit.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Form and Character, Hazard Lands and Sensitive Ecosystems Development Permit No. 7917-0186-00 generally in accordance with the attached drawings (Appendix II) and the Geotechnical Report prepared by Braun Geotechnical Ltd.
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) Registration of a 15 metre (49 ft.) wide combined Restrictive Covenant/Right-of-Way at the rear of the property to ensure safeguarding and maintenance of the streamside protection area.

REFERRALS

- Engineering: The Engineering Department has no objection to the project.
- Ministry of Transportation & Infrastructure (MOTI): A referral to MOTI is not required since the proposed building is under 4,500 square metres (48,435 sq.ft.) in size, and the proposal does not require a rezoning
- Surrey Fire Department: The Surrey Fire Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Existing trailer to be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Trucking and cartage company, CN railway line and CN Intermodal Yard.	Industrial	IL
East:	Truck and truck part storage.	Industrial	IL
South (Across 116 Avenue):	South Fraser Perimeter Road.	Industrial	I-4 (By-law No. 5942)
West:	Warehouse building	Industrial	IL

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 13099 – 116 Avenue in Bridgeview, and is designated Industrial in the Official Community Plan (OCP) and zoned "Light Impact Industrial Zone (IL)".
- The subject property is approximately 2,020 square metres (0.5 acre) in size.
- The applicant is proposing to construct a two-storey, industrial warehouse building approximately 410 square metres (4,415 sq.ft.) in size on the subject site. The proposed building will have a floor area ratio (FAR) of 0.20 and lot coverage of 14.5%, which is consistent with the maximum FAR of 1.0 and lot coverage of 60% in the IL Zone. Building setbacks are also consistent with the IL Zone requirements.
- Development Permit 7914-0051-00 was previously issued for this proposal in 2014. It has since expired. The current proposal has not changed from the 2014 application with the exception of landscaping modifications to accommodate the Sensitive Ecosystem Development Permit requirements. These requirements were not present in 2014.

PRE-NOTIFICATION

- In accordance with Council policy, a Development Proposal Sign was erected on the property. To date, staff have not received any comments with respect to the proposal.

DESIGN PROPOSAL AND REVIEW

- The subject site must be filled and raised approximately 1.2 metres (4 ft.) in order to comply with flood proofing requirements.
- The proposed building is primarily constructed of concrete block with hardie panels and metal cladding. The primary colours of the proposed building are light gray and muted blue.
- The main floor of the proposed building will consist of a showroom and a warehouse. Ancillary office space is located on the second floor.
- The south building elevation, which faces 116 Avenue and South Fraser Perimeter Road, will include significant glazing.
- The architect proposes to extend the second floor of the proposed building approximately 2.4 metres (8 ft.) outward from the first storey, resulting in a building overhang that creates a weather-protected outdoor patio on the first floor adjacent to the main entrance of the proposed building.
- A pedestrian walkway will connect the main building entrance with the parking lot and the sidewalk along 116 Avenue. The sidewalk, as well as a boulevard and street lights, will be installed as part of the subject development proposal, at the Building Permit stage.
- The site accommodates a total of seven (7) parking stalls, including one (1) for the disabled, which complies with the Zoning By-law.

- Two (2) loading bays, accessed by metal overhead doors, are located along the north and west building elevations. The north loading bay will accommodate larger (9 metre / 30 ft. long) trucks, while the west loading bay will accommodate smaller vehicles.
- Proposed outdoor lighting includes soffit lighting along the south and west building elevations, as well as wall-mounted LED lighting along the north building elevation.
- The applicant proposes to install metal decorative fencing, attached to concrete block posts that match the proposed building, on the subject site. The fence will be installed along the east and west property lines, south of the proposed building, as well as at the south end of the parking lot, and will include a gate at the vehicular driveway and the pedestrian walkway to 116 Avenue.
- A pad-mounted transformer will be installed near the south property line adjacent to the vehicular driveway off 116 Avenue. The transformer will be installed outside (south) of the proposed metal fence, but will be screened by landscaping (cedars and roses).

Trees and Landscaping

- There are no existing trees on the subject site.
- The applicant proposes to install landscaping along the south lot line and along the southern portion of the east and west lot lines, in front of the proposed building.
- The proposed landscaping includes a number of low-level species including junipers, roses, feather grass and laurels. Four (4) red maple trees will also be installed.

Development Permit for Sensitive Ecosystems

- A previously existing red coded ditch is identified along the south lot line of the neighbouring property to the north. The ditch was illegally infilled by the neighboring tenant sometime between April 2009 and December 2010. On January 12, 2011, City staff issued a letter to the property owners, instructing them to take immediate action to remove the fill material from the ditch. The ditch has since been illegally infilled a second time. The City has initiated a process to have the watercourse re-opened.
- City staff have confirmed that the infilled watercourse on the neighbouring property was previously identified as a Class A/O ditch, which requires a 10-metre (33 ft.) setback from top-of-bank under Part 7A Streamside Protection of the Zoning By-law No. 12000. In addition, the subject site falls within a Development Permit Area (DPA) for Sensitive Ecosystems.
- The applicant retained a Qualified Environmental Professional (QEP) from SER Environmental Management Ltd. who confirmed that the previously existing ditch had been infilled and as such it was not possible to prepare a Riparian Areas Regulation (RAR) report or an Ecosystem Development Plan. However, in anticipation of the future re-opening of the watercourse the applicant is proposing to protect 10-metres (33 ft.) at the rear of the property and plant the area with native vegetation. The area will also be fenced. The proposed planting and fencing plan will be included in the Development Permit.

- The proposal meets Part 7 Streamside Protection of the Zoning By-law No. 12000 by protecting a 10-metre (33 ft.) wide setback area at the rear of the property. The applicant is also required to register a 15-metre (49 ft.) wide no-build restrictive covenant and statutory right-of-way for drainage access to further protect the setback area prior to Development Permit issuance.

Development Permit for Hazard Lands (Flood Prone Areas)

- The site is subject to a Development Permit (DP) for Hazard Lands for flood prone areas under the Official Community Plan (OCP) as the site is within the 200-year flood plain of the Fraser River.
- The applicant has submitted a geotechnical report prepared by Braun Geotechnical Ltd. which includes completion of drill exploration and comments pertaining to site preparation and foundation design. The Geotechnical Report addresses the Development Guidelines for Hazard Lands outlined in the Official Community Plan (OCP), and will be included in the proposed Development Permit.

Proposed Signage

- The applicant proposes one (1) non-illuminated, channel letter fascia sign along the south building elevation facing 116 Avenue. The proposed sign complies with the Sign By-law.
- No free-standing signs are proposed.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site, on June 4, 2014. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located in an industrial area in Bridgeview near South Fraser Perimeter Road and Bridgeview Drive.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density is 0.20 FAR • The proposed two-storey industrial building supports the City's Economic Development and Employment Land Strategies
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The following Low Impact Development Standards are utilized: Absorbent soils (greater than 300mm in depth); Roof downspout disconnection; On-site infiltration trenches / sub-surface chambers; and Staff recycling bins are provided
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The project will result in the construction of the sidewalk and boulevard along the lot frontage • An on-site bicycle rack is provided • A bus stop is located approximately 500 metres (0.3 mile) from the subject site
5. Accessibility &	<ul style="list-style-type: none"> • The following Crime Prevention Through Environmental Design

Safety (E1-E3)	(CPTED) principles are incorporated: A ramp will provide wheelchair access to the building entrance; The site will be well-lit areas with exterior LED lighting; Security gates; and On-site security and monitoring
6. Green Certification (F1)	• Not applicable
7. Education & Awareness (G1-G4)	• Not applicable

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
 Appendix II. Site Plan, Building Elevations, Landscape Plan, Streamside Protection Area Planting and Fencing Plan, and Perspective

INFORMATION AVAILABLE ON FILE

- Geotechnical Report prepared by Braun Geotechnical Ltd. dated July 22, 2014.

original signed by Ron Gill

Jean Lamontagne
 General Manager
 Planning and Development

KL/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Gerry Blonski

 Address: Unit 1A, 12468 - 82 Avenue
 Surrey, BC V3W 3E9

2. Properties involved in the Application
 - (a) Civic Address: 13099 - 116 Avenue

 - (b) Civic Address: 13099 - 116 Avenue
 Owner: Salikat Hamid
 Abdul Hamid
 PID: 011-237-228
 Lot 32 Section 4 Block 5 North Range 2 West New Westminster District Plan 6630

DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		2,022 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	14.5%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (south)	7.5 meters	26.5 meters
Rear (north)	7.5 meters	53 meters
Side #1 (west)	7.5 meters	7.5 meters
Side #2 (east)	7.5 meters or 0.0 meters	0.0 meters
BUILDING HEIGHT (in metres/storeys)		
Principal	18 meters	9.2 meters
Accessory	6 meters	N/A
NUMBER OF RESIDENTIAL UNITS	1	0
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		
Retail		
Office		
Total		N/A
FLOOR AREA: Industrial		410 sq.m.
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		410 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.20
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		N/A
Industrial	4	7
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional		N/A
Total Number of Parking Spaces	4	7
Number of accessible stalls	1	1
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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7917-0186-00



Drawing List

DWG. NO.	DRAWING TITLE
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Architectural

SHEET LIST	
SHEET NUMBER	SHEET NAME
01	COVER
02	SURVEY PLAN
03	BUILDING CODE SYNOPSIS
A1	SITE PLAN & ZONING SYNOPSIS
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ROOF PLAN
A5	ELEVATIONS
A6	ELEVATIONS
A7	BUILDING SECTIONS
A8	BUILDING SECTION
A9	BUILDING SECTION
A10	DETAILS
A11	DETAILS
A12	CONSTRUCTION ASSEMBLIES / DOOR SCHEDULE

DWG. NO.	DRAWING TITLE
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STRUCTURAL

S1	PILE LOCATION
S2	STRUCTURAL DETAILS
S3	STRUCTURAL DETAILS
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS

DWG. NO.	DRAWING TITLE
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MECHANICAL

M1	MECHANICAL PLAN
M2	MECHANICAL PLANS
M3	MECHANICAL PLANS
M4	MECHANICAL DETAILS

DWG. NO.	DRAWING TITLE
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ELECTRICAL

E1	SITE PLAN
E2	POWER LAYOUT
E3	LIGHTING LAYOUT
E4	SPECIFICATION

DWG. NO.	DRAWING TITLE
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CIVIL

C1	SITE GRADING & UTILITIES PLAN
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DWG. NO.	DRAWING TITLE
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LANDSCAPE

L1	PLAN VIEW
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DWG. NO.	SURVEY PLAN
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SURVEY

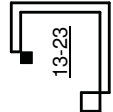


INDUSTRIAL BLDG

13099 - 116 AVE SURREY

REVISED FOR DEVELOPMENT PERMIT
13 NOV 2015

<p>Owner: Abdul Hamid</p>	<p>Architectural: GERRY BLONSKI ARCHITECT SUITE 1A - 12488 - 82 AVE., SURREY, B.C. V3W 3E9 TEL: (604) 572 3608 FAX: (604) 572 3760 EMAIL: gerry@gerryblonskiarchitect.com WEB: www.gerryblonskiarchitect.com CONTACT: Gerry Blonski, m.a.i.b.c.</p>	<p>Structural: KONTROL ENGINEERING 1090 AUGUSTA AVE BURNABY, BC V5A 2V4 604-291-7434 SHARAT.CHANDE@GMAIL.COM</p>	<p>Mechanical: Clover Mechanical / Electrical Engineering 6100-1638 Street, Surrey, BC V3S 3W2 Email: cam.clovercontracting@gmail.com</p>	<p>Electrical: Clover Mechanical / Electrical Engineering 6100-1638 Street, Surrey, BC V3S 3W2 Email: cam.clovercontracting@gmail.com</p>	<p>Civil: TRILLIUM ENGINEERING LTD #7100 WOOD ST NEW WESTMINSTER B.C. V3M 0H6 604-722-0881</p>	<p>Geotechnical: Braun Geotechnical 110 - 19188 94th Ave Surrey, BC VAN 4X8 Tel: 604-513-4190 Fax: 604-513-4195 info@braungeo.com</p>	<p>Landscaping: C. KAVOLINAS & ASSOCIATES INC. 2482 JONQUIL COURT ABBOTSFORD BC V3G 3E8 PHONE: 604-857-2376</p>	<p>Surveyor: Cameron Land Surveying Ltd. Unit 206 - 16055 Fraser Highway Surrey, B.C. V4N 0G2 Phone: 604-597-3777 Fax: 604-597-3783</p>
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Gerry Blonski
architect a.i.b.c.

Ph: 672-9898
Fax: 572-3760

Suite 1A - 12488 - 82nd Ave, Surrey, B.C. V3W 3E9

TOPOGRAPHIC PLAN OF LOT 32,
SECTION 4, BLOCK 5 NORTH,
RANGE 2 WEST, NWD,
PLAN 6630

CIVIC ADDRESS: 13099 - 116th Avenue, Surrey, B.C.



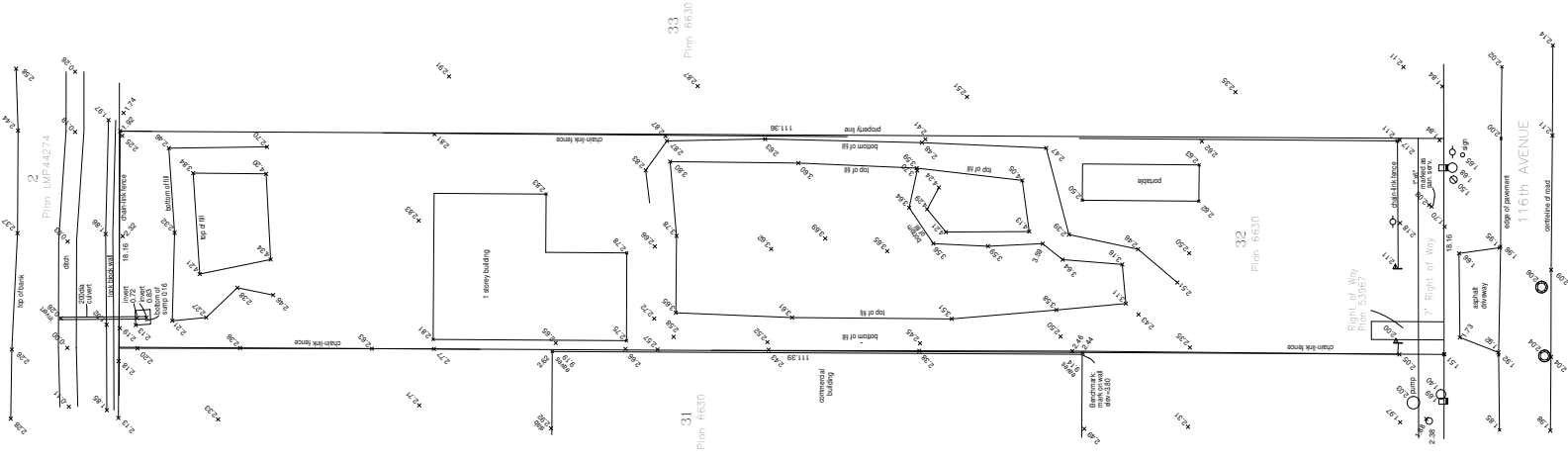
SCALE - 1" = 250'
All distances are in metres

NOTES:

- 1) Dimensions are in metres and are geodetic.
- 2) Elevations are derived from Control Monument no. 5780 (Elevation = 42.457 metres).
- 3) This Plan was prepared for construction design and construction purposes only. The signatory accepts no responsibility for any errors or omissions that may occur in the field or in the office as a result of reproduction, transmission or alteration in this document without consent of the signatory.
- 4) If there is any conflict in information between the information provided in this plan and the information provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be taken to be correct information shown on the hard copy of this plan.

SURVEY LEGEND

- Water connection
- Power pole
- Fire hydrant
- Sanitary inspection chamber
- Manhole
- Underground manhole



Cameron Land Surveying Ltd.
B.C. Land Surveyors
11600 111st Avenue Highway
Surrey, B.C. V4N 0C2
Phone: 604-597-3777
Fax: 604-597-3783

This plan has been prepared in accordance with the specifications of the British Columbia Land Surveyors Act and the specifications from our client and is certified correct this 19th day of December, 2013.

Sean Castellan
B.C.L.S.
File: 5704-TP

This plan lies within the Greater Vancouver Regional District

REVISED FOR DEVELOPMENT PERMIT

SURVEY PLAN

INDUSTRIAL BLDG

JOB NO. 19-23

DATE: 13 NOV 2015

13099 - 116 AVE SURREY

Cherry Blonski
architect a.i.b.c.

Suite 114, 12069 82nd Ave, Surrey, B.C. V4W 0J9

Ph: 522-9008

File: 5704-TP

**BUILDING CODE SYNOPSIS:
B.C. BUILDING CODE 2012**

1. PART 9 BUILDING

1.3.3.3.(1)
BUILDING AREA IS LESS THAN 600 SQ.M.
BUILDING HEIGHT IS 2 STORIES
OCCUPANCIES ARE GROUP 'D' AND 'F3'

BUILDING IS ONLY REQUIRED TO COMPLY WITH PART 9
BUT IT IS DESIGNED TO PART 3

2. MAJOR OCCUPANCIES

TABLE 3.1.2.1
GROUP D BUSINESS & PERSONAL SERVICE
GROUP F2 MEDIUM HAZARD INDUSTRIAL

3. BUILDING SIZE / DESCRIPTION

3.2.2
BUILDING AREA 3406 SQ. FT. (316 SQ. M)
BUILDING HEIGHT 2 STORIES
BUILDING FACES 2 STREETS
BUILDING IS NOT SPRINKLED

4. BUILDING CLASSIFICATION

A.) GROUP 'D' 3.2.2.60
- MAXIMUM BUILDING AREA PERMITTED 1 000 SQ. M
- MAXIMUM BUILDING HEIGHT 2 - STORIES
- COMBUSTIBLE CONSTRUCTION PERMITTED
- SPRINKLERS NOT REQUIRED
- FLOOR ASSEMBLIES ¾ HR. FIRE SEPARATION
COMBUSTIBLE
- ROOF ASSEMBLY NO RATING

B.) GROUP 'F2' 3.2.2.76
- MAXIMUM BUILDING AREA PERMITTED 750 SQ. M
- MAXIMUM BUILDING HEIGHT 2 - STORIES
- COMBUSTIBLE CONSTRUCTION PERMITTED
- SPRINKLERS NOT REQUIRED
- FLOOR ASSEMBLIES 45 MINS HR. F.R.R.
- ROOF ASSEMBLY NO RATING
- LOADBEARING WALL, COLUMNS 45 MINS HR. F.R.R.

5. SEPARATION BETWEEN MAJOR OCCUPANCIES

TABLE 3.1.3.1
D TO F2 - NO RATING

6. SPATIAL SEPARATION

NORTH WALL
WALL AREA 887 SQ.FT. (82.4 SQ.M.)
3.2.3.2.(1)
LIMITING DISTANCE 172 FT. (52.4M)
UNPROTECTED OPENINGS PERMITTED
TABLE 3.2.3.1.B 100%
WALL CONSTRUCTION NO RATING

SOUTH WALL
WALL AREA 887 SQ.FT. (82.4 SQ.M.)
TOTAL WALL AREA FROM GRADE TO U/S ROOF
3.2.3.2.(1)
LIMITING DISTANCE TO CENTER LINE 116 AVE 120.7 FT. (36.8M)
UNPROTECTED OPENINGS PERMITTED
TABLE 3.2.3.1.B 100%
WALL CONSTRUCTION NO RATING

EAST WALL
WALL AREA 2752.7 SQ.FT. (255.7 SQ.M.)
TOTAL WALL AREA FROM GRADE TO U/S ROOF
3.2.3.2.(1)
WALL RATIO 3-10
LIMITING DISTANCE TO GLASS 6.67 FT. (2.0M)
3.2.3.1.(4)
UNPROTECTED OPENINGS PERMITTED 8%
TABLE 3.2.3.1.B 2752.7X0.08 = 220 SQ.FT.
UNPROTECTED OPENINGS PROVIDED 68.76 SQ.FT.
WALL CONSTRUCTION AT GLASSLINE
TABLE 3.2.3.7
WALL CONSTRUCTION REQUIRED 1-HR F.R.R.
PROVIDED 1-HR
WALL CLADDING REQUIRED NON-COMBUSTIBLE
PROVIDED NON-COMBUSTIBLE

WALL CONSTRUCTION AT PROPERTY LINE
TABLE 3.2.3.7
WALL CONSTRUCTION REQUIRED 1-HR F.R.R.
PROVIDED 2-HR
WALL CLADDING REQUIRED NON-COMBUSTIBLE
PROVIDED NON-COMBUSTIBLE

WEST WALL
WALL AREA 2518.8 SQ.FT. (234 SQ.M.)
TOTAL WALL AREA FROM GRADE TO U/S ROOF
3.2.3.2.(1)
LIMITING DISTANCE TO GLASS 25.7 FT. (7.8M)
3.2.3.1.(4)
UNPROTECTED OPENINGS PERMITTED 25.8%
TABLE 3.2.3.1.B 2752.7X0.258 = 650 SF.
UNPROTECTED OPENING PROVIDED 557.4 SQ.FT.

7. FIRE ALARM SYSTEM

3.2.4.1(4)
FIRE ALARM SYSTEM IS NOT REQUIRED.

8. FIRE DETECTORS

NOT REQUIRED.

9. SMOKE DETECTORS

NOT REQUIRED.

10. MANUAL PULL STATION

NOT REQUIRED.

11. SMOKE ALARM

NOT REQUIRED.

12. FIRE TRUCK ACCESS

3.2.5.5(c)(b)
DISTANCE FROM FIRE HYDRANT TO MOST REMOTE ENTRANCE IS 62 M.

13. STANDPIPE SYSTEM

3.2.5.8
BUILDING AREA AND HEIGHT IS LESS THAN MINIMUM REQUIRED.
STANDPIPE SYSTEM IS NOT REQUIRED.

14. EMERGENCY LIGHTING

3.2.7.3(1)
TO BE PROVIDED.

15. EMERGENCY POWER FOR EMERGENCY LIGHTING

3.2.7.4(1)(B)(II)
POWER TO BE PROVIDED FOR 30 MINUTES.

16. EMERGENCY POWER FOR FIRE ALARM SYSTEM

NOT REQUIRED

17. FIRST FLOOR EXIT

GROUP D
3.4.2.1(2)
A.) MAXIMUM FLOOR AREA IS 748 SQ. FT. (69 SQ. M), LESS THAN 200 SQ.M.
TRAVEL DISTANCE IS NO MORE THAN 25 M.
MAXIMUM OCCUPANT LOAD (TABLE 3.1.17.1) BASED ON NET AREA, EXCLUDING WASHROOM IS 31 PERSONS.
MAXIMUM OCCUPANT LOAD IS LESS THAN 60.
ONE EXIT PROVIDED

B.) EXIT WIDTH.
TABLE 3.4.3.2.A
MINIMUM WIDTH PERMITTED 2' 8" (800 MM)
PROVIDED 6' 7" (2010 MM)

GROUP F3
A.) MAXIMUM FLOOR AREA IS 2088 SQ. FT. (193 SQ. M).
TRAVEL DISTANCE IS NO MORE THAN 25 M.
MAXIMUM OCCUPANT LOAD IS SUPPOSED TO BE 4 PERSONS.

B.) NUMBER OF EXITS
3.4.2.1(2)
REQUIRED 1
PROVIDED 2

C.) DISTANCE BETWEEN EXITS
3.4.2.3
DISTANCE BETWEEN EXITS EXCEEDS ½ DIAGONAL DISTANCE.

D.) LOCATION OF EXITS
3.4.2.5
TRAVEL DISTANCE FROM ANY POINT TO AN EXIT IS LESS THAN 30 M.

E.) EXIT WIDTH.
TABLE 3.4.3.2.A
MINIMUM WIDTH PERMITTED 2' 8" (800 MM)
PROVIDED 5' 4" (1624 MM)

18. SECOND FLOOR EXIT

3.4.2.1(2)
A.) MAXIMUM FLOOR AREA IS 1176 SQ. FT. (109 SQ. M), LESS THAN 200 SQ.M. TRAVEL DISTANCE IS NO MORE THAN 25 M.
MAXIMUM OCCUPANT LOAD (TABLE 3.1.17.1) BASED ON NET AREA, EXCLUDING WASHROOM AND CORRIDOR IS 11 PERSONS.
MAXIMUM OCCUPANT LOAD IS LESS THAN 60.
ONE EXIT PROVIDED

B.) EXIT WIDTH.
TABLE 3.4.3.2.A
MINIMUM WIDTH PERMITTED 2' 8" (800 MM)
PROVIDED 3' 0" (914 MM)

19. PLUMBING FACILITIES

FIRST FLOOR

GROUP D

3.1.17.1.(2)
A.) ACTUAL STAFF IS NO MORE THAN 4, MAXIMUM OCCUPANT LOAD IS SUPPOSED TO BE 4 PERSONS.

3.7.2.2.(4)
B.) BOTH SEXES ARE SERVED BY A SINGLE WATER CLOSET.
3.8.2.3.(2)(A)
C.) WATER CLOSET IS UNIVERSAL TOILET ROOM.

GROUP F3

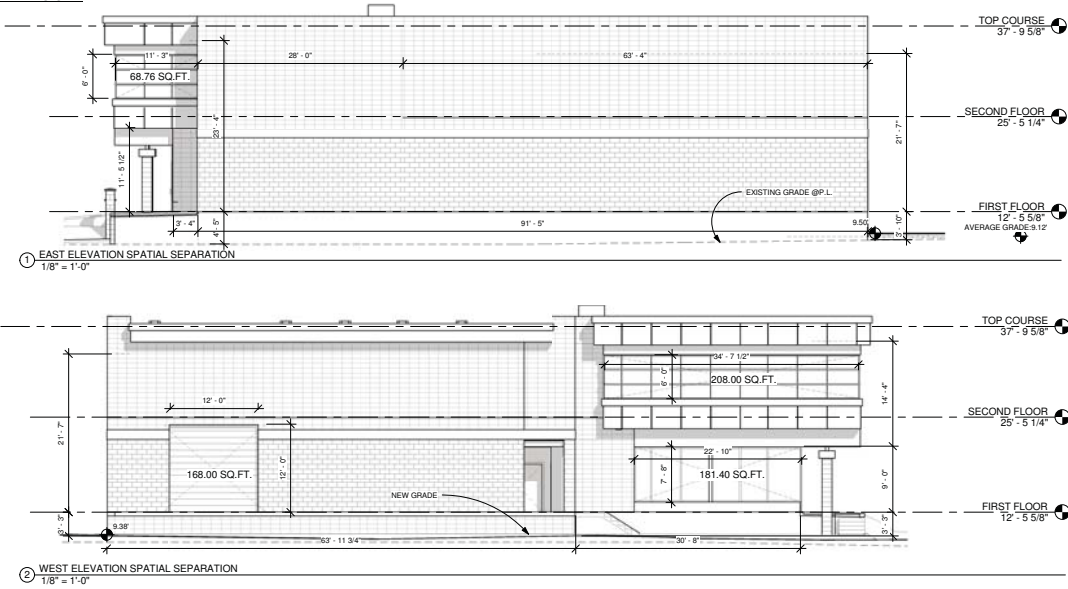
3.1.17.1.(2)
A.) ACTUAL STAFF IS NO MORE THAN 4, MAXIMUM OCCUPANT LOAD IS SUPPOSED TO BE 4 PERSONS.

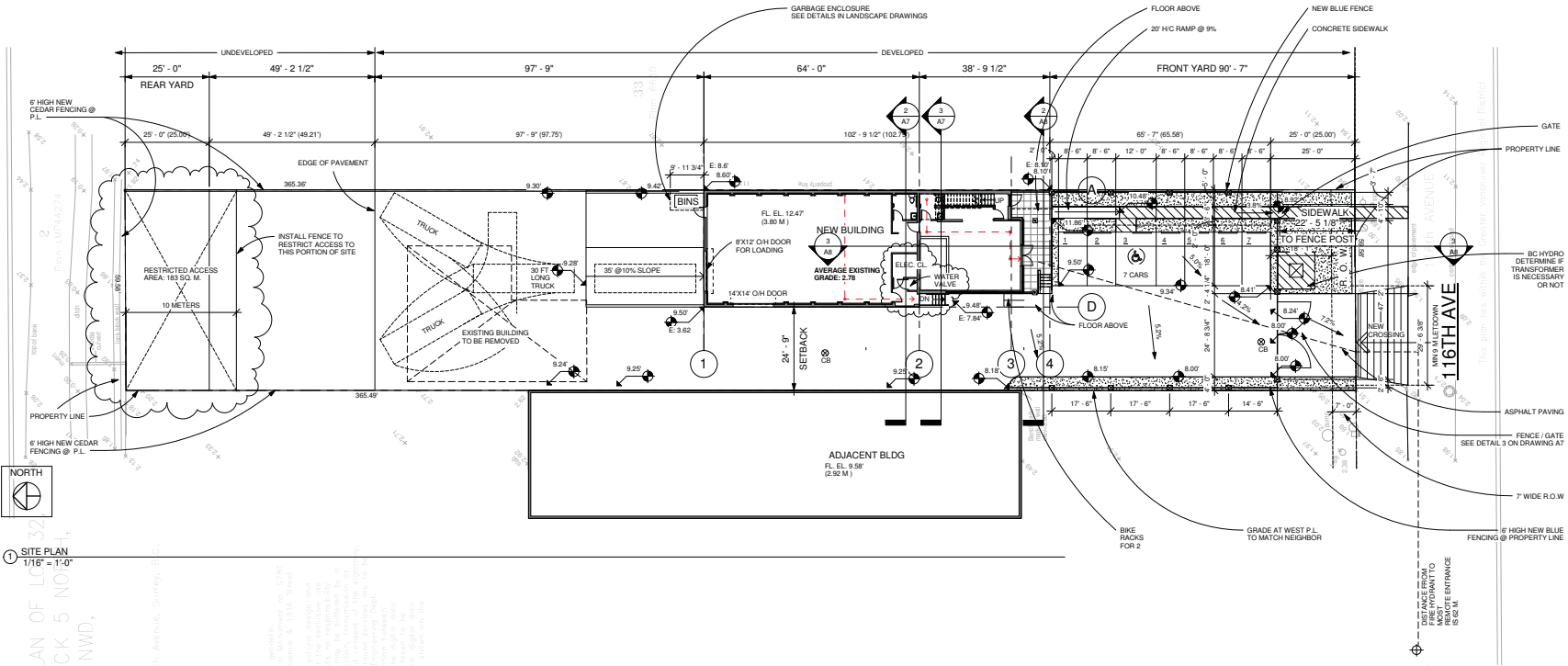
3.7.2.2.(4)
B.) BOTH SEXES ARE SERVED BY A SINGLE WATER CLOSET.
3.8.2.3.(2)(A)
C.) WATER CLOSET IS UNIVERSAL TOILET ROOM.

20. ACCESSIBILITY TO DISABILITIES

FIRST FLOOR
3.8.2
ACCESSIBILITY PROVIDED

SECOND FLOOR
3.8.2.1 (2)(A)
MAXIMUM FLOOR AREA IS 1176 SQ. FT. (109 SQ. M), LESS THAN 600 SQ. M
ACCESSIBILITY NOT REQUIRED





1 SITE PLAN
1/16" = 1'-0"

LEGAL DESCRIPTION:

LOT 32 SECTION 4
RANGE 2
PLAN 6630 NWD

CIVIC ADDRESS:

13099 - 116TH
AVENUE, SURREY,
B.C.

ZONING ANALYSIS:

1. ZONING	IL	6. HEIGHT:		8. BICYCLE PARKING:	
2. SITE AREA:	21770 SQ.FT. 0.500 ACRES 0.202 HA.	ALLOWED:	18 M (60 FT.)	REQUIRED:	2023 SQ. M. 3632 SQ. M.
3. DENSITY		PROVIDED:		FIRST FLOOR:	RESTRICTED ACCESS PORTION OF SITE 1986.68 SQ. M.
		AVERAGE EXISTING GRADE	(2.63 + 2.47 + 3.62 + 2.33) / 4 = 2.78	WAREHOUSE:	
		HIGHEST POINT OF ROOF	11.93	SHOWROOM:	2214
		BUILDING HEIGHT	11.93 - 2.78 = 9.15 M	OFFICE STAIRS:	744
				OFFICE STAIRS:	122
				SECOND FLOOR:	3080
				OFFICE(INCLUDING STAIRS):	1190
4. SITE COVERAGE		7. PARKING:		EXCLUDE STAIRS 2 X 122	(244)
MAXIMUM LOT COVERAGE ALLOWED	60.0%	REQUIRED:		TOTAL:	4026
PROPOSED LOT COVERAGE		FIRST FLOOR:		4026 X 0.1 / 1075 = 0.4	1 BICYCLE
PROPOSED BUILDING	3149 SQ.FT.	WAREHOUSE:	2214	PROVIDED:	2 BICYCLES
3149 / 21770 = 14.5%		SHOWROOM:	744	STANDARD	
		OFFICE STAIRS:	122		
		SECOND FLOOR:			
		OFFICE(INCLUDING STAIRS):	1190		
		EXCLUDE STAIRS 2 X 122	(244)		
		TOTAL:	4026		
		4026 X 1 / 1075 = 3.75 →	4 CARS		
5. SETBACKS:		PROVIDED:			
FRONT YARD	REQUIRED (M.) 7.50	STANDARD	6 CARS		
SIDE YARD WEST	7.50	H/C	1 CARS		
SIDE YARD EAST	0	TOTAL	7 CARS		
REAR YARD	7.50				

EROSION SEDIMENT CONTROL

PROPERTY RESTRICTED ACCESS PORTION OF SITE
THIS IS LESS THAN 2000 SQ.M., SO EROSION SEDIMENT CONTROL IS NOT REQUIRED.

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INDUSTRIAL BLDG
SITE PLAN & ZONING
SYNOPSIS

13099 - 116 AVE SURREY

DATE: 13 NOV 2015

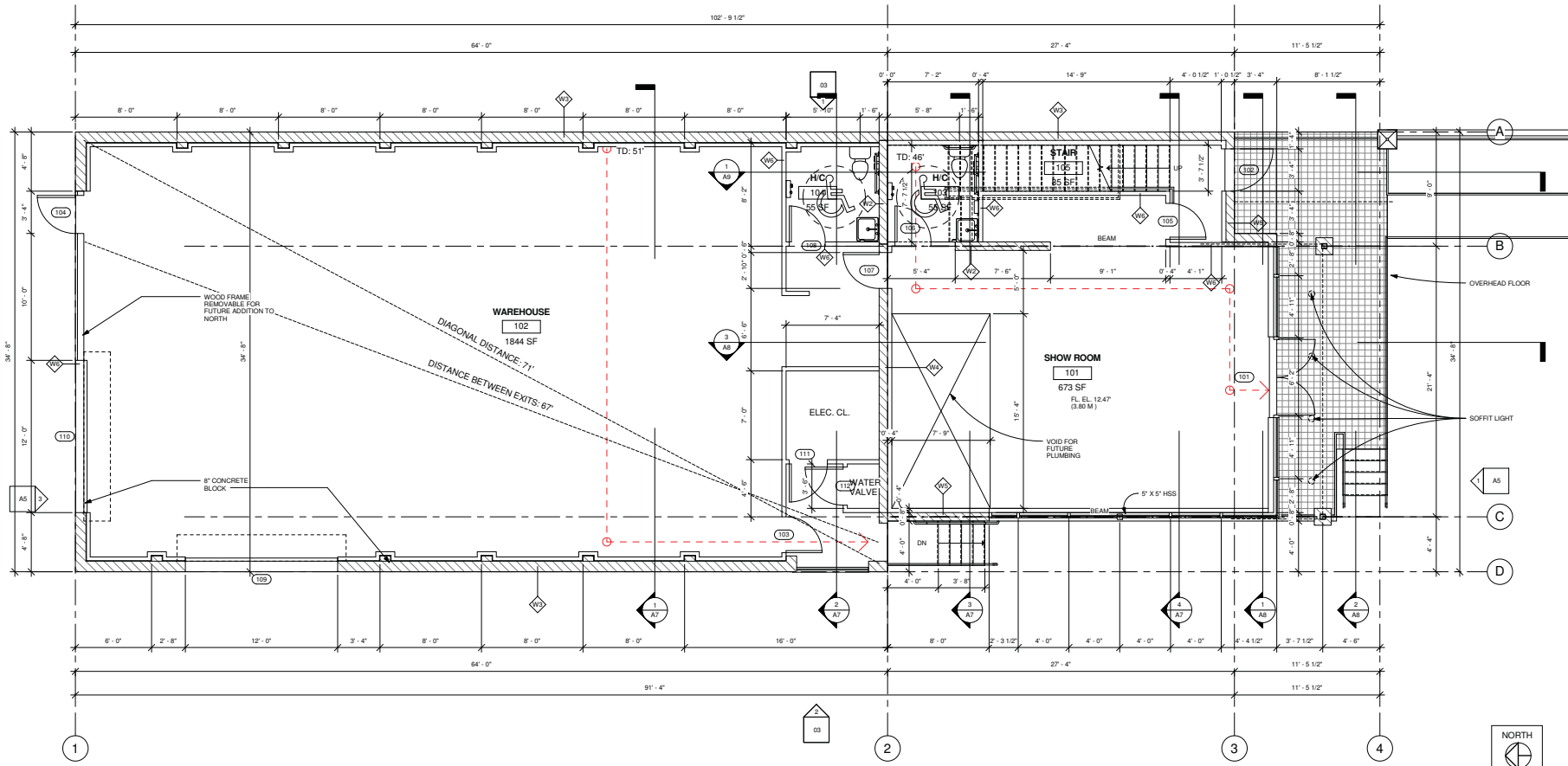
Cerry Plonst
architect a.i.b.c.

Ph: 522-9008

Suite 111, 13088 132nd Ave, Surrey, B.C. V3V 6J9

13099 - 116 AVE SURREY

A1



1 FIRST FLOOR
1/4" = 1'-0"

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FIRST FLOOR PLAN

INDUSTRIAL BLDG

DATE: 13 NOV 2015

13899 - 116 AVE SURREY

Cherry Blonski
architect a.i.b.c.

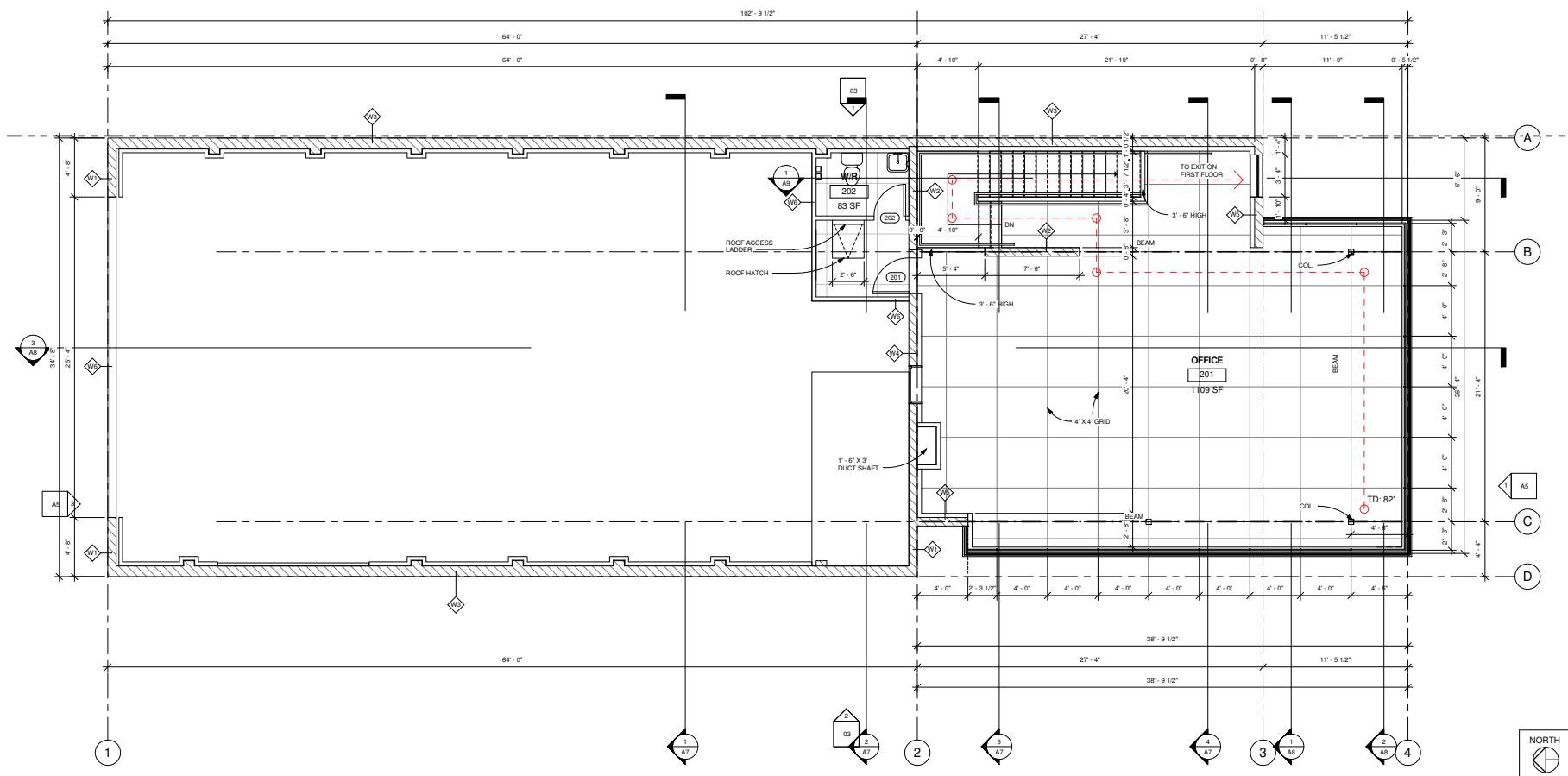
Ph: 522-8008

Suite 111, 13088 82nd Ave, Surrey, B.C. V3W 8J9

A2

JOB NO. 13-23





1 SECOND FLOOR
1/4" = 1'-0"



REVISED FOR DEVELOPMENT PERMIT

SECOND FLOOR PLAN

INDUSTRIAL BLDG

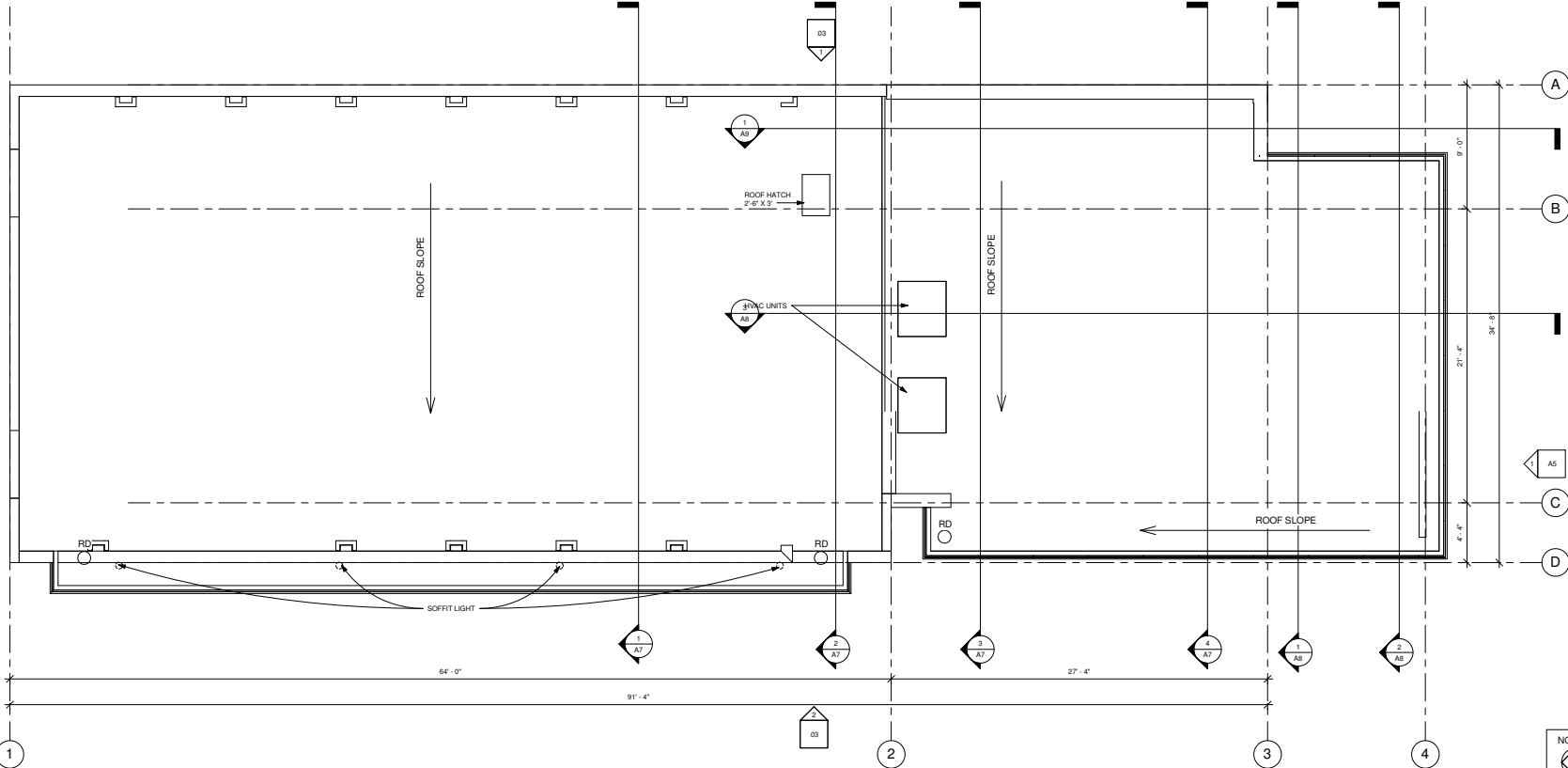
JOB NO. 13.23 DATE: 13 NOV 2015

Cherry Plonksi
architect a.i.b.c.

13099 - 116 AVE SURREY
Ph: 522-8008
Suite 111, 13099 - 116 Ave, Surrey, B.C. V0V 0J0



A3



1 ROOF
1/4" = 1'-0"

REVISED FOR DEVELOPMENT PERMIT

ROOF PLAN

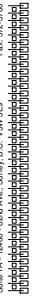
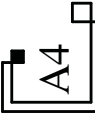
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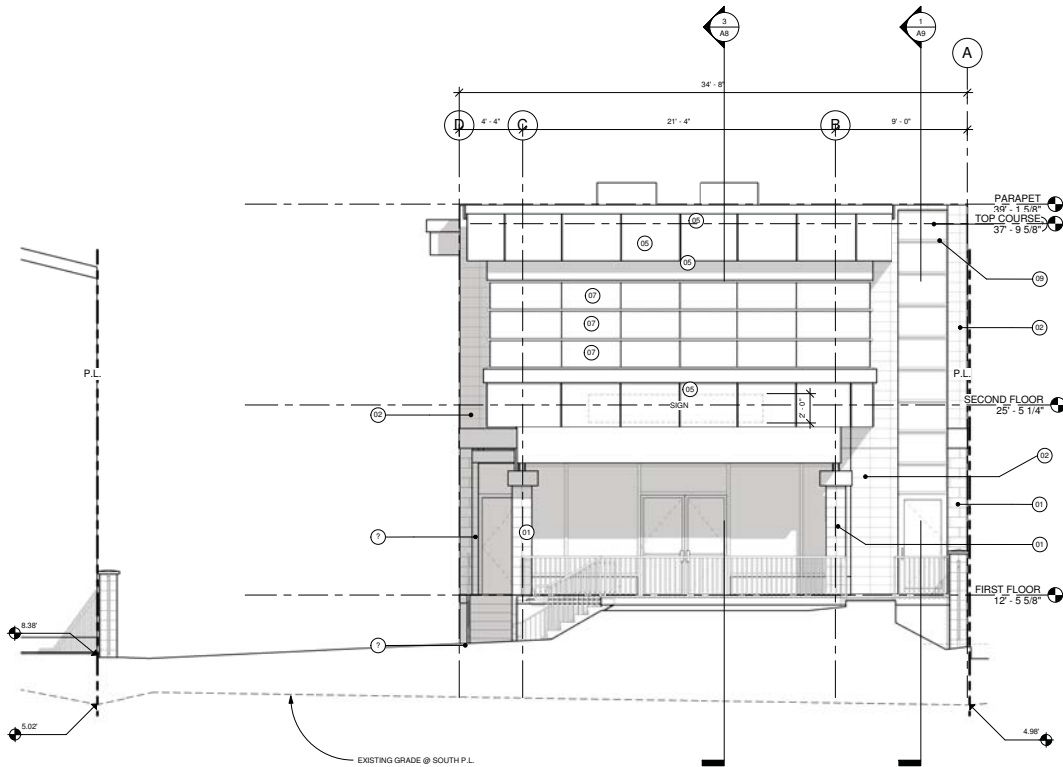
Cherry Plonksi
architect a.i.b.c.

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Suite 114 - 13088 116th Ave. Surrey, B.C. V3W 0P9

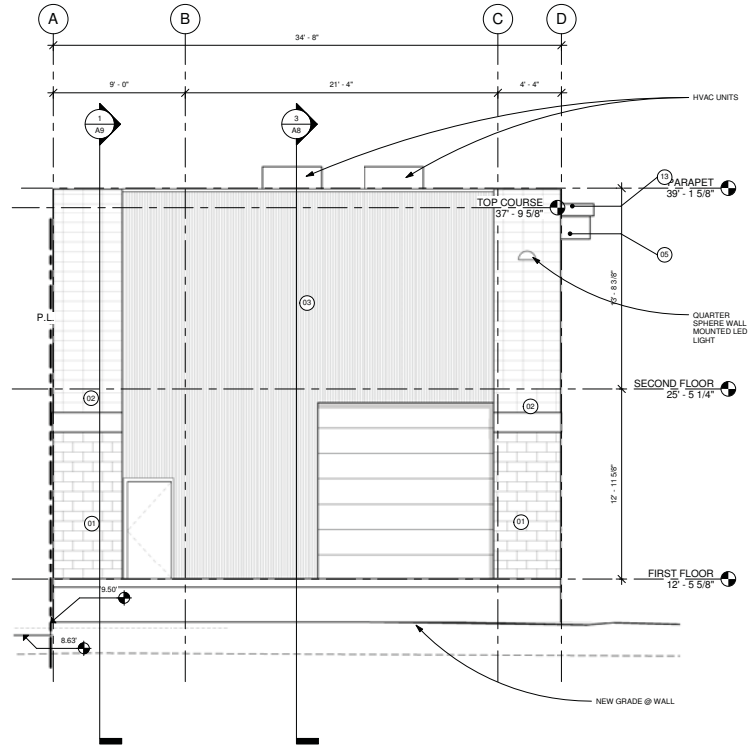
DATE: 13 NOV 2015

JOB NO. 13-23





1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

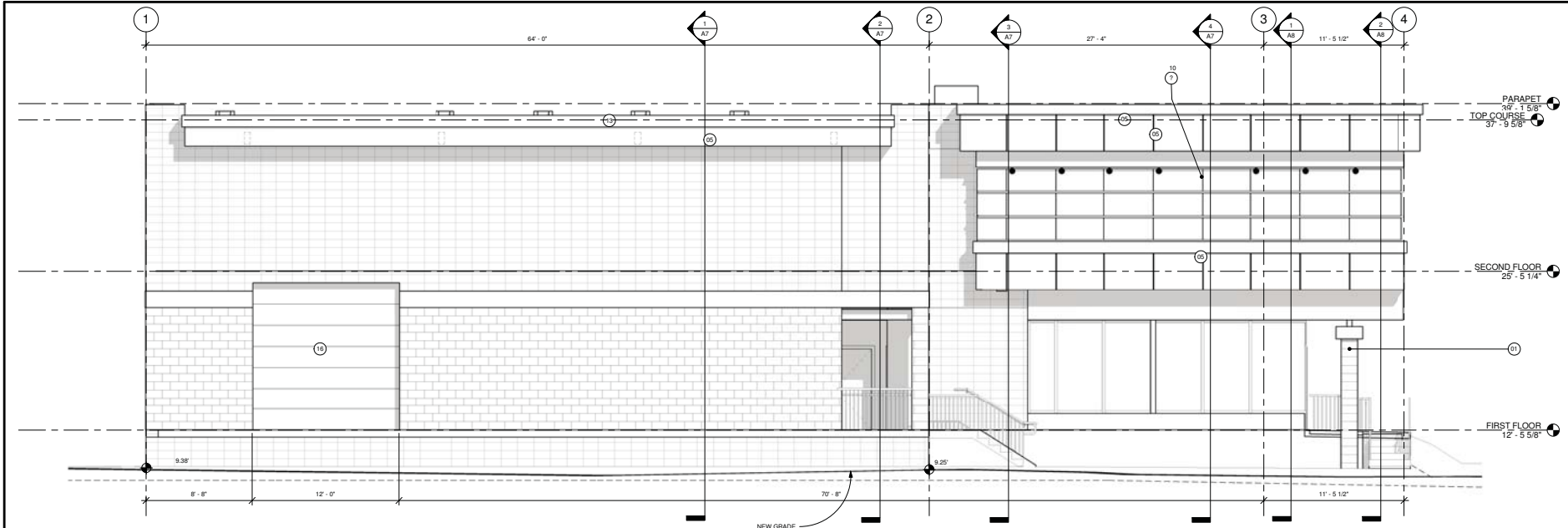
COLOR SCHEDULE

NO.	LOCATION	MATERIAL	FINISH
01	WAREHOUSE LOWER WALL RUNNING BOND	CONCRETE BLOCK	1 - COAT FILLER 2 - ELASTOMERIC PAINT BM #1156 VAN DEUSEN BLUE
02	WAREHOUSE 1ST FLOOR / 2ND FLOOR WALLS	CONCRETE BLOCK	1 - COAT FILLER 2 - ELASTOMERIC PAINT BM #2130-30 PEWTER
03	WAREHOUSE NORTH WALL	VERTICAL METAL CLADDING VIC WEST #CL5022 SR	PRE FINISHED #2897 PEWTER
04	FIRST FLOOR WINDOW CURB	CONCRETE RENDERING FINISH	PAINT 2 COATS BM #2131-15 BLACK SATIN
05	SECOND FLOOR SPANDRELS	HARDIE PANELS C/W FRY ALUMINUM REGLETS	HARDIE PANELS PREFINISHED ARCTIC WHITE REGLETS PREFINISHED BM #2130-30 PEWTER
06	FIRST FLOOR GLAZING	SEALED	CLEAR
07	SECOND FLOOR GLAZING	SEALED REFLECTIVE	BLUE PLUS
08	FIRST FLOOR STORE FRONT FRAMING	2" X 4 - 1 1/2" ALUMINUM	NATURAL ANODIZED
09	SECOND FLOOR CURTAIN WALL HORIZONTAL CAPS	2" X 4" ALUMINUM	HORIZONTAL CAPS NATURAL ANODIZED HORIZONTAL CAPS TP BE CONTINUOUS
10	SECOND FLOOR CURTAIN WALL VERTICAL CAPS	2" X 4" ALUMINUM	VERTICAL CAPS PREFINISHED BM # 2131-10 BLACK SATIN
11	WALL STRIPE 18" WIDE (2 - COURSES)	CONCRETE BLOCK	1 - COAT FILLER 2 - COATS ELASTOMERIC PAINT BM # 2131-10 BLACK SATIN
12	OFFICE BEAM	HARDIE PANELS BUTT JOINTS CAULKED	PAINT BM # 2131-15 BLACK SATIN
13	OFFICE FLASHING	26 GA.	PREFINISHED WHITE
14	OFFICE REVEAL STRIPS	26 GA.	PREFINISHED BLACK
15	OFFICE XX	26 GA. METAL	PREFINISHED WHITE
16	METAL DOOR CW DOOR		PAINT WHITE

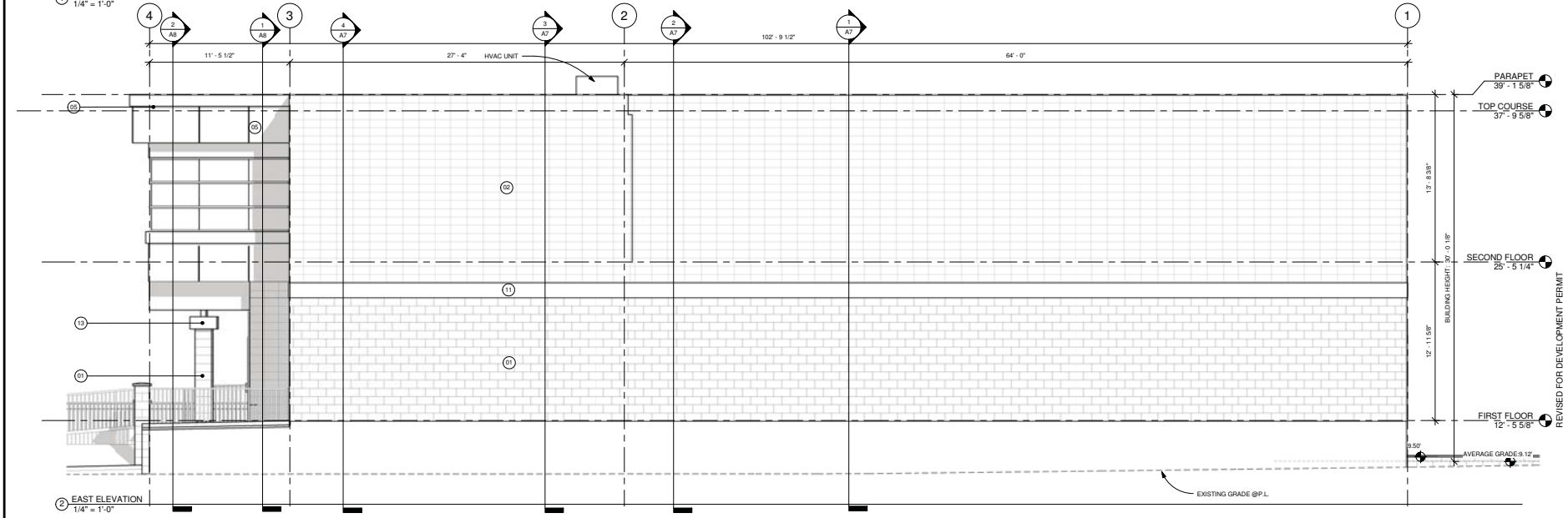
Cherry Plonst
 architect a.i.b.c.
 Suite 111, 12408 82nd Ave, Surrey, B.C. V2V 8J9
 Ph: 772-8008

INDUSTRIAL BLDG
 13099 - 116 AVE SURREY
 DATE: 13 NOV 2015
 JOB NO. 19-23

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ELEVATIONS
A5



1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

ELEVATIONS

INDUSTRIAL BLDG

13899 - 116 AVE SURREY

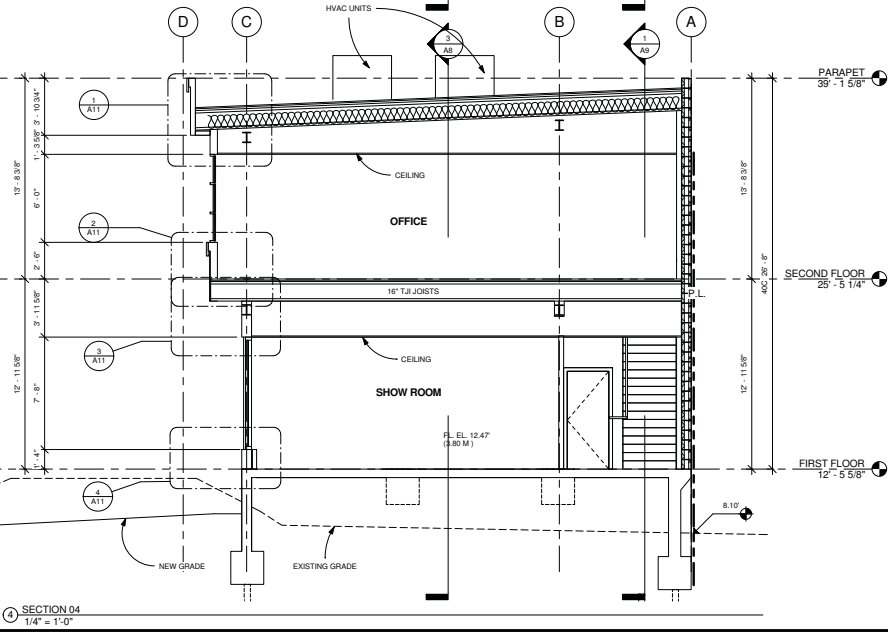
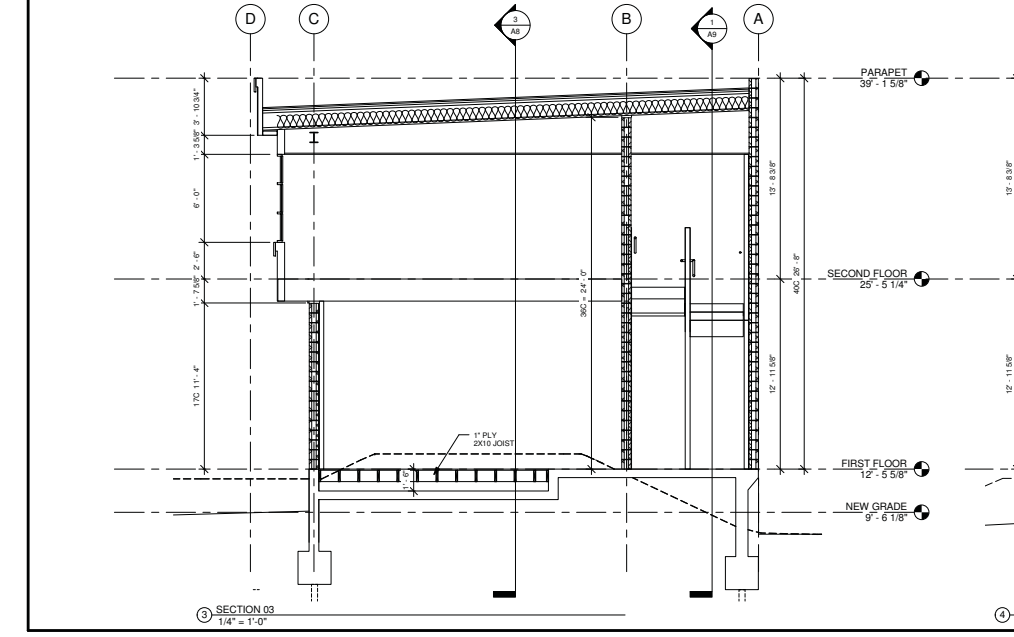
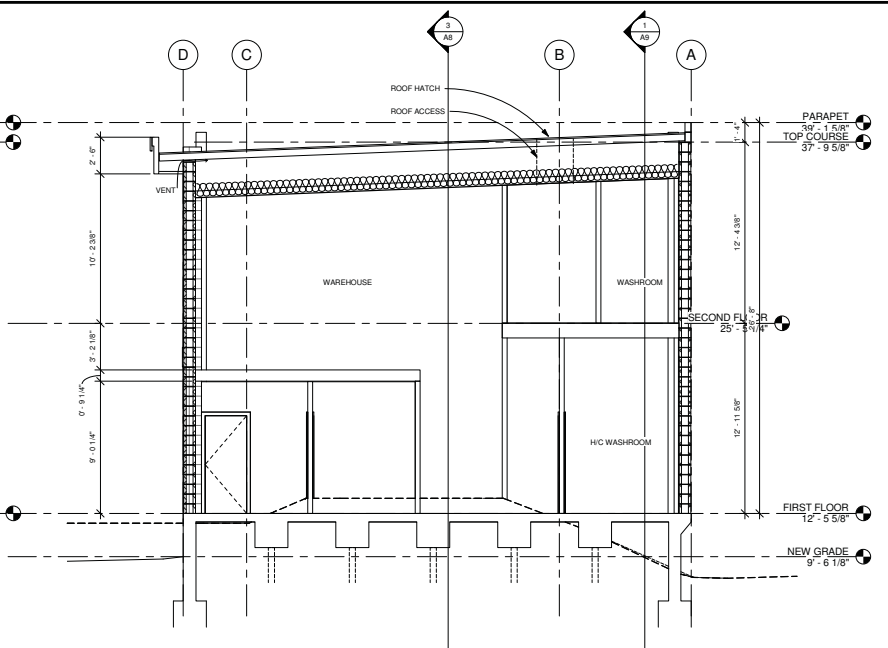
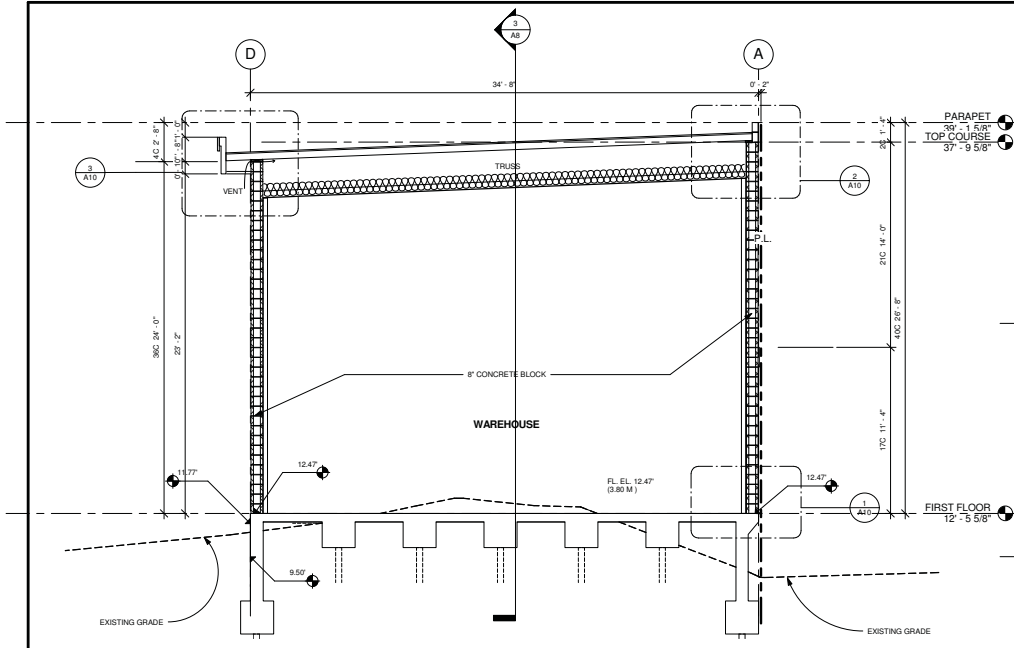
DATE: 13 NOV 2015

JOB NO. 13-23

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A6

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Cherry Plonst
architect a.i.b.c.

INDUSTRIAL BLDG
BUILDING SECTIONS

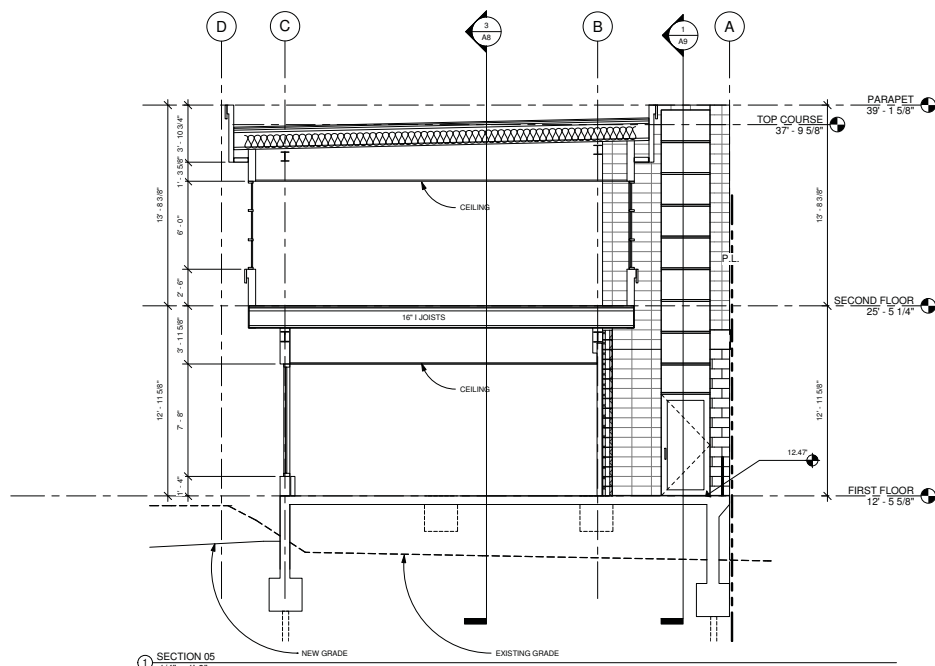
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JOB NO. 13-23 DATE: 13 NOV 2015

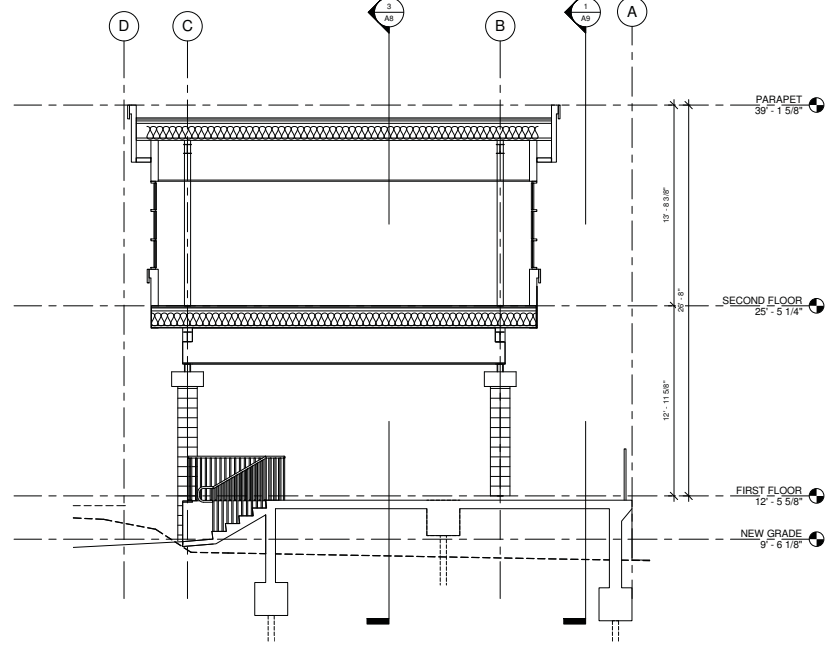
13099 - 116 AVE SURREY

Ph: 522-9008
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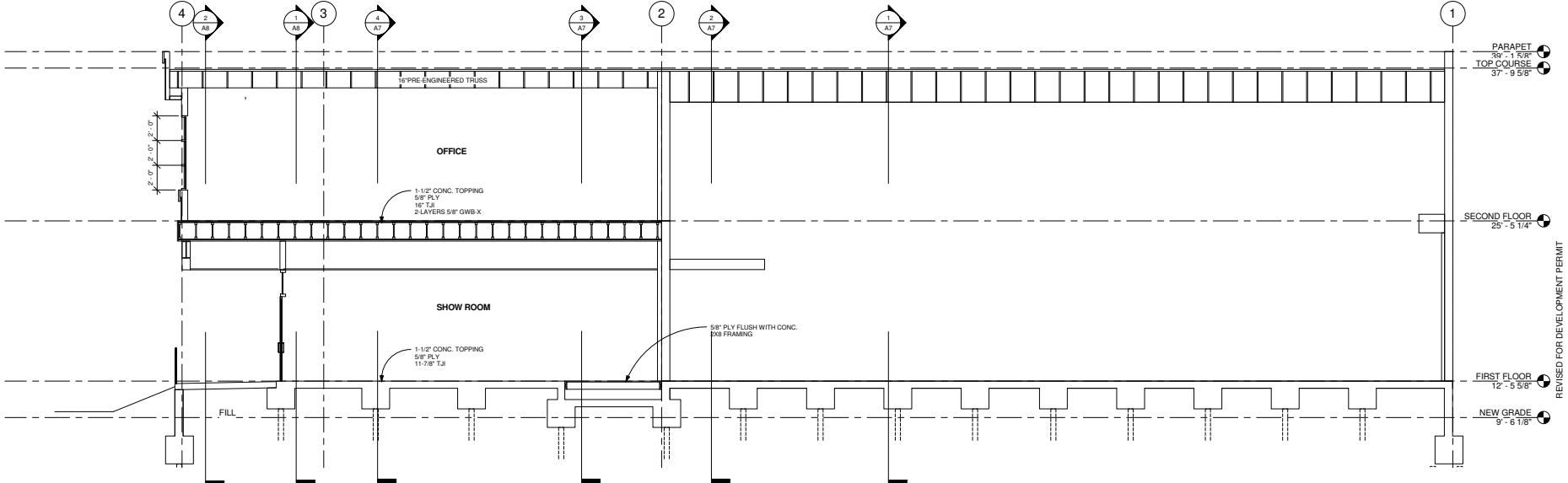
A7



1 SECTION 05
1/4" = 1'-0"



2 SECTION 06
1/4" = 1'-0"



3 SECTION 07
1/4" = 1'-0"

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INDUSTRIAL BLDG

13889 - 116 AVE SURREY

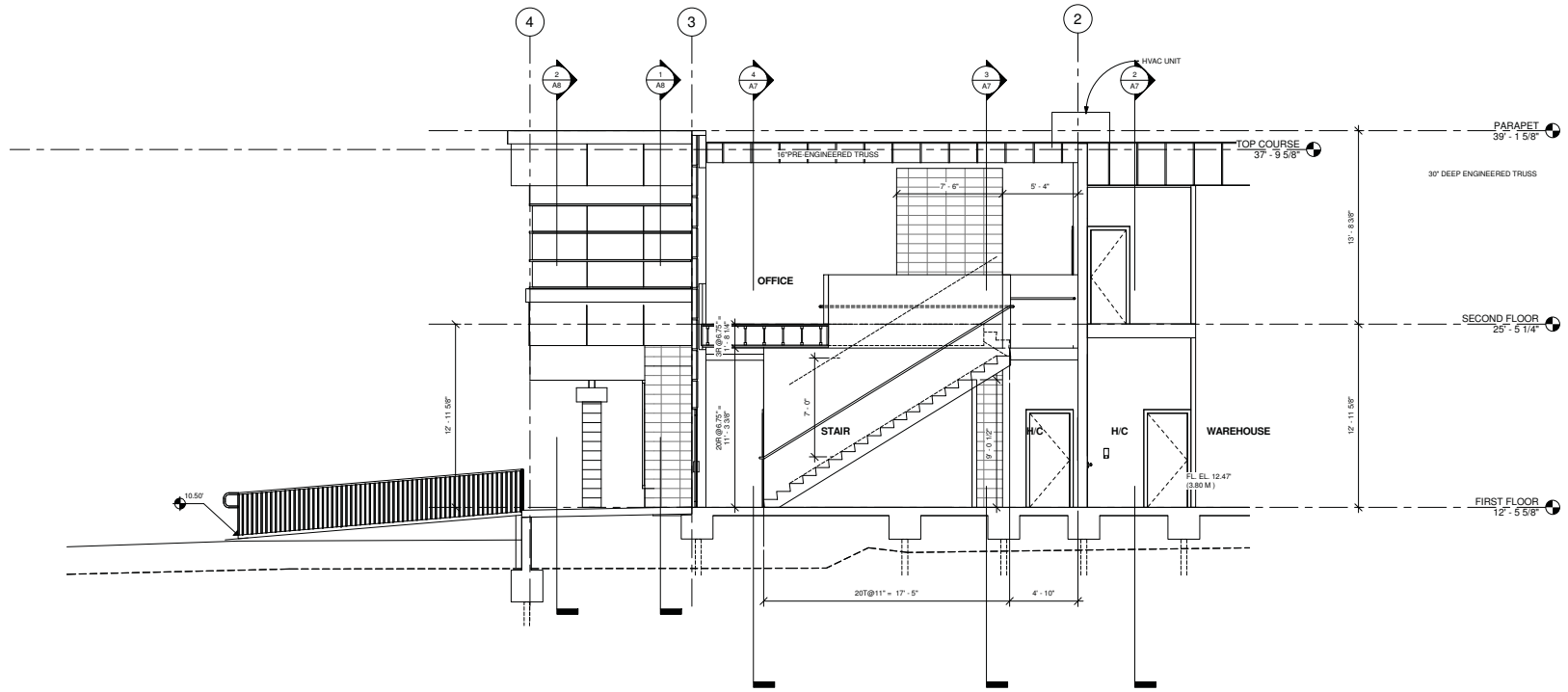
DATE: 13 NOV 2015

REVISOR FOR DEVELOPMENT PERMIT

BUILDING SECTION

JOB NO. 13-23

A8



SECTION 08
1/4" = 1'-0"

REVISED FOR DEVELOPMENT PERMIT

BUILDING SECTION

A9

JOB NO. 13-23

DATE: 13 NOV 2015

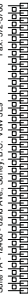
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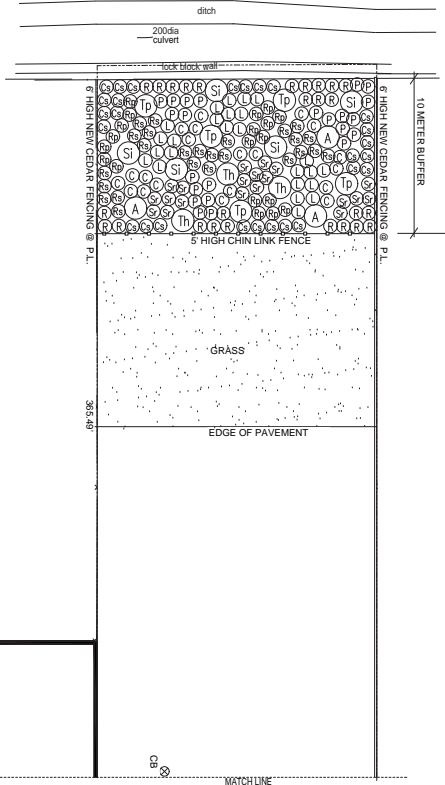
13089 - 116 AVE SURREY

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50, Main St., Suite 110, Surrey, B.C. V3V 0P9

Ph: 604-599-8888



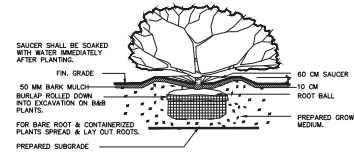


PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
CONIFEROUS TREES						
(Tp)	THUJA PLICATA	WESTERN RED CEDAR	5	1.20 METERS	AS SHOWN	B. & B.
(S)	PICEA SITCHENSIS	SITKA SPRUCE	5	1.20 METERS	AS SHOWN	B. & B.
(Th)	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	3	1.20 METERS	AS SHOWN	B. & B.
DECIDUOUS TREES						
(A)	ACER MACROPHYLLUM	BIGLEAF MAPLE	3	1.20 METERS	AS SHOWN	B. & B.
SHRUBS						
(C)	CORYLUS CORNUTA	BEAKED HAZELNUT	20	#2 POT	90 CM. O.C.	WELL BRANCHED
(P)	PHYSOCARPUS CAPITATUS	PACIFIC NINE-BARK	23	#2 POT	90 CM. O.C.	WELL BRANCHED
(C)	CORNUS SERICEA	RED OSIER DOGWOOD	27	#2 POT	90 CM. O.C.	WELL BRANCHED
(R)	ROSA NUTKANA	NOOTKA ROSE	26	#2 POT	90 CM. O.C.	WELL BRANCHED
(S)	SAMBUCUS RACEMOSA	RED ELDERBERRY	20	#2 POT	90 CM. O.C.	WELL BRANCHED
(R)	RUBUS PARVIFLORUS	THIMBLE BERRY	19	#2 POT	90 CM. O.C.	WELL BRANCHED
(L)	LONICERA INVOLUCRATA	BLACK TWIBERRY	25	#2 POT	90 CM. O.C.	WELL BRANCHED
(R)	RUBUS SPECTABILIS	SALMONBERRY	25	#2 POT	90 CM. O.C.	WELL BRANCHED

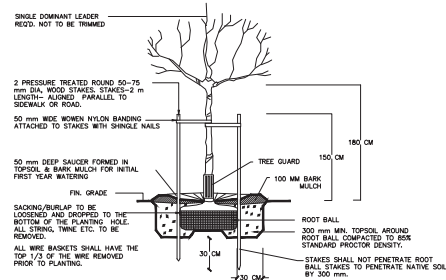
NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "CITA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR "OPTIMAL REVIEW" BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNIMPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD"
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BCMA/BSLA "LANDSCAPE STANDARDS"
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE :
LAWN AREAS 300 mm
GROUND COVER AREAS 450 mm
SHRUB AREAS 450 mm
TREE PITS 300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SHELLS, WOOD INCL. WOODY PLANT PARTS, NESTS OR REPRODUCTIVE PARTS OF NESTS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS

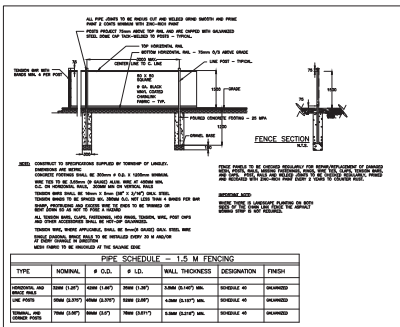
SECTION N.T.S.



TREE PLANTING DETAIL

SECTION

N.T.S.



1.5m CHAIN LINK FENCE

PIPE SCHEDULE - 1.5 M FENCING					
TYPE	NOMINAL	# O.D.	# I.D.	WALL THICKNESS	DESIGNATION
CONCRETE	100	114.3	104.8	4.8	CONCRETE 100
SAND	100	114.3	104.8	4.8	SAND 100
GRAVEL	100	114.3	104.8	4.8	GRAVEL 100
PIPE	100	114.3	104.8	4.8	PIPE 100
STEEL	100	114.3	104.8	4.8	STEEL 100



JUL/17	SURREY COMMENTS	5
DEC/14	SURREY COMMENTS	4
SECT/14	REVISED SITE PLAN	3
SEP/14	REVISED SITE PLAN	2
FEB/14	REVISED SITE PLAN	1

KAVOLINAS & ASSOCIATES INC
BCSLA CSLA
3445 JONSON CIRCLE
ABBOTSFORD, B.C.
V3C 3E8
PHONE (604) 851-2374

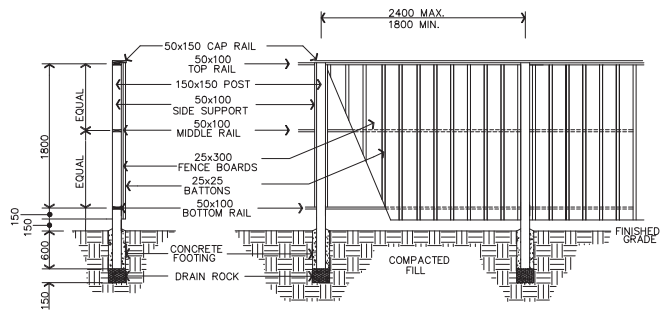
GERRY BLOMQUIST ARCHITECT
SUITE #74
12448 - 83 AVENUE
SURREY, B.C.
V3R 3E9
604 572 3808

LANDSCAPE PLAN
10 METER BUFFER
INDUSTRIAL BLDG
13629 - 114 AVENUE
SURREY, B.C.

DATE	1/15/20	BY	JEFFREY
DATE	1/15/20	BY	JEFFREY
DATE	1/15/20	BY	JEFFREY
DATE	1/15/20	BY	JEFFREY

SCALE: AS SHOWN
PROJECT NO.:
L-2

PERIMETER
FENCE DETAIL
(DIMENSIONS IN mm)

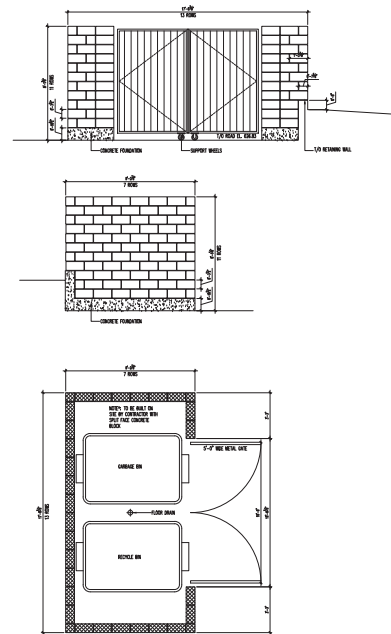


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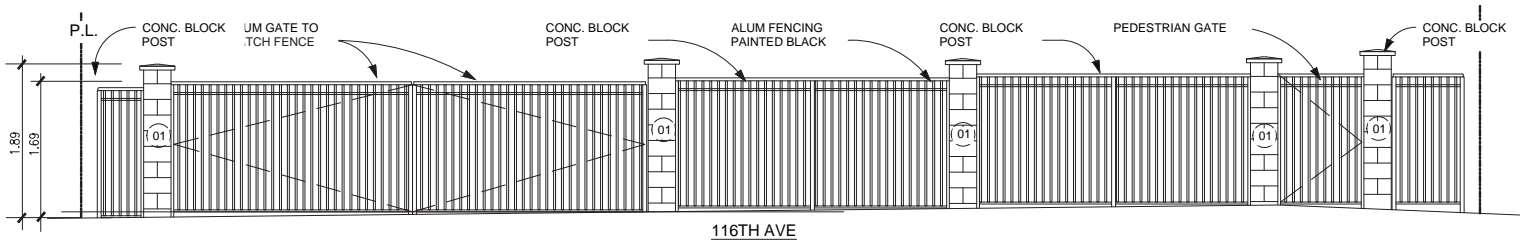
ELEVATION

6' SOLID CEDAR FENCE TO BE INSTALLED ALONG
NORTH, EAST AND WEST PROPERTY LINES.

GARBAGE ENCLOSURE
DETAIL
N.T.S.



FRONT YARD
FENCE DETAIL
N.T.S.



JUL/17	SURVEY COMMENTS	5
DEC/14	SURVEY COMMENTS	4
OCT/14	REVISED SITE PLAN	3
SEP/14	REVISED SITE PLAN	2
FEB/14	REVISED SITE PLAN	1

KAVOLINAS & ASSOCIATES INC.
REG. A. C.S.A.
2482 INDUSTRIAL COURT
ABBOTSFORD, B.C.
V3C 3E9
PHONE: (604) 857-2376

GERRY BLOSKI ARCHITECT
SUITE #18
13468 - 83 AVENUE
SURREY, B.C.
V3W 3E9
604 572 3608

PLAN VIEW
LANDSCAPE DETAILS
PROPOSED
INDUSTRIAL BLDG
13059 - 116 AVENUE
ABBOTSFORD, B.C.

DATE: 11/20/16	BY: JERRY BLOSKI
CHECKED: []	DATE: []
APPROVED: []	DATE: []

PROJECT: []
DRAWING NO.: []
L-1A