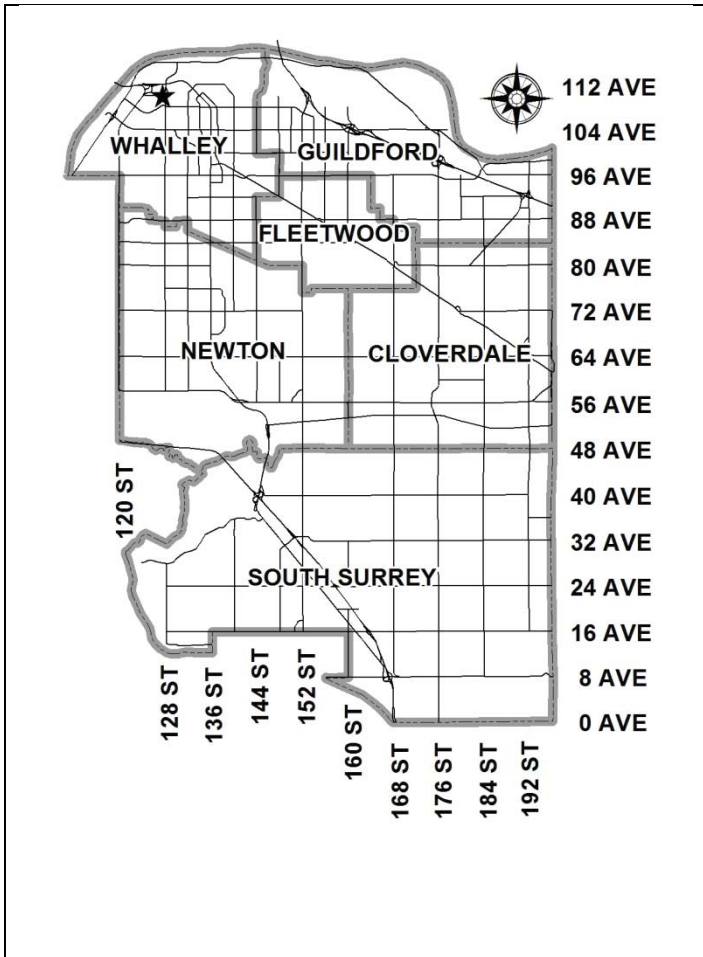


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0170-00

Planning Report Date: October 23, 2017



PROPOSAL:

- **NCP Amendment** of a portion from Retail / Residential and Multiple Residential to Institutional and Parks & Open Spaces
- **Rezoning** of a portion from IL-1 to CD and RF
- **Development Permit**
- **Development Variance Permit**

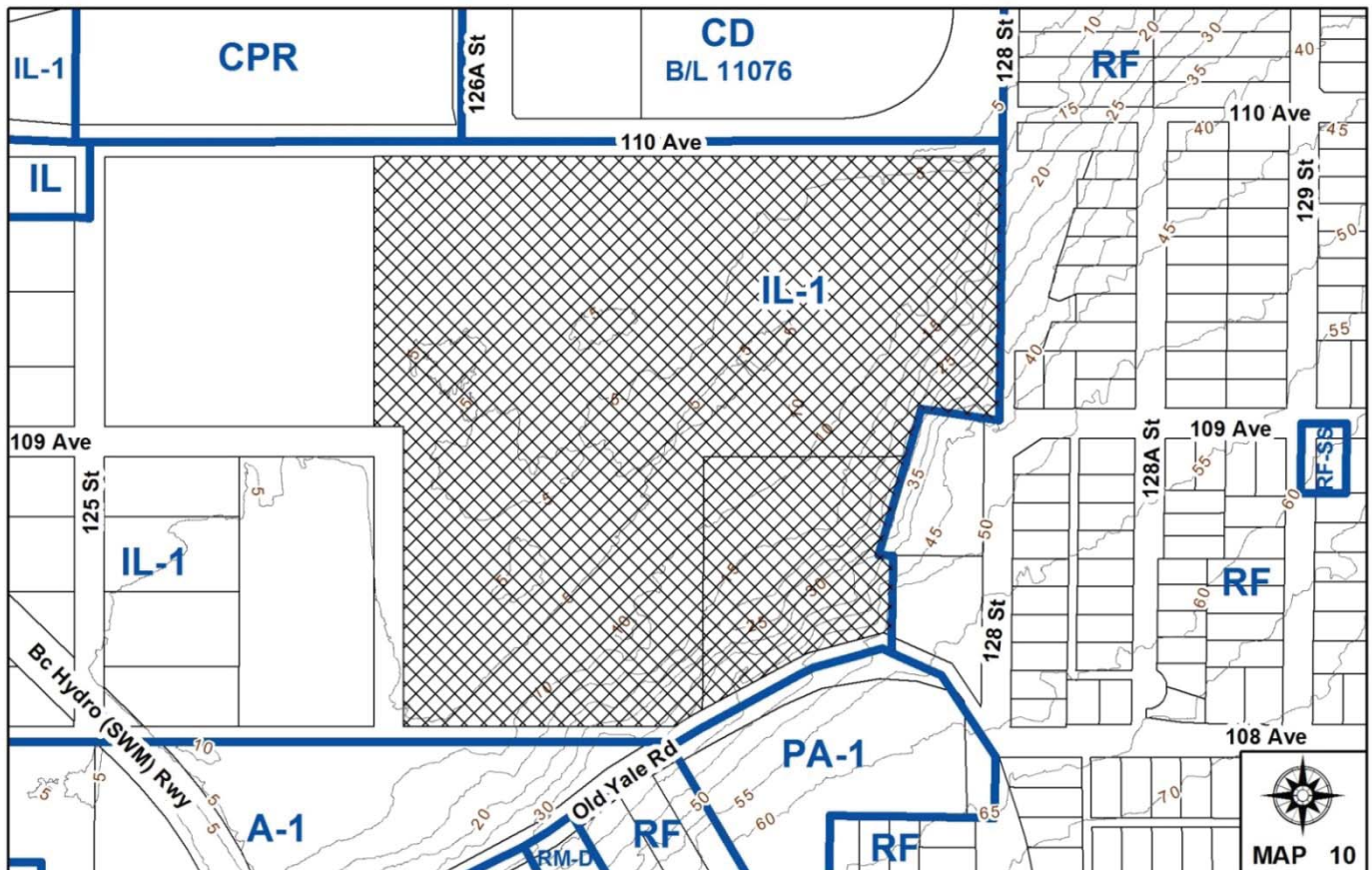
to permit the development of the North Surrey Sport & Ice Complex.

LOCATION: 12780 - 110 Avenue
 12737 Old Yale Road

ZONING: IL-1

OCP DESIGNATION: Commercial and Urban

NCP DESIGNATION: Retail/Residential, Multiple Residential, and Parks & Open Spaces



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Does not comply with the Retail / Residential and Multiple Residential designations in the South Westminster NCP.
- The applicant is seeking to reduce the streamside setback area for a 'Channelized Class A (red-coded) Stream', as measured from the top-of-bank, from 25 metres (82 ft.) to 4.0 metres (13 ft.) along the north property line.

RATIONALE OF RECOMMENDATION

- The proposed NCP Amendment of a portion of the subject site (Proposed Lot 2) from Retail / Residential and Multiple Residential to Institutional is to accommodate the development of the North Surrey Sport & Ice Complex. The proposed arena facility will complement the mixed-use transit-oriented development (Development Application No. 7916-0685-00) to the north across 110 Avenue, which was recently approved by Council on October 2, 2017, and supports the objectives of the South Westminster NCP to develop an active, compact, mixed-use community near a transit station.
- The proposed NCP Amendment of a portion of the subject site (proposed Lot 3) from Retail / Residential and Multiple Residential to Parks & Open Spaces is to retain and protect the existing on-site trees and watercourses. A 50-metre (165 ft.) biodiversity wildlife corridor will traverse proposed Lot 3, and support the long term protection of the natural on-site features and allows the City to better achieve biodiversity at this location that is consistent with the guidelines in the City's Biodiversity Conservation Strategy.
- The proposed land use and building form are appropriate for this part of South Westminster, and may encourage further redevelopment of the area.
- The proposed North Surrey Sport & Ice Complex will provide a valuable public amenity to residents of Bridgeview and South Westminster, and more generally, for the City of Surrey.
- The applicant has demonstrated community support for the proposal.
- The proposed Development Permit includes an Ecosystem Development Plan, Impact Mitigation Plan, and Geotechnical Report to address the Development Permit requirements for Sensitive Ecosystems and Hazard Lands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site as shown as Block A on the Survey Plan attached in Appendix I from "Light Impact Industrial 1 Zone (IL-1)" (By-law No. 12000) to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
2. A By-law be introduced to rezone the portion of the subject site as shown as s Block B on the Survey Plan attached in Appendix I from "Light Impact Industrial 1 Zone (IL-1)" (By-law No. 12000) to "Single Family Residential Zone (RF)" (By-law No. 12000), and a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7917-0170-00, for Form and Character, Sensitive Ecosystems and Hazard Lands, generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7917-0170-00 (Appendix V) to vary Part 7A of Zoning By-law No. 12000 to reduce the minimum setback distance from the top-of-bank of a 'Class A Channelized Stream' from 25 metres (82 ft.) to 4.0 metres (13 ft.) along the north property line, to proceed to Public Notification.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the General Manager, Parks, Recreation and Culture; and
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department.
6. Council pass a resolution to amend the South Westminster Neighbourhood Concept Plan to redesignate a portion of the subject site from Retail / Residential and Multiple Residential to Institutional and Parks & Open Spaces, when the project is considered for final adoption (Appendix VII).

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.
Metro Vancouver:	Metro Vancouver has no objections to the proposed development, provided that Metro Vancouver's sanitary sewer, is not impacted during site investigations, construction and post-construction.

SITE CHARACTERISTICS

Existing Land Use: Vacant, treed site encumbered by watercourses and the Metro Vancouver sanitary sewer ROW.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 110 Avenue):	4 mixed-use buildings proposed under Development Application No. 7916-0685-00, which recently received final adoption on October 2, 2017, and a Home Depot store.	Multiple Residential and Mixed Employment.	CD (By-law Nos. 11076 and 19275)
East:	Single family dwellings.	Urban	RF
East (Across 128 Street):	Single family dwellings on oversized RF lots.	Urban	RF
South (Across Old Yale Road):	Single family dwellings and a church.	Urban	A-1, RF and PA-1
West:	Unauthorized vehicle repair and unauthorized truck storage.	Commercial and Urban	IL-1

DEVELOPMENT CONSIDERATIONSBackground

- The 13.6-hectare (33.6 acre) site is comprised of two (2) City-owned properties (12780 - 110 Avenue and 12737 - Old Yale Road) and is located along the south side of 110 Avenue, southeast of the Scott Road SkyTrain Station.

- The larger property (12780 – 110 Avenue) is designated Commercial and Urban in the Official Community Plan (OCP), designated Retail / Residential, Multiple Residential and Parks & Open Space in the South Westminster Neighbourhood Concept Plan (NCP) and zoned "Light Impact Industrial 1 Zone (IL-1)". The smaller property (12737 - Old Yale Road) is designated Urban in the OCP, designated Parks & Open Space in the South Westminster NCP and zoned "Light Impact Industrial 1 Zone (IL-1)".
- Red-coded, Class A watercourses run along the north and east property lines of the larger property (12780 – 110 Avenue), and also run diagonally through the northwest corner of the smaller property (12737 - Old Yale Road).
- A two-zone statutory right-of-way (SROW) traverses the subject site from southwest to northeast, and accommodates the Metro Vancouver sanitary sewer trunk line. Metro Vancouver has no concerns with the proposed development, provided the SROW is not impacted during site investigations, construction and post-construction.
- The Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site with a Moderate ecological value. This BCS Corridor generally follows the direction of the sanitary sewer SROW and the red-coded, Class A watercourse (see Biodiversity Conservation Strategy and Streamside Protection section).
- In early 2015, a Request for Proposals was issued for the purpose of retaining professional services related to the design of, and construction for the North Surrey Sport & Ice Complex (NSSIC). Subsequently, Lark Projects Ltd. was awarded the NSSIC contract after a thorough evaluation process.
- The North Surrey Sport & Ice Complex is included in the 2017 Five-Year (2017 - 2021) Capital Program Budget (Corporate Report No. F005; 2016) and is expected to be completed and ready for use in Spring / Summer 2019.
- The existing two-rink ice sheets located within the North Surrey Recreation Centre at 10275 City Parkway near City Hall, will remain open until after the new North Surrey Sport & Ice Complex is completed.

Current Proposal

- The proposal includes a Neighbourhood Concept Plan (NCP) Amendment from Retail / Residential and Multiple Residential to Institutional and Parks & Open Spaces, a rezoning, a Development Permit and a subdivision in order to permit the development of a three-sheet, civic ice arena (North Surrey Sport & Ice Complex) on a portion of the subject site (proposed Lot 2).
- The proposed South Westminster NCP Amendment of proposed Lot 2 from Retail / Residential and Multiple Residential to Institutional is to accommodate the development of the North Surrey Sport & Ice Complex. A remnant lot (proposed Lot 1) at the northwest corner of the subject site will be created as a result of the extension of 126A Street from 110 Avenue and the extension of 109 Avenue to the new 126A Street. This remnant lot,

approximately 1.2 hectares (2.9 acres) in size, will not be redesignated and will remain as Retail / Residential and Multiple Residential in the NCP (Appendix VII).

- The proposed NCP Amendment of proposed Lot 3 from Retail / Residential and Multiple Residential to Parks & Open Spaces will expand upon the southeast portion of the subject site that is already designated Parks & Open Spaces in the South Westminster NCP. Therefore, additional land will be set aside to protect the natural on-site features.
- The proposed rezoning of the arena site (proposed Lot 2) is from "Light Impact Industrial 1 Zone (IL-1)" to "Comprehensive Development Zone (CD)", as shown as Block A on the Survey Plan attached in Appendix I. The arena site is approximately 4.8 hectares (11.9 acres) in size.
- The remnant lot (proposed Lot 1) at the northwest corner of the subject site, created as a result of the extension of 126A Street from 110 Avenue, will remain zoned IL-1 (Block C).
- A rezoning is also proposed for proposed Lot 3, as shown as Block B on the Survey Plan attached in Appendix I, from "Light Impact Industrial 1 Zone (IL-1)" to "Single Family Residential Zone (RF)". This lot (Block B) is approximately 7.1 hectares (17.6 acres) in size and is irregularly-shaped. Proposed Lot 3 encompasses all of the watercourses and will be retained as open space in compliance with the South Westminster NCP.
- A Development Variance Permit (DVP) is also required to reduce the streamside setback area for a 'Channelized Class A (red-coded) Stream', as measured from the top-of-bank, from 25 metres (82 ft.) to approximately 4.0 metres (13 ft.) along the north property line of proposed Lot 1. See By-law Variance section for more details.
- The proposed North Surrey Sport & Ice Complex (NSSIC) is approximately 12,485 square metres (134,400 sq.ft.) in size, and results in a total net floor area ratio (FAR) of approximately 0.27. The proposed lot coverage is 23% and the proposed building height is approximately 17 metres (56 ft.).
- The Zoning By-law allows buildings that are owned and operated by the City for municipal purposes, such as the proposed North Surrey Sport & Ice Complex, to be located in any Zone. The proposed rezoning of the subject arena site to a CD Zone (based on the CPR Zone) however, is to allow the flexibility to lease tenant space to private businesses within the facility (i.e. a coffee shop, physiotherapist, sports equipment retailer, skate shop operator, etc.).

Road Dedication and 126A Street Extension

- Road dedication of approximately 4.9 metres (16 ft.) is required along 110 Avenue, west of 126A Street, to accommodate the widening of 110 Avenue. In order to protect and preserve the red-coded, Class A watercourse that runs along the north property line of the site, no road dedication along 110 Avenue is required east of 126A Street.
- A 20-metre (66-ft.) wide dedication is also required near the west property line to accommodate the extension of 126A Street from 110 Avenue and the extension of 109 Avenue to the new 126A Street. This road will provide vehicle access to the arena site. No vehicle access is permitted from the subject site directly to 110 Avenue.

- A new signalized intersection will be installed at 110 Avenue and 126A Street.

Parking

- A surface parking lot is proposed to the immediate west of the proposed arena building, with driveway access to the 126A Street extension. The proposed parking lot consists of 224 parking spaces, as well as 11 pick-up / drop-off spaces near the main entrance to the arena. Based on the parking requirement for ice rinks of 2.5 parking spaces per 100 square metres (1,075 sq.ft.) of gross floor area and for a recreational facility (weight and exercise rooms) of 3.0 parking spaces per 100 square metres (1,075 sq.ft.) of gross floor area in the Zoning By-law, 186 parking spaces are required for the proposed facility on the subject site. Therefore, the 224 proposed parking spaces exceed the requirement.
- The Scott Road SkyTrain Station is located to the northwest across 110 Avenue and transit bus service also stops at the station, providing an alternative transportation option for future visitors to the arena.

PROPOSED CD BY-LAW (Appendix VI)

- The proposal is to rezone the arena site to "Comprehensive Development Zone (CD)" to accommodate a three-sheet, civic ice arena (North Surrey Sport & Ice Complex). The proposed CD By-law is based on the "Commercial Recreation Zone (CPR)" and will include changes to the permitted uses, setbacks and building height.
- A comparison of the permitted uses in the CPR Zone and the proposed CD By-law is illustrated in the following table:

Permitted Uses (CPR Zone)		Proposed CD By-law
Recreational facilities, excluding outdoor go-kart operations, drag racing and rifle ranges	Permitted	Permitted
Child care centres	Permitted	Permitted
Drive-in theatres and retail stores limited to flea markets	Permitted	Not permitted
Cultural uses	Permitted	Permitted
Accessory uses including: <ul style="list-style-type: none"> • One dwelling unit, for the accommodation of an official, manager or caretaker of the principal use; • Eating establishments, excluding drive-through restaurants; and • Clubhouse 	Permitted	Accessory uses including: <ul style="list-style-type: none"> • One dwelling unit, for the accommodation of an official, manager or caretaker of the principal use; • Eating establishments, excluding drive-through restaurants; • Neighbourhood pub; • General service uses, excluding funeral parlours and drive-through banks; • Personal service uses, excluding body rub parlours; • Office uses, excluding social escort services, methadone clinics and marijuana dispensaries; • Community services; and

		<ul style="list-style-type: none"> Retail stores, excluding adult entertainment stores and secondhand stores and pawnshops.
Agricultural and horticultural uses, excluding kennels	Permitted	Not permitted

- The proposed CD By-law includes recreational facilities, cultural uses and child care centres, along with a number of possible related accessory uses for the proposed arena facility.
- The following table provides a comparison between the other requirements of the CPR Zone and the proposed CD By-law:

	CPR	Proposed CD By-law
FAR	0.40	0.40
Lot Coverage	40%	40%
Principal Building Setbacks	12.0 (39 ft.) metres to all lot lines	10.0 metres (33 ft.) to the side yard flanking street (north) lot line 12.0 metres (39 ft.) to the front yard (west) lot line 7.5 metres (25 ft.) to the side yard (south) lot line 4.5 metres (15 ft.) to the rear yard (east) lot line
Building Height	12 metres (40 ft.)	17 metres (56 ft.)

- The maximum permitted FAR and lot coverage will remain unchanged to provide flexibility for possible future expansion on the subject site.
- The reduced setbacks along the north, south and east lot lines are required to accommodate the arena on an irregular-shaped lot that is encumbered by watercourses and right-of-ways. The proposed 4.5-metre (15 ft.) setback along the east property line is to accommodate the southeast corner of the proposed building, which results in a pinch-point. No adjacent properties will be negatively impacted by the reduced building setbacks.
- The proposed building height of approximately 17 metres (56 ft.) is to accommodate the unique sloped roof, which provides a distinct building design and articulation. Given the retention of the mature trees along the north, east and south property lines, the proposed increase in building height is not expected to negatively impact the abutting properties.

PRE-NOTIFICATION

Pre-notification letters were sent out to the neighbourhood on August 16, 2017, and staff received two (2) responses. The area residents expressed the following comments (with staff comments in italics):

- The two (2) callers expressed similar concerns regarding the trees and watercourses on the subject site. There was a specific comment about the existing detention ponds on the site that may currently provide a habitat for frogs and other organisms.

(The vast majority of the existing trees on the subject site will be retained; only one (1) mature tree and five (5) undersized Alder / Cottonwood trees are proposed for removal. All of the watercourses, as well as the existing detention pond at the northeast corner of the subject site, will be protected and enhanced as part of the subject proposal.)

Public Information Meeting

- A Public Information Meeting (PIM) was held on Wednesday, June 7, 2017 at the Bridgeview Community Centre (11475 – 126A Street). Approximately 20 people attended the PIM, and a total of 17 comment surveys were completed. Staff representatives from Civic Facilities, Community & Recreation Services and Area Planning were in attendance at the PIM.
- A total of 17 comment surveys were received as follows:
 - All but one of the respondents lived in City Centre or the Whalley area; and
 - All seventeen (17) respondents expressed support for the proposal, and none were in opposition.

Community Concerns to Proposal

- Although none of the respondents opposed the North Surrey Sport & Ice Complex as proposed, they did express some comments / concerns as summarized below.
- Swimming pool: several respondents expressed disappointment that a swimming pool was not included with the proposal. While an aquatic facility currently exists at the North Surrey Recreation Centre in City Centre as well as at the Guildford Recreation Centre, respondents believed that a swimming pool at this location would be beneficial for the local community.

Staff comments:

- At this time, no indoor aquatic facilities are planned in the immediate area. The North Surrey Recreation Centre in City Centre is less than 4.0 kilometres (2.5 miles), which is less than a 10-minute drive away or easily accessible by SkyTrain.
- The City will continue to explore opportunities for additional swimming pools in Whalley / South Westminster, and in Surrey in general.
- Detention ponds and green infrastructure: two respondents asked if the watercourses and detention ponds would be protected.

Staff comments:

- The existing watercourses and the natural detention pond at the northeast corner of the site will be protected as part of the subject proposal, and will be enhanced with the planting of trees and restoring the wetlands.
- An unclassified pond is located near the southwest corner of the site. This pond is non-fish inhabited and isolated from fish-bearing streams. The pond was inadvertently created as a result of incomplete fill that was previously approved by Fisheries and Oceans Canada (DFO). The current proposal will not impact this pond,

but development is possible in the future if the Ministry of Forests, Lands and Natural Resource Operations (MFLNRO) grants approval to fill the pond (see Biodiversity Conservation Strategy and Streamside Protection section).

Community's Positive Comments to Proposal

- The majority of respondents expressed positive comments regarding the proposed North Surrey Sport & Ice Complex:
 - The proposed building will be in a convenient location with access to the SkyTrain;
 - The building design is impressive;
 - This is a great addition to the community and fills a need;
 - The facility provides greater opportunities for youth activities, which is greatly needed; and
 - The arena will create opportunities for redevelopment in the area.

DESIGN PROPOSAL AND REVIEW

- The proposed North Surrey Sport & Ice Complex is situated along the south side of 110 Avenue, with the parking lot located directly to the west. The main entrance faces west towards to the parking lot along 126A Street. A strong pedestrian connection is proposed at the northwest corner to provide access for patrons arriving from the Scott Road SkyTrain.
- A large entrance lobby will greet patrons on the main floor of the proposed building, which also includes the three (3) ice rinks, a skate shop, café, change rooms, offices, meeting rooms and ice-making and mechanical rooms.
- The second floor mezzanine accommodates a weight room, exercise space and meeting rooms.
- The center ice sheet (Rink 2) includes elevated seating (located between the main and second floors) for approximately 500, half of which are movable. The outer ice sheets (Rinks 1 and 3) include main floor seating only, for about 200 people per rink.
- The building cladding consists of vertical metal insulated panels of various shades of grey. Metal fascia and mullions are also painted grey to match.
- Significant glazing is proposed along the west building elevation, and accompanied by the unique sloped roof, offers an impressive front façade.
- The proposed roof consists of a thermoplastic polyolefin (TPO) roofing membrane, which is heat-reflective and energy efficient.
- As part of the current proposal, the southwest corner of the subject site will be left vacant for future options.
- The proposed garbage enclosure and service loading area is located on the east side of the proposed arena building. The garbage enclosure will be constructed of wood.

- Public art is proposed as part of the arena project, but the exact location and designs are to be confirmed at a later date.

Proposed Signage

- Currently one (1) fascia sign is proposed along the west building elevation facing the 126A Street extension. The proposed fascia sign is comprised of non-illuminated aluminum-cut letters in enamel finish, and mounted on the exterior façade above the main entrance.
- The dimensions of the proposed fascia sign are still to be determined, but the sign is expected to comply with the Sign By-law, and therefore, no variance is proposed.

TREES

- Kelly Koome, ISA Certified Arborist of Van Der Zalm + Associates Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	18	1	17
Cottonwood	94	4	90
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	0	1
Hawthorne	1	0	1
Paper Birch	6	0	6
Red Maple	18	1	17
Willow	6	0	6
Coniferous Trees			
Red Cedar	19	0	19
Total (excluding Alder and Cottonwood Trees)	51	1	50
Additional [Estimated] Trees in the proposed [Open Space / Riparian Area] -	8	0	8
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		64	
Total Retained and Replacement Trees		221	

- The Arborist Assessment states that there are a total of 51 mature on-site trees, excluding boulevard trees and trees within the proposed open space or riparian area. These 51 mature trees do not include a number of on-site trees, mostly Alder and Cottonwoods, which are undersized. Only one (1) on-site mature tree is proposed for removal, and except where removal is required due to hazardous conditions, all trees in the proposed open space or riparian area (proposed Lot 3) are proposed for retention. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- An additional 51 mature trees are located within the boulevard along 110 Avenue, which results in a total of 102 mature trees located on the subject site or within the boulevard (Appendix IV), but excludes undersized trees and those trees within the proposed open space or riparian area. All 51 of these mature trees within the boulevard along 110 Avenue are proposed for retention.
- There are approximately 112 Alder and Cottonwood trees on the subject site as well, many of which are undersized. Only one (1) Alder and four (4) Cottonwood trees are proposed for removal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of seven (7) replacement trees on the site. The applicant is proposing 64 replacement trees on the arena site, which exceeds the City requirement.
- In summary, a total of 221 trees are proposed to be retained or replaced on the site.

Landscaping

- The landscape plan shows approximately 64 trees to be planted throughout the subject site including the parking lot. Proposed trees include maples, spruce, pine, dogwood, black gum and serviceberry.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including rhododendrons, roses, huckleberry, lilac, yew, sage and wheatgrass.
- Additional trees and landscaping will be planted within the open space / riparian area as part of the riparian planting and enhancement plan. These plans will be finalized prior to the project being forwarded to Council for consideration of the final adoption of the rezoning.
- A playground space with an engineered wood fiber surface is proposed at the northwest corner of the site, near the main entrance to the building.
- A 2.7-metre (8.9 ft.) wide concrete running track is proposed to run from north to south, between the proposed building and parking lot.
- A training court within an engineered wood fiber surface is proposed directly south of the proposed building, while a plexi-pave (acrylic) sports court is proposed further to the south across the service lane.

- Strong pedestrian connections are proposed throughout the site, and will take advantage of the restoration and enhancement of the existing watercourses and detention ponds on the subject site.
- Bioswales are also proposed within the parking lot to filter surface runoff water.
- Lighting is to be installed within the parking lot for improved safety and visibility. Details of the site lighting are to be confirmed.

BIODIVERSITY CONSERVATION STRATEGY & STREAMSIDE PROTECTION

- In July 2014, Council endorsed the Biodiversity Conservation Strategy (BCS). The BCS included implementation measures to protect Surrey's streamside areas, natural habitats and sensitive ecosystems. The document identifies the use of a Development Permit Area (DPA) as an effective means to protect Surrey's natural environmental assets.
- The BCS Green Infrastructure Network (GIN) map identifies a Local BCS Corridor within the subject site, in the Fraser River Industrial BCS Management Area, with a Medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target BCS Corridor width of 50 metres (165 ft.).
- On September 12, 2016, Council approved amendments to the Official Community Plan (OCP) and Zoning By-law No. 12000 to implement a Sensitive Ecosystem DPA and Streamside Protection Measures, collectively known as Surrey's Ecosystem Protection Measures, for the protection of the natural environment, including riparian areas. These changes were detailed in Corporate Report No. R188, which was approved by Council on July 25, 2016.
- The OCP is used to identify the specific types of ecosystems that are intended to be protected including Class A, A/O or B streams, and the Zoning By-law (Part 7A Streamside Protection) is used to identify the specific protection areas that are required to be established for Streamside Setback Areas.
- An environmental report, dated September 1, 2017, was prepared by qualified environmental professionals, Ian Whyte, P. Ag. and Tracy Anderson, R.P. Bio., of Envirowest Consultants Inc. The report mentions four (4) drainage features on the subject site as follows:
 - A "Channelized Class A" stream that flows westward along the north property line adjacent to 110 Avenue. This stream was widened and enhanced in accordance to an authorization previously issued by the Fisheries and Oceans Canada (DFO) in July 2000, to allow drainage system upgrades. A 25-metre (82 ft.) streamside setback is required and a variance to 4.0 metres (13 ft.) is proposed (see By-law Variance Section);
 - A Class A stream flowing to the northeast, and generally aligned and parallel with the existing Metro Vancouver sanitary sewer line on the site, was constructed in accordance with a second authorization issued by DFO in June 2007. This

- authorization was granted by DFO to permit the elimination of some streams and riparian habitat on the subject site. A 30-metre (100 ft.) streamside setback is required;
- A natural Class A stream originates at the stormwater outfall downslope near the intersection of 109 Avenue and 128 Street at the east property line of the subject site. This stream flows into the stream along 110 Avenue. A 30-metre (100 ft.) streamside setback is required; and
 - An unclassified pond is located near the southwest corner of the site. This pond is non-fish inhabited and isolated from fish-bearing streams. The pond was inadvertently created as a result of incomplete fill that was previously approved by DFO. No further approval by DFO is required to fill / eliminate this pond; however, the pond may be deemed by the Province as a 'stream' in accordance with the *Water Sustainability Act*, and therefore an application will be submitted to the Ministry of Forests, Lands and Natural Resource Operations (MFLNRO) to eliminate the pond. Until an approval is granted by MFLNRO, no disturbance (fencing to be installed) will occur within 15 metres (50 ft.) of the pond. The current proposal will not impact this pond, but development is possible in the future if MFLNRO grants approval to fill the pond. A second pond at the northeast corner of the site will also not be impacted by the project.
- The proposal requires a variance to reduce the streamside setback area for the 'Channelized Class A (red-coded) Stream' located along the north property line adjacent to 110 Avenue. The setback relaxation, as measured from the top-of-bank, is proposed to be reduced from 25 metres (82 ft.) to approximately 4.0 metres (13 ft.). The proposed 4.0-metre (13 ft.) streamside setback is compliant with the Riparian Areas Regulation (RAR), but requires a variance to the streamside setback requirement in the Zoning By-law (see By-law Variance section).
 - No streamside setback variances are required for any of the other watercourses on the subject site, since the proposal complies with the streamside setback requirement.
 - Proposed Lot 3 encompasses all of existing watercourses and wetlands, which will be protected and enhanced with riparian planting.
 - The Biodiversity Conservation Strategy (BCS) target recommends a 50-metre (165 ft.) wide wildlife corridor through the subject site. As part of the subject development application, the proposed wildlife corridor will exceed the 50-metre (165 ft.) width requirement. The wildlife corridor will be enhanced with appropriate naturalized planting as well as permeable, crushed granite pedestrian paths. This method of GIN retention/enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location that is consistent with the guidelines in the BCS.

Sensitive Ecosystem Development Permit

- As the subject site is located within the newly-established Sensitive Ecosystem DPA, a Sensitive Ecosystem Development Permit for Streamside Areas and an accompanying Ecosystem Development Plan and Impact Mitigation Plan are required.

- An Ecosystem Development Plan and Impact Mitigation Plan, dated September 1, 2017, was prepared by Ian Whyte and Tracy Anderson of EnviroWest Consultants Inc., and found to be acceptable by the City's Environmental Coordinator. The finalized report and recommendations will be incorporated in the Development Permit.
- The Ecosystem Development Plan and Impact Mitigation Plan proposes an approximate 3.2-hectare (8.0 acres) area, all located within proposed Lot 3, be protected and enhanced as riparian habitat area. This exceeds the encroachment area (approximately 3,965 square metres / 1.0 acre) proposed along the north property line adjacent to the 110 Avenue watercourse.
- The Ecosystem Development Plan and Impact Mitigation Plan did not include the second City-owned property (12737 Old Yale Road), which was recently added to the subject development application. The report will be amended to include the second property, and the type of riparian planting and enhancement on these additional lands will be determined prior to consideration of final adoption of proposed rezoning.

Hazard Lands Development Permit

- The site is subject to a Development Permit (DP) for Hazard Lands for steep slopes and flood prone areas under the Official Community Plan (OCP), since portions of the site are encumbered by steep slopes exceeding 15% grade and is also within the 200-year flood plain of the Fraser River.
- The applicant has submitted a geotechnical report prepared by Horizon Engineering Inc. and dated January 4, 2017, which includes the test pit investigation and comments pertaining to slope stability on the subject site. The report notes that the over-steepened topography at the southeast corner of the site is expected to undergo slow and minor erosion downslope due to gravity and weathering over time, but that slope failure reaching the proposed arena building is insignificant. Therefore, the report concludes that the subject site is considered to be "safe for the intended [land] use", provided the recommendations are incorporated into the design and construction of the facility.
- The proposed arena will be constructed about 0.5 metre (1.6 ft.) above the 200-year floodplain elevation of 5.0 metres (16.5 ft.) for the Fraser River, and therefore, the proposed building is not expected to be negatively impacted if such a flood event should occur.
- The Geotechnical Report addresses the Development Guidelines for Hazard Lands outlined in the Official Community Plan (OCP), and will be included in the proposed Development Permit.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 10, 2017. The following table summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The subject site is located in South Westminster, just southeast of the Scott Road SkyTrain Station.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed gross density is 0.27 FAR. The proposed development will include three ice rinks, indoor and outdoor exercise facilities, as well as some related commercial businesses (café, skate shop, etc.)
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> Almost all of the existing mature trees on the subject site are located within the riparian areas or within the proposed open space. Therefore, most trees will be retained and protected. Additionally, over seventy trees will be planted on the site, in addition to a variety of shrubs, grass, perennials and ground cover, in accordance with the proposed landscape plans. Absorbent soils, on-site infiltration, bioswales and permeable surfaces are proposed.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The site is located within walking distance of Scott Road SkyTrain Station. A bus exchange is also located adjacent to the Scott Road SkyTrain Station, which provides transit service to other areas of Surrey as well as Delta, New Westminster, Richmond and Vancouver.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> Recreational space (ice sheets, playground, exercise rooms) will be appropriate for all ages. The proposed building incorporates CPTED principles including: well-lit entries/exits and walkways.
6. Green Certification (F1)	<ul style="list-style-type: none"> No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Pre-notification letters were mailed to area residents and property owners, and a development proposal sign was installed on subject site.

ADVISORY DESIGN PANEL

The applicant worked with Planning staff, including the City Architect, to ensure an appropriate building design. Therefore, the project was not forwarded to the ADP.

BY-LAW VARIANCE AND JUSTIFICATION (Appendix V)

(a) Requested Variance:

- To vary Part 7A Streamside Protection of the Zoning By-law to reduce the minimum required streamside setback area, measured from the top-of-bank, from 25 metres (82 ft.) to 4.0 metres (13 ft.) along the north lot line of the subject site, for a 'Class A Channelized Stream'.

Applicant's Reasons:

- The proposed 4.0-metre (13 ft.) streamside setback is compliant with the Riparian Areas Regulation (RAR) and is not expected to negatively impact the existing stream.
- Significant landscape enhancements and restoration are proposed, which will improve the wildlife corridor.

Staff Comments:

- The "Channelized Class A" stream that flows westward along the north property line adjacent to 110 Avenue was widened and enhanced in accordance with an authorization previously issued by the Fisheries and Oceans Canada (DFO) in July 2000, to allow drainage system upgrades. Therefore, the proposed 4.0-metre (13 ft.) streamside setback was authorized by DFO and is compliant with the Riparian Areas Regulation (RAR), but requires a variance to the streamside setback requirement in the Zoning By-law, in order to allow the arena facility in its proposed location on the subject site.
- The applicant has demonstrated via an Impact Mitigation Plan (IMP) prepared by EnviroWest Consultants Inc., and dated September 1, 2017, that the proposed setback reduction will not produce any significant negative impacts on the adjacent streamside protection area.
- The applicant proposes to remove all non-native (invasive) species on the subject site and replace with native trees, shrubs and ground cover species. This landscape restoration is proposed within the streamside area, and will be monitored for five (5) years following the completion of all construction works.
- Habitat for fish and wildlife will be enhanced by the implementation of the landscape restoration plan. No measurable impacts to streamflow or water quality are expected.
- No streamside setback variances are required for any of the other watercourses on the subject site.
- Staff support the requested streamside setback variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential), Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Streamside Plan and Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7917-0170-00
Appendix VI.	Proposed CD By-law
Appendix VII.	NCP Plan

INFORMATION AVAILABLE ON FILE

- Geotechnical Report prepared by Horizon Engineering Inc., dated January 4, 2017.
- Ecosystem Development Plan and Impact Mitigation Plan, prepared by EnviroWest Consultants Inc., dated September 1, 2017.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

DN/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (arena site)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA		
Gross Total		13.6 hectares
Road Widening area		0.53 hectare
Undevelopable area		7.1 hectares
Proposed Lot 3		1.18 hectares
Net Total		4.8 hectares
LOT COVERAGE (in % of net arena lot area only)		
Buildings & Structures		23%
Paved & Hard Surfaced Areas		35%
Total Site Coverage		58%
SETBACKS		
Front (West)	12 metres	59 metres
Rear (East)	4.5 metres	4.5 metres
Side (South)	7.5 metres	7.5 metres
Side along flanking street (North)	10 metres	11 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	17 metres	17 metres
Accessory	N/A	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		N/A
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
		12,485 sq.m.
TOTAL BUILDING FLOOR AREA	18,780 sq.m.	12,485 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		0.27
AMENITY SPACE		
Indoor		N/A
Outdoor		N/A
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional	186	224
Total Number of Parking Spaces	186	224
Number of accessible stalls	2	8
Number of small cars		N/A
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NUMBER _____
OF PORTIONS OF SECTION 17, BLOCK 5 NORTH,
RANGE 2 WEST, NEW WESTMINSTER DISTRICT
BCGS 92G.026**

INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.BC.1.GVRD

ALL DISTANCES ARE IN METRES

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 80H2049 AND 5347.

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
GEODETIC CONTROL MONUMENTS 80H2049 AND 5347.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
COMBINED SCALE FACTOR OF 0.9996035 WHICH HAS BEEN DERIVED FROM
CONTROL MONUMENTS 80H2049 AND 5347.

LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD LEAD PLUG FOUND
- DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED



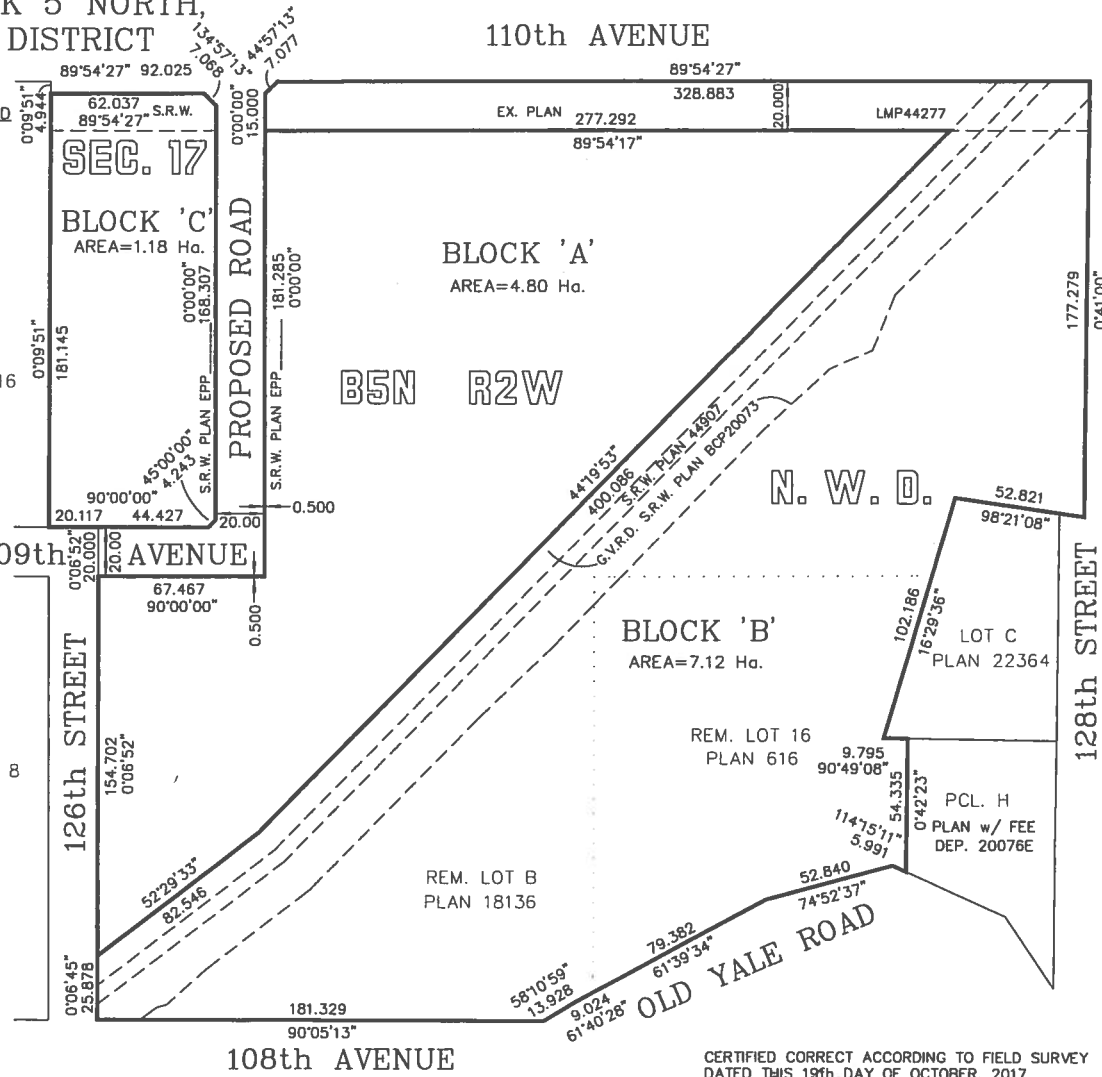
SCALE 1:2000

THE INTENDED PLOT SIZE OF THIS PLAN IS 532 mm
IN WIDTH AND 460 mm IN HEIGHT (C SIZE SHEET)
WHEN PLOTTED AT A SCALE OF 1:2000.



E 1/2 BLOCK 8
PLAN 616

BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	4.80 Ha.
	TOTAL AREA BLOCK 'A' =	4.80 Ha.
BLOCK 'B'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	5.36 Ha.
	REM. BLOCK 16, S.17, B5N, R2W, N.W.D.	1.76 Ha.
	TOTAL AREA BLOCK 'B' =	7.12 Ha.
BLOCK 'C'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	1.18 Ha.
	TOTAL AREA BLOCK 'C' =	1.18 Ha.

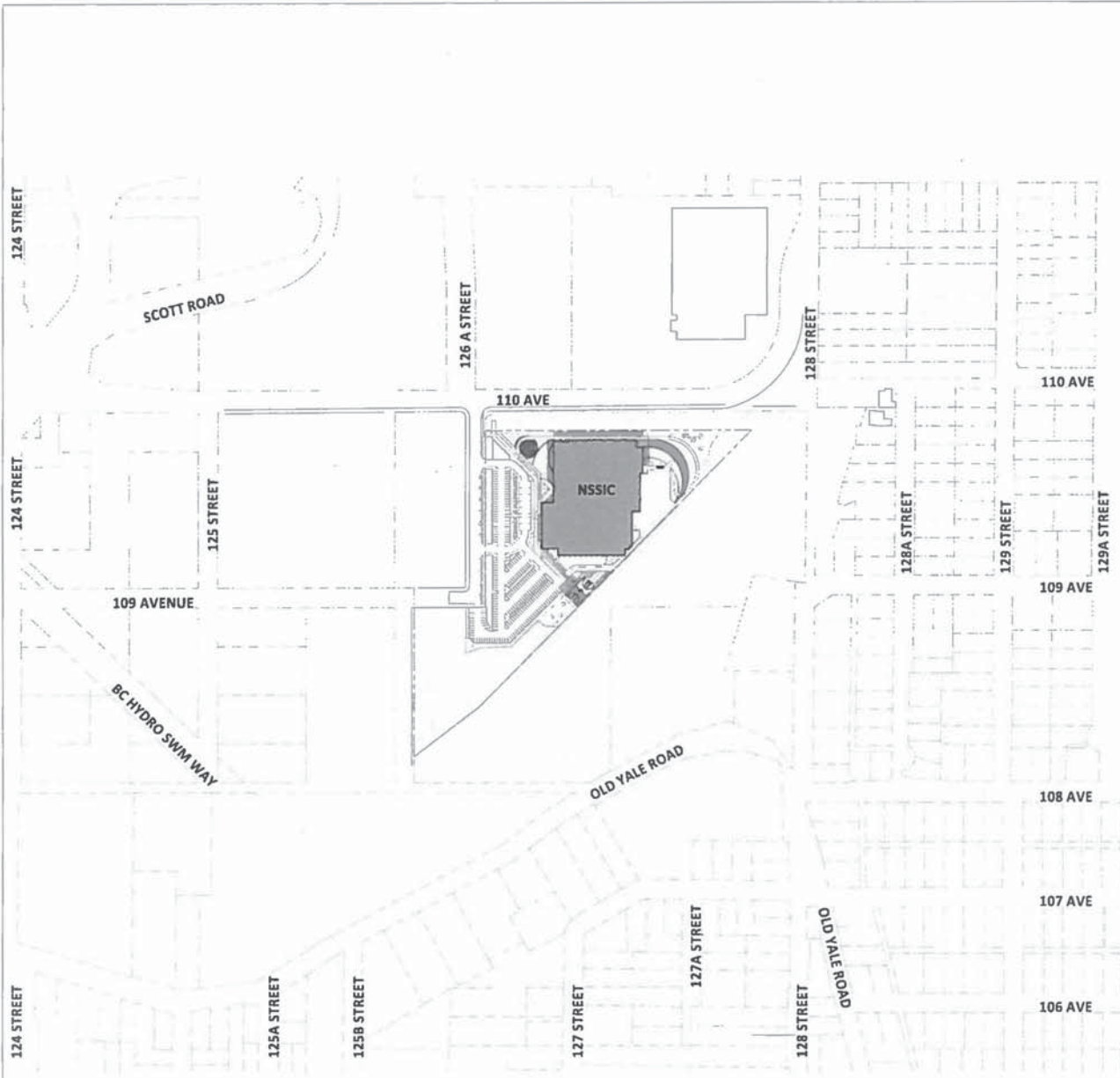


CITY OF SURREY, SURVEY SECTION
13450 - 104 AVENUE
SURREY, B.C. V3T 1V8
TEL. (604) 591-4253
FAX. (604) 591-8693

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
DATED THIS 19th DAY OF OCTOBER, 2017

GK
GURPREET S. KOONER, BCLS 937

FILE: S3043B
PLOT: 2017/10/19
MAP: 010



PROJECT STATISTICS

ZONING:	S-1 (SIGHT IMPACT INDUSTRIAL ZONE)
STANDARDS:	BCSC 2012 (BRITISH COLUMBIA BUILDING CODE) S. 30 (REY ZONING BYLAW (1,200))
MARKER OCCUPANCY:	A3 (ART HAS & RE REUSE)
CONSTRUCTION:	NON COMBUSTIBLE W/ HEAVY TIMBER ROOF STRUCTURE
FIRE PROTECTION:	BUILDING IS TO BE SPRINKLERED TO MPAL 13 PER BCSC 2012
SITE AREA:	4780 m ²
BUILDING HEIGHT:	15.75 m MAX BUILDING HEIGHT (8m OR 40' PER SECTANE) 48A.C.)
BUILDING SETBACKS:	FRONT: 7.5m BACK: 7.5m SIDE: 7.5m
FIR:	NOT TO EXCEED 1.00 OF THE SITE PROPOSED: 3746.4782m ² = 78%
LOT COVERAGE:	MAXIMUM 80% PROPOSED: 308.7374702m ² = 23%

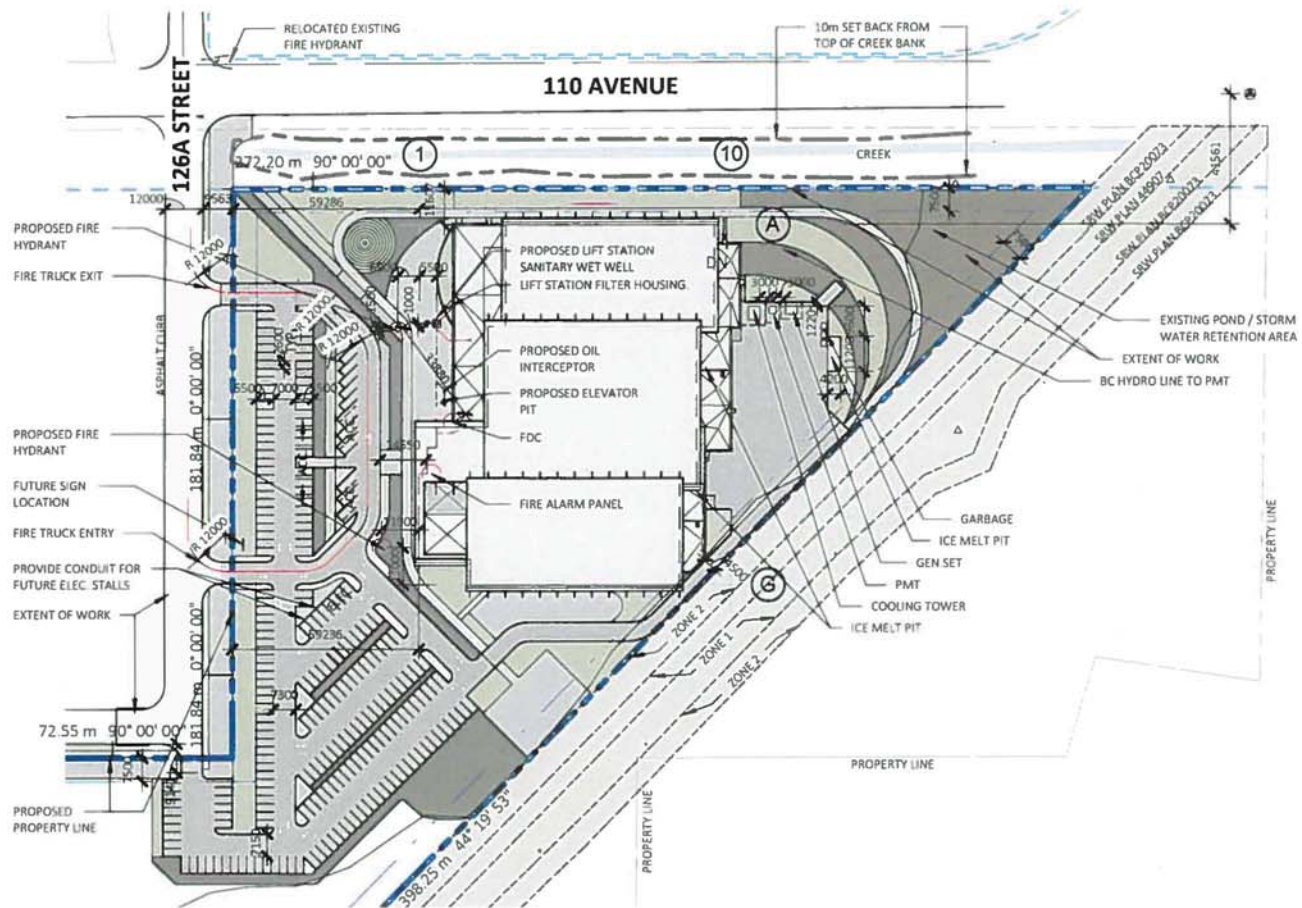
CAR PARKING

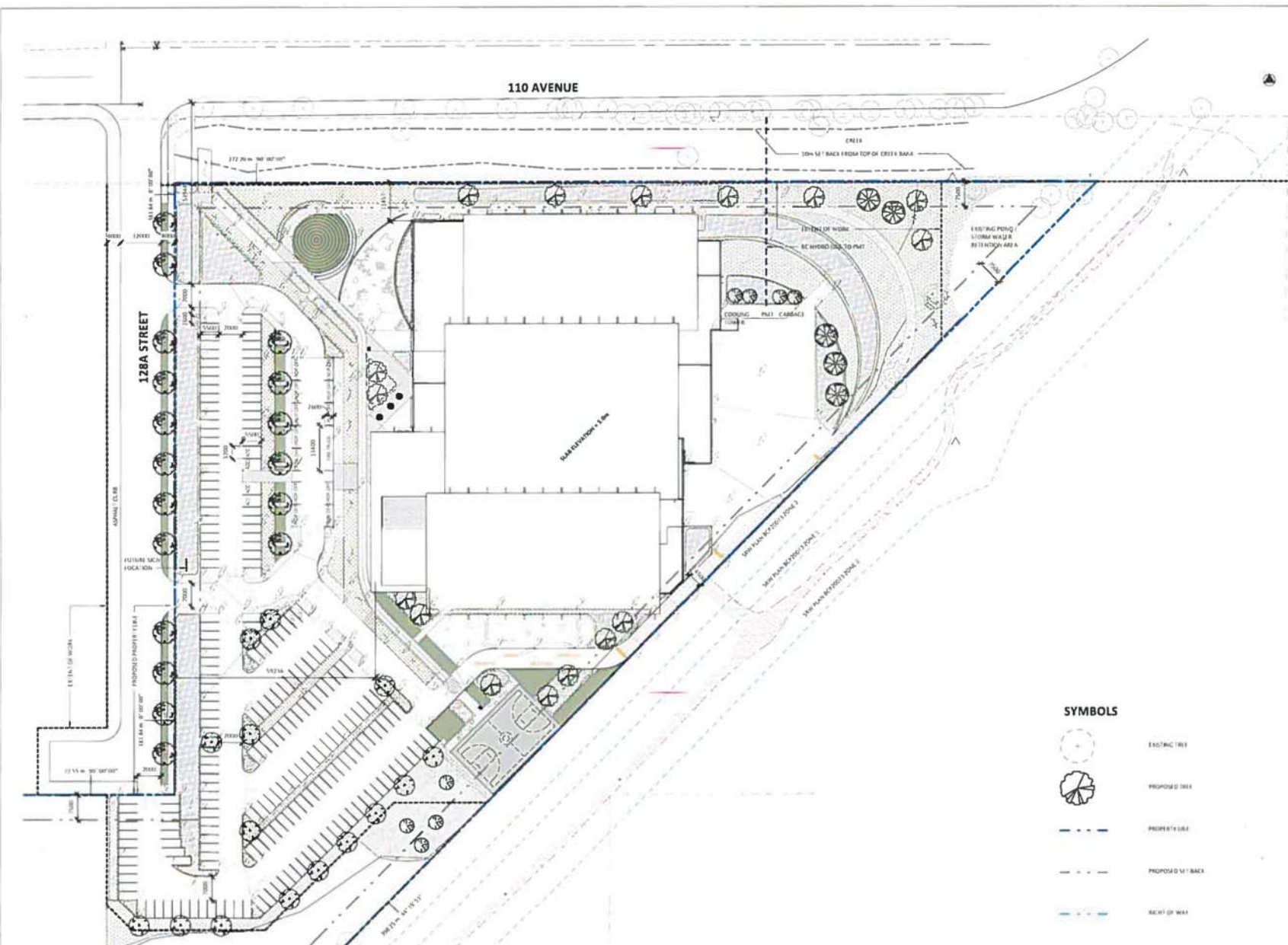
BYLAW:	PART 5 TABLE C1 RECREATION FACILITIES REG.
REQUIRED PARKING:	5.0 PARKING SPACES PER 100M ² OF FLOOR AREA 2.5 PARKING SPACES PER 100M ² OF FLOOR AREA AS SHADING ROLA
NUMBER OF REQUIRED STALLS:	RECREATION AREA 7400m ² /100m ² * 5 = 120 STALLS
	SHADING ROLA 7100m ² * 2.5 = 178 STALLS
	TOTAL = 298 STALLS
PARKING FOR PERSONS WITH DISABILITIES:	101 JOYRICHUMS 2 STALLS
NUMBER OF STALLS PROVIDED:	PARKING STALL TYPE STP 274
	FIRE TRUCK 1
	HEIC 2
	EMUP 101 12
	A.C. 4
	TOTAL PARKING STALLS: 281

BICYCLE PARKING

NUMBER OF SPACES REQUIRED:	N/A
NUMBER OF SPACES PROVIDED:	1

1 Location Plan
1:2000

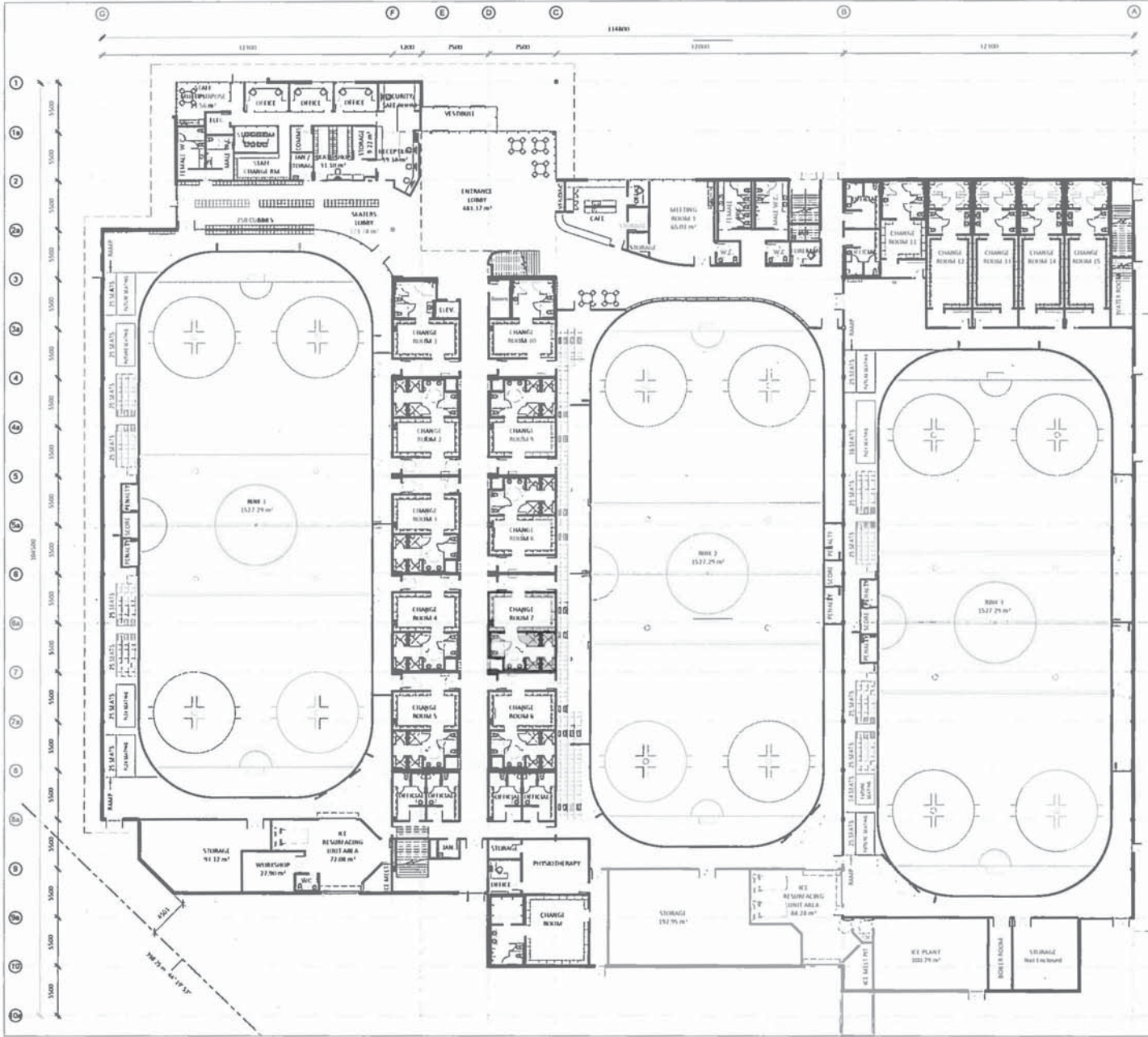




1 Site
1:500

- SYMBOLS**
-  EXISTING TREE
 -  PROPOSED TREE
 -  PROPERTY LINE
 -  PROPOSED M7 BACK
 -  RIGHT OF WAY
 -  EXTRACT OF WORK

1:500 (A1:201) ISSUES FOR DP
Location/Client
Project Title
NORTH SURREY SPORTS & ICE CENTRE
#128A STREET, SURREY, BC
Client: THE CITY OF SURREY
Sheet Title
Site Plan
Drawn by: [Name] Prepared by: [Name]
Checked by: [Name]
Date: 01/2013
File Name: 110117 - A-011.dwg
Graphic Scale:
Scale: As indicated Drawing No.:
Project No.: **21617** **A-011**



Notes

1. (OVERLAYS) ISSUED FOR RF

Project Title:
**NORTH SURREY SPORTS
& ICE CENTRE**

#126A STREET,
SURREY, BC

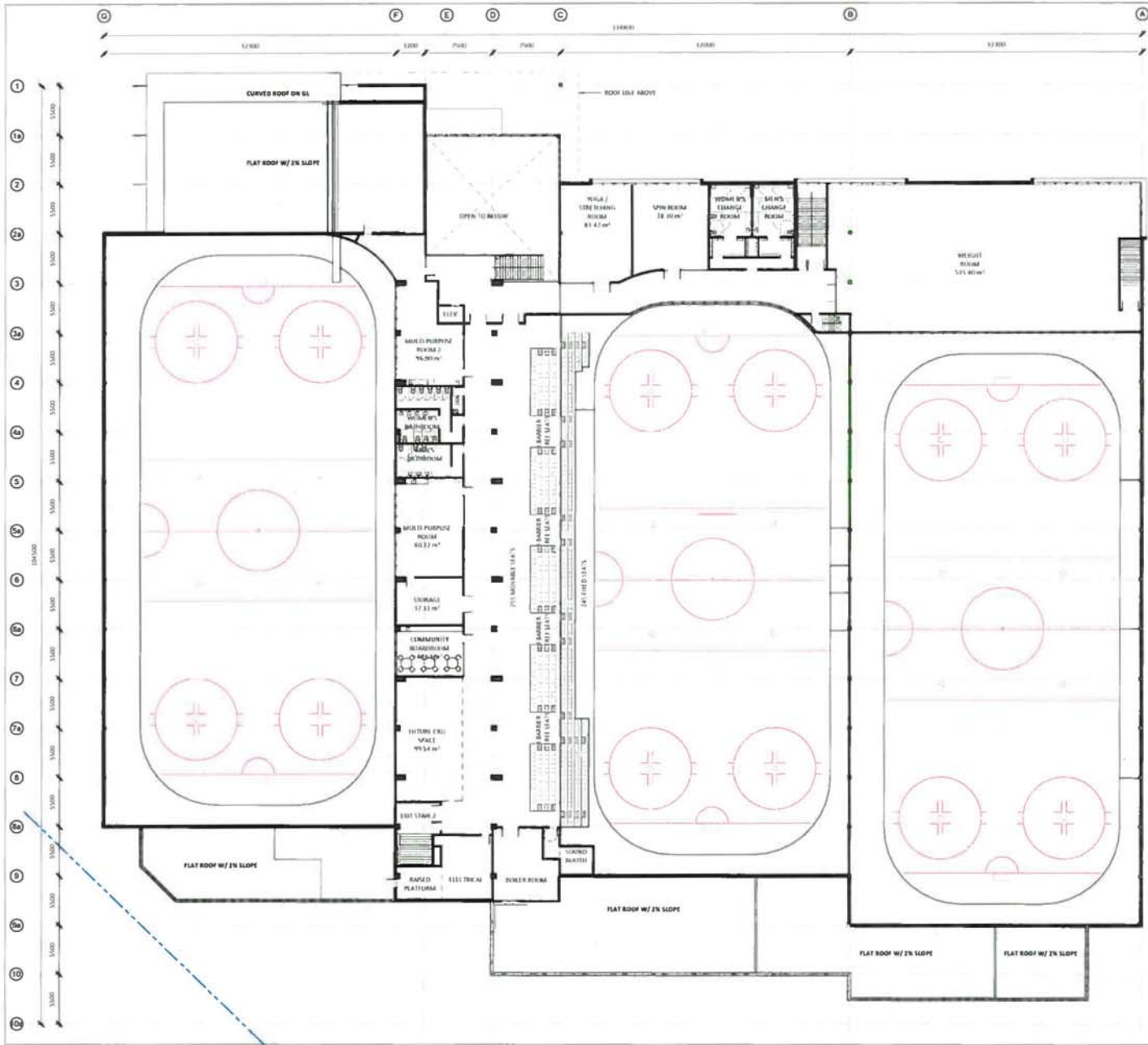
Client: THE CITY OF SURREY

Sheet Title:
Level 1 Plan

This drawing is an indication of work to be provided by the contractor. It is not a contract document. All dimensions shown in this drawing shall be based on the approved construction documents. The contractor shall be responsible for all dimensions and for the accuracy of the information shown on this drawing and for the coordination of all dimensions and details with the approved construction documents.

Drawn By: Author
Reviewed By: Checker
Date: 09/19/08
Plot Date: 04/28/2017 at 12:00 PM
Graphic Scale:

Scale: 1:200
Project No.: 21617
Drawing No.: A-101



Notes

1. [REDACTED] ISSUED FOR I.P.

Project Title
NORTH SURREY SPORTS & ICE CENTRE

#125A STREET,
SURREY, BC

Client: THE CITY OF SURREY

Sheet Title
Level 2 Plan

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Drawn by: Author
Reviewed by: Checker
Date: 1/12/21
Plot Date: 1/12/21 7:47:23 PM
Graphic Scale:



Scale: 1:300
Drawing No.:
Project No.:
21617
A-102

(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)

MATERIAL LEGEND

- CL1 KINOSPAN METAL PANEL - EXHIBIT GR1
- CL2 KINOSPAN METAL PANEL - DARK GR1
- CL3 KINOSPAN METAL PANEL - HIGI GR1
- CL4 METAL VACUUM PARTITION TO MATCH MET 1
- CL5 METAL DOOR HEAD PARTITION TO MATCH MET 1
- CL6 KINOSPAN METAL PANEL - FINI GR1
- CL7 GLASS METAL AIR BRUSH
- CL8 CL146 GLASS
- CL9 170 ROCKING METAL PANEL
- CL10 STONE FRONT METAL PANEL TO MATCH MET 1
- CL11 POLYCARBONATE

FRANCL ARCHITECTURE

3388 West 3rd Avenue
Vancouver BC V6L 1W6 Canada
604.688.3322
www.franclarch.com

Stantec

1 North
1:200

T.O. GLULAM (B) 18400
T.O. GLULAM (A) 13200

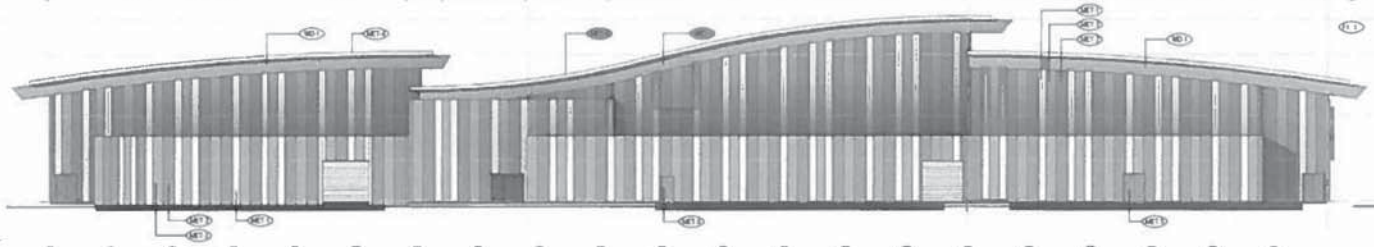
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Level 2 3075
Level 1 0



2 East
1:200

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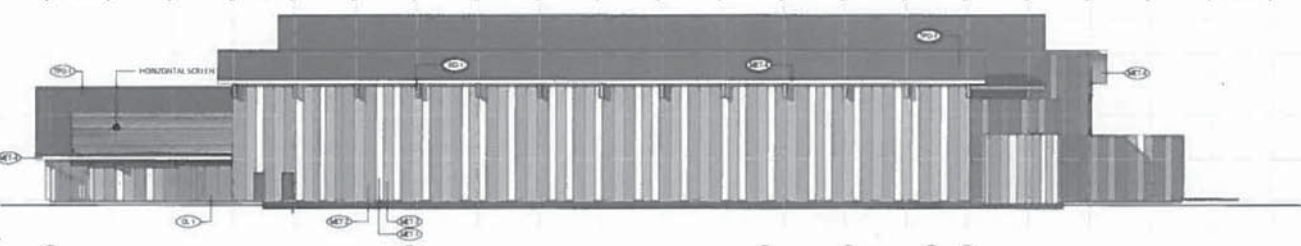
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3 South
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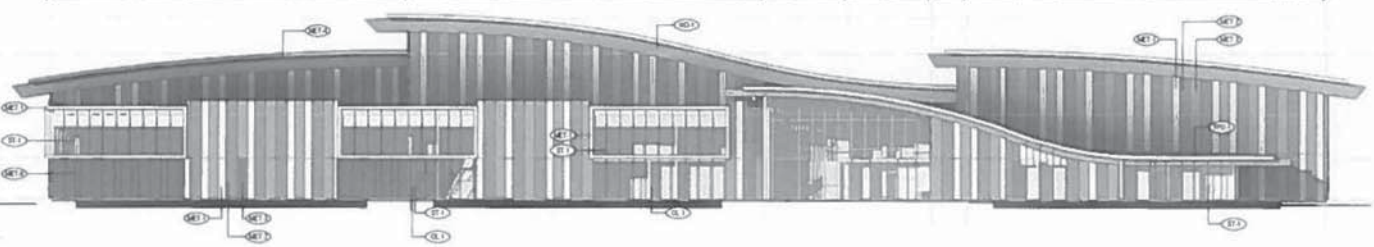
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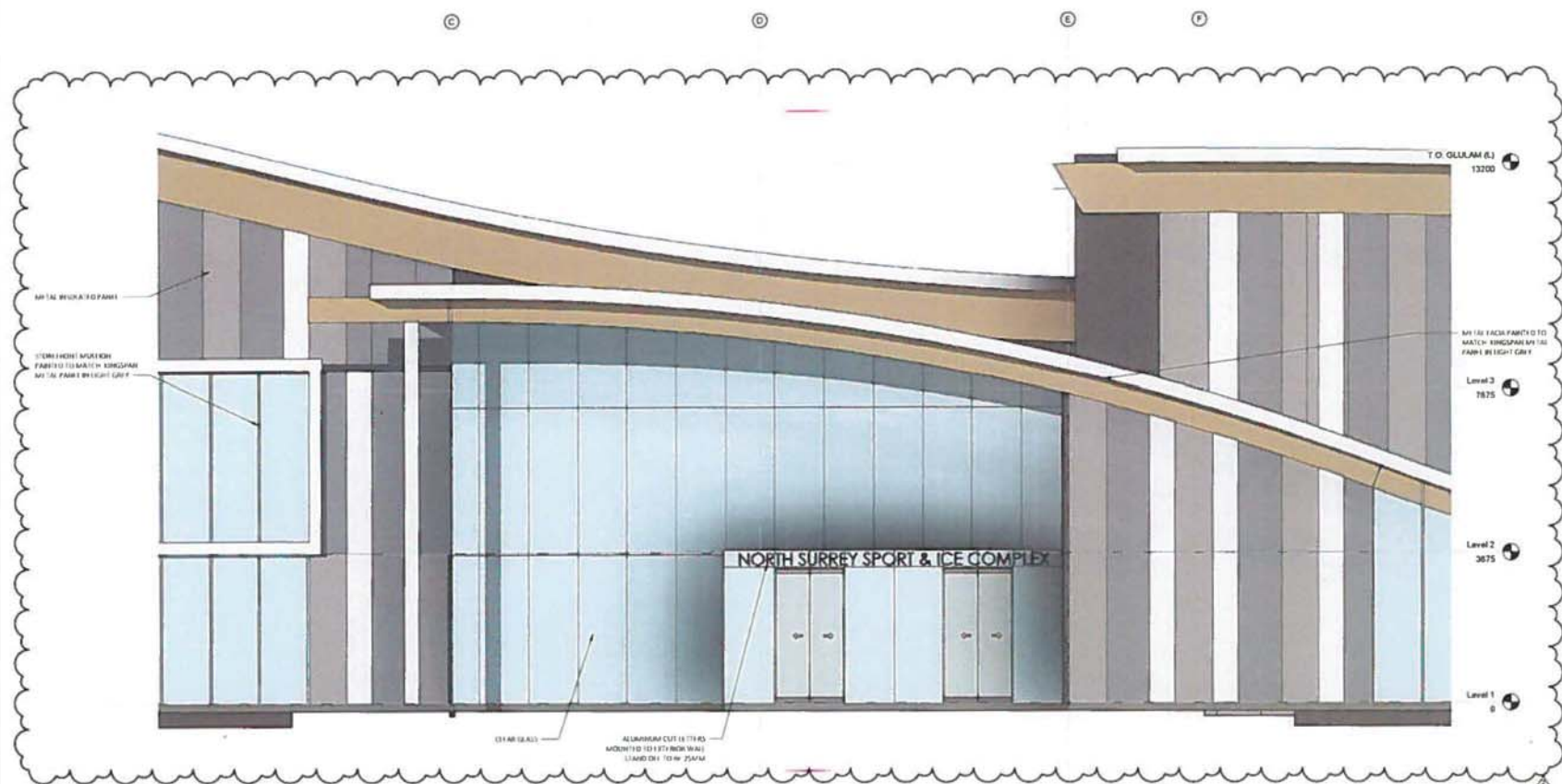
4 West
1:200

T.O. GLULAM (B) 18400
T.O. GLULAM (A) 13200

Level 3 7875
Level 2 3075
Level 1 0



1:200 (Scale) 2023 (Date) 00000 (Project ID)	
Project Title NORTH SURREY SPORTS & ICE CENTRE	
#136A STREET, SURREY, BC	
Client: THE CITY OF SURREY	
Sheet Title Elevations	
<small>This drawing is an unapproved 2D view of the project as of the 2nd of April 2023. It is not to be used for construction or other purposes without the written approval of the architect. The architect is not responsible for any errors or omissions in this drawing. The client is responsible for the accuracy of the information provided to the architect. The architect is not responsible for any errors or omissions in this drawing. The client is responsible for the accuracy of the information provided to the architect.</small>	
Drawn by: Author	Project Number: 00000
Reviewed by: Checker	Scale: 1:200
Date: 18/1/23	Plot Size: A1 (841x594 mm)
Project Name: 21617	Sheet Title: A-201



① SIGNAGE - WEST
ELEVATION

1. 16.16.2017 (P) REVISION
2. 20.04.2017 (C) REVISED FOR
Construction
Project Title
**NORTH SURREY SPORTS
& ICE CENTRE**

#126A STREET,
SURREY, BC

Client: THE CITY OF SURREY

Sheet Title
SIGNAGE

This drawing is an indication of work to be performed on the property of the City of Surrey, British Columbia. It is not intended to be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing or any other drawings prepared by the architect. The architect shall not be responsible for any errors or omissions in this drawing or any other drawings prepared by the architect.

Drawn By: *Author* Prepared By: *Author*
Reviewed By: *Checker*
Date: 16.09.17
Plot Date: 16.09.17 11:18:00 AM
Company: Stantec

Scale: 1:50
Project No: 21617
Drawing No.: **A-003**

EXTERIOR FINISHES

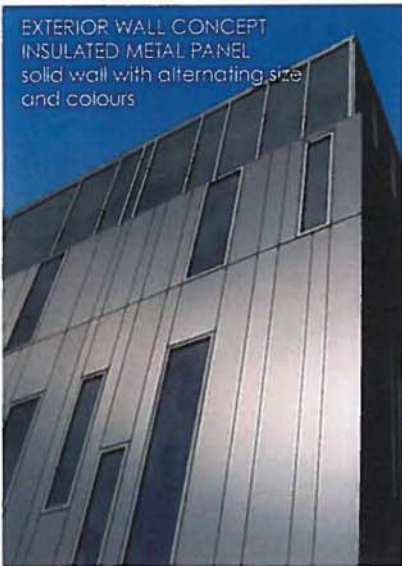
NORTH SURREY SPORT & ICE COMPLEX

09.28.2017

EXTERIOR
DOOR PAINT
to match
'DOVE GREY'

METAL FLASH-
INGS & TRIM
to match
'ZINC GREY'

METAL PROJECTIONS
to match
'REGAL WHITE'



REGAL WHITE
micro rib

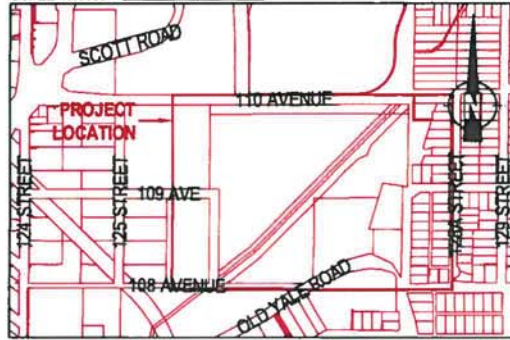
DOVE GREY
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ZINC GREY
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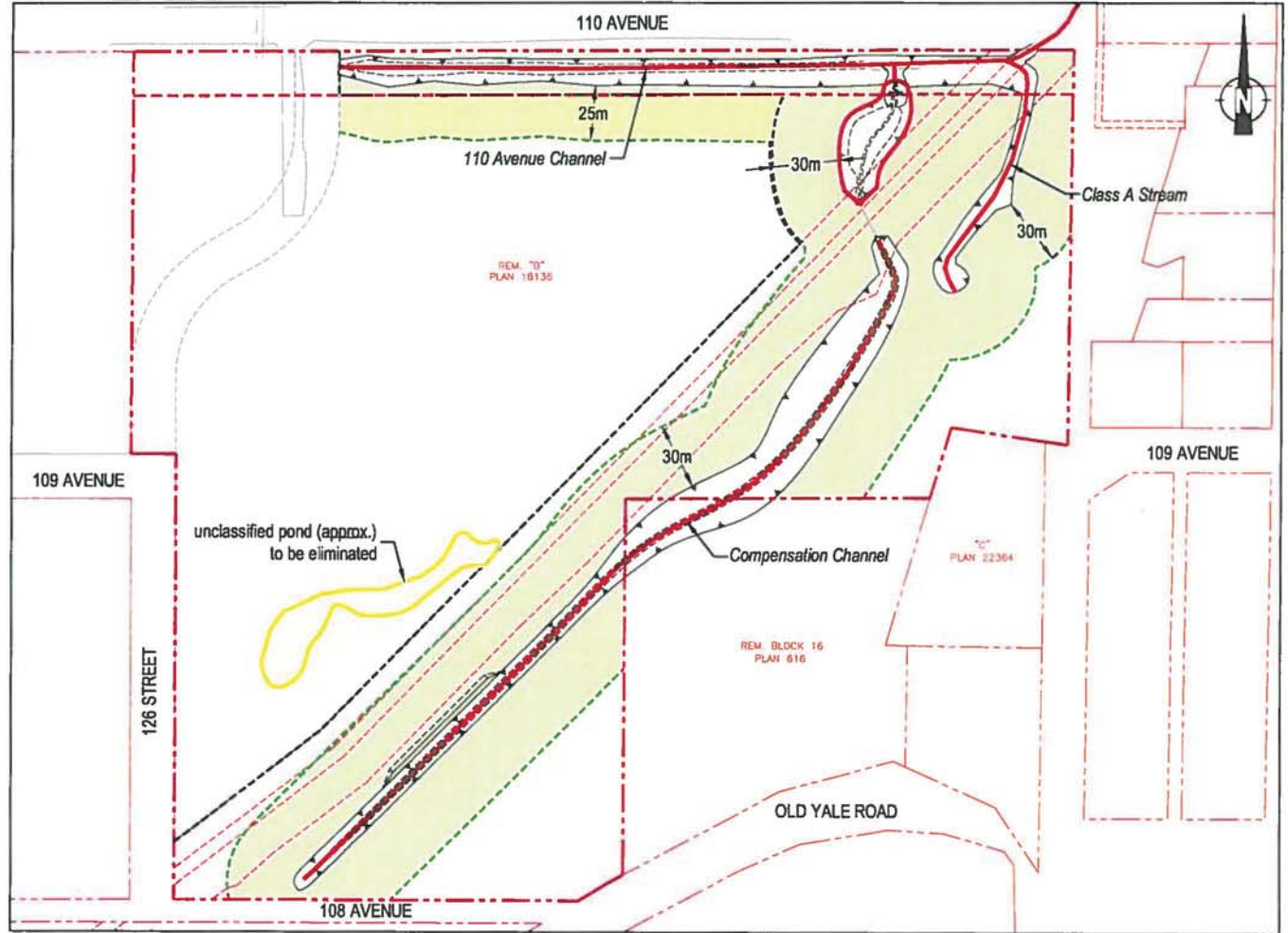
LOCATION

SCALE 1:10000



PLAN

SCALE 1:2000



LEGEND

- Property Line
- Bylaw Setback
- Proposed Setback
- Class A Stream
- Class B Stream
- Riparian Habitat Area (32,274m²)
- Encroachment Area (3965m²)

REFERENCE DRAWINGS

1. Email: Topographic Survey w Elevations.dwg. Received February 10, 2016; Turnbull Construction Project Managers.
2. Drawing No. 111-254-05. "Photographic Assessment Overview". December 17, 2007. Envirowest Consultants Inc.
3. 2014 Legal Base from City of Surrey.

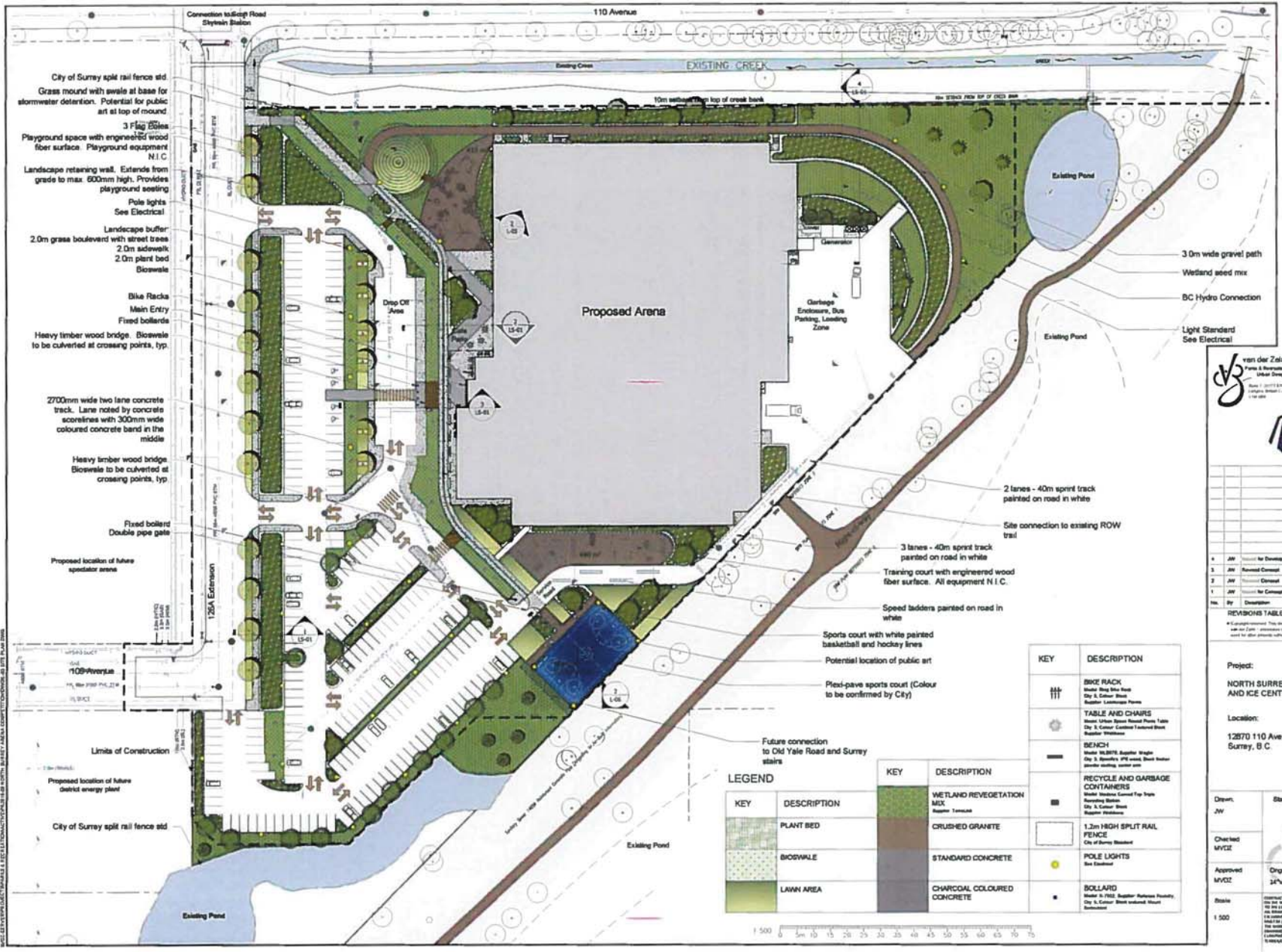
**CITY OF SURREY
CIVIC FACILITIES DIVISION**

**NORTH SURREY SPORT AND ICE CENTRE
Surrey, BC**

envirowest consultants inc.

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6K2
office: 604-944-0502
facsimile: 604-944-0507
www.envirowest.ca

STREAMSIDE AREAS			
DESIGN	DRAWN	CHECKED	REVISION
IWW	CEV	IWW	00
SCALE: As Shown			DRAWING NUMBER
DATE: September 01, 2017			111-254-10



City of Surrey split rail fence std
Grass mound with swale at base for stormwater detention. Potential for public art at top of mound

3 Flag Poles
Playground space with engineered wood fiber surface. Playground equipment N.I.C

Landscape retaining wall. Extends from grade to max. 600mm high. Provides playground seating

Pole lights
See Electrical

Landscape buffer:
2.0m grass boulevard with street trees
2.0m sidewalk
2.0m plant bed
Bioswale

Bike Racks
Main Entry
Fixed bollards

Heavy timber wood bridge. Bioswale to be culverted at crossing points, typ.

2700mm wide two lane concrete track. Lane noted by concrete scooters with 300mm wide coloured concrete band in the middle

Heavy timber wood bridge
Bioswale to be culverted at crossing points, typ

Fixed bollard
Double pipe gate

Proposed location of future spectator arena

125A Extension

125B Extension

Limits of Construction

Proposed location of future district energy plant

City of Surrey split rail fence std

Existing Creek

EXISTING CREEK

10m setback from top of creek bank

10m setback from top of creek bank

Existing Pond

Existing Pond

Existing Pond

3.0m wide gravel path

Wetland seed mix

BC Hydro Connection

Light Standard
See Electrical

Proposed Arena

2 lanes - 40m sprint track painted on road in white

Site connection to existing ROW trail

3 lanes - 40m sprint track painted on road in white

Training court with engineered wood fiber surface. All equipment N.I.C.

Speed batters painted on road in white

Sports court with white painted basketball and hockey lines

Potential location of public art

Prest-pave sports court (Colour to be confirmed by City)

LEGEND

KEY	DESCRIPTION
	PLANT BED
	BIOSWALE
	LAWN AREA

KEY

KEY	DESCRIPTION
	WETLAND REVEGETATION MIX Turf Turf
	CRUSHED GRANITE
	STANDARD CONCRETE
	CHARCOAL COLOURED CONCRETE

KEY

KEY	DESCRIPTION
	BIKE RACK Bicycle Rack City of Surrey Bicycle Rack Bicycle Rack
	TABLE AND CHAIRS Heavy Urban Street Street Furniture City of Surrey City of Surrey City of Surrey
	BENCH Heavy Urban Street Street Furniture City of Surrey City of Surrey City of Surrey
	RECYCLE AND GARBAGE CONTAINERS Heavy Urban Street Street Furniture City of Surrey City of Surrey City of Surrey
	1.2m HIGH SPLIT RAIL FENCE City of Surrey
	POLE LIGHTS City of Surrey
	BOLLARD Heavy Urban Street Street Furniture City of Surrey City of Surrey City of Surrey



vsm der Zalm + associates inc.
Urban Design + Civil Engineering
Landscape Architecture



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
4	JW	Revised for Development Permit	Apr. 6, 2017
3	JW	Revised Concept	Mar. 30, 2017
2	JW	Revised Concept	Feb. 21, 2017
1	JW	Revised for Concept Review	Feb. 16, 2017

Project:
NORTH SURREY SPORTS AND ICE CENTRE

Location:
12870 110 Avenue
Surrey, B.C.

Drawn: JW	Stamp
Checked: MVZ	Original Sheet Size 24"x36"
Scale: 1:500	

Overall Site Plan

PR2016-09

L-04

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 13, 2017** PROJECT FILE: **7817-0170-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 12780 110 Avenue**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 4.942-metre along 110 Avenue to the 30.0-metre arterial road;
- dedicate 20.0-metre for 126A Street and 109 Avenue;
- dedicate corner cuts; and
- register statutory right-of-ways along property lines as required.

Works and Services

- construct 126A Street and 109 Avenue to the 20.0-metre through local road standard complete with 11.0-metre pavement width, 1.5-metre sidewalk on both sides adjacent to property line, barrier curb and gutter, topsoil/sod boulevard, and street lighting;
- pay cash-in-lieu of construction for 50% of the signalized intersection at 110 Avenue and 126A Street;
- construct storm, water, and sanitary mains to service the development;
- provide the lot with storm, water, sanitary service connections; and
- meet the requirements of the South Westminster Integrated Stormwater Management Plan and provide mitigation features.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.


For Rémi Dubé, P.Eng.
Development Services Manager
SK2

NOTE: Detailed Land Development Engineering Review available on file

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	18	0	18
Cottonwood	94	5	89
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	0	1
Red Maple	18	1	17
Willow	6	0	6
Paper Birch	6	0	6
Hawthorne	1	0	1
Coniferous Trees			
Red Cedar	19	0	19
Total (excluding Alder and Cottonwood Trees)	51	1	50
Additional Trees in the proposed Open Space / Riparian Area	8	0	8
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		(as per L-03 Tree Planting Plan) = 64	
Total Retained and Replacement Trees		(18+89+50+64) = 221	

** RIPARIAN TREE SPECIES ARE WITHIN INDIVIDUAL SPECIE COUNT.

**RETAINED AND REPLACEMENT TREE TOTAL DOES NOT INCLUDE PROPOSED RIPARIAN TREES (ON AND OFF-SITE) AS SHOWN IN DRAWING EV-01 AS THEY ARE NOT REPLACEMENT TREE SIZE. SIZE OF RIPARIAN TREES ARE DICTATED BY ENVIROWEST CONSULTANTS.

** RETAINED AND REPLACEMENT TREE TOTAL INCLUDES ALDERS AND COTTONWOODS.

Surrey

Project: North Surrey Arena
Address: 12780 - 110 Avenue, Surrey, B.C.
Registered Arborist: Kelly Koome

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	102
Protected Trees to be Removed (943)	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	101
Total Replacement Trees Required: <ul style="list-style-type: none">- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{1}{1} \times \text{one (1)} = 1$- All other Trees Requiring 2 to 1 Replacement Ratio $\frac{0}{2} \times \text{two (2)} = 0$	1
Replacement Trees Proposed	1
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas] (636,654,596,618,613,615,617,616)	8
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed (631,656,657,658,659)	5
Total Replacement Trees Required: <ul style="list-style-type: none">- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{4}{1} \times \text{one (1)} = 4$- All other Trees Requiring 2 to 1 Replacement Ratio $\frac{1}{2} \times \text{two (2)} = 2$	6
Replacement Trees Proposed	0
Replacement Trees in Deficit	6

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

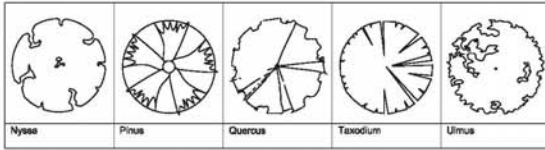
October 12, 2017

Date

*Tree Preservation Summary only includes on-site bylaw protected trees, adjacent City trees and adjacent off-site trees. Bylaw protected trees are either 30 cm dbh or larger, all City boulevard trees of any size, or certain tree species of any size (as noted in bylaw).
* Arborist report notes 35 trees that have been surveyed and reported on but are not of protected tree size.

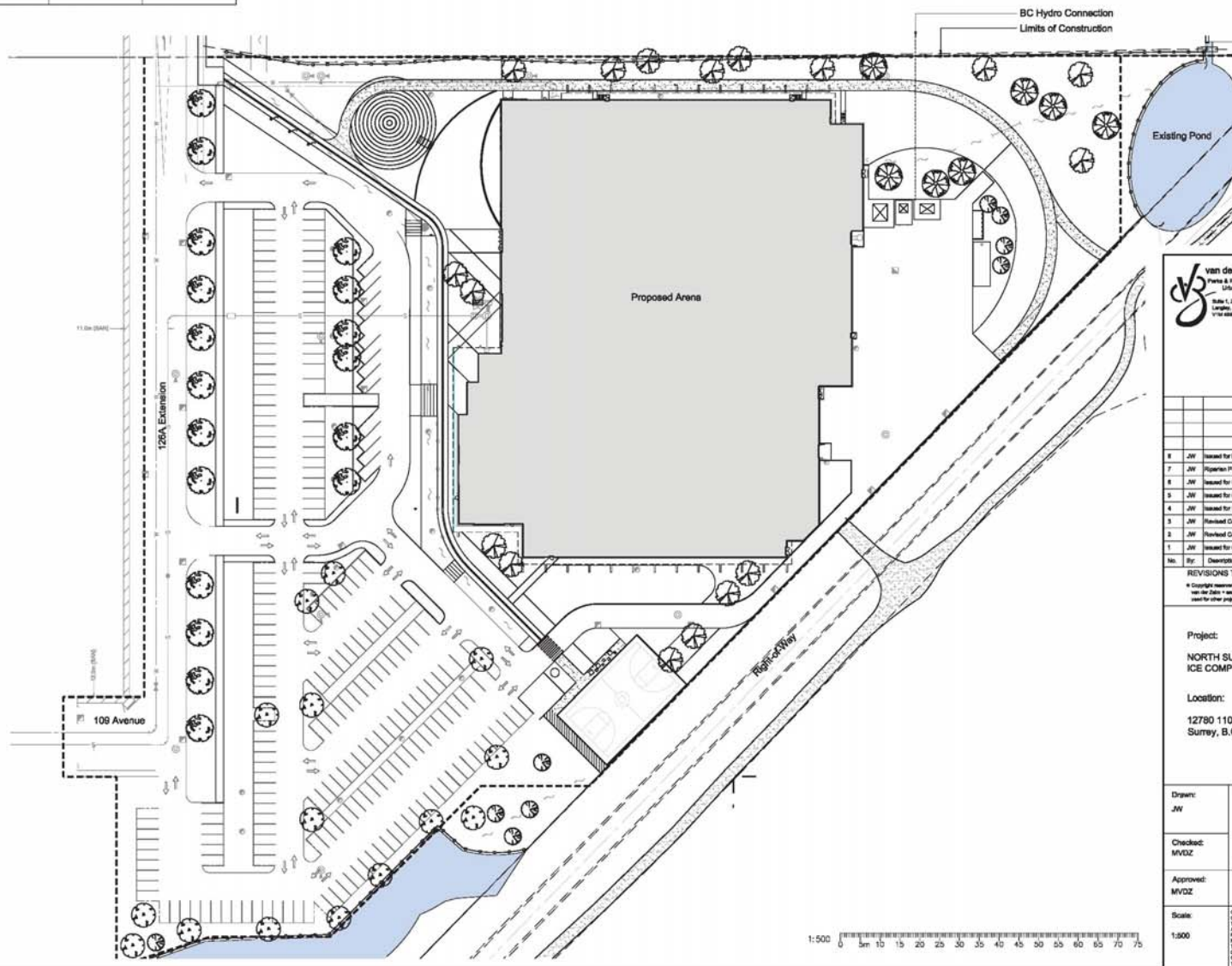
If design changes occur and construction activity is required adjacent to the property line, the Project Arborist recommends an assessment of the particular area being impacted be undertaken. Additional tree protection measures may be required.

TREE LEGEND



TREES

QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
15	see legend	<i>Nyssa sylvatica</i> 'Afterburner'	Afterburner Black Gum	B&B; 8cm caliper; 1.2m std	As shown
4	see legend	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramidal Pine	B+8; 3.0m Height; Single Leader	As shown
18	see legend	<i>Quercus trinetta</i> 'Forest Green'	Forest Green Oak	B&B; 8cm caliper; 1.2m std	As shown
9	see legend	<i>Taxodium distichum</i> 'Shawnee Brave'	Shawnee Brave Bald Cypress	B+8; 3.0m Height; Single Leader	As shown
18	see legend	<i>Ulmus davidiana</i> 'Discovery'	Discovery Elm	B&B; 8cm caliper; 1.2m std	As shown



van der Zalm + associates Inc.
 Plans & Schematics • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 2077 87th Avenue • P 604.862.8244
 17th floor, 87th Columbia • F 604.862.8244
 vdz@vazinc.com



No.	By	Description	Date
8	JW	Issued for CP	Oct 8, 2017
7	JW	Revision Plan Issued for CP	Aug 24, 2017
6	JW	Issued for 80% Working Drawings	Aug 4, 2017
5	JW	Issued for 80% Working Drawings	May 30, 2017
4	JW	Issued for Development Plans	Apr. 8, 2017
3	JW	Revised Concept	Mar. 30, 2017
2	JW	Revised Concept	Feb. 21, 2017
1	JW	Issued for Concept Review	Feb. 18, 2017

REVISIONS TABLE FOR DRAWINGS
 * Copyright reserved. This drawing and design are the property of van der Zalm + associates Inc. not may be reproduced or used for other projects without permission.

Project:
NORTH SURREY SPORTS & ICE COMPLEX
 Location:
 12780 110 Avenue
 Surrey, B.C.

Drawn: JW
 Checked: MVDZ
 Approved: MVDZ
 Stamp: [Stamp Area]
 Original Sheet Size: 24"x36"

Scale: 1:500
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON TO BE BUILT AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND PROVISIONS ARE THE SOLE PROPERTY OF THE CLIENT AND MUST BE OBSERVED AT THE CONSTRUCTION SITE. ALL DIMENSIONS OF THE WORK SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DRAWINGS UNLESS OTHERWISE SPECIFIED FOR THE CONSTRUCTION.



Drawing Title: TREE PLANTING PLAN



Vdz Project #: PR2016-09

Drawing #: L-03

L:\Projects\2016\PR2016-09\12780 110 Avenue\12780 110 Avenue - Tree Planting Plan.dwg



Tree Management Plan



PR2016-09

L-03A

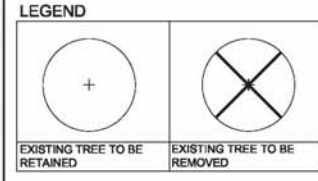
van der Zalm + associates Inc. Parks & Recreation • Civil Engineering Urban Design • Landscape Architecture



Revisions table for drawings with columns for No., Rev., Description, and Date.

Project: NORTH SURREY SPORTS & ICE COMPLEX Location: 12780 110 Avenue Surrey, B.C.

Approval table with columns for Drawn, Checked, Approved, and Scale.



Key table with columns for Key, Ref., and Description, showing a dashed line for Tree Protection Fence and a circle with '2 L-02' for Tree Protection Fence.

- NOTE: 1. Read this drawing together with revised Arborist Report prepared by Kelly Koome on October 5, 2017. 2. Arborist to be present for any work taking place within tree protection zones. Contractor to notify Kelly Koome (778-885-6777) at least 72hrs prior to commencing work within TPZ. 3. Tree protection fencing revised as per City of Surrey comments from Parks Department June 19, 2017. 4. Any retaining walls or over-excavation on site near the critical root zone of retained trees will require Arborist supervision.

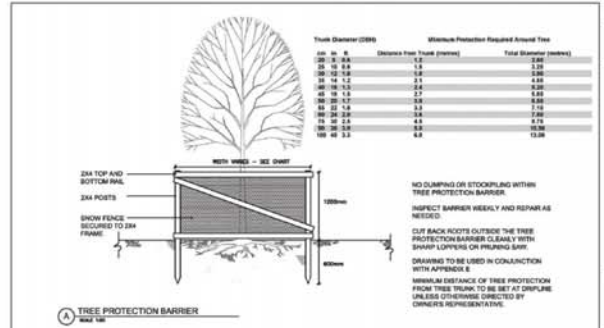
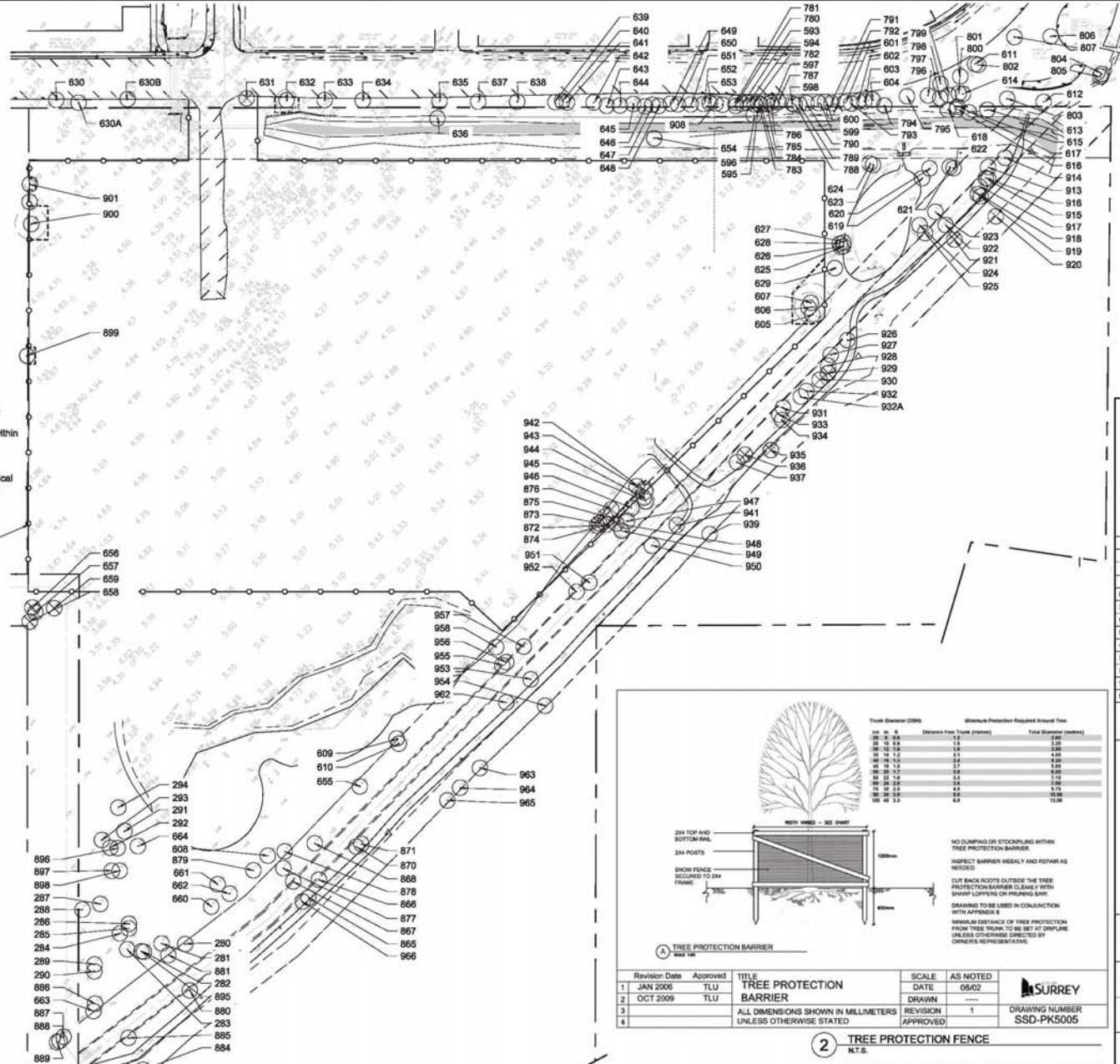
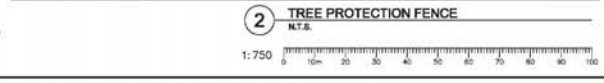


Table with columns for Revision Date, Approved, Title, Scale, and Date, detailing the drawing's history.



1 TREE MANAGEMENT PLAN Scale 1:750

VERTICAL DIMENSIONS UNLESS OTHERWISE NOTED. HORIZONTAL DIMENSIONS UNLESS OTHERWISE NOTED. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0170-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-335-391

Lot "B" Except: Part Subdivided by Plan 22364; Section 17 Block 5 North Range 2 West New Westminster District Plan 18136

12780 - 110 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

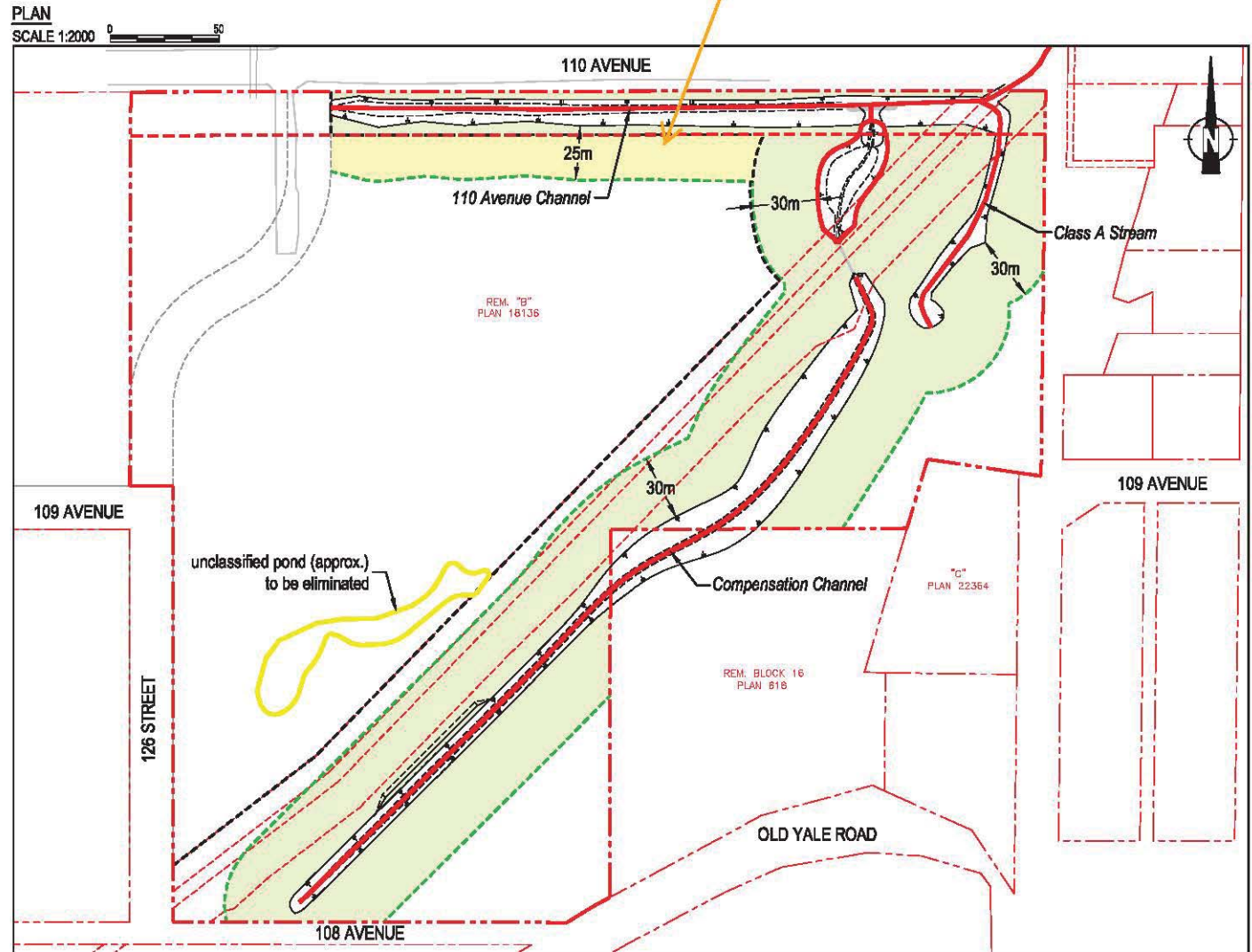
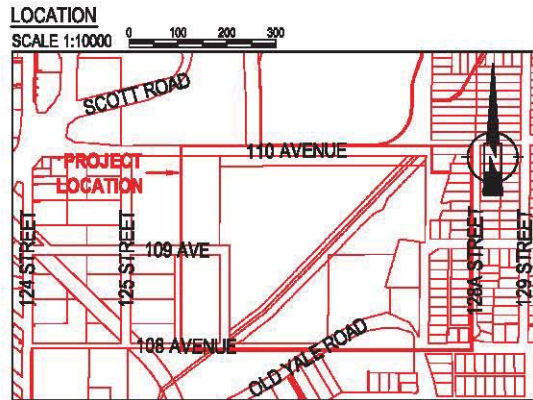
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In the table in Section B.1 of Part 7A Streamside Protection, the minimum required distance from top-of-bank of a "Class A Channelized Stream" is reduced from 25 metres (82 ft.) to 4.0 metres (13 ft.).
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Reduce the minimum setback from the top-of-bank of a 'Class A Channelized Stream' from 25 metres to 4.0 metres along the north property line.



LEGEND

- Property Line
- Bylaw Setback
- Proposed Setback
- Class A Stream
- Class B Stream
- Riparian Habitat Area (32,274m²)
- Encroachment Area (3966m²)

- REFERENCE DRAWINGS**
1. Email: Topographic Survey w Elevations.dwg, Received February 10, 2016; Turnbull Construction Project Managers.
 2. Drawing No. 111-254-05, "Photographic Assessment Overview", December 17, 2007. Envirowest Consultants Inc.
 3. 2014 Legal Base from City of Surrey.

**CITY OF SURREY
CIVIC FACILITIES DIVISION**

**NORTH SURREY SPORT AND ICE CENTRE
Surrey, BC**

envirowest consultants inc.
 Suite 101 - 1515 Broadway Street
 Port Coquitlam, British Columbia
 Canada V3C 6M2
 office: 604-944-0502
 facsimile: 604-944-0507
www.envirowest.ca

STREAMSIDE AREAS			
DESIGN IWW	DRAWN CEV	CHECKED IWW	REVISION 00
SCALE: As Shown		DRAWING NUMBER	
DATE: September 01, 2017		111-254-10	

111-254-10.dwg
 2017-09-01 10:00 AM
 IWW

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: LIGHT IMPACT INDUSTRIAL 1 ZONE (IL-1)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 010-335-391
 Lot "B" Except: Part Subdivided by Plan 22364; Section 17 Block 5 North Range 2 West New Westminster District Plan 18136

Portion of 12780 – 110 Avenue

as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Gurpreet Kooner, B.C.L.S. on the 19th day of October, 2017, containing 4.8 hectares, called Block A.

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a *recreational facility* and ancillary commercial uses.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Recreational facilities*, excluding outdoor go-kart operations, drag racing and rifle ranges.

2. *Child care centres.*
3. *Cultural uses.*
4. *Accessory uses* including the following:
 - (a) One *dwelling unit*, for the accommodation of an official, manager or caretaker of the *principal use*;
 - (b) *Eating establishments*, excluding *drive-through restaurants*;
 - (c) *Retail stores*, excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*;
 - (d) *Personal service uses* excluding *body rub parlours*;
 - (e) *General service uses*, excluding funeral parlours and *drive-through banks*;
 - (f) *Community services*;
 - (g) Office uses, excluding *social escort services*, *methadone clinics* and *marijuana dispensaries*; and
 - (h) *Neighbourhood pubs.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule F of Surrey Zoning By-law, 1993, No. 12000, as amended, the *floor area ratio* shall not exceed 0.40.

E. Lot Coverage

The *lot coverage* shall not exceed 40%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<i>Setback</i>	West	Southeast	North
	<i>Yard</i>	<i>Yard</i>	<i>Yard</i>
Use			
<i>Principal Buildings</i>	12.0 m. [39 ft.]	4.5 m. [15 ft.]	10 m. [33 ft.]
<i>Accessory Buildings and Structures</i>	7.5 m. [25 ft.]	4.5 m. [15 ft.]	10 m. [33 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of setback in Part 1 Definitions of Surrey Zoning By-law, 1993, No.12000, as amended, roof overhangs may encroach into the required *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. The *building height* shall not exceed 17 metres [56 ft.].

H. Off-Street Parking

Parking spaces shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CPR Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the CPR Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW NUMBER _____
OF PORTIONS OF SECTION 17, BLOCK 5 NORTH,
RANGE 2 WEST, NEW WESTMINSTER DISTRICT**

BCGS 92G.026

INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.BC.1.GYRD

ALL DISTANCES ARE IN METRES
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS 80H2049 AND 5347.
THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
GEODETIC CONTROL MONUMENTS 80H2049 AND 5347.
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
COMBINED SCALE FACTOR OF 0.9996035 WHICH HAS BEEN DERIVED FROM
CONTROL MONUMENTS 80H2049 AND 5347.

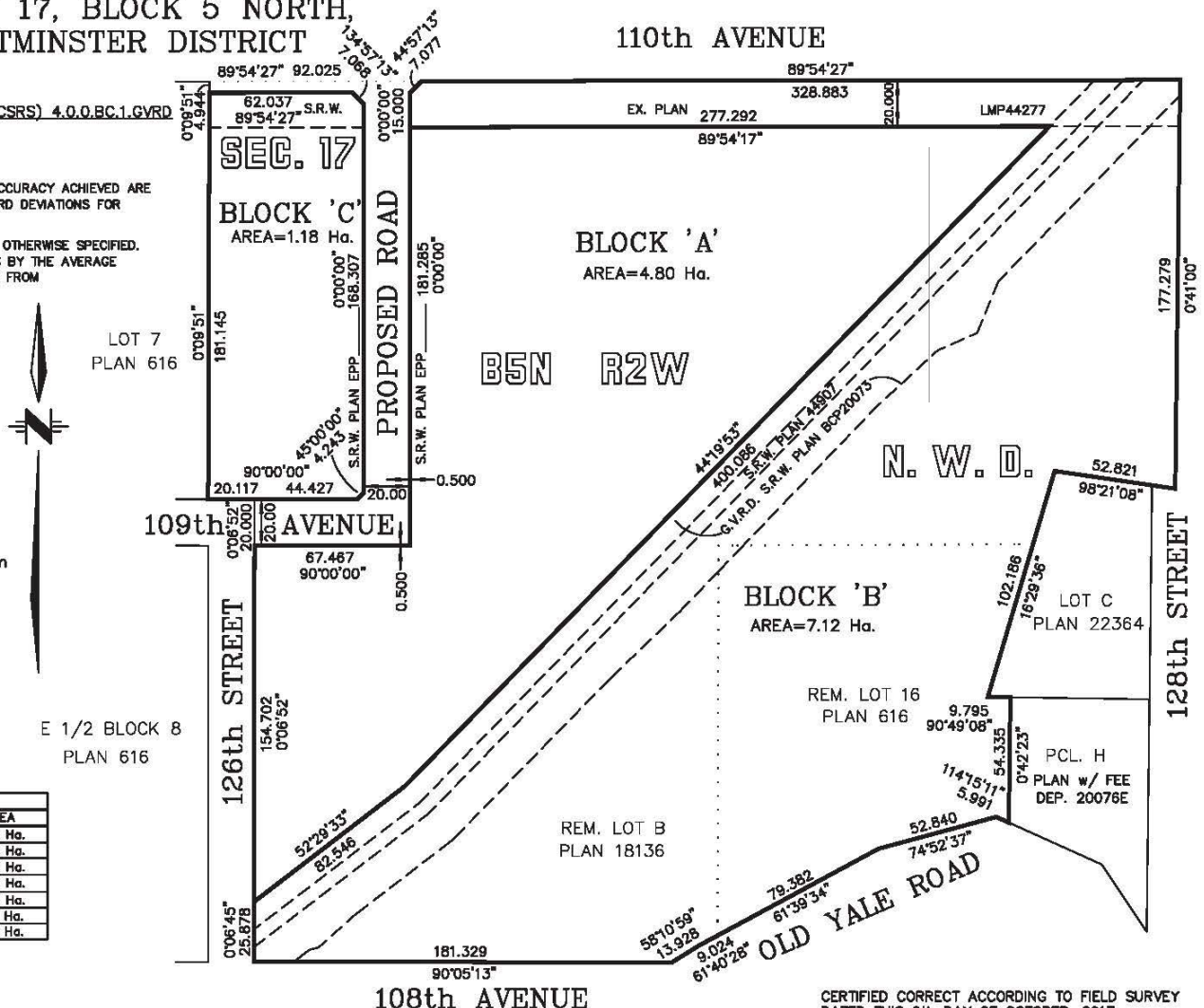
LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD LEAD PLUG FOUND
- NF DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED



THE INTENDED PLOT SIZE OF THIS PLAN IS 532 mm
IN WIDTH AND 460 mm IN HEIGHT (C SIZE SHEET)
WHEN PLOTTED AT A SCALE OF 1:2000.

BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	4.80 Ha.
	TOTAL AREA BLOCK 'A' =	4.80 Ha.
BLOCK 'B'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	5.36 Ha.
	REM. BLOCK 16, S.17, B5N, R2W, N.W.D.	1.76 Ha.
	TOTAL AREA BLOCK 'B' =	7.12 Ha.
BLOCK 'C'	REM. LOT "B", S.17, B5N, R2W, N.W.D.	1.18 Ha.
	TOTAL AREA BLOCK 'C' =	1.18 Ha.

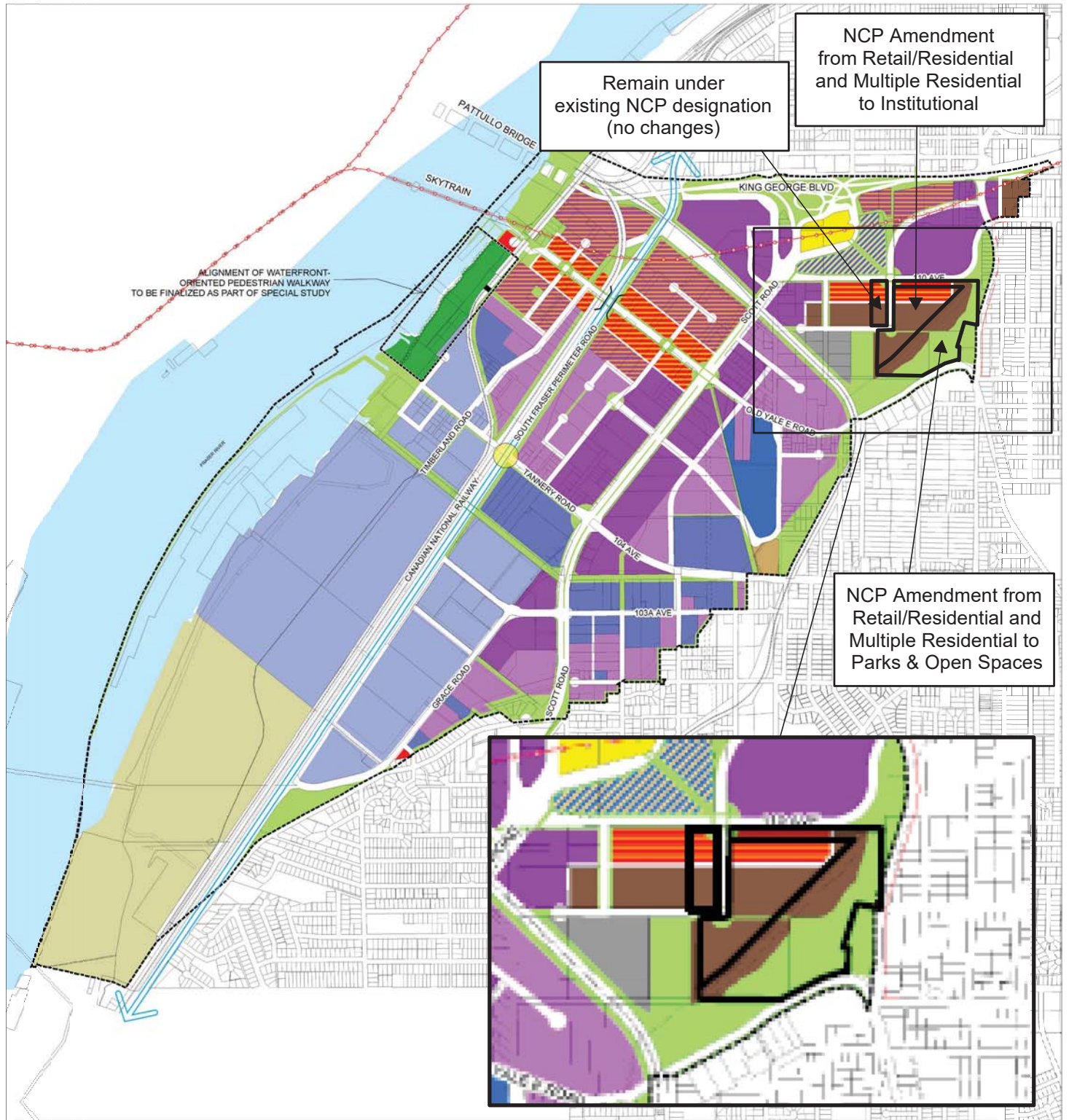


CITY OF SURREY
the future lives here
CITY OF SURREY, SURVEY SECTION
13450 - 104 AVENUE
SURREY, B.C. V3T 1V8
TEL. (604) 591-4253
FAX. (604) 591-8693

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
DATED THIS 6th DAY OF OCTOBER, 2017

GURPREET S. KOONER, BCLS 937

FILE: S30438
PLOT: 2017/10/18
MAP: 010



SOUTH WESTMINSTER PLAN

CITY OF SURREY
PLANNING AND DEVELOPMENT DEPARTMENT

APPROVED BY COUNCIL RESOLUTION R03 - 3189, DECEMBER 8/2013



Legend

- SkyTrain
- Overpass
- Waterfront Oriented/Pedestrian Walkway
- Special Study Area
- Interchange
- South Fraser Perimeter Road
- Business Park

- Business Residential Park
- Commercial
- Highway Commercial
- Light Impact Industrial
- Light Industrial Business Park
- Low Density Townhouses
- Multiple Residential
- Port Related Industrial
- Retail Residential
- Schools
- Institutional
- Skytrain
- Transit Oriented Urban Village
- Public Open Space and Park
- Waterfront Strip
- Overpass