

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0158-00

Planning Report Date: December 4, 2017

PROPOSAL:

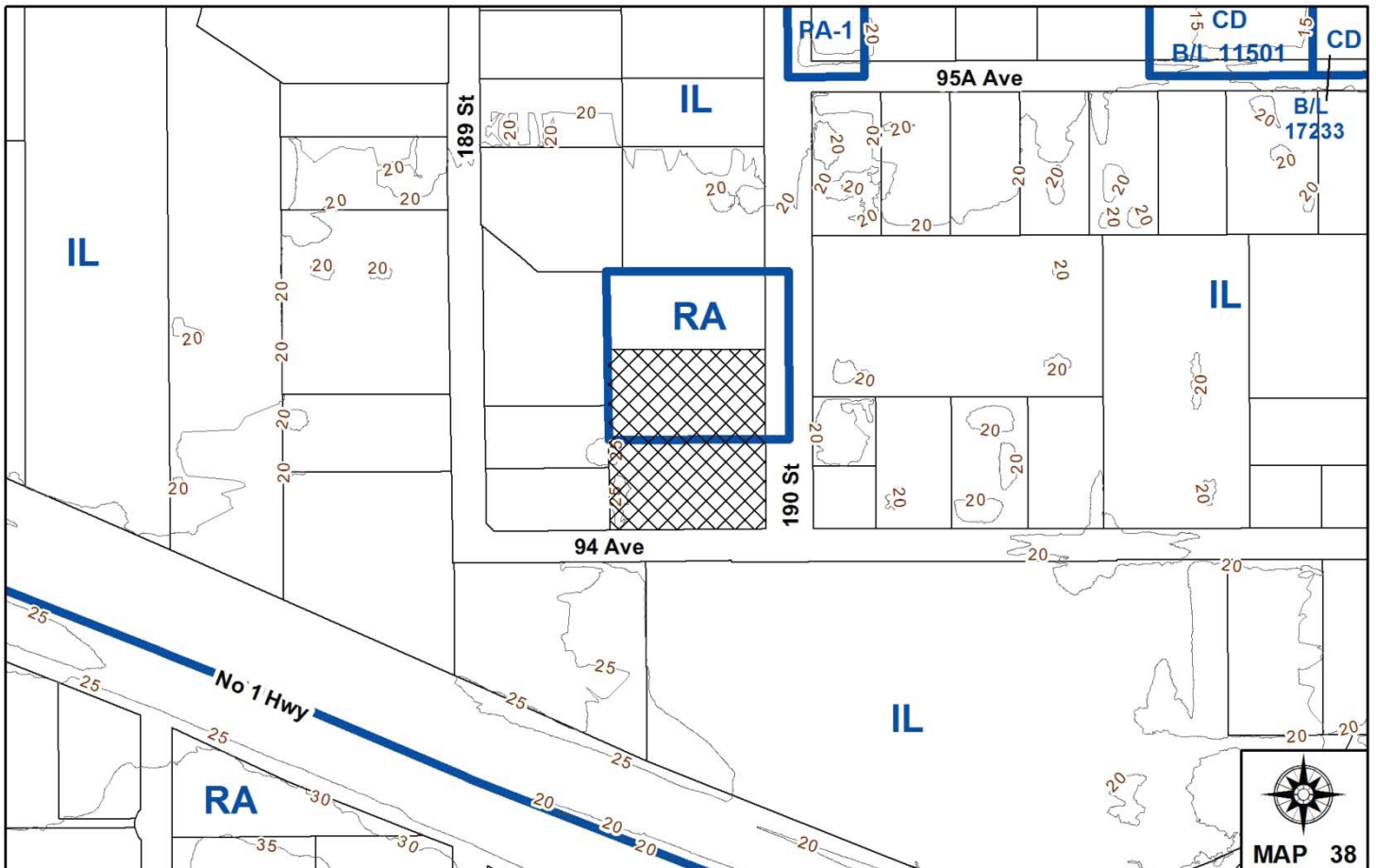
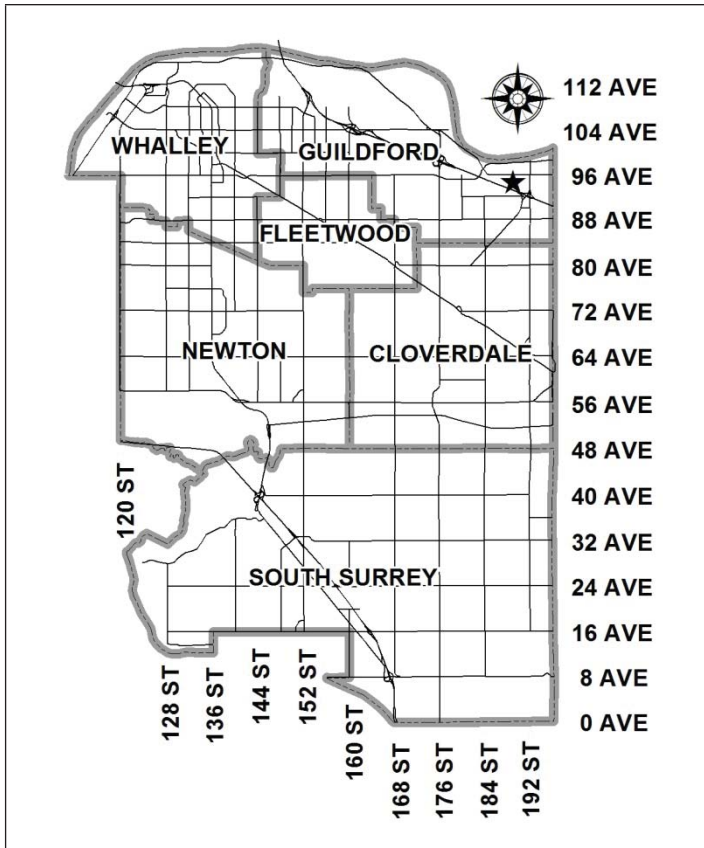
- **Rezoning** a portion from RA to IL
- **Development Variance Permit**

to permit the development of an industrial building.

LOCATION: 9425 and 9469 - 190 Street

ZONING: RA and IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning of a portion of the site.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a reduction to the minimum rear (north) yard setback of the IL Zone, from 7.5 metres (25 ft.) to 0 metres (0 ft.), as measured to the north building face of the proposed northern industrial building.
- Seeking a reduction to the minimum number of required off-street parking spaces from 57 to 45.
- Seeking a relaxation of the paving requirements for the nine (9) off-street parking spaces proposed on the northern portion of the subject site.

RATIONALE OF RECOMMENDATION

- Complies with the “Industrial” designation in the Official Community Plan (OCP).
- The proposed development will make efficient use of industrial designated land in Surrey, supporting the City’s employment lands strategy and OCP policies.
- The proposed density and building form are appropriate for this part of Port Kells.
- The proposed parking allocation is based on current business operations and staffing requirements. There is space on the site to add additional parking spaces should they be required in the future.
- The business that will operate on the site is a heavy equipment dealer with vehicles (tractors, excavators, loaders, etc.) that would damage paved parking areas. The customer and employee parking area on the south side of the lot will be paved.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the property at 9469 – 190 Street from "One Acre Residential Zone (RA)" to "Light Impact Industrial Zone (IL)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7917-0158-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metres (0 ft.), as measured to the north building face of the proposed northern industrial building;
 - (b) to reduce the number of required parking spaces from 57 to 45 spaces; and
 - (c) to waive the requirement in Part 5 Parking and Loading/Unloading of Zoning By-law No. 12000 to require that a parking area be surfaced with asphalt, concrete or similar paving for the nine (9) off-street parking spaces proposed on the north portion of the subject site.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) approval from BC Hydro;
 - (e) submission of an acceptable tree survey and a statement regarding tree preservation;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (h) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Ministry of Transportation & Infrastructure (MOTI): Preliminary approval of the rezoning is granted by MOTI for 1 year, and will expire on July 21, 2018.

SITE CHARACTERISTICS

Existing Land Use: One vacant lot (9425 – 190 Street) and one single family dwelling on an acreage lot (9469 – 190 Street), which is to be demolished.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	BC Hydro Harvie Road Substation	Industrial	RA
East (Across 190 Street):	Brandt Tractor Ltd., and automotive service use	Industrial	IL
South (Across 94 Avenue):	Finning Canada (heavy equipment distributor)	Industrial	IL
West:	Western Gasco, Technicut Industrial Supply and vacant lot.	Industrial	IL

DEVELOPMENT CONSIDERATIONSBackground and Current Proposal

- The subject site is comprised of two lots (9425 and 9469 – 190 Street) located at the northwest corner of 94 Avenue and 190 Street in Port Kells. The properties have a total area of 1.17 hectares (2.9 acres). The entirety of the subject site is designated "Industrial" in the Official Community Plan (OCP), with the northern lot (9469 – 190 Street) zoned "One Acre Residential Zone (RA)" and the southern lot (9425 – 190 Street) zoned "Light Impact Industrial Zone (IL)".
- The subject site contains two of the last remaining undeveloped lots within this portion of Port Kells, with adjacent, existing uses consisting primarily of one to two-storey light industrial buildings with outdoor parking and storage.

- The applicant is proposing to rezone the northern property (9469 – 190 Street) from "One-Acre Residential Zone (RA)" to "Light Impact Industrial Zone (IL)" in order to consolidate from two lots to one lot and develop the site for industrial use consistent with the OCP designation.
- The applicant proposes to construct two industrial buildings for use by Great West Equipment, a full-service heavy equipment dealership specializing in Volvo construction equipment. The proposed dealership will serve as the Lower Mainland headquarters for Great West Equipment and will undertake the sale, rental, and repair of heavy equipment such as loaders and excavators, similar to neighbouring businesses such as Finning and Brandt.
- The proposed 390-square metre (4,198-sq.ft.) northern building is intended primarily for large parts storage and contains a welding bay. The proposed southern building consists of a 1,174-square metre (12,637-sq. ft.) two-storey administrative office, 890-square metre (9,500-sq. ft.) warehouse, a 227 square metre (2,440 sq.ft) mezzanine, and a 1,300-square metre (14,000-sq. ft.) servicing area containing eight (8) equipment service bays and one (1) covered, drive-through wash bay.
- As the proposed northern building contains uses that are integral to the primary light-industrial use of the subject site both the proposed northern and southern building are considered principal buildings for the purposes of building setbacks and height.
- The proposed buildings are of a modern industrial character with flat roofs and a monochromatic colour scheme with a bright accent colour.
- The development proposes a floor area ratio (FAR) of 0.34, lot coverage of 27% and a maximum building height of 11.3 metres (37 ft.), which complies with the maximum 1.0 FAR, 60% coverage and 18-metre (60-ft.) building height permitted under the IL Zone.
- As the proposed industrial development abuts land only designated "Industrial" in the OCP and does not abut, nor will it be visible from an arterial road or Provincial highway a Development Permit for form and character is not required. However, since the subject proposal requires a rezoning and is seeking a variance, a design review was undertaken by staff.
- The City's mapping system identifies a Class C (green-coded) watercourse running from northwest to southeast within the subject site. Staff have confirmed the classification of the watercourse and that no protection measures are required as part of the subject application.

PRE-NOTIFICATION

- Pre-notification letters were sent on May 31, 2017 and a development proposal sign was installed on the property on June 3, 2017. To date, staff have not received any comments on the proposal.

DESIGN PROPOSAL AND REVIEW

Northern Building (Large Parts Storage and Welding)

- At the northwest corner of the site is a proposed 390-square metre (4,198-sq.ft.) large parts storage and welding building, which is approximately 9 metres (30 ft.) wide, 27 metres (89 ft.) deep and 10 metres (33 ft.) in height.
- Cladding materials for the east and south elevations of this building include vertical corrugated metal panels in stone-grey with horizontal corrugated metal banding along the parapet and corner joints in heron blue. Two overhead doors in light grey are proposed along the south elevation to permit vehicle access into the large parts storage room and welding bay.
- The north and west elevations are both proposed to be at zero setback to the north and west property lines, which requires non-combustible cladding and wall construction, and are comprised of grey pre-cast concrete with no windows or other openings.
- The IL Zone permits a reduction to one side yard setback, provided that the opposite side yard setback is a minimum of 7.5 metres (25 ft.) and that the reduced side yard abuts lands which contain commercial, mixed-employment or industrial uses. The properties to the immediate west of the subject site are designated "Industrial" in the OCP, are zoned "Light Impact Industrial Zone (IL)" and each contain two-storey light impact industrial buildings and surface parking.
- The applicant is proposing to reduce the minimum rear (north) yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metres (0-ft.) for this building (see By-law Variances section).

Southern Building (Office, Warehouse and Service Bays)

- In the centre of the site is a proposed 3,591-square metre (38,653-sq.ft.) administrative office, warehouse and vehicle/equipment servicing building.
- Cladding materials for the two-storey office include vertical corrugated metal panels in stone-grey, insulated metal panels in white and horizontal metal spandrel and parapet panels in heron-blue. Expansive aluminum framed storefront glazing provides a two-storey corner element at the southwest corner of the building. A second storey cantilevered projection supported by cedar-clad support columns further emphasizes the architectural and visual interest of the primary office entrance facing the corner of 94 Avenue and 190 Street. Black coloured ledger stone is proposed for the base of the southeast portion of the building.
- The east and south elevations face 190 Street and 94 Avenue respectively and continue the cladding and monochromatic colour scheme established at the southeast corner of the building through the combination of pre-finished metal paneling and horizontal, aluminum framed windows.
- Four (4) overhead doors in light grey are proposed for both the east and west elevations.

Outside Storage of Equipment

- Outside storage of equipment is located along the north, east and west property lines with the majority of the storage screened by landscaping. As the equipment and vehicle storage yard will be covered with crushed gravel to accommodate heavy loads, a Development Variance Permit (DVP) is required to waive the requirements in the Zoning By-law for the surface parking stalls in this area to be paved with asphalt, concrete or similar pavement (see By-law Variances Section).

Pedestrian Circulation

- One pedestrian linkage is proposed at the southeast corner of the site, connecting the primary entrance to 190 Street.

Parking, Access and Circulation

- The proposed buildings will be accessed by three (3) vehicular entrances. The main vehicular entry to the employee and visitor parking lot will be provided via access from 94 Avenue, at the south of the site. An additional driveway from 190 Street will provide access to 14 underground parking spaces. Truck and heavy-equipment access will be provided via 9-metre (30-ft.) wide entrances from both 94 Avenue and 190 Street, at the southwest and northeast corners of the site respectively. A 9-metre (30-ft.) by 24-metre (80-ft.) queuing area is proposed for a portion of the southern parking area, to the immediate west of the south building, to allow for overnight drop-off of equipment and vehicles for servicing.
- The proposal includes a total of 45 parking spaces which is less than the 57 parking spaces required under Surrey Zoning By-law No. 12000, as summarized in the following table:

Proposed Use	Gross Floor Area (GFA)	Part 5 Parking Requirements	No. of stalls required
Light Industrial	2,808 square metres (30,225 sq.ft.)	1 space per 100 m ² [1,075 ft ²] of <i>gross floor area (gfa)</i>	28 parking stalls
Administrative Office	1,174 square metres (12,466 sq.ft.)	2.5 spaces per 100 m ² [1,075 ft ²] of <i>gross floor area (gfa)</i> for a building outside of City Centre	29 parking stalls
No. of Stalls Required			57 parking stalls
No. of Stalls Provided			45 parking stalls
Stall Deficiency			12 parking stalls

- Twenty-two (22) parking stalls are located in the southeast corner of the site, adjacent to the primary entrance of the two-storey office, warehouse and service building. An additional fourteen (14) parking stalls are located in the underground parking facility, and a further nine (9) parking stalls within the gated vehicle and equipment storage yard.
- The site plan allows for vehicle circulation between the front and rear of the building via the southwest (94 Avenue) vehicular access. Access to the northern portion of the subject site will be provided by the 94 Avenue vehicular access, which will be used primarily for truck and heavy equipment access.

- The proposal includes two (2) loading bays, located in the rear of the south building (north elevation) and away from public view, for the small parts warehouse and servicing area.
- The applicant is requesting a Development Variance Permit (DVP) to bring the subject site into compliance with the parking requirements of the Surrey Zoning By-law (see By-law Variances section).

Trees, Landscaping and Retaining Walls

- A 4-metre (13 ft.) to 7.5-metre (25-ft.) wide landscaped buffer is proposed along the east and south property lines and consists of 31 deciduous trees, including oak and pear trees, and a variety of low-lying shrubs and perennials. The proposed buffer will help transition the grade from the proposed vehicle parking area along the east portion of the subject site down to the 190 Street right-of-way, with an approximate slope of 4:1.
- Within the southern parking lot, the applicant proposes four (4) landscape islands, containing Eastern redbud trees and various low-lying grasses and perennials, which will include a minimum of 10 cubic metres (353 cubic feet) of structural soil to ensure healthy trees.
- The entire perimeter of the vehicle storage yard will be fenced with a 1.8-metre (6-ft.) high black vinyl-coated chain-linked fence. Security gates will be provided for both the 94 Avenue and 190 Street driveways to permit access and circulation.
- The garbage enclosure is located to the northwest of the primary building and will be screened from 94 Avenue by landscaping and from the adjacent properties to the west via the 1.8-metre black vinyl-coated chain link fencing.
- A pad-mounted transformer (PMT) is located adjacent to the 190 Street underground parking entrance, and will be partially screened by low-lying grasses.
- As the subject site slopes downward approximately 4 metres (25 ft.) from the southwest corner to the northeast corner the applicant is proposing a retaining wall that ranges from 0.55 metres (2 ft.) to 2.4 metres (8 ft.) in height along the west property line to assist with the levelling of the site and grade transition between the proposed equipment storage yard and the neighbouring properties to the west.

Signage

- There are two (2) fascia signs proposed, located on the south and west façades of the two-storey office portion of the south building. The proposed fascia signs will be comprised of individual, white-coloured, raised aluminum letters. The proposed signage will be illuminated through down-cast strip lighting installed along the parapet of the proposed building.
- The proposed signage consists of high-quality, durable materials and is appropriate in both design and scale for the area around 94 Avenue and 190 Street, which consists primarily of light industrial uses. The proposed signage complies with the Sign By-law.

TREES

- Jeff Ross, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	3	3	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	5	5	0
Birch	1	1	0
Cherry	1	1	0
Lombardy Poplar	6	6	0
Maple	1	1	0
Sitka Willow	2	2	0
Coniferous Trees			
Douglas Fir	1	1	0
Total (excluding Alder and Cottonwood Trees)	17	17	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		31	
Total Retained and Replacement Trees		31	
Contribution to the Green City Fund		\$2,400.00	

- The Arborist Assessment states that there are a total of 17 protected trees on the site, excluding Alder and Cottonwood trees. Three existing trees, approximately 15% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading and surfacing.
- There are five (5) off-site trees located within the BC Hydro property to the immediate north of the subject property (9495 – 190 Street). The applicant has obtained authorization from BC Hydro for the removal of the trees in association with proposed on-site works and services.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 37 replacement trees on the site. Since only 31 replacement trees can be accommodated on the site, the deficit of six (6) replacement trees will require a cash-in-lieu payment of \$2,400, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- The new trees on the site will consist of a variety of trees including Eastern Red Bud, Yellow Cedar, Chanticleer Pear and Upright English Oak.
- In summary, a total of 31 trees are proposed to be replaced on the site with a contribution of \$2,400 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 21, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in Port Kells and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The applicant is proposing 31 trees as part of the development. • Recycling facilities will be provided on site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Natural access control by clearly defining entries to both the building and outdoor storage areas; and ○ Exterior lightning to provide visibility on site.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

- The proposal was not referred to the Advisory Design Panel (ADP), but was reviewed internally by staff and found to be acceptable.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum rear yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metres (0 ft.).

Applicant's Reasons:

- The proposed northern industrial building will consist of a welding bay and large parts storage facility, proposed uses which require a physical separation from the main office and warehouse facilities due to air quality and noise control concerns. The proposed variance is requested in order to maximize heavy equipment storage and vehicle maneuverability on the northern portion of the property, between the two proposed industrial buildings.

Staff Comments:

- The proposed rear yard setback reduction will have little impact on the adjacent properties to the north (9495 – 190 Street) and west (9466 – 189 Street), which contain a BC Hydro sub-station and an existing industrial building respectively.
- BC Hydro has granted preliminary approval to the proposed development. Any additional BC Hydro-related requirements will be addressed prior to final adoption of the subject Rezoning By-law.
- Staff support the variance.

(b) Requested Variance:

- To reduce the minimum number of required off-street parking spaces required for two proposed industrial buildings in the Zoning By-law from 57 to 45.

Applicant's Reasons:

- The proposed development is considered a purpose-built industrial building for Great West Equipment, a full-service heavy equipment dealership specializing in Volvo construction equipment.
- The applicant has indicated that current business operation in Surrey employs approximately 28 individuals, 14 of which are either technicians or territory managers who work predominantly off-site. Furthermore, the proposed business does not produce a high level of walk-in traffic, instead relying upon phone orders and "direct-to-work site" delivery of equipment. Although the proposed development would constitute a minor expansion over the current location, the applicant has stated that the proposed use should only generate an employee and customer parking demand of between 30 to 35 spaces, well below the 57 parking spaces required under the Zoning By-law.

Staff Comments:

- The applicant has demonstrated that space is available on the subject site to accommodate an additional 12 off-street parking spaces, thereby complying with the parking requirement provisions of the Zoning By-law, should the property be sold and the proposed building be utilized by a different owner in the future (see Appendix II, Site Plan).
- The proposed use is not expected to generate significant pressures on the existing on-street parking adjacent to the subject property.
- Staff support the variance.

(c) Requested Variance:

- To waive the requirement in Part 5 Off-Street Parking and Loading/Unloading of Zoning By-law No. 12000 that requires all parking areas to be paved with asphalt, concrete or similar pavement for nine (9) proposed parking spaces in the northern portion of the site.

Applicant's Reasons:

- As a heavy equipment dealership the proposed use requires the movement, storage and maintenance of equipment and machinery (i.e., construction loaders, compactors, excavators, etc.) that will damage any pavement in the parking area.

Staff Comments:

- The Off-Street Parking and Loading/Loading provisions in the Zoning By-law require all parking areas to be paved with asphalt, concrete or similar pavement to prevent the generation of dust.
- The gravel parking area will be setback at least 7.5 metres (25 ft.) from the front and side (east) property line and landscaped with trees and a planting bed, which will lessen any dust from settling along 94 Avenue and 190 Street. The dust generated from the site will have little impact on the existing BC Hydro sub-station to the north, or on the industrial buildings to the west.
- The proposed variance will only apply to the nine (9) off-street parking spaces proposed for the north portion of the subject site. The proposed south parking lot, containing 22 off-street parking spaces, will be paved in compliance with the paving provisions of the Zoning By-law.
- The proposed crushed gravel surfacing in the parking area will create a more permeable surface for storm water drainage for the site.
- Staff support the variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary (Confidential) and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Development Variance Permit No. 7917-0158-00

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CRL/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
LOT AREA* (in square metres)			
Gross Total		11,708.65 m ²	
Road Widening area			
Undevelopable area			
Net Total	1,800 m ²	11,708.65 m ²	
LOT COVERAGE (in % of net lot area)			
Buildings & Structures	60%	26.4%	
Paved & Hard Surfaced Areas			
Total Site Coverage			
SETBACKS (in metres)		Northern Building	Southern Building
Front	7.5 m	92 m	19.4 m
Rear	7.5 m	0.0 m*	24.6 m
Side #1 (East)	7.5 m	74 m	14.4 m
Side #2 (West)	0.0 m	0.0 m	28.5 m
BUILDING HEIGHT (in metres/storeys)		Northern Building	Southern Building
Principal	18 m	11.32 m	10.2 m
Accessory			
		Northern Building	Southern Building
FLOOR AREA: Commercial			
Office		0 m ²	1,174 m ²
Total			
FLOOR AREA: Industrial		390 m ²	2417 m ²
TOTAL BUILDING FLOOR AREA		390 m ²	3591 m ²

* Seeking a variance to Zoning By-law.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.32
FAR (net)	1.0	0.34
PARKING (number of stalls)		
Commercial (Administrative Office)	29	
Industrial	28	
Total Number of Parking Spaces	57	45
Number of accessible stalls	1	1

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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NOTES:

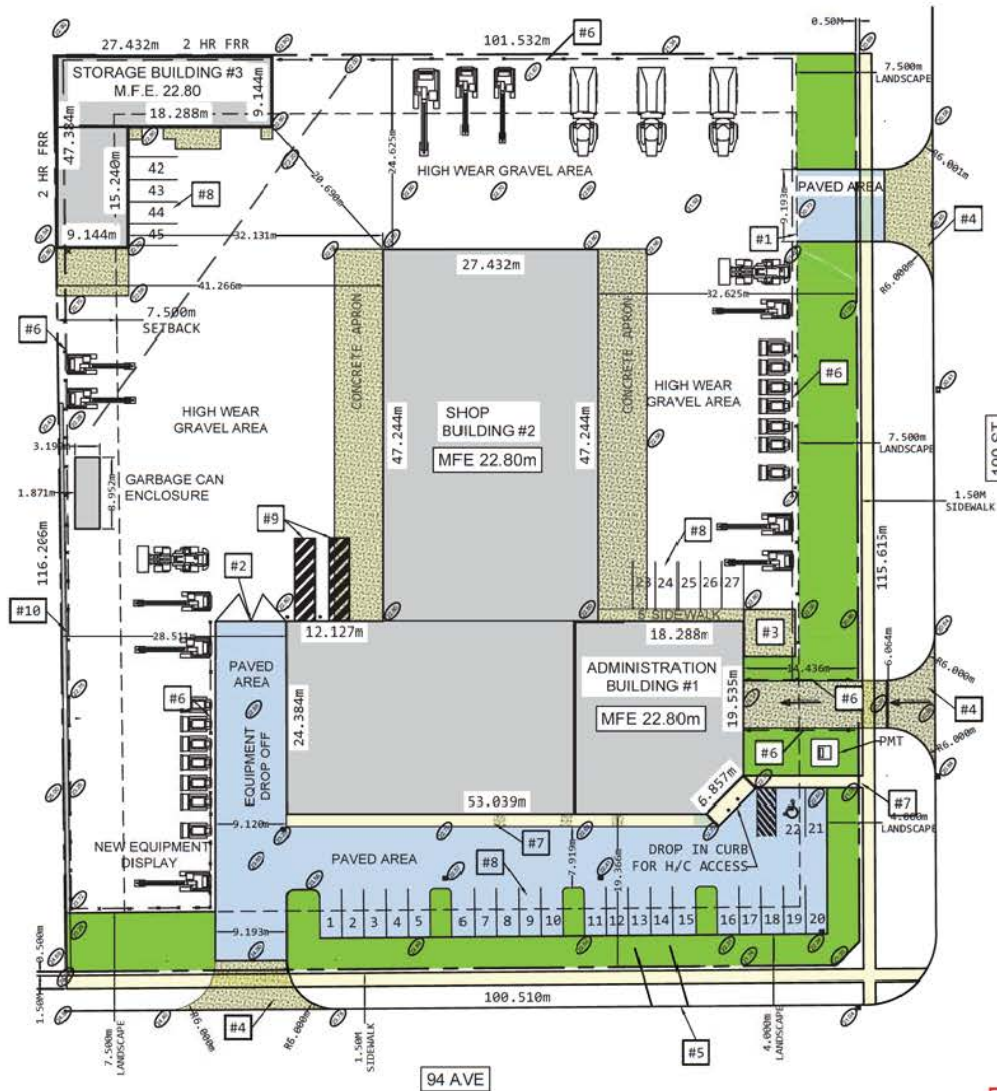
- #1 10M W X 2M H CHAIN LINKED SLIDING GATE (BLACK)
- #2 2 X 4.5M W X 2M H CHAIN LINKED SWING GATES
- #3 4M X 4M CONCRETE PAD FOR STAFF USE
- #4 6M WIDE CONCRETE LET DOWN AT ROAD CURB ACCESSES
- #5 REPAIR CURB TO MATCH EXISTING CURB AT CURRENT ACCESS ROAD
- #6 6'-0" HIGH BLACK CHAIN LINK FENCE, BLACK
- #7 1.5m WIDE CONC. SIDEWALK
- #8 PARKING STALL, 2.8 W x 6.096m TYP.
- #9 OFF STREET LOADING BAY
- #10 LOCK BLOCK WALL

HATCH LEGEND

- BUILDING
- LANDSCAPING
- CONCRETE
- PAVED

VARIANCES REQUIRED

- 1) PARKING 57 STALLS TO 45 STALLS
- 2) REAR YARD SETBACK(7.5m to 0m)
- 3) PAVING REQUIREMENTS (9 STALLS IN THE NORTH FORTION)



SITE PLAN

SCALE 1:600

PARKING STALLS 28 TO 41 LOCATED UNDERGROUND SEE. A2.2. FOR DETAILS



9500 BRANT TRACTOR

9444 NWWEISEL

19005 IAMAW

190 ST

94 AVE



ECONOSPAN
STRUCTURES

DESIGNED BY:
SHUSWAP DESIGN INC.

PREPARED BY:
SHUSWAP DESIGN INC.

PROJECT:
**GREAT WEST EQUIPMENT
SURREY, BC**

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Rev#	Description	Date	By
1	ISSUED FOR DP	3/17	WS
2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR
4	190 ST. ACCESS	11/9	DN

Drawn By:
D. BROWN

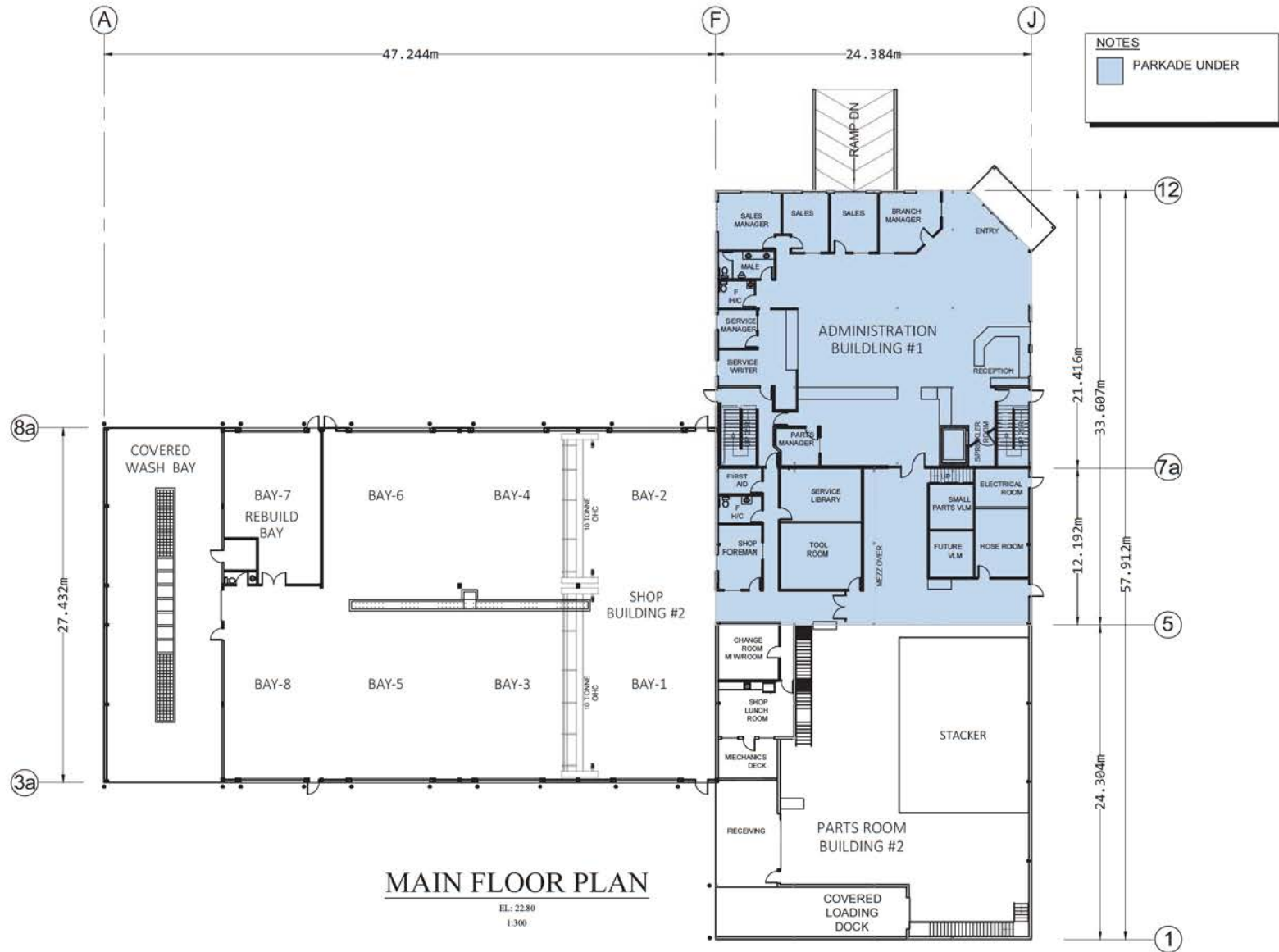
Checked By:
W. S.

Designed By:
D. NELSON

Date:
Nov. 9, 2017

Draw #:
A1.1

Rev:
4



NOTES
 ■ PARKADE UNDER



MAIN FLOOR PLAN

EL.: 22.80
 1:300

Blunde Architect Ltd.
 200-503-3000 www.blunde.ca

Building by:
ECONOSPAN
 STRUCTURES

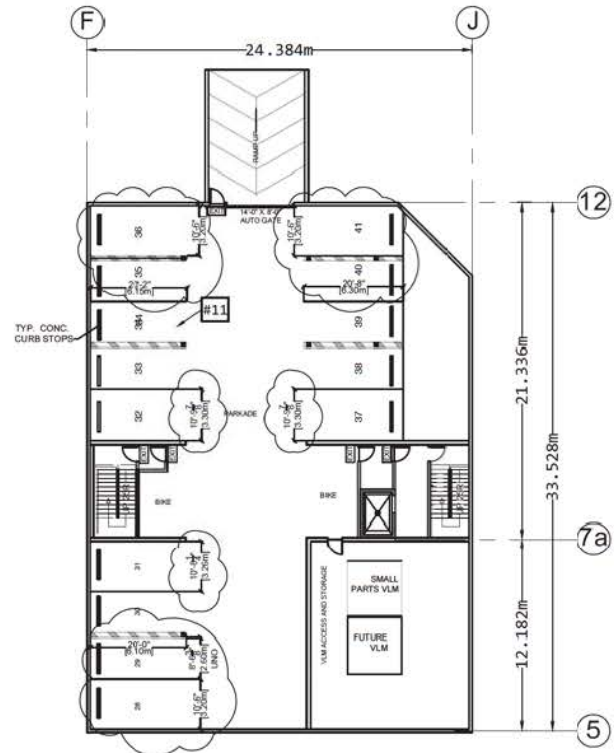
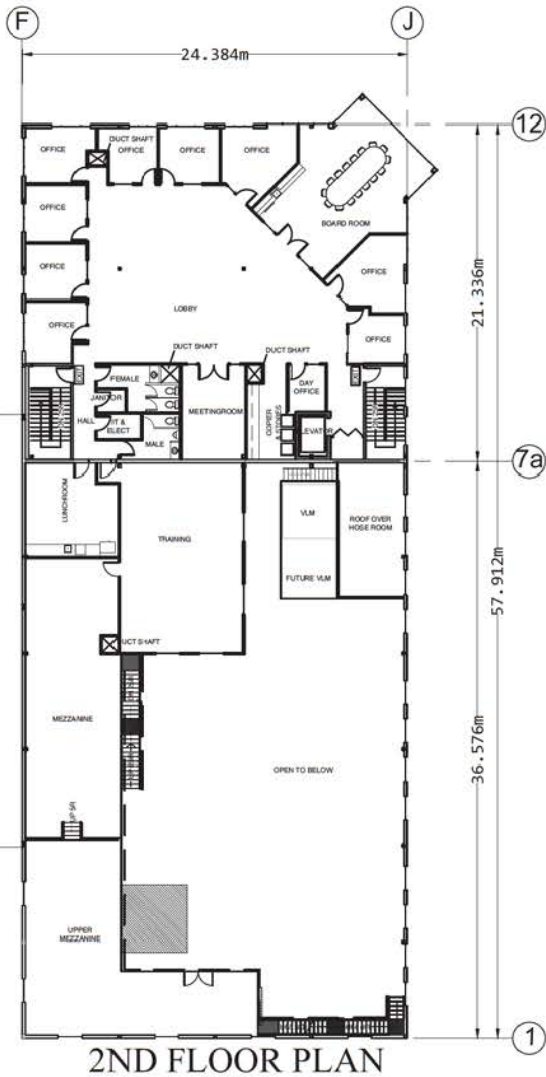
Designed by:
SHUSWAP DESIGN INC.
 888-818-1388 PHONE (250) 476-1388
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Project:
GREAT WEST EQUIPMENT
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3	RESUB. FOR DP	8/24	KR

Drawn by:
K. RANKIN
 Checked by:
D. NELSON
 Date: AUG. 24, 2017 Draw # **A2.1**



BASEMENT FLOOR PLAN

EL: 19.14
1:300

NOTES:
#11 PARKADE STALL
2.60m w x 6.10m MIN. TYP. UNC



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200-5013 3000
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ECONOSPAN
STRUCTURES

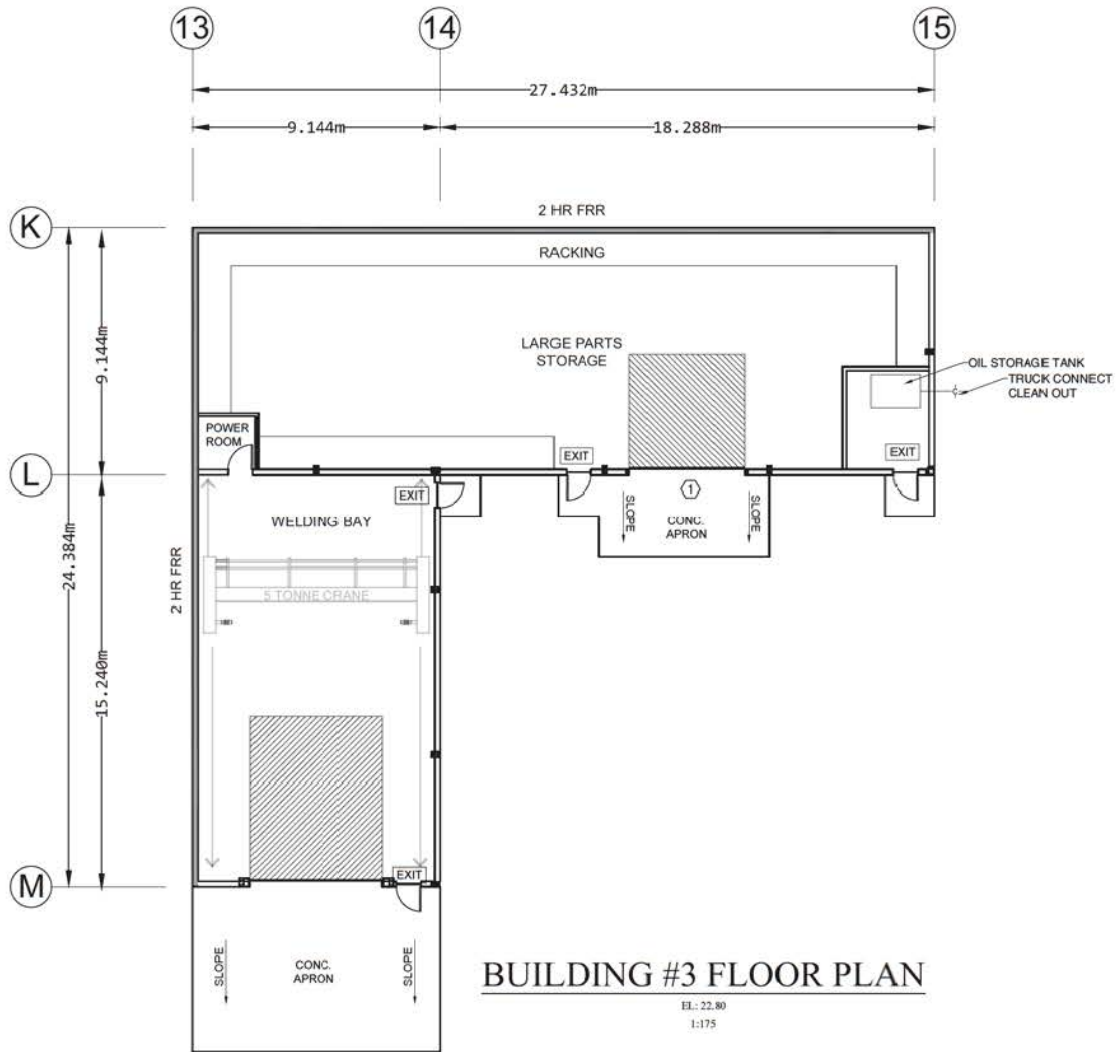
Designed By:
SHUSWAP DESIGN INC.
BRIE, SUTER, CORP. PHONE: (250) 476-1488
GRADE, BC: V8B 1M6 FAX: (250) 476-4222

Project:
GREAT WEST EQUIPMENT
SURREY, BC

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3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
Designed By:
D. NELSON
Checked By:
W. S.
Date:
Oct. 24, 2017
Drawn By:
A2.2



Klunde Architect Ltd
 250-523-3300 www.klunde.ca

ECONOSPAN
 STRUCTURES

Designed By:
SHUSWAP DESIGN INC.
 888-878-2777

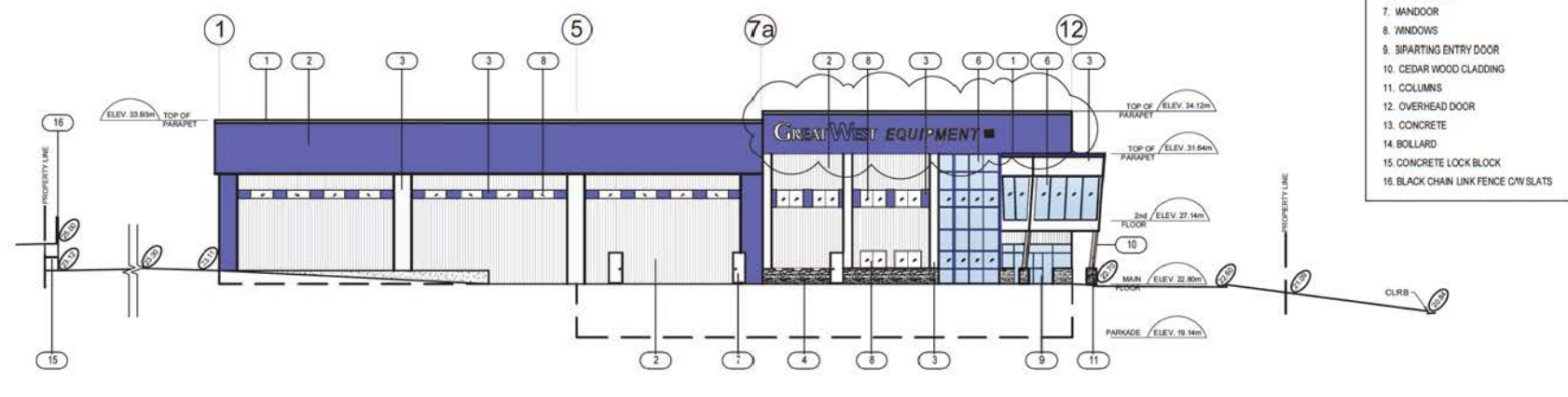
Project:
 GREAT WEST EQUIPMENT
 SURREY, BC

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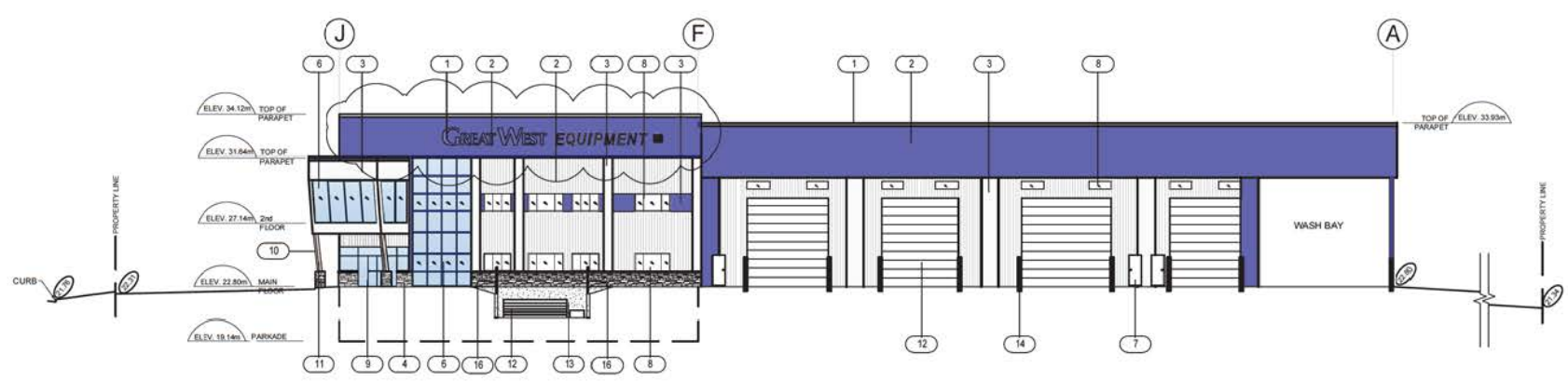
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2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
 Checked By:
D. NELSON / **W.S.**
 Date: Oct. 24, 2017
 Drawn: **A2.3**

- MATERIAL LEGEND**
1. FLASHING
 2. METAL CLADDING
 3. METAL CLADDING ACCENT STRIP
 4. LEDGER STONE
 5. PRECAST CONCRETE WALL
 6. CURTAIN WALL
 7. MANDOOK
 8. WINDOWS
 9. SIPARTING ENTRY DOOR
 10. CEDAR WOOD CLADDING
 11. COLUMNS
 12. OVERHEAD DOOR
 13. CONCRETE
 14. BOLLARD
 15. CONCRETE LOCK BLOCK
 16. BLACK CHAIN LINK FENCE CW SLATS



SOUTH ELEVATION
1:300



WEST ELEVATION
1:300

Maude Architect Ltd.
200-503-3000 www.maudeltd.com

Building By:
ECONOSPAN
STRUCTURES

Designed By:
SHUSWAP DESIGN INC.
BRIE SUTER, CORP. PHONE: (250) 476-1488
DANIEL B. VAN DER BRUG FAX: (250) 476-1422

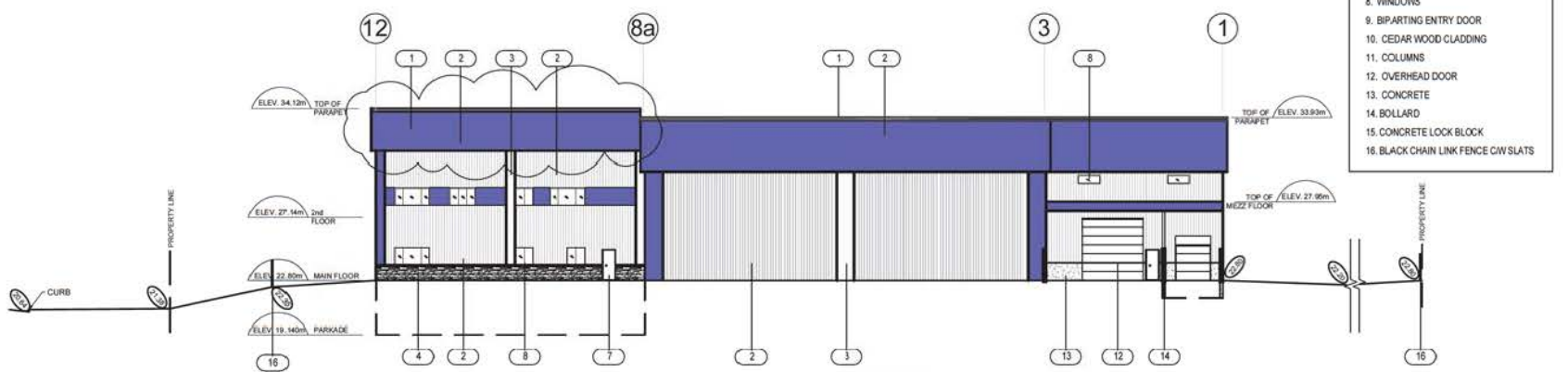
Project:
GREAT WEST EQUIPMENT
SURREY, BC

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3	RESUB. FOR DP	8/24	KR

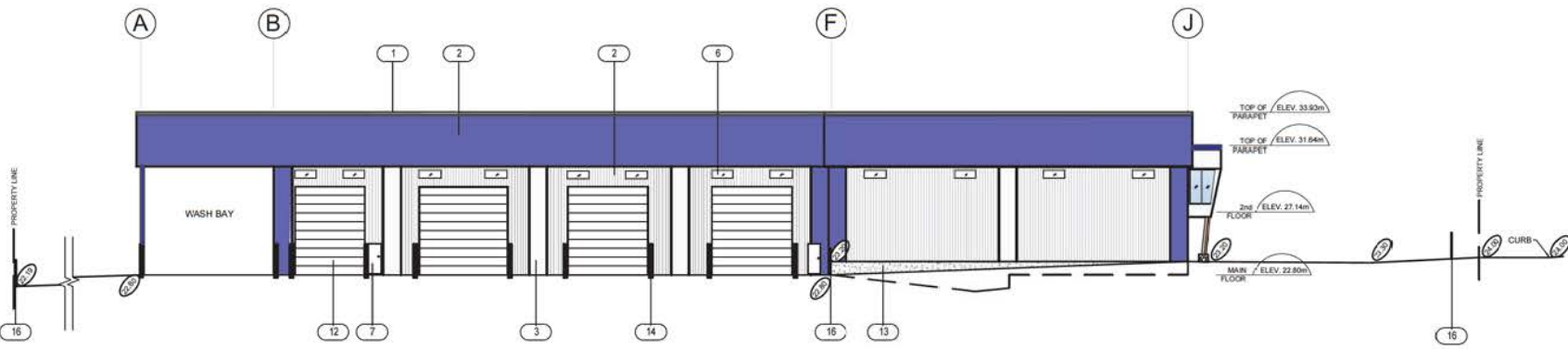
Drawn By:
ELEVATIONS
K.S. 17-621
K. RANKIN
Designed By:
D. NELSON
Checked By:
W. S.
Date:
Oct. 24, 2017
Drawn #:
A3.1

- MATERIAL LEGEND**
1. FLASHING
 2. METAL CLADDING
 3. METAL CLADDING ACCENT STRIP
 4. LEDGER STONE
 5. PCAST CONCRETE WALL
 6. CURTAIN WALL
 7. MANDOOK
 8. WINDOWS
 9. BIPARTING ENTRY DOOR
 10. CEDAR WOOD CLADDING
 11. COLUMNS
 12. OVERHEAD DOOR
 13. CONCRETE
 14. BOLLARD
 15. CONCRETE LOCK BLOCK
 16. BLACK CHAIN LINK FENCE CW SLATS



NORTH ELEVATION

1:300



WEST ELEVATION

1:300



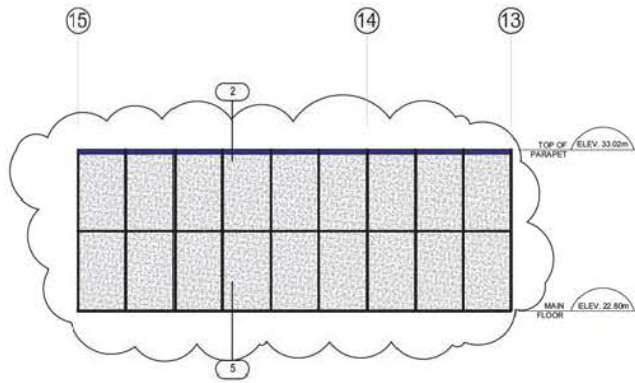
Designed By:
SHUSWAP DESIGN INC.
BRIE SUTER, CORP. PHONE: (250) 476-1488
DANIEL B. VOR 1960 FAX: (250) 476-1422

Project:
GREAT WEST EQUIPMENT
SURREY, BC

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1	ISSUED FOR DP	3/17	WS
2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
Designed By:
D. NELSON
Date:
Oct. 24, 2017
Checked By:
W. S.
Drawn By:
A3.2

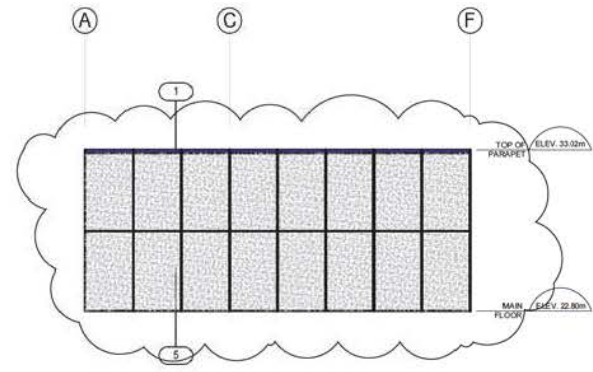


NORTH ELEVATION

1:300

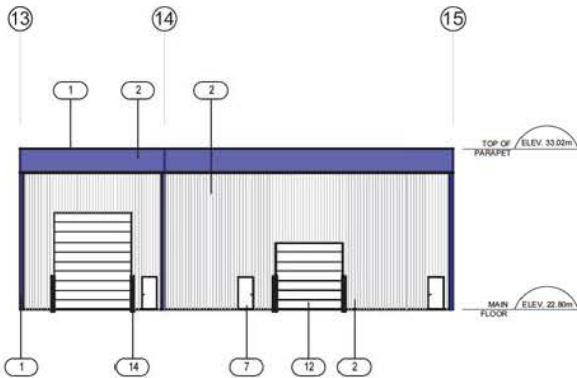
MATERIAL LEGEND

1. FLASHING
2. METAL CLADDING
3. METAL CLADDING ACCENT STRIP
4. LEDGER STONE
5. PRECAST CONCRETE WALL
6. CURTAIN WALL
7. MANDOR
8. WINDOWS
9. BIPARTING ENTRY DOOR
10. CEDAR WOOD CLADDING
11. COLUMNS
12. OVERHEAD DOOR
13. CONCRETE
14. BOLLARD



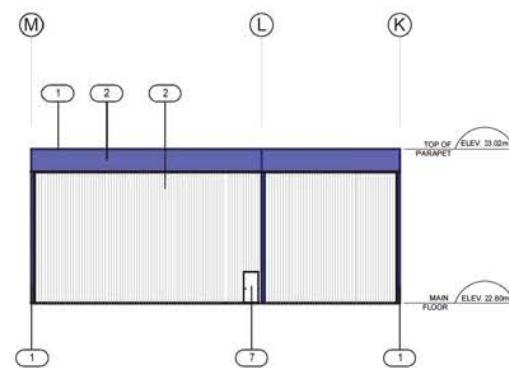
WEST ELEVATION

1:300



SOUTH ELEVATION

1:300



EAST ELEVATION

1:300



Designed By:
SHUSWAP DESIGN INC.
BRC SITE & COMP. PHONE: (250) 476-1888
GRADE, BC: V8B 1M6 FAX: (250) 476-1822

Project:
GREAT WEST EQUIPMENT
SURREY, BC

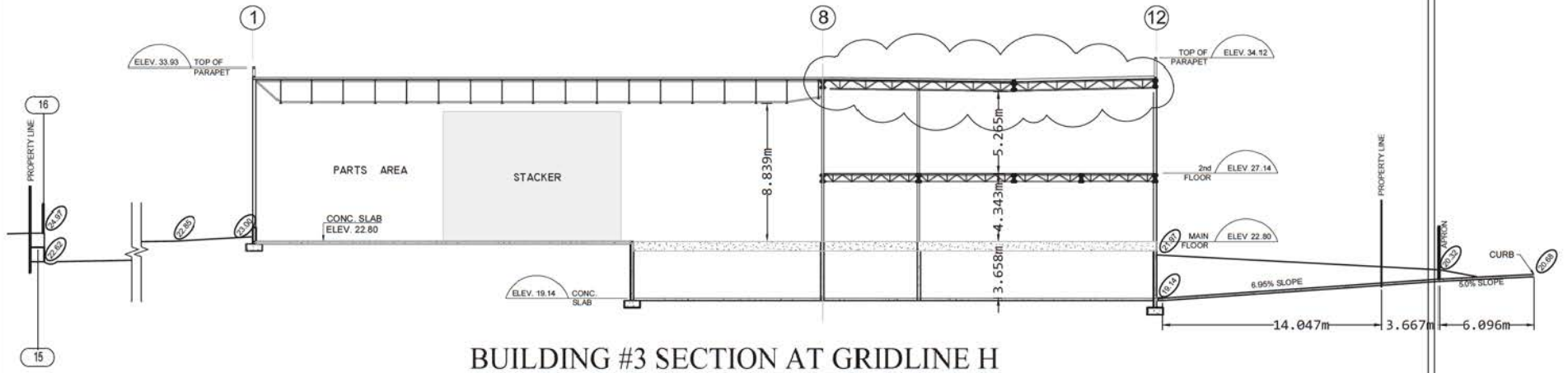
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3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
Checked By:
D. NELSON
Date: Oct. 24, 2017
Drawn At: **A3.3**

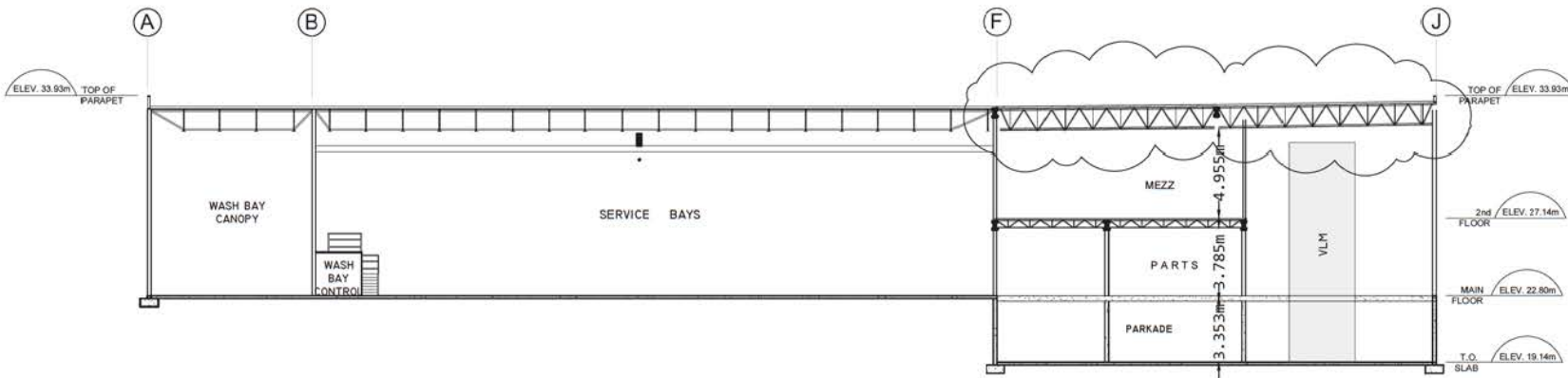
MATERIAL LEGEND

- 15. CONCRETE LOCK BLOCK
- 16. BLACK CHAIN LINK FENCE C/W SLATS



BUILDING #3 SECTION AT GRIDLINE H

1:250



**BUILDING SECTION AT
GRIDLINE 6**

1:250



Building No: **ECONOSPAN**
STRUCTURES

Designed By: **SHUSWAP DESIGN INC.**

BBG SITE & COMP. PHONE: (250) 476-1488
DRAWDG. NO: 1001-1001 FAX: (250) 476-1422

Project: **GREAT WEST EQUIPMENT
LANGLEY, BC**

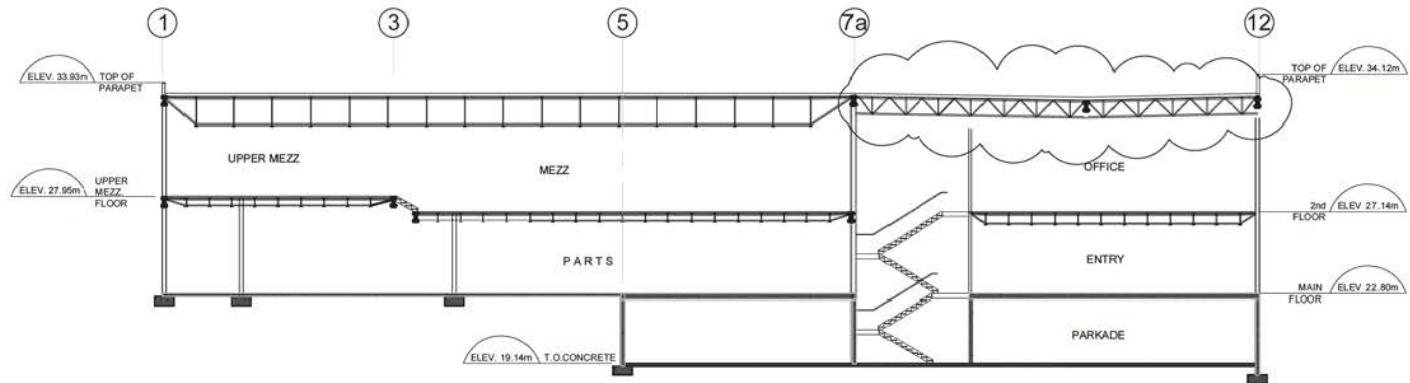
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Draw Title: **BUILDING SECTION**
REF: **ES-15-621**

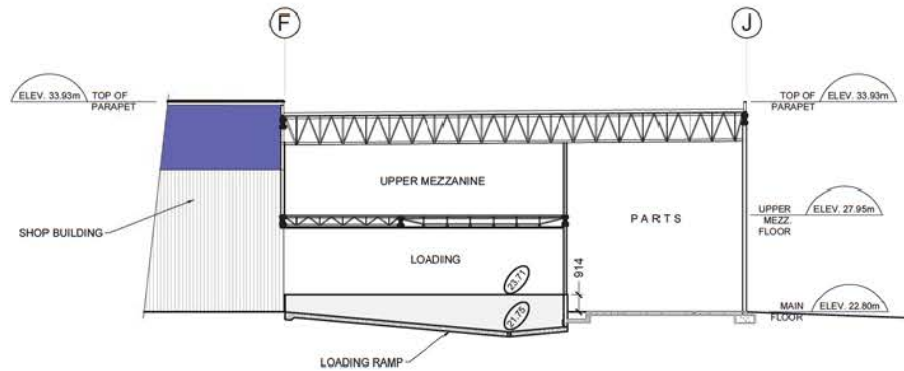
Drawn By: **K. RANKIN**
Designed By: **D. NELSON**

Date: **Oct. 24, 2017** Draw #: **A4.1**



BUILDING SECTION OFF GRIDLINE F

1:250



BUILDING SECTION OFF GRIDLINE 1

1:250



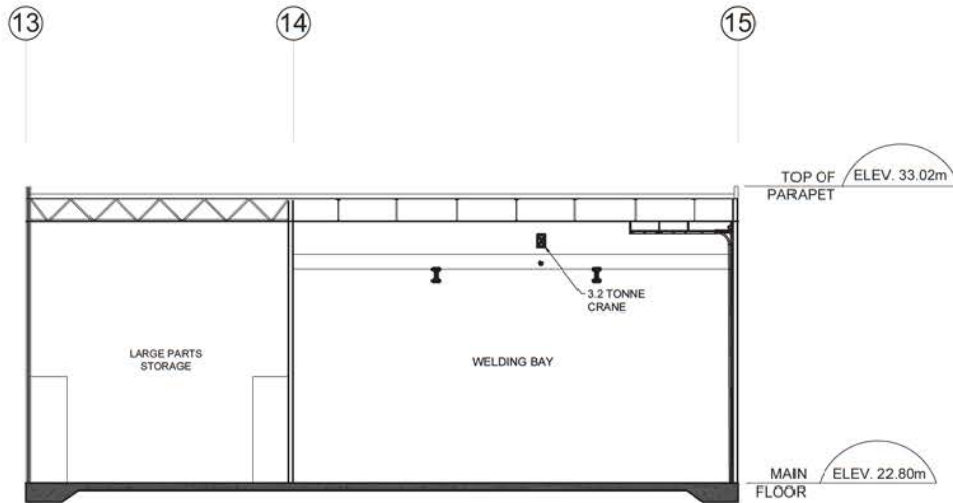
Designed By:
SHUSWAP DESIGN INC.
BRC SITE & COMP. CHAIR: VIKI LAM
PENCE: (604) 476-1488 FAX: (604) 476-1422

Project:
**GREAT WEST EQUIPMENT
LANGLEY, BC**

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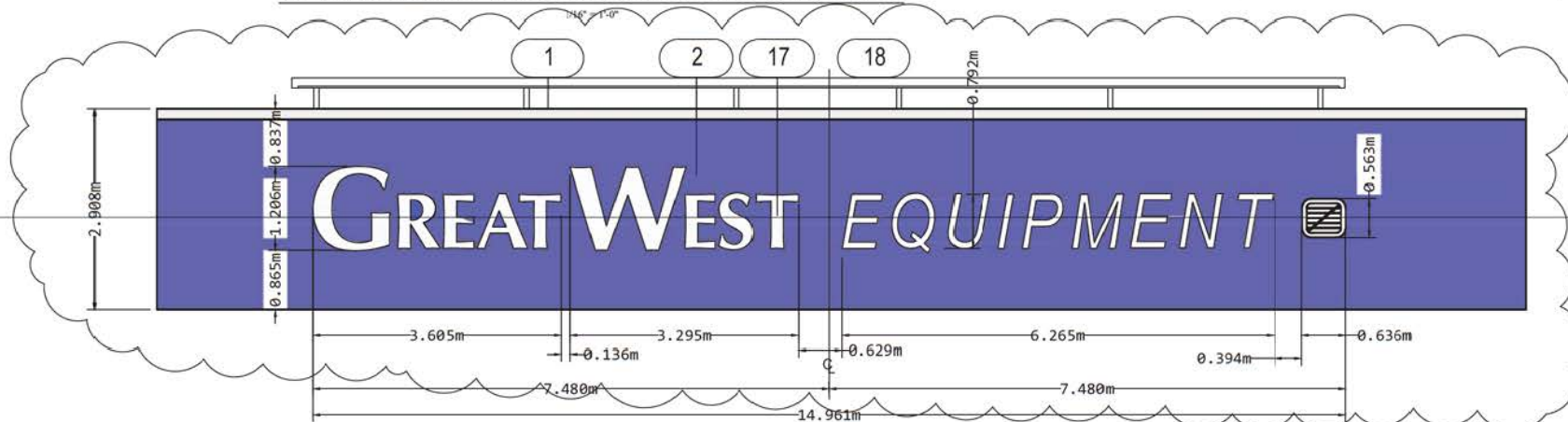
Drawn By:
K. RANKIN
Designed By:
D. NELSON
Date:
Oct. 24, 2017
Checked By:
W. S.
Drawn By:
A4.2



MATERIAL LEGEND

1. FLASHING
2. METAL CLADDING
3. METAL CLADDING ACCENT STRIP
4. LEDGER STONE
5. PRECAST CONCRETE WALL
6. CURTAIN WALL
7. MANDOOR
8. WINDOWS
9. BIPARTING ENTRY DOOR
10. CEDAR WOOD CLADDING
11. COLUMNS
12. OVERHEAD DOOR
13. CONCRETE
14. BOLLARD
15. CONCRETE LOCK BLOCK
16. BLACK CHAIN LINK FENCE C/W SLATS
17. RAISED ALUMINUM LETTERING
18. O/H/HEAD LIGHTING STRIP

BUILDING #3 SECTION OFF GRID LINE K



SIGNAGE ON PARAPET
CENTERED ON SOUTH AND EAST PARAPETS

1/16" = 1'-0"



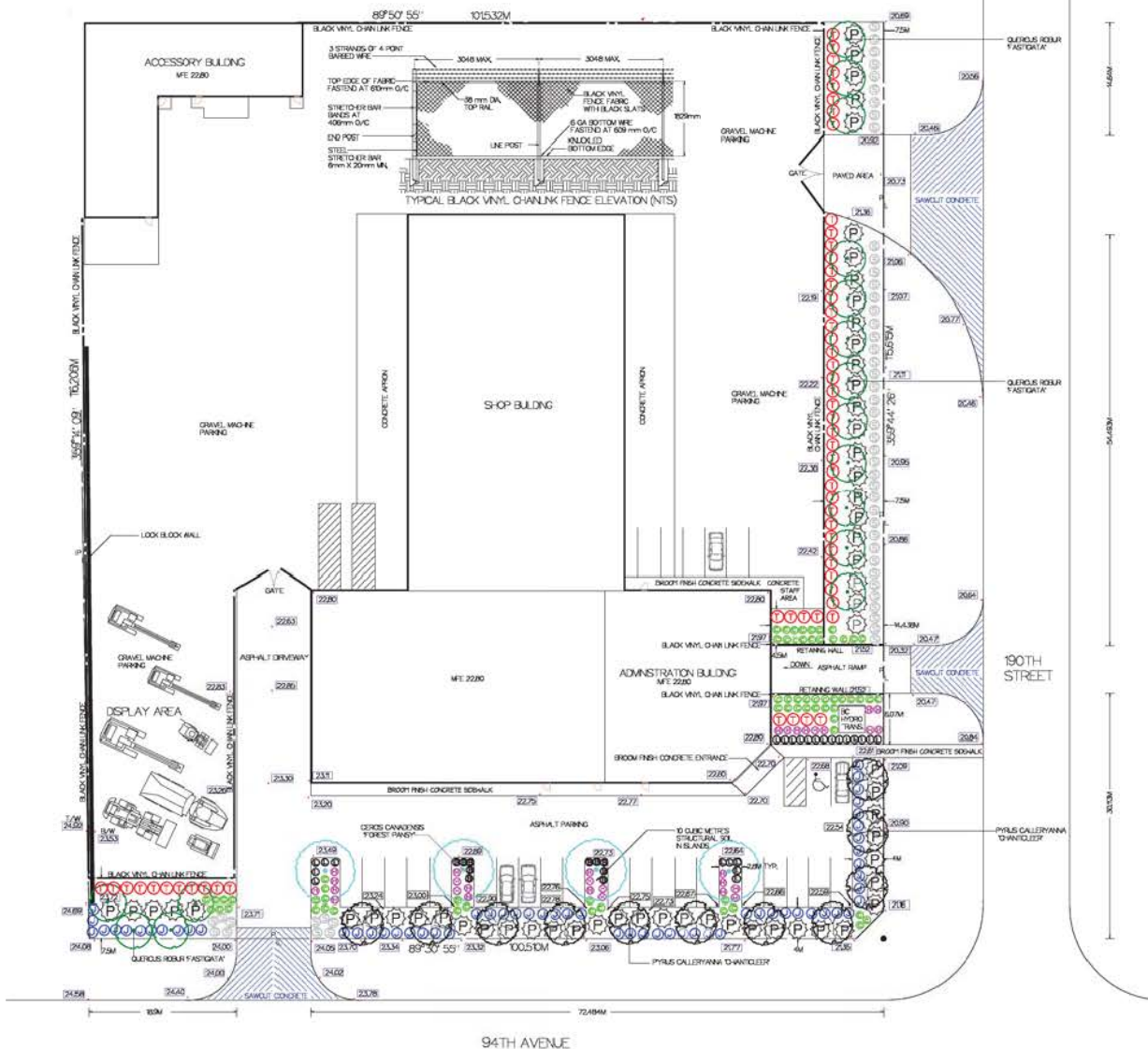
Designed By:
SHUSWAP DESIGN INC.
BRIE, SUTER, CORP. PHONE: (604) 474-3488
LANGLEY, BC V8M 1M6 FAX: (604) 474-3422

Project:
GREAT WEST EQUIPMENT
LANGLEY, BC

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3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
Designed By:
D. NELSON
Checked By:
W. S.
Date:
Oct. 24, 2017
Drawn #:
A4.3



PLANT SCHEDULE			GWE PROJECT NUMBER ES-17-621	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE
TREE	4	CERES CANADENSIS FOREST PANSY*	EASTERN RED BUD	5 CM CAL.
5	CHAMAECYPARIS NODIKATENSIS	YELLOW CEDAR	3M TALL	
11	PYRUS CALLERYANA 'D'ANTICLEER	D'ANTICLEER PEAR	5 CM CAL.	
16	QUERUS ROBUR 'FASTIGIATA'	UPRIGHT ENGLISH OAK	5 CM CAL.	
SHRUB	58	BERBERIS THUNBERGI	JAPANESE BARBERRY	#2 POT
61	JUNPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNPER	#2 POT	
59	FINUS MUGO 'PUMPKIN'	DWARF MUGO PINE	#3 POT	
52	SPRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPREA	#2 POT	
GRASS	64	CALAMAGROSTIS ACUTIFLORA KARL FODRSTER	FOEDSTER REED GRASS	\$1 POT
30	HELICTROTID-ON SEMPERVENS	BLUE OAT GRASS	\$1 POT	
PERENNIAL	14	BERGONIA CORDIFOLIA 'PURPUREA'	HEARTLEAF BERGONIA	\$1 POT
24	LAVENTULLA ANGLUSTFOLIA 'HOODIE BLUE'	ENGLISH LAVENDER	\$1 POT	

NOTES:
 - ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD LATEST EDITION, ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY,
 - TREES ARE 1 METRE FROM PROPERTY LINE.
 - TREES ARE 3 METRES FROM ALL FENCES.
 - TREES ARE MINIMUM 2 METRES FROM PARKING.
 - TREES IN PARKING ISLANDS HAVE MINIMUM 10 CUBIC METRES STRUCTURAL SOIL AT 0.6 METRES DEEP.
 - 37 REPLACEMENT TREES REQD, 31 TREES SHOWN ON PLAN, 6 TREES IN DEFICIENCY.
 - 10 OFF SITE REPLACEMENT TREES REQD, 5 TREES ON PLAN, 5 TREES IN DEFICIENCY

2056 GRADE MARKERS IN METRES.
 ALL ELEVATIONS REFER TO CONTROL MONUMENT 8799 LOCATED AT 94TH AVE & 190 ST, ELEVATION 20,75M

PROJECT:
GREAT WEST EQUIPMENT SALES AND SERVICE
 9469-190 STREET,
 SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLAN



DATE: 19 OCT 2017
 SCALE: 1" = 48'
 DRAWN: PAT DILLON
 DESIGN: PAT DILLON
 C-KD: DOUG NELSON

DRAWING NUMBER:
L1

0 1 2 3 4 5
 METRES
 0 1 2 3 4 5
 FEET
 SCALE 1"=12'

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: November 10, 2017 PROJECT FILE: **7817-0158-00**

**RE: Engineering Requirements (Industrial)
Location: 9425/9469 190 Street**

REZONE / SUBDIVISION

Property and Right-of-Way Requirements

- dedicate a 3.0 by 3.0 metre corner cut truncation at the southeast corner of the site

Works and Services

- confirm the structural capacity of the fronting roads, and if necessary upgrade the north half of 94 Avenue and the west side of 190 Street for the site frontage
- install onsite sustainable drainage features
- confirm adequacy of existing service connections proposed for use, alternatively replace with new

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

KMH

Tree Preservation Summary

Surrey Project No: TBD

Address: 9425 & 9469-190 Street

Registered Arborist: Jeff Ross #PN-7991A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	20
Protected Trees to be Removed	20
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 3 X one (1) = 3 - All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = 34	37
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: September 21, 2017



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN
 9425 9469 190 STREET
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	MAR0817	MK	SITE PLAN
2	AUG2817	MK	REVISED SITE PLAN
3	SEPT1517	MK	UPDATED SURVEY

SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

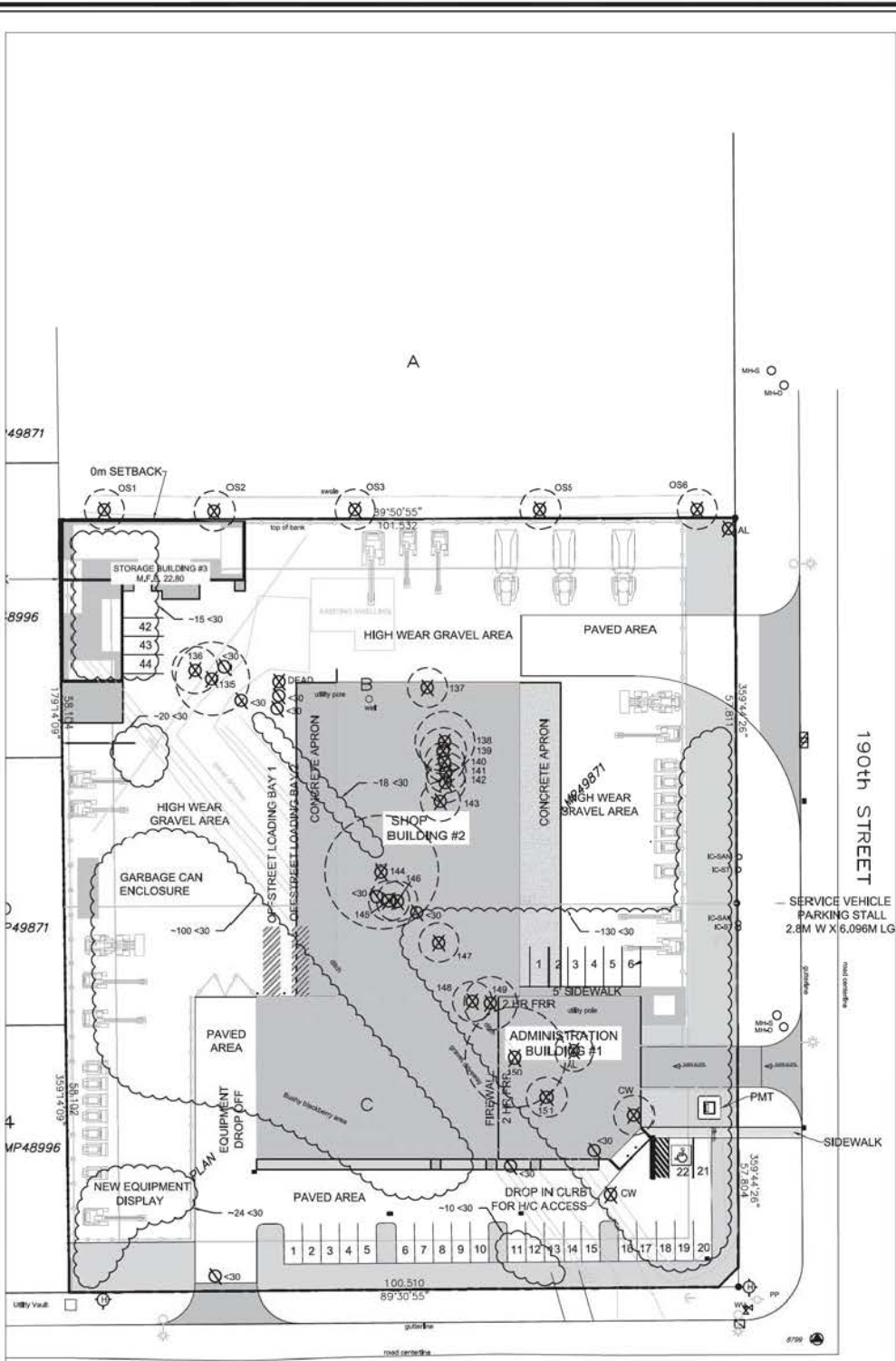
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DRAWN
 MK

SCALE
 AS SHOWN

DATE
 MARCH 3, 2017

T-1
 SHEET 1 OF 2



AREA WITHIN BOLD OUTLINE
 11,709 Sq.m.
 (2.893 acres)



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON-BY-LAW TREE
- MINIMUM NO-DISTURBANCE ZONE



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0158-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-056-361

Lot B Section 33 Township 8 New Westminster District Plan LMP49871

9469 - 190 Street

Parcel Identifier: 025-056-379

Lot C Section 33 Township 8 New Westminster District Plan LMP49871

9425 - 190 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- - (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F Yards and Setbacks of Part 48 "Light Impact Industrial Zone", the minimum rear yard (north) setback is reduced from 7.5 metres (25 ft.) to 0 metres (0 ft.), as measured to the north building face of the proposed northern industrial building;
 - (b) In Table C.2 of Part 5 Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces is reduced from 57 to 45 on the subject site; and
 - (c) In Sub-section A.4(a)ii. of Part 5 Off-Street Parking and Loading/Unloading, the requirement for all parking areas to be surfaced with asphalt, concrete or similar pavement is waived for the nine (9) off-street parking space proposed for the northern portion of the subject site.

5. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures on the Land shall in accordance with the drawings numbered 7917-0158 (1) through to and including 7917-0158-00 (6) (the "Drawings") which are attached hereto and form part of this development variance permit.

6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the buildings and structures shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

7.
 - (a) The landscaping shall conform to drawing numbered 7917-0158-00 (6) (the "Landscaping").
 - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
 - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$120,084.20

(the "Security")
 - (d)
 - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial

completion of the Landscaping, 10% of the original Security will be returned;

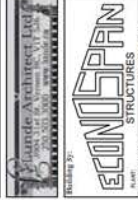
- ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping; and
- iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

- 8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
- 9. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 10. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 11. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

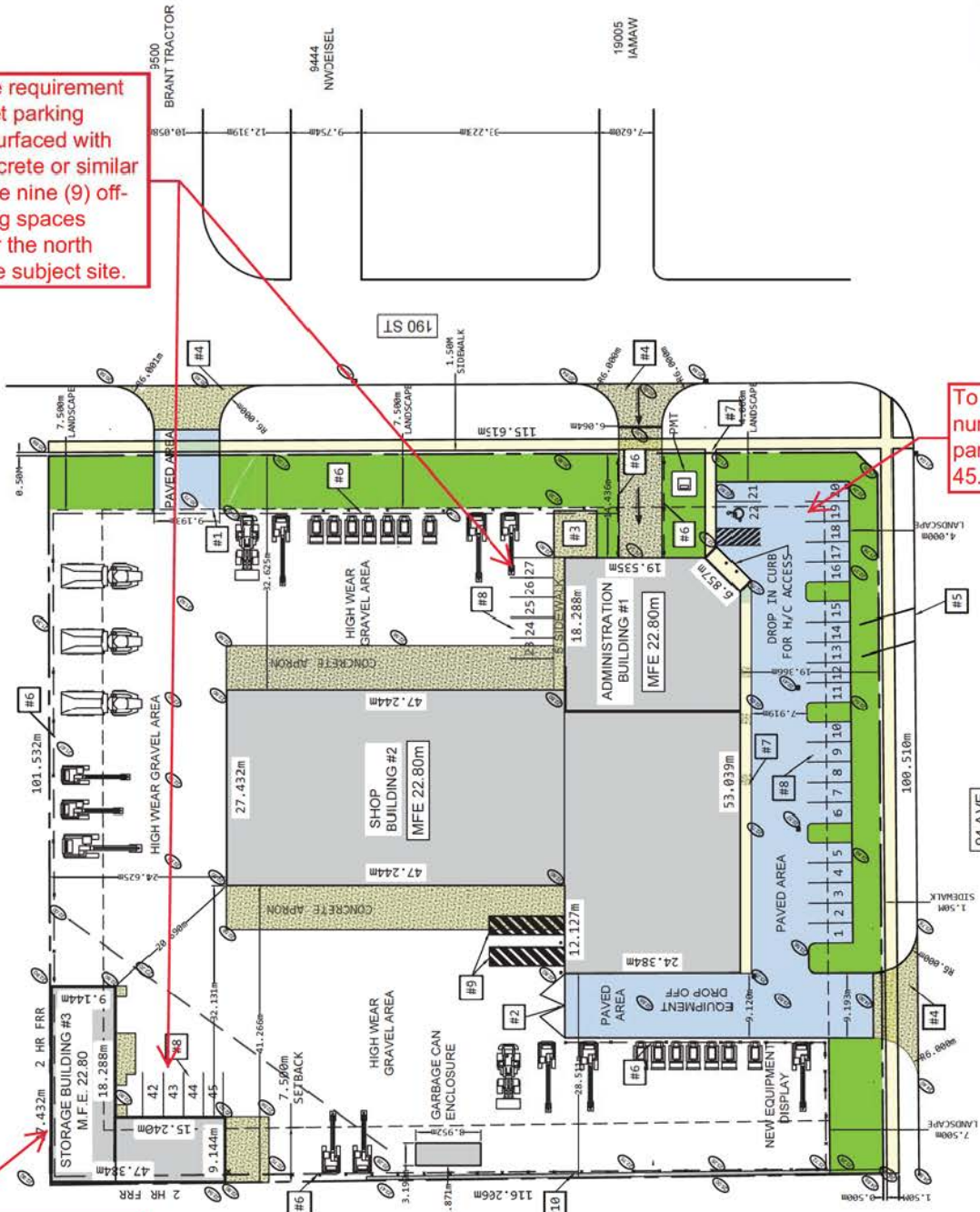


Designed by:
SHUSWAP DESIGN INC.
 18005 IAMAW
 SURREY, BC

Item	Description	Date	By
1	ISSUED FOR DP	3/17/WS	
2	RESUB. FOR DP	7/10/KR	
3	RESUB. FOR DP	8/24/KR	
4	190 ST. ACCESS	11/9/JN	
SITE PLAN			
Scale: 1:240			
Drawn by: D. BROWN			
Checked by: J. NELSON			
Title: A1.1			
Date: Nov. 9, 2017			

To waive the requirement that off-street parking spaces be surfaced with asphalt, concrete or similar paving for the nine (9) off-street parking spaces proposed for the north portion of the subject site.

To reduce the minimum number of off-street parking spaces from 57 to 45.

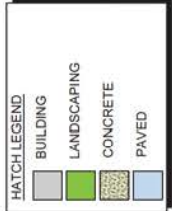


PARKING STALLS 28 TO 41 LOCATED UNDERGROUND SEE. A2.2. FOR DETAILS

SITE PLAN
 SCALE 1:600

To reduce the minimum rear yard (north) setback of the IL Zone from 7.5 metres (25 ft.) to 0 metres (0 ft.), as measured to the north building face of the northern industrial building.

- NOTES:**
- #1 10M W X 2M H CHAIN LINKED SLIDING GATE
 - #2 2 X 4.5M W X 2M H CHAIN LINKED SWING GATE
 - #3 4M X 4M CONCRETE FOR STAFF USE
 - #4 6M WIDE CONCRETE LET DOWN AT ROADS
 - #5 REPAIR CURB TO EXISTING CURB AT CONCRETE ACCESS ROAD
 - #6 6-0" HIGH BLACK CHAIN LINK FENCE - BLACK
 - #7 1.5M WIDE CONC. SIDEWALK
 - #8 PARKING STALL, 2.8 W X 6.096M TYP.
 - #9 OFF STREET LOADING BAY
 - #10 LOCK BLOCK WALL



- VARIANCES REQUIRED**
- 1) PARKING 57 STALLS TO 45 STALLS
 - 2) REAR YARD SETBACK (7.5m to 0m)
 - 3) PAVING REQUIREMENTS (9 STALLS IN THE NORTH PORTION)

NOTES:

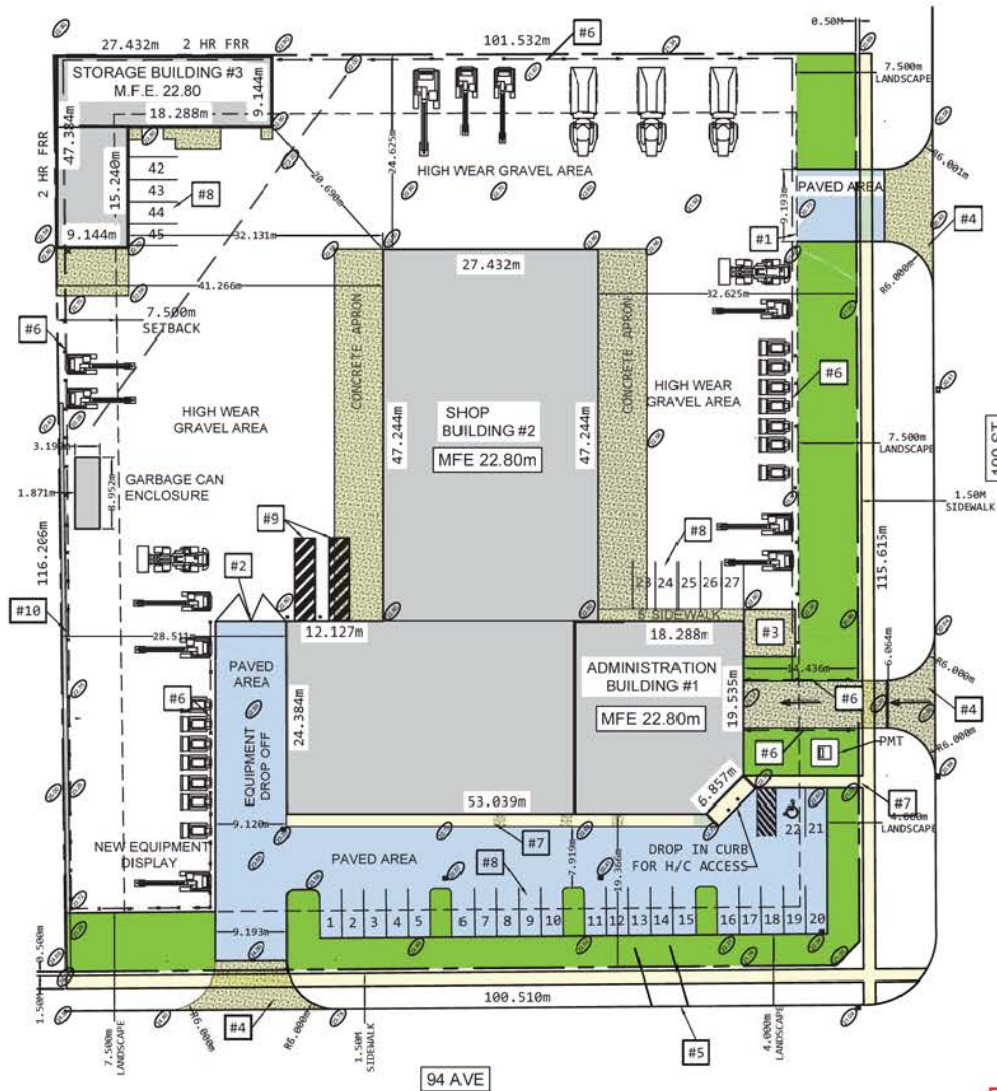
- #1 10M W X 2M H CHAIN LINKED SLIDING GATE (BLACK)
- #2 2 X 4.5M W X 2M H CHAIN LINKED SWING GATES
- #3 4M X 4M CONCRETE PAD FOR STAFF USE
- #4 6M WIDE CONCRETE LET DOWN AT ROAD CURB ACCESSES
- #5 REPAIR CURB TO MATCH EXISTING CURB AT CURRENT ACCESS ROAD
- #6 6'-0" HIGH BLACK CHAIN LINK FENCE, BLACK
- #7 1.5m WIDE CONC. SIDEWALK
- #8 PARKING STALL, 2.8 W x 6.096m TYP.
- #9 OFF STREET LOADING BAY
- #10 LOCK BLOCK WALL

HATCH LEGEND

- BUILDING
- LANDSCAPING
- CONCRETE
- PAVED

VARIANCES REQUIRED

- 1) PARKING 57 STALLS TO 45 STALLS
- 2) REAR YARD SETBACK(7.5m to 0m)
- 3) PAVING REQUIREMENTS (9 STALLS IN THE NORTH FORTION)



SITE PLAN

SCALE 1:600

PARKING STALLS 28 TO 41 LOCATED UNDERGROUND SEE. A2.2. FOR DETAILS



9500 BRANT TRACTOR

9444 NWWEISEL

19005 IAMAW



ECONOSPAN
STRUCTURES

DESIGNED BY:
SHUSWAP DESIGN INC.

PREPARED BY:
SHUSWAP DESIGN INC.

PROJECT:
GREAT WEST EQUIPMENT

SURREY, BC

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Rev#	Description	Date	By
1	ISSUED FOR DP	3/17	WS
2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR
4	190 ST. ACCESS	11/9	DN

Drawn by:
D. BROWN

Checked by:
W. S.

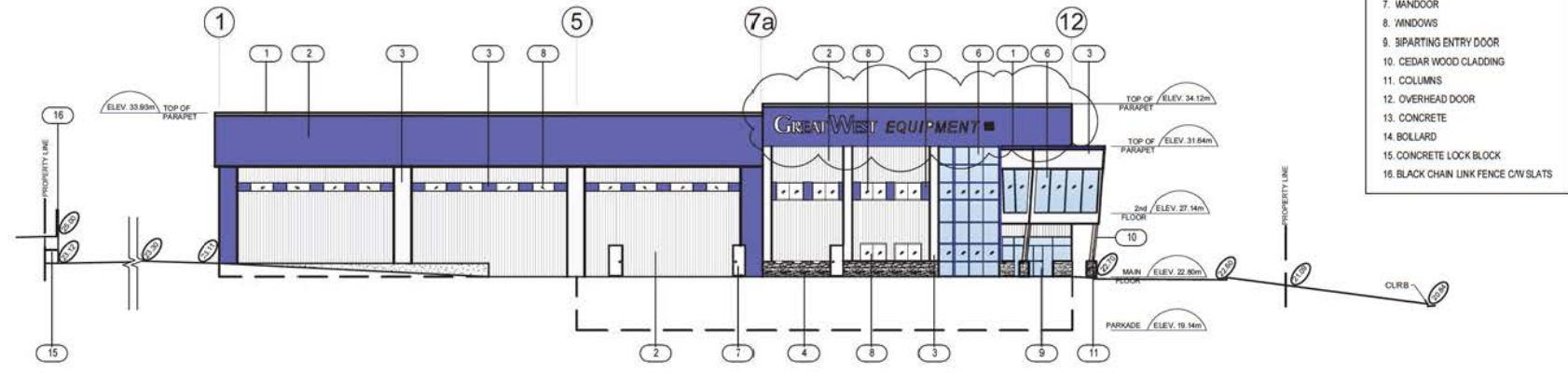
Date:
Nov. 9, 2017

Draw #:
A1.1

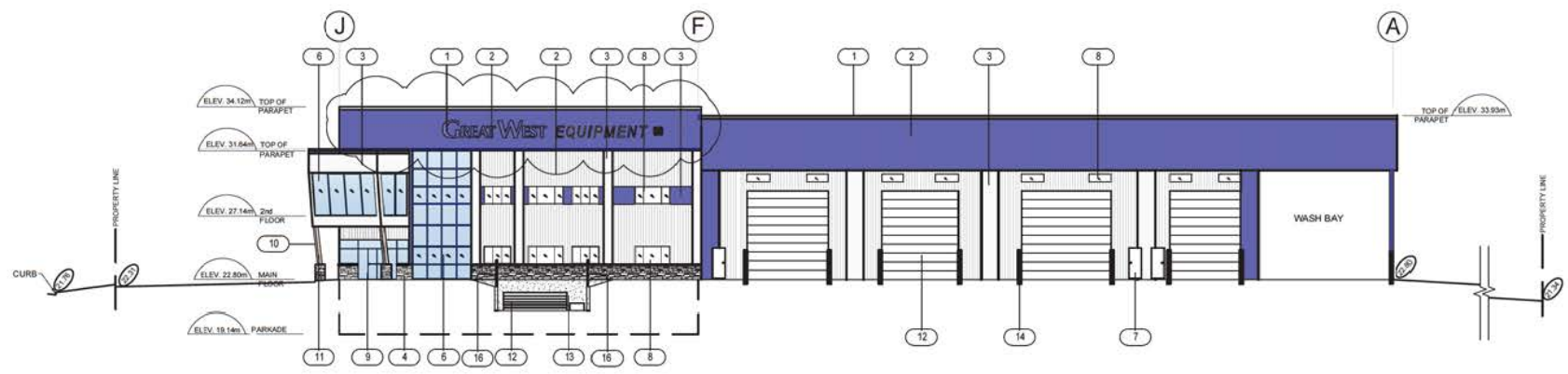
Rev:
4

7917-0158-00 (1)

- MATERIAL LEGEND**
1. FLASHING
 2. METAL CLADDING
 3. METAL CLADDING ACCENT STRIP
 4. LEDGER STONE
 5. PRECAST CONCRETE WALL
 6. CURTAIN WALL
 7. WANDOOR
 8. WINDOWS
 9. SIPARTING ENTRY DOOR
 10. CEDAR WOOD CLADDING
 11. COLUMNS
 12. OVERHEAD DOOR
 13. CONCRETE
 14. BOLLARD
 15. CONCRETE LOCK BLOCK
 16. BLACK CHAIN LINK FENCE CW SLATS



SOUTH ELEVATION
1:300



WEST ELEVATION
1:300

Blonde Architect Ltd.
2004 11th St. Victoria BC, V1T 2G6
250.523.3000 www.blonde.ca

Building by:
ECONOSPAN
STRUCTURES

Designed By:
SHUSWAP DESIGN INC.
BRIE SITES, CORP. PHONE: (250) 476-1488
DANIEL B. VAN DER BRUG FAX: (250) 476-1422

Project:
GREAT WEST EQUIPMENT
SURREY, BC

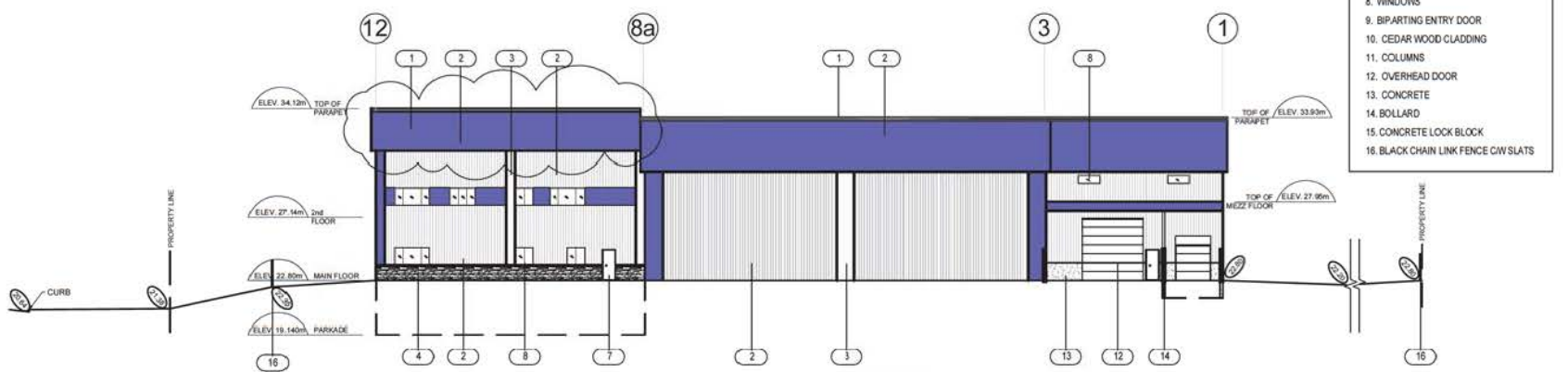
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2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR

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K. RANKIN
Designed By:
D. NELSON
Date:
Oct. 24, 2017
Checked By:
W. S.
Drawn By:
A3.1

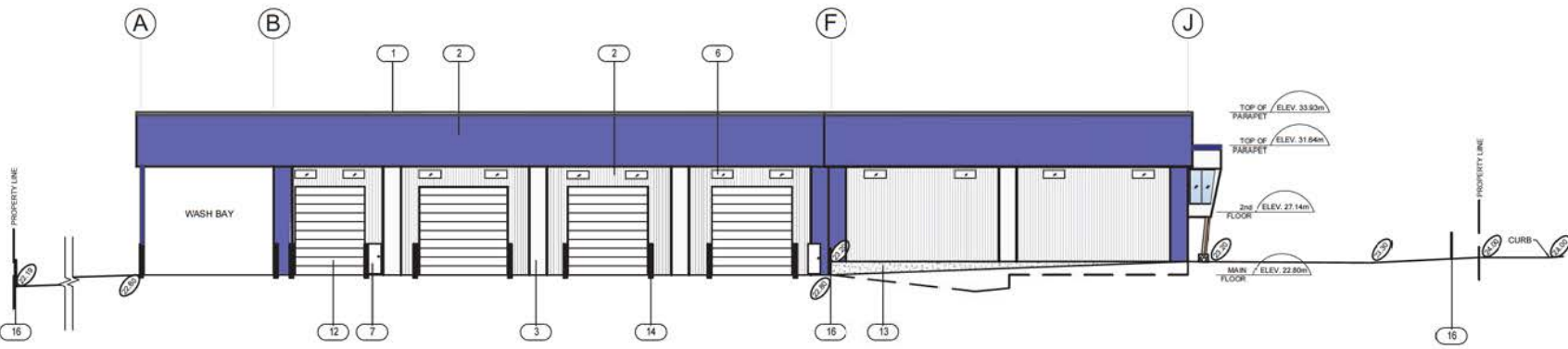
7917-0158-00 (2)

- MATERIAL LEGEND**
1. FLASHING
 2. METAL CLADDING
 3. METAL CLADDING ACCENT STRIP
 4. LEDGER STONE
 5. PCAST CONCRETE WALL
 6. CURTAIN WALL
 7. MANDOOK
 8. WINDOWS
 9. BIPARTING ENTRY DOOR
 10. CEDAR WOOD CLADDING
 11. COLUMNS
 12. OVERHEAD DOOR
 13. CONCRETE
 14. BOLLARD
 15. CONCRETE LOCK BLOCK
 16. BLACK CHAIN LINK FENCE CW SLATS



NORTH ELEVATION

1:300



WEST ELEVATION

1:300



Designed By:
SHUSWAP DESIGN INC.
BRIE SUTER, CORP. PHONE: (250) 476-1488
DANIEL B. VOR 1987 FAX: (250) 476-1422

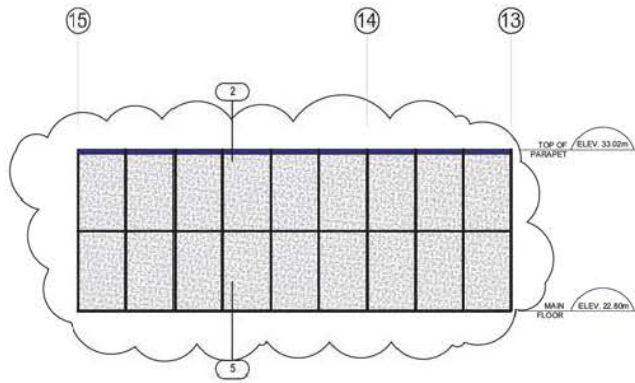
Project:
GREAT WEST EQUIPMENT
SURREY, BC

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Rev#	Description	Date	By
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2	RESUB. FOR DP	7/10	KR
3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
Designed By:
D. NELSON
Date:
Oct. 24, 2017
Drawn By:
W. S.
Checked By:
W. S.
Date:
Oct. 24, 2017
Drawn By:
A3.2

7917-0158-00(3)

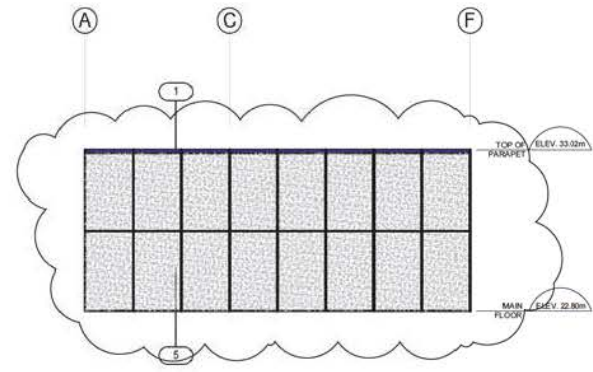


NORTH ELEVATION

1:300

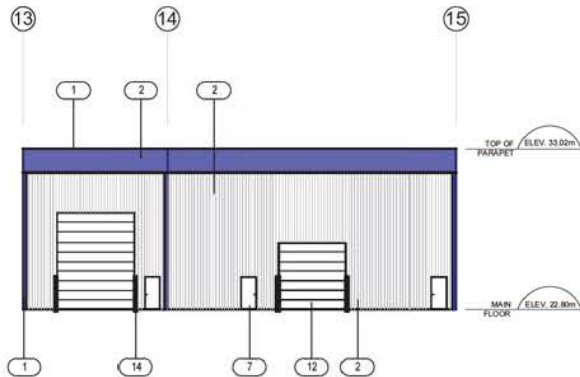
MATERIAL LEGEND

1. FLASHING
2. METAL CLADDING
3. METAL CLADDING ACCENT STRIP
4. LEDGER STONE
5. PRECAST CONCRETE WALL
6. CURTAIN WALL
7. MANDOR
8. WINDOWS
9. BIPARTING ENTRY DOOR
10. CEDAR WOOD CLADDING
11. COLUMNS
12. OVERHEAD DOOR
13. CONCRETE
14. BOLLARD



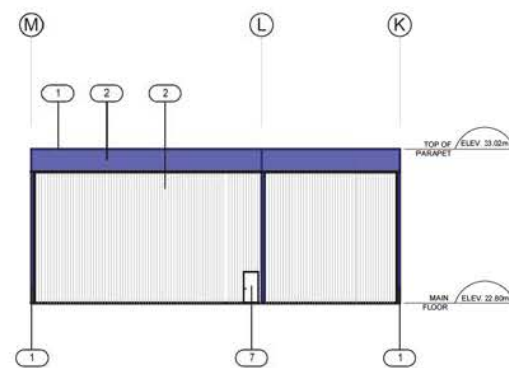
WEST ELEVATION

1:300



SOUTH ELEVATION

1:300



EAST ELEVATION

1:300

Blonde Architect Ltd.
 2004 11th St. Victoria BC, V1T 2G6
 250.543.3900 www.blonde.ca

Building By:
ECONOSPAN STRUCTURES
 10700 152nd St. Surrey BC V3V 3K9
 604.276.9441

Designed By:
SHUSWAP DESIGN INC.
 8880 152nd St. Surrey BC V3V 3K9
 604.276.9441

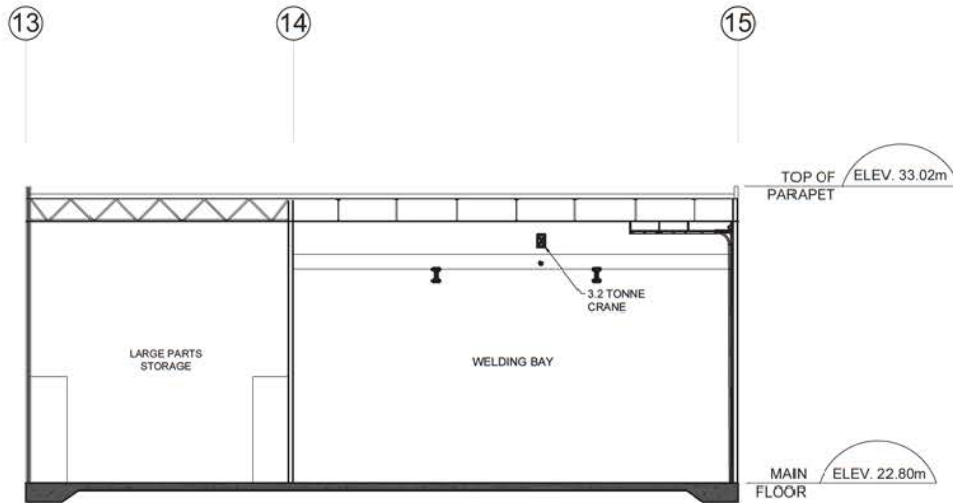
Project:
GREAT WEST EQUIPMENT
 SURREY, BC

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3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN
 Checked By:
D. NELSON
 Date: Oct. 24, 2017
 Drawn At: **A3.3**

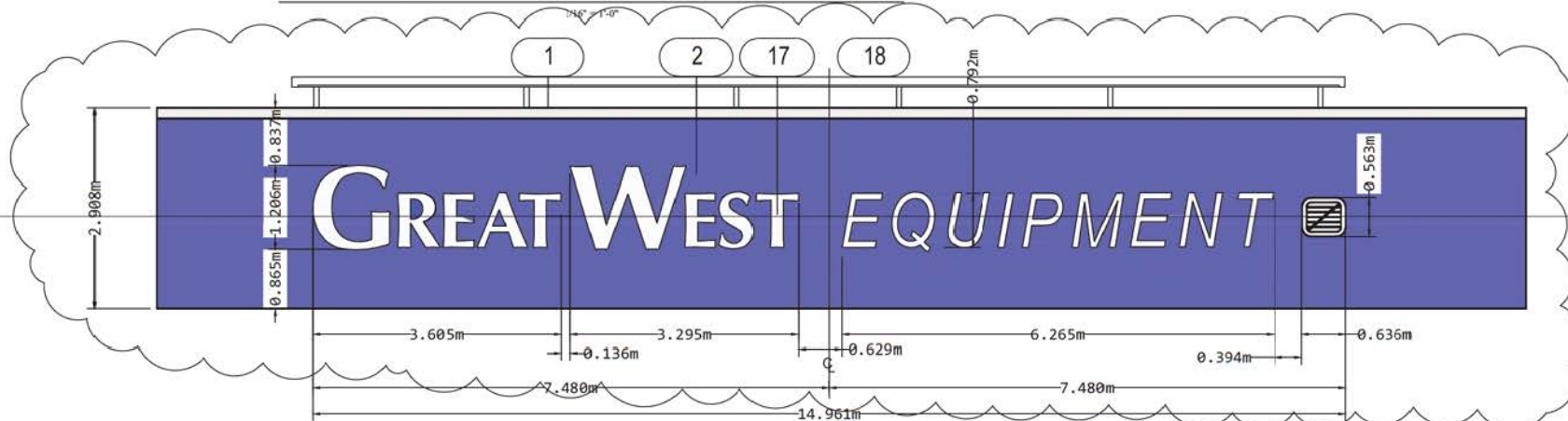
7917-0158-00(4)



MATERIAL LEGEND

1. FLASHING
2. METAL CLADDING
3. METAL CLADDING ACCENT STRIP
4. LEDGER STONE
5. PRECAST CONCRETE WALL
6. CURTAIN WALL
7. MANDOOR
8. WINDOWS
9. BIPARTING ENTRY DOOR
10. CEDAR WOOD CLADDING
11. COLUMNS
12. OVERHEAD DOOR
13. CONCRETE
14. BOLLARD
15. CONCRETE LOCK BLOCK
16. BLACK CHAIN LINK FENCE C/W SLATS
17. RAISED ALUMINUM LETTERING
18. O/H/HEAD LIGHTING STRIP

BUILDING #3 SECTION OFF GRID LINE K



SIGNAGE ON PARAPET CENTERED ON SOUTH AND EAST PARAPETS

1/16" = 1'-0"



Project:
**GREAT WEST EQUIPMENT
LANGLEY, BC**

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Rev#	Description	Date	By:
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3	RESUB. FOR DP	8/24	KR

Drawn By:
K. RANKIN

Checked By:
D. NELSON

Date:
Oct. 24, 2017

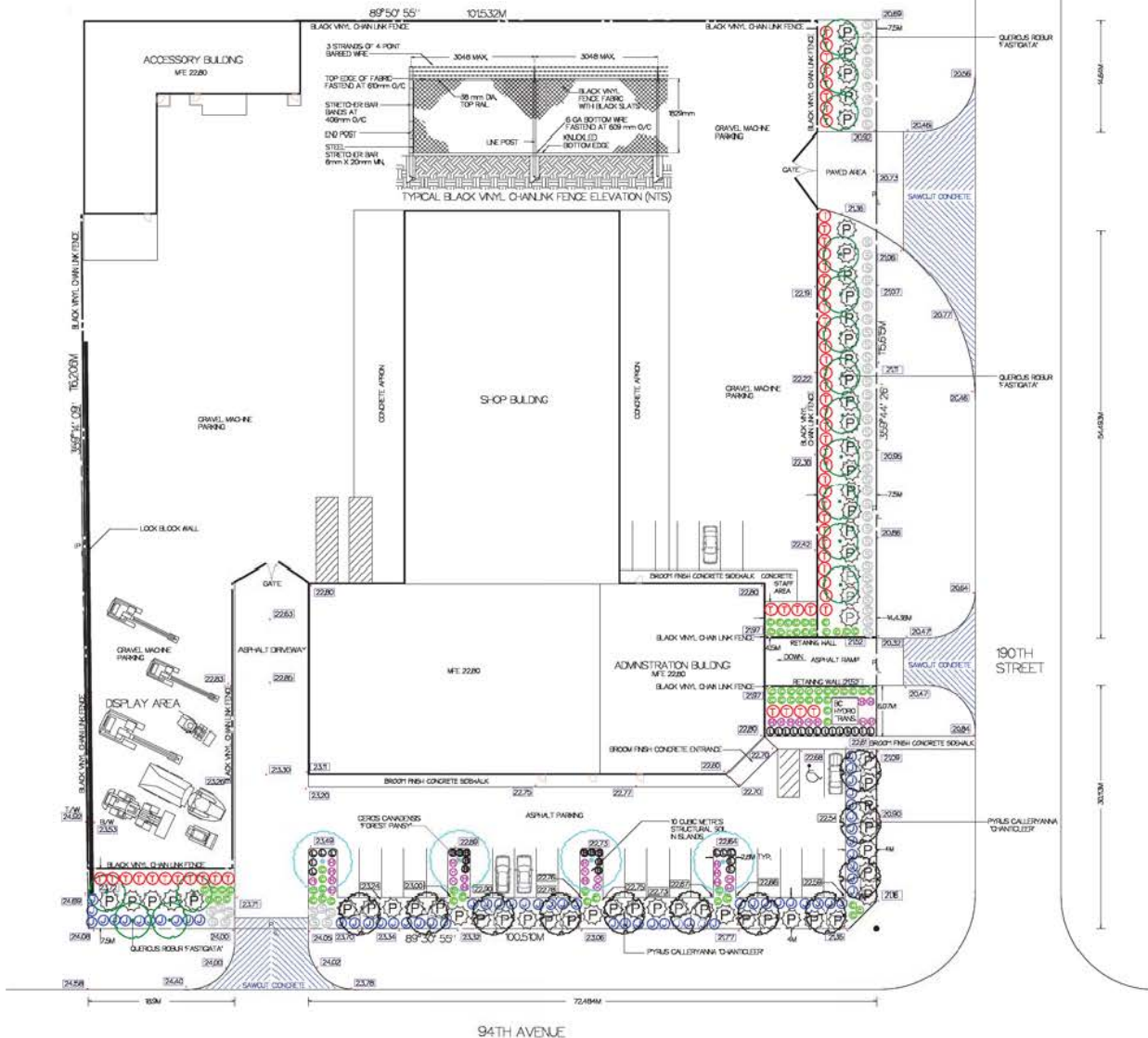
Drawn By:
W. S.

Checked By:
W. S.

Date:
Oct. 24, 2017

Drawn By:
A4.3

7917-0158-00(5)



PLANT SCHEDULE		GWE PROJECT NUMBER ES-17-621		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE
TREE	4	CERES CANADENSIS FOREST PANSY*	EASTERN RED BUD	5 CM CAL.
	5	CHAMAECYPARIS NODIKATENSIS	YELLOW CEDAR	3M TALL
	11	PYRUS CALLERYANA 'D'ANTICLEER	D'ANTICLEER PEAR	5 CM CAL.
	16	QUERUS ROBUR 'FASTIGIATA'	UPRIGHT ENGLISH OAK	5 CM CAL.
SHRUB	58	Berberis thunbergii	JAPANESE BARBERRY	#2 POT
	61	Juniperus squamata 'Blue Star'	BLUE STAR JUNIPER	#2 POT
	59	Pinus mugo 'Pumila'	DWARF MUGO PINE	#3 POT
	52	Spiraea japonica 'Goldmound'	GOLDMOUND SPIREA	#2 POT
GRASS	64	Calamagrostis acutiflora Karl Foerster	FOERSTER REED GRASS	\$1 POT
	30	Helictotridon sempervrens	BLUE OAT GRASS	\$1 POT
PERENNIAL	14	Bergenia cordifolia 'Purpurea'	HEARTLEAF BERGENIA	\$1 POT
	24	Lavendula angustifolia 'Hidcot Blue'	ENGLISH LAVENDER	\$1 POT

NOTES:
 - ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD LATEST EDITION, ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY,
 - TREES ARE 1 METRE FROM PROPERTY LINE.
 - TREES ARE 3 METRES FROM ALL FENCES.
 - TREES ARE MINIMUM 2 METRES FROM PARKING.
 - TREES IN PARKING ISLANDS HAVE MINIMUM 10 CUBIC METRES STRUCTURAL SOIL AT 0.6 METRES DEEP.
 - 37 REPLACEMENT TREES REQ'D, 31 TREES SHOWN ON PLAN, 6 TREES IN DEFICIENCY.
 - 10 OFF SITE REPLACEMENT TREES REQ'D, 5 TREES ON PLAN, 5 TREES IN DEFICIENCY

2056 GRADE MARKERS IN METRES.
 ALL ELEVATIONS REFER TO CONTROL MONUMENT 8799 LOCATED AT 94TH AVE & 190 ST, ELEVATION 20,75M

PROJECT:
GREAT WEST EQUIPMENT SALES AND SERVICE
 9469-190 STREET,
 SURREY, B.C.

DRAWING TITLE:
LANDSCAPE PLAN



DATE: 19 OCT 2017
 SCALE: 1" = 48'
 DRAWN: PAT DILLON
 DESIGN: PAT DILLON
 C-KD: DOUG NELSON

DRAWING NUMBER:
L1

0 1 2 3 4 5
 METRES
 0 1 2 3 4 5
 FEET
 SCALE 1" = 48'

GWE PROJECT NUMBER ES-17-621 GWE SURREY

7917-0158-00 (6)