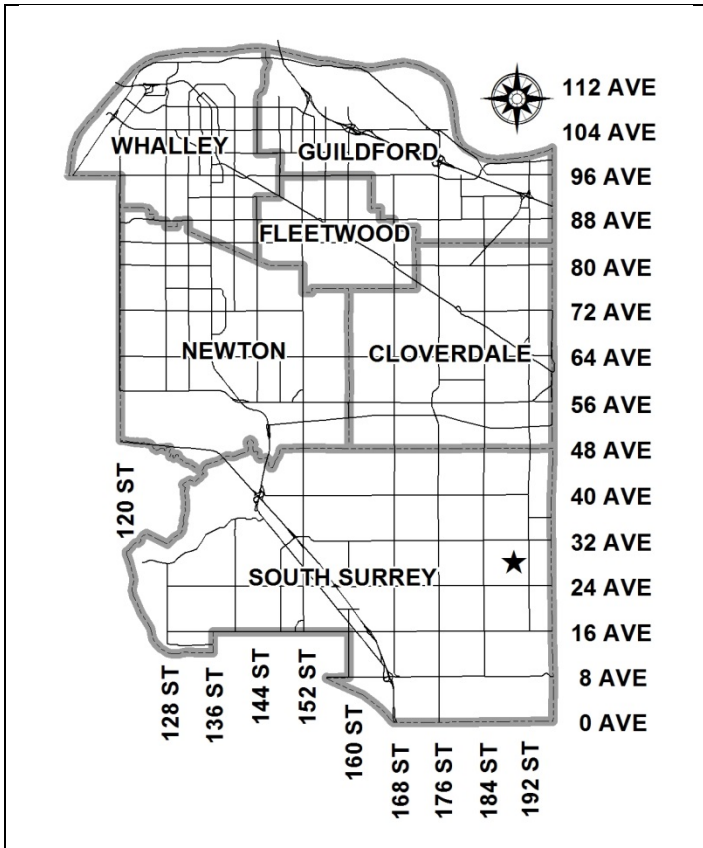


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0157-00

Planning Report Date: July 10, 2017

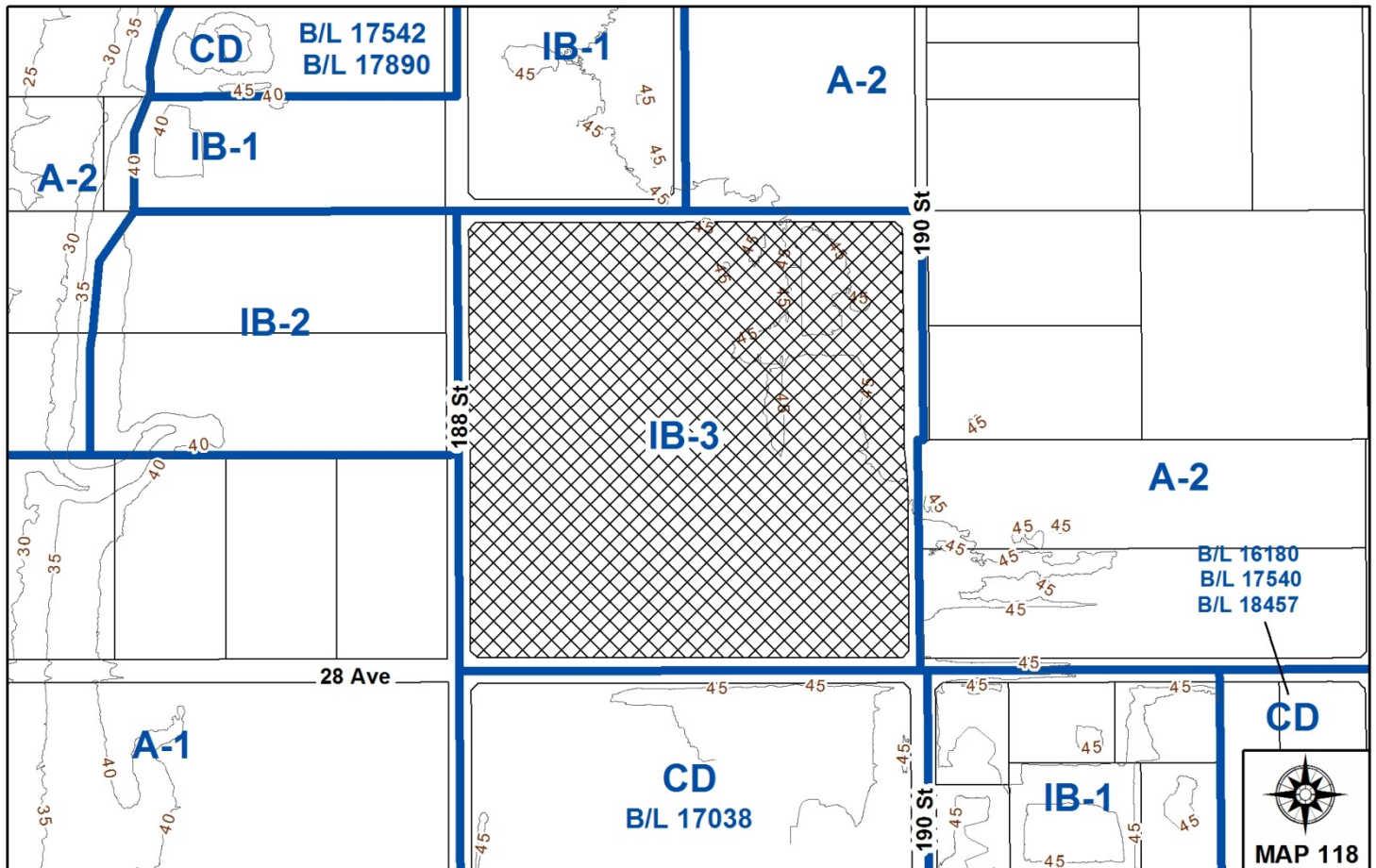


PROPOSAL:

- **Development Permit**

to permit the development of a 14,376 square metre (154,742 sq. ft.) industrial warehouse facility.

LOCATION: 18899 - 28 Avenue
OWNER: Campbell Heights Surrey Property Ltd.
ZONING: IB-3
OCP DESIGNATION: Mixed Employment
LAP DESIGNATION: Business Park/Business Park (Office)



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's "Mixed Employment" designation in the OCP.
- The proposal complies with the site's "Business Park"/"Business Park (Office)" designations in the Campbell Heights LAP.
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the Campbell Heights Design Guidelines.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0157-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issue prior to final approval:
 - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (b) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space that can be achieved on the site.

REFERRALS

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements under Development Application No. 7914-0337-00.
- Surrey Fire Department:** The City of Surrey's By-law (No. 19108) for Public Safety Electronic Communication Amplification applies to buildings of this size.

SITE CHARACTERISTICS

Existing Land Use: Industrial warehouse (Building 1) approved under Development Application No. 7914-0337-00 under construction on the southern portion of the site.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across 30 Avenue):	Agricultural use and greenhouse operations (east). Cold storage facility approved under Development Application No. 7914-0316-00 under construction (west).	Mixed Employment/ Business Park	A-2 and IB-1

Direction	Existing Use	OCP/LAP Designation	Existing Zone
East (Across 190 Street):	Various agricultural uses and greenhouse operations.	Mixed Employment/ Business Park, Business Park (Office)	A-2
South (Across 28 Avenue):	Cold storage facility.	Mixed Employment/ Technology Park or Business Park	CD (By-law No. 17038)
West (Across 188 Street):	Keery Park and greenhouse operations.	Mixed Employment/ Open Space Corridors, Buffers, Business Park	A-1 and A-2

DEVELOPMENT CONSIDERATIONS

Context

- The subject property is a large 14.5 hectare (35.9 acres) site located in Campbell Heights, bound by 30 Avenue to the north and 28 Avenue to the south, and 188 Street to the west and 190 Street to the east.
- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park"/"Business Park (Office)" in the Campbell Heights Local Area Plan (LAP). The site is zoned "Business Park (3) Zone (IB-3)" which accommodates business park developments with no accessory retail sales on site.
- Under Development Application No. 7914-0337-00, the subject site was created by consolidating four parent properties and rezoning the lands from "General Agricultural Zone (A-1)" to IB-3. Under the same application, a Development Permit (DP) application was proposed to permit the development of a 19,895 square metre (214,155 sq. ft.) industrial warehouse facility (Building 1) along the southern edge of the site. The subdivision, rezoning, and DP applications were approved in April 2016. Building 1 is currently under construction.
- The completion of Development Application No. 7914-0337-00 provided the necessary road dedication and works and services required to facilitate the subject proposal (Building 2) and future proposals (Buildings 3 and 4) through a DP application.
- The site is being developed by Hopewell Development Corporation. Hopewell Development, a division of the Hopewell Group of Companies, is a privately held company based in Calgary, specializing in commercial real estate and industrial and retail development across Canada.

Proposal

- The applicant is proposing a Development Permit for Building 2 consisting of a 14,376 square metre (154,742 sq. ft.) industrial warehouse facility for a single or multiple tenants, located along the northeastern edge of the site.
- The building will face 188 Street to the west and 30 Avenue to the north, and encompass required areas needed for parking, loading, operations, and landscaping.

- The proposal for adding Building 2 on the site represents a gross floor area ratio (FAR) of 0.24 and a lot coverage of 24%.
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the IB-3 Zone, including floor area, lot coverage, building height, and building setbacks.

Access and Parking

- Building 2 will be accessed by three (3) vehicular entrances. The main vehicular entry to the employee and visitor parking lot will be provided via an access from 188 Street. Two (2) accesses for trucks to the rear yard loading area will be accessed from 188 Street and 30 Avenue.
- The proposal includes a total of 186 parking spaces for Building 2 located along the building's perimeter, which exceeds the Zoning By-law requirement of 181 parking spaces. 260 parking spaces were provided for Building 1 which also exceeded the Zoning By-law requirement.
- The applicant has provided a comprehensive parking calculation for the entire site to ensure the future build out of the site can accommodate the parking requirements. In the site's ultimate build out, the applicant proposes parking based on warehouse use with a maximum of 10.5% mezzanine office use, resulting in a total of 845 parking spaces for the entire site.
- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The applicant is proposing a maximum of 10.5% office mezzanine floor space and has agreed to register a Section 219 Restrictive Covenant restricting the maximum mezzanine space to be constructed to avoid a situation where there may be insufficient parking for the future development of the site. The applicant has confirmed that their experience with similar industrial projects has shown that the restricted office component is sufficient to accommodate the uses that will be proposed.
- The proposal includes 30 loading bays which are located at the rear of the building (east). In accordance with the Zoning By-law, the rear loading area will be appropriately screened from public view with a 5.5 metre (18 ft.) high concrete wall.

Future Development

- The proposed building is the second building of four industrial warehouse buildings which will ultimately occupy the site. The future development of Buildings 3 and 4 are proposed to be sited parallel to the subject building (Building 2) and face 30 Avenue and 190 Street, and be designed to the Campbell Heights Design Guidelines.
- The applicant has advised that the timeline for DP applications for proposed Buildings 3 and 4 will be dependent on market leasing requirements.

PRE-NOTIFICATION

- Development proposal signs were installed on the site on July 5, 2017 and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. A response from the LCWS has yet to be received.

DESIGN PROPOSAL AND REVIEW

- The proposed building is generally consistent with the design guidelines outlined in the Campbell Heights Design Guidelines and the Official Community Plan (OCP), and is reflective of the standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The proposed tilt-up concrete building facing 188 Street, will be broken up with a series of defined, canopied entries consisting of vertically articulated stepped walls, treated with sun shades, glazing and coloured metal cladding. It will also be enhanced with shadow bars and concrete colour bands that add texture and provide visual continuity to the building.
- Additional attention has also been given to the north elevation facing 30 Avenue. The north façade will be treated with large clear storey windows, sun shades, concrete colour bands, and metal cladding consistent with architectural elements on the main elevation.
- The exterior colours to be used on the building are based on Hopewell's own corporate colour scheme and will include a palette of light and dark greys (regent grey and charcoal), with accents of red (terracotta) and silver (anodized aluminum).
- Pedestrian paths from the public sidewalk to the building will be provided at key entrances of the building. A series of plazas will be incorporated along some of the pedestrian paths around the perimeter of the building, including a larger plaza located at the intersection of 30 Avenue and 188 Street.
- Roof air handling equipment will be located to minimize visibility from the street and screened with metal cladding where necessary. Wall mounted lighting is proposed to provide light and augment the building's soffit-mounted lighting.

Landscaping

- Landscaping is proposed in accordance with the Zoning By-law requirements. A 3.0 metre (10 ft.) wide landscape area along 30 Avenue and 188 Street frontages of Building 2 is proposed and incorporates the bioswales required in Campbell Heights to treat storm water runoff and allow for site bio-filtration.
- The proposed landscaping will consist of 77 new trees to be planted on-site, including a combination of Cimmarron Green Ash, Morgan Red Maple, and Armstrong Red Maple. A complementary variety of shrubs and groundcover will also be planted in the landscaping surrounding the site.
- The location of two waste enclosures will be situated at the east and southeast side of the proposed building, adjacent to the truck loading area and away from public view.

The proposed enclosures will consist of a concrete pad and steel gates. A pad-mounted transformer (PMT) will also be located at the southeast side of the building and will not be visible from any public view.

- The proposed plazas will be landscaped, paved with stamped concrete, and will include benches. Bike racks will be located at two of the building entrances from 188 Street.

Signage

- Free-standing signage is proposed to be located at the key entrances located on 30 Avenue and 188 Street. The applicant has advised that signage will be dealt with through a separate permitting process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on March 30, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal will incorporate various rain water management solutions, including bio-swales and sediment control devices. • The development will use low impact development standards.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the proposed landscaping, lighting, entrances/exits, and pedestrian pathways.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • A Development Proposal Sign was installed on the site.

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be acceptable. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheet
Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspectives.

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CTA Design Group and Johnathan Losee Ltd., respectively, dated June 26, 2017 and June 15, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

DH/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: John Kristianson
 Address: CTA Design Group
 925 - West 8th Avenue
 Vancouver, BC V5Z 1E4

2. Properties involved in the Application
 - (a) Civic Address: 18899 - 28 Avenue

 - (b) Civic Address: 18899 - 28 Avenue
 Owner: Campbell Heights Surrey Property Ltd.
 PID: 029-825-130
 Lot A Section 21 Township 7 New Westminster District Plan EPP53772

DEVELOPMENT DATA SHEET

Existing Zoning: IB-3

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		14.5 hectares (35.9 acres)
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		24%
Paved & Hard Surfaced Areas		21%
Total Site Coverage	60%	45%
SETBACKS (in metres)		
Front (east - 190 Avenue)	16 m	289 m
Front (west - 188 Avenue)	16 m	24.4 m
Side #1 (north - 30 Avenue)	9 m	24.4 m
Side #2 (south - 28 Avenue)	9 m	137.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	12.9 m
Accessory		
NUMBER OF RESIDENTIAL UNITS	N/A	
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	N/A	
FLOOR AREA: Commercial	N/A	
Retail		
Office		
Total		
FLOOR AREA: Industrial		Bldg 1: 19,895 sq. m Bldg 2: 14,376 sq. m
FLOOR AREA: Institutional	N/A	
TOTAL BUILDING FLOOR AREA		34,271 sq. m

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.24
AMENITY SPACE (area in square metres)	N/A	
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Building 2	181	186
Entire Site (10.5% max office space)	845	845
Residential Bachelor + 1 Bedroom	N/A	
2-Bed		
3-Bed		
Residential Visitors		
Institutional	N/A	
Total Number of Parking Spaces	845	845
Number of accessible stalls		Building 2: 7
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
---------------	----	---------------------------------	----



SINGLE TENANCY ENTRY



PARTIAL EAST (LOADING DOCK) ELEVATION



DOUBLE TENANCY ENTRY

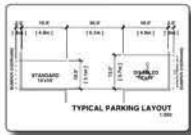
PROPOSED NEW MULTI-TENANT INDUSTRIAL DEVELOPMENT



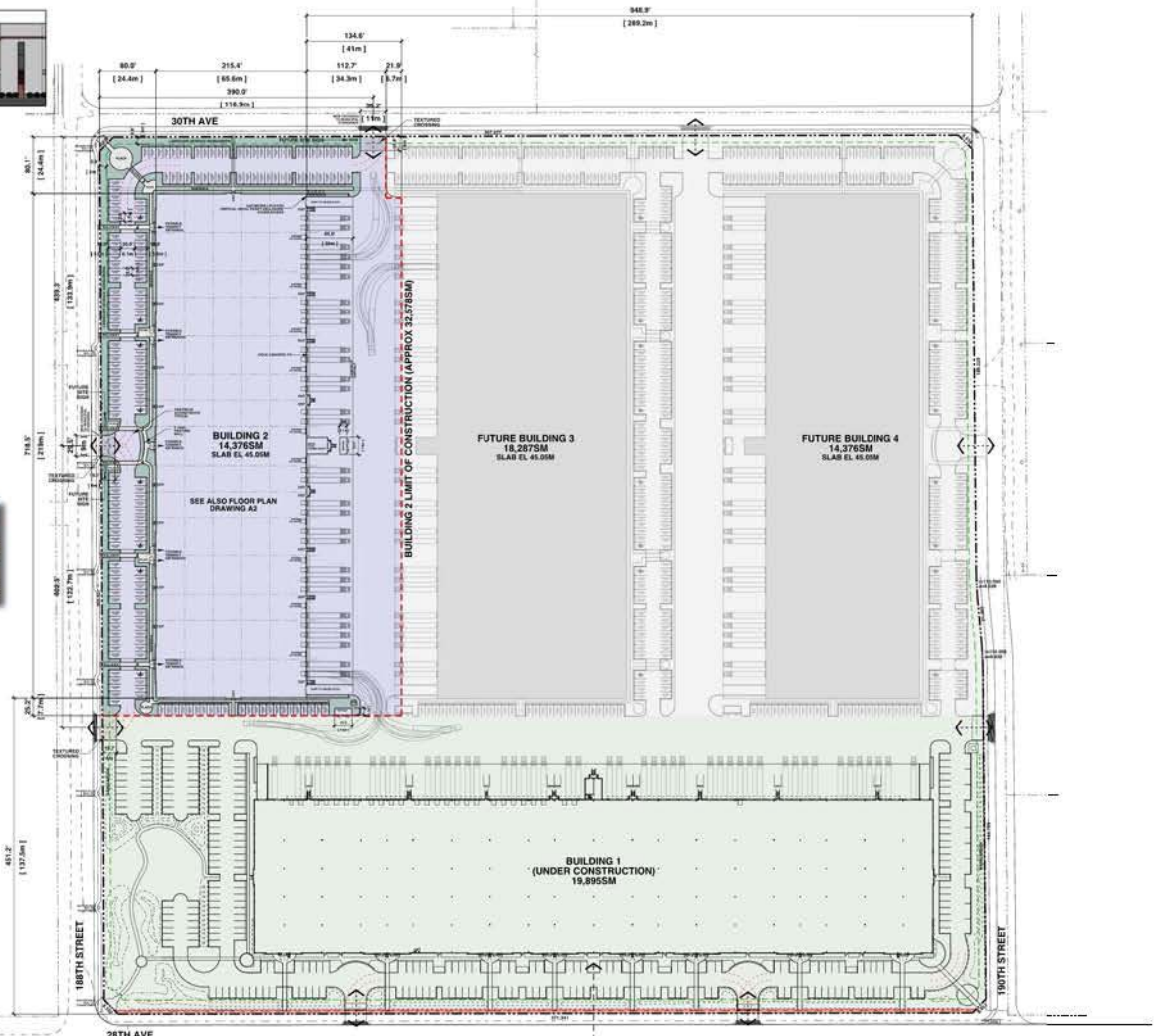
BUILDING TWO - PARTIAL 18TH STREET FACADE



PROJECT LOCATION PLAN



TYPICAL PARKING LAYOUT



BUILDING ONE - 26TH AVENUE FACADE

GENERAL NOTES Mar 28/2017

Site Address: 18899 26th Avenue Surrey BC
 Lot & Plan: 24 Township 7 NMO Plan EPP53772
 Survey: 896 (Provision 1) P. 3
 Parcel Area: 142,300sqm
 Building 1: 142,300sqm
 Building 2: 142,300sqm
 Building 3: 142,300sqm
 Building 4: 142,300sqm
 Total: 569,200sqm

PERMITS
 Building 1: 142,300sqm
 Building 2: 142,300sqm
 Building 3: 142,300sqm
 Building 4: 142,300sqm
 Total: 569,200sqm

PERMITS
 Building 1: 142,300sqm
 Building 2: 142,300sqm
 Building 3: 142,300sqm
 Building 4: 142,300sqm
 Total: 569,200sqm

NO.	REV.	DESCRIPTION
1	ISSUED	FOR PERMITTING
2	REVISED	FOR PERMITTING
3	REVISED	FOR PERMITTING

PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT



ADMINISTRATIVE & ENGINEERING
 101-11111 152 STREET
 SURREY, BC V3R 4G8
 TEL: 604-591-1111
 FAX: 604-591-1112
 WWW.CDA-CORP.COM

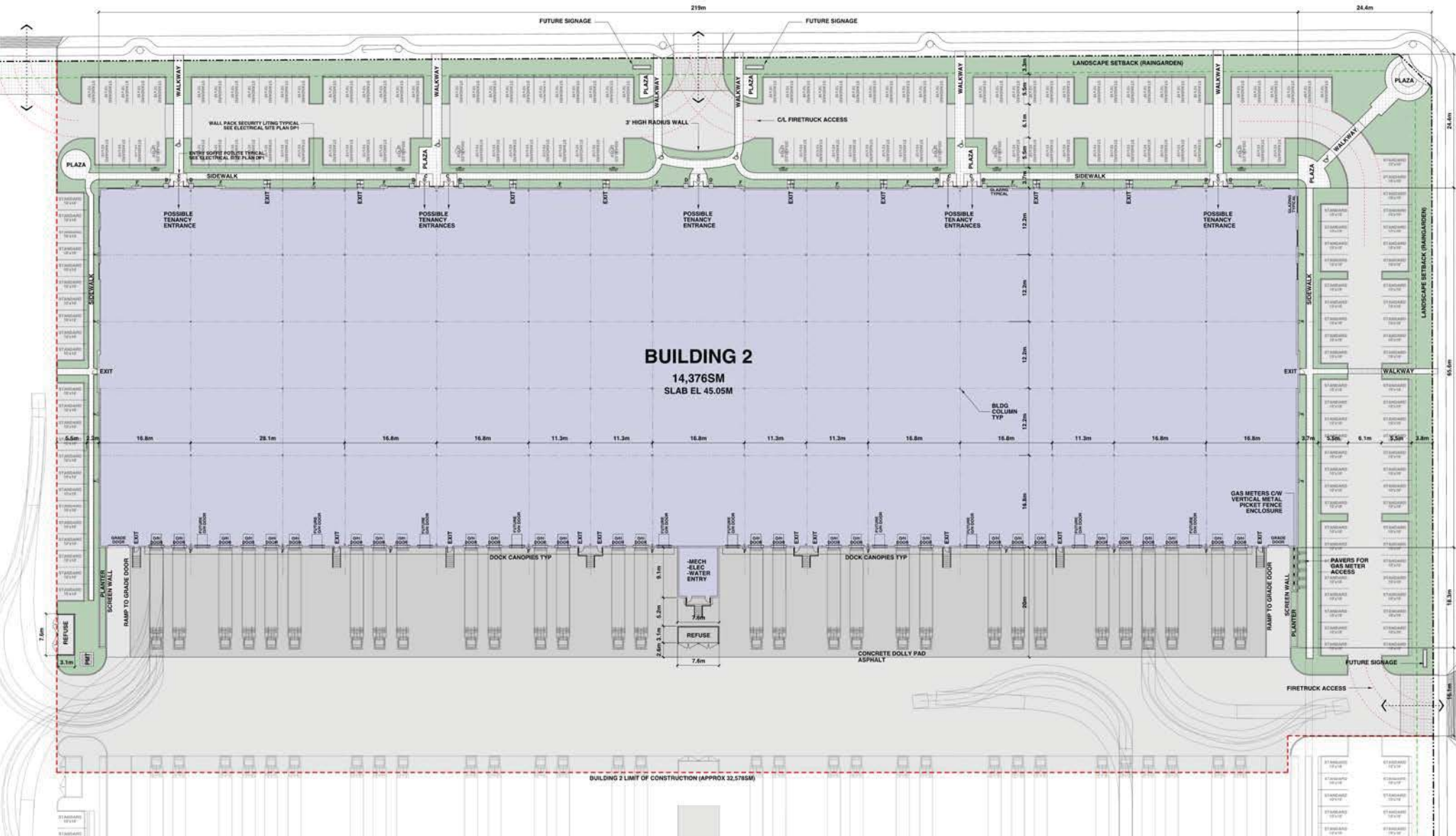


PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT

BUILDING 2
 18899 - 26TH AVENUE
 SOUTH SURREY BC

SITE & LOCATION PLAN - DEVELOPMENT DATA SHEET

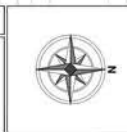
SCALE: 1:1000	DATE: JK	DESIGN: JK
DRAWING NUMBER: A1	VERSION: C	



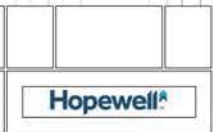
REV	DATE	REMARKS
A	MAR30 17	DP SUBMISSION
B	JUNE15 17	DP RESUBMISSION
C	JUNE25 17	DP RESUBMISSION

NO.	DATE	REMARKS

PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL
REGISTERED PLASTER LAYER/JOURNEYS



ARCHITECTURE & ENGINEERING
111-111 111 111
VANCOUVER, BC V6A 1A1
cta
CREATIVE DESIGN GROUP
A PARTNERSHIP OF TWO COMPANIES



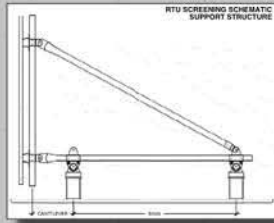
PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT
BUILDING 2
1899 - 20TH AVENUE
SOUTH SURREY BC

FLOOR PLAN	
DRAWN: JK	CHECKED: JK
SCALE: 1:300	FILE:
DRAWING NUMBER: A2	SECTION: C

219m

65.8m

PREFINISHED METAL LOUVRES TYP
CANOPY SUSPENSION RODS TYP
SUSPENDED CANOPY TYPICAL
PAINTED STEEL ACCENT BAR



PROPOSED RTU LOCATION TYP

9.4m MINIMUM

13.7m MINIMUM

TRUCK COURT SCREEN WALL
DOCK CANOPY TYP
MAN DOOR CANOPY TYP

MECHANICAL / ELECTRICAL ROOMS

TRUCK COURT SCREEN WALL

STAIRWELL
ELEVATOR

REV	DATE	REMARKS
A	MAR30 17	DP SUBMISSION
B	JUNE15 17	DP RESUBMISSION
C	JUNE25 17	DP RESUBMISSION



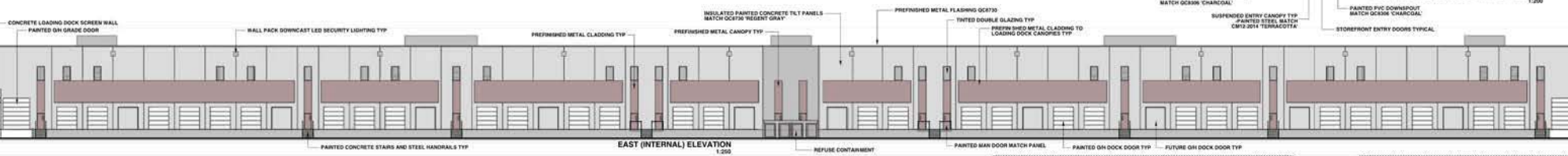
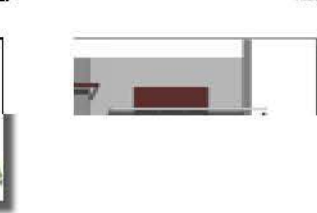
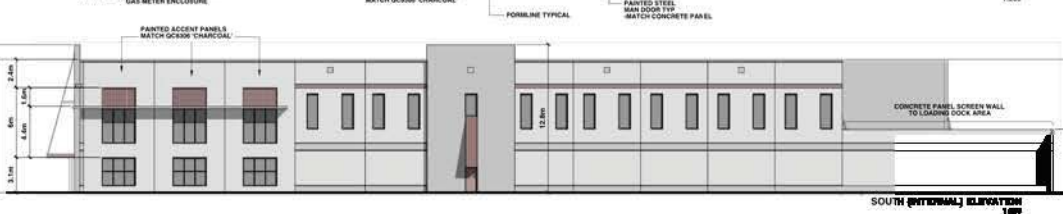
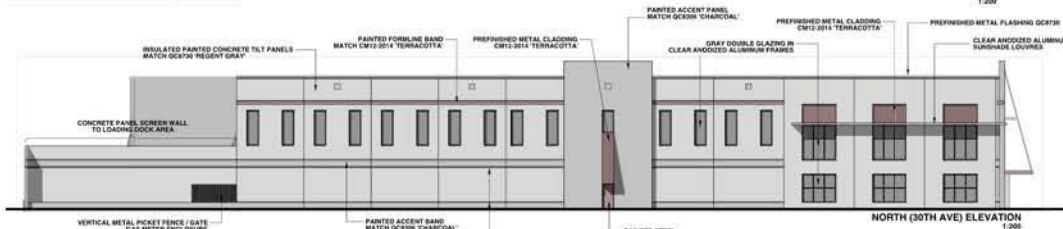
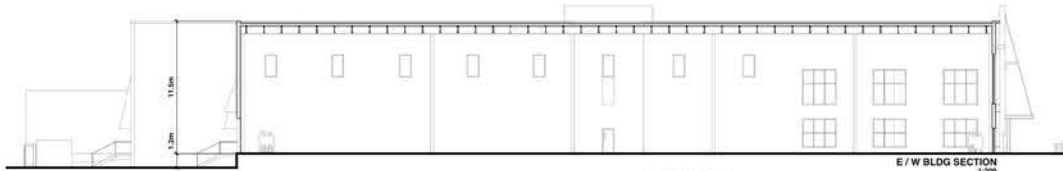
ARCHITECTURE & ENGINEERING
100 - 141 STREET (SUITE 100)
VANCOUVER BC V6A 4S4
TEL: 604 275 1222
www.cta.ca
cda design group
A PARTNERSHIP OF CDA DESIGN GROUP
CDA DESIGN GROUP
100 - 141 STREET (SUITE 100)
VANCOUVER BC V6A 4S4
TEL: 604 275 1222
www.cta.ca



PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT
BUILDING 2
18899 - 26TH AVENUE
SOUTH SURREY BC

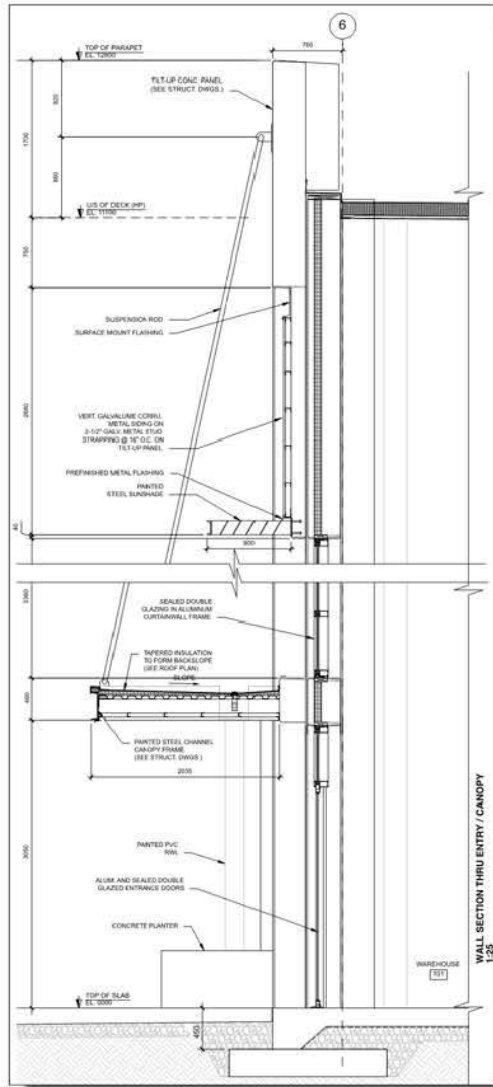
STANDARD VIEW	STANDARD VIEW
STANDARD VIEW	STANDARD VIEW
STANDARD VIEW	STANDARD VIEW
STANDARD VIEW	STANDARD VIEW
STANDARD VIEW	STANDARD VIEW
STANDARD VIEW	STANDARD VIEW

TITLE: ROOF PLAN	
DRAWN: JK	CHECKED: JK
SCALE: 1:300	FILE:
SHEET NUMBER: A2a	VERSION: C

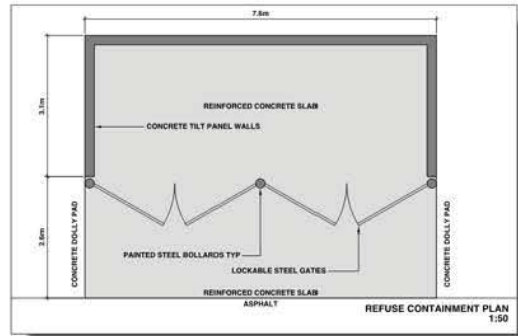
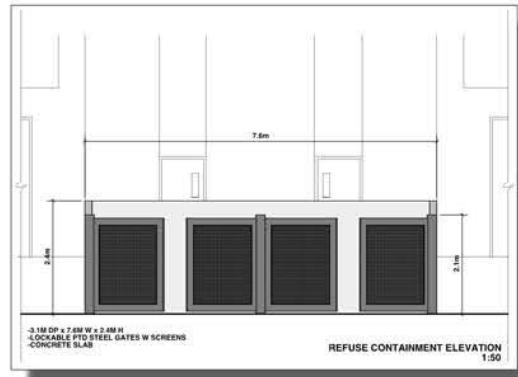
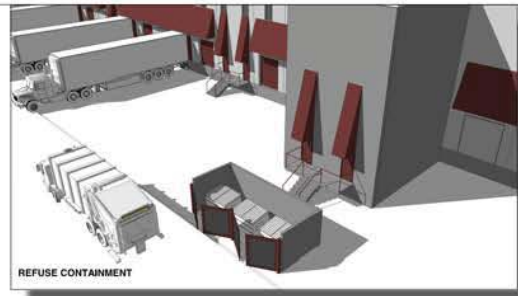


REV	DATE	REMARKS
B	JUNE 15 17	DP RESUBMISSION
C	JUNE 26 17	DP RESUBMISSION
D	JUNE 27 17	DP RESUBMISSION

ARCHITECTURE & DESIGN 100 - 101 STREET SOUTH VANCOUVER BC V6A 1K6 TEL: 604 278 1222 		PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT BUILDING 2 1889 - 20TH AVENUE SOUTH SURREY BC	TITLE: -ELEVATIONS -BLDG SECTION DRAWN: JK CHECKED: JK SCALE: AS NOTED FILE: SHEET NUMBER: A8 SECTION: D
--	--	--	--



WALL SECTION THRU ENTRY / CANOPY
1:25



REV	DATE	REMARKS
1	D JUNE 27 17	DP RESUBMISSION

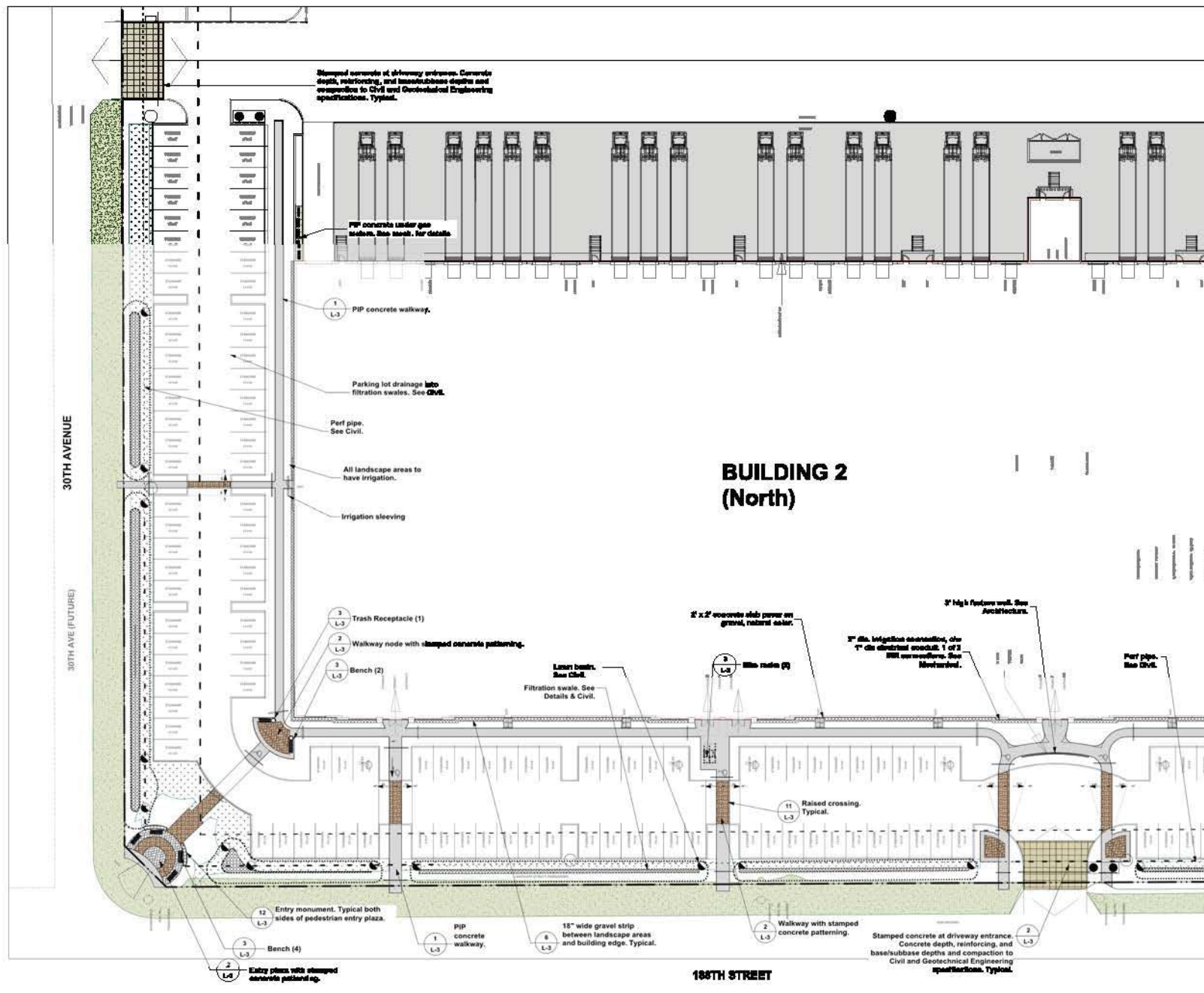
REV	DATE	REMARKS
1	D JUNE 27 17	DP RESUBMISSION

ARCHITECTURE & ENGINEERING
 225-461-8811
 120-861-7811
 120-861-7811
cta
CONCRETE TILT PANEL GROUP
 A DIVISION OF CTA GROUP INC.
 10000 104th Avenue, Richmond, BC V6V 1G4
 © 2017 CTA Group Inc. All rights reserved. This drawing and all other contents are the intellectual property of CTA Group Inc.

Hopewell

PROPOSED MULTI-TENANT INDUSTRIAL DEVELOPMENT
BUILDING 2
 18899 - 26TH AVENUE
 SOUTH SURREY BC

TITLE			
-ENTRY CANOPY SECTION -REFUSE CONTAINMENT			
DRAWN	JK	CHECKED	JK
SCALE: AS NOTED			
DRAWING NUMBER		VERSION	
A3a		D	



LEGEND

	PIP concrete walkway
	Perforated concrete - sidewalks
	Perforated concrete - driveway coverage
	Staked lawn - office
	Staked lawn - gravel

June 15, 2017 Re-submission for DP
 Mar 21, 2017 For Review

Revisions:

Jonathan Lovee Ltd.
 Landscape Architecture

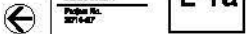
4102 - 1041 W. 2nd Ave.
 Vancouver, B.C. V6J 1H3
 Ph: 604-609-9002
 E-mail: info@jonathanlovee.com

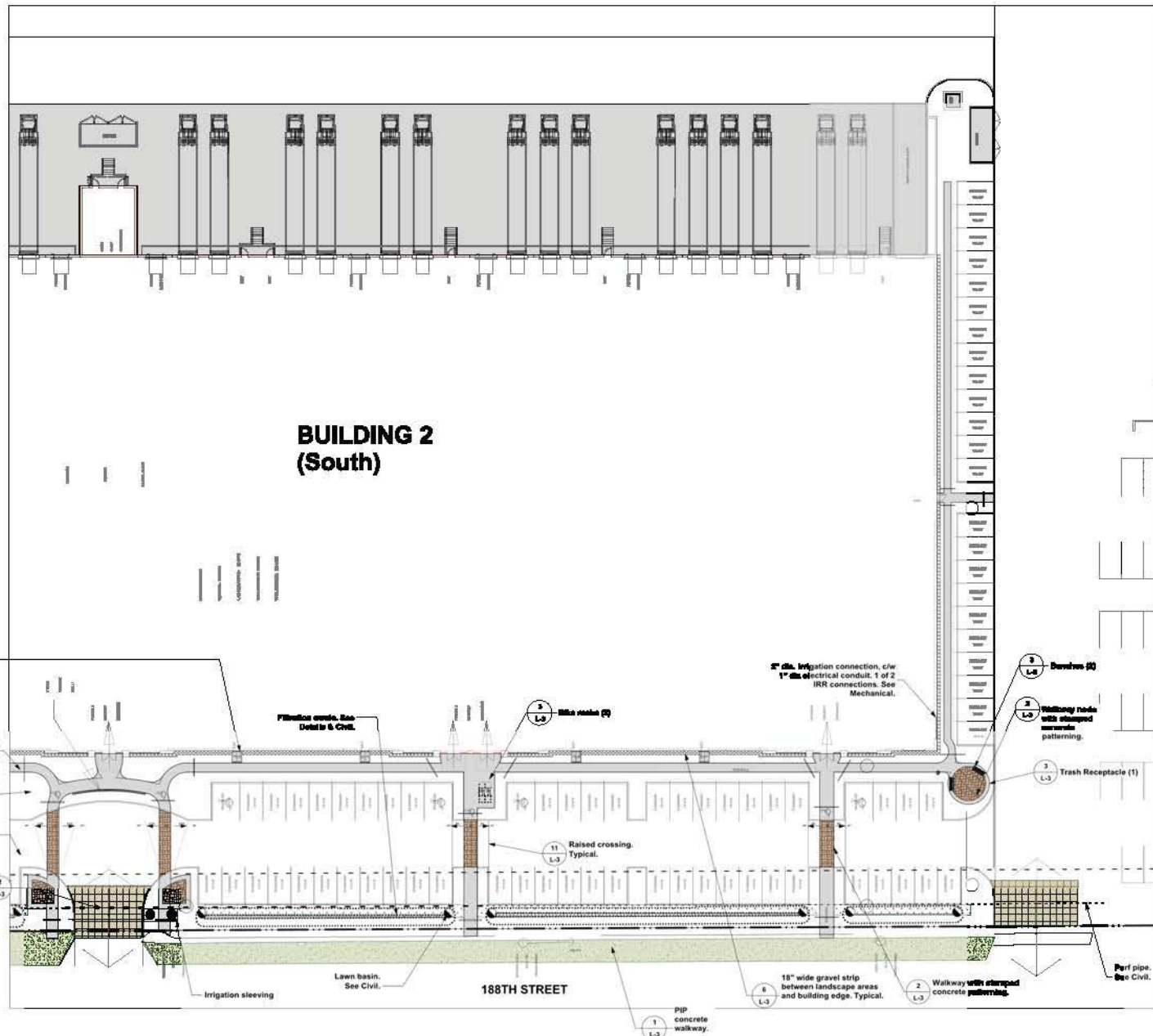
Project:
Building 2
 South Surrey Business Park
 1889 - 28th Ave
 Surrey, BC

Sheet Title:
Landscape Layout Plan North

Scale: 1:250

Date: Dec 2019
 Print No. 2019-07





**BUILDING 2
(South)**

LEGEND

- [Pattern] PIP concrete walkway
- [Pattern] Patterned concrete - sidewalk
- [Pattern] Patterned concrete - driveway coverage
- [Pattern] Stacked lawn - office
- [Pattern] Stacked lawn - outside

June 15, 2017 Re-submission for DP
 Mar 21, 2017 For Review

Revisions:
 Jonathan Lovee Ltd.
 Landscape Architecture

4102 - 1063 W 2nd Ave
 Vancouver, B.C. V6J 1Y1
 Ph: 604-609-9002
 E-mail: info@jonathanlovee.com

Project:
Building 2
South Surrey Business Park
 1889 - 28th Ave
 Surrey, BC

Sheet Title:
Landscape Layout Plan
South

Scale: 1:250

Date: Dec 2019
 Project #: 2016-07

L-1b



