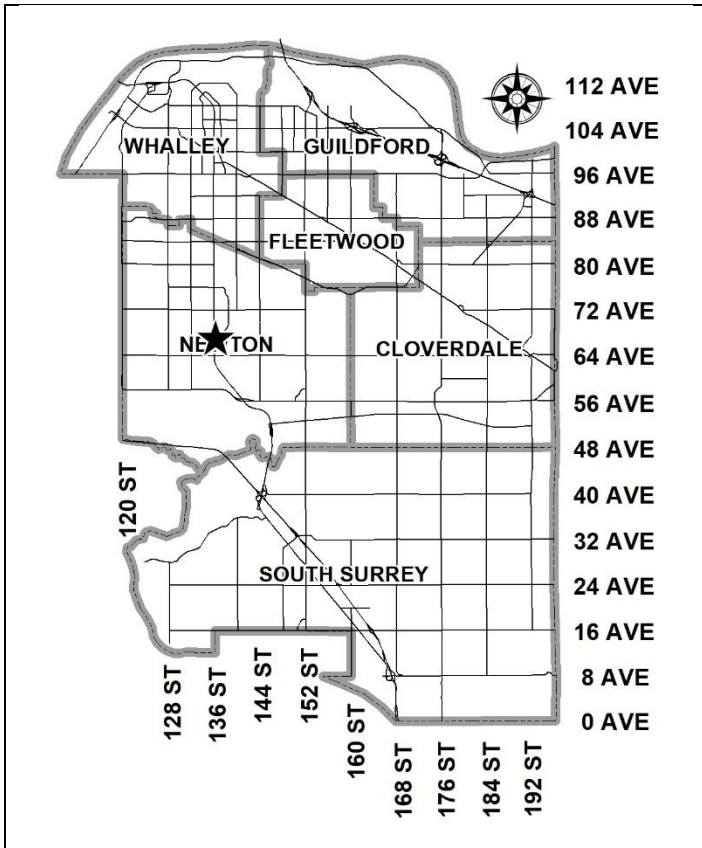


**City of Surrey  
PLANNING & DEVELOPMENT REPORT**

Application No.: 7917-0078-00

Planning Report Date: July 22, 2024



**PROPOSAL:**

- **Rezoning of portions of the site** from C-8 and R<sub>3</sub> to CD (based on RM-70 and C-8)
- **Development Permit**
- **Housing Agreement**

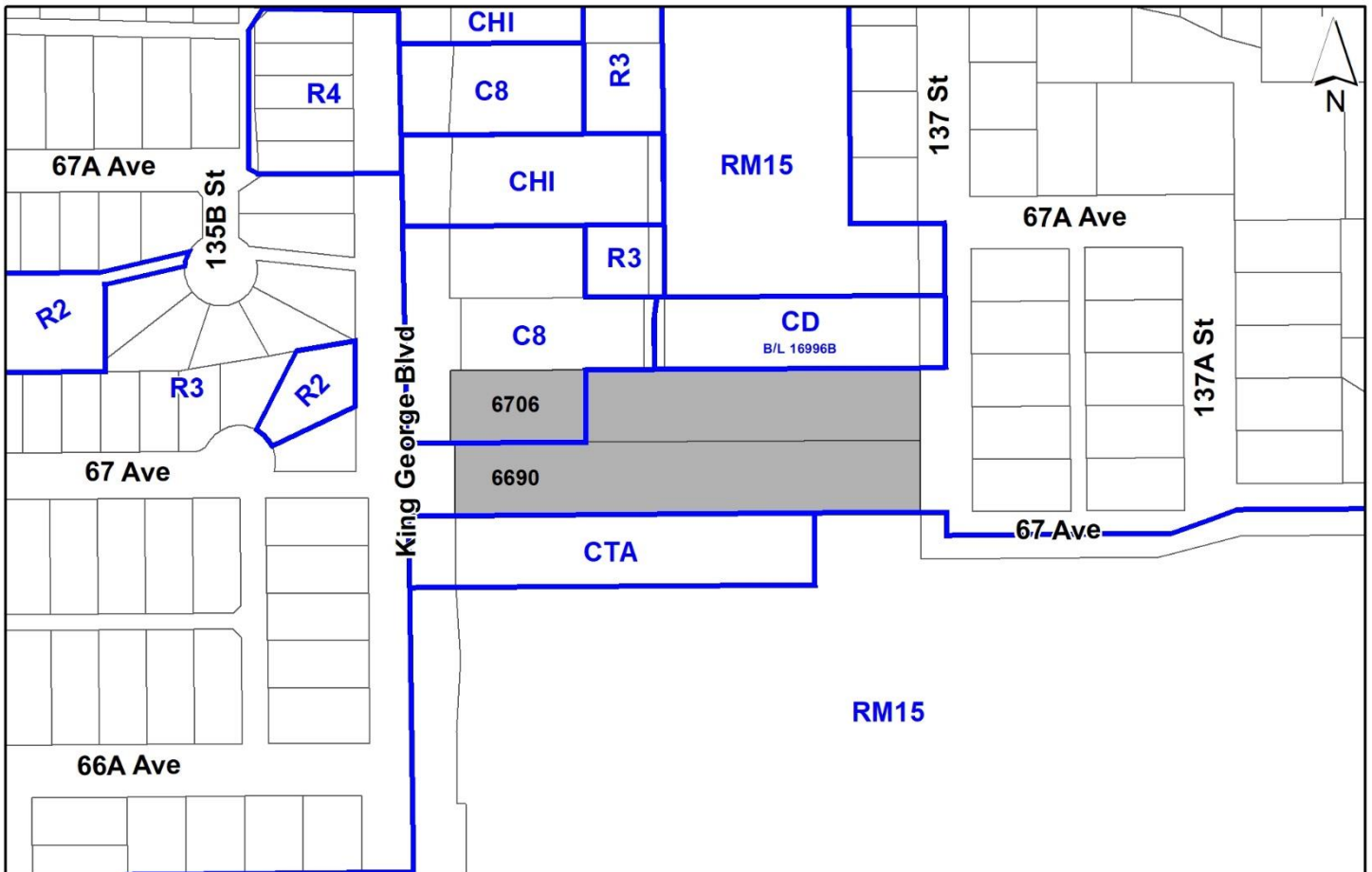
to permit the development of a 5-storey commercial building, a 6-storey apartment building, and a pavilion café building.

**LOCATION:** 6690 King George Blvd  
6706 King George Blvd

**ZONING:** R<sub>3</sub>

**OCP DESIGNATION:** Multiple Residential and Urban

**NCP DESIGNATION:** Low-Rise Mixed Use and Townhouse



## RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal complies with the Low-Rise Mixed Use designation in the Newton King George Boulevard Plan.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Newton.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the portion of the subject site as shown as Block C from "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)", and Block D from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)", as shown on the attached Survey Plan in Appendix I.
2. Should the proposal be granted First, Second and Third Reading of the associated Rezoning then a By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
3. Council authorize staff to draft Development Permit No. 7917-0078-00 generally in accordance with the attached drawings (Appendix I).
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) demolition bonding for the existing building at 6706 King George Boulevard to the satisfaction of the Planning and Development Department;
  - (h) the applicant enter into a Highway Licensing Agreement with the City, to permit the existing building at 6706 King George Blvd. to remain within dedicated lane allowance during Phase 1 of the project, until the building can be demolished;
  - (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (j) registration of a Section 219 Restrictive Covenant to ensure that, if the rental use is discontinued in the future, the City's needs with respect to Community Amenity Contributions (CAC), including Affordable Housing, Capital Projects and Tier 2

Capital Plan Project CACs, will be adequately met, to the satisfaction of the General Manager, Planning & Development Department; and

- (k) registration of an access easement over the easterly remnant lot, for interim access during Phase 1 construction to the development site.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Dental office and vacant land	Low-Rise Mixed Use and Townhouse	C-8 and R <sub>3</sub>
North:	Commercial building and townhouse complex	Low-Rise Mixed Use and Townhouse	C-8 and CD (By-law No. 16996B)
East (Across 137 Street):	Single family residential	Low-Density Residential	R <sub>3</sub>
South:	Vacant land	Low-Rise Mixed Use and Townhouse	CTA
West (Across King George Boulevard):	Single family residential	Low-Rise Mixed Use	R <sub>3</sub>

## Context & Background

- The subject site is located on the east side of King George Boulevard, west of 137 Street, south of 68 Avenue.
- The site is comprised of two (2) existing lots. The property at 6706 – King George Boulevard contains an existing dental office building, and the property at 6690 – King George Boulevard is vacant. Only the westerly portion of the lot, fronting King George Boulevard, is proposed to be developed with the subject application; the rear portion will be left as a remnant lot and remain zoned “Urban Residential Zone (R<sub>3</sub>)”.
- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), “Low-Rise Mixed Use” and “Townhouses” in the Newton-King George Boulevard Plan and are currently zoned “Community Commercial Zone (C-8)” and “Urban Residential Zone (R<sub>3</sub>)”.

- Development Application No. 7917-0078-00 was submitted in 2018, and has gone through a number of iterations since application submission. In March 2023, the Newton-King George Boulevard Plan was approved by Council, designating the westerly portion of the lot for low-rise mixed use development, and the easterly portion of the lot for townhouses. At the October 20, 2023 Regular Council meeting staff were directed to work with Translink on advancing design for Bus Rapid Transit (BRT) on King George Boulevard. In November 2023, the Metro Vancouver Mayors' Council on Regional Transportation selected King George Boulevard as one of the first three (3) corridors for Metro Vancouver's new Bus Rapid Transit (BRT) routes. While funding still needs to be secured, there is strong potential for Bus Rapid Transit (BRT) along this corridor, and therefore it is important to encourage density along the corridor.
- The existing dental office and practice is proposed to remain until the new commercial building is ready for occupancy. At that time, the dental office will move into the new building, and the existing dental building will be demolished. A Highway Licensing Agreement is required to allow the existing dental building to remain within the lane allowance that will be dedicated as part of the application.
- There is an existing lot abutting to the south of the subject site, at 6670 King George Boulevard, which is currently zoned "Tourist Accommodation Zone (CTA)". Consistent with the subject site, the westerly portion of this lot is designated "Low-Rise Mixed-Use" and the easterly portion of the lot is designated "Townhouses". This lot is currently vacant, and ideally it would have been consolidated with the subject site and developed together. Unfortunately, the owner of 6670 King George Boulevard was unresponsive to requests to discuss this matter. Staff and the applicant both reached out on numerous occasions. A registered letter was sent but was not responded to. Given that significant efforts were made to include 6670 King George Boulevard, and given the lack of response, it is acceptable for this project to proceed without consolidation.
- The applicant has demonstrated the development potential of 6670 King George Boulevard. It may be able to achieve a similar form for development of the westerly portion of the site. Townhouses on the easterly portion of the lot would not front onto a road, and so either the rear portion of the site is consolidated with the remnant piece on the subject application site, or an alternative is explored when the site is developed in the future. The applicant has made significant efforts to ensure that 6670 King George Boulevard is taken into consideration, and on that basis staff are supportive of the subject application moving forward.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- In order to permit the development of a 5-storey commercial building, a 6-storey rental residential building, and a pavilion café building, the applicant proposes the following:
  - Rezoning from "Community Commercial Zone (C-8)" and "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" based on "Community Commercial Zone (C-8)" and "Multiple Residential 70 Zone (RM-70)";
  - Development Permit for Form and Character; and

- Subdivision from two (2) existing lots to two (2) new lots – one (1) for the proposed development, and one (1) remnant lot for future development.

	Proposed
<b>Lot Area (Lot A only – not including remnant lot)</b>	
Gross Site Area:	4,539.1 m <sup>2</sup>
Road Dedication:	1,206.7 m <sup>2</sup>
Net Site Area:	3,332.4 m <sup>2</sup>
<b>Number of Lots:</b>	2
<b>Building Height:</b>	22.0 metres maximum
<b>Floor Area Ratio (FAR):</b>	2.0
<b>Floor Area</b>	
Residential Building:	3,967.4 m <sup>2</sup>
Commercial Building:	2,558.8 m <sup>2</sup>
Café Building	73.8 m <sup>2</sup>
Total:	6,594 m <sup>2</sup>
<b>Residential Units:</b>	
1-Bedroom:	1 unit
2-Bedroom:	37 units
3-Bedroom:	9 units
Total:	47 units

## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 7 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

4 Elementary students at Hyland Elementary School  
2 Secondary students at Sullivan Heights Secondary School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2027.

Parks, Recreation & Culture:

No concerns.

Hyland Creek Park is the closest park with active amenities, including a playground and trails, and is 550 metres walking distance from the development. Hyland Creek Park also includes natural areas.

Surrey Fire Department:

The application may proceed to the next stage in the process.

Advisory Design Panel:

The proposal was considered at the ADP meeting on April 4, 2024 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

### Transportation Considerations

- The applicant is required to dedicate 4.236 metres to 5.765 metres in width along King George Boulevard, 6.5 metres for the east-west lane along the northern property line, and 8.0 metres for the north-south lane along the eastern property line of Lot A.
- In the ultimate condition, access to the buildings will be provided from King George Boulevard, and the lanes that are being provided by the development. In the interim condition, until the new commercial building is built, access is proposed from 137 Street to the east through the remnant parcel, via a temporary access lane.
- Fire access for Buildings 2 and 3 is provided from 136A Street. These buildings will therefore be addressed to 136A Street, but access to the parkade for all buildings is proposed from 61A Avenue.
- All of the parking for the proposed development is underground. Three (3) levels of underground parking are proposed, and the parking requirement in the Zoning Bylaw is being met.
- Additional dedication is also required for the southern section along King George Boulevard, to allow for the future relocation of an existing Class B channelized stream to allow for future road widening.
- The subject site is located along Route No. 321 – White Rock Centre/Newton Exchange/Surrey Central Station, with an existing transit stop a short distance from the site (approximately 40 metres). The site is also located on a planned future Bus Rapid Transit (BRT) route along King George Boulevard.

### Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The subject property is designated “General Urban” in the Regional Growth Strategy (RGS).
- The proposed development complies with the General Urban RGS designation.

### **Official Community Plan**

#### Land Use Designation

- The subject site is designated “Multiple Residential” and “Urban” in the Official Community Plan (OCP). The portion that is being developed at this time is designated “Multiple Residential”.
- The proposed development generally complies with the Multiple Residential OCP designation. The proposal is mixed use in nature, with residential land uses being the predominant use.

#### Themes/Policies

- The development proposal supports transit-oriented development, focused growth and increased density along frequent transit corridors, which supports transit service expansion and rapid transit infrastructure investment.

### **Secondary Plans**

#### Land Use Designation

- The subject site is designated “Low-Rise Mixed Use” (west portion) and “Townhouse” (east portion) in the Newton-King George Boulevard Plan.
- The Newton-King George Boulevard Plan was approved by Council on March 6, 2023, subsequent to the application submission for the subject development application. Therefore, the proposal is generally consistent with the Plan.
- The proposed development generally complies with the Newton-King George Boulevard Plan.

#### Themes/Objectives

- The proposed development provides low-rise buildings with street-level active commercial and service uses, in accordance with the Plan.
- The development provides a greater diversity of housing options with units of different sizes, types and compositions.



- The proposal complies with the maximum 2.0 FAR and 6-storey building height allowed under the “Low-Rise Mixed-Use” designation in the Newton-King George Boulevard Plan.
- The Plan parameters include a housing policy specifying a minimum of 30% of the apartment units to be 2-bedroom or greater, and at least 10% as 3-bedroom or greater. The proposal includes 79% 2-bedroom units and 19% 3-bedroom units.
- The Newton-King George Boulevard Plan includes a policy indicating that all units meet the Adaptable Housing Standards as defined in the BC Building Code. The applicant is proposing that 98% of the units be adaptable housing units.

### **CD By-law**

- The applicant proposes to rezone the development site from "Community Commercial Zone (C-8)" and "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use development on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Community Commercial Zone (C-8)" and the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-8 Zone, RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-8 Zone (Part 36)	RM-70 Zone (Part 24)	Proposed CD Zone
<b>Floor Area Ratio:</b>	0.80	1.5	2.0
<b>Lot Coverage:</b>	50%	33%	50%
<b>Yards and Setbacks</b>	7.5 m from all lot lines	7.5 m from all lot lines	North: 3.3m South: 0.0m East: 4.8m West: 4.0m
<b>Principal Building Height:</b>	12 m	50 m	23.5 m
<b>Permitted Uses:</b>	<ol style="list-style-type: none"> <li>1. Retail stores excluding adult entertainment stores and secondhand stores and pawnshops;</li> <li>2. Personal service uses excluding body rub parlours;</li> <li>3. General service uses excluding funeral parlours and drive-through banks;</li> <li>4. Beverage container return centres;</li> <li>5. Eating establishments excluding drive-through restaurants;</li> <li>5. Neighbourhood pubs;</li> <li>6. Liquor store;</li> <li>7. Office uses excluding the following social escort services, methadone clinics and marijuana dispensaries;</li> <li>8. Parking facilities;</li> <li>9. Automotive service uses of vehicles less than 5,000 kg G.V.W., provided that such use is associated with a retail store;</li> <li>10. Indoor recreational facilities;</li> <li>11. Entertainment uses excluding arcades and adult entertainment stores;</li> <li>12. Assembly halls;</li> <li>13. Community services;</li> <li>14. Child care centres;</li> <li>15. Cultural Uses.</li> </ol>	<ol style="list-style-type: none"> <li>1. Multiple unit residential buildings and ground-oriented multiple unit residential buildings.</li> </ol>	<p>Block A:</p> <ol style="list-style-type: none"> <li>1. Retail stores excluding adult entertainment stores; and secondhand stores and pawnshops;</li> <li>2. Personal service uses, excluding body rub parlours;</li> <li>3. General service uses excluding drive through banks and funeral parlours;</li> <li>4. Eating establishments excluding drive-through restaurants;</li> <li>5. Neighbourhood pubs regulated under the Liquor Control and Licensing Act, as amended;</li> <li>6. Liquor store;</li> <li>7. Office uses excluding social escort services, methadone clinics and marijuana dispensaries;</li> <li>8. Indoor recreational facilities;</li> <li>9. Community services;</li> <li>10. Child care centres</li> <li>11. Cultural uses; and</li> <li>12. Entertainment uses excluding arcades and adult entertainment stores.</li> </ol> <p>Block B: Multiple unit residential buildings and ground-oriented multiple unit residential buildings.</p>

<b>Amenity Space</b>			
Indoor Amenity:	N/A	3.0 m <sup>2</sup> per DU	3.0 m <sup>2</sup> per DU
Outdoor Amenity:	N/A	3.0 m <sup>2</sup> per DU	3.0 m <sup>2</sup> per DU
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial:		71	87
Residential:		47	47
Residential Visitor:		9	9
Total:		127	141
<b>Bicycle Spaces</b>			
Residential Secure Parking:		68	68
Residential Visitor:		6	6

### Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs, as the proposal includes 100% market rental residential units. A Restrictive Covenant will be registered making CAC payable if there is a future change in tenure.

### Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As a rental project, the subject proposal is exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

### Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

- The Public Art contribution will be required only for the commercial portion of the site and will be applicable to the residential portion only if there is a future change in tenure from the market rental residential units.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 30, 2024, and the Development Proposal Signs were installed on July 10, 2024. Staff received three (3) responses from neighbouring residents.

- One (1) respondent had questions about the proposal, which staff answered, but they did not express any concerns.
- One (1) respondent expressed concern regarding the rental tenure of the proposed residential building and parking.

*(Rental housing provides more attainable units and is a critical need in the community, the City and the region as a whole. The neighbourhood is well served by public transit, and the provided parking is in excess of the Zoning Bylaw requirements.)*

- One (1) respondent had questions about the proposal, expressed concern regarding the proposed temporary access lane to 137 Street, and raised concerns about traffic safety in the area.

*(The temporary access lane is required to provide access for construction during the first phase of construction. It is not intended for permanent access, or to be used once the existing dental building is demolished. Once the existing building is demolished, and the lane from King George Boulevard is constructed, bollards will be put in place to prevent the use of the temporary lane.*

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Newton-King George Boulevard Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Newton-King George Boulevard Plan.
- The steel-frame commercial building fronting King George Boulevard is 5-storeys in height, and designed to have a contemporary and dynamic architectural character.
- The wood-frame six-storey residential building is proposed east of the commercial building, and accessed from the lane to the north and east of the site being dedicated through this application. Finishes will include smooth-finish Hardie panels, with corrugated metal panel accents.

- A café/pavilion building is proposed at the northwest corner of the site, within a significant plaza space proposed through the development. While this is a smaller building, it has an unconventional design and is envisioned as the heart of the complex. The intention is to create a dynamic, contemporary building within the plaza which assists in the creation of an active, vibrant place.

### Landscaping

- The landscaping includes a variety of trees, shrubs and plantings, decorative paving, seating areas and a water feature in the plaza.

### Indoor Amenity

- In the residential building, the indoor amenity is located on the sixth floor of the building, and includes a lounge, kitchen, washrooms, and a fitness centre.
- The proposed indoor amenity space is approximately 153 square metres in total area which exceeds the 141 square metres required under the Zoning Bylaw based on a total of 3 square metres per dwelling unit.

### Outdoor Amenity

- In the residential building, the outdoor amenity is located on the sixth floor of the building, adjacent to the indoor amenity and includes outdoor seating, trees and planters, and a barbeque.
- The proposed outdoor amenity space is approximately 148 square metres in total area which exceeds the 141 square metres required under the Zoning Bylaw based on a total of 3 square metres per dwelling unit.

### Outstanding Items

- There are a limited number of minor Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

## TREES

- Terry Thrale, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	28	7	21
Cottonwood	13	4	9
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Lombardy Poplar	3	3	0
Mountain Ash	1	1	0
Silver Poplar	4	4	0
European Poplar	1	1	0
Wild Cherry	3	1	2
<b>Coniferous Trees</b>			
Sitka Spruce	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>13</b>	<b>11</b>	<b>2</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>34</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>66</b>	

- The Arborist Assessment states that there are a total of 13 mature trees on the site, excluding Alder and Cottonwood trees. 41 existing trees, approximately 76% of the total trees on the site, are Alder and Cottonwood trees. On the development site, the applicant proposes to retain 32 trees as part of this development proposal. The existing trees on the remnant parcel, which are Alder and Cottonwood trees, will be reassessed when that portion of the site develops in the future.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 33 replacement trees on the site. The applicant is proposing 34 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Dawyck Beech, Purple Fastigate Beech, Sweet Gum, Royal Star Magnolia, Scotch Pine and Japanese Stewartia.
- In summary, a total of 66 trees are proposed to be retained or replaced on the development site with no contribution to the Green City Program required.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. ADP Comments and Response
- Appendix VI. Proposed Housing Agreement By-law and Housing Agreement

*approved by Shawn Low*

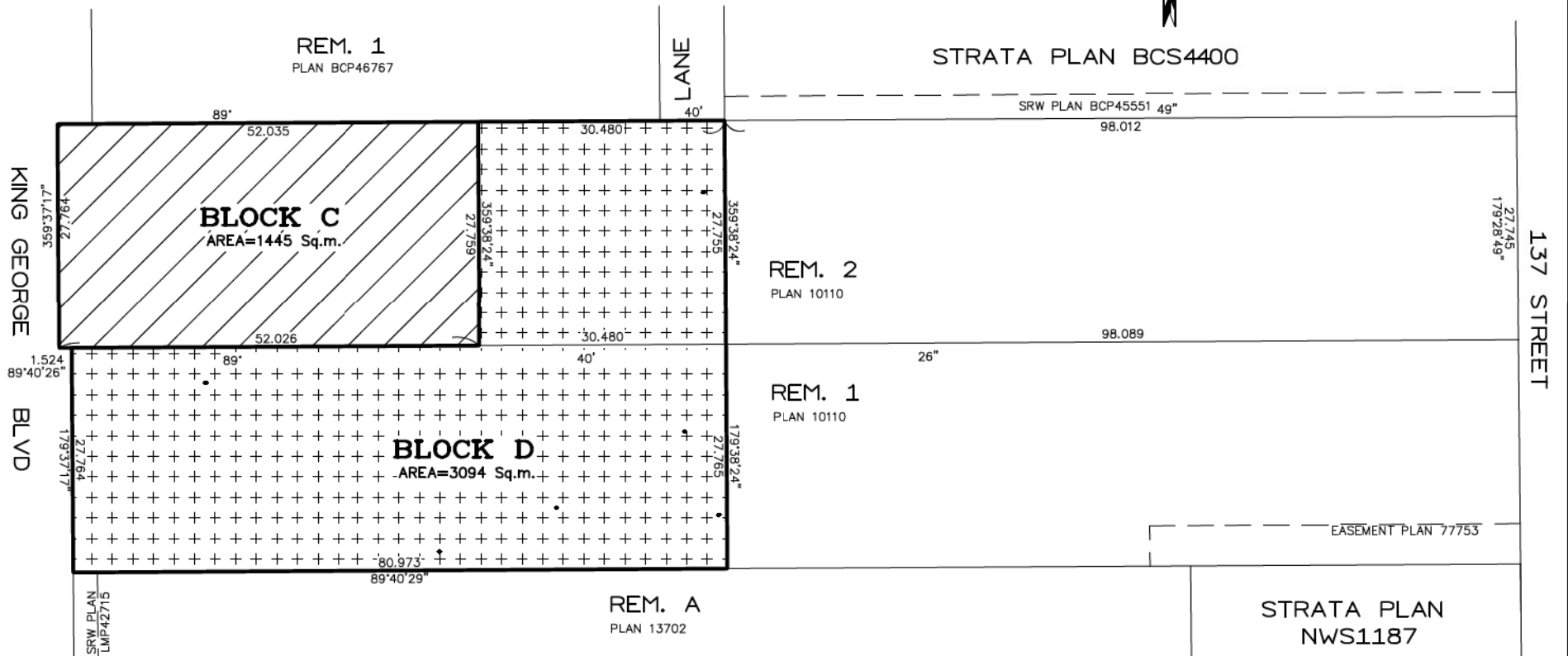
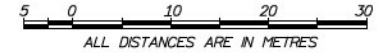
Don Luymes  
General Manager  
Planning and Development

HK/ar

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO: \_\_\_\_\_  
OF A PORTION OF LOT 2 EXCEPT: PART SUBDIVIDED BY PLAN 18810  
SECTION 16 TP 2 NWD PLAN 10110**

DRAFT DATE: JULY 16, 2024

SCALE 1 : 500



CERTIFIED CORRECT  
DATED THIS 16th DAY OF July, 2024.

M. Adam Fulkerson B.C.L.S.

Property lines are derived from FIELD SURVEY.

This Plan was prepared for city application purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

CIVIC ADDRESS:

6706 King George Highway, Surrey, B.C.  
P.I.D. 009-243-895

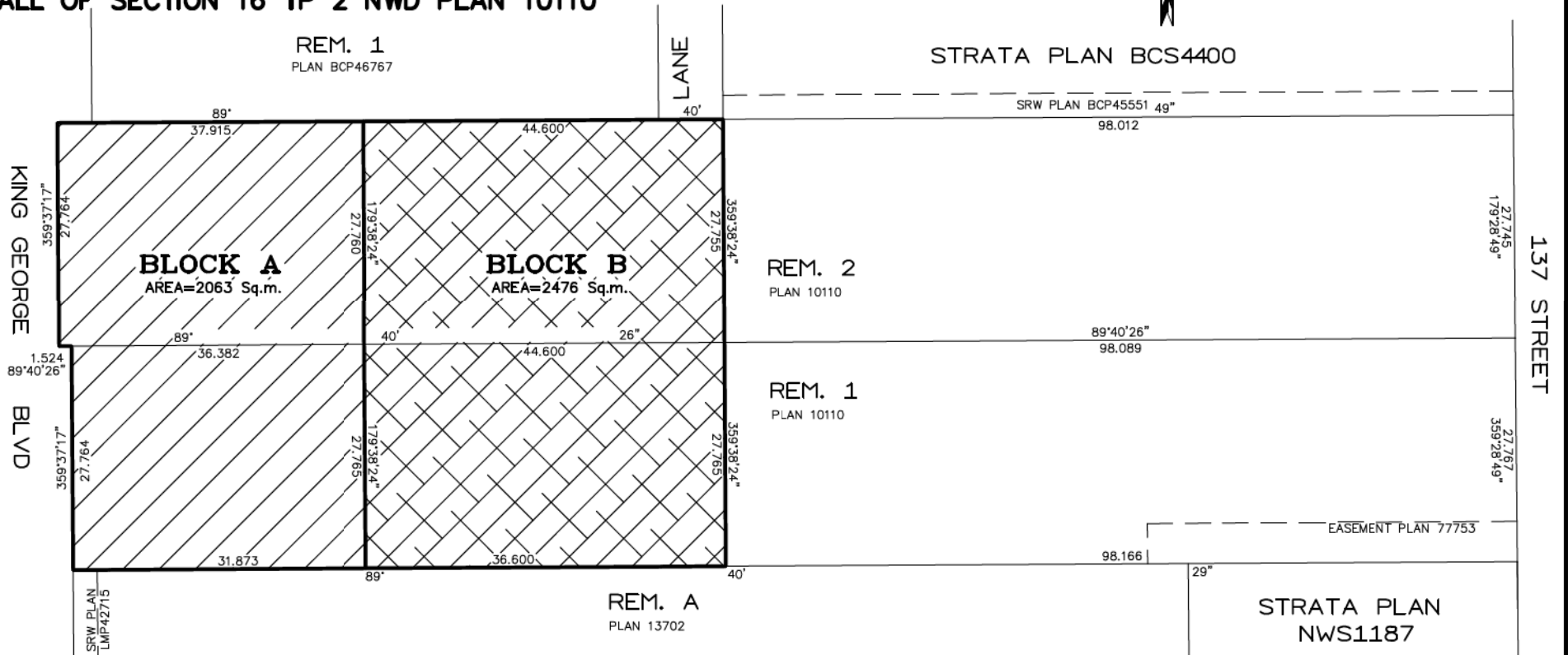
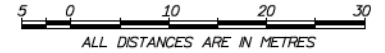
**TARGET**  
LAND SURVEYING  
C120 - 20178 96th Ave  
Langley, BC V1M 0B2  
604-583-6161



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO: \_\_\_\_\_  
 OF A PORTION OF LOT 1: EXCEPT: FIRSTLY: PART SUBDIVIDED BY PLAN  
 18810 AND SECONDLY: PART WITHIN HEAVY OUTLINE TAKEN BY  
 HIGHWAY STATUTORY RIGHT OF WAY PLAN 63551; AND PORTION OF  
 LOT 2 EXCEPT: PART SUBDIVIDED BY PLAN 18810  
 ALL OF SECTION 16 TP 2 NWD PLAN 10110**

DRAFT DATE: JULY 15, 2024

SCALE 1 : 500



CERTIFIED CORRECT  
 DATED THIS 15th DAY OF July, 2024.

Lot dimensions are derived from FIELD SURVEY.

This Plan was prepared for city application purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

CIVIC ADDRESSES:

6690 & 6706 King George Highway, Surrey, B.C.  
 P.L.D.'S 009-243-780  
 009-243-895



*[Signature]*

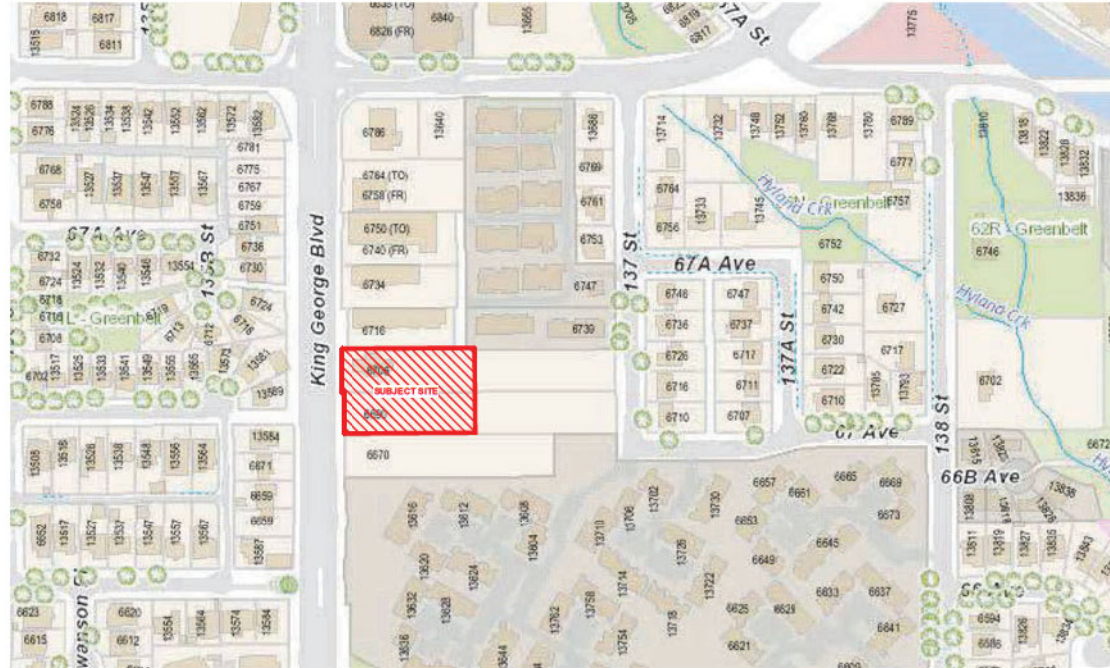
B.C.L.S.

M. Adam Fulkerson

**TARGET**  
 LAND SURVEYING  
 C120 - 20178 96th Ave  
 Langley, BC V1M 0B2  
 604-583-6161

# MIXED USE DEVELOPMENT

6690 & 6706 KING GEORGE BLVD,  
SURREY, BC



CONTEXT PLAN

NOTES:



## PROJECT INFO

### LEGAL DESCRIPTION:

LOT 1 BLOCK 23 SECTION 16 TOWNSHIP 2 PLAN NWP10110 NWD  
PART SW 14, EXCEPT PLAN 18810 & 63551.  
LOT 2 SECTION 16 TOWNSHIP 2 PLAN NWP10110 NWD EXCEPT  
PLAN 18810.

### CIVIC ADDRESS:

6690 & 6706 KING GEORGE BLVD, SURREY, BC

### ZONING INFORMATION:

ZONE: MIX OF RF & C8  
EXISTING: CD Zone  
PROPOSED: Newton King George Boulevard Plan  
NCP

### LOT AREA:

GROSS SITE AREA - 1.121 AC. / 4539.1 SQM  
DEDICATIONS - 0.298 AC. / 1206.7 SQM  
NET SITE AREA - 0.822 AC. / 3332.4 SQM

## PROJECT DIRECTORY

### CLIENT:

HARPREET PURBA  
CENTURY 21 COASTAL REALTY LTD  
217-12837 76 AVE  
SURREY, BC  
CANADA  
T 604-599-4888 (OFFICE)

### ARCHITECTURAL :

DF ARCHITECTURE INC.  
350 - 10851 SHELLBRIDGE WAY  
RICHMOND, BC V6X 3Z6  
CONTACT: JESSIE ARORA  
T 604-284-5194  
jessie@dfarchitecture.ca

### SURVEY:

TARGET LAND SURVEYING  
UNIT C120 20178, 96 AVE,  
LANGLEY, B.C. V1M 0B2  
T 604-583-6161

### CIVIL:

McElhanney  
SUITE 2300 - CENTRAL CITY TOWER  
13450 102ND AVENUE,  
SURREY, BC V3T 5X3  
T 604-596-0391

### LANDSCAPE :

M2 LANDSCAPE ARCHITECTURE  
#220 - 26 LORNE MEWS  
NEW WESTMINSTER, BC V3M 3L7  
T 604-553-0044  
office@m2la.com

### ARBORIST:

WOODRIDGE TREE  
CONSULTING ARBORISTS  
LTD  
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V4P 2E5  
T 778-847-0669  
calvin@woodridgetree.com

## ARCHITECTURAL

CATEGORY	SHEET NO.	SHEET NAME	CATEGORY	SHEET NO.	SHEET NAME
BUILDING FLOOR PLANS	A-001	COVER PAGE	SECTIONS & ELEVATIONS	A-209	ROOF PLAN CAFETERIA
	A-002	DEVELOPMENT DATA		A-301	ELEVATIONS COMMERCIAL BUILDING
	A-003	SITE ANALYSIS (CONTEXT PHOTOS)		A-302	ELEVATIONS COMMERCIAL BUILDING
	A-004	SITE ANALYSIS (CONTEXT AERIAL VIEW)		A-303	ELEVATIONS COMMERCIAL BUILDING
	A-005	SITE ANALYSIS (LAND USE MAP)		A-304	ELEVATIONS COMMERCIAL BUILDING
	A-006	SITE ANALYSIS (TRANSIT & RECREATION)		A-305	ELEVATIONS RESIDENTIAL BUILDING
	A-007	SURVEY		A-306	ELEVATIONS RESIDENTIAL BUILDING
	A-008	BASE PLAN		A-307	ELEVATIONS RESIDENTIAL BUILDING
	A-009	SHADOW ANALYSIS		A-308	ELEVATIONS RESIDENTIAL BUILDING
	A-010-012	STREETSCAPE-1, 2 & 3		A-309	ELEVATIONS CAFETERIA
	A-013	SITE ANALYSIS (PEDESTRIAN-VEHICULAR)		A-310	ELEVATIONS CAFETERIA
	A-014-015	ARCHITECTURAL PRECEDENCE- 1 & 2		A-311	ELEVATIONS CAFETERIA
	A-016-018	SITE MODEL (AERIAL VIEWS-1, 2 & 3)		A-320	MATERIAL BOARD
	A-100	SITE PLAN (PHASE 1)		A-401	BUILDING SECTION-1
	A-101	FIRE SAFETY PLAN (PHASE 1)		A-402	BUILDING SECTION-2
	A-102	SITE PLAN (PHASE 2)		A-403	BUILDING SECTION-3
	A-103	FIRE SAFETY PLAN (PHASE 2)		A-404	BUILDING SECTION -4
	A-104	CONTEXT/ACCESS/PHASING PLAN		A-501	UNIT PLANS
	A-200-201	PARKADE LEVEL 1 & 2		A-502	UNIT PLANS
	A-202	FLOOR PLANS COMMERCIAL BUILDING		A-503	UNIT PLANS
	A-203	FLOOR PLANS COMMERCIAL BUILDING		A-504	UNIT PLANS
	A-204	FLOOR & ROOF PLANS COMMERCIAL BUILDING		A-601	DETAILS
	A-205	FLOOR PLANS RESIDENTIAL BUILDING		A-602	COMMERCIAL CANOPY RCP-DETAILS
	A-206	FLOOR PLANS RESIDENTIAL BUILDING		A-701	IMAGES
	A-207	FLOOR & ROOF PLANS RESIDENTIAL BUILDING		A-702	IMAGES
	A-208	FLOOR PLAN CAFETERIA			

2024-07-15	PREPARED FOR CONSULT - 18810
2024-07-15	CONSULTATION - 18810
2024-07-15	FOR PRELIMINARY DESIGN
2024-07-15	FOR PRELIMINARY DESIGN
2024-07-15	FOR PRELIMINARY DESIGN
2024-07-15	FOR PRELIMINARY DESIGN
2024-07-15	FOR PRELIMINARY DESIGN



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PROJECT: PROPOSED MIXED USE DEVELOPMENT

6690 & 6706 KING GEORGE BOULEVARD

CLIENT:

HARPREET PURBA

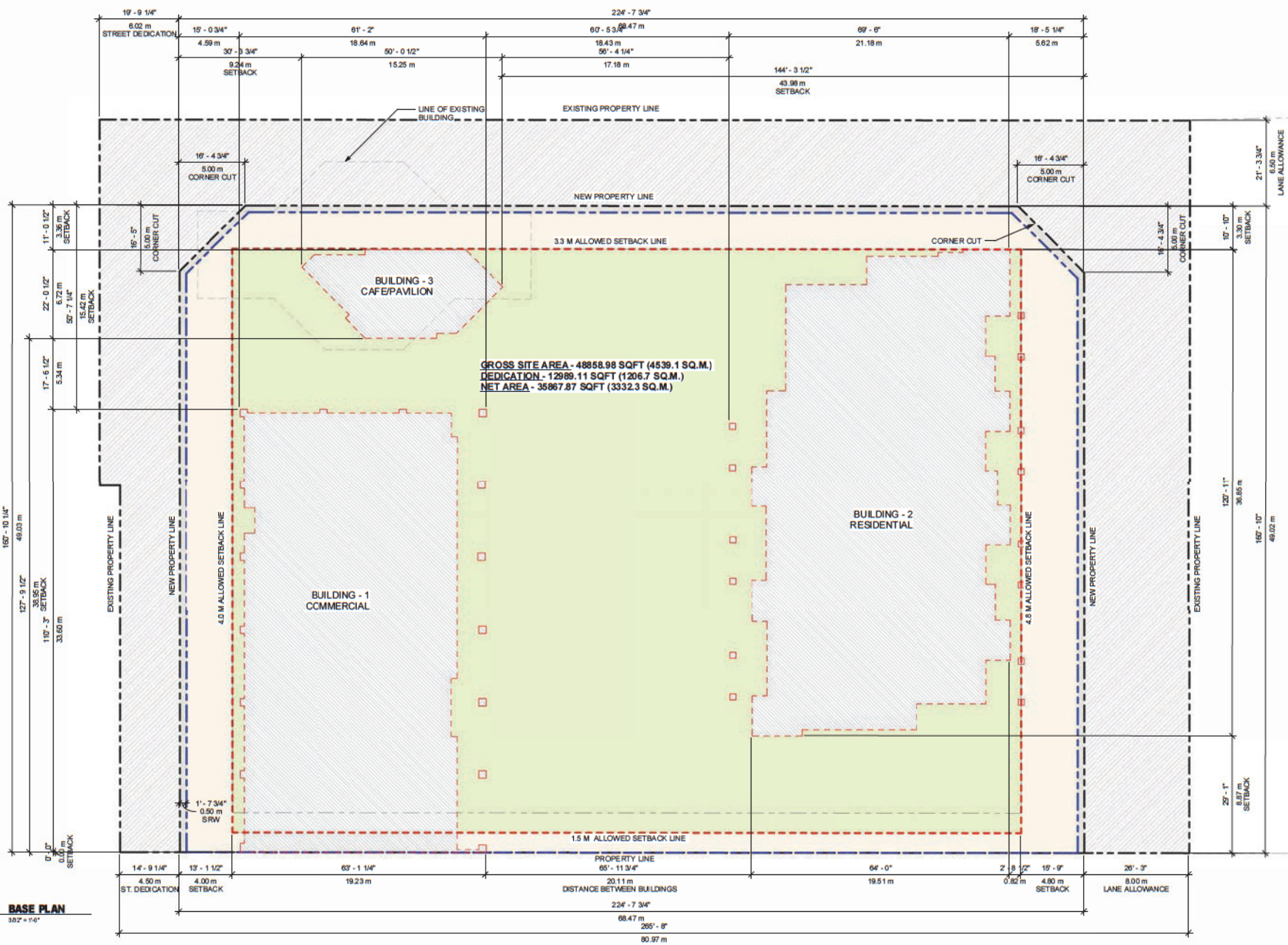
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DESIGN: JB
CHECKED: YA
SCALE: 1/8" = 1'-0"
JOB NO: BUR-177
DATE: JULY 2024
SHEET TITLE:

COVER PAGE

DRAWING NO.	<b>A-001</b>
REVISION	<b>H</b>





**GROSS SITE AREA - 48858.98 SQFT (4539.1 SQ.M.)**  
**DEDICATION - 12989.11 SQFT (1206.7 SQ.M.)**  
**NET AREA - 35867.87 SQFT (3332.3 SQ.M.)**

**1**  
**A-008**  
**BASE PLAN**  
 1/8" = 1'-0"

NOTES:



REV 12-11-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING
REV 12-10-21	PROPOSED TO CORRECT BUILDING



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**PROJECT**  
 PROPOSED MIXED USE  
 DEVELOPMENT

**6890 & 6706 KING GEORGE  
 BOULEVARD**

**CLIENT**  
 HARPREET PURSA

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SCALE	3/32" = 1'-0"
JOB NO.	BJR177
DATE	JULY 2024
SHEET TITLE	

BASE PLAN

**A-008** **H**

NOTES:



1  
A-009 SHADOW ANALYSIS AUTUMN EQ 10 AM  
1" = 80'-0"

2  
A-009 SHADOW ANALYSIS AUTUMN EQ 12 NOON  
1" = 80'-0"

3  
A-009 SHADOW ANALYSIS AUTUMN EQ 2 PM  
1" = 80'-0"



4  
A-009 SHADOW ANALYSIS SPRING EQ 10 AM  
1" = 80'-0"

5  
A-009 SHADOW ANALYSIS SPRING EQ 12 NOON  
1" = 80'-0"

6  
A-009 SHADOW ANALYSIS SPRING EQ 2 PM  
1" = 80'-0"

REV 01	ISSUED TO COUNCIL - 05/20/24
REV 02	ISSUED TO A/C - 05/20/24
REV 03	FOR POST-CONSTRUCTION
REV 04	FOR POST-CONSTRUCTION
REV 05	FOR POST-CONSTRUCTION
REV 06	FOR POST-CONSTRUCTION
REV 07	FOR POST-CONSTRUCTION
REV 08	FOR POST-CONSTRUCTION
REV 09	FOR POST-CONSTRUCTION
REV 10	FOR POST-CONSTRUCTION
REV 11	FOR POST-CONSTRUCTION
REV 12	FOR POST-CONSTRUCTION
REV 13	FOR POST-CONSTRUCTION
REV 14	FOR POST-CONSTRUCTION
REV 15	FOR POST-CONSTRUCTION
REV 16	FOR POST-CONSTRUCTION
REV 17	FOR POST-CONSTRUCTION
REV 18	FOR POST-CONSTRUCTION
REV 19	FOR POST-CONSTRUCTION
REV 20	FOR POST-CONSTRUCTION

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PROJECT: **PROPOSED MIXED USE DEVELOPMENT**

**6690 & 6706 KING GEORGE BOULEVARD**

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CHECKED: YA

SCALE: 1" = 80'-0"

JOB NO: BUR-177

DATE: JULY 2024

SHEET TITLE:

SHADOW ANALYSIS

DRAWING NO:  
**A-009**

**H**

NOTES:



LEGEND:

- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- SERVICE ACCESS
- BIKE ROUTE
- PROPOSED BUILDINGS
- LANDSCAPING
- OPEN PUBLIC SPACES
- PRIVATE OUTDOOR SPACE
- RESIDENTIAL ENTRY PLAZA
- ✳ PUBLIC PLAZA

REV 11-18	REVISION TO CONCEPT DEVELOPMENT
REV 09-18	CONCEPT DEVELOPMENT
REV 08-18	CONCEPT DEVELOPMENT
REV 07-18	CONCEPT DEVELOPMENT
REV 06-18	CONCEPT DEVELOPMENT
REV 05-18	CONCEPT DEVELOPMENT
REV 04-18	CONCEPT DEVELOPMENT
REV 03-18	CONCEPT DEVELOPMENT



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SCALE: As Indicated

JOB NO: BUR-177

DATE: JULY 2024

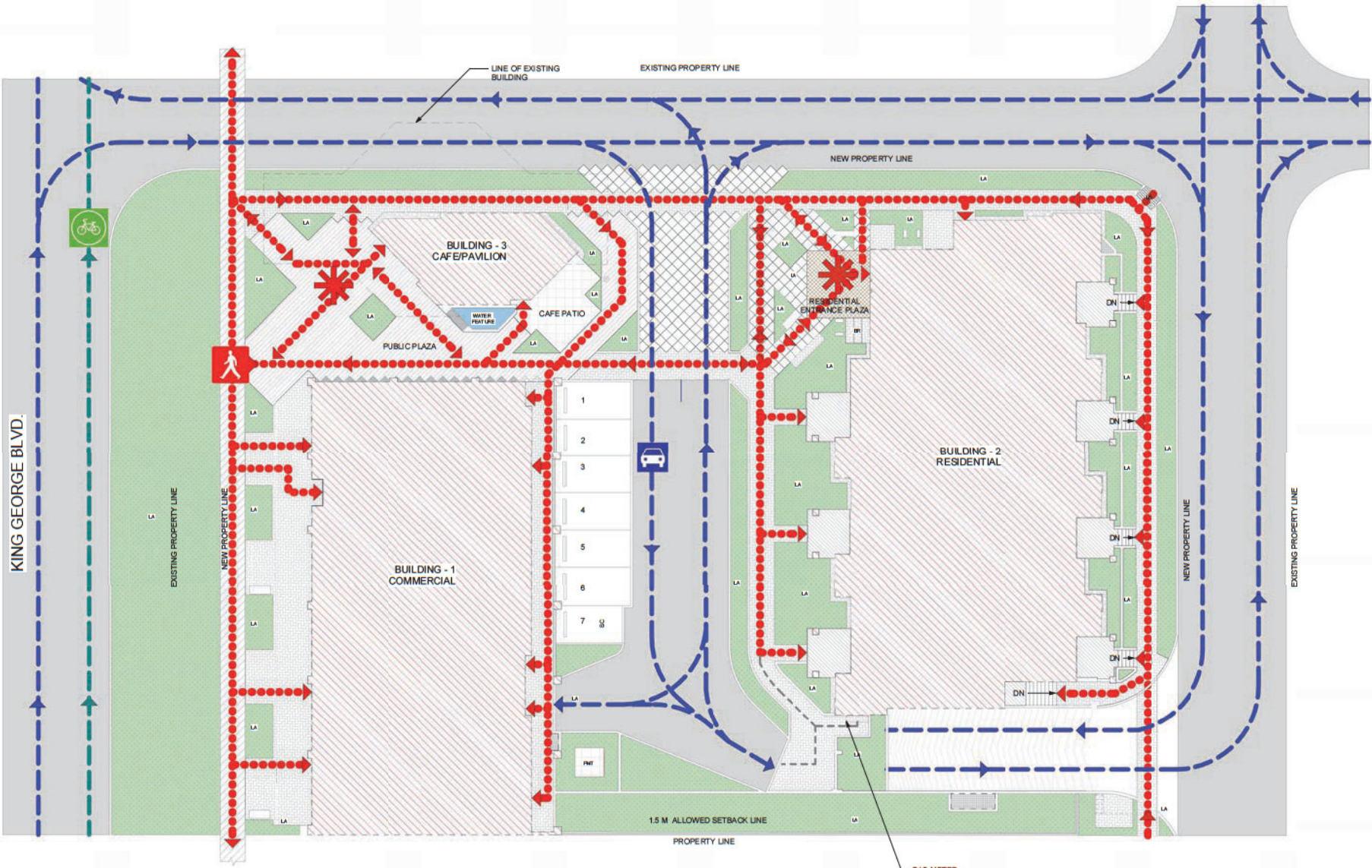
SHEET TITLE:

**SITE ANALYSIS (PEDESTRIAN & VEHICULAR)**

DRAWING NO.

**A-013**

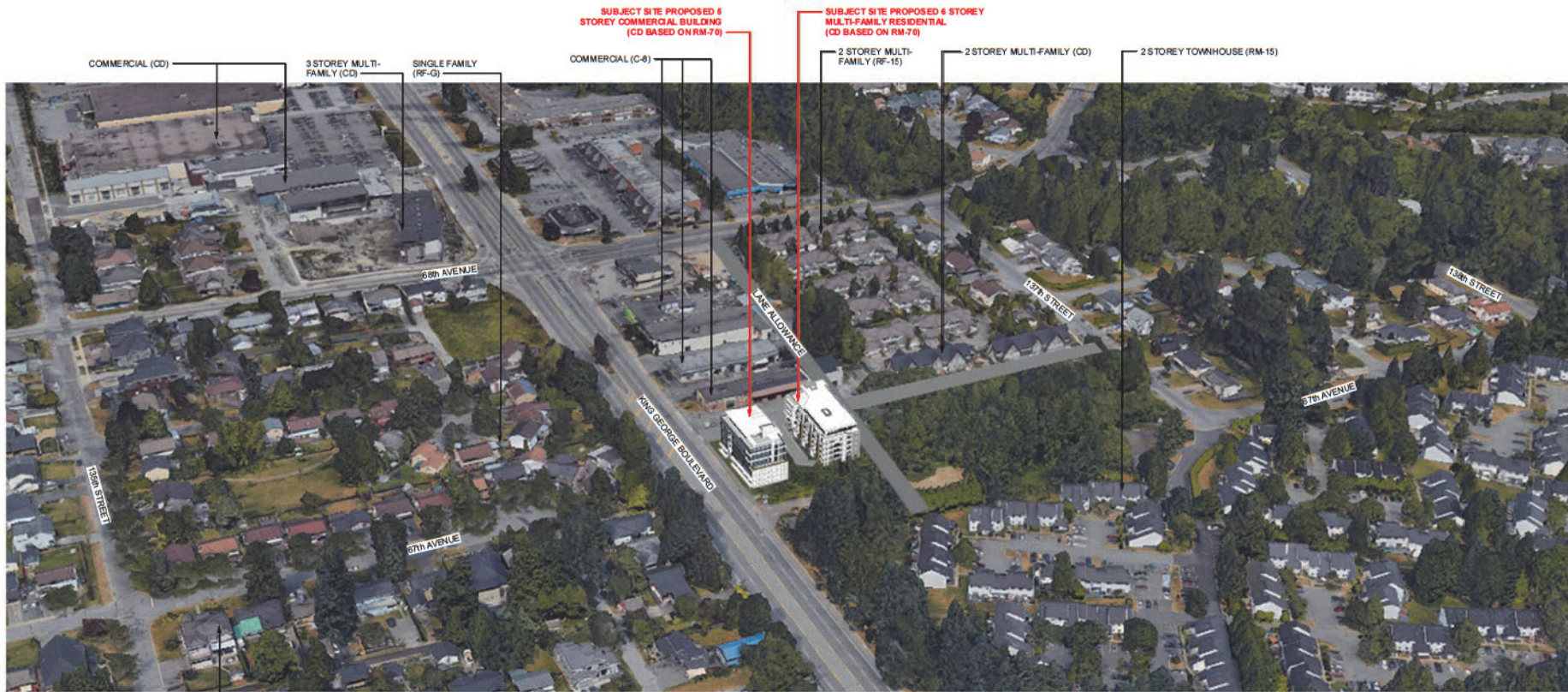
**H**



NOTES:



SITE ANALYSIS - PROPOSED BUILDING MASSING WITH URBAN CONTEXT



KING GEORGE BOULEVARD AERIAL VIEW SOUTH-WEST PERSPECTIVE

REVISION	DESCRIPTION



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PROJECT: PROPOSED MIXED USE DEVELOPMENT

6690 & 6706 KING GEORGE BOULEVARD

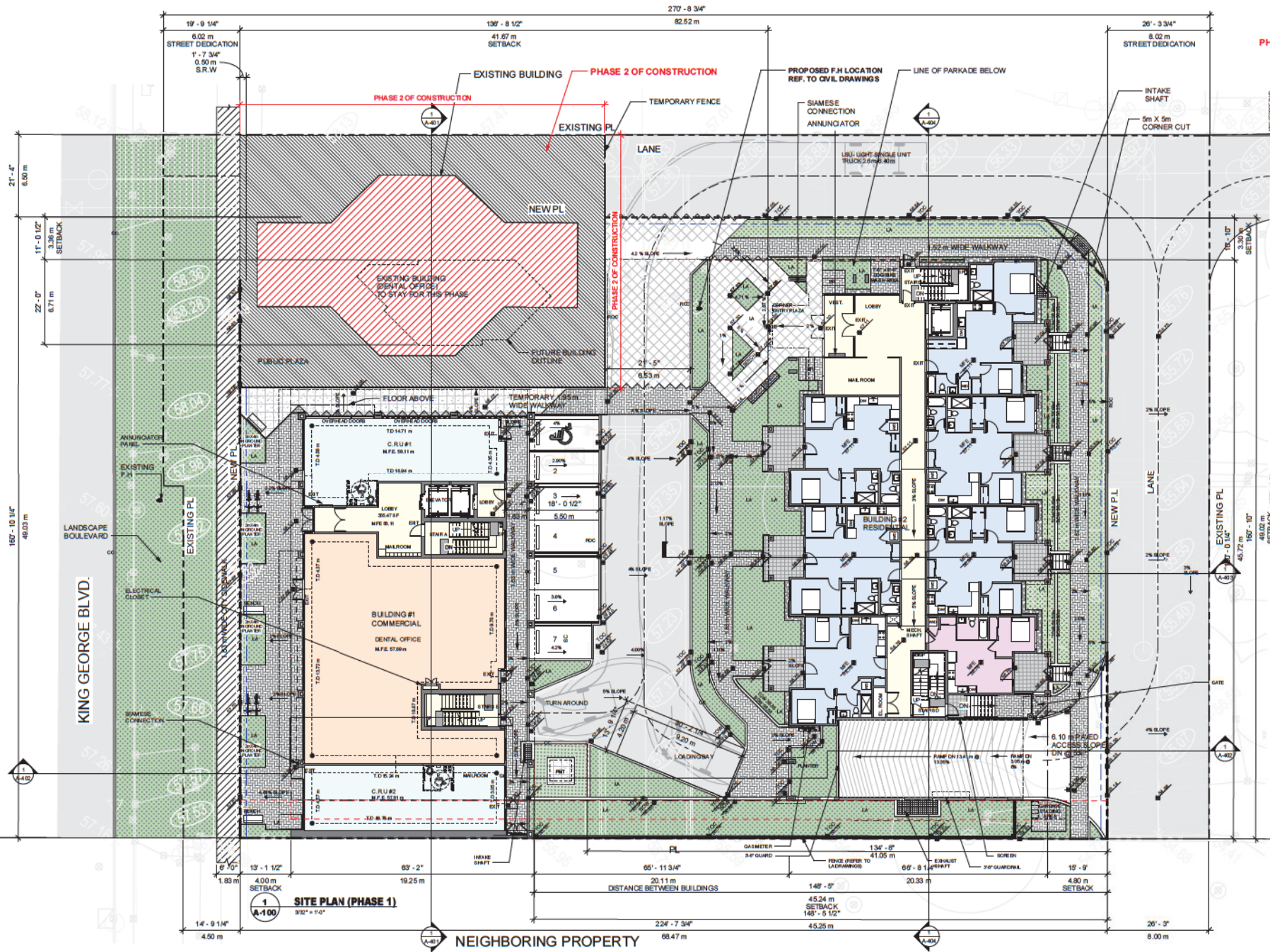
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CHECKED: YA
SCALE:
JOB NO: BJR-177
DATE: JULY 2024
SHEET TITLE:

SITE ANALYSIS (AERIAL VIEW)

DRAWING NO: A-016	H
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**NOTES:**

**PHASE 1 OF CONSTRUCTION**

**LEGEND:**

- PL - PROPERTY LINE
- LA - REFER TO LANDSCAPE
- RW - RETAINING WALL
- BR - BIKE RACK
- CC - CONCRETE CURB
- GM - GAS METER
- PS - PRIVACY SCREEN
- LD - LETDOWN
- TOW - TOP OF RETAINING WALL
- BOW - BOTTOM OF RETAINING WALL
- ROC - ROLL-OVER CURB
- LD - LETDOWN
- TDC - TOP OF CURB
- SR - STANDPIPE
- DR - DRAIN
- UNST - UNOBSTRUCTED PATH OF TRAVEL

**NOTES:**

- LANDSCAPE DESIGN, PLANTING MATERIALS, PAVERS TYPE, COLOUR CHARACTER, RETAINING WALL FINISHING REFER TO LANDSCAPE DRAWINGS
- CURBS ALIGNMENT AND FINISH GRADING REFER TO CIVIL DRAWINGS
- FENCE TO BE IN ACCORDANCE WITH BCBC 2024



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**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**  
**HARPREET PURBA**

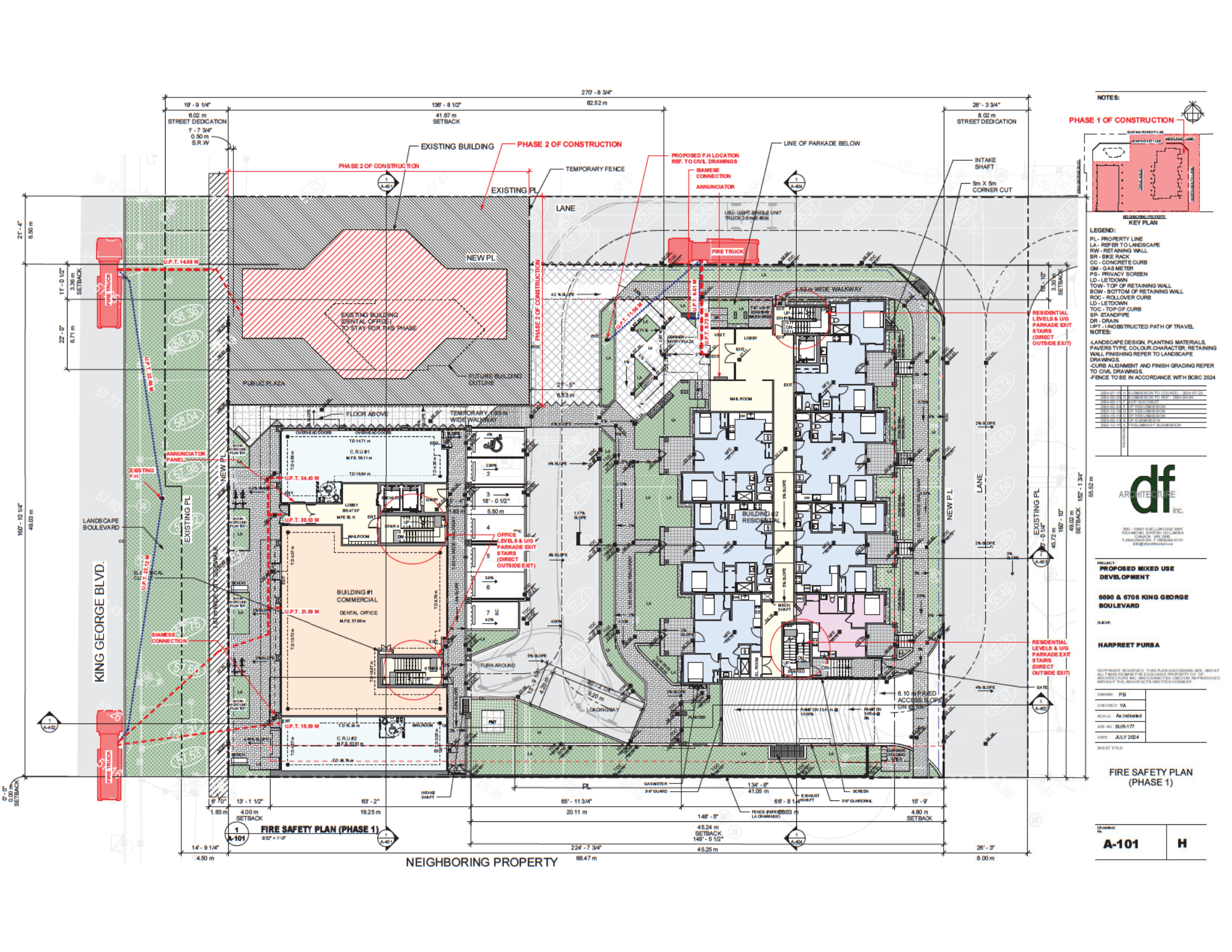
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CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	6UR177
DATE:	JULY 2024
SHEET TITLE:	

**SITE PLAN (PHASE 1)**

DRAWING NO.:	<b>A-100</b>	<b>H</b>
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**NOTES:**

**PHASE 1 OF CONSTRUCTION**



- LEGEND:**
- PL - PROPERTY LINE
  - LA - REFER TO LANDSCAPE
  - RW - RETAINING WALL
  - BR - BIKE RACK
  - CC - CONCRETE CURB
  - GM - GAS METER
  - PS - PRIVACY SCREEN
  - LD - LETDOWN
  - TOW - TOP OF RETAINING WALL
  - BOW - BOTTOM OF RETAINING WALL
  - ROC - ROLL-OVER CURB
  - LD - LETDOWN
  - TOC - TOP OF CURB
  - SR - STANDPIPE
  - DR - DRAIN
  - UBT - UNOBSTRUCTED PATH OF TRAVEL
- RESIDENTIAL LEVELS & U/G PARKADE EXIT STAIRS (DIRECT OUTSIDE EXIT)**
- NOTES:**
- LANDSCAPE DESIGN, PLANTING MATERIALS, PAVERS TYPE, COLOUR CHARACTER, RETAINING WALL FINISHING REFER TO LANDSCAPE DRAWINGS
  - CURBS ALIGNMENT AND FINISH GRADING REFER TO CIVIL DRAWINGS
  - FENCE TO BE IN ACCORDANCE WITH BCBC 2024

NO.	DESCRIPTION
1	REVISION
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION



**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**  
**6890 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**  
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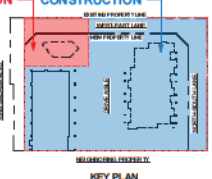
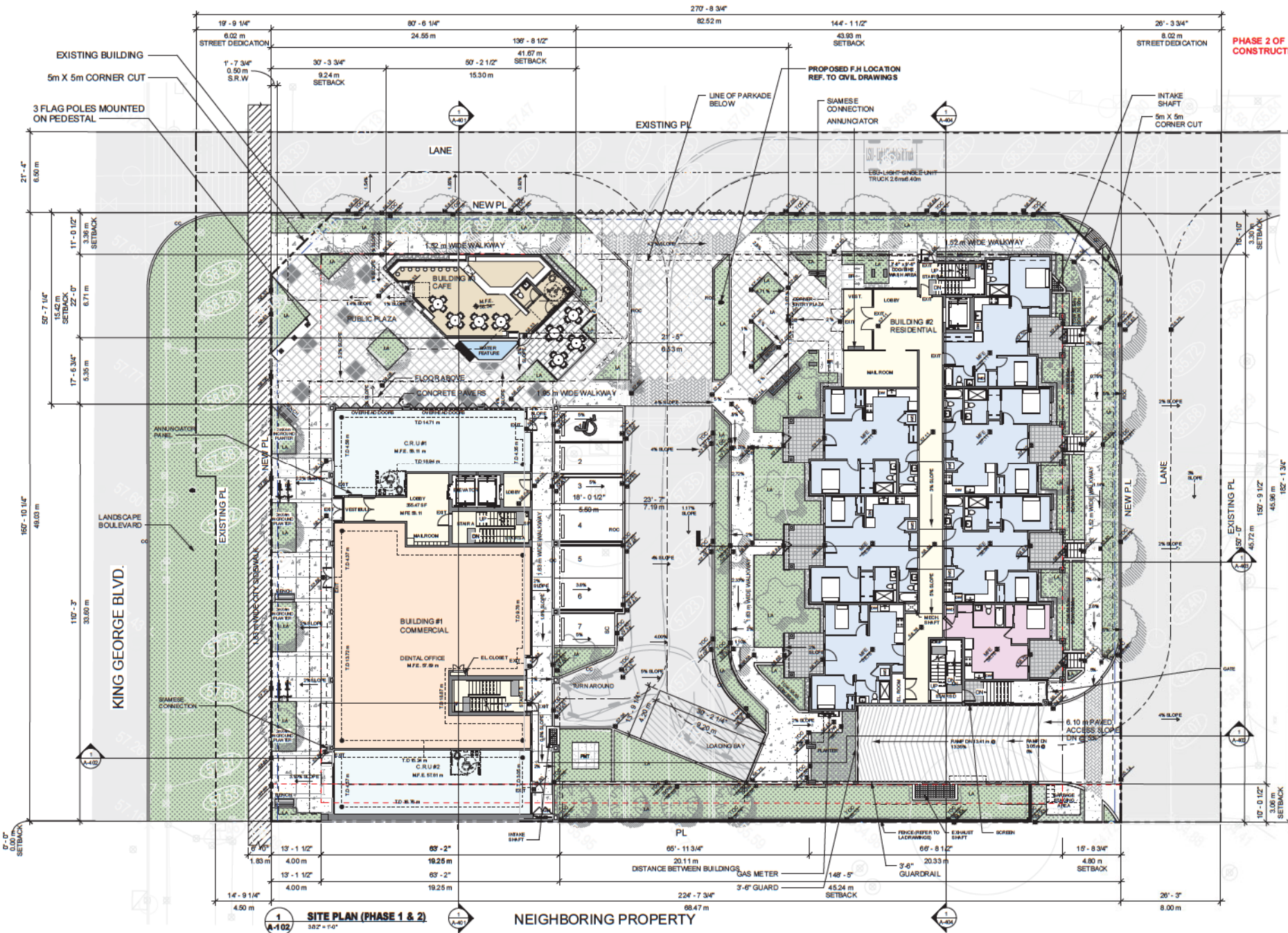
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SCALE:	As Indicated
JOB NO.:	BUR-177
DATE:	JULY 2024
SHEET TITLE:	

**FIRE SAFETY PLAN (PHASE 1)**

**DRAWING NO.:**  
**A-101**

**SCALE:**  
**H**



- LEGEND:**
- PL - PROPERTY LINE
  - LA - REFER TO LANDSCAPE
  - RW - RETAINING WALL
  - BR - BIKE RACK
  - CC - CONCRETE CURB
  - GM - GAS METER
  - PS - PRIVACY SCREEN
  - LD - LETDOWN
  - TOW - TOP OF RETAINING WALL
  - BOW - BOTTOM OF RETAINING WALL
  - ROC - ROLL-OVER CURB
  - LD - LETDOWN
  - TCC - TOP OF CURB
  - SP - STANDPIPE
  - DR - DRAIN
  - UPT - UNOBSTRUCTED PATH OF TRAVEL

- NOTES:**
- LANDSCAPE DESIGN, PLANTING MATERIALS, PAVERS TYPE, COLOUR, CHARACTER, RETAINING WALL FINISHING REFER TO LANDSCAPE DRAWINGS
  - CURB ALIGNMENT AND FINISH GRADING REFER TO CIVIL DRAWINGS

DATE	DESCRIPTION
2024-07-01	ISSUE FOR PERMITTING
2024-06-15	REVISED PER CIVIL DRAWINGS
2024-06-01	ISSUE FOR PRELIMINARY REVIEW
2024-05-15	REVISED PER CIVIL DRAWINGS
2024-05-01	ISSUE FOR PRELIMINARY REVIEW

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**PROJECT:**  
PROPOSED MIXED USE DEVELOPMENT  
**6890 & 6706 KING GEORGE BOULEVARD**

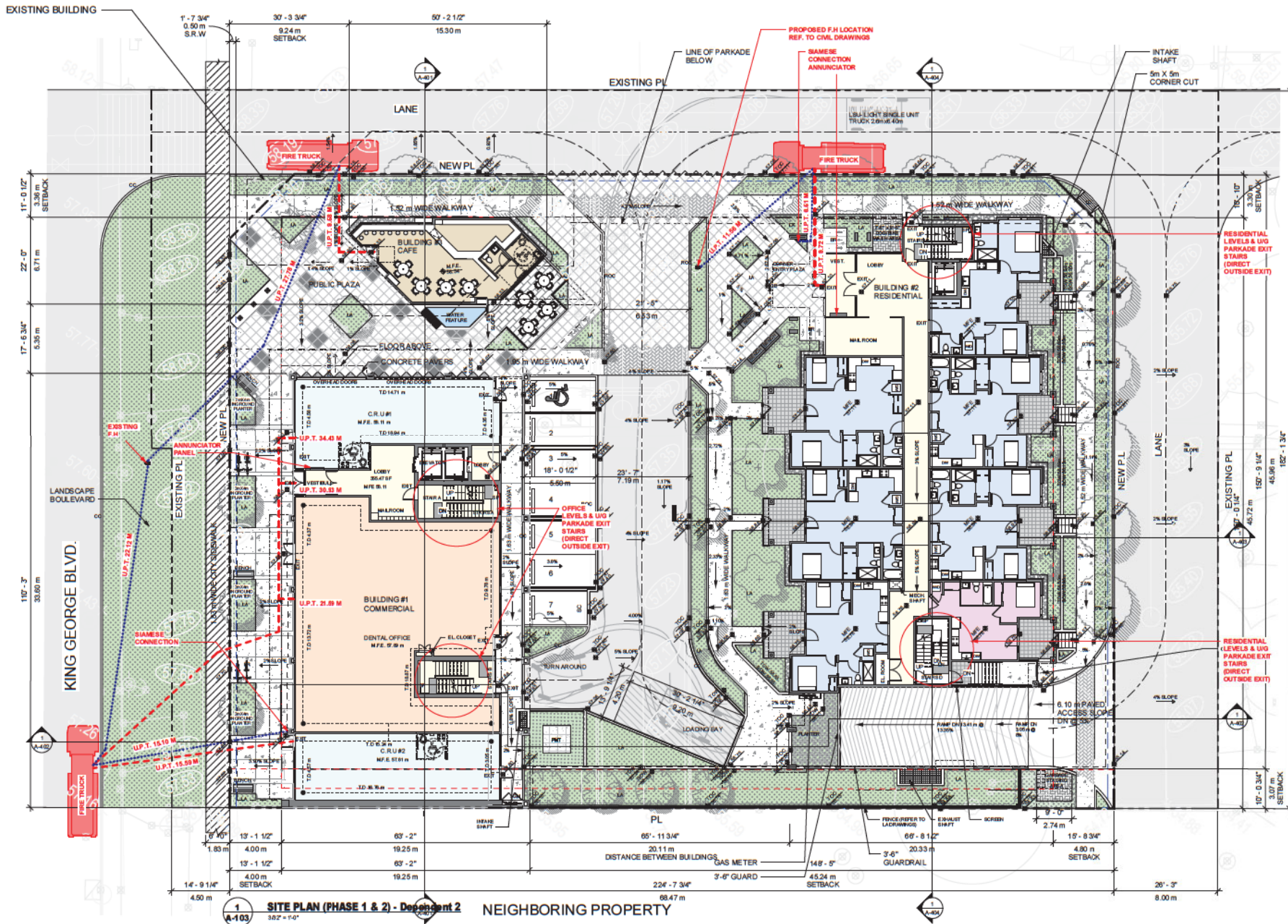
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SCALE:	As Indicated
JOB NO.:	6890-177
DATE:	JULY 2024

SHEET TITLE:  
**SITE PLAN (PHASE 1&2)**

DRAWING NO. **A-102** **H**



**NOTES:**

**PHASE 1 OF CONSTRUCTION**



- LEGEND:**
- PL - PROPERTY LINE
  - LA - REFER TO LANDSCAPE
  - RW - RETAINING WALL
  - BR - BIKE RACK
  - CC - CONCRETE CURB
  - GM - GAS METER
  - PS - PRIVACY SCREEN
  - LD - LETDOWN
  - TOW - TOP OF RETAINING WALL
  - BOW - BOTTOM OF RETAINING WALL
  - ROC - ROLL-OVER CURB
  - LD - LETDOWN
  - TOW - TOP OF CURB
  - SP - STANDPIPE
  - DR - DRAIN
  - UPT - UNOBSTRUCTED PATH OF TRAVEL

**NOTES:**

- LANDSCAPE DESIGN, PLANTING MATERIALS, PAVERS TYPE, COLOUR, CHARACTER, RETAINING WALL FINISHING REFER TO LANDSCAPE DRAWINGS
- CURB ALIGNMENT AND FINISH GRADING REFER TO CIVIL DRAWINGS

1000 - 1000	CONCRETE
1000 - 1000	ASPHALT
1000 - 1000	PAVING
1000 - 1000	LANDSCAPE
1000 - 1000	GRASS
1000 - 1000	WOOD
1000 - 1000	STEEL
1000 - 1000	GLASS
1000 - 1000	BRICK
1000 - 1000	STONE
1000 - 1000	PLASTER
1000 - 1000	CEILING
1000 - 1000	FLOORING
1000 - 1000	WALLS
1000 - 1000	ROOFING
1000 - 1000	MECHANICAL
1000 - 1000	ELECTRICAL
1000 - 1000	PLUMBING
1000 - 1000	PAINTING
1000 - 1000	FINISHING
1000 - 1000	LANDSCAPING
1000 - 1000	CONCRETE
1000 - 1000	ASPHALT
1000 - 1000	PAVING
1000 - 1000	LANDSCAPE
1000 - 1000	GRASS
1000 - 1000	WOOD
1000 - 1000	STEEL
1000 - 1000	GLASS
1000 - 1000	BRICK
1000 - 1000	STONE
1000 - 1000	PLASTER
1000 - 1000	CEILING
1000 - 1000	FLOORING
1000 - 1000	WALLS
1000 - 1000	ROOFING
1000 - 1000	MECHANICAL
1000 - 1000	ELECTRICAL
1000 - 1000	PLUMBING
1000 - 1000	PAINTING
1000 - 1000	FINISHING
1000 - 1000	LANDSCAPING



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 RECREATION CENTRE COLLEGE  
 CANADA, ONTARIO  
 1 (800) 461-1111  
 info@dfarchitecture.com

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**  
**HARPREET PURSA**

**DATE:**  
**JULY 2024**

**PROJECT TITLE:**  
**FIRE SAFETY PLAN (PHASE 1 & 2)**

DESIGNER:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BUR-177
DATE:	JULY 2024
SHEET TITLE:	

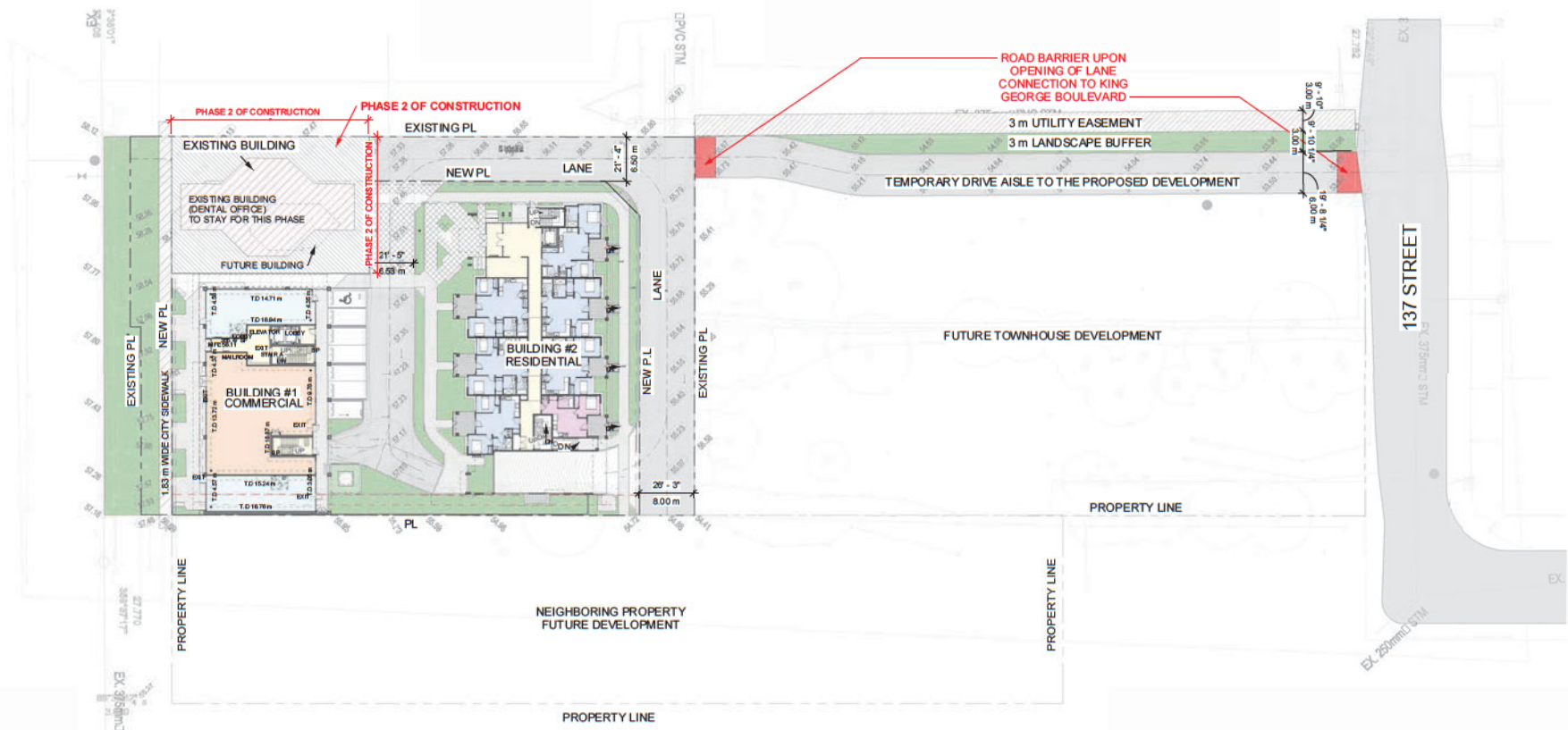
**1 A-103**

**H**

**NEIGHBORING PROPERTY**

**1 A-103**

NOTES:



REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT
REV 12-18	PROPOSED TO CORRECT



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**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

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DRAWN:	PB
CHECKED:	YA
SCALE:	1" = 20'-0"
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

**CONTEXT/ACCESS AND PHASING PLAN**

**1** **CONTEXT/ACCESS & PHASING PLAN**  
 1" = 20'-0"

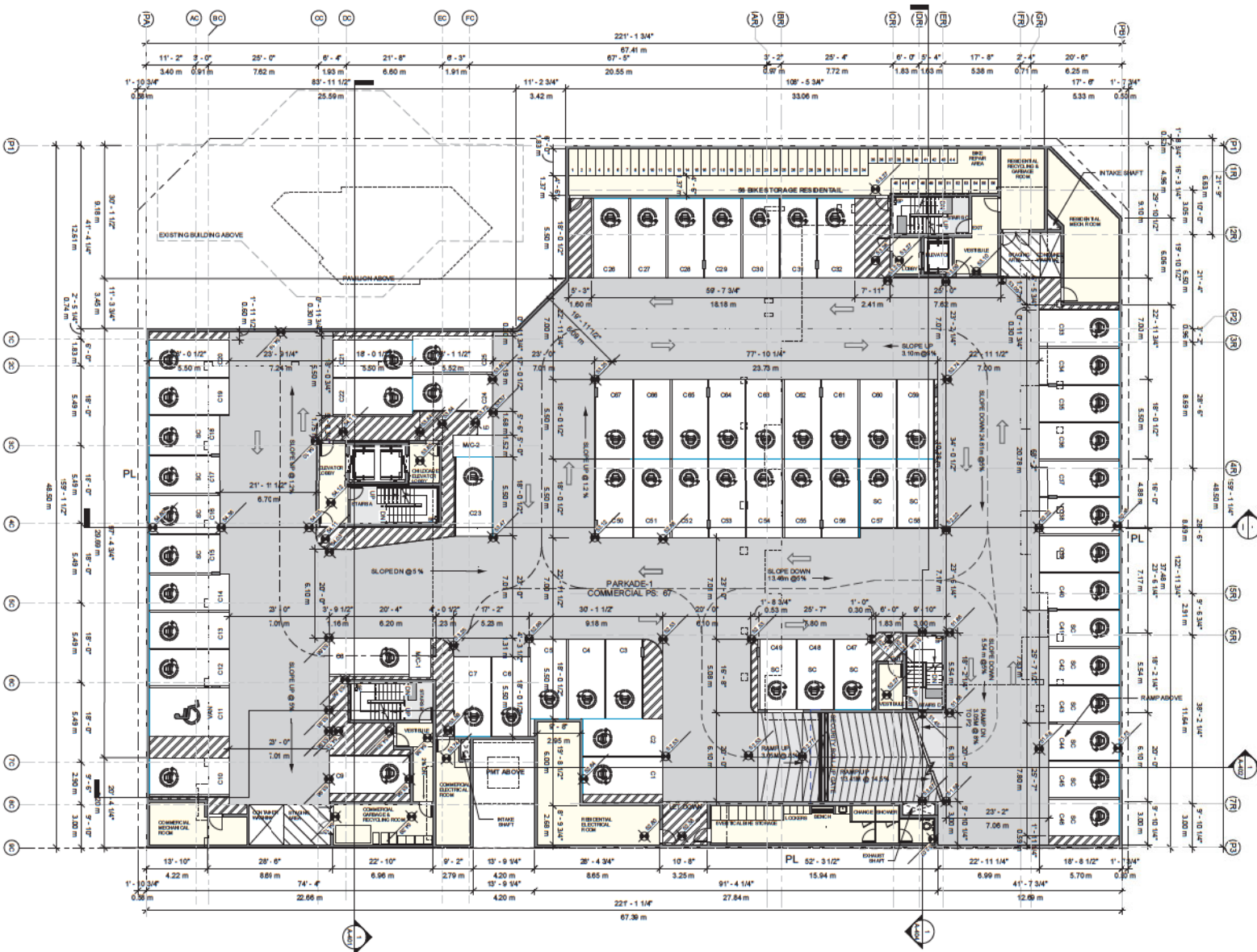
DRAWING NO.:	<b>A-104</b>
REVISION:	<b>H</b>

NOTES:



LEGEND:

- SC - SMALL CAR
- C - COMMERCIAL
- R - RESIDENTIAL
- V - VISITOR
- VAN - ACCESSIBLE VAN
- SP - STANDPIPE
- DR - DRAIN



REV 10/2024	REVISION TO CONSTRUCTION
REV 09/2024	REVISION TO CONSTRUCTION
REV 08/2024	REVISION TO CONSTRUCTION
REV 07/2024	REVISION TO CONSTRUCTION
REV 06/2024	REVISION TO CONSTRUCTION
REV 05/2024	REVISION TO CONSTRUCTION
REV 04/2024	REVISION TO CONSTRUCTION
REV 03/2024	REVISION TO CONSTRUCTION
REV 02/2024	REVISION TO CONSTRUCTION
REV 01/2024	REVISION TO CONSTRUCTION



300 - 1001 SHELLBROOK WAY  
 RICHMOND HILL, ONTARIO  
 CANADA L4B 3P5  
 TEL: 905.882.1111  
 INFO@DFARCHITECTURE.COM

PROJECT:  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BOULEVARD**

CLIENT:  
**HARPREET PURSA**

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DRAWN:	PB
CHECKED:	YA
SCALE:	3/32" = 1'-0"
JOB NO.:	BUR-177
DATE:	JULY 2024
SHEET TITLE:	

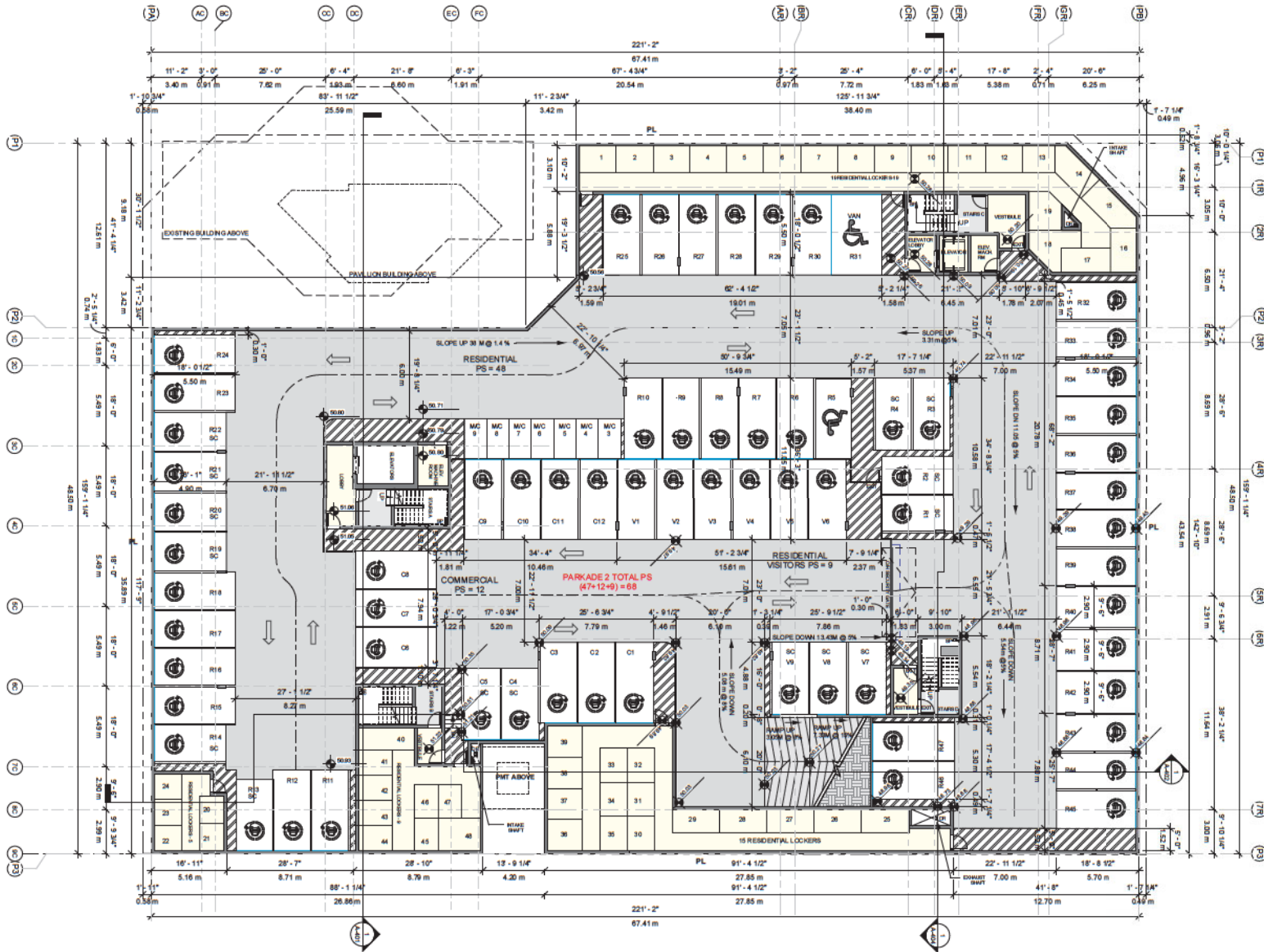
**PARKADE LEVEL 1**

NOTES:



LEGEND:

- SC - SMALL CAR
- C - COMMERCIAL
- R - RESIDENTIAL
- V - VISITOR
- VAN - ACCESSIBLE VAN
- SP - STANDPIPE
- DR - DRAIN



REV 12/11/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION
REV 11/14/2024	REVISION TO CONSTRUCTION



300 - 1001 SHELLBROOK WAY  
 FREDERICTON, NEW BRUNSWICK, CANADA  
 TEL: 506-335-2252  
 1100 UNIVERSITY PARKWAY #200  
 FREDERICTON, NEW BRUNSWICK, CANADA  
 TEL: 506-335-2252

PROJECT: PROPOSED MIXED USE DEVELOPMENT

6890 & 6706 KING GEORGE BOULEVARD

CLIENT: HARPREET PURBA

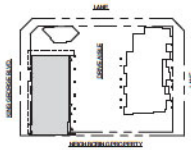
DESIGNER: HARPREET PURBA

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DRAWN: PB
CHECKED: YA
SCALE: 3/32" = 1'-0"
JOB NO: BUR177
DATE: JULY 2024
SHEET TITLE:

PARKADE LEVEL 2

NOTES:



KEY PLAN

100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK
100'-0" (30.48m)	MINIMUM SETBACK



300 - 1001 SHELLBROOK WAY  
 FORT VALLEY, FLORIDA  
 32432, USA  
 TEL: 904.241.1111  
 WWW.DFAARCHITECTURE.COM

PROJECT: PROPOSED MIXED USE DEVELOPMENT

680 & 6706 KING GEORGE BLVD.

CLIENT:

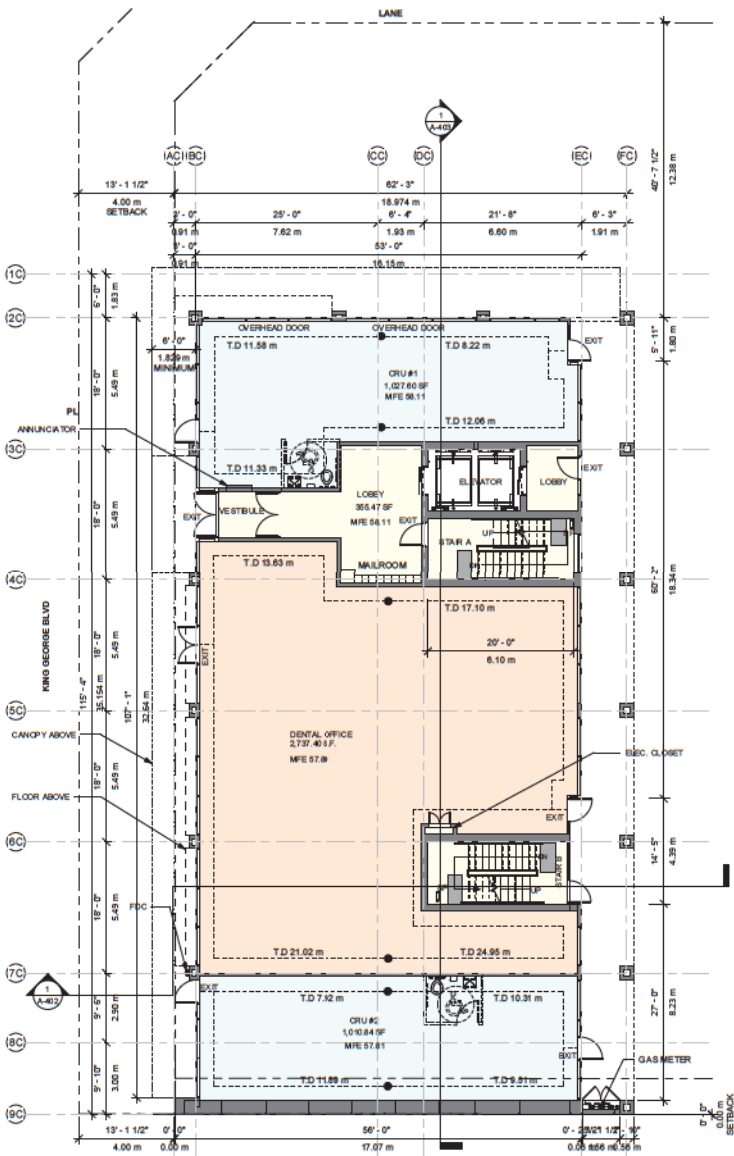
HARPREET PURBA

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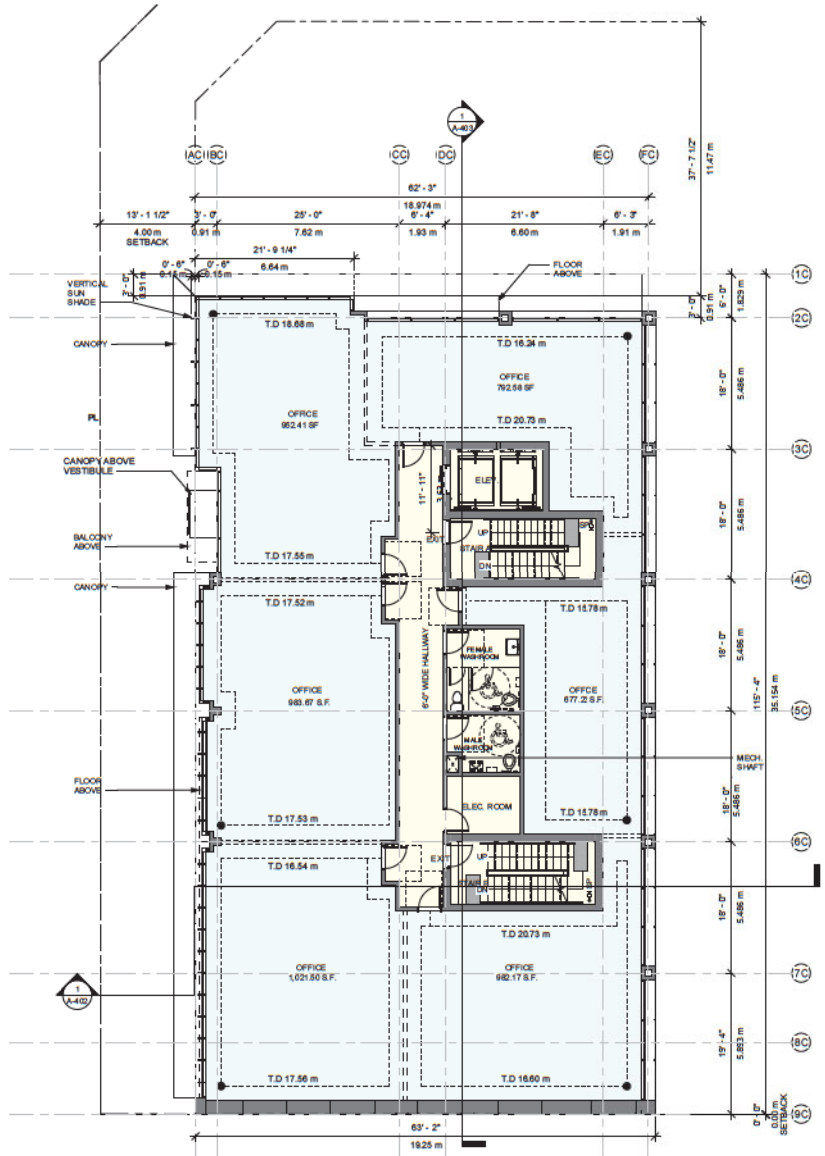
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CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BUR-17
DATE:	JULY 2024
SHEET TITLE:	

FLOOR PLANS  
 COMMERCIAL BUILDING

DRAWING NO. **A-202** **H**



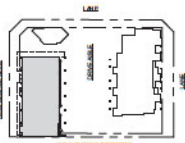
1 LEVEL 1  
 1/8" = 1'-0"



2 Level 2  
 1/8" = 1'-0"



NOTES:



KEY PLAN

REV 01	ISSUED FOR CONSTRUCTION
REV 02	ISSUED FOR CONSTRUCTION
REV 03	ISSUED FOR CONSTRUCTION
REV 04	ISSUED FOR CONSTRUCTION
REV 05	ISSUED FOR CONSTRUCTION
REV 06	ISSUED FOR CONSTRUCTION
REV 07	ISSUED FOR CONSTRUCTION
REV 08	ISSUED FOR CONSTRUCTION
REV 09	ISSUED FOR CONSTRUCTION
REV 10	ISSUED FOR CONSTRUCTION



300 - 1000 SHELLBROOKS WAY  
 FARMINGTON, CONNECTICUT 06031  
 TEL: 860-275-1111  
 FAX: 860-275-1112  
 WWW.DFAARCHITECTURE.COM

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

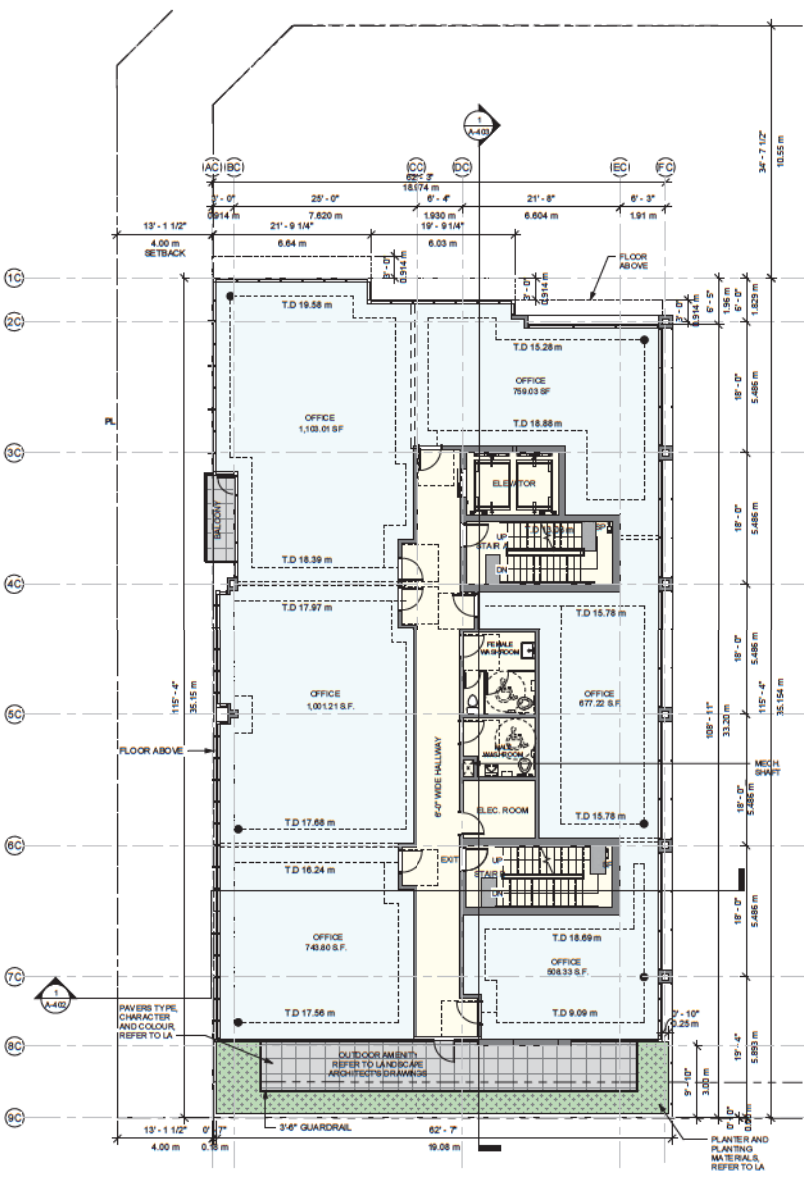
**CLIENT:**  
**HARPREET PURSA**

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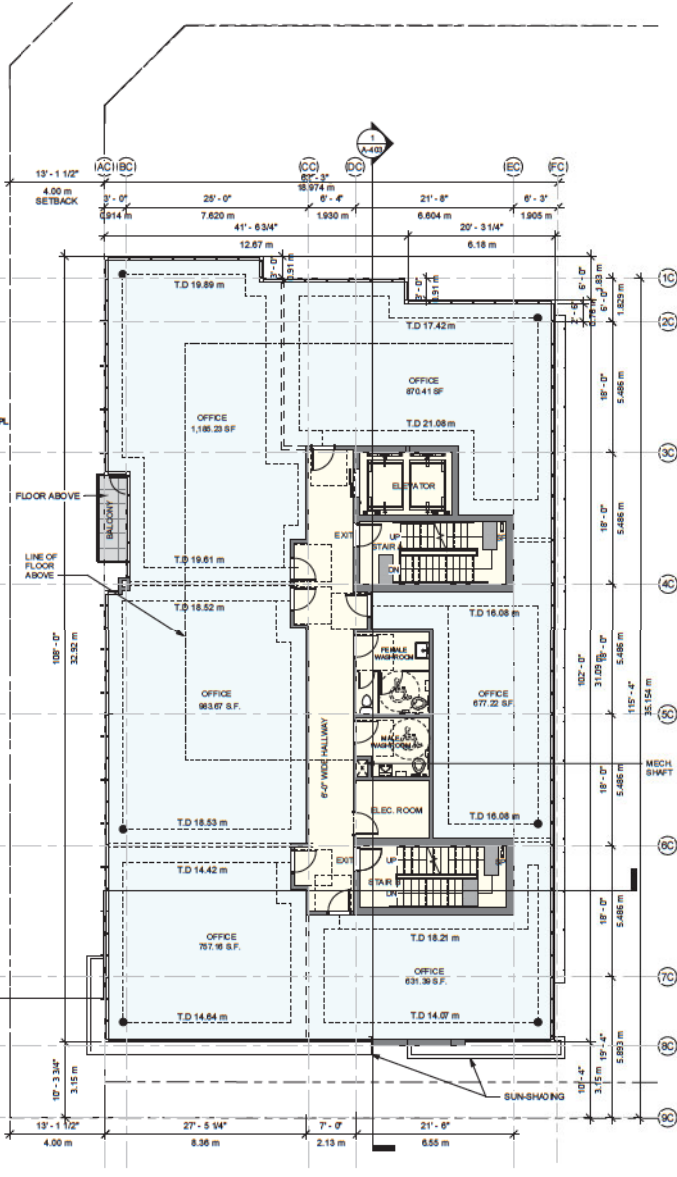
DATE:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

**FLOOR PLANS  
 COMMERCIAL BUILDING**

DRAWING NO.	<b>A-203</b>
SCALE	<b>H</b>



**1 Level 3**  
 1/8" = 1'-0"



**2 Level 4**  
 1/8" = 1'-0"





NOTES:



KEY PLAN

REV 01	ISSUED FOR CONSTRUCTION
REV 02	FOR COMMENTS TO ARCHITECTURE
REV 03	FOR COMMENTS TO ARCHITECTURE
REV 04	FOR COMMENTS TO ARCHITECTURE
REV 05	FOR COMMENTS TO ARCHITECTURE
REV 06	FOR COMMENTS TO ARCHITECTURE
REV 07	FOR COMMENTS TO ARCHITECTURE
REV 08	FOR COMMENTS TO ARCHITECTURE
REV 09	FOR COMMENTS TO ARCHITECTURE
REV 10	FOR COMMENTS TO ARCHITECTURE
REV 11	FOR COMMENTS TO ARCHITECTURE
REV 12	FOR COMMENTS TO ARCHITECTURE
REV 13	FOR COMMENTS TO ARCHITECTURE
REV 14	FOR COMMENTS TO ARCHITECTURE
REV 15	FOR COMMENTS TO ARCHITECTURE



300 - 1000 SHELLBROOKS WAY  
 FREDERICKSBURG, VIRGINIA 22401  
 TEL: 540-833-1111  
 WWW.DFAARCHITECTURE.COM

PROJECT: PROPOSED MIXED USE DEVELOPMENT

6890 & 6706 KING GEORGE BLVD.

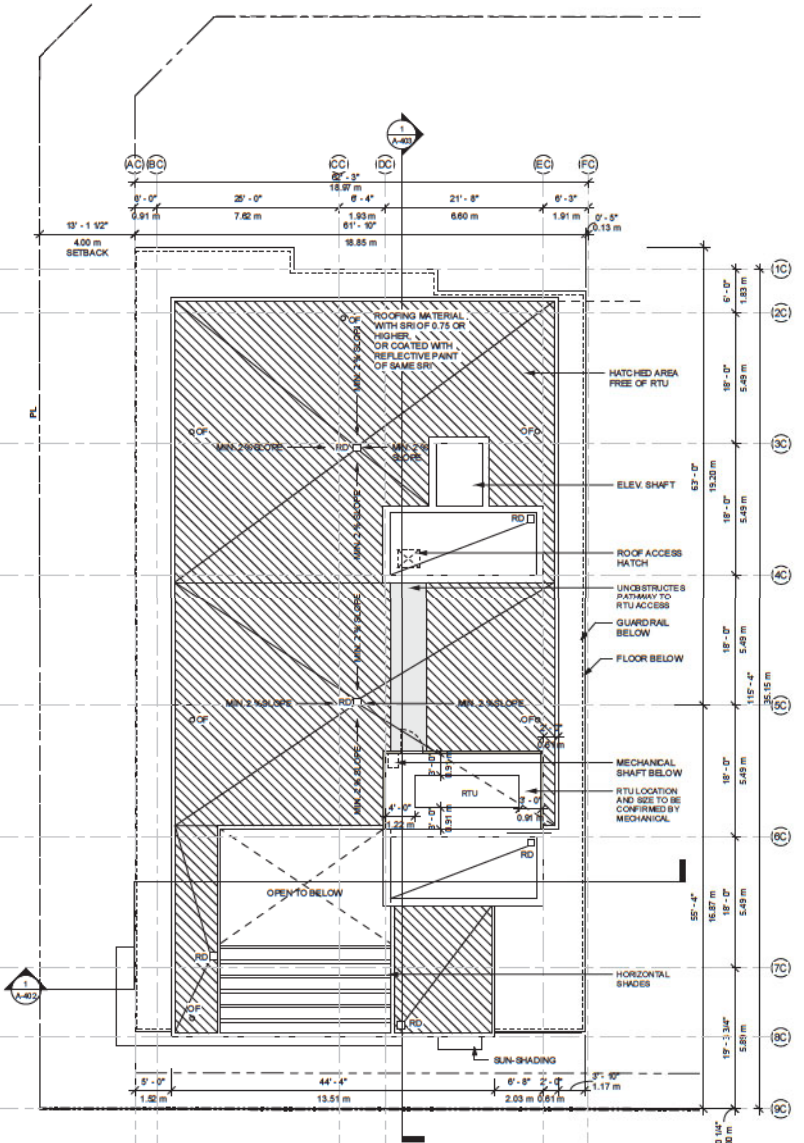
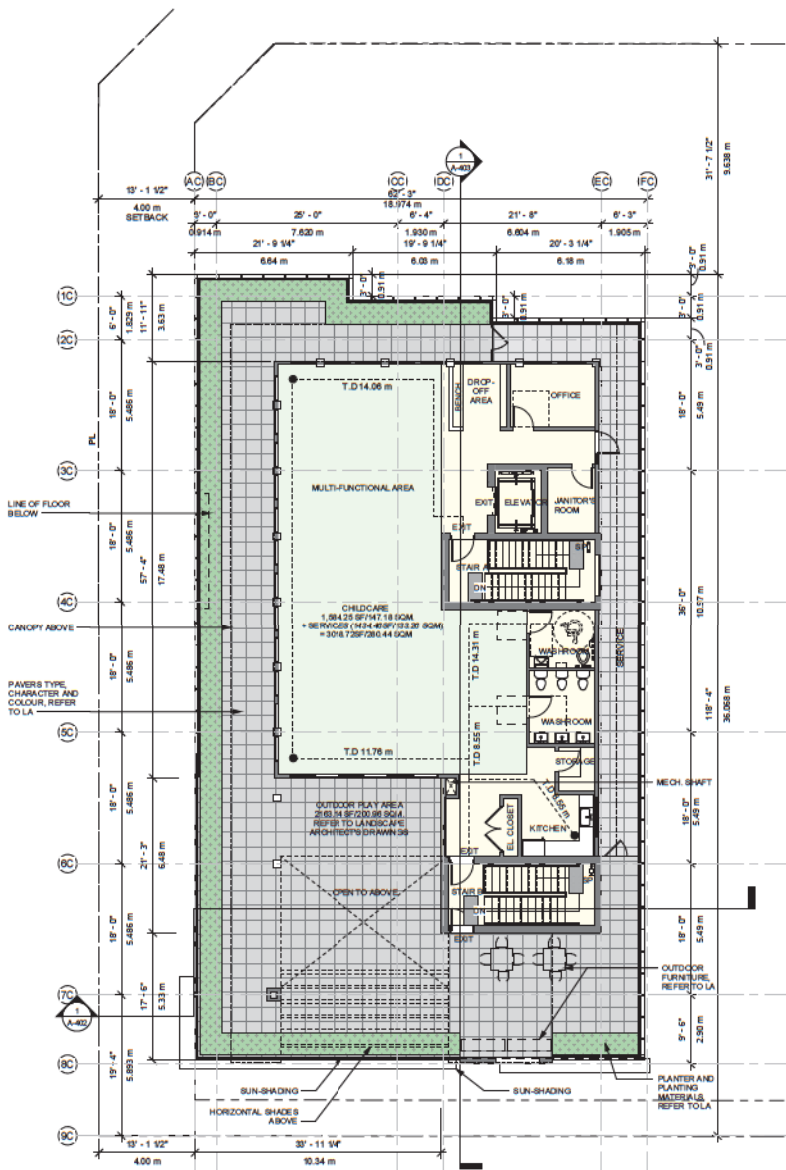
CLIENT: HARPREET PURSA

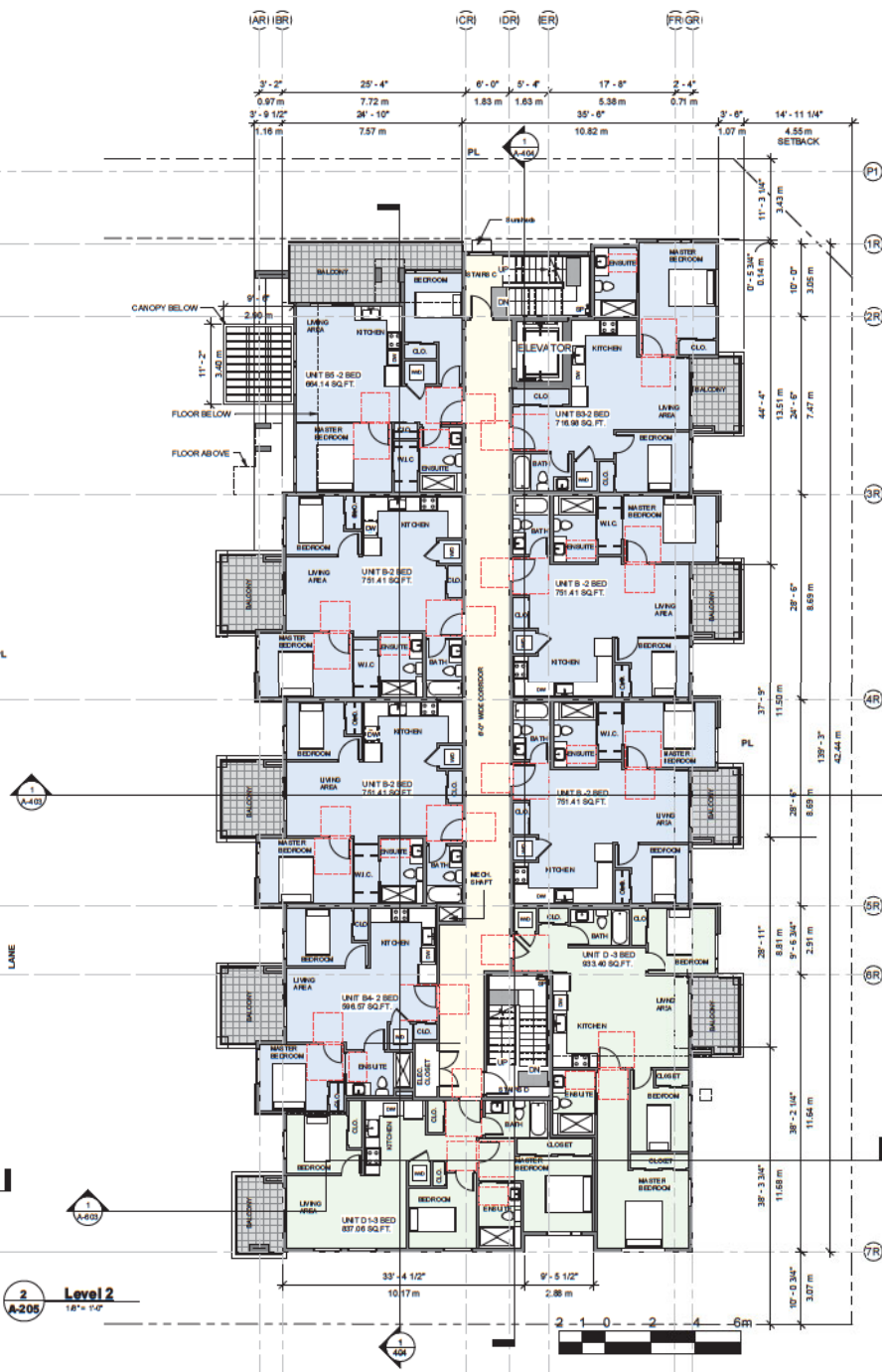
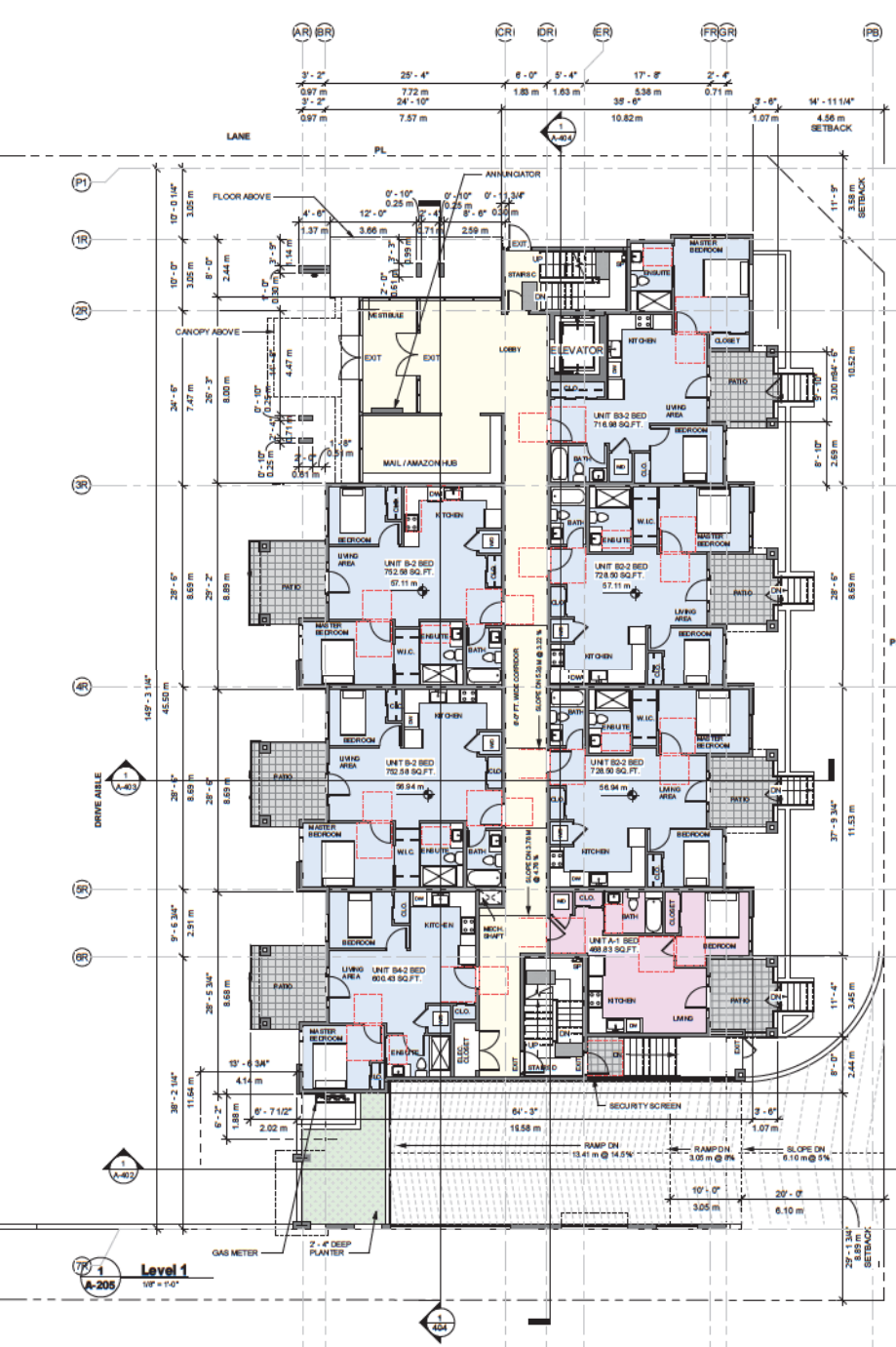
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DRAWN BY:	PB
CHECKED BY:	YA
SCALE:	As Indicated
JOB NO.:	6890-177
DATE:	JULY 2024
SHEET TITLE:	

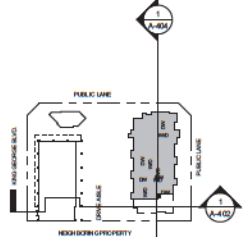
FLOOR & ROOF PLANS  
 COMMERCIAL BUILDING

DRAWING NO. **A-204** **H**





NOTES:



DATE	DESCRIPTION
2024-07-10	ISSUED FOR CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION
2024-07-10	REVISION TO CONSTRUCTION



300 - 100th STREET, SUITE 100  
 RICHMOND, BRITISH COLUMBIA  
 CANADA V6V 2P5  
 TEL: (604) 273-8888  
 INFO@DFARCHITECTURE.COM

PROJECT: PROPOSED MIXED USE DEVELOPMENT  
 6890 & 6706 KING GEORGE BOULEVARD

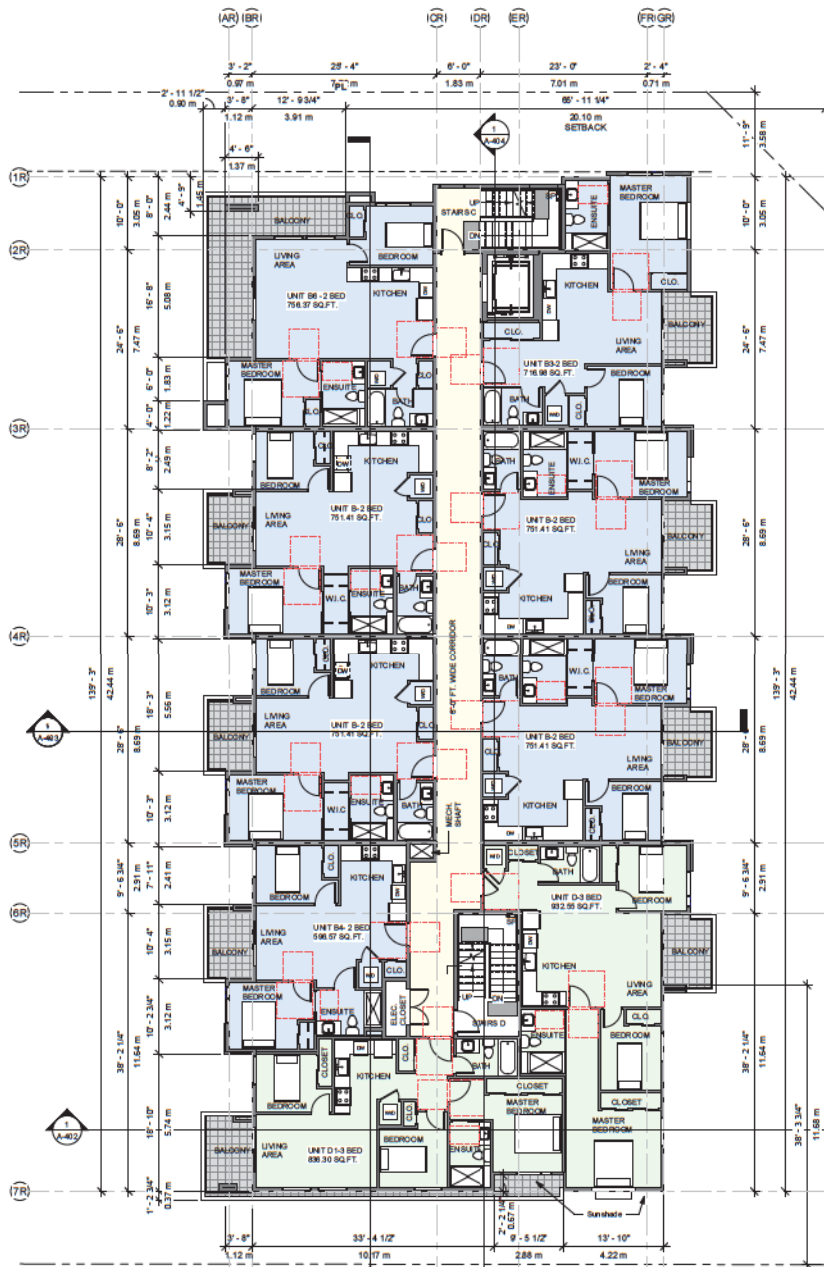
CLIENT: HARPREET PURBA

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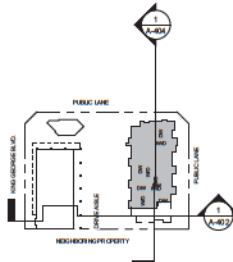
DRAWN:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

FLOOR PLANS  
 RESIDENTIAL BUILDING

DRAWING NO: A-205 H



NOTES:



UNIT 86-2	796.97 SQ.FT.
UNIT 83-2	716.98 SQ.FT.
UNIT 82	751.41 SQ.FT.
UNIT 81	751.41 SQ.FT.
UNIT 80	751.41 SQ.FT.
UNIT 79	751.41 SQ.FT.
UNIT 78	751.41 SQ.FT.
UNIT 77	751.41 SQ.FT.
UNIT 76	751.41 SQ.FT.
UNIT 75	751.41 SQ.FT.
UNIT 74	751.41 SQ.FT.
UNIT 73	751.41 SQ.FT.
UNIT 72	751.41 SQ.FT.
UNIT 71	751.41 SQ.FT.
UNIT 70	751.41 SQ.FT.
UNIT 69	751.41 SQ.FT.
UNIT 68	751.41 SQ.FT.
UNIT 67	751.41 SQ.FT.
UNIT 66	751.41 SQ.FT.
UNIT 65	751.41 SQ.FT.
UNIT 64	751.41 SQ.FT.
UNIT 63	751.41 SQ.FT.
UNIT 62	751.41 SQ.FT.
UNIT 61	751.41 SQ.FT.
UNIT 60	751.41 SQ.FT.
UNIT 59	751.41 SQ.FT.
UNIT 58	751.41 SQ.FT.
UNIT 57	751.41 SQ.FT.
UNIT 56	751.41 SQ.FT.
UNIT 55	751.41 SQ.FT.
UNIT 54	751.41 SQ.FT.
UNIT 53	751.41 SQ.FT.
UNIT 52	751.41 SQ.FT.
UNIT 51	751.41 SQ.FT.
UNIT 50	751.41 SQ.FT.
UNIT 49	751.41 SQ.FT.
UNIT 48	751.41 SQ.FT.
UNIT 47	751.41 SQ.FT.
UNIT 46	751.41 SQ.FT.
UNIT 45	751.41 SQ.FT.
UNIT 44	751.41 SQ.FT.
UNIT 43	751.41 SQ.FT.
UNIT 42	751.41 SQ.FT.
UNIT 41	751.41 SQ.FT.
UNIT 40	751.41 SQ.FT.
UNIT 39	751.41 SQ.FT.
UNIT 38	751.41 SQ.FT.
UNIT 37	751.41 SQ.FT.
UNIT 36	751.41 SQ.FT.
UNIT 35	751.41 SQ.FT.
UNIT 34	751.41 SQ.FT.
UNIT 33	751.41 SQ.FT.
UNIT 32	751.41 SQ.FT.
UNIT 31	751.41 SQ.FT.
UNIT 30	751.41 SQ.FT.
UNIT 29	751.41 SQ.FT.
UNIT 28	751.41 SQ.FT.
UNIT 27	751.41 SQ.FT.
UNIT 26	751.41 SQ.FT.
UNIT 25	751.41 SQ.FT.
UNIT 24	751.41 SQ.FT.
UNIT 23	751.41 SQ.FT.
UNIT 22	751.41 SQ.FT.
UNIT 21	751.41 SQ.FT.
UNIT 20	751.41 SQ.FT.
UNIT 19	751.41 SQ.FT.
UNIT 18	751.41 SQ.FT.
UNIT 17	751.41 SQ.FT.
UNIT 16	751.41 SQ.FT.
UNIT 15	751.41 SQ.FT.
UNIT 14	751.41 SQ.FT.
UNIT 13	751.41 SQ.FT.
UNIT 12	751.41 SQ.FT.
UNIT 11	751.41 SQ.FT.
UNIT 10	751.41 SQ.FT.
UNIT 9	751.41 SQ.FT.
UNIT 8	751.41 SQ.FT.
UNIT 7	751.41 SQ.FT.
UNIT 6	751.41 SQ.FT.
UNIT 5	751.41 SQ.FT.
UNIT 4	751.41 SQ.FT.
UNIT 3	751.41 SQ.FT.
UNIT 2	751.41 SQ.FT.
UNIT 1	751.41 SQ.FT.



300 - 1001 SHELLBROOK WAY  
 RICHMOND, BRITISH COLUMBIA  
 CANADA V6V 2P5  
 TEL: 604.273.2525  
 1180 GARDINER STREET, SUITE 200  
 VANCOUVER, BRITISH COLUMBIA  
 V6C 1K7  
 TEL: 604.681.1111

PROJECT: PROPOSED MIXED USE DEVELOPMENT

6890 & 6706 KING GEORGE BOULEVARD

CLIENT: HARPREET PURSA

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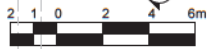
DRAWN: PB
CHECKED: YA
SCALE: As Indicated
JOB NO: BUR-177
DATE: JULY 2024
SHEET TITLE:

FLOOR PLANS  
 RESIDENTIAL BUILDING

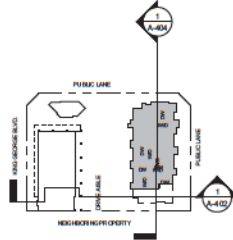
DRAWING NO: A-206 H

1 Level 3 & 4  
 1/8" = 1'-0"

2 Level 5  
 1/8" = 1'-0"



NOTES:



KEY PLAN

1	200 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
2	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
3	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
4	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
5	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
6	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
7	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
8	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
9	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE
10	100 - 1000 SHELLBROOKS WAY	RESEARCH WATSON COLLABORATIVE



100 - 1000 SHELLBROOKS WAY  
RESEARCH WATSON COLLABORATIVE  
CANADA ONT. M1S 2S2  
1-800-387-1234  
info@dfarchitecture.com

**PROJECT:** PROPOSED MIXED USE DEVELOPMENT  
**6890 & 6706 KING GEORGE BOULEVARD**

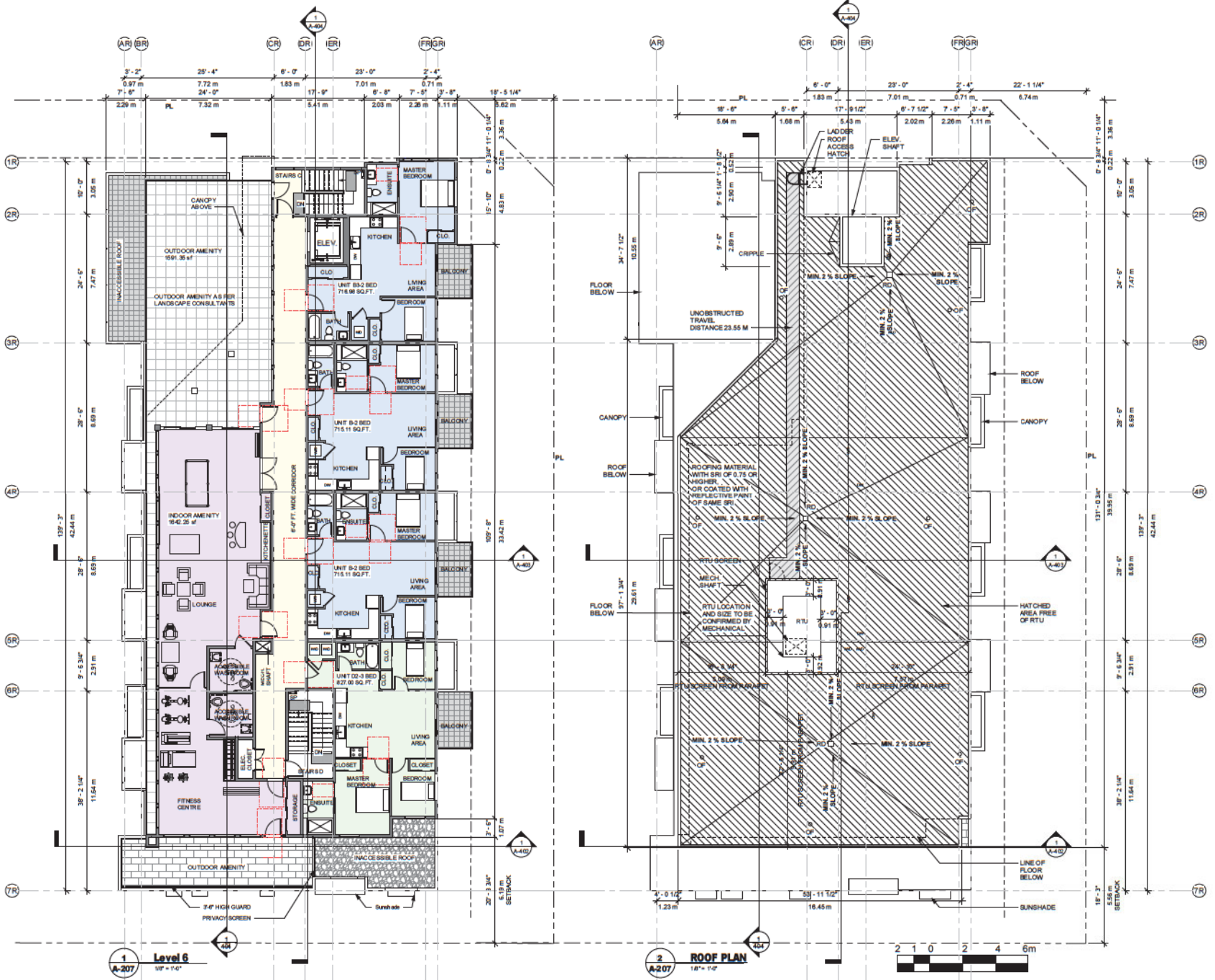
**CLIENT:**  
**HARPREET PURSA**

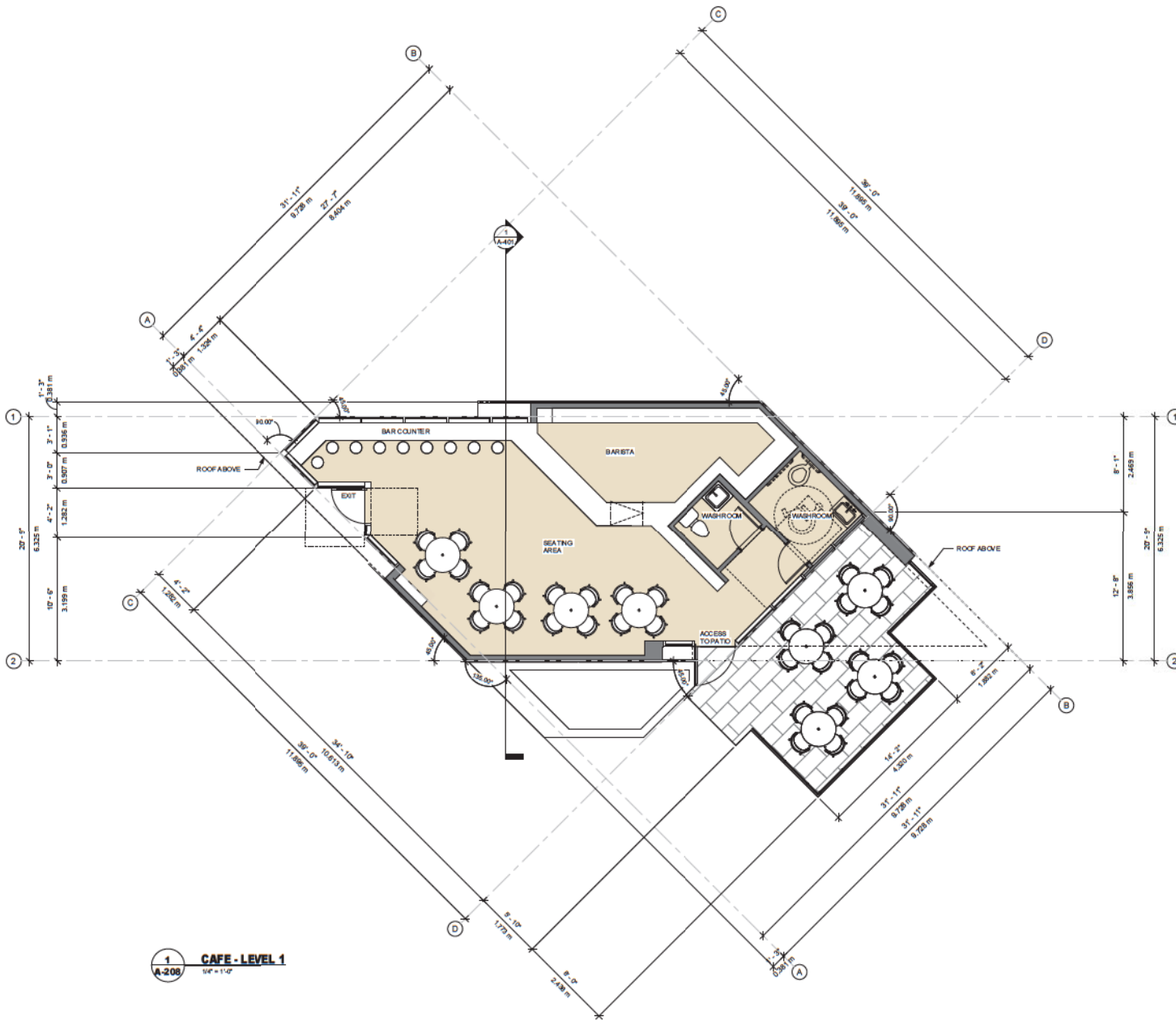
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DRAWN:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

**FLOOR & ROOF PLANS RESIDENTIAL BUILDING**

**A-207 H**





NOTES:






300 - 100th SHELLBROOK WAY  
 PEACOCK BAY, FLORIDA  
 32912, USA  
 T: 888-474-8111, P: 888-474-8111  
 info@dfarchitecture.com

**PROJECT:**  
 PROPOSED MIXED USE  
 DEVELOPMENT

**6890 & 6706 KING GEORGE  
 BLVD.**

**CLIENT:**

**HARPREET PURBA**

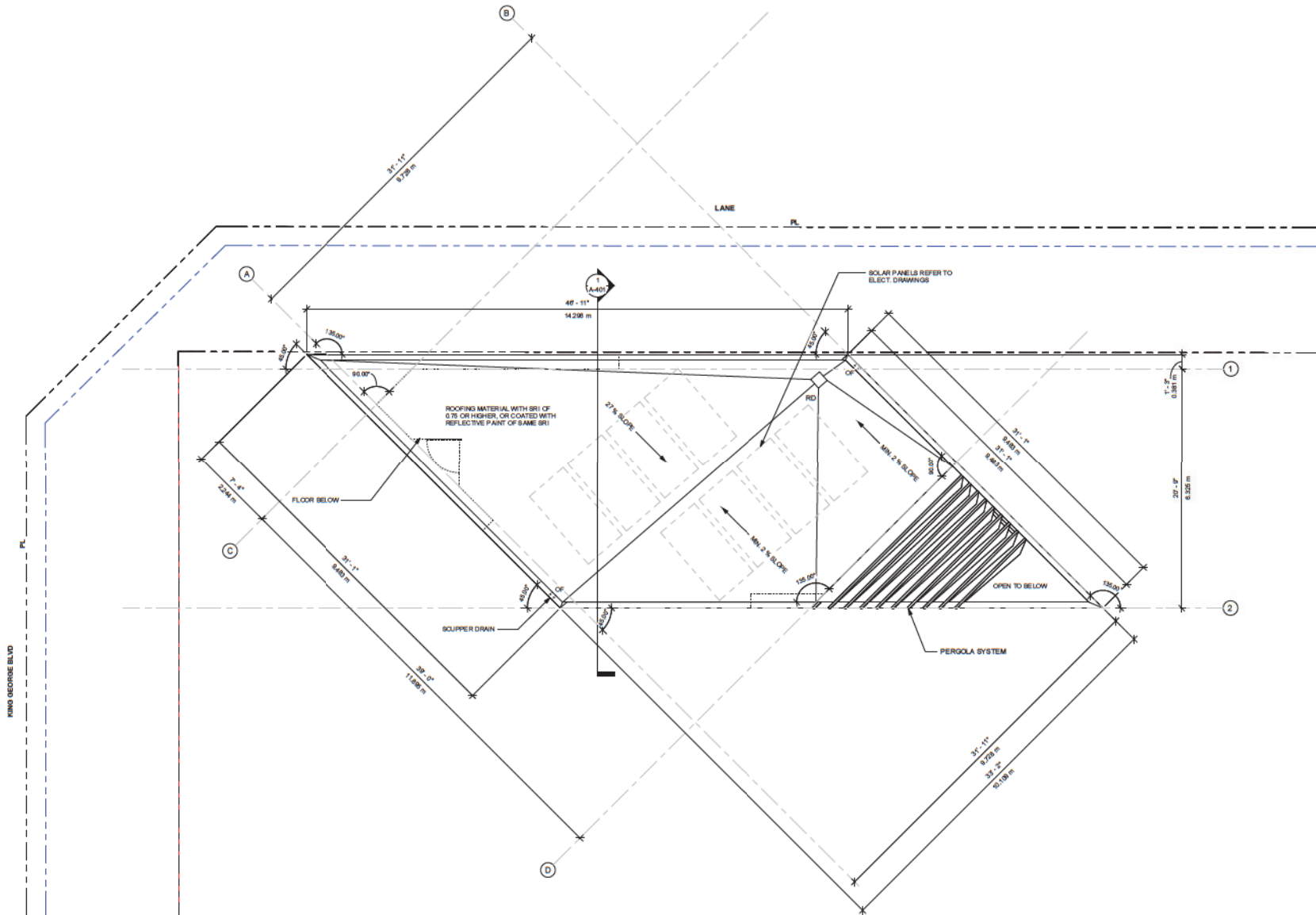
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DRAWN:	PB
CHECKED:	YA
SCALE:	1/4" = 1'-0"
JOB NO.:	BUR177
DATE:	JULY 2024
SHEET TITLE:	

**CAFETERIA FLOOR  
 PLAN**

DRAWING NO.	<b>A-208</b>
	<b>H</b>

NOTES:



REV 01	ISSUED TO COUNCIL, 05/20/24
REV 02	ISSUED TO ACP, 06/10/24
REV 03	FOR PERMITS, 06/10/24
REV 04	FOR PERMITS, 06/10/24
REV 05	FOR PERMITS, 06/10/24
REV 06	FOR PERMITS, 06/10/24
REV 07	FOR PERMITS, 06/10/24
REV 08	FOR PERMITS, 06/10/24
REV 09	FOR PERMITS, 06/10/24
REV 10	FOR PERMITS, 06/10/24
REV 11	FOR PERMITS, 06/10/24
REV 12	FOR PERMITS, 06/10/24



300 - 1001 SHELLBROOK WAY  
 FERRISVILLE, COLORADO  
 CO 80424, USA TEL: 303  
 710-664-6100, P: 710-664-6101  
 info@dfarchitecture.com

PROJECT:  
**PROPOSED MIXED USE  
 DEVELOPMENT**

680 & 6706 KING GEORGE  
 BLVD.

CLIENT:

**HARPRET PURSA**

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DRAWN: PB

CHECKED: YA

SCALE: 1/4" = 1'-0"

JOB NO: SJR177

DATE: JULY 2024

SHEET TITLE:

CAFETERIA ROOF PLAN

**1**  
**A-209**  
**ROOF PLAN**  
 1/4" = 1'-0"

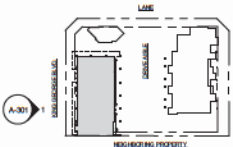
DRAWING NO.

**A-209**

**H**

**NOTES:**

-Window signage or screening that obscures the window glazing is not permitted on the street elevation



**KEY PLAN**

**NOTE REGARDING BLACK WINDOWS:**  
BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**  
A.E.G. - AVERAGE EXISTING GRADE

100-1001	REVISION TO CONTROL	10/02/2024
100-1002	REVISION TO CONTROL	10/02/2024
100-1003	REVISION TO CONTROL	10/02/2024
100-1004	REVISION TO CONTROL	10/02/2024
100-1005	REVISION TO CONTROL	10/02/2024
100-1006	REVISION TO CONTROL	10/02/2024
100-1007	REVISION TO CONTROL	10/02/2024
100-1008	REVISION TO CONTROL	10/02/2024
100-1009	REVISION TO CONTROL	10/02/2024
100-1010	REVISION TO CONTROL	10/02/2024



300 - 1001 SHELLBROOK WAY  
RECREATION CENTER COLLABORA  
CANADA, V6K 3Z5  
1 (604) 276-8888  
info@dfarchitecture.ca

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

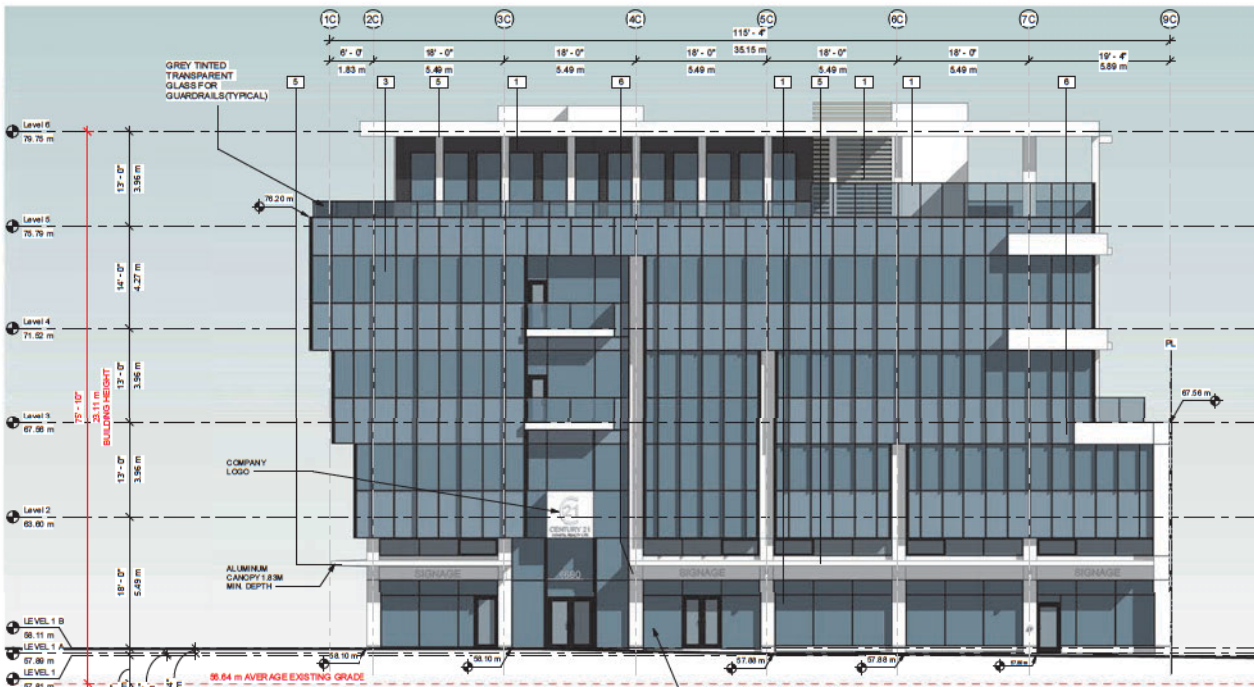
**CLIENT:**  
**HARPREET PURBA**

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DESIGN:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BUR-177
DATE:	JULY 2024
SHEET TITLE:	

**ELEVATIONS  
COMMERCIAL BUILDING**

DRAWING NO.:	<b>A-301</b>
SCALE:	<b>H</b>



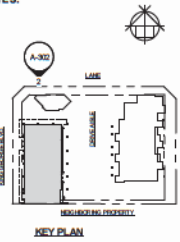
**1 FRONT ELEVATION (KING GEORGE BLVD.)**  
1/8" = 1'-0"

**SCHEDULE OF FINISHES:**

- 1. COLOR : SW 7075 WEB GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
- 2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIES OF RT PANEL
  - FASCIA WITH SMOOTH FINISH HARDIE PANEL
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW 9062 BLUE BIRD FEATHER
  - TINTED GLASS & SPANDEL PANEL.
- 4. COLOR : SW 0049 SILVER GRAY
  - ROOF TOP MECHANICAL UNIT SCREENS
- 5. COLOR : SOLID WHITE SD323
  - AL 13 ALUMINUM COMPOSITE PANELS
- 6. COLOR : CM X 7099
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
- 7. COLOR : SW 7757 HIGH REFLECTIVE WHITE
  - CONCRETE PANELS & REVEALS
- 8. COLOR : BM 1459 METRO GRAY
  - PAINTED CONCRETE WALL
- 9. CONCRETE FORM LINERS
  - TEXTURED CONCRETE SURFACE WALL



NOTES:



**NOTE REGARDING BLACK WINDOWS:**  
BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**  
A.E.G. - AVERAGE EXISTING GRADE

REV 11-19	PROPOSED TO COUNCIL - 2024-07-22
REV 10-18	PROPOSED TO COUNCIL - 2024-07-22
REV 10-18	FOR PERMIT SUBMISSION
REV 10-18	FOR PERMIT SUBMISSION
REV 10-18	FOR PERMIT SUBMISSION
REV 10-18	FOR PERMIT SUBMISSION
REV 10-18	PROBABLY TO BE REMOVED



300 - 1001 SHELLBROOK WAY  
REDFERN, WESTERN DISTRICTS  
CANADA, V6S 2L5  
1 (604) 276-1111  
info@dfarchitect.com

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

CLIENT:

**HARPREET PURBA**

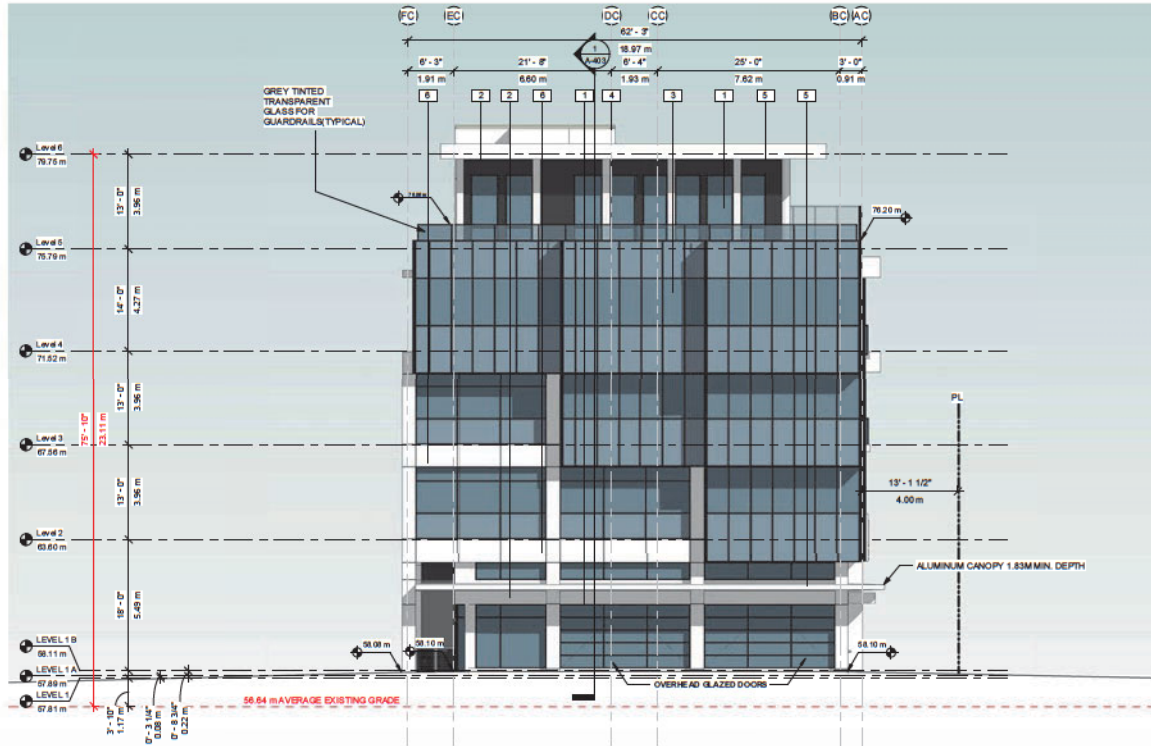
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DRAWN:	PB
CHECKED:	YA
SCALE:	As indicated
JOB NO.:	BUR-177
DATE:	JULY 2024

SHEET TITLE:

**ELEVATIONS  
COMMERCIAL BUILDING**

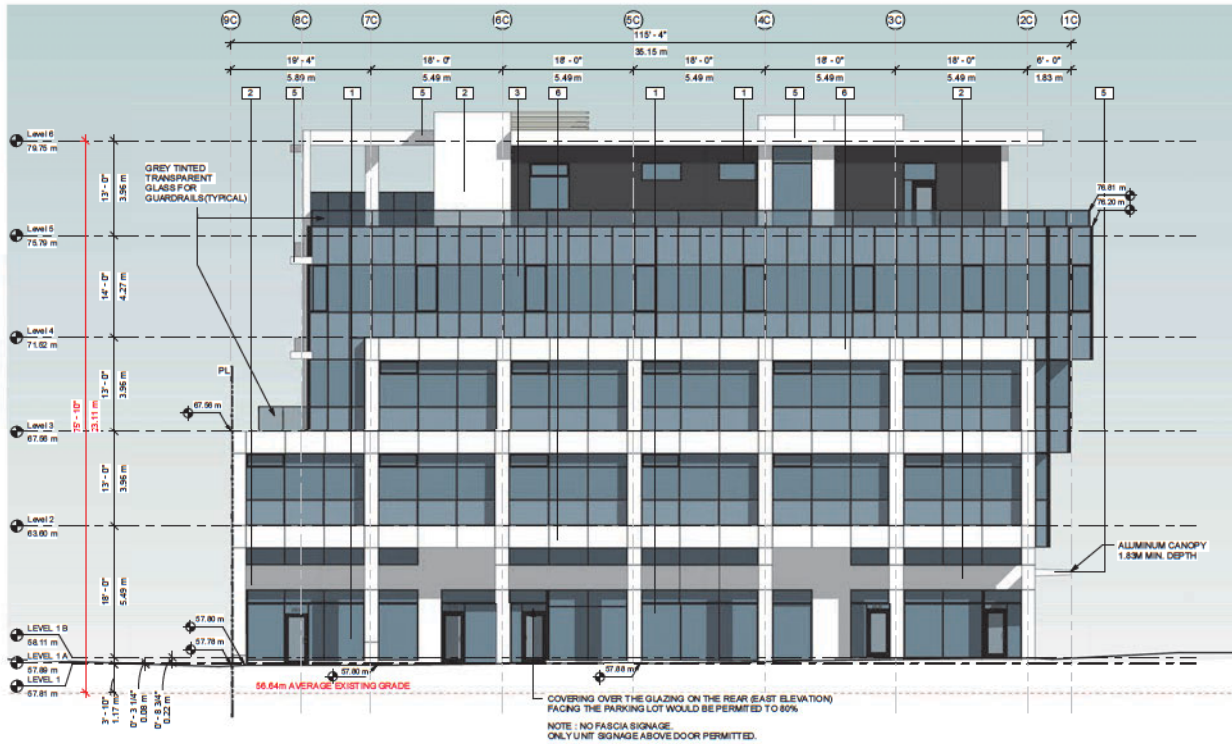
DRAWING NO. **A-302** **H**



**2 NORTH ELEVATION**  
1/8" = 1'-0"







**1 EAST ELEVATION (DRIVE AISLE)**  
1/8" = 1'-0"

**NOTES:**

- Covering the window glazing on the East/Rear side of this building is permitted up to 80%
- Fascia signage is not permitted on the East/Rear elevation of this building. Only unit address signage on/above door is permitted.



**KEY PLAN**

**NOTE REGARDING BLACK WINDOWS:**  
BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**

A.E.G. - AVERAGE EXISTING GRADE

**SCHEDULE OF FINISHES:**

- 1. COLOR : SW7075 WEB GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
- 2. COLOR : SW7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIESOFFIT PANEL
  - FASCIA WITH SMOOTH FINISH HARDIE PANEL
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW 9062 BLUEBIRD FEATHER
  - TINTED GLASS & SPANDEL PANEL.
- 4. COLOR : SW0049 SILVER GRAY
  - ROOF TOP MECHANICAL UNIT SCREENS
- 5. COLOR : SOLID WHITE SD323
  - AL 13 ALUMINUM COMPOSITE PANELS
- 6. COLOR : ONYX 7099
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
- 7. COLOR : SW7757 HIGH REFLECTIVE WHITE
  - CONCRETE PANELS & REVEALS
- 8. COLOR : BM 1459 METRO GRAY
  - PAINTED CONCRETE WALL
- 9. CONCRETE FORM LINERS
  - TEXTURED CONCRETE SURFACE WALL

REV 01	1	ISSUED TO COUNCIL - 20240722
REV 02	1	FOR SUBMIT TO COUNCIL
REV 03	1	FOR SUBMIT TO COUNCIL
REV 04	1	FOR SUBMIT TO COUNCIL
REV 05	1	FOR SUBMIT TO COUNCIL
REV 06	1	FOR SUBMIT TO COUNCIL
REV 07	1	FOR SUBMIT TO COUNCIL
REV 08	1	FOR SUBMIT TO COUNCIL
REV 09	1	FOR SUBMIT TO COUNCIL
REV 10	1	FOR SUBMIT TO COUNCIL
REV 11	1	FOR SUBMIT TO COUNCIL
REV 12	1	FOR SUBMIT TO COUNCIL
REV 13	1	FOR SUBMIT TO COUNCIL



300 - 1001 SHELLBROOK WAY  
FREDERICKSBURG, ONTARIO  
CANADA, N3Y 2Z5  
1-800-461-8100, P: 519-334-8100  
info@dfarchitecture.ca

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

**CLIENT:**  
**HARPREET PURSA**

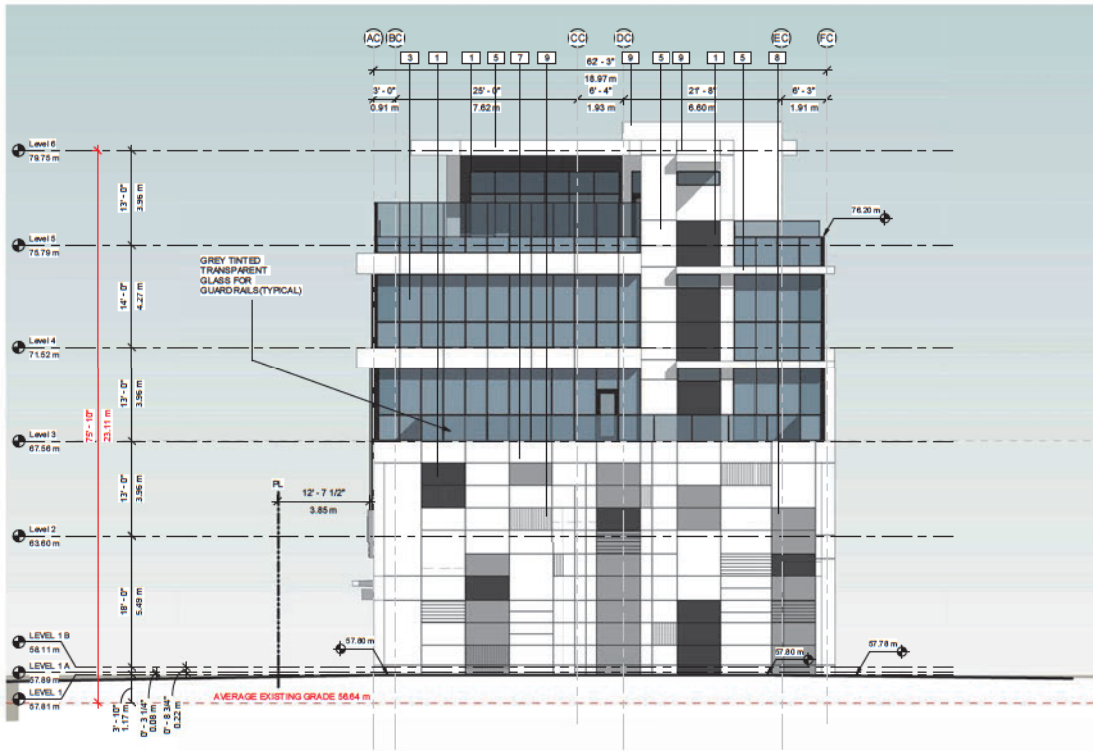
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DRAWN:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

**ELEVATIONS  
COMMERCIAL BUILDING**

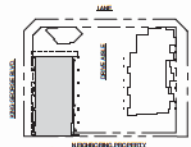


DRAWING NO.	<b>A-303</b>
SCALE	<b>H</b>



**2 SOUTH ELEVATION**  
 A-304 1/8" = 1'-0"

**NOTES:**



**NOTE REGARDING BLACK WINDOWS:**  
 BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**  
 A.E.G. - AVERAGE EXISTING GRADE

**SCHEDULE OF FINISHES:**

- 1. COLOR : SW7075 WEB GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM 2.0
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
- 2. COLOR : SW7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIESOFFIT PANEL
  - FASCIA WITH SMOOTH FINISH HARDIE PANEL
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW 9062 BLUEBIRD FEATHER
  - TINTED GLASS & SPANDREL PANEL.
- 4. COLOR : SW0049 SILVER GRAY
  - ROOF TOP MECHANICAL UNIT SCREENS
- 5. COLOR : SOLID WHITE SD323
  - AL 13 ALUMINUM COMPOSITE PANELS
- 6. COLOR : ONYX 7099
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
- 7. COLOR : SW7757 HIGH REFLECTIVE WHITE
  - CONCRETE PANELS & REVEALS
- 8. COLOR : BM 1459 METRO GRAY
  - PAINTED CONCRETE WALL
- 9. CONCRETE FORM LINERS
  - TEXTURED CONCRETE SURFACE WALL

NO.	REVISION	DATE
001	ISSUE FOR CONSTRUCTION	2024-07-22
002	FOR REVIEW TO ARCHITECT	2024-07-22
003	FOR REVIEW TO ARCHITECT	2024-07-22
004	FOR REVIEW TO ARCHITECT	2024-07-22
005	FOR REVIEW TO ARCHITECT	2024-07-22
006	FOR REVIEW TO ARCHITECT	2024-07-22
007	FOR REVIEW TO ARCHITECT	2024-07-22
008	FOR REVIEW TO ARCHITECT	2024-07-22
009	FOR REVIEW TO ARCHITECT	2024-07-22
010	FOR REVIEW TO ARCHITECT	2024-07-22



300 - 1001 SHELLBROOK WAY  
 REYNOLDS CENTER COLLABORA  
 CANADA, AB T2E 2E5  
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 info@dfarchitecture.ca

**PROJECT:**  
 PROPOSED MIXED USE DEVELOPMENT

**6890 & 6706 KING GEORGE BLVD.**

**CLIENT:**  
 HARPREET PURSA

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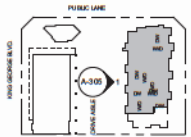
DRAWN:	PB
CHECKED:	YA
SCALE:	As indicated
JOB NO.:	BUR-177
DATE:	JULY 2024
SHEET TITLE:	

**ELEVATIONS  
 COMMERCIAL BUILDING**



DRAWING NO.	<b>A-304</b>
SCALE	<b>H</b>

**NOTES:**



**KEY PLAN**

**NOTE REGARDING BLACK WINDOWS:**

BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**

A.E.G. - AVERAGE EXISTING GRADING  
 R.W. - RETAINING WALL  
 T.O.W. - TOP OF RETAINING WALL  
 B.O.W. - BOTTOM OF RETAINING WALL  
 T.O.C. - TOP OF CURB  
 B.O.C. - BOTTOM OF CURB

LEVEL 1	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 2	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 3	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 4	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 5	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 6	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 7	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 8	PROPOSED TO CONFORM TO LOCAL CODE
LEVEL 9	PROPOSED TO CONFORM TO LOCAL CODE



300 - 1001 SHELLBROOK WAY  
 RICHMOND BRITISH COLUMBIA  
 CANADA V6V 2P6  
 TEL: 604.273.7000  
 INFO@DFARCHITECTURE.COM

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**

**HARPREET PURSA**

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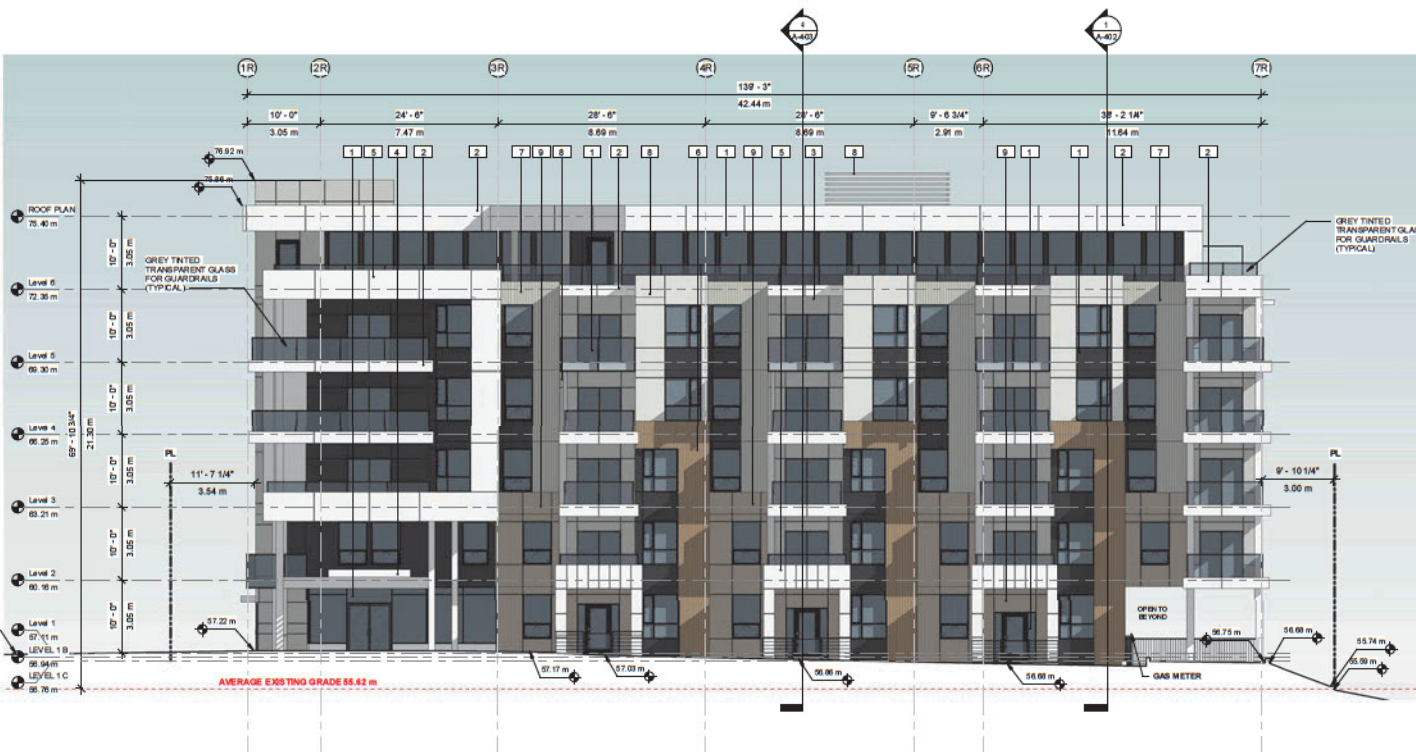
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<b>CHECKED:</b>	<b>YA</b>
<b>SCALE:</b>	<b>As indicated</b>
<b>JOB NO.:</b>	<b>BJR-177</b>
<b>DATE:</b>	<b>JULY 2024</b>
<b>SHEET TITLE:</b>	

**ELEVATIONS  
 RESIDENTIAL BUILDING**

<b>DRAWING NO.:</b>	<b>A-305</b>
<b>SCALE:</b>	<b>H</b>

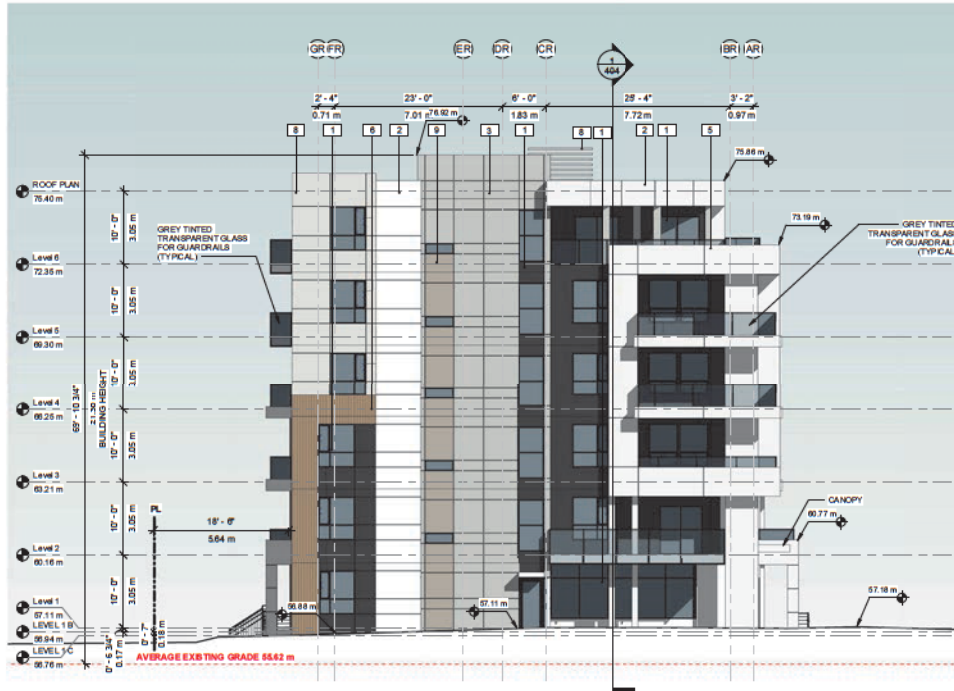
**SCHEDULE OF FINISHES:**

1. COLOR : SW 7075 WEB GRAY  
 \* SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM  
 \* FASTENERS & REVEALS COLOR TO MATCH  
 \* PAINTED VINYL WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN  
 \* ALUMINUM STORE FRONT WINDOWS  
 \* PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
2. COLOR : SW 7757 HIGH REFLECTIVE WHITE  
 \* SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM  
 \* FASTENERS & REVEALS COLOR TO MATCH  
 \* SOFFITS WITH VENTED HARDIE SOFFIT PANEL  
 \* FASCIA WITH SMOOTH FINISH HARDIE PANEL CONCRETE PANELS & REVEALS
3. COLOR : SW 0049 SILVER GRAY  
 \* SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM  
 \* FASTENERS & REVEALS COLOR TO MATCH
4. COLOR : SOLID WHITE S0323  
 \* AL 13 ALUMINUM COMPOSITE PANELS
5. COLOR : ONYX 7099  
 \* SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
6. COLOR : METAL WORKS CANADA TAN  
 CORRUGATED METAL CLADDING
7. COLOR : SW 7648 SILVER PLATE  
 CORRUGATED METAL CLADDING
8. COLOR : SW 6197 ALOOF GRAY  
 \* SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM  
 \* FASTENERS & REVEALS COLOR TO MATCH  
 \* PAINTED ALUMINUM SCREEN FOR RTU UNIT
9. COLOR : NAVAJO BEIGE JAMES HARDIE  
 \* SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM  
 \* FASTENERS & REVEALS COLOR TO MATCH



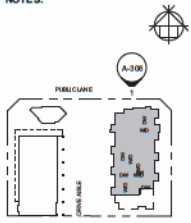
**1 FRONT ELEVATION - WEST DRIVE AISLE**  
 1/8" = 1'-0"





1 NORTH ELEVATION  
 A-306 1/8" = 1'-0"

NOTES:



KEY PLAN

NOTE REGARDING BLACK WINDOWS:

BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

LEGEND:

A.E.G. - AVERAGE EXISTING GRADING  
 R.W. - RETAINING WALL  
 T.O.W. - TOP OF RETAINING WALL  
 B.O.W. - BOTTOM OF RETAINING WALL  
 T.O.C. - TOP OF CURB  
 B.O.C. - BOTTOM OF CURB

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2024-07-22
2	FOR PRELIMINARY CONSTRUCTION	2024-07-22
3	FOR PRELIMINARY CONSTRUCTION	2024-07-22
4	FOR PRELIMINARY CONSTRUCTION	2024-07-22
5	FOR PRELIMINARY CONSTRUCTION	2024-07-22
6	FOR PRELIMINARY CONSTRUCTION	2024-07-22
7	FOR PRELIMINARY CONSTRUCTION	2024-07-22
8	FOR PRELIMINARY CONSTRUCTION	2024-07-22
9	FOR PRELIMINARY CONSTRUCTION	2024-07-22

SCHEDULE OF FINISHES:

1. COLOR : SW 7075 WEB GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED VINYL WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - ALUMINUM STORE FRONT WINDOWS
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIE OFFIT PANEL
  - FASOGA WITH SMOOTH FINISH HARDIE PANEL
  - CONCRETE PANELS & REVEALS
3. COLOR : SW 0049 SILVER GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
4. COLOR : SOLID WHITE SD323
  - AL 13 ALUMINUM COMPOSITE PANELS
5. COLOR : ONYX 7099
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
6. COLOR : METAL WORKS CANADA TAN CORRUGATED METAL CLADDING
7. COLOR : SW 7649 SILVERPLATE CORRUGATED METAL CLADDING
8. COLOR : SW 6197 ALOOF GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM SCREEN FOR RTU UNIT
9. COLOR : NAVAJO BEIGE JAMES HARDIE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH



300 - 1001 SHELLBROOK WAY  
 REIMSIDE WEST, CALGARY  
 CANADA T2C 2P5  
 T: (403) 243-1111  
 info@dfarchitecture.ca

PROJECT: PROPOSED MIXED USE DEVELOPMENT

680 & 6706 KING GEORGE BOULEVARD

CLIENT: HARPREET PURBA

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DRAWN: PB
CHECKED: YA
SCALE: As Indicated
JOB NO: BJR-177
DATE: JULY 2024

SHEET TITLE:

ELEVATIONS  
 RESIDENTIAL BUILDING



DRAWING NO: A-306 H



**1**  
**A-307**  
**REAR ELEVATION (EAST LANE)**  
1/8" = 1'-0"

**NOTES:**



**KEY PLAN**

**NOTE REGARDING BLACK WINDOWS:**  
BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**

A.E.G. - AVERAGE EXISTING GRADING  
RW - TOP OF RETAINING WALL  
BOW - BOTTOM OF RETAINING WALL  
TOC - TOP OF CURB  
BOC - BOTTOM OF CURB

55.00 TO 55.05	PROPOSED TO CONFORM TO SPEC 22
55.05 TO 55.10	PROPOSED TO CONFORM TO SPEC 22
55.10 TO 55.15	PROPOSED TO CONFORM TO SPEC 22
55.15 TO 55.20	PROPOSED TO CONFORM TO SPEC 22
55.20 TO 55.25	PROPOSED TO CONFORM TO SPEC 22
55.25 TO 55.30	PROPOSED TO CONFORM TO SPEC 22
55.30 TO 55.35	PROPOSED TO CONFORM TO SPEC 22
55.35 TO 55.40	PROPOSED TO CONFORM TO SPEC 22
55.40 TO 55.45	PROPOSED TO CONFORM TO SPEC 22
55.45 TO 55.50	PROPOSED TO CONFORM TO SPEC 22

**SCHEDULE OF FINISHES:**

1. COLOR : SW 7075 WEB GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED VINYL WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - ALUMINUM STORE FRONT WINDOWS
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIESOFFIT PANEL
  - FASCIA WITH SMOOTH FINISH HARDIE PANEL CONCRETE PANELS & REVEALS
3. COLOR : SW 0049 SILVER GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
4. COLOR : SOLID WHITE SD323
  - AL 13 ALUMINUM COMPOSITE PANELS
5. COLOR : ONYX 7099
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
6. COLOR : METAL WORKS CANADA TAN CORRUGATED METAL CLADDING
7. COLOR : SW 7649 SILVERPLATE CORRUGATED METAL CLADDING
8. COLOR : SW 6197 ALOOF GRAY
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM SCREEN FOR RTU UNIT
9. COLOR : NAVAJO BEIGE JAMES HARDIE
  - SMOOTH FINISH HARDIE PANEL PAINTED WITH HARDIE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH



300 - 1001 SHELLBROOK WAY  
RICHMOND HILL, ONTARIO L4B 3N2  
CANADA TEL: 905.709.2362  
1.888.888.8888 P. 416.888.8888  
info@dfarchitecture.com

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BOULEVARD**

CLIENT:

**HARPREET PURSA**

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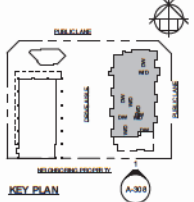
DRAWN: PB
CHECKED: YA
SCALE: As Indicated
JOB NO: BUR-177
DATE: JULY 2024
SHEET TITLE:

**ELEVATIONS  
RESIDENTIAL BUILDING**



DRAWING NO.	<b>A-307</b>
SCALE	<b>H</b>

**NOTES:**

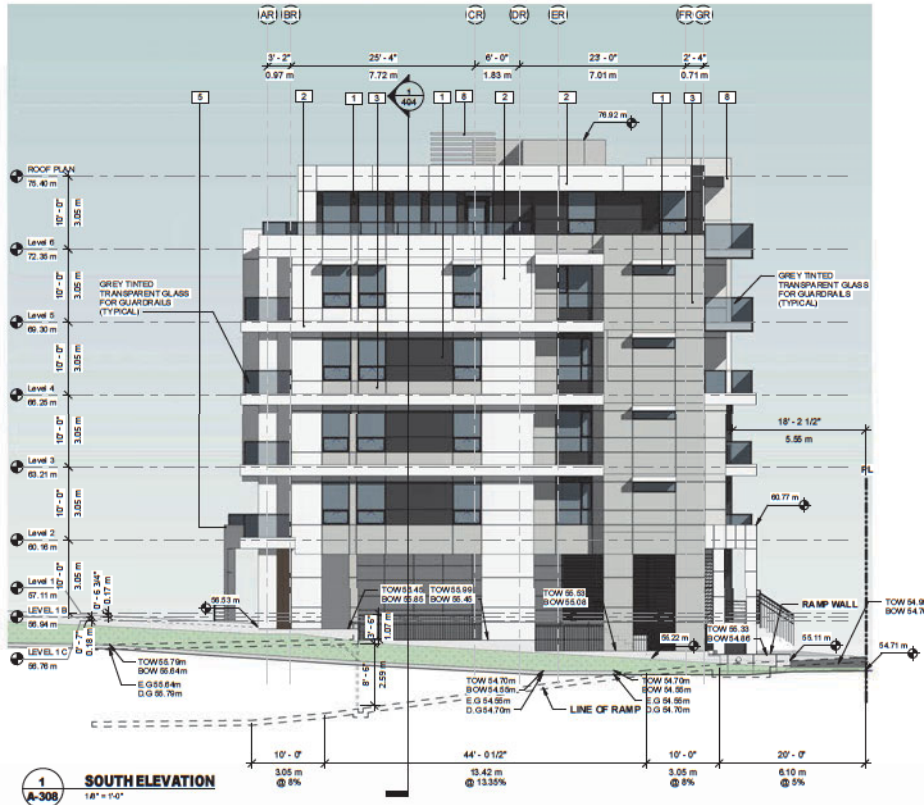


**NOTE REGARDING BLACK WINDOWS:**  
BLACK COLOURED WINDOW FRAMES ARE TO BE RETAINED TILL CONSTRUCTION PHASE OF THE PROJECT. A SEPARATE LETTER OF COMMITMENT FROM THE CLIENT TO THE CITY STAFF WILL BE PROVIDED AT THE COUNCIL MEETING STAGE OF THE PROJECT.

**LEGEND:**

A.E.G. - AVERAGE EXISTING GRADING  
R.W. - RETAINING WALL  
T.O.W. - TOP OF RETAINING WALL  
B.O.W. - BOTTOM OF RETAINING WALL  
T.O.C. - TOP OF CURB  
B.O.C. - BOTTOM OF CURB

LEVEL 1 C	76.76 m	76.76 m
LEVEL 1 B	76.54 m	76.54 m
LEVEL 1 A	76.33 m	76.33 m
LEVEL 2	76.19 m	76.19 m
LEVEL 3	76.21 m	76.21 m
LEVEL 4	76.25 m	76.25 m
LEVEL 5	76.30 m	76.30 m
LEVEL 6	76.36 m	76.36 m
ROOF PLAN	76.40 m	76.40 m



**SCHEDULE OF FINISHES:**

1. COLOR : SW 7075 WEB GRAY  
  - SMOOTH FINISH HARDE PANEL PAINTED WITH HARDE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED VYNIL WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
  - ALUMINUM STORE FRONT WINDOWS
  - PAINTED ALUMINUM WIRE MESH SCREEN FOR GAS METER
2. COLOR : SW 7757 HIGH REFLECTIVE WHITE  
  - SMOOTH FINISH HARDE PANEL PAINTED WITH HARDE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDESOFFIT PANEL
  - FASCIA WITH SMOOTH FINISH HARDE PANEL
  - CONCRETE PANELS & REVEALS
3. COLOR : SW 0049 SILVER GRAY  
  - SMOOTH FINISH HARDE PANEL PAINTED WITH HARDE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
4. COLOR : SOLID WHITE S0323  
  - AL 13 ALUMINUM COMPOSITE PANELS
5. COLOR : ONYX 7099  
  - SWISS PEARL LARGO CARAT FIBER CEMENT PANEL
6. COLOR : METAL WORKS CANADA TAN CORRUGATED METAL CLADDING
7. COLOR : SW 7649 SILVERPLATE CORRUGATED METAL CLADDING
8. COLOR : SW 6197 ALOOF GRAY  
  - SMOOTH FINISH HARDE PANEL PAINTED WITH HARDE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH
  - PAINTED ALUMINUM SCREEN FOR RTU UNIT
9. COLOR : NAVAJO BEIGE JAMES HARDE  
  - SMOOTH FINISH HARDE PANEL PAINTED WITH HARDE REVEAL SYSTEM
  - FASTENERS & REVEALS COLOR TO MATCH



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**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**  
**6890 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**

**HARPREET PURSA**

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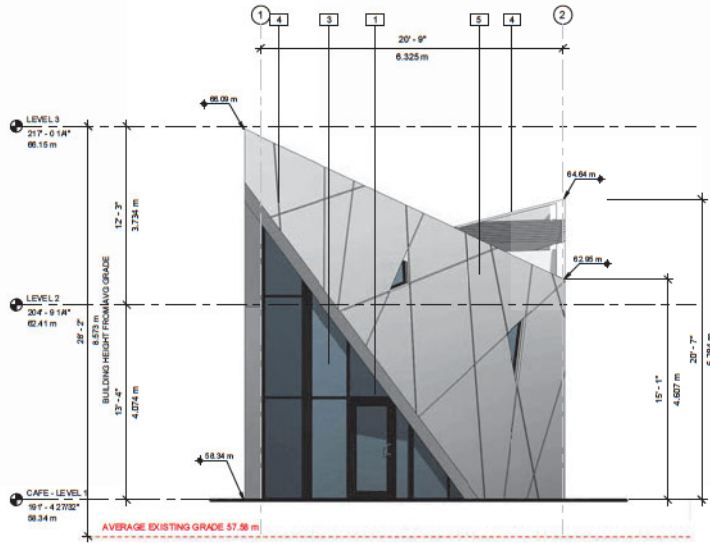
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CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024

**SHEET TITLE:**

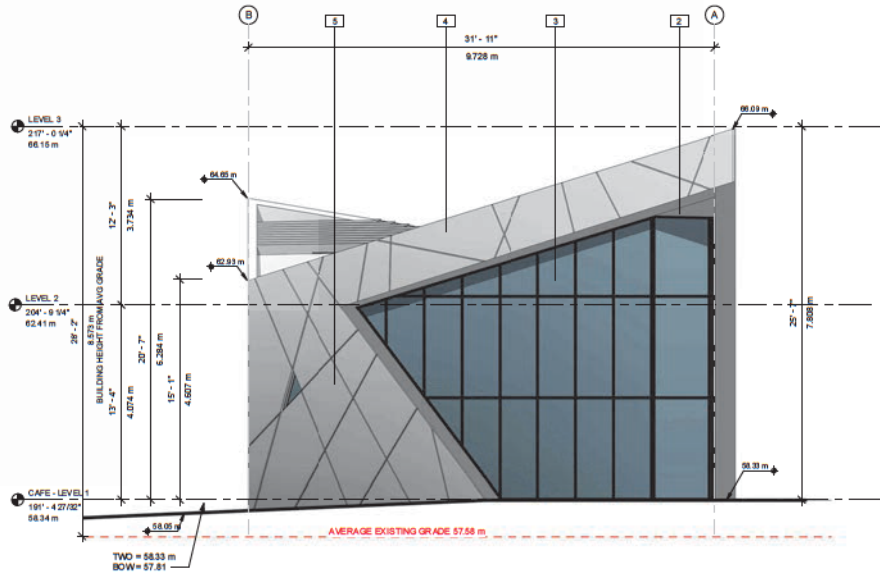
**ELEVATIONS  
 RESIDENTIAL BUILDING**



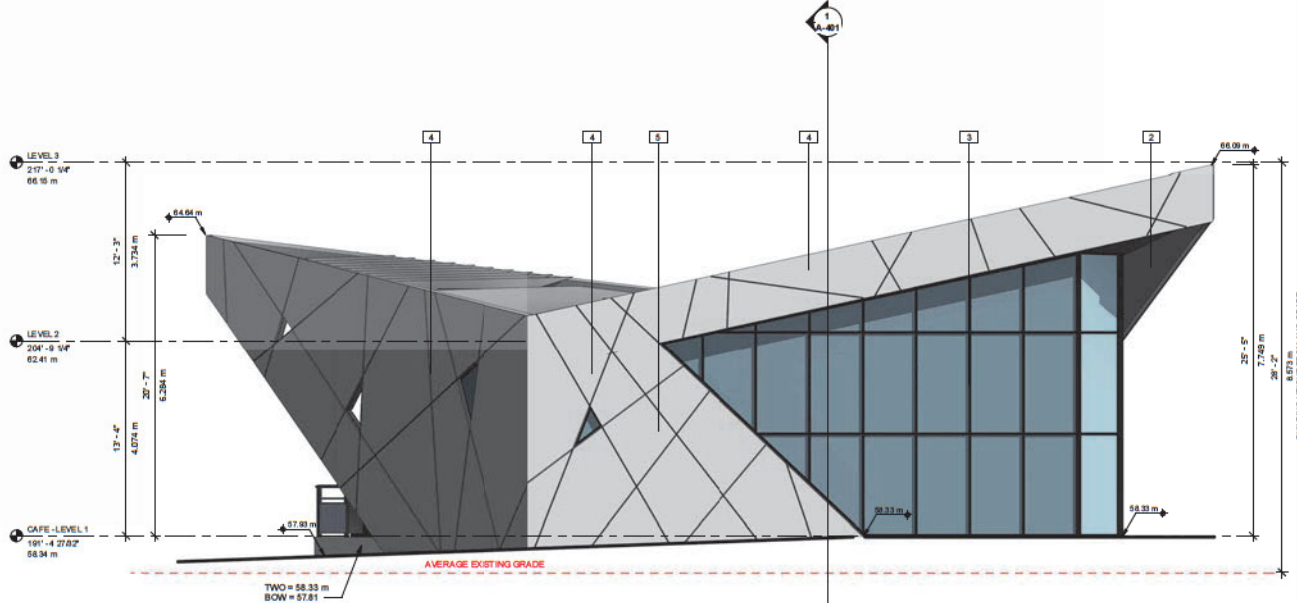
**DRAWING NO. A-308 H**



**1 FRONT ELEVATION (KING GEORGE BLVD.)**  
1/4" = 1'-0"



**2 NORTH WEST ELEVATION**  
1/4" = 1'-0"

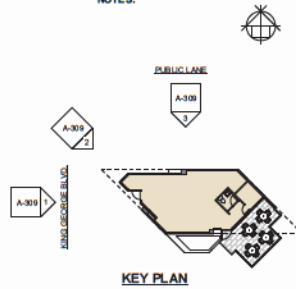


**3 NORTH ELEVATION**  
1/4" = 1'-0"

**SCHEDULE OF FINISHES**

- 1. COLOR : SW 7076 CYBERSPACE
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
- 2. COLOR : SW 7577 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIE SOFFIT PANEL
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW6473 SURF GREEN
  - TINTED GLASS & SPANDREL PANEL
- 4. COLOR : SILVER METALLIC
  - ALUMINUM COMPOSITE PANELS (ALUCOENID OR SIMILAR)
- 5. LED PROFILE SYSTEM : GRAZE COMPACT POWERCORE INTELLIHUE
  - RGBW - REDGREENBLUEWHITE

**NOTES:**



**KEY PLAN**

REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING
REV 11-18	PROPOSED TO CORRECT BUILDING



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**PROJECT: PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

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CHECKED: YA

SCALE: As Indicated

JOB NO: SUR-177

DATE: JULY 2024

SHEET TITLE:

**ELEVATIONS CAFETERIA**

DRAWING NO.

**A-309**

**H**

NOTES:



PUBLIC LANE



KEY PLAN

REV 01	ISSUED FOR PERMIT TO CONSTRUCT
REV 02	ISSUED FOR PERMIT TO CONSTRUCT
REV 03	ISSUED FOR PERMIT TO CONSTRUCT
REV 04	ISSUED FOR PERMIT TO CONSTRUCT
REV 05	ISSUED FOR PERMIT TO CONSTRUCT
REV 06	ISSUED FOR PERMIT TO CONSTRUCT
REV 07	ISSUED FOR PERMIT TO CONSTRUCT
REV 08	ISSUED FOR PERMIT TO CONSTRUCT
REV 09	ISSUED FOR PERMIT TO CONSTRUCT
REV 10	ISSUED FOR PERMIT TO CONSTRUCT

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PROJECT:  
**PROPOSED MIXED USE  
DEVELOPMENT**

**6890 & 6706 KING GEORGE  
BLVD.**

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CHECKED: YA

SCALE: As Indicated

JOB NO.: SUR-177

DATE: JULY 2024

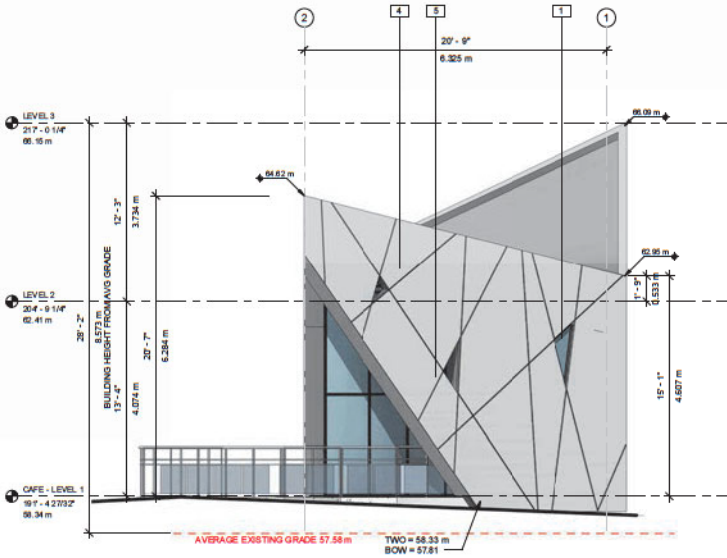
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**ELEVATIONS  
CAFETERIA**

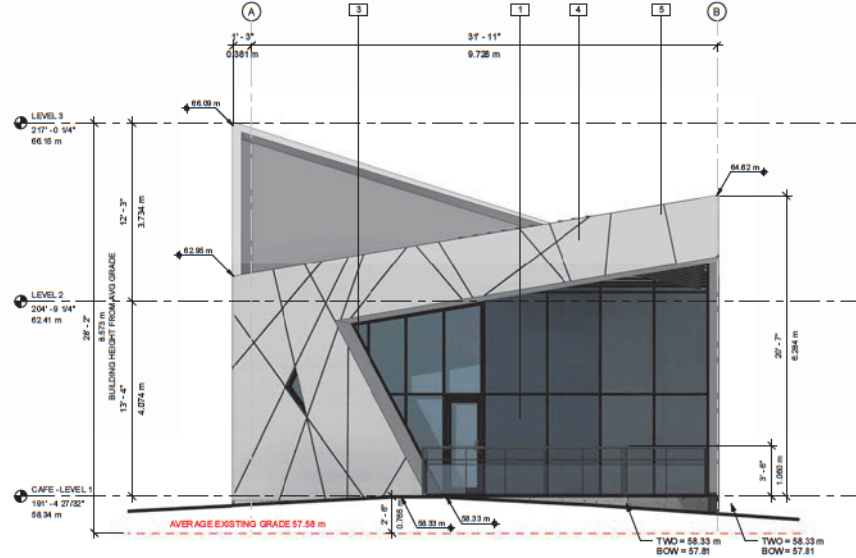
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**A-310**

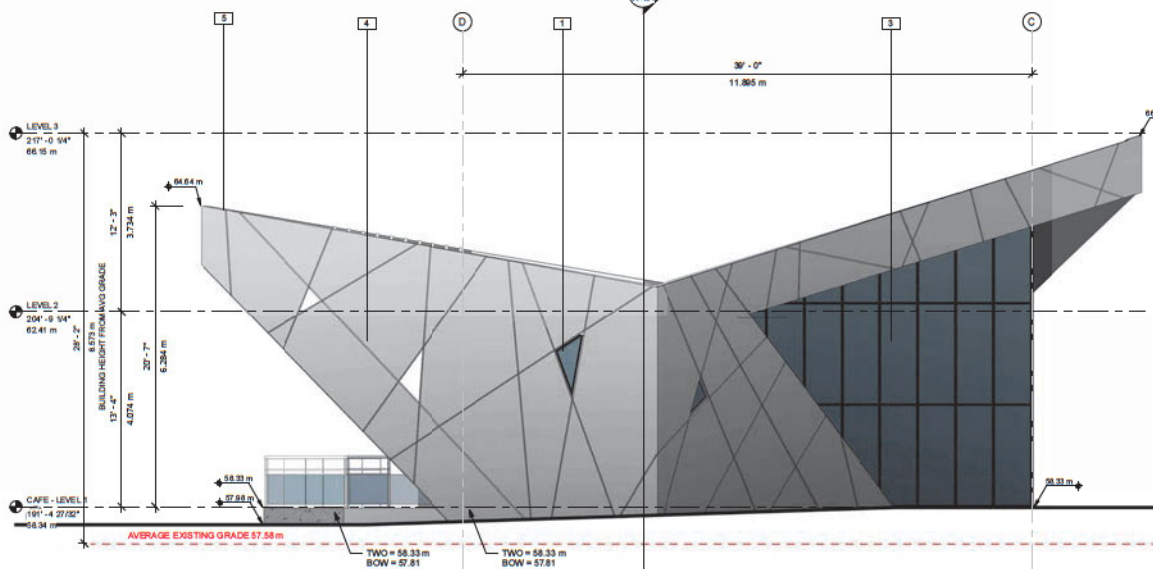
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**1 EAST ELEVATION**  
1/4" = 1'-0"



**3 SOUTH EAST ELEVATION**  
1/4" = 1'-0"

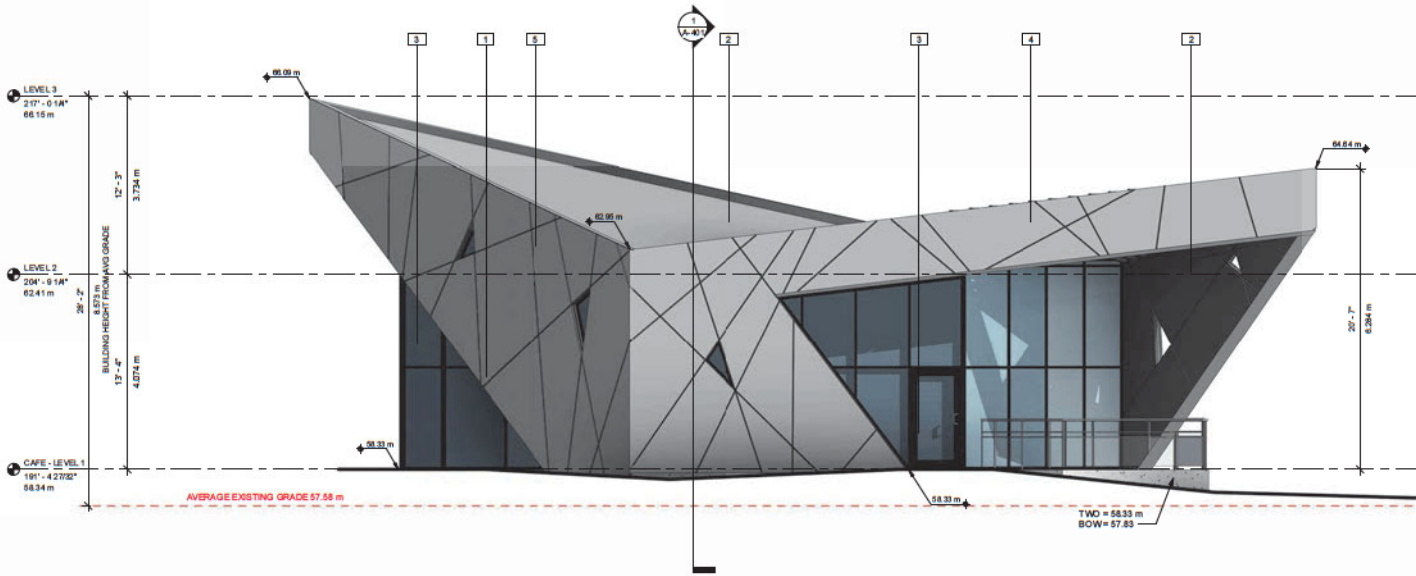


**2 NORTH EAST ELEVATION**  
1/4" = 1'-0"

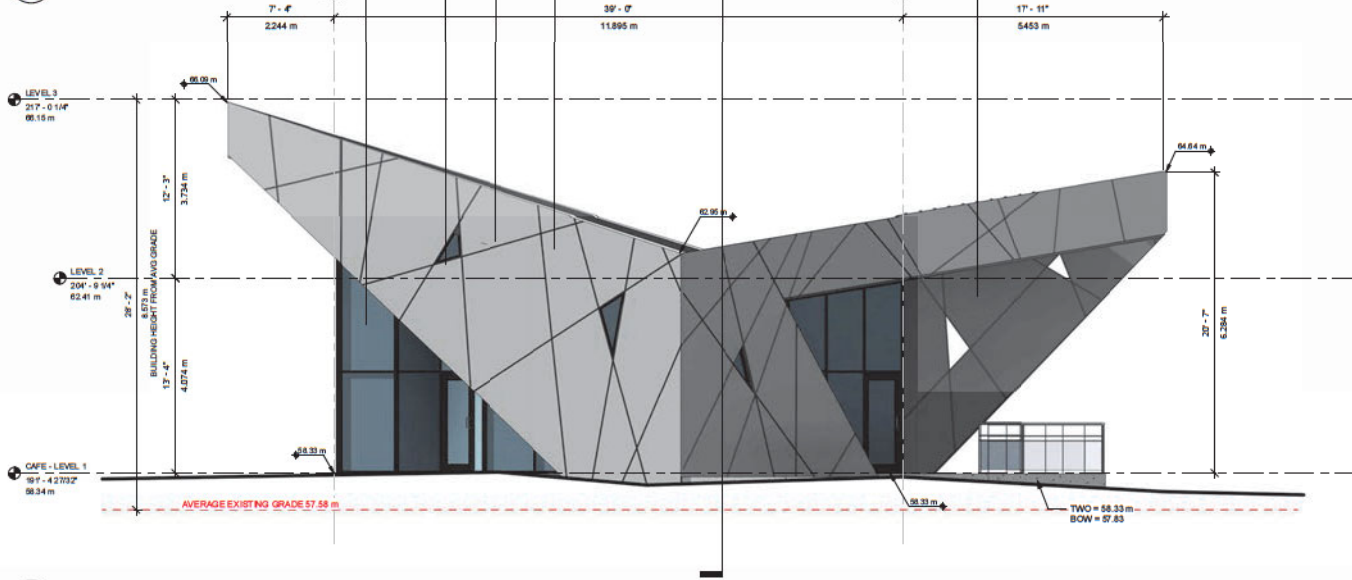
**SCHEDULE OF FINISHES:**

1. COLOR: SW 7076 CYBERSPACE  
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
2. COLOR: SW 7757 HIGH REFLECTIVE WHITE  
  - SMOOTH FINISH HARDIE PANEL PAINTED
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIES OFF PANEL
3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW6473 SURF GREEN  
  - TINTED GLASS & SPANDREL PANEL
4. COLOR: SILVER METALLIC  
  - ALUMINUM COMPOSITE PANELS (ALUCOBOND OR SIMILAR)
5. LED PROFILE SYSTEM: GRAZE  
  - COMPACT POWERCORE INTELLI-HUE
  - RGBW - RED/GREEN/BLUE/WHITE





**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 SOUTH WEST ELEVATION**  
1/8" = 1'-0"

**SCHEDULE OF FINISHES:**

- 1. COLOR : SW 7076 CYBERSPACE
  - PAINTED ALUMINUM WINDOWS WITH SAFETY GLASS DOUBLE GLAZED & THERMALLY BROKEN
- 2. COLOR : SW 7757 HIGH REFLECTIVE WHITE
  - SMOOTH FINISH HARDIE PANEL PAINTED
  - FASTENERS & REVEALS COLOR TO MATCH
  - SOFFITS WITH VENTED HARDIES OFF RT PANEL
- 3. ALUMINUM CURTAIN WALL SYSTEM - ICD TO MATCH SW 8473 SURF GREEN
  - TINTED GLASS & SPANDREL PANEL
- 4. COLOR : SILVER METALLIC
  - ALUMINUM COMPOSITE PANELS (ALUCOBOND OR SIMILAR)
- 5. LED PROFILE SYSTEM - GRAZE
  - COMPACT POWERCORE INTELLI LITE
  - RGBW - RED/GREEN/BLUE/WHITE

**NOTES:**



**KEY PLAN**

REV 01	ISSUED FOR PERMIT TO CONSTRUCT
REV 02	ISSUED FOR PERMIT TO CONSTRUCT
REV 03	ISSUED FOR PERMIT TO CONSTRUCT
REV 04	ISSUED FOR PERMIT TO CONSTRUCT
REV 05	ISSUED FOR PERMIT TO CONSTRUCT
REV 06	ISSUED FOR PERMIT TO CONSTRUCT
REV 07	ISSUED FOR PERMIT TO CONSTRUCT
REV 08	ISSUED FOR PERMIT TO CONSTRUCT
REV 09	ISSUED FOR PERMIT TO CONSTRUCT
REV 10	ISSUED FOR PERMIT TO CONSTRUCT
REV 11	ISSUED FOR PERMIT TO CONSTRUCT
REV 12	ISSUED FOR PERMIT TO CONSTRUCT
REV 13	ISSUED FOR PERMIT TO CONSTRUCT
REV 14	ISSUED FOR PERMIT TO CONSTRUCT
REV 15	ISSUED FOR PERMIT TO CONSTRUCT
REV 16	ISSUED FOR PERMIT TO CONSTRUCT
REV 17	ISSUED FOR PERMIT TO CONSTRUCT
REV 18	ISSUED FOR PERMIT TO CONSTRUCT
REV 19	ISSUED FOR PERMIT TO CONSTRUCT
REV 20	ISSUED FOR PERMIT TO CONSTRUCT



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**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**

**6890 & 6706 KING GEORGE BLVD.**

**CLIENT:**  
**HARPREET PURSA**

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CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024

SHEET TITLE:

**ELEVATIONS CAFETERIA**

DRAWING NO.:	<b>A-311</b>
SCALE:	<b>H</b>



1. COLOR : IVORY 7090  
 • SWISSPEARL CARAT - FIBER CEMENT PANEL



11. COLOR : SW 9517 OUTRIGGER  
 • SMOOTH FINISH HARDIE PANEL PAINTED WITH  
 HARDIE REVEAL SYSTEM  
 • FASTENERS & REVEALS COLOR TO MATCH



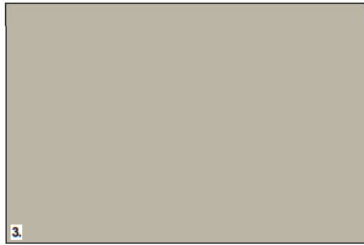
10. COLOR : SILVER METTALIC  
 • ALLUMNUM COMPOSITE PANEL  
 ALUCABOND OR SIMILAR



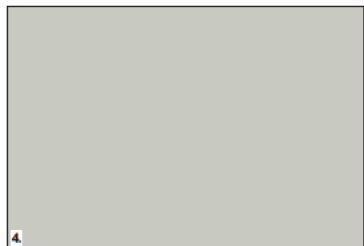
9. COLOR : SW 7757 HIGH REFLECTIVE WHITE  
 • SMOOTH FINISH HARDIE PANEL PAINTED.  
 FASTENERS & REVEALS COLOR TO MATCH.  
 • SOFFITS WITH VENTED HARDIESOFFIT PANEL  
 • CONCRETE PANELS & REVEALS



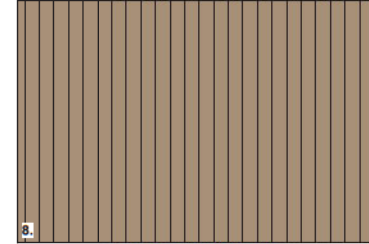
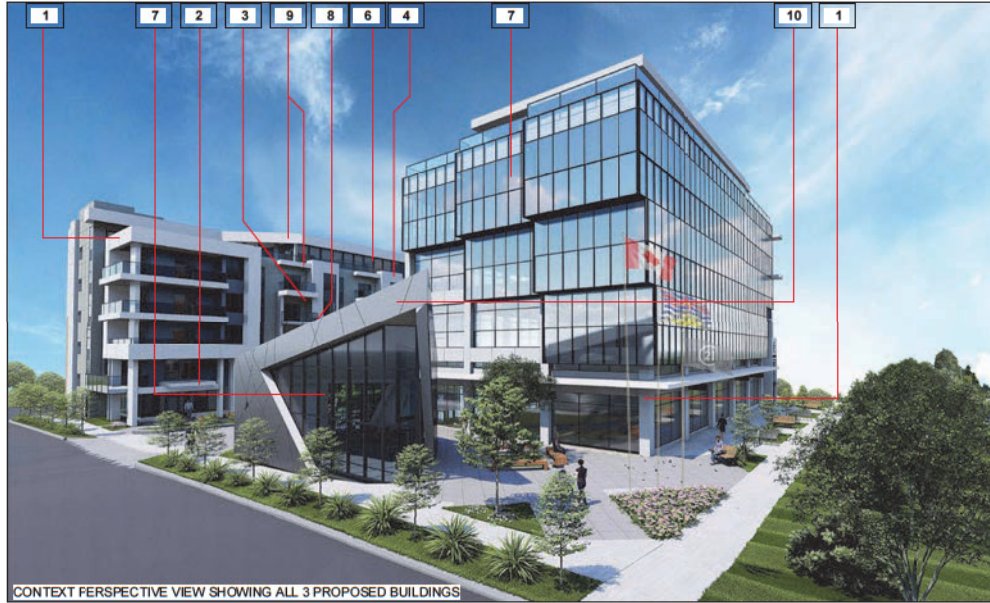
2. COLOR : SOLID - BRILLIANT WHITE  
 • AL 13 ALUMINUM COMPOSITE PANELS



3. COLOR : SW 0049 SILVER GRAY  
 • SMOOTH FINISH HARDIE PANEL PAINTED  
 • FASTENERS & REVEALS COLOR TO MATCH



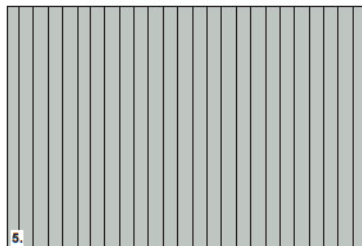
4. COLOR : SW 6197 ALOOF GRAY  
 • SMOOTH FINISH HARDIE PANEL PAINTED  
 • FASTENERS & REVEALS COLOR TO MATCH  
 • PAINTED ALUMINUM SCREEN FOR RTU



8. COLOR : TAN - METAL WORKS CANADA  
 CORRUGATED METAL CLADDING - STANDARD SERIES  
 PANEL



7. ALUMINUM CURTAIN WALL SYSTEM / FIBREGLASS  
 WINDOW-WALL SYSTEM -  
 ICD TO MATCH SW 9062 BLUEBIRD FEATHER  
 • TINTED GLASS & SPANDREL PANEL.



5. COLOR : SURF WHITE (METAL WORKS CANADA)  
 CORRUGATED METAL CLADDING - HERITAGE PANELS

## MATERIAL BOARD



6. COLOR : SW 7076 CYBERSPACE  
 • SMOOTH FINISH HARDIE PANEL PAINTED  
 • FASTENERS & REVEALS COLOR TO MATCH  
 • PAINTED ALUMINUM WINDOWS  
 • PAINTED ALUMINUM MESH SCREEN FOR GAS METER  
 • CURTAIN WALL MULLIONS

### NOTES:

REV 10-17	1	REVISION TO CORRAL - REVISION
REV 10-18	2	INTERCHANGE TO ALUMINUM
REV 10-19	3	REVISION
REV 10-20	4	REVISION
REV 10-21	5	REVISION
REV 10-22	6	REVISION
REV 10-23	7	REVISION
REV 10-24	8	REVISION
REV 10-25	9	REVISION

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PROJECT:  
**PROPOSED MIXED USE  
 DEVELOPMENT**

6890 & 6706 KING GEORGE  
 BOULEVARD

CLIENT:  
**HARPREET PURBA**

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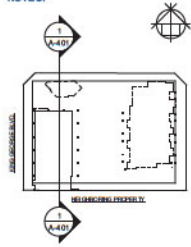
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SCALE:	1/8" = 1'-0"
JOB NO.:	BJR177
DATE:	JULY 2024

SHEET TITLE:

**MATERIAL BOARD**

DRAWING NO.	<b>A-320</b>
REVISION	<b>H</b>

**NOTES:**



**KEY PLAN**

**LEGEND**  
A.E.G. - AVERAGE EXISTING GRADE

REV 01	100% COMPLETE TO CONSTRUCTION
REV 02	100% COMPLETE TO CONSTRUCTION
REV 03	100% COMPLETE TO CONSTRUCTION
REV 04	100% COMPLETE TO CONSTRUCTION
REV 05	100% COMPLETE TO CONSTRUCTION
REV 06	100% COMPLETE TO CONSTRUCTION
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REV 98	100% COMPLETE TO CONSTRUCTION
REV 99	100% COMPLETE TO CONSTRUCTION
REV 100	100% COMPLETE TO CONSTRUCTION



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**PROJECT: PROPOSED MIXED USE DEVELOPMENT**

**6880 & 6706 KING GEORGE BOULEVARD**

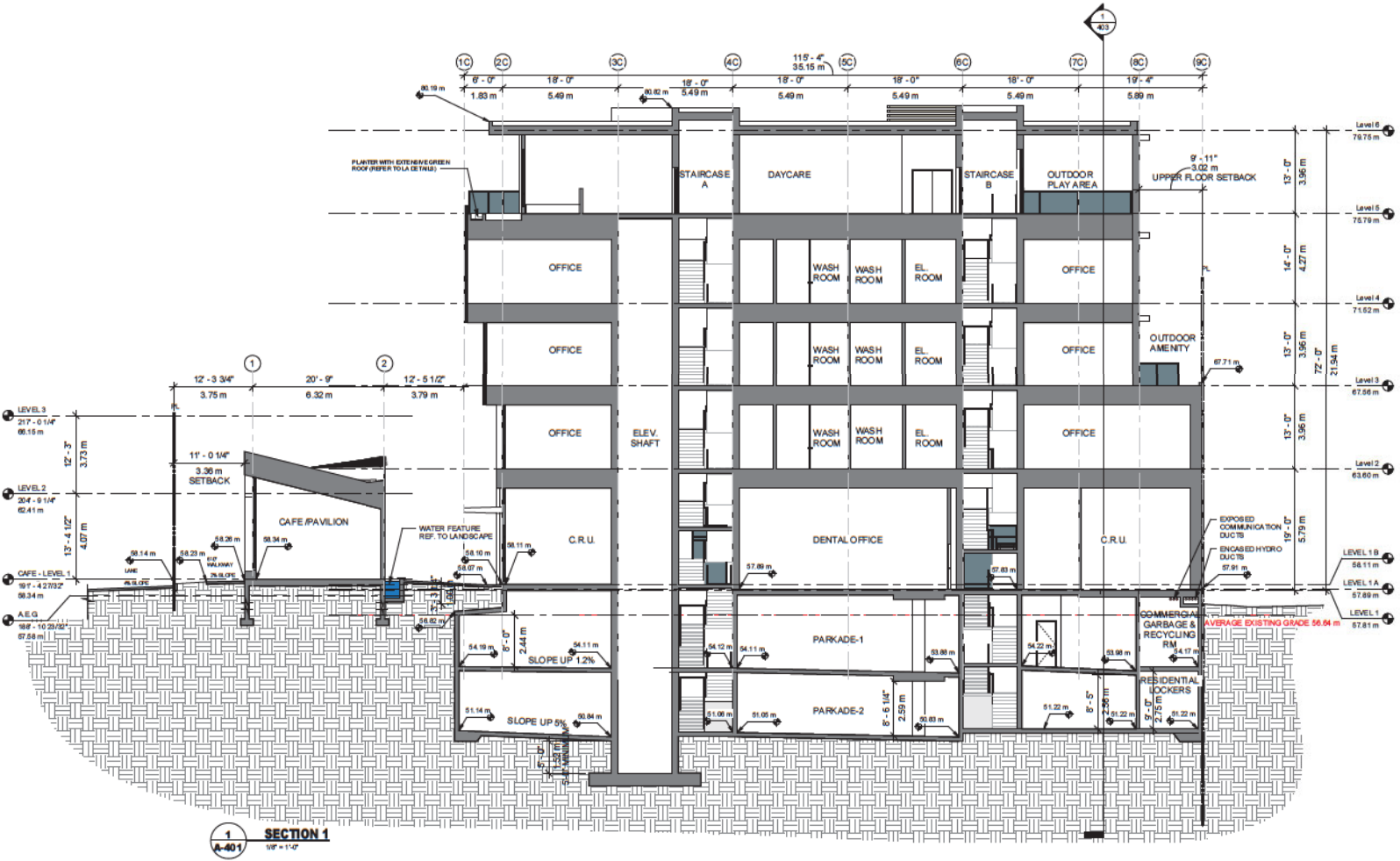
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SCALE:	As Indicated
JOB NO.:	BJR177
DATE:	JULY 2024
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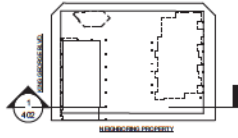
**BUILDING SECTION-1**

**A-401 H**



**1 SECTION 1**  
1/4" = 1/2"

NOTES:



**KEY PLAN**

LEGEND  
A.E.G. - AVERAGE EXISTING GRADE

Level 6	75.40 m	ROOF PLAN
Level 5	72.38 m	
Level 4	66.25 m	
Level 3	62.25 m	
Level 2	63.50 m	
Level 1	57.81 m	
PARKADE 1	52.50 m	
PARKADE 2	49.45 m	



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PROJECT: **PROPOSED MIXED USE DEVELOPMENT**  
8680 & 6706 KING GEORGE BOULEVARD

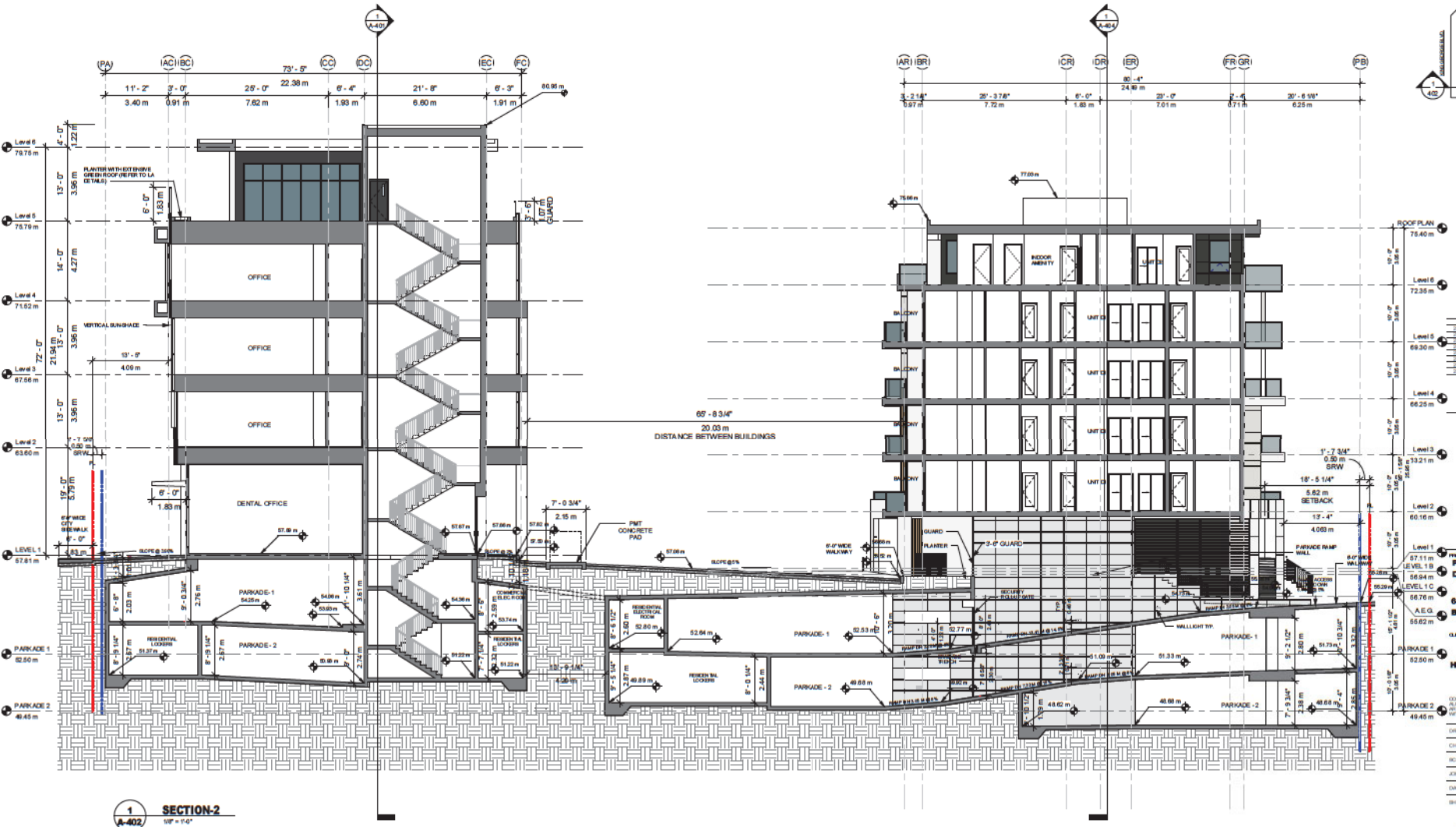
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SHEET TITLE:	

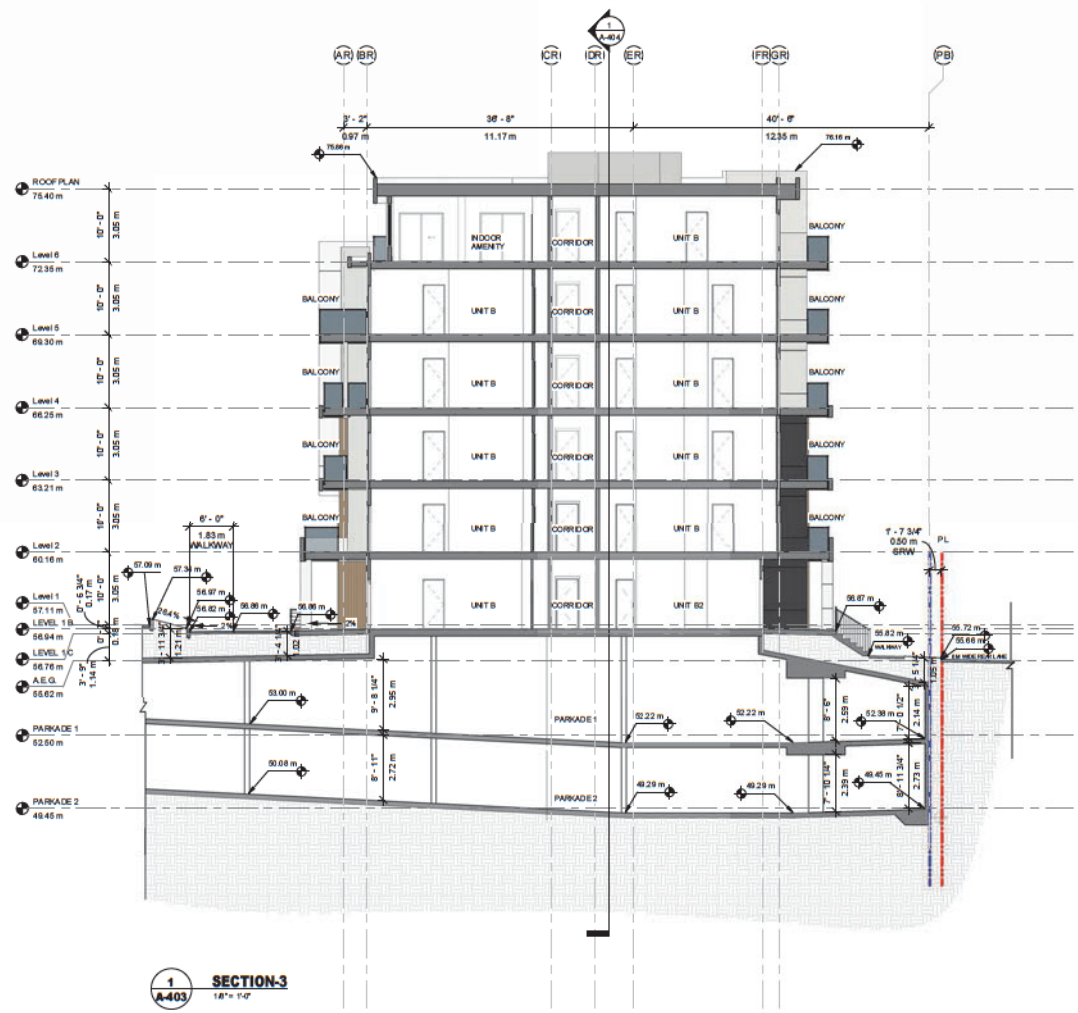
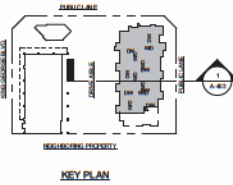
**BUILDING SECTION-2**

**A-402 H**



**1 SECTION-2**  
1/8" = 1'-0"

NOTES:



REV 01	ISSUED TO CONSULT - 02/07/22
REV 02	ISSUED TO ARCHITECTURE
REV 03	FOR PERMITS
REV 04	FOR PERMITS
REV 05	FOR PERMITS
REV 06	FOR PERMITS
REV 07	FOR PERMITS
REV 08	FOR PERMITS
REV 09	FOR PERMITS
REV 10	FOR PERMITS
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REV 39	FOR PERMITS
REV 40	FOR PERMITS
REV 41	FOR PERMITS
REV 42	FOR PERMITS
REV 43	FOR PERMITS
REV 44	FOR PERMITS
REV 45	FOR PERMITS
REV 46	FOR PERMITS
REV 47	FOR PERMITS
REV 48	FOR PERMITS
REV 49	FOR PERMITS
REV 50	FOR PERMITS
REV 51	FOR PERMITS
REV 52	FOR PERMITS
REV 53	FOR PERMITS
REV 54	FOR PERMITS
REV 55	FOR PERMITS
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REV 62	FOR PERMITS
REV 63	FOR PERMITS
REV 64	FOR PERMITS
REV 65	FOR PERMITS
REV 66	FOR PERMITS
REV 67	FOR PERMITS
REV 68	FOR PERMITS
REV 69	FOR PERMITS
REV 70	FOR PERMITS
REV 71	FOR PERMITS
REV 72	FOR PERMITS
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REV 89	FOR PERMITS
REV 90	FOR PERMITS
REV 91	FOR PERMITS
REV 92	FOR PERMITS
REV 93	FOR PERMITS
REV 94	FOR PERMITS
REV 95	FOR PERMITS
REV 96	FOR PERMITS
REV 97	FOR PERMITS
REV 98	FOR PERMITS
REV 99	FOR PERMITS
REV 100	FOR PERMITS



300 - 1001 SHELLBROOKS WAY  
 RICHMOND HILL ONTARIO L4B 3N2  
 CANADA TEL: 905.709.1111  
 1000 GERRARD ST. E. SUITE 200  
 TORONTO ONTARIO M4E 1B7  
 info@dfarchitecture.com

PROJECT: PROPOSED MIXED USE DEVELOPMENT

680 & 6706 KING GEORGE BOULEVARD

CLIENT:

HARPREET PURSA

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DRAWN: PB

CHECKED: YA

SCALE: As indicated

JOB NO: BUR177

DATE: JULY 2024

SHEET TITLE:

BUILDING SECTION-3

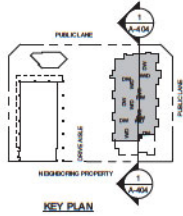


DRAWING NO.

A-403

H

NOTES:



REV 12-17	APPROVED FOR CONSTRUCTION
REV 12-15	APPROVED FOR PERMITS
REV 12-15	TOP OF FINISH FLOOR
REV 12-15	TOP OF CONCRETE SLAB
REV 12-15	TOP OF FOUNDATION
REV 12-15	PROPOSED FINISH FLOOR
REV 12-15	PROPOSED FINISH FLOOR



300 - 1001 SHELLBROOK WAY  
 RICHMOND BRITISH COLUMBIA  
 CANADA V6V 2P5  
 TEL: 604.273.7888  
 INFO@dfarchitect.com

PROJECT: PROPOSED MIXED USE DEVELOPMENT

6890 & 6706 KING GEORGE BOULEVARD

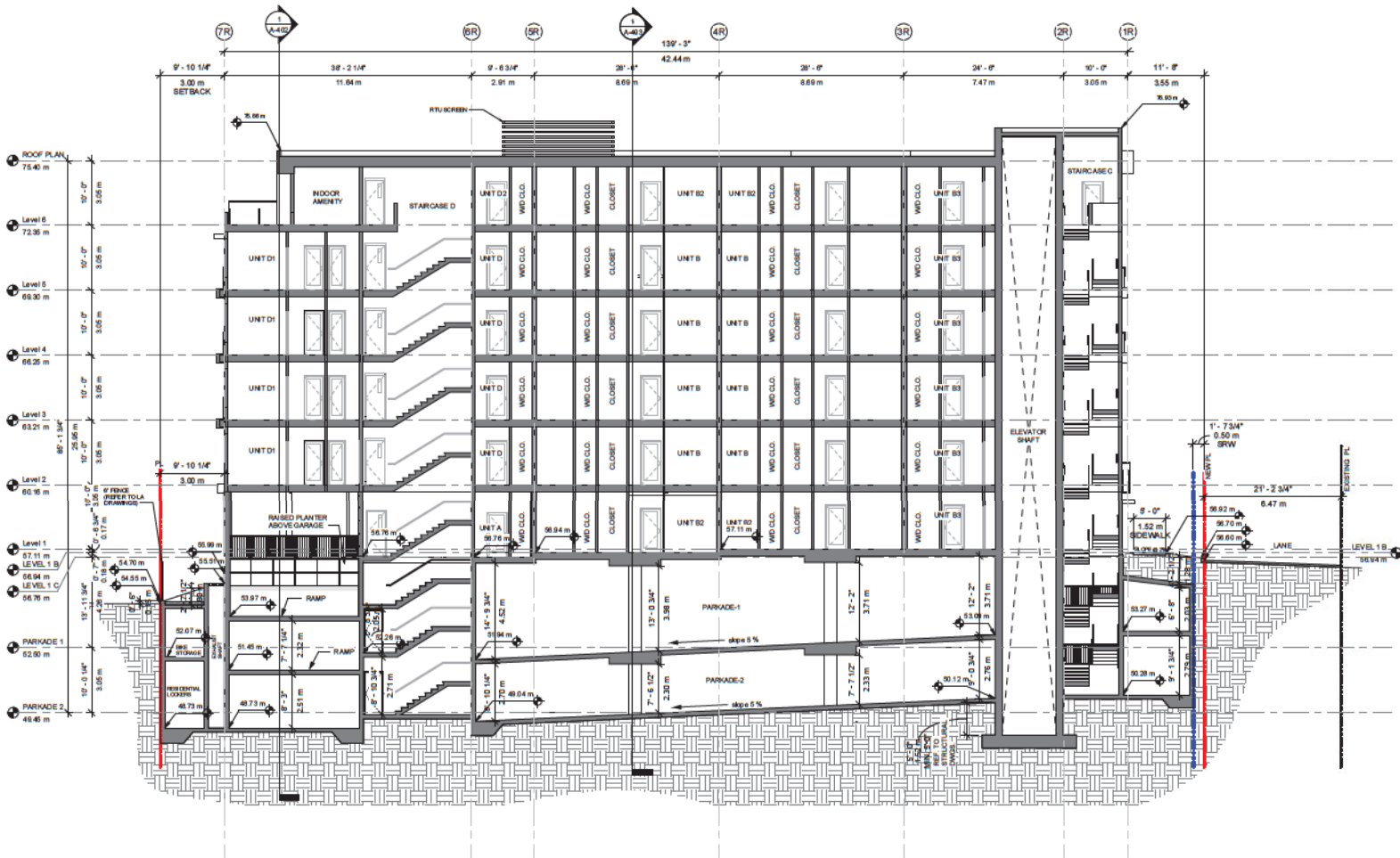
CLIENT:

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DRAWN:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BJR-177
DATE:	JULY 2024
SHEET TITLE:	

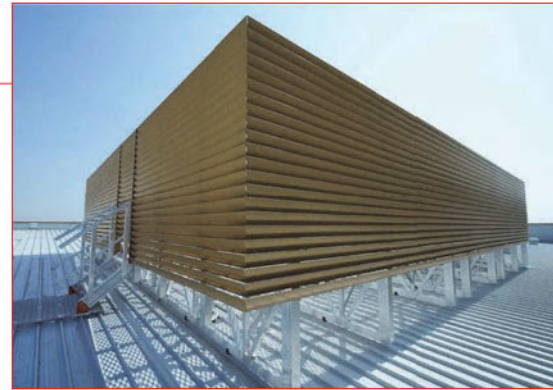
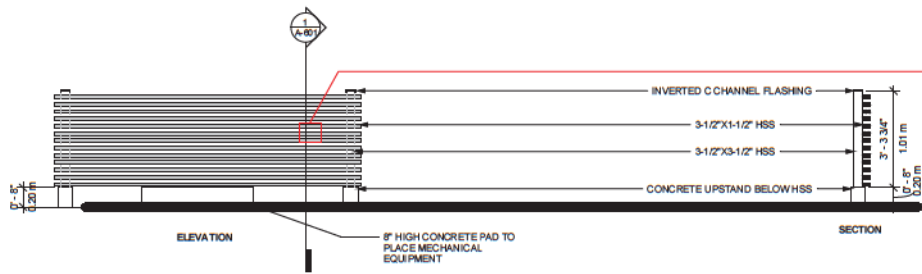
BUILDING SECTION-4



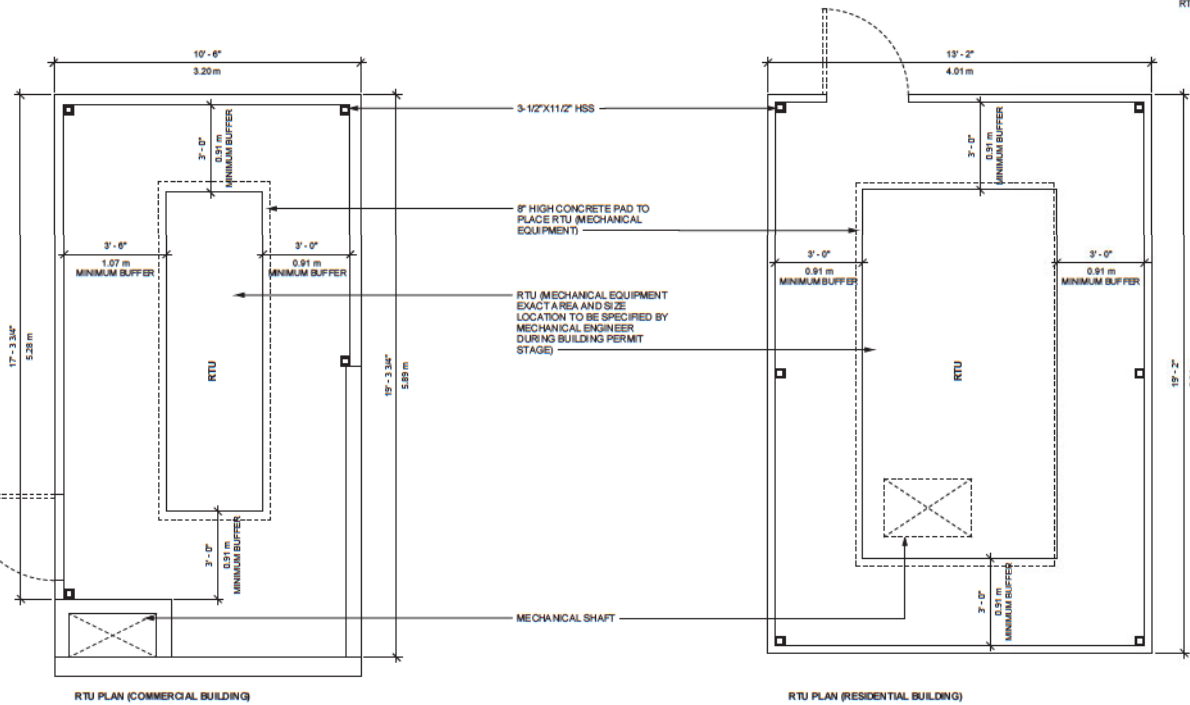
1 SECTION 4  
 A-404 WF = 1/4"

DRAWING NO. A-404

H

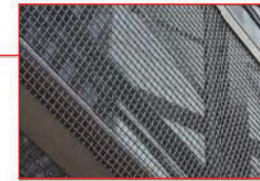
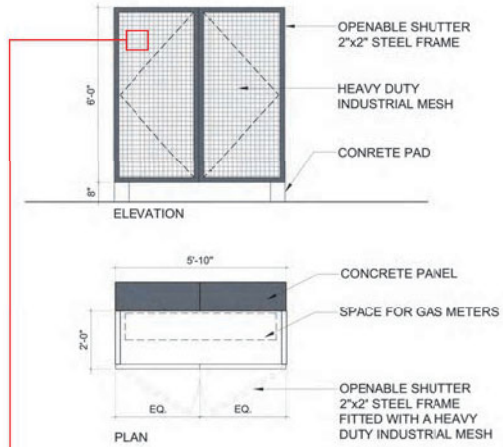


RTU SCREENING REFERENCE IMAGE



RTU PLAN (COMMERCIAL BUILDING)

RTU PLAN (RESIDENTIAL BUILDING)



REFERENCE IMAGE -METAL MESH

NOTES:

REV 01	1	REVISION TO CONSTRUCTION
REV 02	2	REVISION TO CONSTRUCTION
REV 03	3	REVISION TO CONSTRUCTION
REV 04	4	REVISION TO CONSTRUCTION
REV 05	5	REVISION TO CONSTRUCTION
REV 06	6	REVISION TO CONSTRUCTION
REV 07	7	REVISION TO CONSTRUCTION
REV 08	8	REVISION TO CONSTRUCTION
REV 09	9	REVISION TO CONSTRUCTION
REV 10	10	REVISION TO CONSTRUCTION
REV 11	11	REVISION TO CONSTRUCTION
REV 12	12	REVISION TO CONSTRUCTION
REV 13	13	REVISION TO CONSTRUCTION
REV 14	14	REVISION TO CONSTRUCTION
REV 15	15	REVISION TO CONSTRUCTION



300 - 1001 SHELLBROOK WAY  
 MECHANICAL SYSTEMS CONSULTANTS  
 4000 W. 130th Ave. Suite 200  
 Torrance, CA 90504  
 info@dfarchitecture.com

PROJECT: PROPOSED MIXED USE DEVELOPMENT

6890 & 6706 KING GEORGE BLVD.

CLIENT:

HARPREET PURSA

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DRAWN:	PB
CHECKED:	YA
SCALE:	1/2" = 1'-0"
JOB NO.:	BUR177
DATE:	JULY 2024
SHEET TITLE:	

DETAILS

1 RTU SCREEN DETAIL  
 A-601 1/2" = 1'-0"

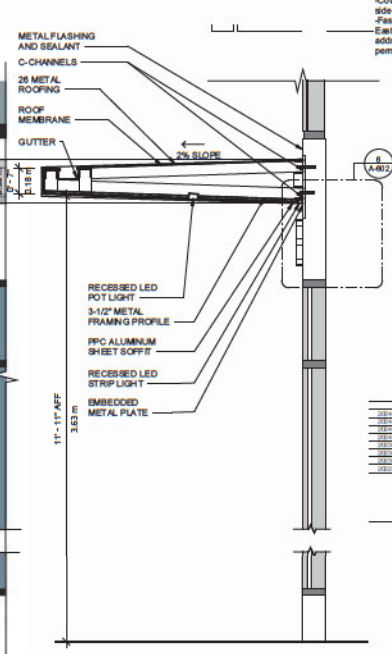
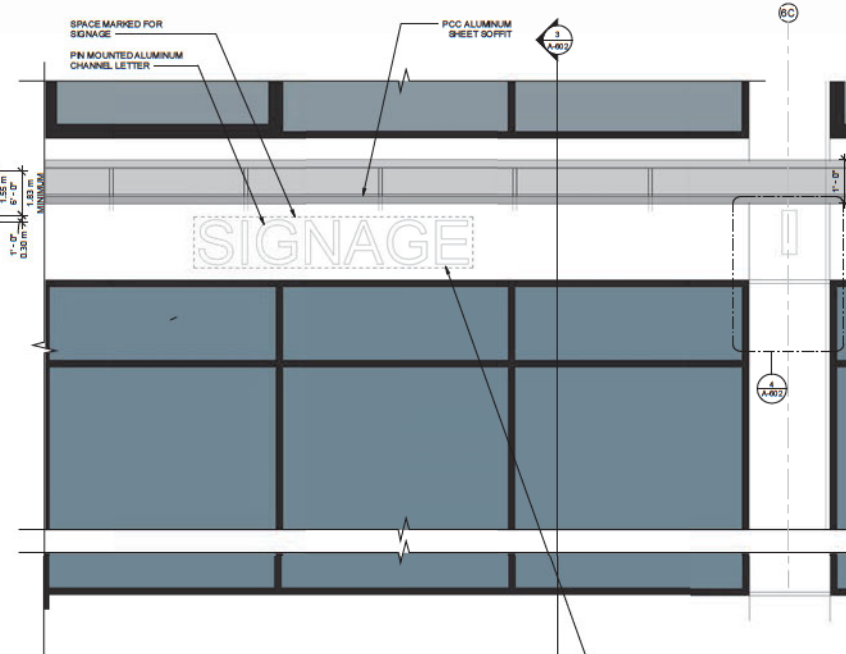
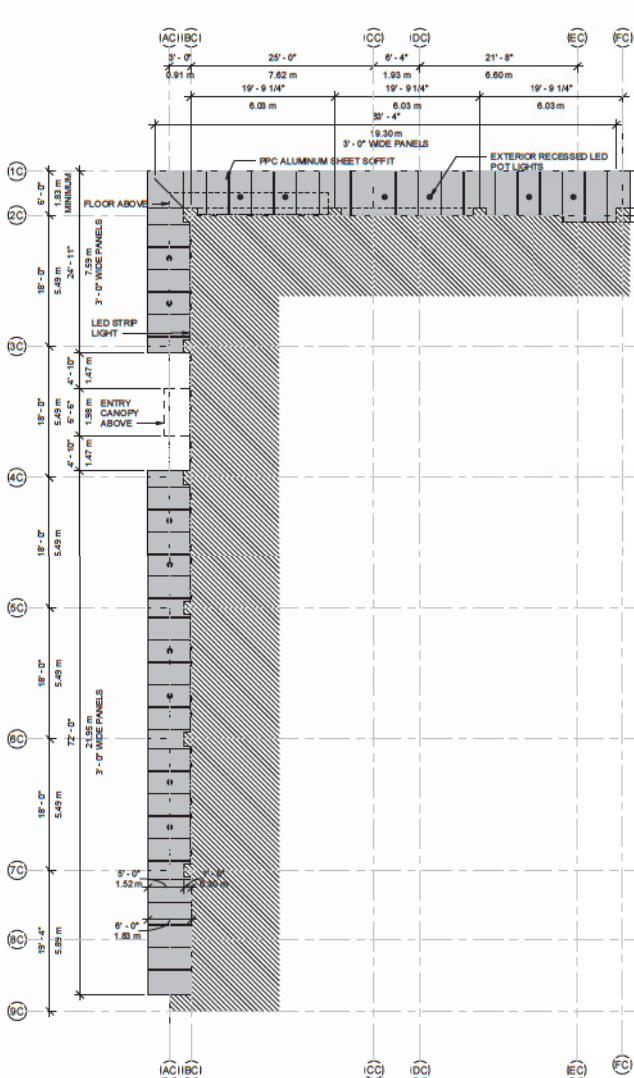
2 GAS METER SCREEN  
 A-601 SCALE: 1/2" = 1'-0"

DRAWING NO. **A-601** **H**

NOTES:

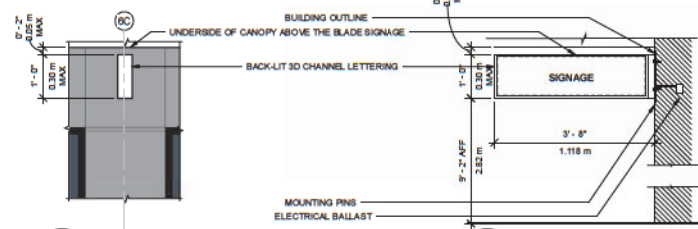


- Window signage or screening that obscures the window glazing is not permitted on the street elevation
- Covering the window glazing on the East side of this building is permitted up to 50%
- East signage is not permitted on the East elevation of this building. Only east address signage on above door is permitted.



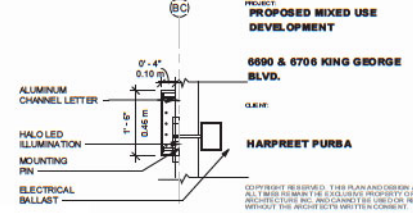
2 CANOPY ELEVATION (KING GEORGE BLVD.)  
3/8" = 1'-0"

3 CANOPY AND SIGNAGES DETAIL  
3/8" = 1'-0"



4 BLADE SIGNAGE DETAIL  
3/8" = 1'-0"

5 BLADE SIGNAGE ELEVATION  
3/8" = 1'-0"



6 MOUNTING SIGNAGE SECTION  
3/8" = 1'-0"

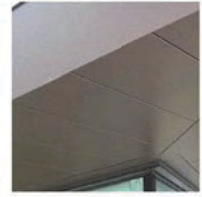
1 COMMERCIAL CANOPY RCP  
1/8" = 1'-0"



BLADE SIGNAGE REFERENCE IMAGE



MOUNTING SIGNAGE REFERENCE IMAGE



CANOPY REFERENCE IMAGE

**df**  
ARCHITECTURE INC.

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RICHMOND, BRITISH COLUMBIA  
CANADA, V6V 2G5  
1-800-942-8888, P: (604) 275-6220  
info@dfarch.ca

PROJECT: **PROPOSED MIXED USE DEVELOPMENT**  
**6890 & 6706 KING GEORGE BLVD.**  
CLIENT: **HARPREET PURBA**

DESIGNER: **PB**

CHECKED: **YA**

SCALE: **As Indicated**

JOB NO.: **BUR-177**

DATE: **JULY**

SHEET TITLE: **COMMERCIAL CANOPY RCP & DETAILS**

DRAWING NO.: **A-602**

**H**

DESIGNER:	PB
CHECKED:	YA
SCALE:	As Indicated
JOB NO.:	BUR-177
DATE:	JULY
SHEET TITLE:	COMMERCIAL CANOPY RCP & DETAILS
DRAWING NO.:	A-602
	H





1. NORTHWEST VIEW FROM KING GEORGE BOULEVARD - COMMERCIAL BUILDING, RESIDENTIAL BUILDING & PAVILLION CAFE

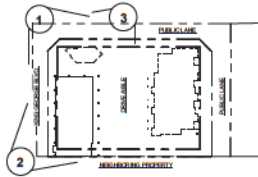


2. SOUTHWEST VIEW FROM KING GEORGE BOULEVARD - COMMERCIAL BUILDING



3. NORTHEAST VIEW FROM INTERNAL DRIVE AISLE - COMMERCIAL BUILDING & PAVILLION CAFE

NOTES:



REV 01	ISSUED FOR CONSTRUCTION
REV 02	CONSTRUCTION TO COMMENCE
REV 03	FOR PERMITTING
REV 04	FOR PERMITTING
REV 05	FOR PERMITTING
REV 06	FOR PERMITTING
REV 07	FOR PERMITTING
REV 08	FOR PERMITTING
REV 09	FOR PERMITTING
REV 10	FOR PERMITTING
REV 11	FOR PERMITTING
REV 12	FOR PERMITTING
REV 13	FOR PERMITTING
REV 14	FOR PERMITTING
REV 15	FOR PERMITTING
REV 16	FOR PERMITTING
REV 17	FOR PERMITTING
REV 18	FOR PERMITTING
REV 19	FOR PERMITTING
REV 20	FOR PERMITTING
REV 21	FOR PERMITTING
REV 22	FOR PERMITTING
REV 23	FOR PERMITTING
REV 24	FOR PERMITTING
REV 25	FOR PERMITTING
REV 26	FOR PERMITTING
REV 27	FOR PERMITTING
REV 28	FOR PERMITTING
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REV 37	FOR PERMITTING
REV 38	FOR PERMITTING
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REV 41	FOR PERMITTING
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REV 96	FOR PERMITTING
REV 97	FOR PERMITTING
REV 98	FOR PERMITTING
REV 99	FOR PERMITTING
REV 100	FOR PERMITTING

**df**  
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INC.

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TORONTO, ONTARIO M6H 2M9  
info@dfarchitect.com

PROJECT:  
**PROPOSED MIXED USE  
DEVELOPMENT**

**6890 & 6706 KING GEORGE  
BOULEVARD**

CLIENT:

**HARPREET PURSA**

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DRAWN: PB

CHECKED: YA

SCALE: 1" = 60'-0"

JOB NO: SJR-177

DATE: JULY 2024

SHEET TITLE:

3D VIEWS

DRAWING NO.

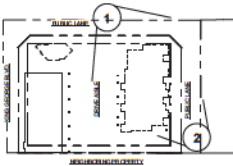
**A-701**

**H**



1. NORTHWEST VIEW FROM INTERNAL LANE - RESIDENTIAL BUILDING

NOTES:



REV 01	ISSUED FOR CONSTRUCTION
REV 02	FOR PERMITTING
REV 03	FOR PERMITTING
REV 04	FOR PERMITTING
REV 05	FOR PERMITTING
REV 06	FOR PERMITTING
REV 07	FOR PERMITTING
REV 08	FOR PERMITTING
REV 09	FOR PERMITTING
REV 10	FOR PERMITTING
REV 11	FOR PERMITTING
REV 12	FOR PERMITTING
REV 13	FOR PERMITTING
REV 14	FOR PERMITTING
REV 15	FOR PERMITTING
REV 16	FOR PERMITTING
REV 17	FOR PERMITTING
REV 18	FOR PERMITTING
REV 19	FOR PERMITTING
REV 20	FOR PERMITTING



300 - 1001 SHELLBROOKS WAY  
 PEACOCK, GEORGIA 30134  
 PHONE: 404.393.2500  
 FAX: 404.393.2501  
 WWW.DFAARCHITECTURE.COM

**PROJECT:**  
**PROPOSED MIXED USE DEVELOPMENT**  
**6690 & 6706 KING GEORGE BOULEVARD**

**CLIENT:**  
**HARPREET PURSA**

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**DRAWN:** PB  
**CHECKED:** YA  
**SCALE:** 1" = 60'-0"  
**JOB NO.:** SJR177  
**DATE:** JULY 2024  
**SHEET TITLE:**

3D VIEWS

**DRAWING NO.:** **A-702** | **H**



2. SOUTHEAST VIEW FROM NORTH-SOUTH LANE - RESIDENTIAL BUILDING



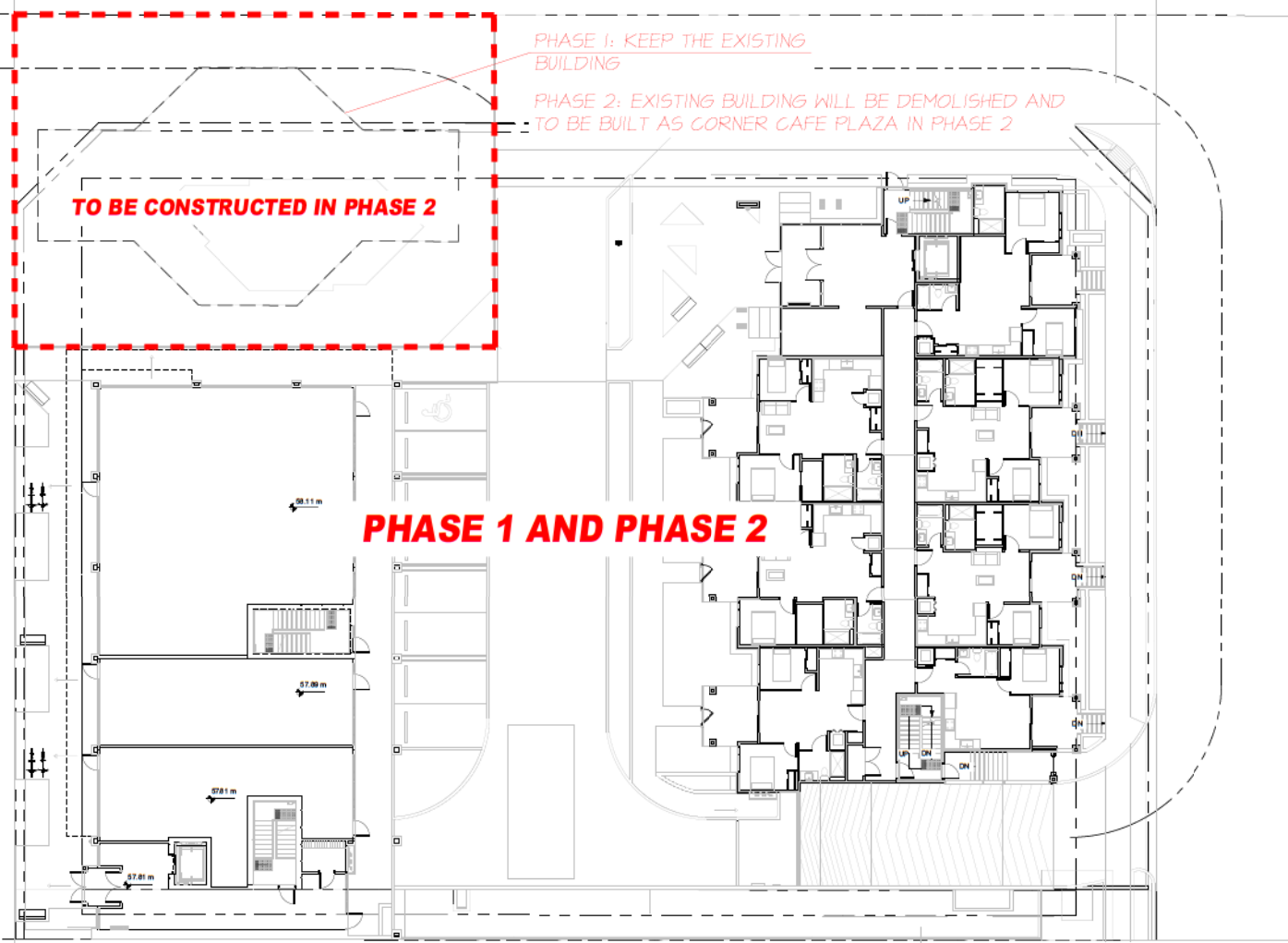
2. NORTHEAST VIEW FROM INTERNAL LANE - RESIDENTIAL BUILDING

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LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



PHASE 1: KEEP THE EXISTING BUILDING

PHASE 2: EXISTING BUILDING WILL BE DEMOLISHED AND TO BE BUILT AS CORNER CAFE PLAZA IN PHASE 2

**TO BE CONSTRUCTED IN PHASE 2**

**PHASE 1 AND PHASE 2**

14	04/20/20	DIST LOT TEMPORARY LANE	PT
13	04/13/20	REV. PER CITY COMMENTS	PT
12	04/21/20	REV. PER ADP COMMENTS/ SITE PLAN	PT
11	04/08/20	SUBMITTED TO ADP	GL
10	04/08/20	ISSUED FOR DP	GL
9	04/08/20	ISSUED FOR REVIEW	GL
8	03/03/20	ISSUED FOR REVIEW	GL
7	04/08/20	ISSUED FOR REVIEW	GL
6	04/08/20	ISSUED FOR REVIEW	GL
5	04/08/20	REVISED PER NEW SITE PLAN	GL
4	04/08/20	REVISED PER NEW SITE PLAN	GL
3	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
2	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
NO.	DATE	REVISION DESCRIPTION	D.R.

SCALE:

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **PHASING PLAN**

DATE: 05/12/21	DRAWING NUMBER:
SCALE: 1" = 3/32"	<b>LO</b>
DRAWN: GL	
DESIGN: GL	
CHECK: MLH	

M2LA PROJECT NUMBER: **SP-069**

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 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
11	04/20/20	DIST LOT TEMPORARY LANE	PT
10	04/13/20	REV. PER CITY COMMENTS	PT
12	04/20/20	REV. PER CITY COMMENTS	PT
12	04/20/20	REV. PER CITY COMMENTS	PT
1	04/20/20	ISSUED FOR PERMITS	GL
10	04/20/20	ISSUED FOR DP	GL
9	04/20/20	ISSUED FOR REVIEW	GL
8	04/20/20	ISSUED FOR REVIEW	GL
7	04/20/20	ISSUED FOR REVIEW	GL
6	04/20/20	ISSUED FOR REVIEW	GL
5	04/20/20	ISSUED FOR REVIEW	GL
4	04/20/20	ISSUED FOR REVIEW	GL
3	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
2	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL

NO. DATE REVISION DESCRIPTION DR.

SCALE: 1/8" = 1'-0"

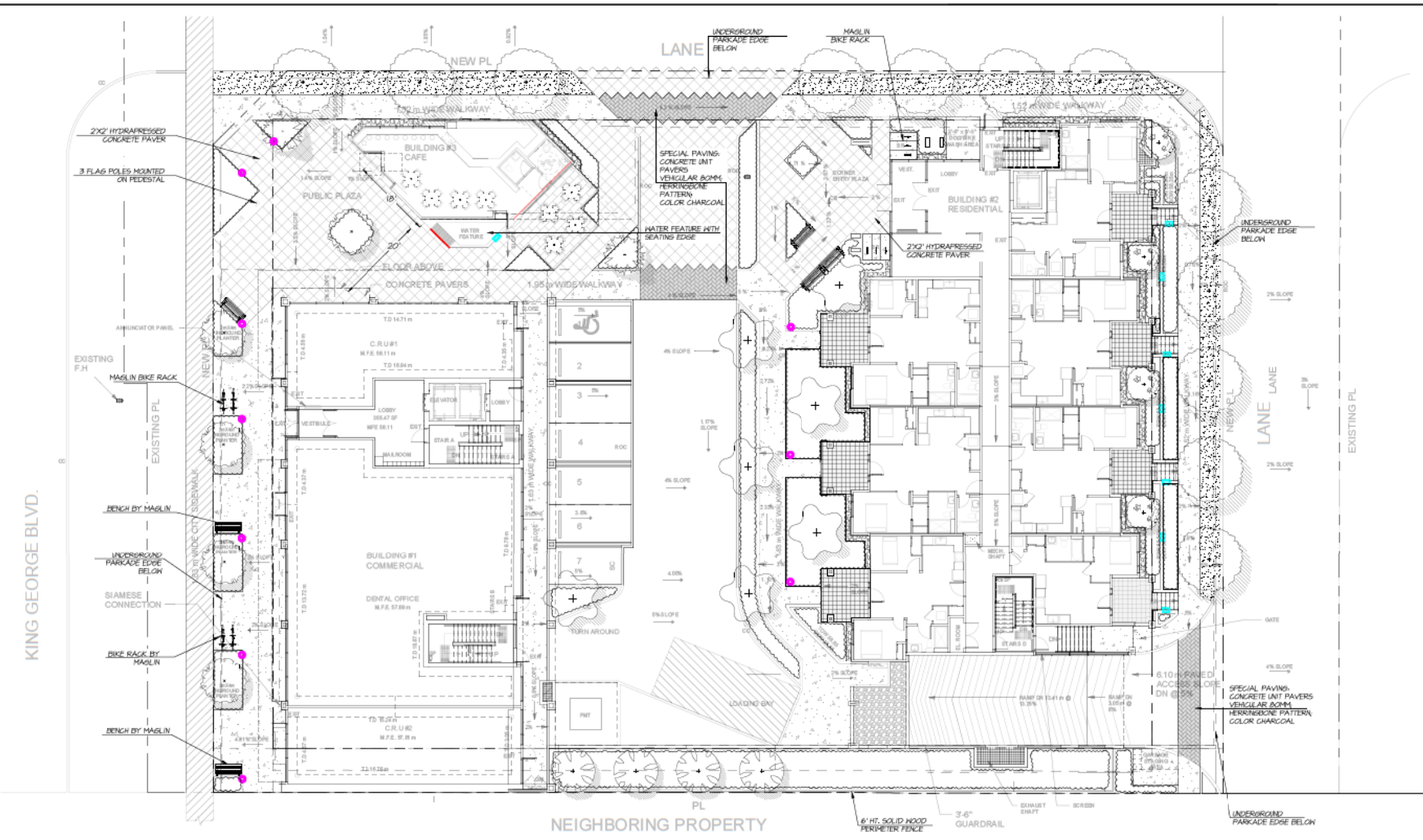
PROJECT: **MIXED USE DEVELOPMENT**  
**6690&6707 KING GEORGE BLVD**  
**SURREY, BC**

DRAWING TITLE: **GROUND LEVEL LAYOUT PLAN**

DATE: 05/12/21	DRAWING NUMBER:
SCALE: 1" = 32.5'	<b>L1</b>
DRAWN: GL	
DESIGN: GL	
CHECKED: MLH	

MSLA PROJECT NUMBER: **SP-009**

21069 - 10-21



- HARDSCAPE LEGEND**
- BROOM FINISH CONCRETE
  - 80MM CONCRETE UNIT PAVER; HERRINGBONE PATTERN; BELGARD, CHARCOAL GREY COLOR, TYP
  - DRAIN ROCK - BULK CLEAR CRUSHED GRAVEL 3/4" NORTHWEST LANDSCAPE SUPPLY AND STONE -
  - 2' X 2' HYDRAPRESSED CONCRETE SLAB; NATURAL COLOR

- LIGHTING LEGEND**
- BOLLARD LIGHT
  - LED STRIP LIGHTING UNDER THE BENCH
  - STEP LIGHT

07/17

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 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



1:2000 0 1.2m(1/2-6600) 4.8m(16)  
 SCALE: LAR (03/04/2017)

11	04/20/17	DIST LOT TEMPORARY LANE	PT
10	04/13/17	REV. PER CITY COMMENTS	PT
12	04/21/17	REV. PER COMMENTS/RE PLAN	PT
9	04/06/17	SUBMITTED TO ACP	GL
10	04/06/17	ISSUED FOR DP	GL
8	04/06/17	ISSUED FOR REVIEW	GL
7	03/09/17	ISSUED FOR REVIEW	GL
6	04/06/17	ISSUED FOR REVIEW	GL
5	04/06/17	ISSUED FOR REVIEW	GL
4	04/06/17	REVISED PER NEW SITE PLAN	GL
3	04/06/17	REVISED PER NEW SITE PLAN	GL
2	04/06/17	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/06/17	ISSUED FOR PRELIMINARY DESIGN	GL
0	04/06/17	ISSUED FOR PRELIMINARY DESIGN	GL

NO. DATE REVISION DESCRIPTION D.R.

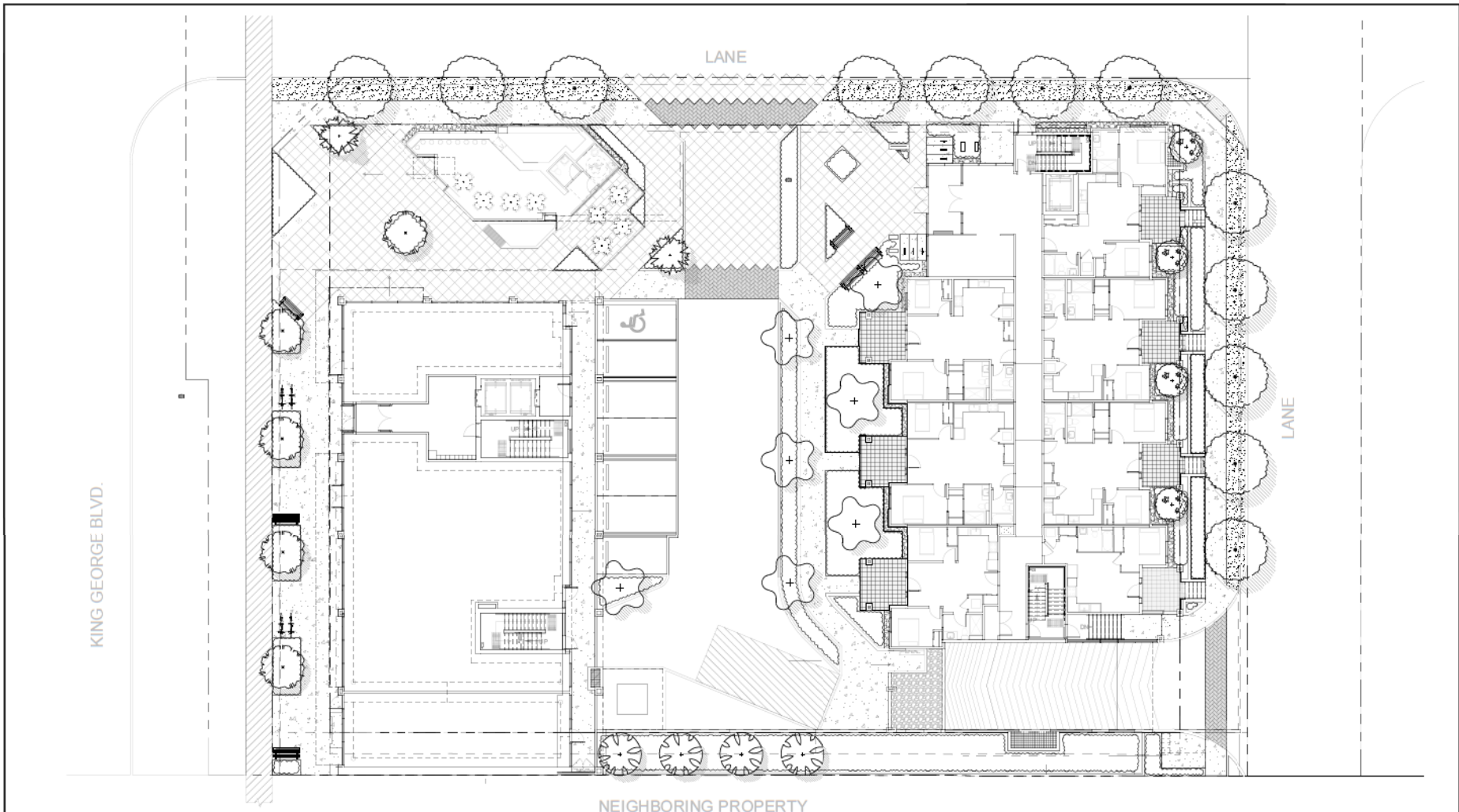
SCALE:

PROJECT:  
**MIXED USE  
 DEVELOPMENT  
 6690&6707 KING  
 GEORGE BLVD  
 SURREY, BC**

DRAWING TITLE:  
**GROUND LEVEL  
 TREE PLAN**

DATE: 05/23/17	DRAWING NUMBER:
SCALE: 1" = 300'	<b>L2a</b>
DRAWN: GL	<b>OF 7</b>
DESIGN: GL	
CHECK: MLH	

MSLA PROJECT NUMBER: **SP-069**



PLANT SCHEDULE			
KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 21-059 PLANTED SIZE / NBMARKS
4	FAGUS SYLVATICA NANOGRUP	GAMBE BEECH	6CM CAL DBD
4	FAGUS SYLVATICA DANICHI PEARLE'	PIERRE FASCINATE BEECH	6CM CAL DBD
5	LEGUMINOSAE STRAGIFLUA	SHEET OAK	6CM CAL DBD
7	FRAXINUS EXCELSA 'ROYAL STAR'	ROYAL STAR HAWKELLA	3M HUBBD-STD 15M
2	FRAXINUS EXCELSA	SCOTCH PINE	6CM H. DBD
12	STYRACIA PSEUDOCAMELLIA	JAPANESE STYRACIA	6CM CAL 15M STD DBD

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CRMA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DETAILED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE BEEN CONDUCTED. AVAILABILITY FOR CRITICAL REVIEWS BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. APPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DETERMINER OF CONDITIONS OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**

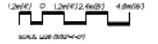
NOTE:  
 STRUCTURAL SOIL EQUIVALENT  
 4:1 RATIO - 4.0m<sup>3</sup> STRUCTURAL SOIL  
 = 1.0m<sup>3</sup> GROWING MEDIUM  
 MEASURED AT 0.1m AT GRADE  
 AND 1.0m AT GRADE OVER SLAB

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NO.	DATE	REVISION DESCRIPTION	D.R.
11	10/20/16	DART LOT TEMPORARY LANE	PT
10	04/13/16	REV. PER CITY COMMENTS	PT
12	04/20/16	REV. PER CITY COMMENTS/ SITE PLAN	PT
9	04/13/16	REV. PER CITY COMMENTS/ SITE PLAN	PT
8	04/13/16	ISSUED FOR PERMITS	GL
7	04/13/16	ISSUED FOR REVIEW	GL
6	04/13/16	ISSUED FOR REVIEW	GL
5	04/13/16	ISSUED FOR REVIEW	GL
4	04/13/16	ISSUED FOR REVIEW	GL
3	04/13/16	ISSUED FOR REVIEW	GL
2	04/13/16	ISSUED FOR REVIEW	GL
1	04/13/16	ISSUED FOR REVIEW	GL

SCALE:

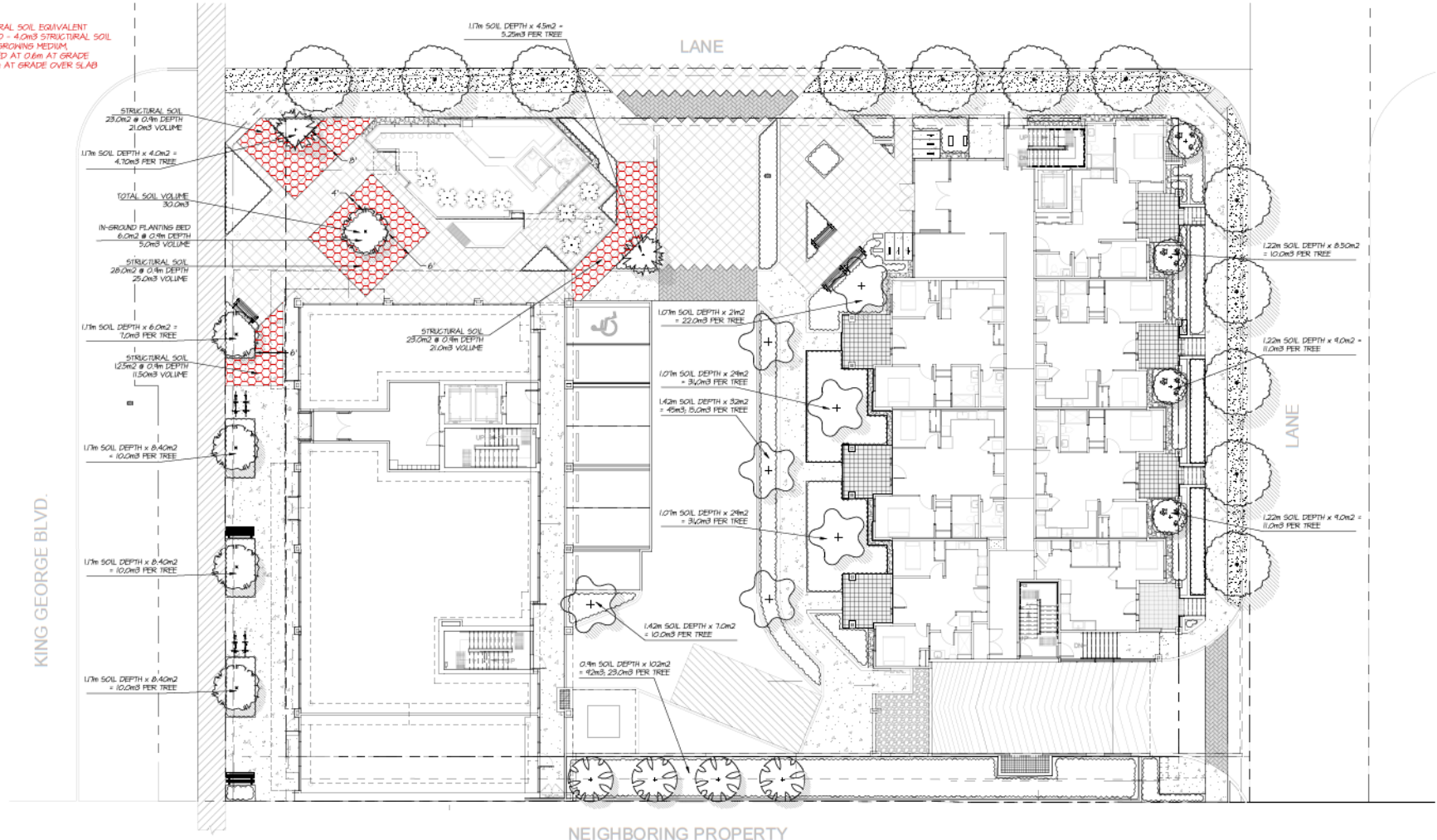
PROJECT:  
**MIXED USE  
 DEVELOPMENT  
 6690&6707 KING  
 GEORGE BLVD  
 SURREY, BC**

DRAWING TITLE:  
**GROUND LEVEL  
 SOIL PLAN**

DATE: 05/12/17	DRAWING NUMBER:
SCALE: 1" = 3/32"	<b>L2b</b>
DRAWN: GL	
DESIGN: GL	
CHECK: MLH	

MSLA PROJECT NUMBER: **SP-069**

2/069 - 10/20



NEIGHBORING PROPERTY

KING GEORGE BLVD.

LANE

LANE

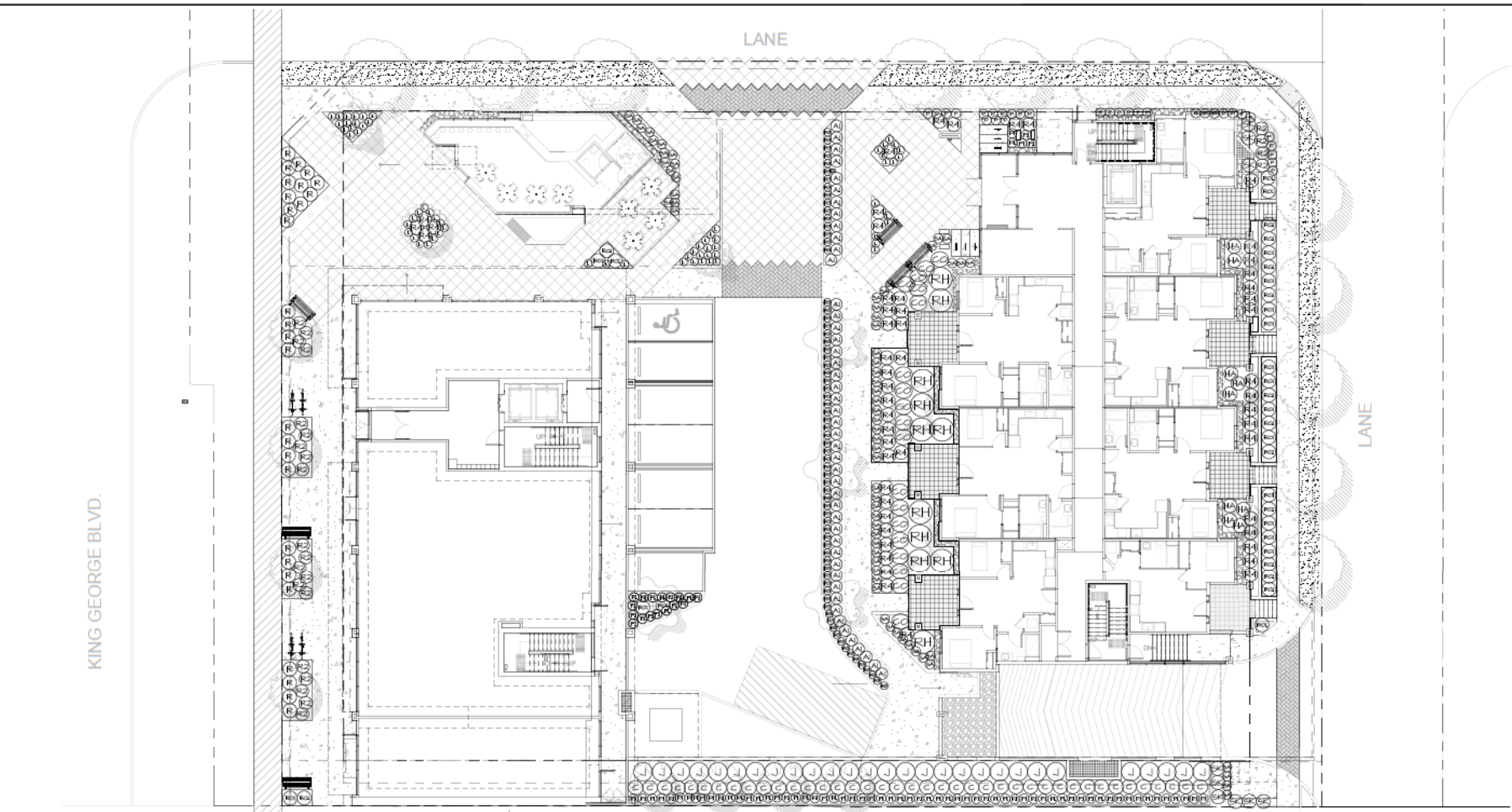
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1:2000 0 1.2m(12.66ft) 4.8m(16ft)  
SCALE: 1/8"=1'-0"



PLANT SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER	21-009
①	46	DASYPHYLLA FRIESEI	SHEEBY GINEP-FOLI	10 POT	
②	14	FOTERBILLA GARDENI	FOTERBILLA	10 POT	
③	53	HEBEARBEA MACROPHYLLA	HEBEARBEA	10 POT	
④	1	HEBEARBEA QUERCIFOLIA	CONIFOLY HEBEARBEA	10 POT-50CM	
⑤	11	LORBERA FRIESENII	ROSEY HEBEARBEA	10 POT-50CM	
⑥	20	PHILADELPHUS LINDLEYI	ROSE CRAB	10 POT-60CM	
⑦	20	PHILLODENDRON BIFIDIFLORUM	FRUIT PENNANT HEATHER	10 POT	
⑧	40	PHILLODENDRON BIFIDIFLORUM	FRUIT PENNANT HEATHER	10 POT-50CM 40 POT-60CM	
⑨	33	PHILLODENDRON BIFIDIFLORUM	FRUIT PENNANT HEATHER	10 POT	
⑩	11	PHILLODENDRON BIFIDIFLORUM	FRUIT PENNANT HEATHER	10 POT	
⑪	24	ROSA SYRIACA	ENGLISH ROSE	10 POT	
⑫	60	SARGOLLOBA ROBERTIANA 'VASCICOLA'	TRANSANT SARGOLLOBA	10 POT-30CM	
⑬	4	SCHEFFERA JAPONICA (ORN. MALE)	JAPANESE SCHEFFERA	10 POT	
GRASS					
⑭	3	FESTUCA ALPICOLOIDES	FOUNTAIN GRASS	10 POT	
PERENNIAL					
⑮	64	LAURENCEA ABUSIFOLIA	ENGLISH MAJORETTA	10 POT	
⑯	64	REDEBERGA FLORIDA VAR. SULLIVANII 'SOLESTERN'	REDEBERGA	10 POT	
GROUND COVER					
⑰	61	POLYSTICHUM MUNITZII	WESTERN SHEED FERNS	10 POT	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANADIAN STANDARDS. ROOT BALL SIZE AND CORNER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR FURTHER CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEEDS AND ROOT BALL PLANT MATERIAL AVAILABLE FOR CRITICAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO BE THE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OTHER THAN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	D.R.
11	10/23/21	DRAW LOT TEMPORARY LANE	PT
10	10/23/21	REV. PER CITY COMMENTS	PT
9	10/23/21	REV. PER CITY COMMENTS	PT
8	10/23/21	REV. PER CITY COMMENTS	PT
7	10/23/21	ISSUED FOR REVIEW	GL
6	10/23/21	ISSUED FOR REVIEW	GL
5	10/23/21	ISSUED FOR REVIEW	GL
4	10/23/21	ISSUED FOR REVIEW	GL
3	10/23/21	ISSUED FOR REVIEW	GL
2	10/23/21	ISSUED FOR REVIEW	GL
1	10/23/21	ISSUED FOR REVIEW	GL

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **GROUND LEVEL SHRUB PLAN**

DATE: 05/23/21	DRAWING NUMBER:
SCALE: 1" = 32'	<b>L2c</b>
DRAWN: GL	
DESIGN: GL	
CHKD: MLH	OF 7

MSLA PROJECT NUMBER: 21-009

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NO.	DATE	REVISION DESCRIPTION	D.R.
14	04/20/21	DIST LOT TEMPORARY LANE	PT
13	04/13/21	REV. PER CITY COMMENTS	PT
12	02/23/21	REV. PER ADP COMMENTS/ SITE PLAN	PT
11	04/08/20	SUBMITTED TO ADP	GL
10	04/08/20	ISSUED FOR DP	GL
9	04/08/20	ISSUED FOR REVIEW	GL
8	04/08/20	ISSUED FOR REVIEW	GL
7	04/08/20	ISSUED FOR REVIEW	GL
6	04/08/20	ISSUED FOR REVIEW	GL
5	04/08/20	ISSUED FOR REVIEW	GL
4	04/08/20	REVISED PER NEN SITE PLAN	GL
3	04/08/20	REVISED PER NEN SITE PLAN	GL
2	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
0	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL

NO. DATE REVISION DESCRIPTION D.R.

SCALE:

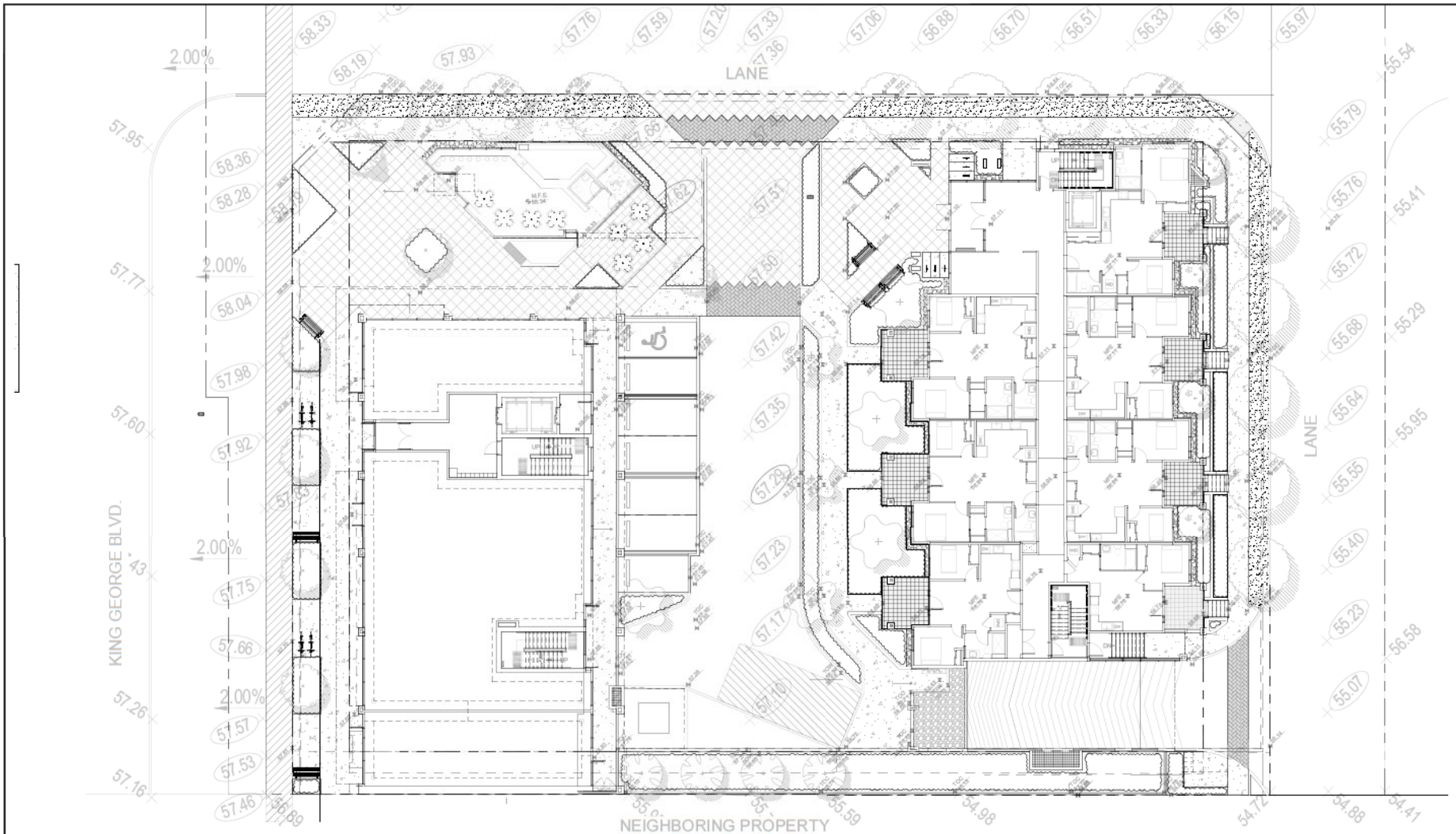
PROJECT:  
**MIXED USE  
 DEVELOPMENT  
 6690&6707 KING  
 GEORGE BLVD  
 SURREY, BC**

DRAWING TITLE:  
**GROUND LEVEL  
 GRADING PLAN**

DATE: 05/12/21	DRAWING NUMBER:
SCALE: 1" = 32.0'	<b>L3</b>
DRAWN: GL	
DESIGN: GL	
CHKD: MLH	

MSLA PROJECT NUMBER: **SP-069**

21069 - 10-20



**GRADING LEGEND**

- +○○○ FINISH GRADE BY CIVIL ENGINEER
- ← 21m FINISH GRADE BY ARCHITECT
- xxx SLOPE BY ARCHITECT
- ↑○○○○ TOP OF CURB ELEVATION BY ARCHITECT
- ↑TOPW TOP OF RETAINING WALL ELEVATION BY ARCHITECT



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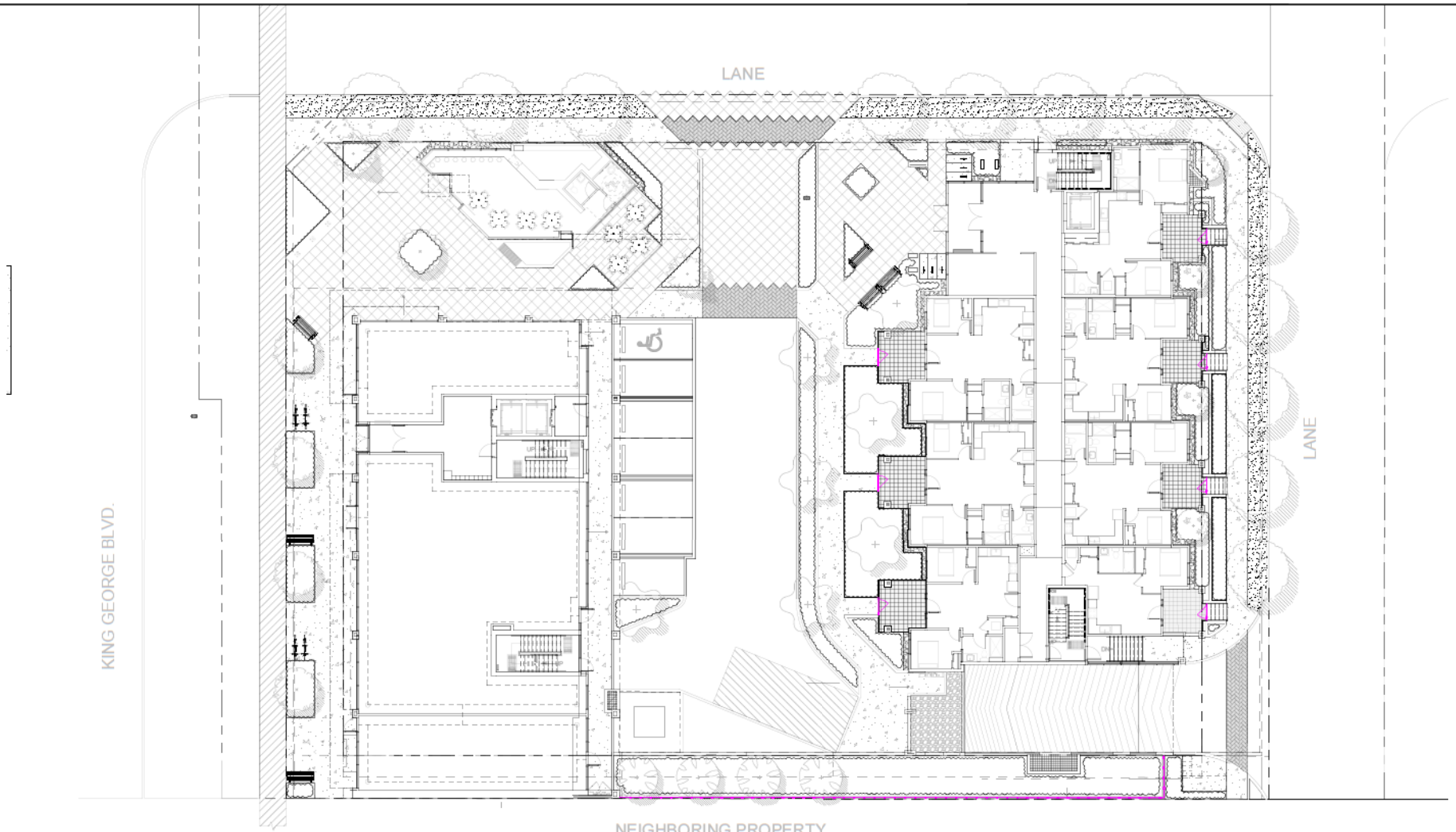


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1:2000 0 12m(12.000) 4.0m(40)



**LEGEND**

- GATE
- 6' HT. SOLID WOOD PERIMETER FENCE

**NOTE:**  
 REFER TO ARCHITECTURAL DRAWINGS FOR GATE DETAILS

14	04/20/20	DIST LOT TEMPORARY LANE	PT
13	04/13/20	REV. PER CITY COMMENTS	PT
12	04/21/20	REV. PER CITY COMMENTS/ SITE PLAN	PT
11	04/08/20	SUBMITTED TO ACP	GL
10	04/08/20	ISSUED FOR DP	GL
9	04/08/20	ISSUED FOR REVIEW	GL
8	04/08/20	ISSUED FOR REVIEW	GL
7	04/08/20	ISSUED FOR REVIEW	GL
6	04/08/20	ISSUED FOR REVIEW	GL
5	04/08/20	ISSUED FOR REVIEW	GL
4	04/08/20	REVISED PER NHA SITE PLAN	GL
3	04/08/20	REVISED PER NHA SITE PLAN	GL
2	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
0	04/08/20	ISSUED FOR PRELIMINARY DESIGN	GL
NO.	DATE	REVISION DESCRIPTION	D.R.

SCALE:  
 PROJECT:  
**MIXED USE DEVELOPMENT  
 6690&6707 KING GEORGE BLVD  
 SURREY, BC**

DRAWING TITLE:  
**GROUND LEVEL FENCE & GATE PLAN**

DATE: 05/12/21	DRAWING NUMBER:
SCALE: 1" = 3/32"	<b>L4</b>
DRAWN: GL	
DESIGN: GL	
CHECK: MLH	

MSLA PROJECT NUMBER: **SP-009**

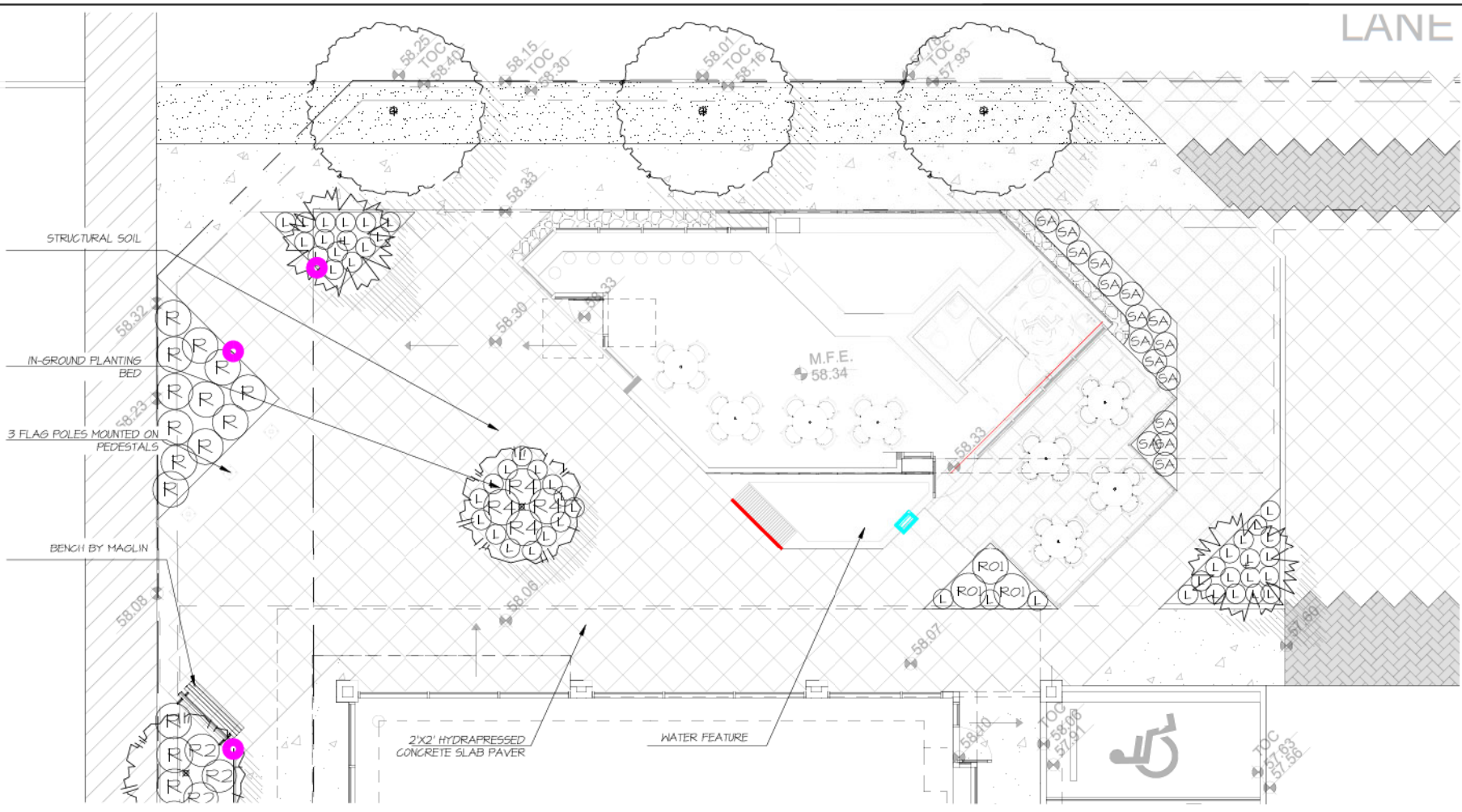
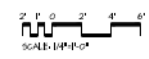
LANE

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11	04/20/20	DIST LOT TEMPORARY LANE	PT
12	04/20/20	REV. PER CITY COMMENTS	PT
13	04/20/20	REV. PER CITY COMMENTS/RE PLAN	PT
14	04/20/20	REVISION TO ACCT	GL
15	04/20/20	ISSUED FOR O/P	GL
16	04/20/20	ISSUED FOR REVIEW	GL
17	04/20/20	ISSUED FOR REVIEW	GL
18	04/20/20	ISSUED FOR REVIEW	GL
19	04/20/20	ISSUED FOR REVIEW	GL
20	04/20/20	REVISED PER NEW SITE PLAN	GL
21	04/20/20	REVISED PER NEW SITE PLAN	GL
22	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
23	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
24	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
25	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
NO.	DATE	REVISION DESCRIPTION	D.R.

SCALE:

**HARDSCAPE LEGEND**

- BROOM FINISH CONCRETE
- 80MM CONCRETE UNIT PAVER; HERRINGBONE PATTERN; BELGARD, CHARCOAL GREY COLOR, TYP
- DRAIN ROCK - BULK CLEAR CRUSHED GRAVEL 3/4" NORTHWEST LANDSCAPE SUPPLY AND STONE -
- 2' X 2' HYDRAPRESSED CONCRETE SLAB; NATURAL COLOR

**LIGHTING LEGEND**

- BOLLARD LIGHT
- LED STRIP LIGHTING UNDER THE BENCH
- STEP LIGHT

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **GROUND LEVEL PLAZA PLAN**

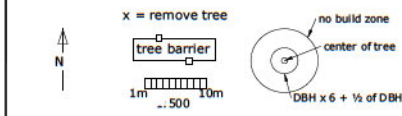
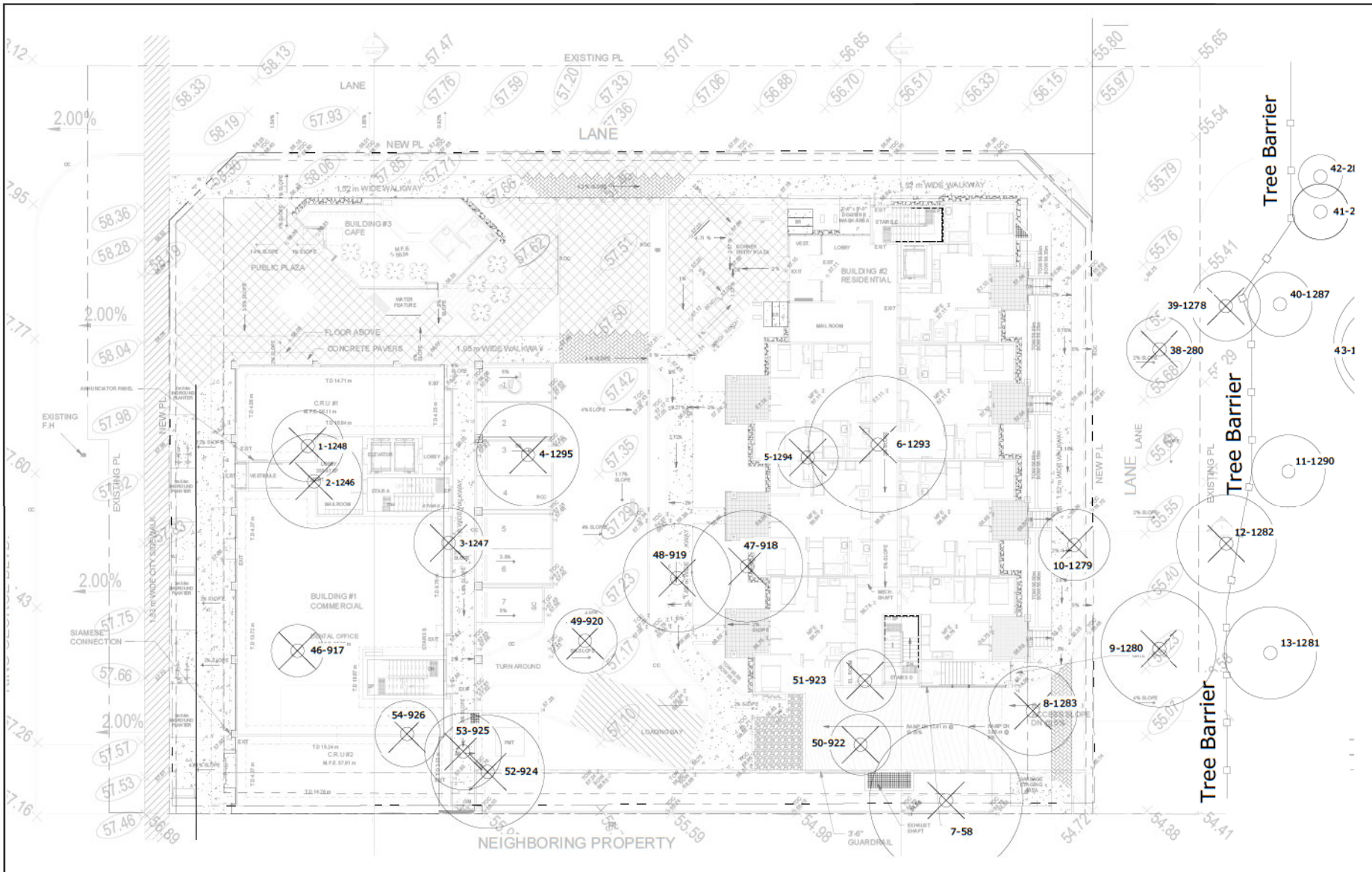
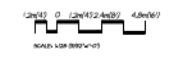
DATE:	Aug 07 20	DRAWING NUMBER:	
SCALE:	1" = 3/32"		
DRAWN:	GL		<b>L5</b>
DESIGN:	GL		
CHECK:	MLM		

MSLA PROJECT NUMBER: **21-069**

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NO.	DATE	REVISION DESCRIPTION	DR.
11	04/20/20	DIST LOT TEMPORARY LANE	PT
12	04/20/20	REV. PER CITY COMMENTS	PT
13	04/20/20	REV. PER CITY COMMENTS	PT
14	04/20/20	REV. PER CITY COMMENTS	PT
15	04/20/20	ISSUED FOR DP	GL
16	04/20/20	ISSUED FOR REVIEW	GL
17	04/20/20	ISSUED FOR REVIEW	GL
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97	04/20/20	ISSUED FOR REVIEW	GL
98	04/20/20	ISSUED FOR REVIEW	GL
99	04/20/20	ISSUED FOR REVIEW	GL
100	04/20/20	ISSUED FOR REVIEW	GL

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **TREE RETENTION PLAN**

DATE: 04/20/20	DRAWING NUMBER:
SCALE: 1" = 300'	<b>L6</b>
DRAWN: GL	
DESIGN: GL	
CHECK: MLH	

MSLA PROJECT NUMBER: **21-069**

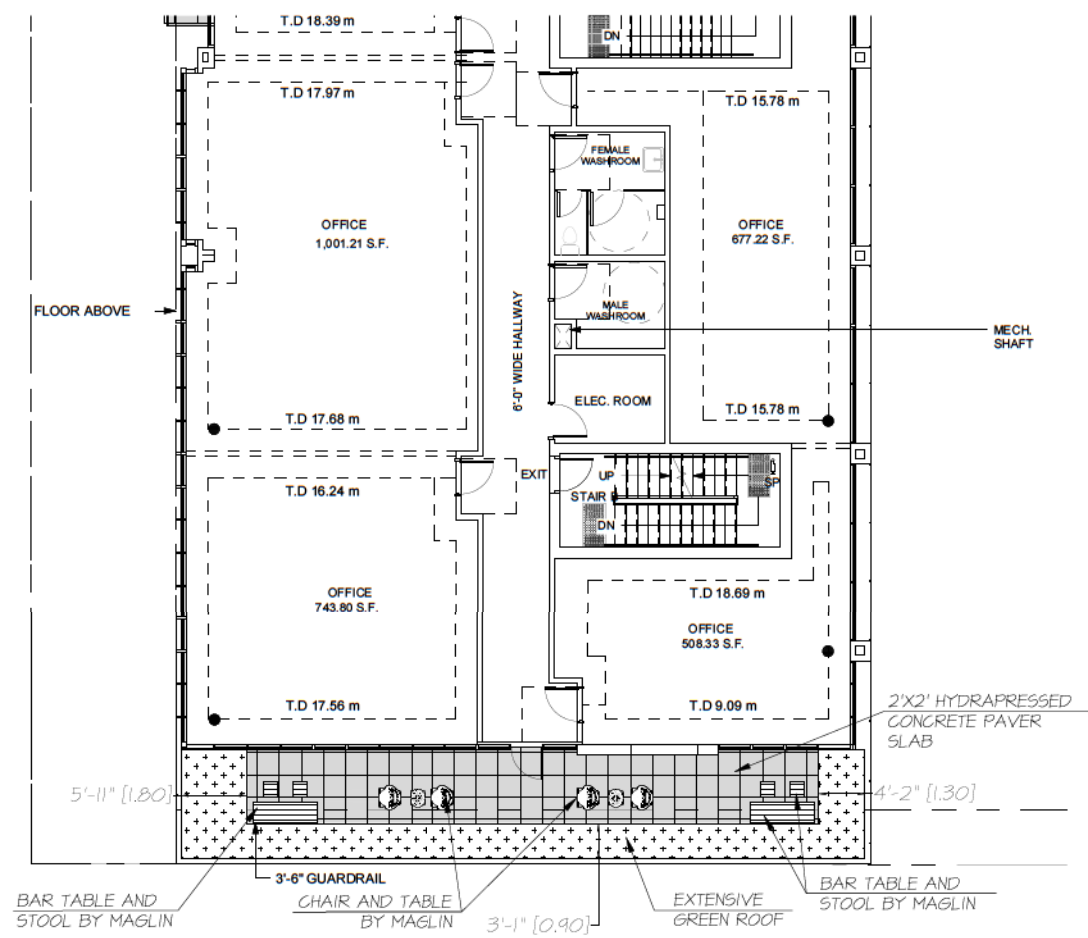
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0.0m(0) 0.0m(0) 1.2m(4) 2.4m(8)  
 SCALE: 1/4" (25mm) = 1'-0"



NO.	DATE	REVISION DESCRIPTION	D.R.
11	04/20/20	DIST. LOT TEMPORARY LANE	PT
10	04/13/20	REV. PER CITY COMMENTS	PT
12	04/20/20	REV. PER ASP COMMENTS/ SITE PLAN	PT
9	04/08/20	SUBMITTED TO ACP	GL
10	04/08/20	ISSUED FOR DP	GL
8	04/08/20	ISSUED FOR REVIEW	GL
6	03/03/20	ISSUED FOR REVIEW	GL
7	04/01/20	ISSUED FOR REVIEW	GL
5	04/01/20	ISSUED FOR REVIEW	GL
1	04/01/20	REVISED PER NEW SITE PLAN	GL
4	04/01/20	REVISED PER NEW SITE PLAN	GL
3	04/01/20	ISSUED FOR PRELIMINARY DESIGN	GL
2	04/01/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/01/20	ISSUED FOR PRELIMINARY DESIGN	GL

NO. DATE REVISION DESCRIPTION D.R.  
 SEAL:

PROJECT:  
**MIXED USE DEVELOPMENT**  
**6690&6707 KING**  
**GEORGE BLVD**  
**SURREY, BC**

DRAWING TITLE:  
**COMMERCIAL BLDG**  
**LEVEL 3**

DATE: 2020.07.20	DRAWING NUMBER:
SCALE: 1" = 3/16"	<b>L7</b>
DRAWN: GL	
DESIGN: GL	
CHECKED: MLH	

MSLA PROJECT NUMBER: **21-009**

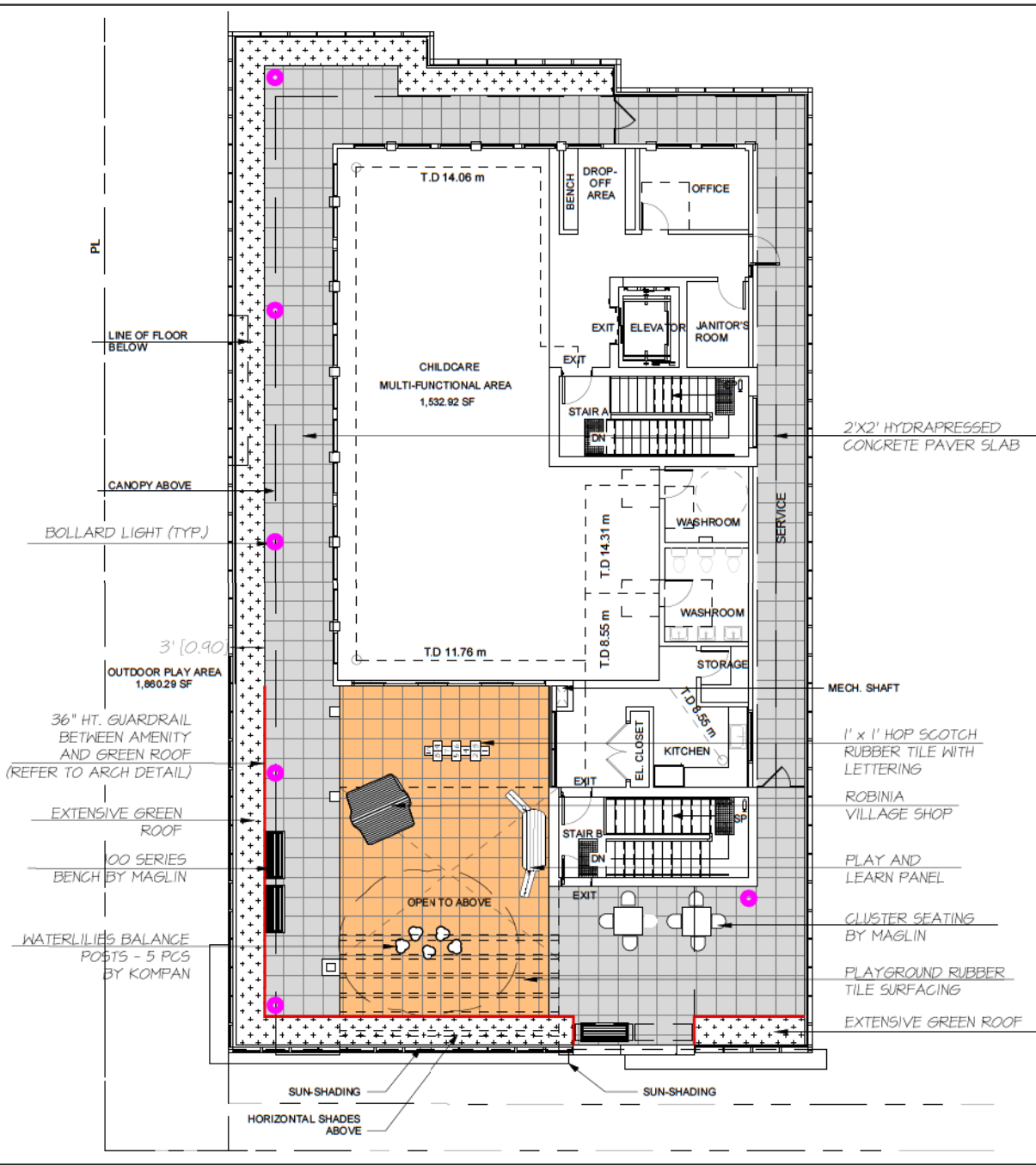
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0.0m(0) 0.0m(0) 1.0m(1) 2.0m(2)  
 SCALE: 1/4" (25mm) = 1'-0"



NO.	DATE	REVISION DESCRIPTION	D.R.
11	10/20/20	DIST. LOT TEMPORARY LINE	PT
12	10/14/20	REV. PER CITY COMMENTS	PT
13	09/21/20	REV. PER CITY COMMENTS	PT
14	09/21/20	REV. PER CITY COMMENTS	PT
15	09/21/20	REV. PER CITY COMMENTS	PT
16	09/21/20	REV. PER CITY COMMENTS	PT
17	09/21/20	REV. PER CITY COMMENTS	PT
18	09/21/20	REV. PER CITY COMMENTS	PT
19	09/21/20	REV. PER CITY COMMENTS	PT
20	09/21/20	REV. PER CITY COMMENTS	PT
21	09/21/20	REV. PER CITY COMMENTS	PT
22	09/21/20	REV. PER CITY COMMENTS	PT
23	09/21/20	REV. PER CITY COMMENTS	PT
24	09/21/20	REV. PER CITY COMMENTS	PT
25	09/21/20	REV. PER CITY COMMENTS	PT
26	09/21/20	REV. PER CITY COMMENTS	PT
27	09/21/20	REV. PER CITY COMMENTS	PT
28	09/21/20	REV. PER CITY COMMENTS	PT
29	09/21/20	REV. PER CITY COMMENTS	PT
30	09/21/20	REV. PER CITY COMMENTS	PT
31	09/21/20	REV. PER CITY COMMENTS	PT
32	09/21/20	REV. PER CITY COMMENTS	PT
33	09/21/20	REV. PER CITY COMMENTS	PT
34	09/21/20	REV. PER CITY COMMENTS	PT
35	09/21/20	REV. PER CITY COMMENTS	PT
36	09/21/20	REV. PER CITY COMMENTS	PT
37	09/21/20	REV. PER CITY COMMENTS	PT
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39	09/21/20	REV. PER CITY COMMENTS	PT
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45	09/21/20	REV. PER CITY COMMENTS	PT
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60	09/21/20	REV. PER CITY COMMENTS	PT
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63	09/21/20	REV. PER CITY COMMENTS	PT
64	09/21/20	REV. PER CITY COMMENTS	PT
65	09/21/20	REV. PER CITY COMMENTS	PT
66	09/21/20	REV. PER CITY COMMENTS	PT
67	09/21/20	REV. PER CITY COMMENTS	PT
68	09/21/20	REV. PER CITY COMMENTS	PT
69	09/21/20	REV. PER CITY COMMENTS	PT
70	09/21/20	REV. PER CITY COMMENTS	PT
71	09/21/20	REV. PER CITY COMMENTS	PT
72	09/21/20	REV. PER CITY COMMENTS	PT
73	09/21/20	REV. PER CITY COMMENTS	PT
74	09/21/20	REV. PER CITY COMMENTS	PT
75	09/21/20	REV. PER CITY COMMENTS	PT
76	09/21/20	REV. PER CITY COMMENTS	PT
77	09/21/20	REV. PER CITY COMMENTS	PT
78	09/21/20	REV. PER CITY COMMENTS	PT
79	09/21/20	REV. PER CITY COMMENTS	PT
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90	09/21/20	REV. PER CITY COMMENTS	PT
91	09/21/20	REV. PER CITY COMMENTS	PT
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98	09/21/20	REV. PER CITY COMMENTS	PT
99	09/21/20	REV. PER CITY COMMENTS	PT
100	09/21/20	REV. PER CITY COMMENTS	PT

PROJECT:

**MIXED USE DEVELOPMENT**  
 6690&6707 KING  
 GEORGE BLVD  
 SURREY, BC

DRAWING TITLE:  
**COMMERCIAL BLDG**  
**5th FLOOR**

DATE: 09/21/20	DRAWING NUMBER:
SCALE: 1" = 3/16"	<b>L8</b>
DRAWN: GL	<b>OF 7</b>
DESIGN: GL	
CHKD: MLH	
MSLA PROJECT NUMBER: <b>SP-069</b>	

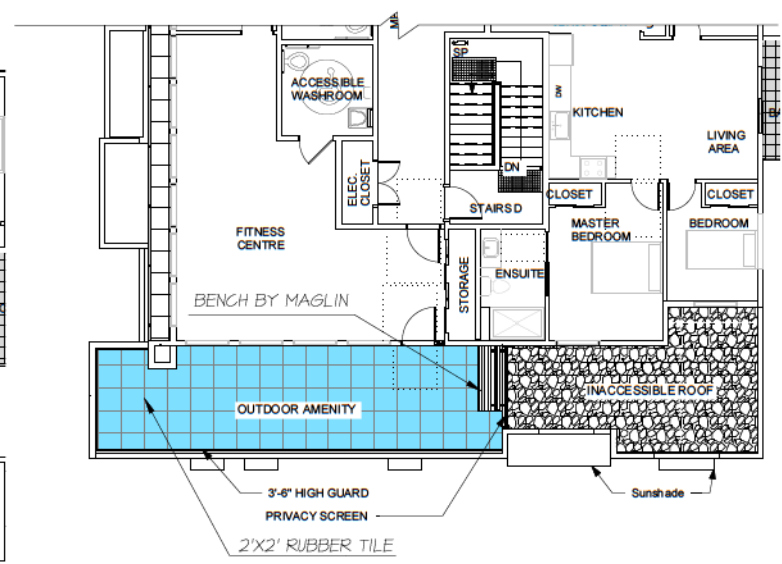
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0.0m(0) 0.0m(0) 1.0m(1) 2.0m(2)  
 SCALE: 1/4" (25mm) = 1'-0"



KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 21-089	PLANTED SIZE / REMARKS
4	ACER PALMUM VILGOSROOPI	JAPANESE NIFELE		20"IN. DIA. PER FORK
8	LAVINELLA ARGENTIFLORA	DRUMMAID LAVENDER		1" POT
8	REUECIA FLOREDA VIBR. SILVARIUM SOLIDIFORM	REUECIA		1" POT
32	PIRRA PDBRUGLATA	BLUE STAR CRISPER		1" POT

NOTES: \* PLANT SIZES IN 1" POT ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. COMPANY SIZES SPECIFIED AS PER CROWN SHADINGS. PROPAGATION SIZE AND GROWING SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPEC. DRAWINGS FOR CERTIFIED GROWING, MEASUREMENT AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW PLANT MATERIAL AVAILABLE FOR FEDERAL, PROVINCIAL, TERRITORY AND LOCAL GOVERNMENT APPROVAL. \* SEARCH AND REVIEW PLANT MATERIAL AVAILABLE FOR FEDERAL, PROVINCIAL, TERRITORY AND LOCAL GOVERNMENT APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO PLANTING AND SUBSTITUTION. TO THE SPECIFIED MATERIAL, IMPROVED SUBSTITUTES WILL BE SELECTED, ALONG WITH THE DATE FROM TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTES ARE SUBJECT TO BE LANDSCAPE STANDARD - DETERMINATION OF CONFORMANCE OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERIES. PROVIDE CERTIFICATION UPON REQUEST.**

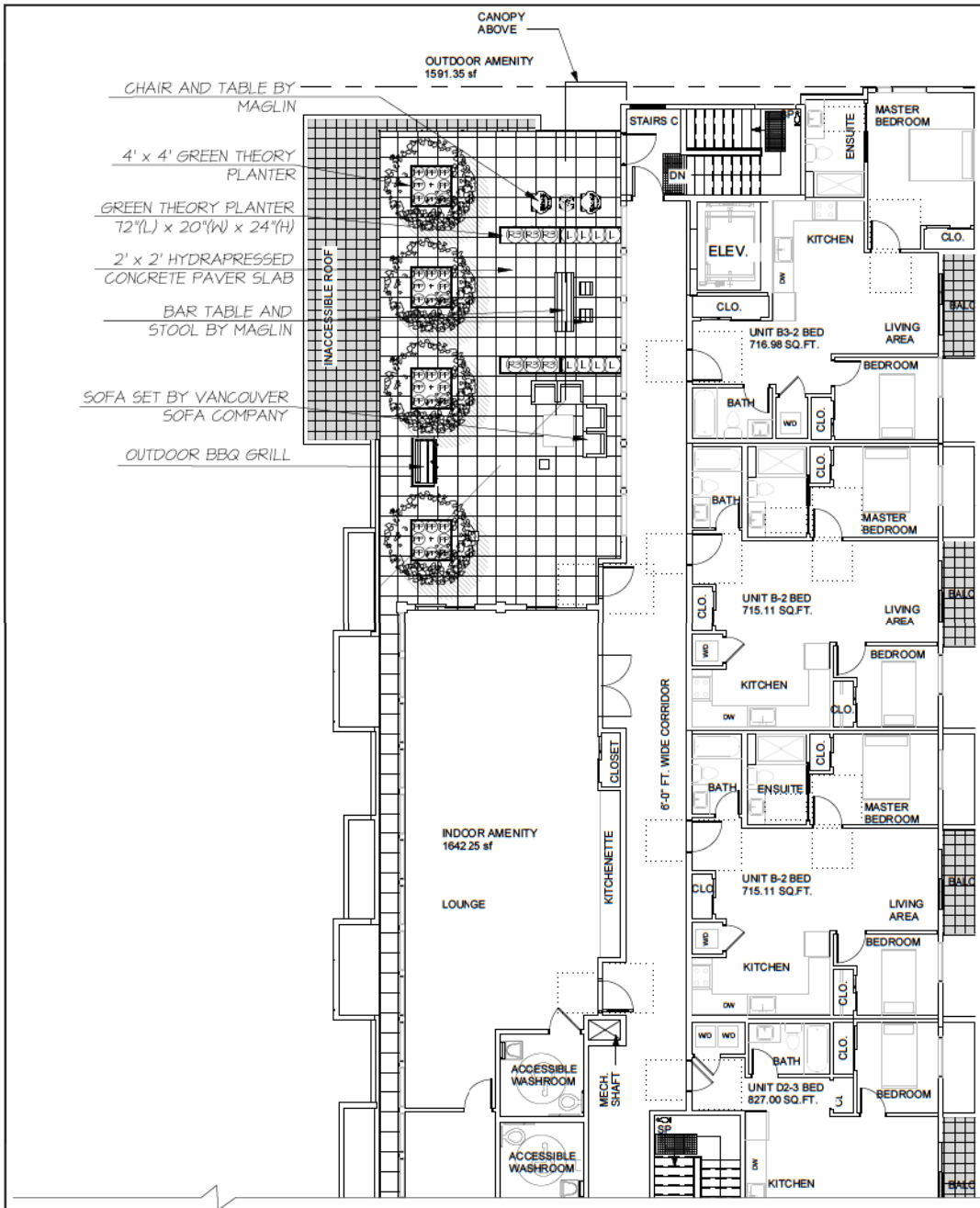
NO.	DATE	REVISION DESCRIPTION	D.R.
11	10/23/20	DRAW LOT TEMPORARY LINE	PT
12	10/23/20	REV. PER CITY COMMENTS	PT
13	10/23/20	REV. PER COMMENTS TO PLAN	PT
14	10/23/20	REVISIONS TO ACCT	GL
15	10/23/20	ISSUED FOR DP	GL
16	10/23/20	ISSUED FOR REVIEW	GL
17	10/23/20	ISSUED FOR REVIEW	GL
18	10/23/20	ISSUED FOR REVIEW	GL
19	10/23/20	REVISED PER NEW SITE PLAN	GL
20	10/23/20	REVISED PER NEW SITE PLAN	GL
21	10/23/20	ISSUED FOR PRELIMINARY DESIGN	GL
22	10/23/20	ISSUED FOR PRELIMINARY DESIGN	GL
23	10/23/20	ISSUED FOR PRELIMINARY DESIGN	GL

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **COMMERCIAL BLDG LEVEL 6**

DATE: **Aug 07, 20** DRAWING NUMBER: **L9**  
 SCALE: **1" = 30'**  
 DRAWN: **GL**  
 DESIGN: **GL**  
 CHECK: **MLM**

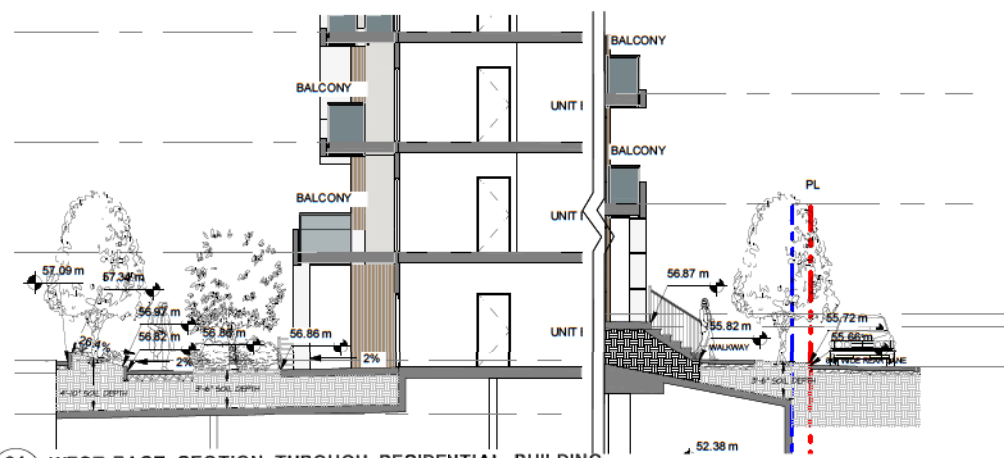
MSLA PROJECT NUMBER: **21-089**



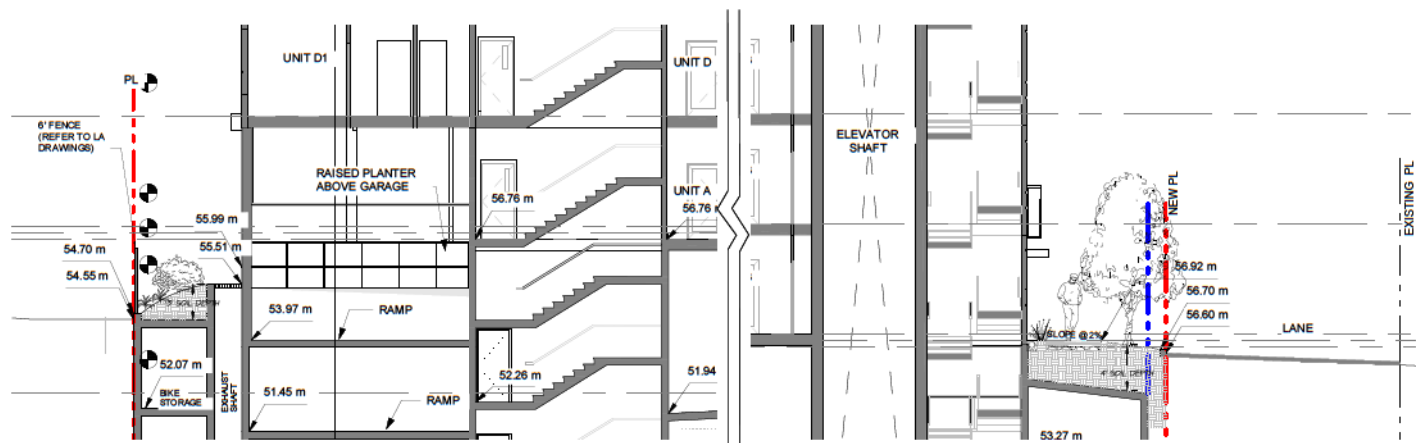
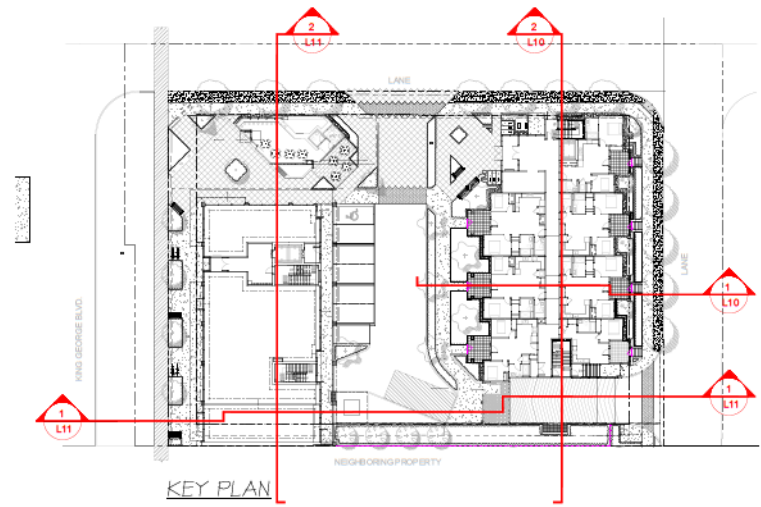
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01 WEST-EAST SECTION THROUGH RESIDENTIAL BUILDING  
 L10 SCALE: 3/16"=1'-0"



02 NORTH-SOUTH SECTION THROUGH RESIDENTIAL BUILDING  
 L10 SCALE: 3/16"=1'-0"

11	04/20/20	DIST LOT TEMPORARY LANE	PT
12	04/14/20	REV. PER CITY COMMENTS	PT
13	04/21/20	REV. PER ARCH COMMENTS/ SITE PLAN	PT
1	04/20/20	SUBMITTED TO ACP	GL
10	04/20/20	ISSUED FOR DP	GL
9	04/20/20	ISSUED FOR REVIEW	GL
8	04/20/20	ISSUED FOR REVIEW	GL
7	04/20/20	ISSUED FOR REVIEW	GL
6	04/20/20	ISSUED FOR REVIEW	GL
5	04/20/20	REVISED PER NEW SITE PLAN	GL
4	04/20/20	REVISED PER NEW SITE PLAN	GL
3	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
2	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
NO.	DATE	REVISION DESCRIPTION	D.R.

SEAL:  
 PROJECT:  
**MIXED USE DEVELOPMENT**  
**6690&6707 KING**  
**GEORGE BLVD**  
**SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

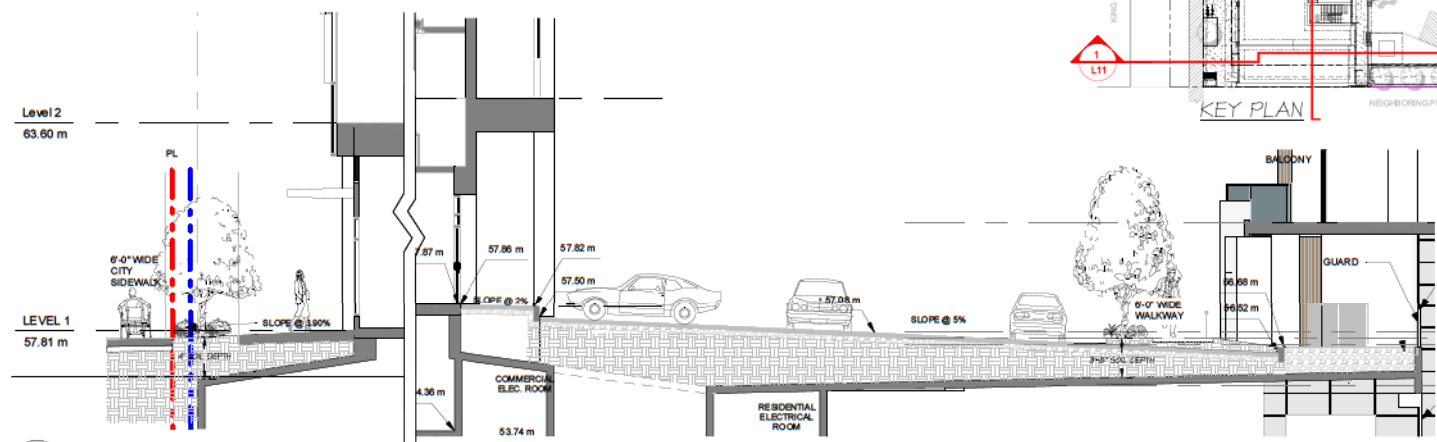
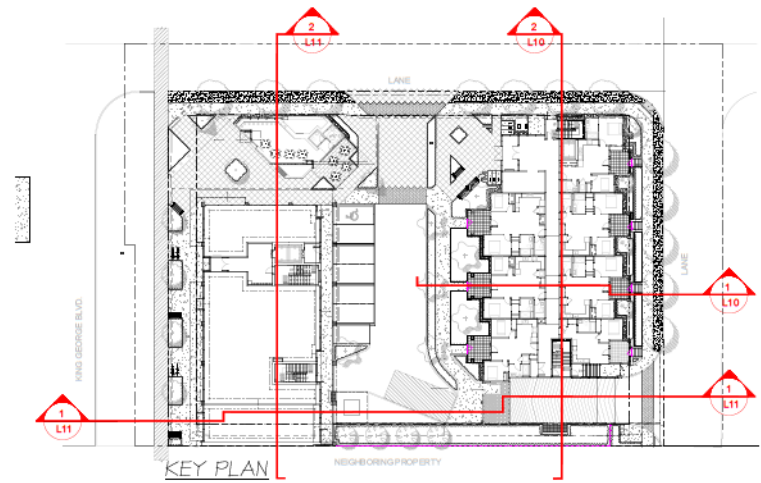
DATE:	APR 07 20	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	GL		
DESIGN:	GL		
CHECK:	MLM		
MSLA PROJECT NUMBER:	SP-069		

**L10**  
 OF 7

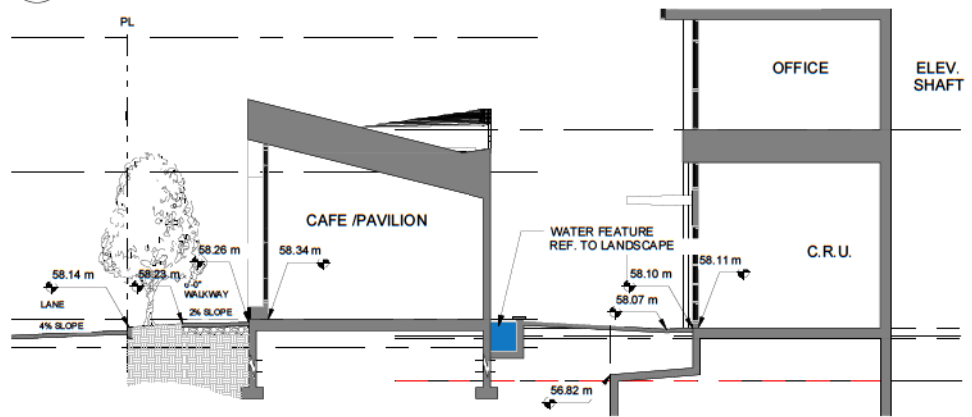
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01 TREE PLANTING SECTION AT THE SOUTH  
 L11 SCALE: 3/16"=1'-0"



02 SECTION ACROSS CAFE PAVILION THROUGH COMMERCIAL BUILDING  
 L11 SCALE: 3/16"=1'-0"

11	04/20/20	EAST LOT TEMPORARY LANE	PT
12	04/14/20	REV. PER CITY COMMENTS	PT
13	04/21/20	REV. PER ADP COMMENTS/ SITE PLAN	PT
1	04/20/20	SUBMITTED TO ADP	GL
10	04/20/20	ISSUED FOR DP	GL
9	04/20/20	ISSUED FOR REVIEW	GL
8	04/20/20	ISSUED FOR REVIEW	GL
7	04/20/20	ISSUED FOR REVIEW	GL
6	04/20/20	ISSUED FOR REVIEW	GL
5	04/20/20	REVISED PER NEW SITE PLAN	GL
4	04/20/20	REVISED PER NEW SITE PLAN	GL
3	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
2	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL
1	04/20/20	ISSUED FOR PRELIMINARY DESIGN	GL

NO. DATE REVISION DESCRIPTION D.R.

SCALE:

PROJECT:  
**MIXED USE  
 DEVELOPMENT  
 6690&6707 KING  
 GEORGE BLVD  
 SURREY, BC**

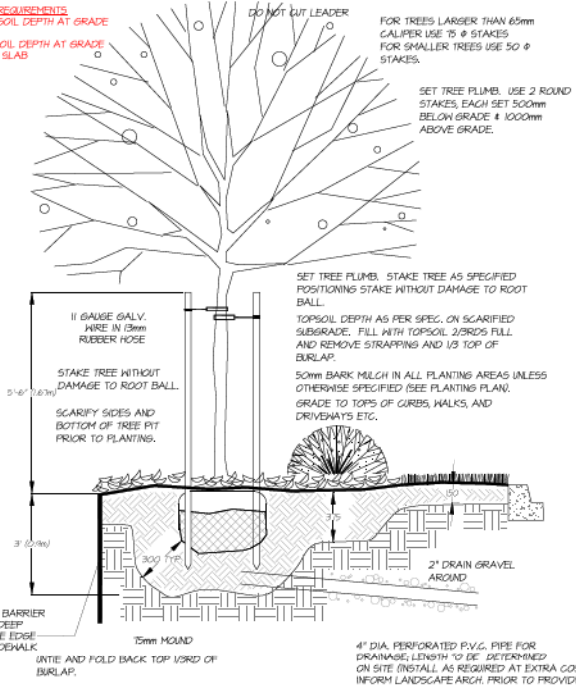
DRAWING TITLE:  
**LANDSCAPE  
 SECTIONS**

DATE:	APR 07 20	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	GL		<b>L11</b>
DESIGN:	GL		
CHECK:	MLM		

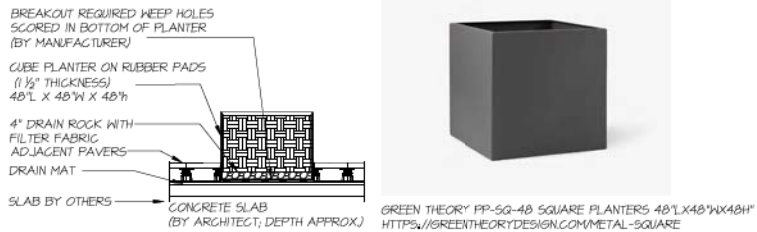
MSLA PROJECT NUMBER: **SP-069**



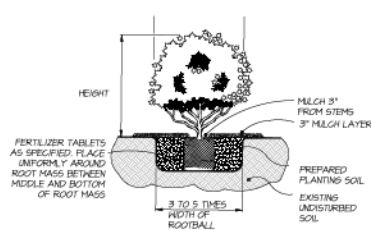
**CITY REQUIREMENTS**  
 0.2m SOIL DEPTH AT GRADE  
 1.0m SOIL DEPTH AT GRADE  
 OVER SLAB



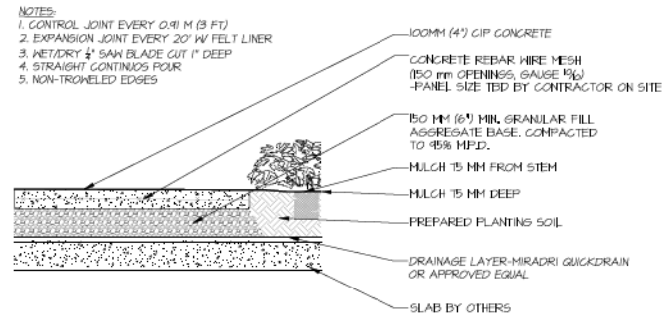
**01 TREE PLANTING DETAIL**  
 L12 NTS



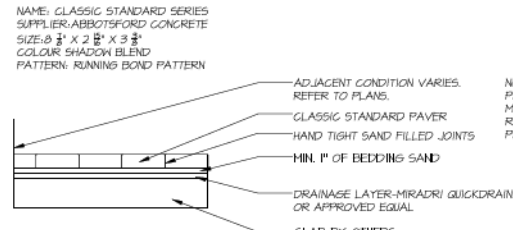
**06 PLANTERS ON SLAB**  
 L12 NTS



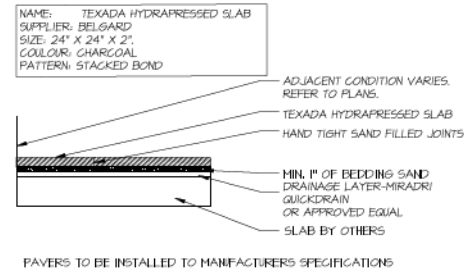
**02 SHRUB PLANTING DETAIL**  
 L12 NTS



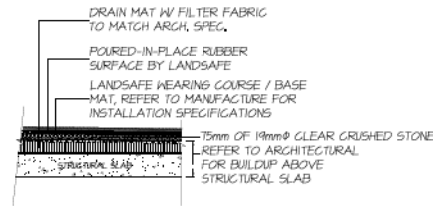
**04 CIP CONCRETE ON SLAB DETAIL**  
 L12 NTS



**03 CONCRETE PAVERS ON SLAB DETAIL**  
 L12 NTS



**05 2'X2' HYDRAPRESSED PAVERS ON SLAB**  
 L12 NTS



**07 POUR-IN-PLACE RUBBER SURFACE**  
 L12

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NO.	DATE	REVISION DESCRIPTION	DR.
11	2023.04.20	DIST LOT TEMPORARY LANE	PT
10	2023.04.20	REV. PER CITY COMMENTS	PT
12	2023.04.20	REV. PER COMMENTS ON SITE PLAN	PT
9	2023.04.20	REVISIONS TO ACCT	GL
10	2023.04.20	ISSUED FOR DP	GL
8	2023.04.20	ISSUED FOR REVIEW	GL
7	2023.04.20	ISSUED FOR REVIEW	GL
6	2023.04.20	ISSUED FOR REVIEW	GL
5	2023.04.20	ISSUED FOR REVIEW	GL
4	2023.04.20	REVISED PER NTH SITE PLAN	GL
3	2023.04.20	REVISED PER NTH SITE PLAN	GL
2	2023.04.20	ISSUED FOR PRELIMINARY DESIGN	GL
1	2023.04.20	ISSUED FOR PRELIMINARY DESIGN	GL

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **LANDSCAPE DETAILS**

DATE: **2023.07.20** DRAWING NUMBER: **L12**  
 SCALE: **AS SHOWN**  
 DRAWN: **GL**  
 DESIGN: **GL**  
 CHECKED: **MLM**

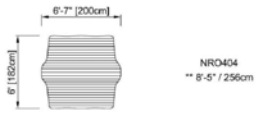
MSLA PROJECT NUMBER: **SP-009**

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Rev No: NR0404-001	
General Product Information	
Dimensions (LxWxH)	200x118x256 cm
Age group	2 - 12
Play capacity (seats)	4
Color options	1

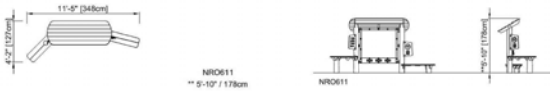


**01 ROBINIA VILLAGE SHOP BY KOMPAN**  
L13 NTS

**Play & Learn College**



Rev No: NR0611-001	
General Product Information	
Dimensions (LxWxH)	348x127x178 cm
Age group	2 - 12
Play capacity (seats)	4
Color options	1

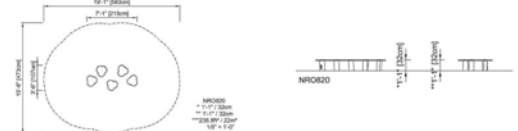


**02 PLAY AND LEARN PANEL BY KOMPAN**  
L13 NTS

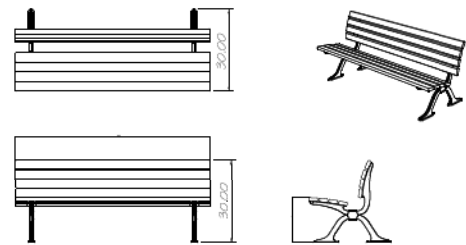
**Waterlilies Balance Posts - 5 pcs**



Rev No: NR0603-001	
General Product Information	
Dimensions (LxWxH)	215x15x12 cm
Age group	2 - 12
Play capacity (seats)	4
Color options	1

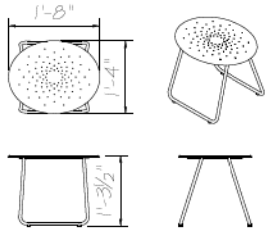


**03 5 PIECES BALANCE POSTS BY KOMPAN**  
L13 NTS

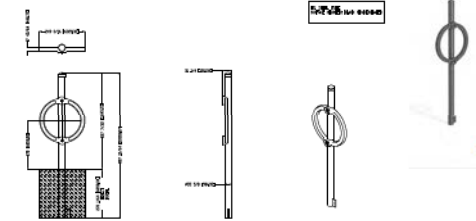


Presentation	
ML B100	
MAGLIN logo	

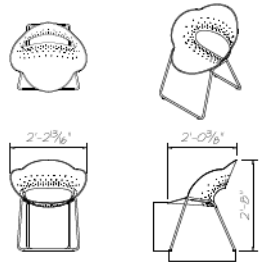
**04 BENCH BY MAGLIN**  
L13 NTS



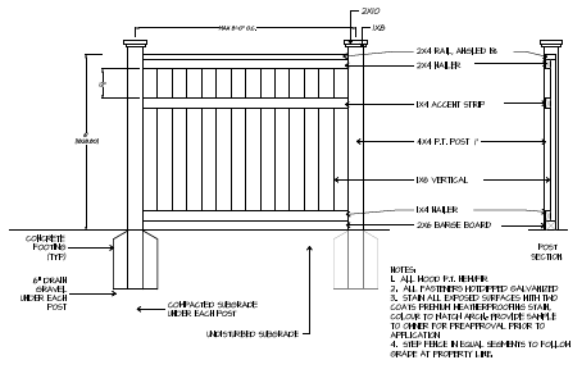
**05 TABLE BY MAGLIN**  
L13 NTS



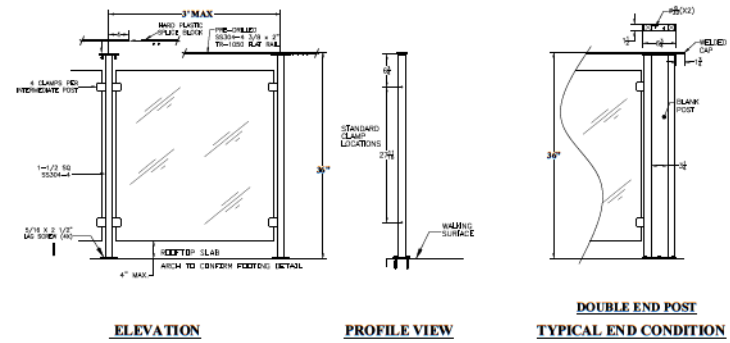
**06 BIKE RACK BY KOMPAN**  
L13 NTS



**07 CHAIR BY MAGLIN**  
L13 NTS



**08 6' HT. SOLID WOOD PERIMETER FENCE**  
L13 SCALE: 1/2"=1'-0"



**09 36\"/>**

11	04/20/20	DIST. LOT TEMPORARY LINE	PT
12	04/14/20	REV. PER CITY COMMENTS	PT
13	04/21/20	REV. PER CITY COMMENTS	PT
14	04/21/20	REV. PER CITY COMMENTS	PT
15	04/21/20	REVISION TO ACCT	CL
16	04/21/20	ISSUED FOR DP	CL
17	04/21/20	ISSUED FOR REVIEW	CL
18	04/21/20	ISSUED FOR REVIEW	CL
19	04/21/20	ISSUED FOR REVIEW	CL
20	04/21/20	ISSUED FOR REVIEW	CL
21	04/21/20	ISSUED FOR REVIEW	CL
22	04/21/20	ISSUED FOR PRELIMINARY DESIGN	CL
23	04/21/20	ISSUED FOR PRELIMINARY DESIGN	CL
24	04/21/20	ISSUED FOR PRELIMINARY DESIGN	CL
25	04/21/20	ISSUED FOR PRELIMINARY DESIGN	CL

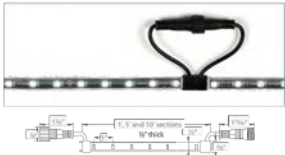
PROJECT:  
**MIXED USE DEVELOPMENT  
6690&6707 KING  
GEORGE BLVD  
SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE:	APR 07 2020	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	CL		<b>L13</b>
DESIGN:	CL		
CHECK:	MLM		
M&A PROJECT NUMBER:	SP-009		

**OUTDOOR TAPE 12V**  
8011, 8051, 8101

**WAC**  
LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

**PRODUCT DESCRIPTION**  
Flexible tape light with UV stabilized silicone seals that protect against water and dusts.

**FEATURES**

- Conveniently adapts into existing 12V system
- IP 68 rated for submersible up to 3 feet
- May be tied into any 12V landscape lighting system
- Maximum of 40 ft per run to stay within 3 amps
- Flexible linear light requires cut to desired length at the end of the run
- Various lengths may be joined together with IP68 rated connectors
- UV stabilized silicone seals and protects the tape sections
- Maintains constant lumens output against voltage drop
- UL 1838 Listed

ORDERING NUMBER	Color Temp.	Finish
8011	1 foot	
8051	3 feet	27 2700K
8101	10 feet	30 3000K BK Black tape color

Example: 8011-30BK

**GATE LED BOLLARD/PATH**  
6651

**WAC**  
LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

**PRODUCT DESCRIPTION**  
Sleek linear design blends seamlessly into pathways while providing soft, even illumination.

**FEATURES**

- IP68 rated, protected against powerful water jets
- Factory sealed water tight fixtures
- Corrosion resistant aluminum alloy
- Recommended spacing for installation: Residential: 7 to 9ft, Commercial: 5 to 7ft
- Mounting stake, 4 foot lead wire, and detachable back plate included
- UL & IES 1838 Listed

ORDERING NUMBER	Color Temp.	Finish
6651	Canopy	27 2700K Black White BK Bronze on Aluminum Black on Aluminum

6651- BK

**RECTANGLE STEP LIGHTS 12V**  
4091

**WAC**  
LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

**PRODUCT DESCRIPTION**  
Horizontal rectangular step light designed for safety and style on stair steps, patios, decks, balcony areas, walkways and loading docks.

**FEATURES**

- Corrosion resistant aluminum alloy
- Geometric design with downward illumination
- Fits into 2" x 4" Junction Box with minimum inside dimensions of 3/4" x 2 3/4" x 3 1/2"
- Magnified design for easy installation and maintenance
- Protected against high-pressure water jets
- 100% 100% dimming
- Landscape transformer required (sold separately)

ORDERING NUMBER	Color Temp.	CR	Finish	Lumens
4091	27	2700K	BK	Black on Aluminum 3
			BZ	Bronze on Aluminum 3
	30	3000K	BK	Black on Aluminum 3
			BZ	Bronze on Aluminum 3
	AM	Ambian	BK	Black on Aluminum 4.10lm
			BZ	Bronze on Aluminum 4.10lm

**01 L14** LED STRIP LIGHT BY WAC LIGHTING

**02 L14** LED BOLLARD LIGHT BY WAC LIGHTING

**03 L14** RECTANGLE STEP LIGHT BY WAC LIGHTING

**INNOVATING WITH NATURE**

**Sedum Roof**  
The economic and attractive way of green roofing.

**PROCBARR XD20**  
The Procbarr XD20 is an innovative alternative without additional weight. The Procbarr XD20 offers a durable, reliable and efficient way to drain off water. Procbarr XD20 is made with recycled plastic and is available for larger roof areas.

**Assembly**

1. Plant Sedum (Sedum)
2. Drainage Medium (Drainage Mat)
3. Drainage Procbarr XD20
4. Sedum (Sedum)
5. Sedum (Sedum)
6. Sedum (Sedum)
7. Sedum (Sedum)

**Planting Options**

**Features:**

- Compact and light weight
- Excellent water retention
- No plug for growing sedum
- Easy installation
- Environmental and attractive

**COST EFFECTIVE**

**INNOVATING WITH NATURE**

**Sedum Roof**  
The economic and attractive way of green roofing.

**Plant Suggestions:**

Name	Height	Colors	Zones	Remarks
1. Sedum album	150 cm	green	4	white
2. Sedum album 'Coral Carpet'	50 cm	green/red	4	white
3. Sedum album 'Newspaper'	50 cm	green	4	white
4. Sedum album 'White Carpet'	50 cm	green	4	white
5. Sedum album 'Yellow Carpet'	50 cm	yellow	4	white
6. Sedum album 'Green Carpet'	50 cm	green	4	white
7. Sedum album 'Purple Carpet'	50 cm	purple	4	white
8. Sedum album	150 cm	green	4	white
9. Sedum album 'Purple Carpet'	50 cm	purple	4	white
10. Sedum album 'White Carpet'	50 cm	green	4	white
11. Sedum album 'Yellow Carpet'	50 cm	yellow	4	white
12. Sedum album 'Green Carpet'	50 cm	green	4	white
13. Sedum album 'Purple Carpet'	50 cm	purple	4	white
14. Sedum album 'White Carpet'	50 cm	green/red	3	red
15. Sedum album 'Yellow Carpet'	50 cm	yellow	3	red
16. Sedum album 'Green Carpet'	50 cm	green	3	red
17. Sedum album 'Purple Carpet'	50 cm	purple	3	red

**INNOVATING WITH NATURE**

**Sedum Roof**  
The economic and attractive way of green roofing.

**Plant Suggestions:**

Name	Height	Colors	Zones	Remarks
1. Sedum album	150 cm	green	4	white
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16. Sedum album 'Green Carpet'	50 cm	green	3	red
17. Sedum album 'Purple Carpet'	50 cm	purple	3	red

**04 L14** EXTENSIVE GREEN ROOF BY ZINCO

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#220 - 26 Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
14	14/04/2020	DIST. LOT TEMPORARY LANE	PT
13	14/04/2020	REV. PER CITY COMMENTS	PT
12	14/04/2020	REV. PER COMMENTS/RE PLAN	PT
11	14/04/2020	REVISIONS TO ACCT	GL
10	14/04/2020	ISSUED FOR DP	GL
9	14/04/2020	ISSUED FOR REVIEW	GL
8	14/04/2020	ISSUED FOR REVIEW	GL
7	14/04/2020	ISSUED FOR REVIEW	GL
6	14/04/2020	ISSUED FOR REVIEW	GL
5	14/04/2020	REVISED PER NEW SITE PLAN	GL
4	14/04/2020	REVISED PER NEW SITE PLAN	GL
3	14/04/2020	ISSUED FOR PRELIMINARY DESIGN	GL
2	14/04/2020	ISSUED FOR PRELIMINARY DESIGN	GL
1	14/04/2020	ISSUED FOR PRELIMINARY DESIGN	GL

PROJECT:  
**MIXED USE DEVELOPMENT  
6690&6707 KING  
GEORGE BLVD  
SURREY, BC**

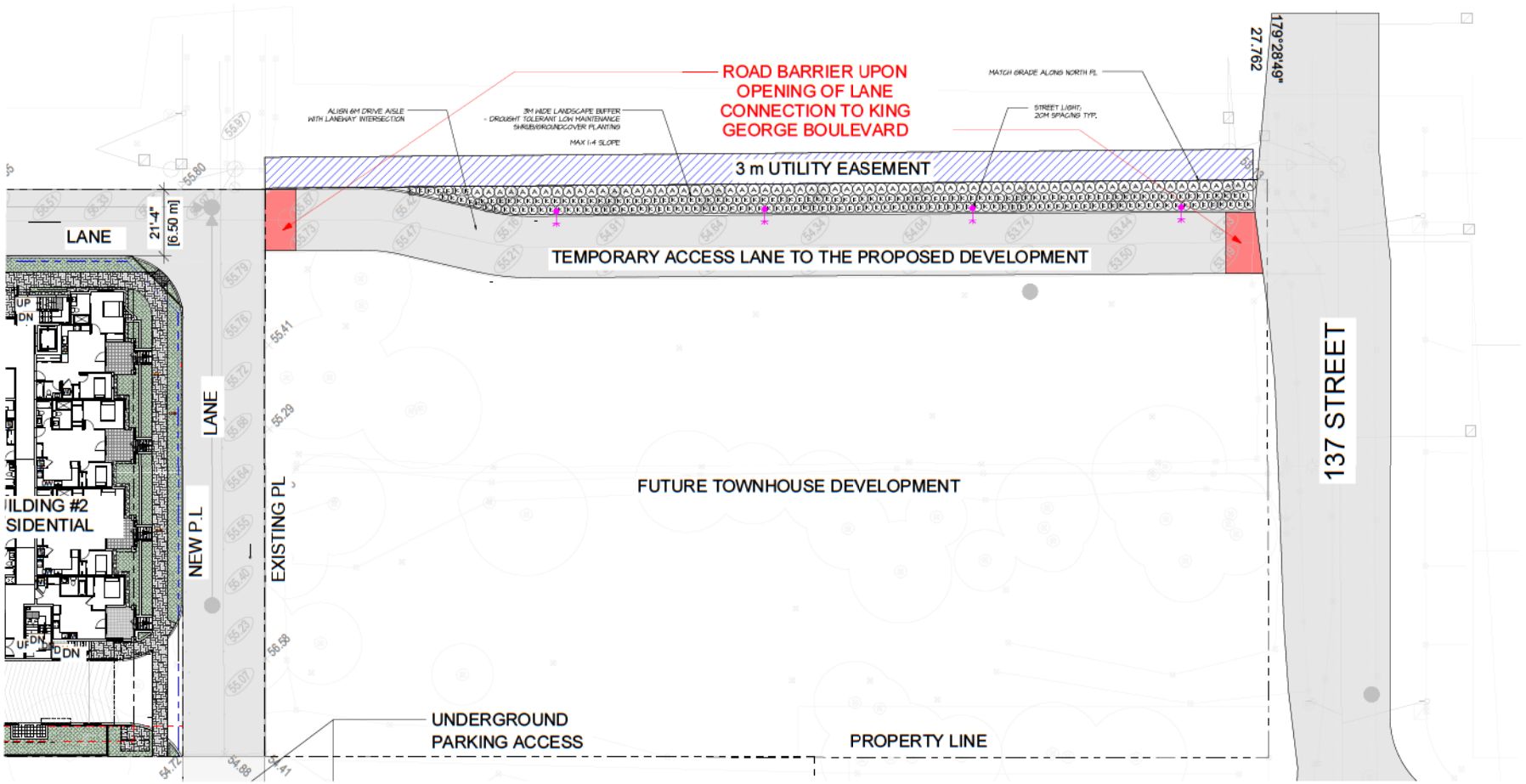
DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 14/07/20	DRAWING NUMBER:
SCALE: AS SHOWN	<b>L14</b>
DRAWN: GL	
DESIGN: GL	
CHECK: MLH	

MSLA PROJECT NUMBER: **SP-009**



**M2**  
LANDSCAPE ARCHITECTURE  
#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



PLANT SCHEDULE - LANDSCAPE BUFFER				MSL JOB NUMBER:	21-000
KEY	CITY	BOTANICAL NAME	COMMON NAME	PLANTED	REMARKS
1	60	ARCTIC UNICO	EMMET GIBBERNEY TREE	15	10 FT. 80CM
2	60	ARCTIC UNICO	EMMET GIBBERNEY TREE	15	10 FT. 20CM
3	60	ARCTIC UNICO	EMMET GIBBERNEY TREE	15	10 FT. 20CM

NOTES: \* PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. COMMON NAMES SPECIFIED AS PER BC LANDSCAPE STANDARD. \* PLANT SPECIES ARE COMMONLY USED AND ARE KNOWN TO BE SUITABLE FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. \* PLANT SPECIES ARE COMMONLY USED AND ARE KNOWN TO BE SUITABLE FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. \* PLANT SPECIES ARE COMMONLY USED AND ARE KNOWN TO BE SUITABLE FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT. \* PLANT SPECIES ARE COMMONLY USED AND ARE KNOWN TO BE SUITABLE FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

LIGHTING LEGEND



NO.	DATE	REVISION DESCRIPTION	D.R.
1	10/20/20	DIST. LOT TEMPORARY LANE	PT
2	10/20/20	REV. PER CITY COMMENTS	PT
3	10/20/20	REV. PER CITY COMMENTS	PT
4	10/20/20	REV. PER CITY COMMENTS	PT
5	10/20/20	REV. PER CITY COMMENTS	PT
6	10/20/20	REV. PER CITY COMMENTS	PT
7	10/20/20	REV. PER CITY COMMENTS	PT
8	10/20/20	REV. PER CITY COMMENTS	PT
9	10/20/20	REV. PER CITY COMMENTS	PT
10	10/20/20	REV. PER CITY COMMENTS	PT
11	10/20/20	REV. PER CITY COMMENTS	PT
12	10/20/20	REV. PER CITY COMMENTS	PT
13	10/20/20	REV. PER CITY COMMENTS	PT
14	10/20/20	REV. PER CITY COMMENTS	PT
15	10/20/20	REV. PER CITY COMMENTS	PT
16	10/20/20	REV. PER CITY COMMENTS	PT
17	10/20/20	REV. PER CITY COMMENTS	PT
18	10/20/20	REV. PER CITY COMMENTS	PT
19	10/20/20	REV. PER CITY COMMENTS	PT
20	10/20/20	REV. PER CITY COMMENTS	PT

PROJECT: **MIXED USE DEVELOPMENT 6690&6707 KING GEORGE BLVD SURREY, BC**

DRAWING TITLE: **TEMPORARY LANE LANDSCAPE PLAN**

DATE: 05/23/21	DRAWING NUMBER:
SCALE: 1" = 100'	<b>L15</b>
DRAWN: PT	
DESIGN: MLH	OF 7
CHKD: MLH	

---

TO: **Director, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **July 15, 2024 Revised** PROJECT FILE: **7817-0078-00**  
~~May 22, 2024~~

---

RE: **Engineering Requirements (Commercial/Multi-Family)  
Location: 6690/6706 King George Boulevard (KGB)**

**REZONE/SUBDIVISION**

***Property and Statutory Right-of-Way (SRW) Requirements***

- Dedicate 5.765 meters at 6706 KGB and 4.236 meters at 6690 KGB.
- Dedicate 5.5 by 5.5 metre corner cut at lane intersection with KGB.
- Dedicate 6.5 - 8.0 metres for lane.
- Register 0.5 metre SRW along property lines of KGB and 137 Street

***Works and Services***

- Construct sidewalk on KGB.
- Construct west side of 137 Street and lane.
- Construct ultimate drainage servicing for the site.
- Upgrade sanitary sewer on KGB and 137 Street.
- Construct sanitary sewer in the lane.
- Provide onsite sustainable drainage features.
- Install water, sanitary and drainage service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.  
Development Services Manager

KMH

Department: **Planning and Demographics**  
Date: **July 10, 2024**  
Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **17-0078**

The proposed development of **47** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	<b>7</b>
---	----------

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	4
Secondary School =	2
Total Students =	6

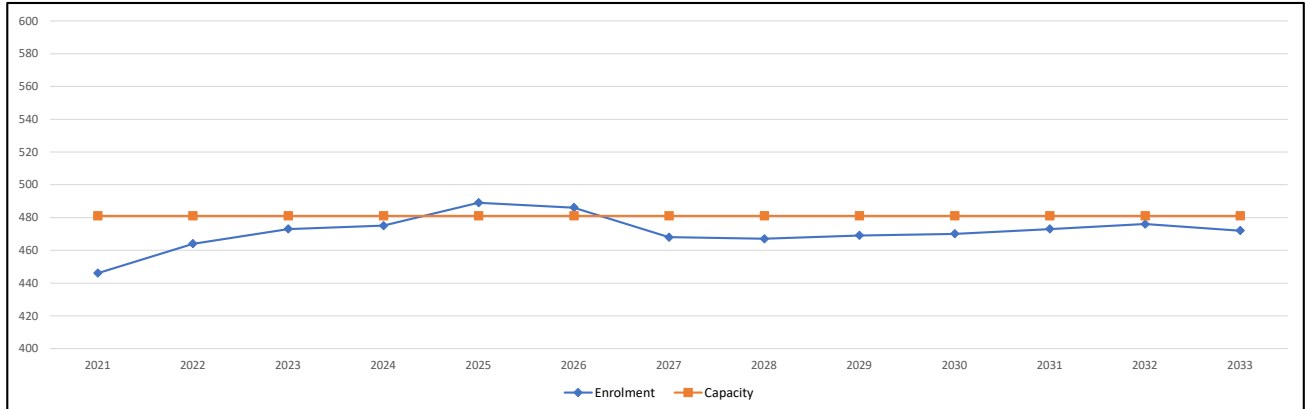
<b>Current Enrolment and Capacities:</b>	
<b>Hyland Elementary</b>	
Enrolment	473
Operating Capacity	481
# of Portables	0
<b>Sullivan Heights Secondary</b>	
Enrolment	1882
Operating Capacity	1700
# of Portables	11

**Summary of Impact and Commentary**  
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Hyland is at 93% capacity. Enrolment is expected to be relatively steady, and any increase in capacity can be managed on site.

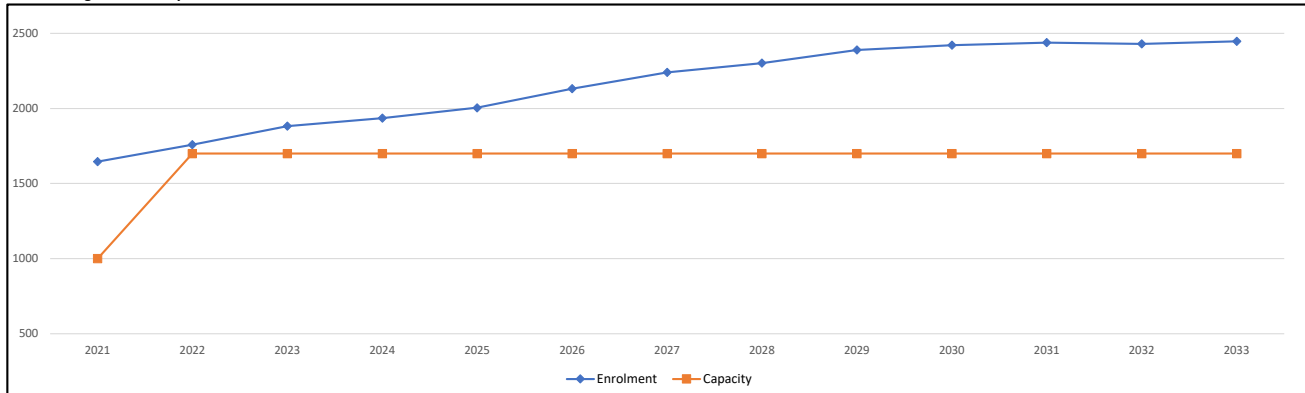
As of September 2023, Sullivan Heights is operating at 111% capacity. Despite a 700 capacity addition that opened in September 2022 the school continues to grow and projected enrolment continues to increase. No further capital requests are currently planned.

**Hyland Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Sullivan Heights Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population** : The projected population of children aged 0-17 impacted by the development.  
**Enrolment** : The number of students projected to attend the Surrey School District ONLY.

## Tree Preservation Summary

Surrey Project No:

Address: 6690 & 6706 King George Boulevard

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Terry Thrale PN 6766A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
<b>Protected Trees Identified *</b>	54	<b>Protected Trees Identified</b>	0
<b>Protected Trees to be Removed</b>	21	<b>Protected Trees to be Removed</b>	0
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	-	<b>Protected Trees to be Retained</b>	0
<b>Total Replacement Trees Required:</b>		<b>Total Replacement Trees Required:</b>	
<ul style="list-style-type: none"> <li>- Alder &amp; Cottonwoods to be removed (1:1) 11 x one (1) = 11</li> <li>- All other species to be removed (2:1) 11 x two (2) = 22</li> </ul>	33	<ul style="list-style-type: none"> <li>- Alder &amp; Cottonwoods to be removed (1:1)</li> <li>- All other species to be removed (2:1)</li> </ul>	0
<b>Replacement Trees Proposed</b>	34	<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	0	<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed Open Space or Riparian Areas</b>	n/a		
*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas			

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

Date: July 13, 2024

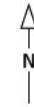


**Tree Plan for Development at  
6690 & 6706  
King George Boulevard  
Surrey, BC**

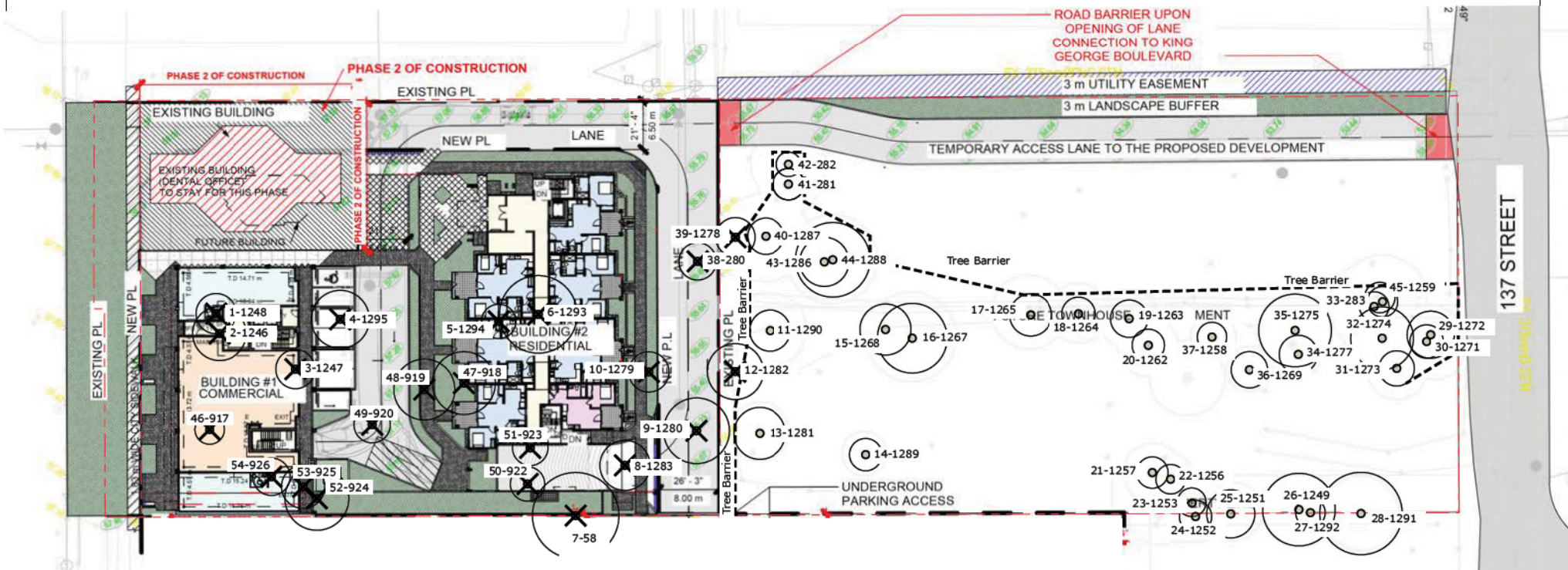
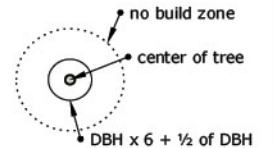
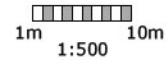
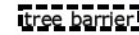
**Date: July 13, 2024**

**Removed and Retained Trees**

**Legend**



x = remove tree





**Present:**

Panel Members:  
M. Cheung, Chair  
R. Amies  
N. Coultie  
C. Cuthbert  
D. Dilts  
M. Krivolutskaya  
R. Salcido

**Guests:**

Jacqueline Huynh, ML Emporio Builders Ltd  
Orod Aris, Arcadis Group  
Daryl Tyacke, Eckford Tyacke & Associates (ETA)  
Chris Atkins, First Capital  
Jessie Arora, DF Architecture Ltd.  
Zubin Billimoria, DF Architecture Ltd.  
Meredith Mitchell, M2 Landscape Architecture

**Staff Present:**

S. Maleknia, Sr. Urban Design Planner  
N. Chow, Urban Design Planner  
A. Yahav, Clerk 3

**A. RECEIPT OF MINUTES**

It was Moved by R. Amies  
Seconded by N. Coultie  
That the minutes of the Advisory Design Panel  
meeting of March 7, 2024 be received.

Carried

M. Krivolutskaya joined at 4:03pm

**B. NEW SUBMISSIONS****2. 5:15 p.m.**

File No.:	7917-0078-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Rezoning and Development Permit for a 5-storey commercial building (2,670 sq. m. gross floor area), a 6-storey apartment building with a total of 47 units, and a pavilion café building (70 sq. m. gross floor area)
Address:	6690 and 6706 King George Boulevard
Developer:	Harpreet Purba, Century 21 Coastal Realty Ltd.
Architect:	Jessie Arora, DF Architecture Ltd.
Landscape Architect:	Meredith Mitchell, M2 Landscape Architecture
Planner:	Heather Kamitakahara
Urban Design Planner:	Nathan Chow

The Urban Design Planner advised that staff generally support the project.

The Panel was asked to comment on the overall site planning, pedestrian and vehicular movement, architectural expression, overall landscape concept, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

#### ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by R. Salcido  
Seconded by R. Amies  
That the Advisory Design Panel (ADP) is in  
CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

#### Key Points

- Consider better articulating the office building's west façade.
  - West façade of the commercial building has been updated. Main office entry has been shifted towards the public plaza and articulated by recessed balconies on the upper floors. The balconies are of the same proportions as the balconies of the residential building which creates visual connection between the buildings. Introduction of solid vertical elements, stepping down towards south, provides additional articulation of the west façade.
- Recommend designing the West façade of the office building for energy efficiency.
  - High efficiency thermally broken Window/Wall System with tinted glazing has been proposed for the west façade along with recessed portions of the façade and slim vertical shades clamped to the mullions.
- Consider further façade design to strengthen the relationship between the office building and the residential building.
  - The introduction of the balconies and solid vertical elements on the west façade provides stronger relationships between the buildings.
- Consider relocating the office building core and entry to the north to collaborate to the plaza.
  - The office building core has been relocated to the north of the building.
- Consider further design development for childcare facility, including parking, outdoor amenity, and green spaces.
  - Childcare facilities, including outdoor amenities, have been redesigned.
  - Green space has been redesigned by the landscape architect in accordance with the new floor plan design.

- Consider energy modeling by using future climate data to anticipate shock events.
- Energy modeling will be provided at the BP stage of the project.
- Consider the addition of active cooling for residential units.
- Active cooling for residential units will be provided.
- Consider the addition of public arts in the plaza.
- The proposed pavilion building has been designed as an object of public art. It is a sculpture itself.

#### Site

- Consider reconfiguring or reducing the parking between buildings so that more public space can be developed at that location instead.
- Provision of surface parking is beneficial for the commercial building. Reduction of parking won't add any substantial green space between the buildings because the drive aisle to the PMT and loading bay is still required.
- Consider relocating the office building core and entry to the north to collaborate with the plaza.
- The office building core with main office entry has been relocated to the north side of the building.
- Consider design development to better-accommodate the daycare, such as drop-off facilities, short-term parking, and non-shared elevators.
- Part of the surface car park will be dedicated to short-term parking for childcare, and a non-shared elevator has been provided.
- Revisit the parkade design to increase the efficiency and reduce unused double-height space.
- The parkade design has been revised and unused height has been minimized as much as possible.
- Consider providing carwash facilities to residents.
- Provision of carwash facilities won't be feasible for the rental building.
- Consider incorporating dog relief and dog wash facilities in the development.
- Provision of dog relief and dog wash facilities have been proposed at the north side of the residential building.
- Consider providing dedicated staging areas for garbage collection days.
- Dedicated staging areas for garbage have been provided at the south side of the parking ramp entry.

#### Form and Character

- Consider revisiting the design of the elevation facing King George Boulevard; the large surface of glass does not have any detail and does not relate to the other building in the development.
- The commercial building elevation facing King George Boulevard has been revised. Main office entry has been shifted towards the public plaza and articulated by recessed balconies on the upper floors. The balconies are of the same proportions as the balconies of the residential building which creates visual connection between the buildings. Introduction of solid vertical elements, stepping down towards south, provides additional articulation of the west façade.
- Consider breaking the façade of the elevation facing King George Boulevard by

- incorporating recessed and solid wall breaks to obtain a more successful design.
- West elevation design incorporates several vertical breaks including 4-storeys recess with balconies above the main office entry and three recessed solid vertical breaks stepping down towards the South end of the building as continuation of the main structure of the building exposed at the main floor.
- Consider better articulation of the façade of King George Boulevard and the entry, which is not proportionally successful.
- West façade of the commercial building has been updated. Main office entry has been shifted towards the public plaza and articulated by recessed balconies on the upper floors. The balconies are of the same proportions as the balconies of the residential building which creates visual connection between the buildings. Introduction of solid vertical elements, stepping down towards south, provides additional articulation of the west façade.
- Consider simplifying the articulation of the residential building and relating the architecture of the office and residential buildings.
- In our opinion articulation of the residential building reflects its functional and structural characteristics and creates the scale compatible with human scale, as well as internal space between the buildings and with the future townhouse development to the East. It also helps to emphasize 3-storeys building base.
- The black window frames are a key element of the attractive exterior elevations. However, these are sometimes dropped later due to cost issues, and this would drastically change the look of the building. It is important that the City obtain some form of firm commitment that they will be retained. Otherwise, the applicant should provide alternative elevations to the ADP, so the actual design can be assessed.
- The client will provide a Commitment Letter regarding the color of the window frames. Also, more specific indication on the DP drawings has been provided.

### Landscape

- Consider implementing public art in the plaza.
- M2: Noted, will review with owner and Architect for potential of public art; coordination with City may be required to fit character of surrounding neighborhood.
- Consider eliminating the series of smaller triangular planters at the residential entry or consolidating them to become one larger planter.
- M2: Smaller triangular planters at residential entry have been revised and consolidated into a larger planter.
- Consider further resolution of how different materials will transition to eliminate paving off-cuts.
- M2: Paving design and transition will be reviewed with Architect and contractor to eliminate paving off-cuts and difficult angles.
- Recommend providing additional soil volume for the single tree in the public plaza.
  - Aim for 30m<sup>3</sup> of soil volume to get a large, long-lived specimen tree.
  - Consider directing stormwater towards the soil volume.
- M2: There is no underground parkade slab below the public plaza in this area; depth for soil will not be an issue. Structural soil has been provided to allow for 30m<sup>3</sup> soil volume as requested.

- Strongly encourage more opportunities for interaction with nature on the rooftop daycare.
- M2: Natural play elements will be reviewed and considered for the rooftop daycare design.
- Consider precautionary measures to mitigate rooftop green space degradation due to children's play.
- M2: Appropriate buffers/barriers (3'-6" high guards) are proposed to eliminate impact of children's play to the rooftop green space.

#### CPTED

- No specific issues were identified.

#### Sustainability

- Consider energy modeling to future climate data (2050 – 2080) to anticipate shock events (hot and cold).
- Energy modeling will be provided at the BP stage of the project.
- Consider additional design development of the west façade to improve passive design strategies and mitigate solar heat gain due to the expanse of glazing.
- The following passive design strategies and elements have been incorporated into the building design: recessed portions of the building, projected architectural elements including portions of façade, roof canopies, balconies, entry canopies and shades.
- Consider enhancing the story behind the pavilion café by capturing water on the roof for landscape feature, achieving net zero electricity through PV array on commercial building roof, introducing permeable pavers when off structure, and using wood or mass timber for structure whenever possible.
- A roof water collection system for the pavilion building has been proposed as well as roof solar panels.
- Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content.
- This will be considered at BP stage of the project.
- Consider including active cooling for all residential units.
- Active cooling has been proposed for residential units in coordination with mechanical consultants.

#### Accessibility

- Appreciate that all residential units will be Adaptable.
- Reconsider the jagged paving edges, as it may be a challenge for people with visual impairments to navigate.
- Use of angular design for paved areas is very common for the world architectural practice. Transition details for different paving edges will be provided at BP stages of the project.

**C. OTHER BUSINESS**

**1. Roundtable**

A roundtable of discussion was held.

**D. NEXT MEETING**

The next Advisory Design Panel is scheduled for Thursday, April 18, 2024.

**E. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 6:55 p.m.

---

Jennifer Ficocelli, City Clerk

---

M. Cheung, Chairperson

# Appendix VI

## CITY OF SURREY

### HOUSING AGREEMENT (Residential Only)

THIS HOUSING AGREEMENT made the 18 day of July , 2024.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8 (the “**City**”)

OF THE FIRST PART

AND:

**1070071 B.C. LTD.**, a corporation having its offices at 7477 Wiltshire Dr Surrey BC V3S 2Y6 (the “**Owner**”)

&

**Ziv Properties Ltd**, a corporation having its offices at 218-470 Granville St Vancouver BC V6C 1V5 (the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:  
Parcel Identifier (PID): 009-243-780  
Legal Description: LOT 1 Except Firstly: Part Subdivided By Plan 18810 and Secondly: Part Within Heavy Outline Taken By Highway Statutory Right Of Way Plan 63551 SECTION 16 TOWNSHIP 2 New Westminster District Plan 10110  
&  
Parcel Identifier (PID) 009-243-895  
LOT 2 Except: Part Subdivided By Plan 18810: Section 16 Township 2 New Westminster District Plan 10110(the “**Lands**”);
- B. The Owner proposes to use the Lands for describe proposed development (i.e. 1 building and 47 of Dwelling Units) (the “**Development**”);

- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
- (b) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) “**Development**” means as defined in Recital B;
- (f) “**Dwelling Unit**” means each of the 47 dwelling units to be constructed within the Development;
- (g) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*);
- (h) “**Owner**” means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;
- (i) “**Rental Units**” means 47 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential



rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and

- 1.2 “Term” means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

## 2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 During the Term, the portion of the Lands containing the Development shall not be stratified.
- 2.4 All of the Rental Units must be owned by the same Owner(s).
- 2.5 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

## 3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the

covenants contained in this Agreement or otherwise.

4. **NOTICE**

4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owners:

1070071 B.C. LTD.  
7477 Wiltshire Dr  
Surrey, BC V3S 2Y6

Attention: Harpreet Purba (Director), And

And

Ziv Properties Ltd.  
218-470 Granville St  
Vancouver BC V6C 1V5  
Attention: Gallit Ziv (Director)

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies, which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance; injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.11 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.

- 5.12 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.13 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.14 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.
- 5.15 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

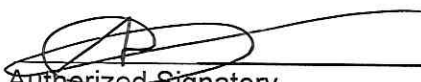
By: \_\_\_\_\_  
Authorized Signatory

Brenda Locke,  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory

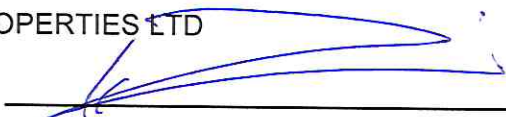
Jennifer Ficocelli,  
City Clerk and Director Legislative Services  
City of Surrey

**1070071 B.C. LTD.**

By:  \_\_\_\_\_  
Authorized Signatory

Harpreet Purba  
Title: Director

**ZIV PROPERTIES LTD**

By:  \_\_\_\_\_

Authorized Signatory  
Gallit Ziv  
Title :Director