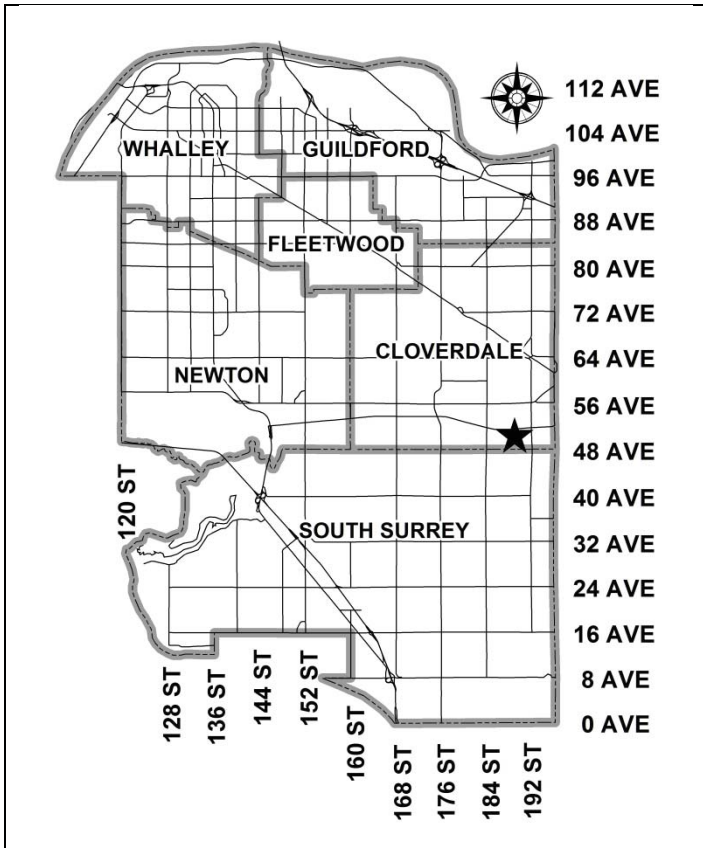


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0077-00

Planning Report Date: November 20, 2017



PROPOSAL:

- **Development Permit**

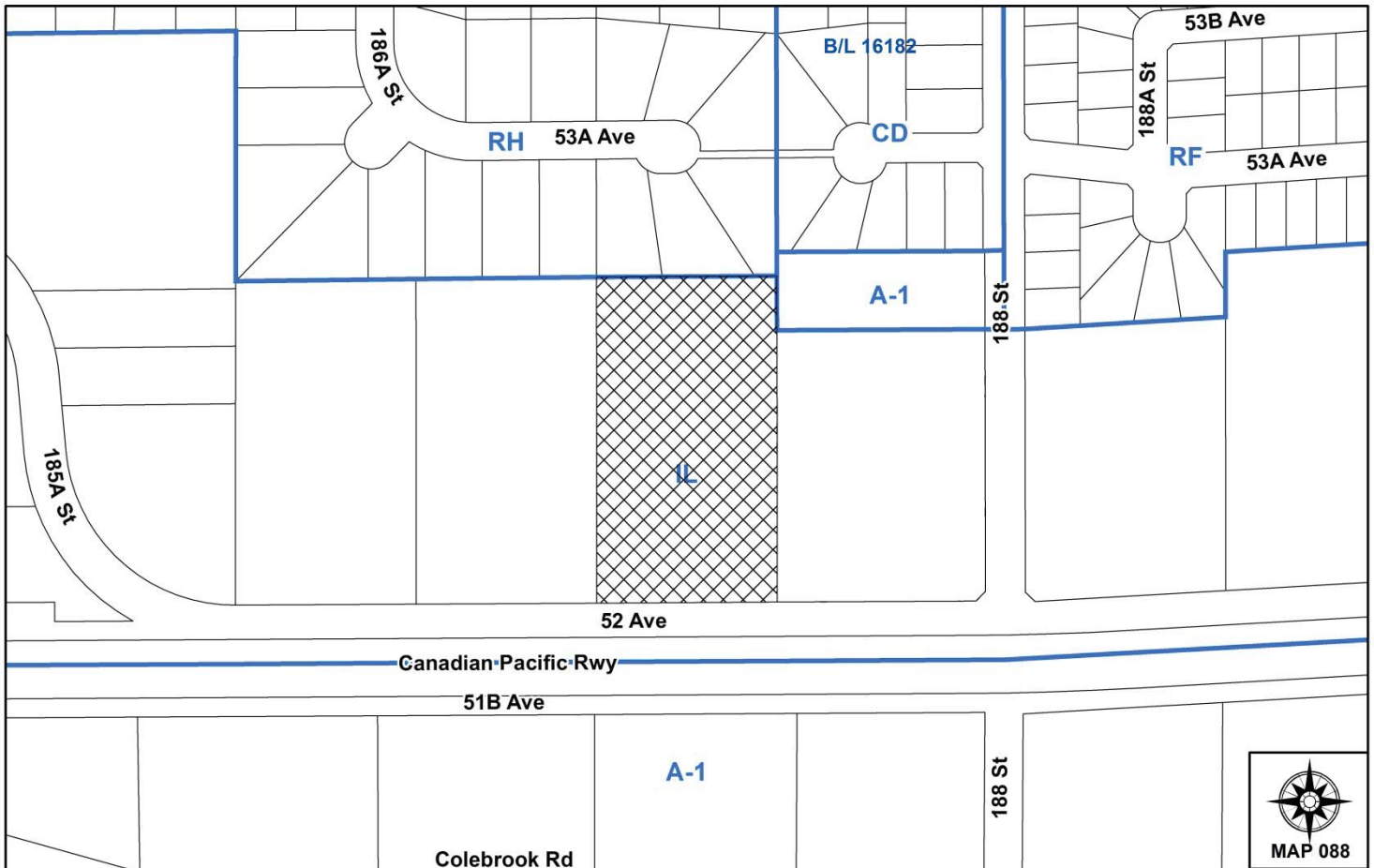
to permit the development of two industrial buildings.

LOCATION: 18725 - 52 Avenue

OWNER: 467306 B.C. Ltd.

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the OCP and with the regulations of the IL Zone.
- The proposed density and building form are appropriate for this part of the 52 Avenue industrial area.
- Landscaping is proposed along the 52 Avenue frontage and within a 10-metre (33 ft.) wide buffer area along the north and northeast property lines, adjacent to residential lands.
- Proposed outside storage is entirely screened from the public realm.

Direction	Existing Use	OCP Designation	Existing Zone
East:	Large manufacturing building currently under construction and a single family dwelling with a childcare on an acreage.	Industrial	IL and A-1
South (Across 52 Avenue and rail right-of-way):	Agricultural land within the ALR.	Agricultural	A-1
West:	Industrial park.	Industrial	IL

DEVELOPMENT CONSIDERATIONS

- The subject property is located at 18725 – 52 Avenue and encompasses an area of 1.63 hectares (4.0 acres). The subject property is designated Industrial in the Official Community Plan (OCP), and is zoned "Light Impact Industrial Zone (IL)".
- The site slopes upwards approximately 3.5%, or 8.5 metres (28 ft.) from the southwest corner of the site to the northeast corner of the site.
- The site borders residential suburban properties to the north and northeast corner. To the west is a multi-building industrial park and to the east is a large industrial building currently under construction. The Canadian Pacific Railway is located to the south across 52 Avenue.
- The applicant is proposing a Development Permit to allow two industrial buildings. The proposed northern building is intended for a metal fabricator but can be converted to nine industrial units in the future. The proposed south building is intended for a drilling company and is designed to be potentially converted to four industrial units in the future
- The two proposed buildings will have a total floor area of 5,861 square metres (63,000 sq. ft.). The proposal represents a floor area ratio (FAR) of 0.34 and a lot coverage of 36% which is below the maximum FAR of 1.0 and lot coverage of 60% permitted in the IL Zone.
- The applicant hopes to occupy the proposed industrial buildings by the end of 2018.

PRE-NOTIFICATION

- A development sign was installed on the property in May 2017 and staff have not received any responses.

DESIGN PROPOSAL AND REVIEW

- The applicant proposes two single tenant industrial buildings with potential for conversion to potentially 13 industrial units in the future. The two proposed buildings are both concrete tilt-up construction. The height of the proposed building is 10.9 metres (36 ft.), which is below the maximum 18 metres (60 ft.) permitted in the IL Zone.
- There is a potential for the up-lying residential properties to the north to overlook the roofs of the buildings. The applicant has provided roof top screening details for both buildings.

Southern Building

- The proposed southern building is 3,905 square metres (42,000 sq. ft.) in size with 3,534 square metres (38,040 sq. ft.) proposed to be warehouse and 371 square metres (4,000 sq. ft.) proposed for office. The building is designed so it can be converted to four industrial units in the future.
- The building is primarily light and dark grey panels of concrete tilt-up.
- The east elevation is designed as the primary entry façade if the building redevelops in the future with four entrances, substantial glazing and black steel canopies for weather protection.
- The south elevation includes substantial glazing and a canopy along the eastern portion as well as the entrance for the office component of the building. The western extent of the elevation includes a wall extension to screen loading areas.
- The north and west elevations include loading doors with a row of windows along the upper portion of the building to provide natural lighting within the building.

Northern Building

- The proposed northern building is 1,870 square metres (20,125 sq. ft.) in size with 1,672 square metres (18,000 sq. ft.) proposed to be warehouse and 186 square metres (2,000 sq. ft.) proposed for office. The building is designed so it can be converted to nine industrial units in the future.
- The building design and colour scheme is similar to the southern building.
- The southern elevation includes the primary entrance and includes canopies that cover the entire length of the elevation. Eleven loading doors are evenly spaced along the elevation with the two most western loading bays designed for longer semi-trailers and the other bays intended for smaller trucks.
- The northern elevation acts as a retaining wall for a landscaped buffer.
- The eastern elevation includes glazing wrapped around the southern portion and a 1 metre (3 ft.) wide fire access walkway running along the east side of the building. If the building converts to multiple units in the future, the applicant will need to install an internal walkway along the rear of the building to provide for fire escape.

- The western elevation is constructed at the lot line and is primarily a grey wall with linear details to provide some visual interest. A loading bay is proposed at the southern portion of the building and windows are present to provide for security.

Site Access, Parking and Outside Storage

- Two (2) driveway accesses are proposed off of 52 Avenue. The proposed driveways will be highlighted by saw cut concrete.
- For the proposed southern building, the 12 loading areas are located away from the street alongside the western drive aisle and will be screened from 52 Avenue by an extension of the southern façade.
- The proposed northern building is being constructed for a single tenant but is designed that it can be split into nine smaller units in the future. The proposed building has two loading bays along the west property line. Conversion of the northern building into multiple units in the future will require an exit corridor to be constructed within the rear of the building that will exit at the eastern side of the building.
- Surrey Zoning By-law No. 12000 requires 1 parking space for every 100 square metres (1,075 sq.ft.) of gross floor area for light impact industrial uses and 2.5 parking spaces for every 100 square metres (1,075 sq. ft.) of gross floor area for office uses. As such, the proposal requires a total of 70 on-site parking spaces and the applicant is providing 82 spaces.
- As employee and visitor parking may be problematic for a more intensive industrial use, a restrictive covenant will be required that prohibits building expansion (including the addition of mezzanine space) or change of intended use of the building, unless the minimum required parking spaces can be provided.
- Between the two buildings is a 1,380 square metres (0.34 acre) outside storage area which can potentially be converted to additional parking in the future. The applicant proposes to store drilling related equipment within this area. The proposed storage area will have black vinyl chain link fencing and will not be visible from the public realm as it will be screened by the southern building.

Landscaping, Retaining Walls and Lighting

- A 10-metre (33 ft.) wide landscaped buffer is proposed along the north and east property lines adjacent to the residential areas and consists of a variety of deciduous and coniferous trees and shrubs. The proposed buffer will help transition the grade down from the property to the north with its approximate slope of 3:1.
- The proposed northern building is proposed to act as a retaining wall to offset the transition to the property to the north.
- Along 52 Avenue, the applicant proposed 14 trees including cypress, ash and maple trees within a 3 metres (10 ft.) wide buffer.

- Within the parking lot, the applicant proposes nine landscape islands which will include structural soil to ensure healthy trees.
- Along the majority of the west property line, the applicant proposes a 1 metre (3 ft.) landscaping strip to protect off site landscaping on the neighbouring property.
- A 5-metre (16 ft.) wide drainage easement exists along the east property line which the applicant proposes to maintain as grass. The applicant proposes retaining walls along the western edge of the easement to assist with transitioning to the existing retaining walls constructed on the property to the east (18787 - 188 Street). The proposed walls range from 0.6 metre (2 ft.) to 1.85 metres (6 ft.) in height and are not visible from 52 Avenue.
- Within the 10-metre (33 ft.) buffer area to the east of the northern building, the applicant is proposing a retaining wall that ranges from 3.7 metres (12 ft.) to 5 metres (16 ft.) in height to assist with the approximate 5 metre (16 ft.) grade transition from the building and walkway to the neighbouring property line to the east. The proposed retaining wall will be screened by a row of 11 cypress trees.
- The applicant does not propose a garbage compound as part of the current development as both tenants prefer internal garbage storage. In the future, if the buildings redevelop to multiple units, two proposed garbage compounds will be located to the north of the southern building and will not be visible from 52 Avenue, as they are located behind buildings.
- The applicant proposes surface wall lighting on the building. No pole lighting is proposed within the development.

Signage

- The applicant is not proposing a free-standing sign as part of the development.
- The applicant has identified fascia signage locations for each future unit which are proposed to be located above the canopy. Proposed signage panels are approximately 2 metres (7 ft.) wide and 0.3 metre (1 ft.) tall and the signage will be comprised of individual channel letters. Proposed signage complies with the Sign By-law.

TREES

- Shan Tennyson, ISA Certified Arborist of KD Planning and Design Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	2	2	0
Coniferous Trees			
Douglas Fir	15	15	0

Tree Species	Existing	Remove	Retain
Deciduous Tree			
Garry Oak	1	1	0
Total (excluding Alder and Cottonwood Trees)	16	16	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		71	
Total Retained and Replacement Trees			
		71	
Contribution to the Green City Fund			
		0	

- The Arborist Assessment states that there are a total of 16 protected trees on the site, excluding Alder and Cottonwood trees. Two (2) existing trees, approximately 11% of the total trees on the site, are Alder trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- A row of trees was planted along the east property line of the neighbouring property to the west (18677 – 52 Avenue). The applicant is proposing a 1 metre (3 ft.) landscaping strip to protect this landscaping and allow for healthy maturation. Existing landscaping on residential properties to the north and east will also be protected during construction.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 34 replacement trees on the site. The applicant is proposing 71 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including maple, oak, fir, false cypress and pine.
- In summary, a total of 71 trees are proposed to be replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 15, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Site is zoned IL and has OCP designation of Industrial.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	• N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Applicant is planting 71 trees as part of the development. • Recycling facilities will be provided.
4. Sustainable Transport & Mobility (D1-D2)	• N/A
5. Accessibility & Safety (E1-E3)	• CPTED principals are integrated into the site plan.
6. Green Certification (F1)	• N/A
7. Education & Awareness (G1-G4)	• N/A

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
LOT AREA* (in square metres)			
Gross Total		16,255 m ²	
Road Widening area			
Undevelopable area			
Net Total	1,800 m ²	16,255 m ²	
LOT COVERAGE (in % of net lot area)			
Buildings & Structures	60%	34.4%	
Paved & Hard Surfaced Areas			
Total Site Coverage			
SETBACKS (in metres)		Northern Building	Southern Building
Front	7.5 m	138.3	17.24 m
Rear	7.5 m	10 m	77.6 m
Side #1 (East)	0	11.3 m	19 m
Side #2 (West)	7.5 m	0	25.4 m
BUILDING HEIGHT (in metres/storeys)			
Principal	18 m	10.4 m	
Accessory			
FLOOR AREA: Residential			
FLOOR AREA: Commercial			
Retail			
Total			
		Northern Building	Southern Building
FLOOR AREA: Industrial		1,685 m ²	3,534 m ²
FLOOR AREA: Office		185 m ²	371 m ²
TOTAL BUILDING FLOOR AREA		1,870 m ²	3,905 m ²

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.34
FAR (net)	1.0	0.36
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Office	14	14
Industrial	53	68
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		82
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



NO.	DATE	DESCRIPTION
10	20171108	ISSUED FOR PERMIT
9	20171024	ISSUED FOR PERMIT
8	20170915	ISSUED FOR PERMIT
7	20170906	ISSUED FOR PERMIT
6	20170818	ISSUED FOR PERMIT
5	20170707	ISSUED FOR PERMIT
4	20170624	IN CONSULTATION COORDINATE
3	20170601	ISSUED FOR PERMIT
2	20170420	ISSUED FOR PERMIT
1	20170302	ISSUED FOR PERMIT

MULTI-TENANT BUILDINGS for MDZ DEVELOPMENTS

PROPOSED BUILDINGS FOR SRL & TRAXXON: 18725 - 52 AVENUE,
SURREY, BC
PROJECT TEAM

ARCHITECT OF RECORD
LARRY PODHORA ARCHITECT
1952 BRACKMAN WAY
SAANICH B.C. V8L0C2
CONTACT: LARRY PODHORA

STRUCTURAL
KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: PETER KIDDIE

MECHANICAL
KD MECHANICAL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: CURTIS GRAY

ELECTRICAL
KD ELECTRICAL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: RODRIGUE ROUHANA

CIVIL
KM CIVIL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: STUART MCGREGOR

LANDSCAPE
KD PLANNING AND DESIGN LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: SHAN TENNYSON

GEOTECHNICAL
GEOPACIFIC
1779 W 75 AVENUE
VANCOUVER, BC, V6P 6P2
P. 604.439.0922 F. 604.439.9189
CONTACT: MARIAN LETAWAY

BUILDING DESIGN
KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 3E9
P. 604.853.8831 F. 604.853.1580
CONTACT: CURTIS GRAY

SHEET LIST

- ARCHITECTURAL**
- A0.0 COVER PAGE
 - A1.0 CODE ANALYSIS & ASSEMBLY SCHEDULE
 - A1.1 CODE PLANS
 - A2.0 SITE PLAN
 - A2.1 SITE DETAILS
 - A3.1 BUILDING C MAIN FLOOR PLAN
 - A3.2 BUILDING C MEZZANINE PLAN
 - A3.3 BUILDING C ROOF PLAN
 - A3.4 REFLECTED CEILING PLANS
 - A4.1 BUILDING C ELEVATIONS
 - A5.1 BUILDING C SECTIONS
 - A5.2 WALL SECTIONS
 - A5.3 WALL SECTIONS
 - A6.0 STAIR SECTIONS & DETAILS
 - A7.0 PLAN DETAILS
 - A7.1 BUILDING DETAILS
 - A7.2 BUILDING DETAILS
 - A8.0 DOOR SCHEDULE
 - A8.1 WINDOW SCHEDULE

- STRUCTURAL**
- S1.0 GENERAL NOTES
 - S2.0 FOUNDATION PLANS
 - S2.1 ROOF FRAMING PLANS
 - S2.2 ROOF BEG. DIAGRAM
 - S3.0 PANEL ELEVATIONS
 - S3.1 PANEL NOTES, SECTIONS & DETAILS
 - S4.0 SECTIONS & DETAILS
 - S4.1 SECTIONS & DETAILS

- MECHANICAL**
- M1.1 SITE PLAN & LEGEND
 - M2.1 FOUNDATION PLAN
 - M3.1 MAIN FLOOR PLAN - PLUMBING
 - M3.2 SECOND FLOOR - PLUMBING
 - M3.3 ENLARGED PLAN - PLUMBING
 - M3.4 MAIN FLOOR PLAN - HVAC
 - M3.5 SECOND FLOOR PLAN - HVAC
 - M3.6 ENLARGED PLAN - HVAC
 - M4.1 ROOF PLAN
 - M5.1 MECHANICAL DETAILS
 - M5.2 MECHANICAL DETAILS
 - M5.3 MECHANICAL SCHEDULES
 - M6.1 MECHANICAL SPECIFICATIONS

- ELECTRICAL**
- E1.0 SITE PLAN
 - E2.0 MAIN FLOOR POWER LAYOUTS & EMERGENCY SYSTEMS
 - E2.1 MAIN FLOOR LIGHTING LAYOUTS
 - E3.0 MEZZANINE FLOOR POWER LAYOUTS, LIGHTING & EMERGENCY SYSTEMS
 - E4.0 ROOF PLAN POWER LAYOUTS
 - E5.0 SCHEDULES & SCHEMATICS
 - E5.1 SCHEDULES & SCHEMATICS
 - E6.0 ELECTRICAL & FIRE ALARM SPECIFICATIONS
 - E6.1 FIRE ALARM SPECIFICATIONS CONTINUED

- CIVIL**
- C1 LOCATION PLAN & GENERAL NOTES
 - C2 SITE GRADING PLAN
 - C3 SITE SERVING PLAN
 - C4 STORM WATER MANAGEMENT PLAN
 - C5 WATER METER DESIGN AND LOCATION PLAN
 - C6 DRAINAGE WORKS PROFILES
 - C7 CONSTRUCTION DETAILS

- LANDSCAPE**
- L1.0 OVERALL LANDSCAPE PLAN
 - L2.0 PLANTING PLAN BLOW UPS
 - L3.0 DETAILS AND NOTES

larry podhora / architect
185 BRACKMAN WAY NORTH SURREY, B.C. V8L 0C2

PROJECT NAME
MULTI-TENANT BUILDINGS for MDZ DEVELOPMENTS

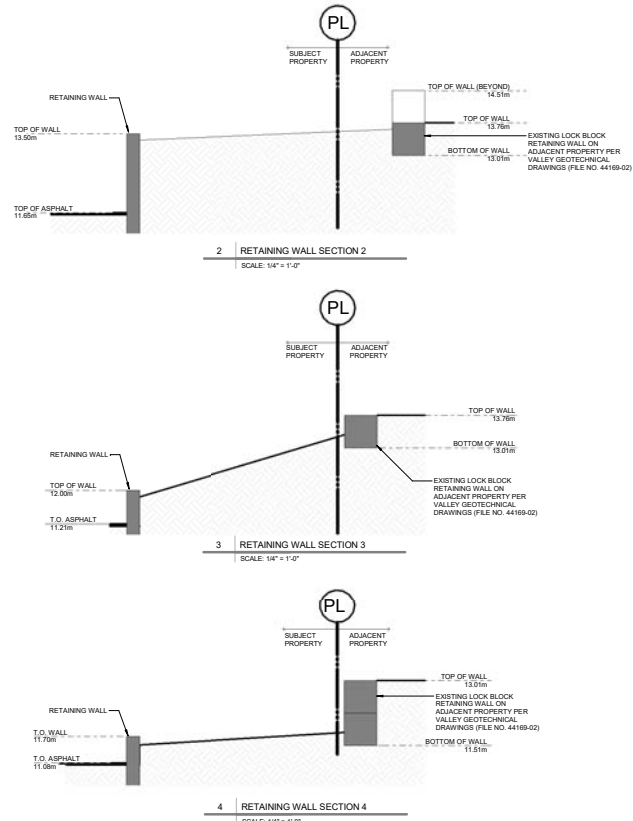
PROPOSED BUILDINGS FOR SRL & TRAXXON: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE
COVER PAGE

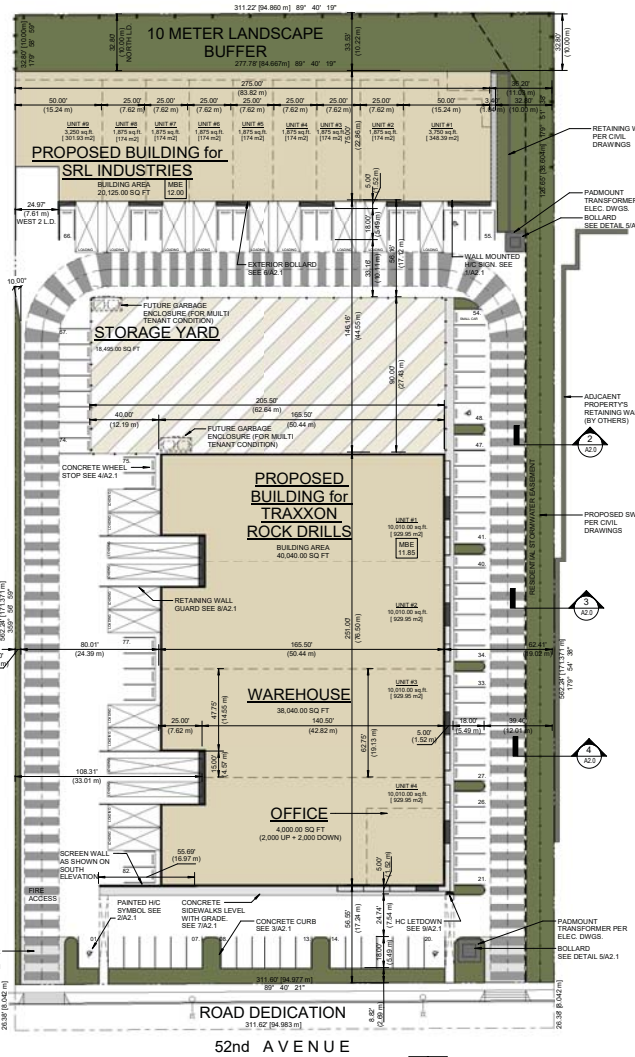
SCALE
DRAWN BY
CHECKED BY
PROJECT NO. 10025
DRAWING NO.

A0.0

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



CONTEXT PLAN

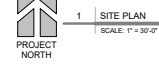


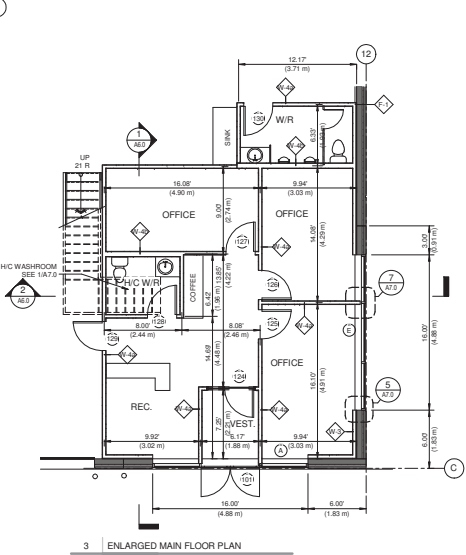
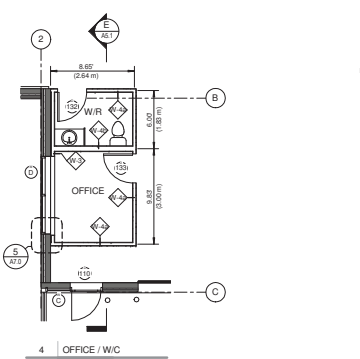
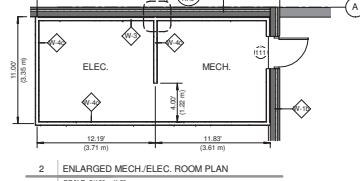
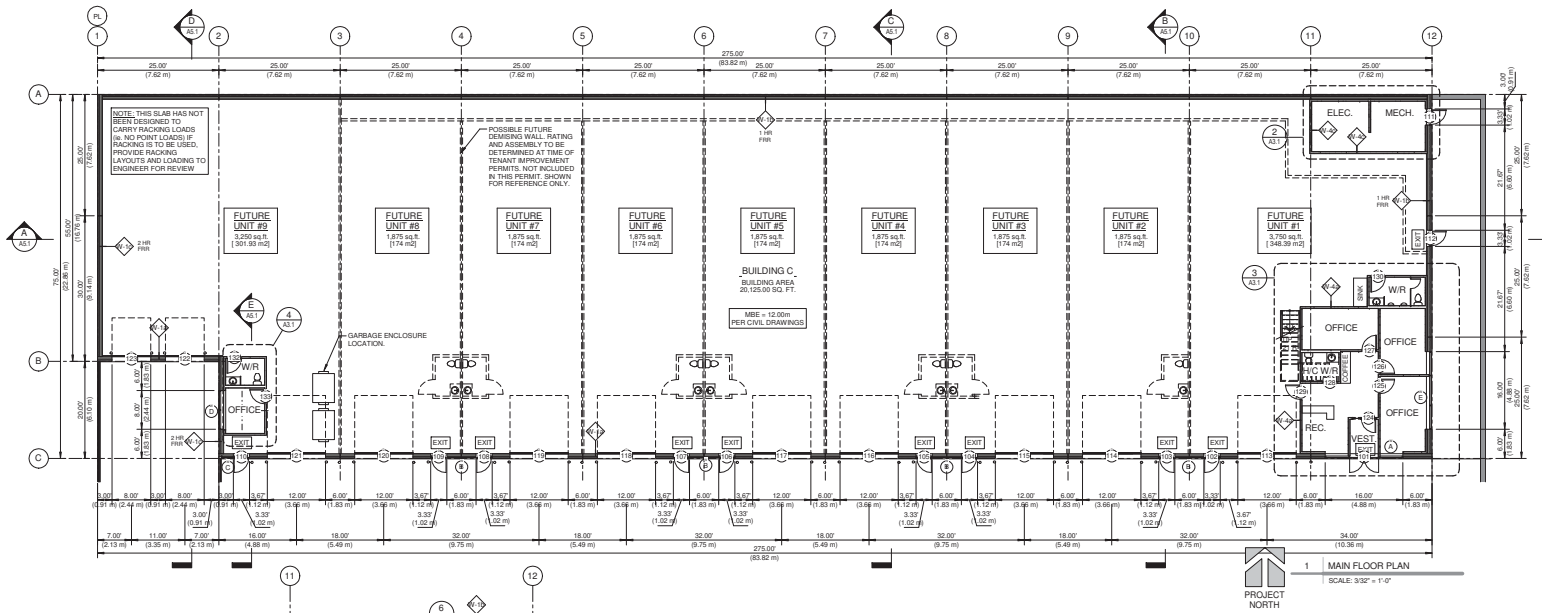
PROJECT DATA

CIVIC ADDRESS: 18725-52 AVENUE, SURREY, BC
LEGAL ADDRESS: LOT 10 SECTION 4 TOWNSHIP 8 PLAN BCPS2544 NWD
ZONING: I - LIGHT IMPACT INDUSTRIAL ZONE
BUILDING USE: MEDIUM HAZARD INDUSTRIAL (F2)
GROSS BUILDING AREA: 76,996.52 SQ FT (7,750.17 SQ M)

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: I - LIGHT IMPACT INDUSTRIAL ZONE
2. SITE AREA: 174,988.00 SQ FT (16,255.00 SQ M)
3. SITE COVERAGE: 174,988.00 SQ FT (16,255.00 SQ M)
BUILDING AREA: 60,737.00 SQ FT (5,629.45 SQ M)
TOTAL FLOOR AREA: 76,996.52 SQ FT (7,750.17 SQ M)
PROPOSED SITE COVERAGE: (BUILDING AREA (SITE AREA)) 41.45%
4. BUILDING HEIGHT: 60.00' (18.0 M)
PROPOSED HEIGHT: 30'-0" (9.1 M)
5. SETBACKS: REQUIRED PROVIDED
FRONT YARD (SOUTH): 25'-0" (7.6 M) 25'-0" (7.6 M)
SIDE YARD (WEST): 25'-0" (7.6 M) 51'-0" (15.6 M)
SIDE YARD (EAST): 25'-0" (7.6 M) 51'-0" (15.6 M)
REAR YARD (NORTH): 25'-0" (7.6 M) 32'-0" (9.8 M)
*ONE INTERIOR SIDE YARD MAY BE REDUCED 25.00' (7.62 M) OR 0.00' (0.00 M)
IF SAID SIDE YARD ABUTS LAND WHICH IS COMMERCIAL OR INDUSTRIAL.
6. LANDSCAPING REQUIREMENTS: ALL LANDSCAPING TO SURREY ZONING BYLAW
SEE LANDSCAPE PLANS FOR DETAILS
7. PARKING AND LOADING:
MULTI-TENANT (SHELL):
- TOTAL BUILDING AREA = 60,165.00 SQ FT (5,589.51 SQ M)
GENERAL INDUSTRIAL USE:
PARKING STALLS REQUIRED (1 STALL PER 100 SQ M): 60,165.00 / 1.075 SQ FT (100 SQ M) = 56 (56.50) STALLS REQUIRED
- 40% MEZZANINE ALLOWANCE = 0.4 X 60,165.00 SQ FT (5,589.51 SQ M) = 24,066.00 SQ FT (2,235.80 SQ M)
OFFICE SPACE:
PARKING STALLS REQUIRED (1 STALL PER 100 SQ M): 24,066.00 / 1.075 SQ FT (100 SQ M) = 22 (22.38) STALLS REQUIRED
TOTAL STALLS REQUIRED: 78 (78.34) TOTAL STALLS
PROPOSED DEVELOPMENT:
GENERAL INDUSTRIAL USE:
PARKING STALLS REQUIRED (1 STALL PER 100 SQ M): 57,089.39 / 1.075 SQ FT (100 SQ M) = 53 (53.10) STALLS REQUIRED
OFFICE SPACE:
PARKING STALLS REQUIRED (3 STALLS PER 100 SQ M): (5,991.73 X 3) / 1.075 SQ FT (100 SQ M) = 17 (17.73) STALLS REQUIRED
TOTAL STALLS REQUIRED: 70 (69.82) TOTAL STALLS
TOTAL STALLS PROVIDED: 82 TOTAL STALLS
77 STANDARD STALLS
5 SMALL CAR STALLS
4 ACCESSIBLE STALLS
DRIVE AISLE WIDTH: 23'-0" (7.0 M) AT 90°
STALL DIMENSIONS:
STANDARD STALL DIMENSIONS: 9'-0" (2.6 M) WIDE, 16'-0" (4.9 M) LONG
SMALL CAR STALL DIMENSIONS: 9'-0" (2.6 M) WIDE, 16'-0" (4.9 M) LONG
ACCESSIBLE STALL DIMENSIONS: 12'-0" (3.7 M) WIDE, 19'-0" (5.5 M) LONG
LOADING STALL DIMENSIONS: 3'-0" (0.9 M) WIDE, 30'-0" (9.2 M) LONG
LOADING STALLS REQUIRED (1 LOADING STALL REQUIRED ADJACENT TO EACH LOADING DOOR OF THE BUILDING): 22 STALLS PROVIDED





GENERAL NOTES

SEE SCHEDULE DRAWING FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.

EXIT SIGNAGE
EXIT SIGNAGE TO BE PROVIDED PER ELECTRICAL DRAWINGS.

FIRESTOPPING
FIRESTOPPING SHALL COMPLY TO CANULC S115 M STANDARDS.

FINISHES
FINISHES ARE NOT SHOWN ON THESE DRAWINGS. FINISHES ARE TO BE SPECIFIED BY OWNER, OR OWNER'S INTERIOR DESIGNER AT THE OWNER'S REQUEST, AND INCLUDES ALL INTERIOR FINISHES INCLUDING MILLWORK, CEILING TYPES AND INTERIOR SIGNAGE. NEITHER THE KRAHN GROUP OF COMPANIES OR LARRY PODHORA ARCHITECT HAVE BEEN RETAINED TO CHOOSE, SPECIFY OR DESIGN INTERIOR FINISHES, MILLWORK OR INTERIOR SIGNAGE, AND THEREFORE ASSUME NO LIABILITY OR RESPONSIBILITY FOR SELECTED FINISHES. THEIR INSTALLATION OR THEIR PERFORMANCE, NEVERTHELESS, ALL FINISHES SELECTED BY OWNER OR OWNER'S REPRESENTATIVE MUST COMPLY WITH CURRENT PROVINCIAL BUILDING CODE, CURRENT EDITION, AND MUST MEET THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS CONTAINED WITHIN.

DOOR SIGNAGE
ALL DOORS NOT SPECIFIED IN DOOR AND DOOR HARDWARE SCHEDULE SHALL BE BY THE OWNER OR OWNER'S INTERIOR DESIGNER.

FIRE SAFETY PLAN
FIRE SAFETY PLAN TO BE PROVIDED BY FIRE PROTECTION CONSULTANT, INSTALLED TO THEIR REQUIREMENTS, AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.

PORTABLE FIRE EXTINGUISHERS:
FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BC FIRE CODE AND TO THE SATISFACTION OF THE FIRE PROTECTION CONSULTANT.

SPRINKLER/FIRED BUILDING
BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS. DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEM IS THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CONSULTANT'S DRAWINGS. PULL STATIONS AND FIRE ALARM SPECIFICATIONS FOR INSTALLATION AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.

SYMBOLS LEGEND

(A) (B) (C)	WINDOW OR DOOR TAGS (SEE SCHEDULES ON SHEETS AS 1, A8.2 & A8.3)
(1) (2) (3)	STRUCTURAL PANEL NUMBERS (SEE STRUCTURAL DRAWINGS)
(W) (E)	WALL TAGS (SEE ASSEMBLY SCHEDULE ON SHEET A11)
(A) (ADD)	BUILDING SECTION REFERENCE (IN A SPECIFIC ROOM AS SHOWN)
(1) (A10)	DETAIL REFERENCE
(A)	GRIDLINE

CODE PLAN LEGEND

---	1 HOUR FIRE RESISTANCE RATING
---	2 HOUR FIRE RESISTANCE RATING
---	TRAVEL DISTANCE
(EXIT)	EXIT SIGN
(FD)	FIRE DOOR SIGN
(M) (F) (U)	MALE, FEMALE OR UNSEX WASHROOM FOOTPRINTS (IN A SPECIFIC ROOM AS SHOWN)

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	20171108		ISSUED FOR PERMIT
2	20171204		ISSUED FOR PERMIT
3	20171213		ISSUED FOR PERMIT
4	20171220		ISSUED FOR PERMIT
5	20171218		ISSUED FOR PERMIT
6	20171220		ISSUED FOR PERMIT
7	20171220		ISSUED FOR PERMIT
8	20171220		ISSUED FOR PERMIT
9	20171220		ISSUED FOR PERMIT
10	20171220		ISSUED FOR PERMIT
11	20171220		ISSUED FOR PERMIT
12	20171220		ISSUED FOR PERMIT
13	20171220		ISSUED FOR PERMIT
14	20171220		ISSUED FOR PERMIT
15	20171220		ISSUED FOR PERMIT
16	20171220		ISSUED FOR PERMIT
17	20171220		ISSUED FOR PERMIT
18	20171220		ISSUED FOR PERMIT
19	20171220		ISSUED FOR PERMIT
20	20171220		ISSUED FOR PERMIT
21	20171220		ISSUED FOR PERMIT
22	20171220		ISSUED FOR PERMIT
23	20171220		ISSUED FOR PERMIT
24	20171220		ISSUED FOR PERMIT
25	20171220		ISSUED FOR PERMIT
26	20171220		ISSUED FOR PERMIT
27	20171220		ISSUED FOR PERMIT
28	20171220		ISSUED FOR PERMIT
29	20171220		ISSUED FOR PERMIT
30	20171220		ISSUED FOR PERMIT
31	20171220		ISSUED FOR PERMIT
32	20171220		ISSUED FOR PERMIT
33	20171220		ISSUED FOR PERMIT
34	20171220		ISSUED FOR PERMIT
35	20171220		ISSUED FOR PERMIT
36	20171220		ISSUED FOR PERMIT
37	20171220		ISSUED FOR PERMIT
38	20171220		ISSUED FOR PERMIT
39	20171220		ISSUED FOR PERMIT
40	20171220		ISSUED FOR PERMIT
41	20171220		ISSUED FOR PERMIT
42	20171220		ISSUED FOR PERMIT
43	20171220		ISSUED FOR PERMIT
44	20171220		ISSUED FOR PERMIT
45	20171220		ISSUED FOR PERMIT
46	20171220		ISSUED FOR PERMIT
47	20171220		ISSUED FOR PERMIT
48	20171220		ISSUED FOR PERMIT
49	20171220		ISSUED FOR PERMIT
50	20171220		ISSUED FOR PERMIT
51	20171220		ISSUED FOR PERMIT
52	20171220		ISSUED FOR PERMIT
53	20171220		ISSUED FOR PERMIT
54	20171220		ISSUED FOR PERMIT
55	20171220		ISSUED FOR PERMIT
56	20171220		ISSUED FOR PERMIT
57	20171220		ISSUED FOR PERMIT
58	20171220		ISSUED FOR PERMIT
59	20171220		ISSUED FOR PERMIT
60	20171220		ISSUED FOR PERMIT
61	20171220		ISSUED FOR PERMIT
62	20171220		ISSUED FOR PERMIT
63	20171220		ISSUED FOR PERMIT
64	20171220		ISSUED FOR PERMIT
65	20171220		ISSUED FOR PERMIT
66	20171220		ISSUED FOR PERMIT
67	20171220		ISSUED FOR PERMIT
68	20171220		ISSUED FOR PERMIT
69	20171220		ISSUED FOR PERMIT
70	20171220		ISSUED FOR PERMIT
71	20171220		ISSUED FOR PERMIT
72	20171220		ISSUED FOR PERMIT
73	20171220		ISSUED FOR PERMIT
74	20171220		ISSUED FOR PERMIT
75	20171220		ISSUED FOR PERMIT
76	20171220		ISSUED FOR PERMIT
77	20171220		ISSUED FOR PERMIT
78	20171220		ISSUED FOR PERMIT
79	20171220		ISSUED FOR PERMIT
80	20171220		ISSUED FOR PERMIT
81	20171220		ISSUED FOR PERMIT
82	20171220		ISSUED FOR PERMIT
83	20171220		ISSUED FOR PERMIT
84	20171220		ISSUED FOR PERMIT
85	20171220		ISSUED FOR PERMIT
86	20171220		ISSUED FOR PERMIT
87	20171220		ISSUED FOR PERMIT
88	20171220		ISSUED FOR PERMIT
89	20171220		ISSUED FOR PERMIT
90	20171220		ISSUED FOR PERMIT
91	20171220		ISSUED FOR PERMIT
92	20171220		ISSUED FOR PERMIT
93	20171220		ISSUED FOR PERMIT
94	20171220		ISSUED FOR PERMIT
95	20171220		ISSUED FOR PERMIT
96	20171220		ISSUED FOR PERMIT
97	20171220		ISSUED FOR PERMIT
98	20171220		ISSUED FOR PERMIT
99	20171220		ISSUED FOR PERMIT
100	20171220		ISSUED FOR PERMIT

larry podhora/ architect
1882 DAVENPORT AVENUE NORTH, VANCOUVER, B.C. V6L 0G2

PROJECT NAME:
MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

PROPOSED BUILDINGS FOR SRL & TRAXXON: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE:
BUILDING FOR SRL MAIN FLOOR PLAN

SCALE: As Indicated

DRAWN BY: [Signature]

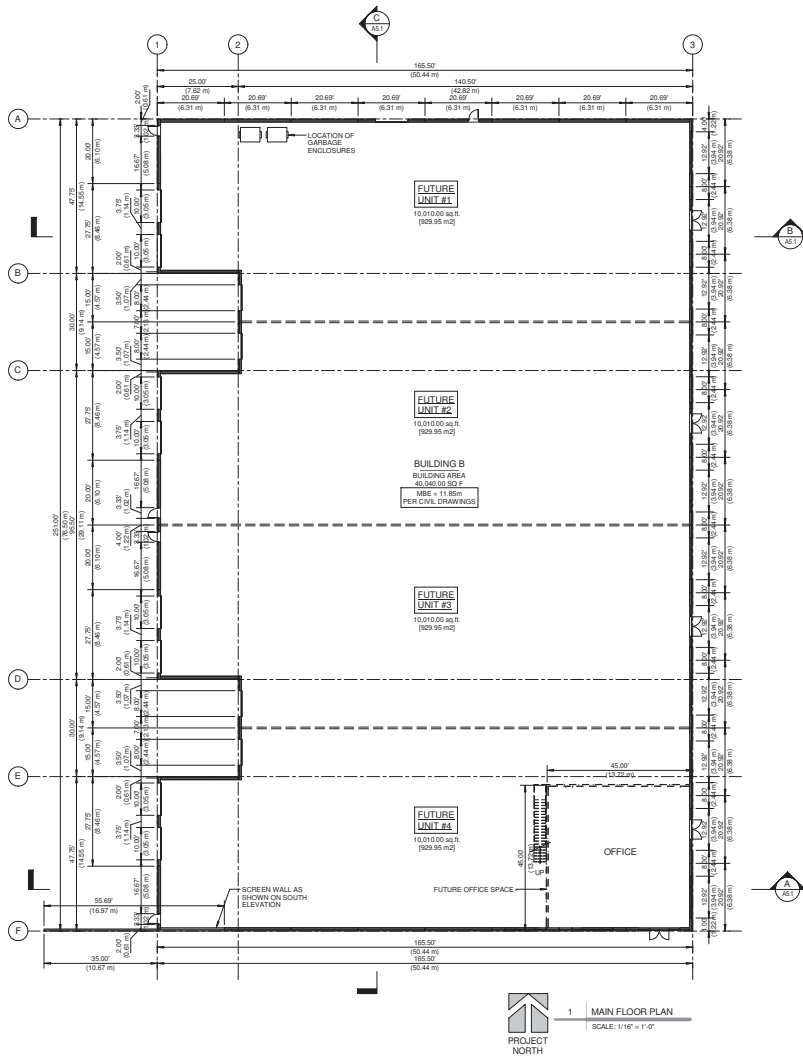
CHECKED BY: [Signature]

PROJECT NO.: 10025

DRAWING NO.:

A3.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



1 MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTES

- SEE SCHEDULE DRAWING FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.**
- EXIT SIGNAGE**
EXIT SIGNAGE TO BE PROVIDED PER ELECTRICAL DRAWINGS.
- FINISHES**
FINISHES ARE NOT SHOWN ON THESE DRAWINGS. FINISHES ARE TO BE SPECIFIED BY OWNER OR OWNER'S INTERIOR DESIGNER AT THE OWNER'S REQUEST, AND INCLUDES ALL INTERIOR FINISHES INCLUDING MILLWORK, CEILING TYPES AND INTERIOR SIGNAGE. NEITHER THE KRAHN GROUP OF COMPANIES OR LARRY PODHORA ARCHITECT HAVE BEEN RETAINED TO CHOOSE, SPECIFY OR DESIGN INTERIOR FINISHES, MILLWORK OR INTERIOR SIGNAGE, AND THEREFORE ASSUME NO LIABILITY OR RESPONSIBILITY FOR SELECTED FINISHES, THEIR INSTALLATION OR THEIR PERFORMANCE. NEVERTHELESS, ALL FINISHES SELECTED BY OWNER OR OWNER'S REPRESENTATIVE MUST COMPLY WITH CURRENT PROVINCIAL BUILDING CODE, CURRENT EDITION, AND MUST MEET THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS CONTAINED WITHIN.
- DOOR SIGNAGE**
ALL DOOR NOT SPECIFIED IN DOOR AND DOOR HARDWARE SCHEDULE SHALL BE BY THE OWNER OR OWNER'S INTERIOR DESIGNER.
- FIRE SAFETY PLAN**
FIRE SAFETY PLAN TO BE PROVIDED BY FIRE PROTECTION CONSULTANT, INSTALLED TO THEIR REQUIREMENTS, AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
- PORTABLE FIRE EXTINGUISHERS**
FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BC FIRE CODE AND TO THE SATISFACTION OF THE FIRE PROTECTION CONSULTANT.
- SPRINKLERED BUILDING**
BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS. DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEM IS THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CONSULTANT'S DRAWINGS, PULL STATIONS AND FIRE ALARM SPECIFICATIONS FOR INSTALLATION AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.

NO.	DATE	REVISION	DESCRIPTION
2	20171108	ISSUED FOR PERMIT	
1	20171024	ISSUED FOR PERMIT	

larry podhora / architect
1602 BRADSHAW AVENUE, NORTH BURNABY, B.C. V5C 2G2

PROJECT NAME
MOZ DEVELOPMENTS

PROJECT ADDRESS
BUILDING for TRAXXON: 18725-52 AVENUE, SURREY, BC

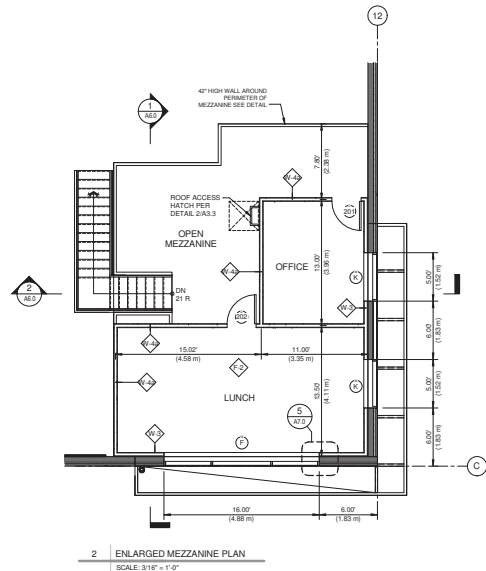
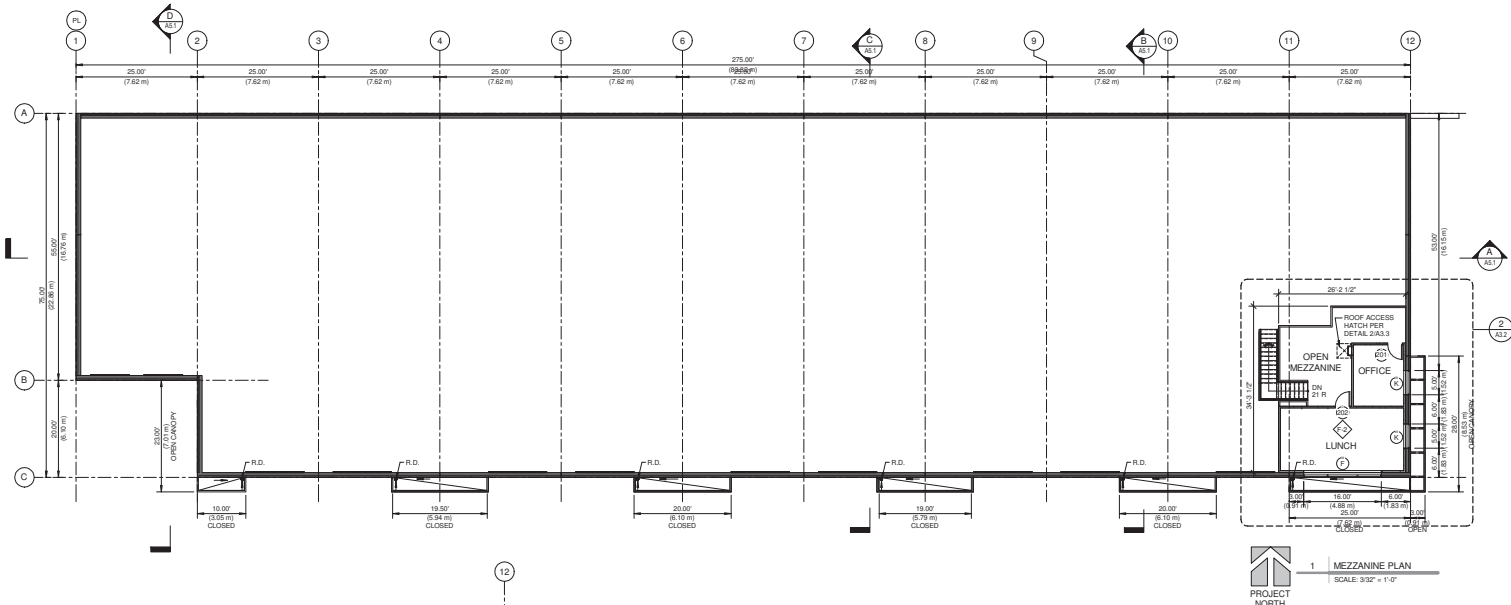
DRAWING TITLE
BUILDING FOR TRAXXON MAIN FLOOR PLANS

SCALE 1/16" = 1'-0"
DRAWN BY SV
CHECKED BY EG
PROJECT NO. 10020

DRAWING NO.

A3.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



GENERAL NOTES

SEE SCHEDULE DRAWING FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.

EXIT SIGNAGE
 EXIT SIGNAGE TO BE PROVIDED PER ELECTRICAL DRAWINGS.

FIRESTOPPING
 FIRESTOPPING SHALL COMPLY TO CANULC S1-15M STANDARDS.

FINISHES
 FINISHES ARE NOT SHOWN ON THESE DRAWINGS. FINISHES ARE TO BE SPECIFIED BY OWNER OR OWNER'S INTERIOR DESIGNER AT THE OWNER'S REQUEST, AND INCLUDES ALL INTERIOR FINISHES INCLUDING MILLWORK, CEILING TYPES AND INTERIOR SIGNAGE. NEITHER THE KRAHN GROUP OF COMPANIES OR LARRY PODHORA ARCHITECT HAVE BEEN RETAINED TO CHOOSE, SPECIFY OR DESIGN INTERIOR FINISHES, MILLWORK OR INTERIOR SIGNAGE, AND THEREFORE ASSUME NO LIABILITY OR RESPONSIBILITY FOR SELECTED FINISHES, THEIR INSTALLATION OR THEIR PERFORMANCE. NEVERTHELESS, ALL FINISHES SELECTED BY OWNER OR OWNER'S REPRESENTATIVE MUST COMPLY WITH CURRENT FIREWORK DEVELOPMENT REQUIREMENTS CONTAINED WITHIN.

DOOR SIGNAGE
 ALL DOORWAYS SPECIFIED IN DOOR AND DOOR HARDWARE SCHEDULE SHALL BE BY THE OWNER OR OWNER'S INTERIOR DESIGNER.

FIRE SAFETY PLAN
 FIRE SAFETY PLAN TO BE PROVIDED BY FIRE PROTECTION CONSULTANT, INSTALLED TO THEIR REQUIREMENTS, AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.

PORTABLE FIRE EXTINGUISHERS
 FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BC FIRE CODE AND TO THE SATISFACTION OF THE FIRE PROTECTION CONSULTANT.

SPRINKLERED BUILDING
 BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS, DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEM IS THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CONSULTANT'S DRAWINGS, PULL STATIONS AND FIRE ALARM SPECIFICATIONS FOR INSTALLATION AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.

- CODE PLAN LEGEND**
- 1 HOUR FIRE-RESISTANCE RATING
 - 2 HOUR FIRE-RESISTANCE RATING
 - ⊕ --- TRAVEL DISTANCE
 - EXIT --- EXIT SIGN
 - FD --- FIRE DOOR SIGN
 - ⊙ ⊕ ⊖ --- MALE, FEMALE OR UNISEX WASHROOM FIXTURES (IN A SPECIFIC ROOM AS SHOWN)
- SYMBOLS LEGEND**
- ⊙ ⊕ --- WINDOW OR DOOR TAGS (SEE SCHEDULES ON SHEETS AB.1.AB.2 & AB.3)
 - ⊕ --- STRUCTURAL PANEL NUMBERS (SEE STRUCTURAL DRAWINGS)
 - WALL TAG --- WALL TAG (SEE ASSEMBLY SCHEDULE ON SHEET A1.1)
 - ⊕ --- BUILDING SECTION REFERENCE (IN A SPECIFIC ROOM AS SHOWN)
 - ⊕ --- DETAIL REFERENCE
 - A --- GRIDLINE

PROJECT NUMBER

10	201711108	REVISION TO DEW PERMIT
9	201710426	REVISION TO DEW PERMIT
8	201710175	REVISION TO DEW PERMIT
7	201710120	REQUEST TO REVISION PERMIT
6	201709118	REVISION TO DEW PERMIT
5	201709102	REVISION TO DEW PERMIT
4	201708224	IN CONSULTANT COORDINATION
3	201708020	REVISION TO DEW PERMIT
2	201707420	REVISION TO DEW PERMIT
1	201707020	ISSUED TO DEW PERMIT
NO.	DATE	DESCRIPTION

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

SCALE

larry podhora / architect
 1492 BRADSHAW AVENUE NORTH, MARKHAM, B.C. V3L 0L2

PROJECT NAME
MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

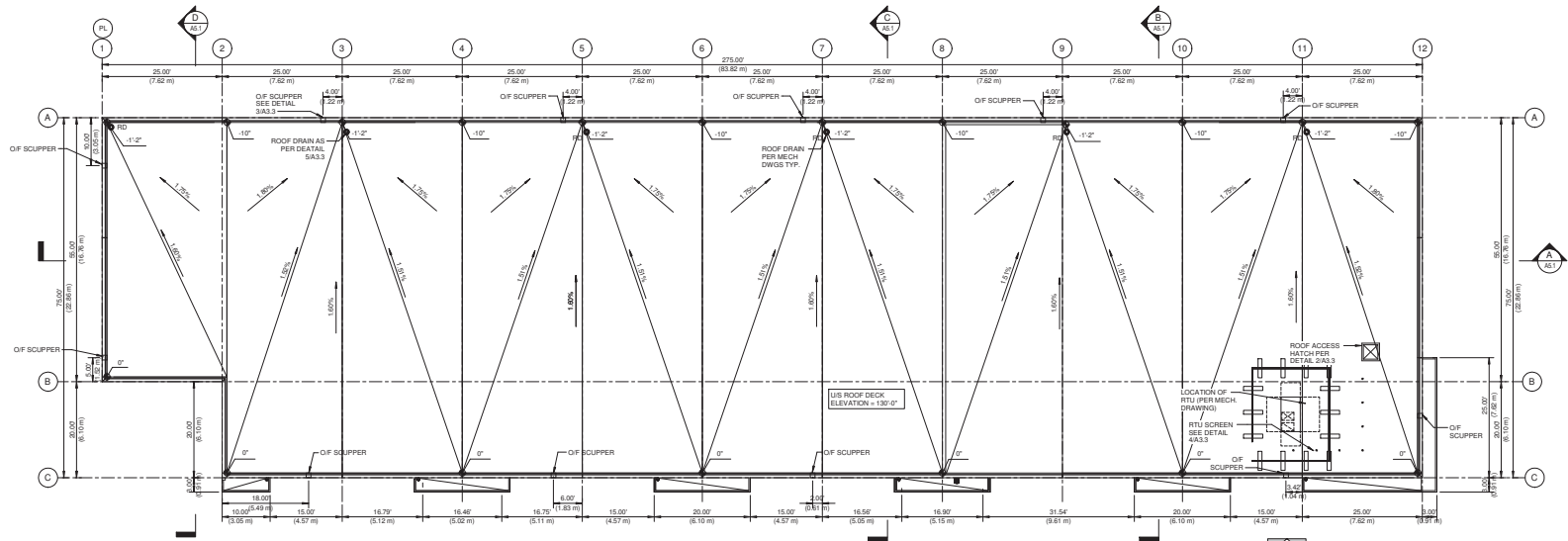
PROPOSED BUILDINGS FOR SRL & TRAXXON: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE
BUILDING FOR SRL MEZZANINE PLAN

SCALE: As indicated
 DRAWN BY: SV
 CHECKED BY: GG
 PROJECT NO.: 100255
 DRAWING NO.:

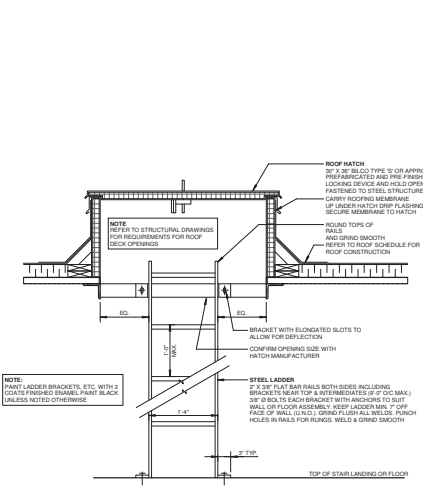
A3.2

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

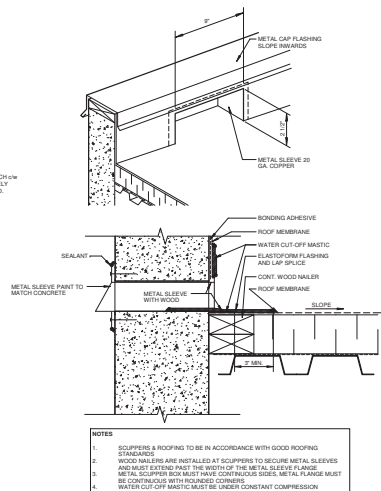


1 ROOF PLAN
SCALE: 3/32" = 1'-0"

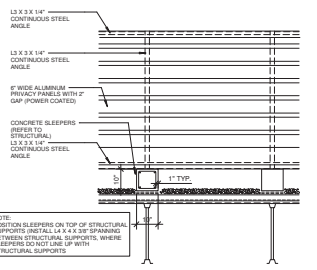
NO.	DATE	BY	DESCRIPTION
10	2017/11/08	REVISIONED BY DEV PERMIT	
9	2017/10/26	REVISIONED BY DEV PERMIT	
8	2017/10/15	REVISIONED BY DEV PERMIT	
7	2017/10/10	ISSUED TO BUILDING PERMIT	
6	2017/09/18	REVISIONED BY DEV PERMIT	
5	2017/09/18	REVISIONED BY DEV PERMIT	
4	2017/09/14	CONSULTANT COORDINATION	
3	2017/09/05	REVISIONED BY DEV PERMIT	
2	2017/08/28	ISSUED TO DEV PERMIT	
1	2017/08/28	ISSUED TO DEV PERMIT	



2 ROOF ACCESS/LADDER
SCALE: 1" = 1'-0"

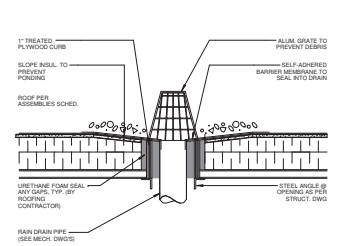


3 SCUPPER
SCALE: 3" = 1'-0"



4 ROOF TOP UNIT SCREEN
SCALE: 1/2" = 1'-0"

- ROOFING NOTES:**
1. PROVIDE ROOF SCUPPERS AS PER B.C. PLUMBING CODE.
 2. SEE MECHANICAL ENGINEERS DRAWINGS FOR ALL ROOF TOP UNITS AND OTHER PENETRATIONS.
 3. MAINTENANCE FOR BROM ROOF TO BE PROVIDED BY MANUFACTURER. (SEE TO FRAME ENGINEERING) ROOF APPLICATION BY LICENSED CONTRACTOR/APPLICATOR ONLY.
 4. SEE BUILDING SECTIONS FOR ROOF SPECIFICATION.
 5. PROVIDE SLOPER INSULATION (CHECKED) TO PREVENT POSITIVE DRAINAGE TO ROOF DRAINS AWAY FROM PENETRATIONS.
 6. CONTRACTOR IS TO CONFIRM ALL ASPECTS OF ROOF DESIGN WITH QUALIFIED ROOFING CONTRACTOR / CONSULTANT.
 7. ROOF WATER TO BE DRAINED TO CLOSED UNDERGROUND STORM SYSTEM AS PER LOCAL BYLAWS & BUILDING CODE. (SEE CIVIL & MECHANICAL ENGINEERS DRAWINGS FOR DETAILS).



5 ROOF DRAIN
SCALE: 1/2" = 1'-0"

larry podhora/ architect
1492 BRADSHAW AVE NORTH, MARKHAM, B.C. V3L 0G2

PROJECT NAME:
MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

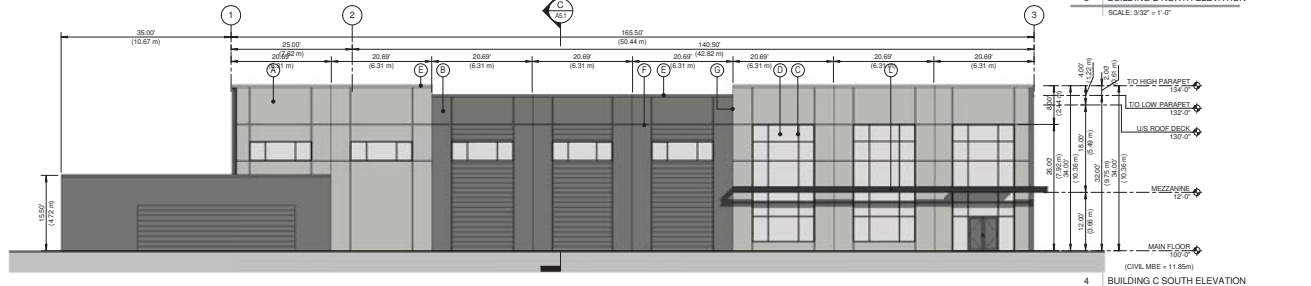
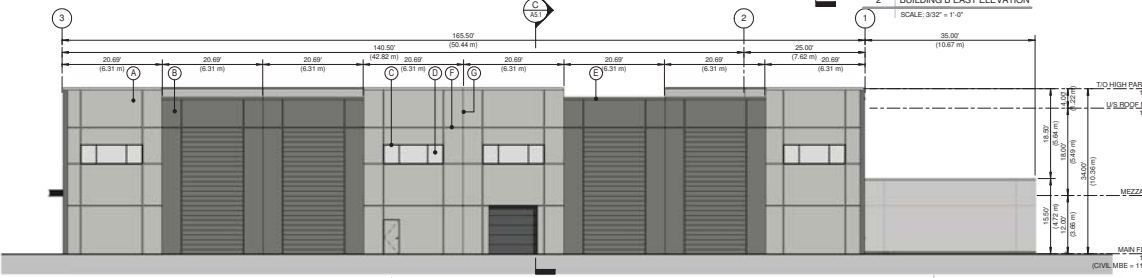
PROPOSED BUILDINGS FOR SRL & TRAXION: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE:
BUILDING FOR SRL ROOF PLAN

SCALE: As Indicated
DRAWN BY: Av
CHECKED BY: GJ
PROJECT NO.: 10025
DRAWING NO.:

A3.4

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



FINISH SCHEDULE

- A CONCRETE TILT PANEL - MAIN BUILDING COLOUR - FINISH PAINTED - C1
- B CONCRETE TILT PANEL - MAIN BUILDING COLOUR - FINISH PAINTED - C2
- C STORE FRONT FRAMING - FINISH: BLACK ANODIZED ALUMINUM
- D STOREFRONT GLAZING - FINISH: SEE WINDOW NOTES FOR GLAZING TINT
- E METAL FLASHING - FINISH: PRE-FINISHED METAL - MATCH PANEL COLOR
- F CONCRETE REVEAL
- G PANEL JOINT
- H STEEL MANDOOR AND FRAME - FINISH: MATCH THE COLOR OF THE PANEL
- J STEEL OVERHEAD DOOR - FINISH: PAINTED C2
- K SPANDREL GLAZING
- L STEEL CANOPY - FINISH: PAINTED - C3
- N FUTURE SIGNAGE LOCATION

COLOUR SCHEDULE

- C1 - BENJAMIN MOORE - GRAY OWL - 2137-60
- C2 - BENJAMIN MOORE - STREET CHIC CSP 45
- C3 - BENJAMIN MOORE - BLACK NK - 2127-20

NO.	DATE	REVISION	DESCRIPTION
1	20171108	ISSUED FOR PERMIT	
2	20171108	ISSUED TO CITY PERMIT	

DESIGN AND REVISIONS

SCALE

larry podhora / architect
1880 BRADSHAW AVENUE NORTH, ABBOTSFORD, B.C. V3E 6E2

PROJECT NAME
MOZ DEVELOPMENTS

PROJECT ADDRESS
BUILDING FOR TRAXXON: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE
BUILDING FOR TRAXXON ELEVATIONS

SCALE: As indicated
DRAWN BY: SV
CHECKED BY: EG
PROJECT NO.: 10025
DRAWING NO.:

A4.1

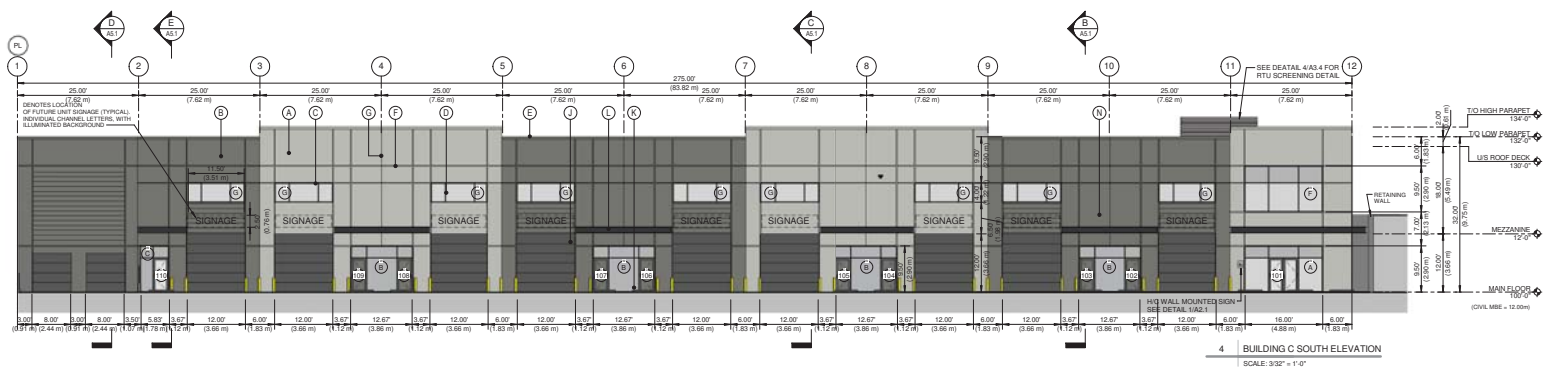
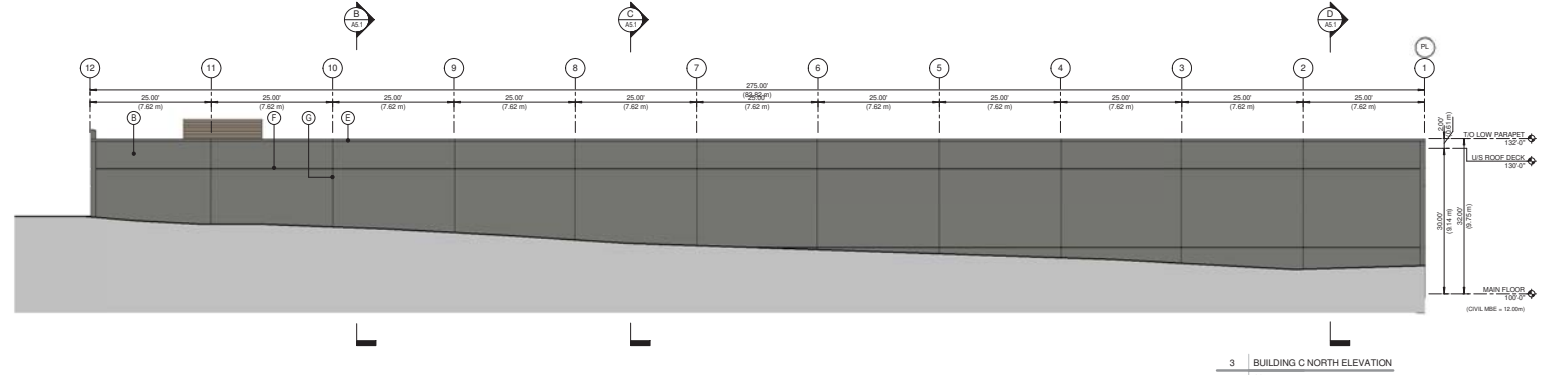
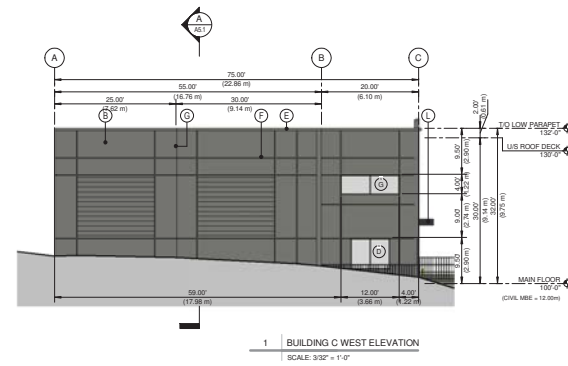
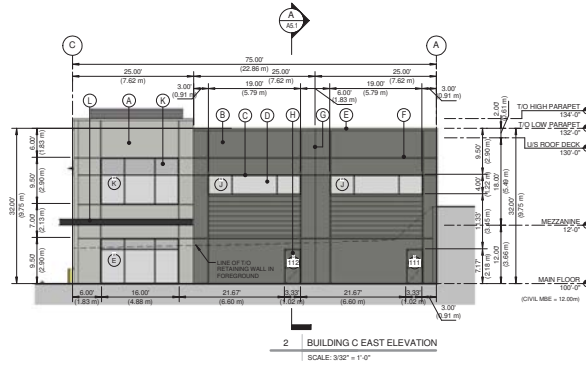
THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

FINISH SCHEDULE

- A CONCRETE TILT PANEL - MAIN BUILDING COLOUR - FINISH PAINTED - C1
- B CONCRETE TILT PANEL - MAIN BUILDING COLOUR - FINISH PAINTED - C2
- C STORE FRONT FRAMING - FINISH: BLACK ANODIZED ALUMINUM
- D STOREFRONT GLAZING - FINISH: SEE WINDOW NOTES FOR GLAZING TINT
- E METAL FLASHING - FINISH: PRE-FINISHED METAL - MATCH PANEL COLOR
- F CONCRETE REVEAL
- G PANEL JOINT
- H STEEL MANDOCOR AND FRAME - FINISH: MATCH THE COLOR OF THE PANEL
- J STEEL OVERHEAD DOOR - FINISH PAINTED - C
- K SPANDREL GLAZING
- L STEEL CANOPY - FINISH PAINTED - C3
- N FUTURE SIGNAGE LOCATION

COLOUR SCHEDULE

- C1 - BENJAMIN MOORE - GRAY OWL 2137-80
- C2 - BENJAMIN MOORE - STREET CHIC CSP-45
- C3 - BENJAMIN MOORE - BLACK INK - 2127-20



NO.	DATE	REVISION	DESCRIPTION
1	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
2	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
3	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
4	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
5	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
6	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
7	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
8	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
9	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
10	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
11	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT
12	2017-10-18	ISSUED FOR PERMIT	ISSUED FOR PERMIT

larry podhora/ architect
 1462 BRANDONS WAY NORTH, MARKHAM, B.C. V3L 0J2

PROJECT NAME:
MULTI-TENANT BUILDINGS for MDZ DEVELOPMENTS

PROPOSED BUILDINGS FOR SRL & TRAXXON: 18725 - 52 AVENUE, SURREY, BC

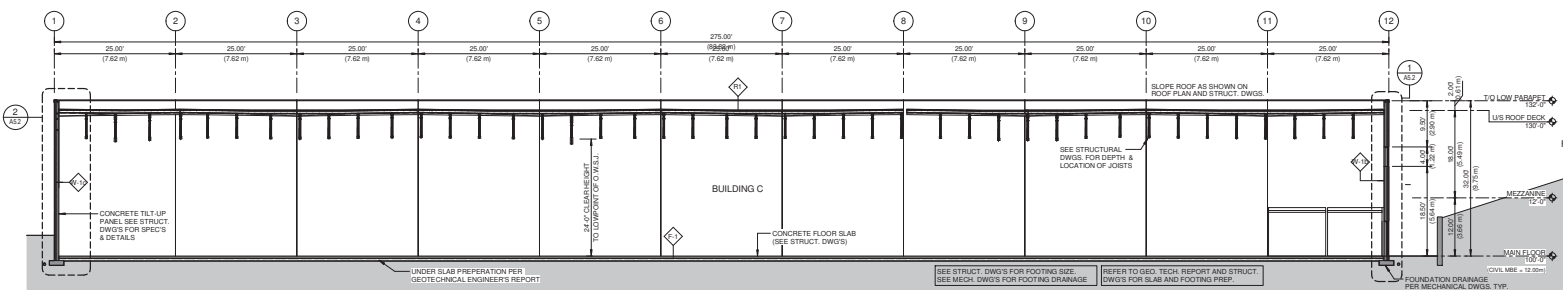
DRAWING TITLE:
BUILDING FOR SRL ELEVATIONS

SCALE: As Indicated
DRAWN BY: SV
CHECKED BY: GJ
PROJECT NO.: 10025
DRAWING NO.:

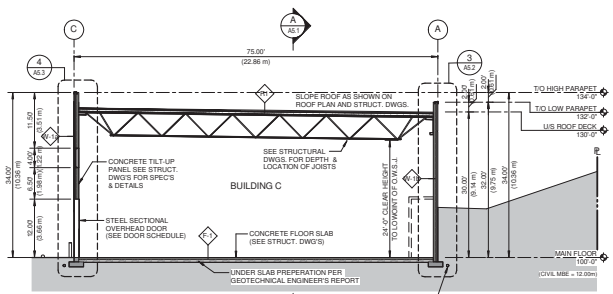
A4.2

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

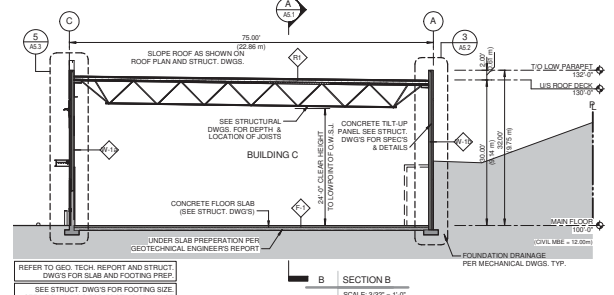
C:\Users\larry\OneDrive\Documents\Building C - Copy.dwg



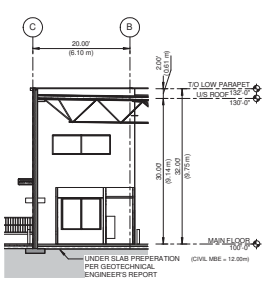
A SECTION A
 SCALE: 3/32" = 1'-0"



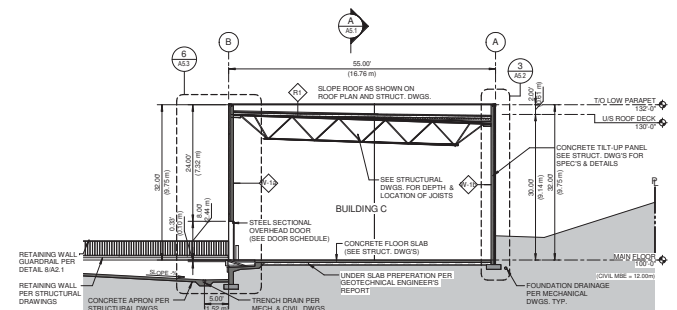
C SECTION C
 SCALE: 3/32" = 1'-0"



B SECTION B
 SCALE: 3/32" = 1'-0"



E SECTION E
 SCALE: 3/32" = 1'-0"



D SECTION D
 SCALE: 3/32" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	20170124	MM	ISSUED FOR PERMIT
2	20170124	MM	ISSUED FOR PERMIT
3	20170124	MM	ISSUED FOR PERMIT
4	20170124	MM	ISSUED FOR PERMIT
5	20170124	MM	ISSUED FOR PERMIT
6	20170124	MM	ISSUED FOR PERMIT
7	20170124	MM	ISSUED FOR PERMIT
8	20170124	MM	ISSUED FOR PERMIT
9	20170124	MM	ISSUED FOR PERMIT
10	20170124	MM	ISSUED FOR PERMIT
11	20170124	MM	ISSUED FOR PERMIT
12	20170124	MM	ISSUED FOR PERMIT
13	20170124	MM	ISSUED FOR PERMIT
14	20170124	MM	ISSUED FOR PERMIT
15	20170124	MM	ISSUED FOR PERMIT
16	20170124	MM	ISSUED FOR PERMIT
17	20170124	MM	ISSUED FOR PERMIT
18	20170124	MM	ISSUED FOR PERMIT
19	20170124	MM	ISSUED FOR PERMIT
20	20170124	MM	ISSUED FOR PERMIT
21	20170124	MM	ISSUED FOR PERMIT
22	20170124	MM	ISSUED FOR PERMIT
23	20170124	MM	ISSUED FOR PERMIT
24	20170124	MM	ISSUED FOR PERMIT
25	20170124	MM	ISSUED FOR PERMIT
26	20170124	MM	ISSUED FOR PERMIT
27	20170124	MM	ISSUED FOR PERMIT
28	20170124	MM	ISSUED FOR PERMIT
29	20170124	MM	ISSUED FOR PERMIT
30	20170124	MM	ISSUED FOR PERMIT
31	20170124	MM	ISSUED FOR PERMIT
32	20170124	MM	ISSUED FOR PERMIT
33	20170124	MM	ISSUED FOR PERMIT
34	20170124	MM	ISSUED FOR PERMIT
35	20170124	MM	ISSUED FOR PERMIT
36	20170124	MM	ISSUED FOR PERMIT
37	20170124	MM	ISSUED FOR PERMIT
38	20170124	MM	ISSUED FOR PERMIT
39	20170124	MM	ISSUED FOR PERMIT
40	20170124	MM	ISSUED FOR PERMIT
41	20170124	MM	ISSUED FOR PERMIT
42	20170124	MM	ISSUED FOR PERMIT
43	20170124	MM	ISSUED FOR PERMIT
44	20170124	MM	ISSUED FOR PERMIT
45	20170124	MM	ISSUED FOR PERMIT
46	20170124	MM	ISSUED FOR PERMIT
47	20170124	MM	ISSUED FOR PERMIT
48	20170124	MM	ISSUED FOR PERMIT
49	20170124	MM	ISSUED FOR PERMIT
50	20170124	MM	ISSUED FOR PERMIT

MULTI-TENANT BUILDINGS for MDZ DEVELOPMENTS

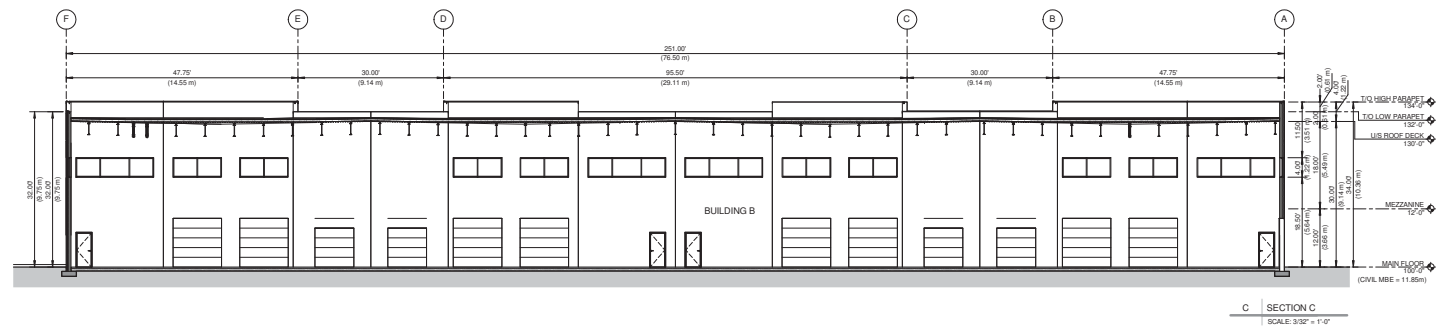
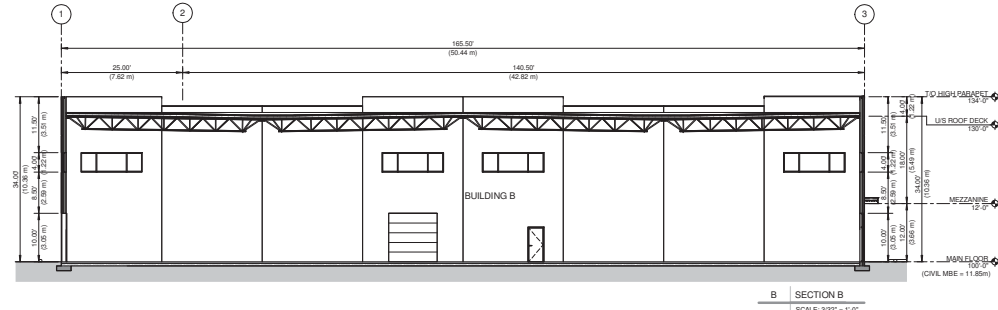
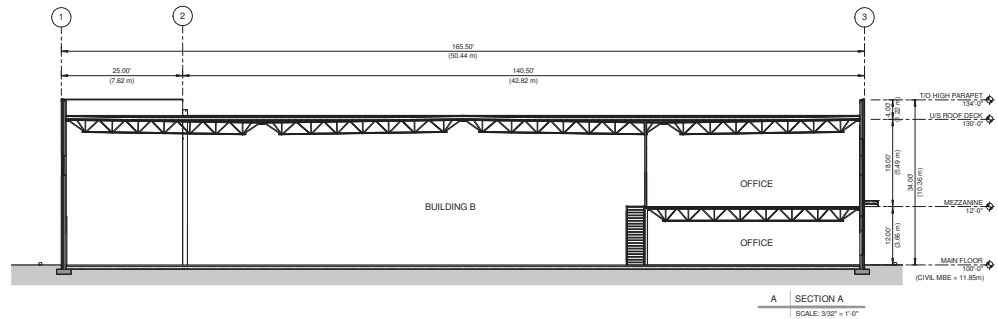
PROPOSED BUILDINGS FOR SPL & TRAXXON: 18725 - 52 AVENUE, SURREY, BC

BUILDING FOR SRL SECTIONS

SCALE:	3/32" = 1'-0"
DRAWN BY:	SV
CHECKED BY:	GS
PROJECT NO.:	10025
DRAWING NO.:	

A5.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



NO.	DATE	BY	DESCRIPTION
2	20171108	REVISOR	REVISION
1	20171024	DESIGNER	DESIGN

SCALE AND REVISIONS

SCALE

larry podhora / architect
1465 BRADSHAW WAY NORTH, MARCH, B.C. V6L 6C2

PROJECT NAME
MDZ DEVELOPMENTS

PROJECT ADDRESS
BUILDING for TRAXXON: 18725 - 52 AVENUE, SURREY, BC

DRAWING TITLE
BUILDING FOR TRAXXON SECTIONS

SCALE: 3/32" = 1'-0"
DRAWN BY: SV
CHECKED BY: EG
PROJECT NO.: 10025
DRAWING NO.:

A5.1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE
- GRAVEL SURFACE
- CHAINLINK FENCE
- TREE PROTECTION FENCING
- PLANT KEY
- EXISTING TREE

FILE FOLDER NO. 7917-0077-00

10	08/11/17	RE-ISSUED FOR DP
11	24/11/17	RE-ISSUED FOR DP
12	20/01/17	RE-ISSUED FOR DP
13	23/01/17	ISSUED FOR BP
14	07/02/17	REVISED PER COMMENTS
15	30/05/17	REVISED FOR COORDINATION
16	18/05/17	ISSUED FOR COORDINATION
17	02/05/17	ISSUED FOR COORDINATION
18	26/04/17	RE-ISSUED FOR DP
19	28/01/17	ISSUED FOR DP

NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS

SCALE

DRAWING TO BE PRINTED AT 11X17 SIZE
CIVIL ENGS. PLAN UPDATED NOV. 9, 2017



PROJECT NAME:
MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

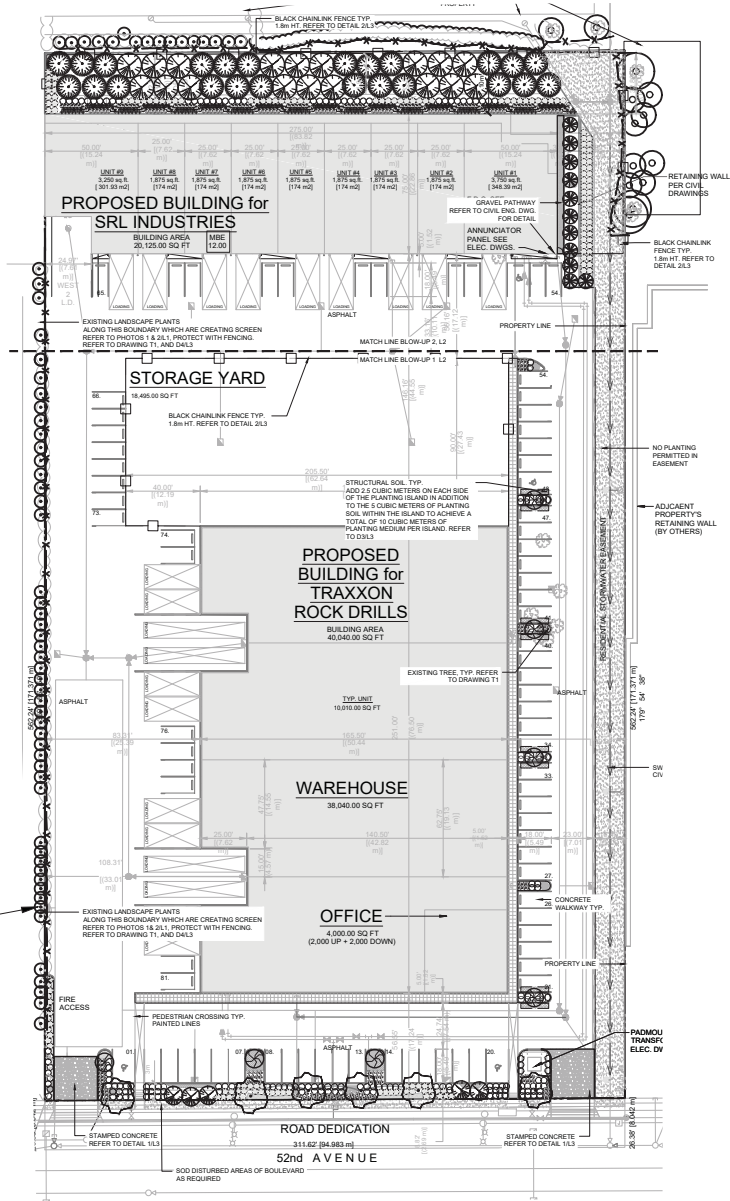
PROJECT ADDRESS:
18725 - 52nd AVE. SURREY, B.C.

DRAWING TITLE:
OVERALL LANDSCAPE PLAN

SCALE: NTS
DESIGN: ST
CHECKED: ST
PROJECT NO.: 18055

DRAWING NO.: **L1**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.



OVERALL LANDSCAPE PLAN NTS

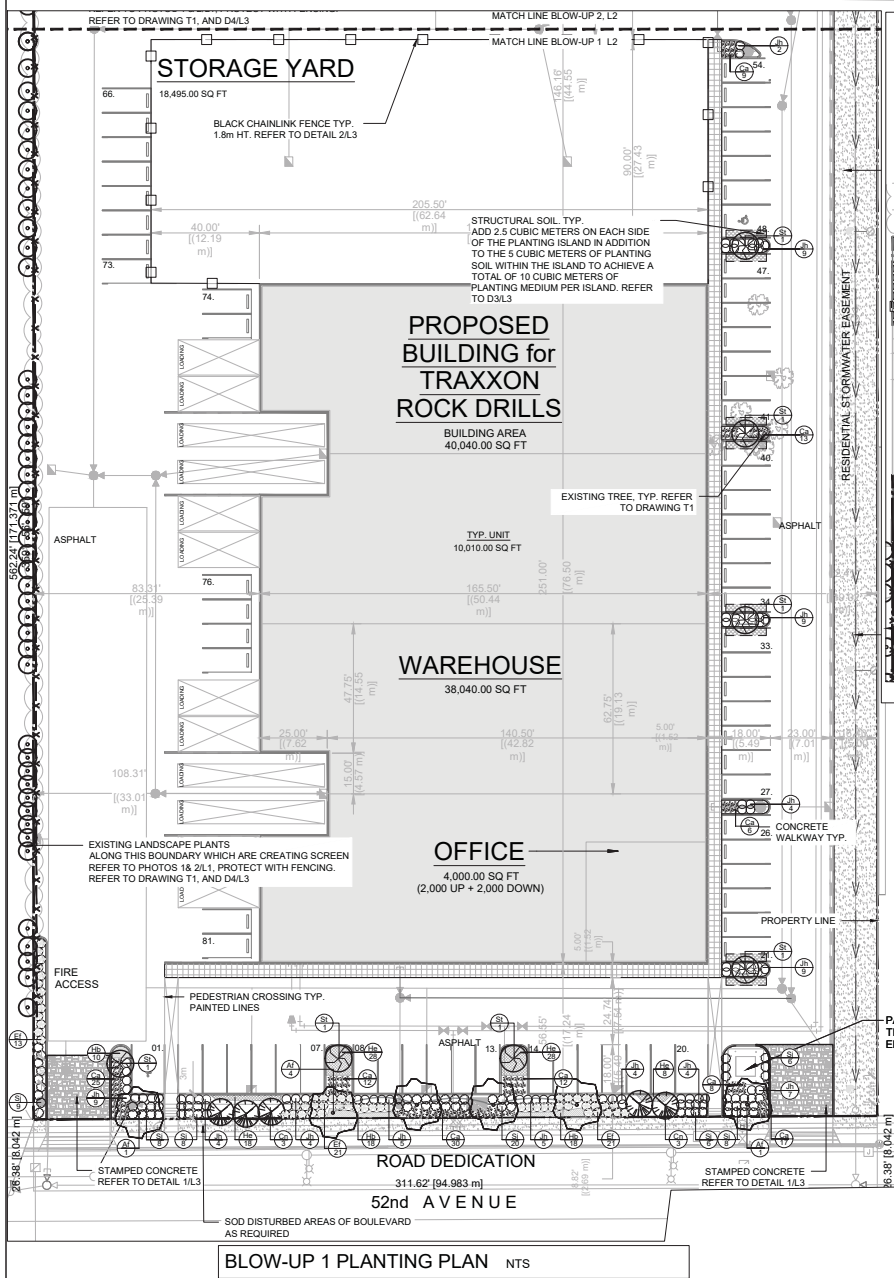


PHOTO 2. EXISTING LANDSCAPE CONTINUES ALONG WEST PERIMETER N.T.S.

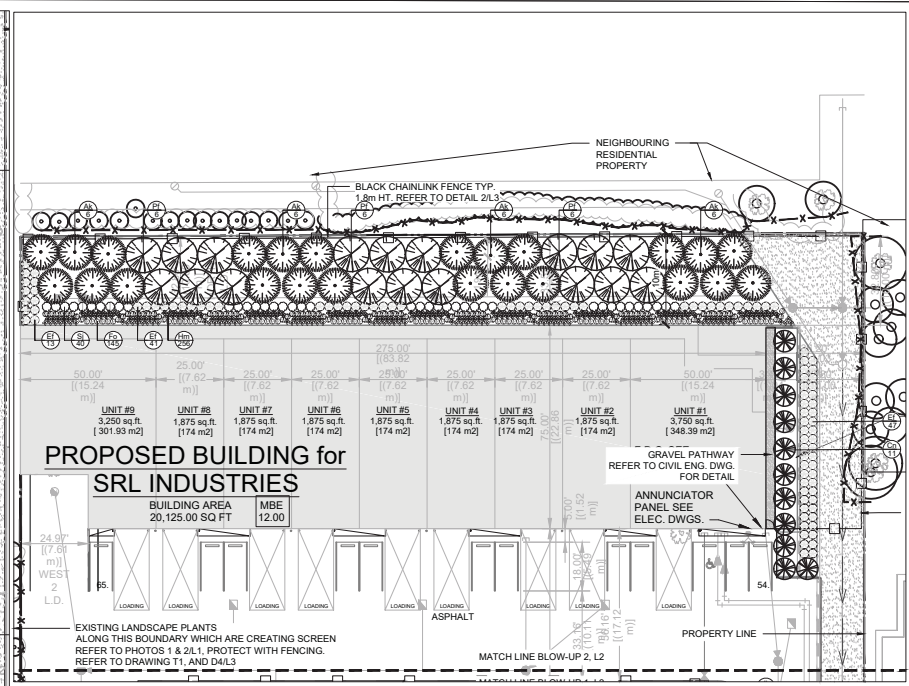


PHOTO 1. EXISTING LANDSCAPE AT WEST PERIMETER OF PROPERTY N.T.S.

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERLY APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.



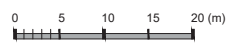
BLOW-UP 1 PLANTING PLAN NTS



BLOW-UP 2 PLANTING PLAN NTS

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
DECIDUOUS TREES					
AJ	6	Acer Freemanii 'Jeffersred'	Autumn Blaze Maple	60mm cal.	W.B.
St	7	Sorbus x thuringica 'Fastigiat'	Columnar Oak-leaf Mountain Ash	60mm cal.	W.B.
CONIFEROUS TREES					
Ak	24	Abies koreana	Korean Fir	2.5m ht.	W.B.
Cn	11	Chamaecyparis nootkatensis 'Pendula'	Weeping Nootka Falsecypress	2.5m ht.	W.B.
Pf	23	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	2.5m ht.	W.B.
SHRUBS					
Ef	156	Euonymus fortunei 'Gold Tip'	Gold Tip Euonymus	50cm ht.	#2 Pot
Jh	75	Juniperus horizontalis 'Hughes'	Hughes Juniper	40cm ht.	#2 Pot
Sj	107	Spiraea japonica 'Goldflame'	Goldflame Spirea	60cm ht.	#3 Pot
PERENNIALS AND ORNAMENTAL GRASSES					
Ca	125	Calamagrostis acutiflora 'Overdam'	Variegated Feather Reed Grass		#1 Pot
Fo	145	Festuca ovina 'Elijah Blue'	Elijah Blue Fescue		#1 Pot
Hm	255	Hakonechloa macra 'Aureola'	Golden Variegated Hakone Grass		#1 Pot
He	62	Hemerocallis 'Mountain Majesty'	Mountain Majesty Daylily		#1 Pot
Hb	46	Heuchera x Beaujolais'	Beaujolais Coral Bells		#1 Pot



LEGEND

- Turf Grass
- Concrete Sidewalk Paving
- Stamped Concrete
- Gravel Surface
- Chainlink Fence
- Tree Protection Fencing
- Plant Key
- Existing Tree

FILE FOLDER NO. 7917-0077-00

- 01 08/11/17 RE-ISSUED FOR DP
- 02 24/10/17 RE-ISSUED FOR DP
- 03 20/09/17 RE-ISSUED FOR DP
- 04 23/08/17 ISSUED FOR BP
- 05 07/07/17 REVISED PER COMMENTS
- 06 30/05/17 REVISED FOR COORDINATION
- 07 18/05/17 ISSUED FOR COORDINATION
- 08 02/05/17 ISSUED FOR COORDINATION
- 09 26/04/17 RE-ISSUED FOR DP
- 10 24/03/17 ISSUED FOR DP

ISSUED & REVISIONS:

SCALE:

L2

DRAWING TO BE PRINTED AT 11X17 SIZE
CIVIL ENG. PLANS UPDATED NOV. 9, 2017

MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

PROJECT ADDRESS:
1875 - 52nd AVE. SURREY, B.C.

DRAWING TITLE:
PLANTING PLAN BLOW-UPS

SCALE: AS NOTED

DRAWN: ST

CHECKED: ST

PROJECT NO: 18055

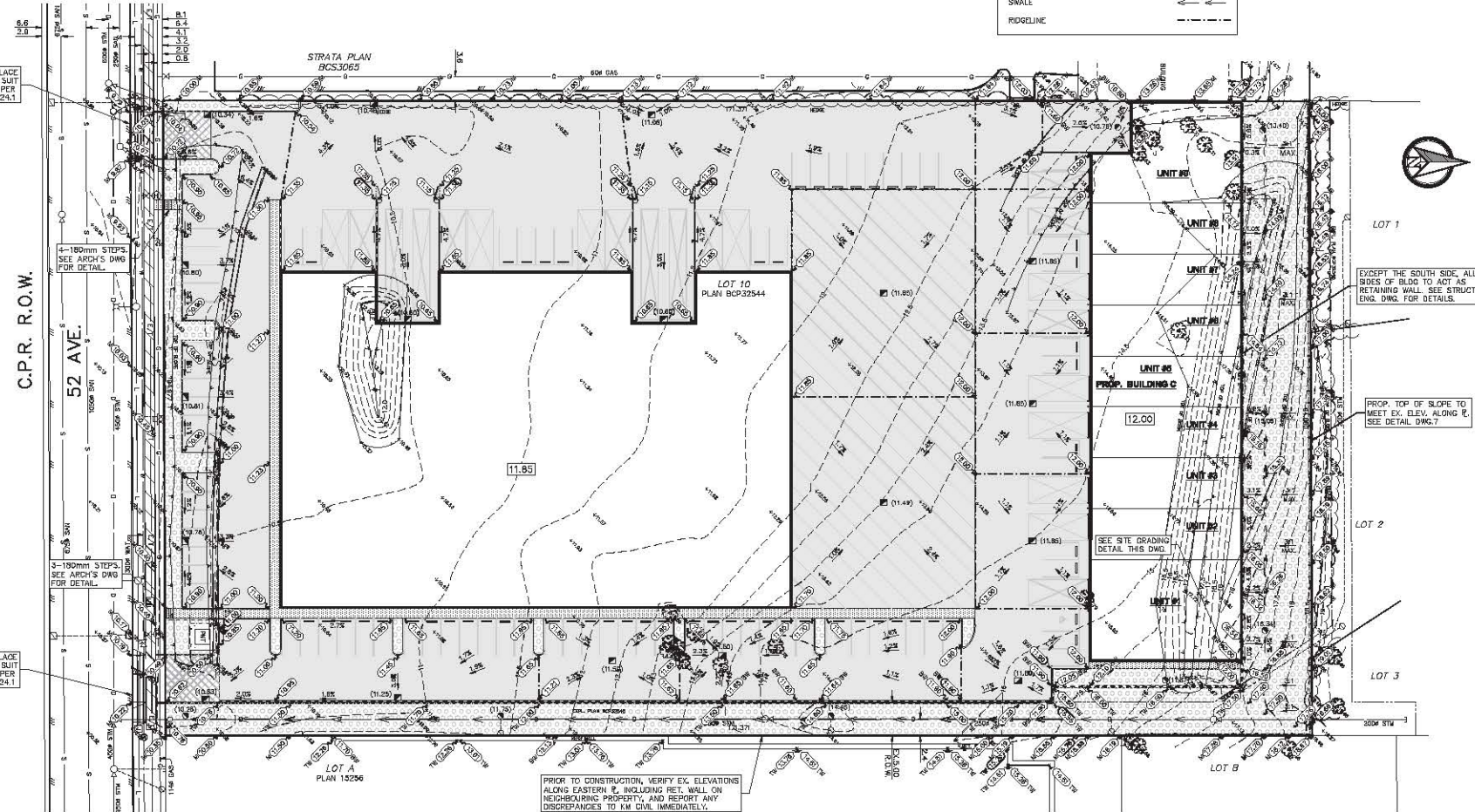
DRAWING NO:

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

BEFORE YOU DIG
 EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WHERE POTENTIAL CONFLICTS EXIST. CONTRACTOR TO CONTACT TOLL FREE (800) 467-8888 AND 800-467-8888 PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPROPRIATELY ADJUST ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO K.M. CIVIL CONSULTANTS IMMEDIATELY.

- NOTES:**
1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
 2. REFER TO ARCHITECTURAL PLANS FOR DETAILED CURB AND BUILDING ALIGNMENT/LAYOUT, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STILES, COLOURING, AND TYPES.
 3. ADJUST ALL EXISTING MANHOLE, VALVE, ETC. RIM ELEVATIONS AS REQUIRED TO MEET PROPOSED GRADES.

SITE GRADING LEGEND:		
FIRST FLOOR ELEVATION OF BUILDING	3.50	LANDSCAPED AREA - SEE LANDSCAPE ARCHITECTS PLANS DETAILS
EXISTING SURVEY ELEVATION	18.00	
PROPOSED GRADE ELEVATION	18.00	PROPOSED CONCRETE PAVEMENT STRUCTURE PER GEOTECHNICAL RECOMMENDATIONS
DIRECTION OF OVERLAND FLOW	→	
EXISTING GROUND CONTOUR	~	PROPOSED ASPHALT PAVEMENT STRUCTURE PER GEOTECHNICAL RECOMMENDATIONS
CONCRETE CURB & GUTTER - SEE ARCHITECTURAL DRAWINGS FOR DETAILS.	—	
RETAINING WALL	—	PROPOSED CONCRETE SIDEWALK - SEE ARCHITECTURAL DRAWINGS FOR DETAILS
PROPOSED CATCH BASIN (RIM ELEVATION)	23.54	
PROPOSED LAWN DRAIN (RIM ELEVATION)	23.54	PROPOSED GRAVEL SIDEWALK - SEE LANDSCAPE ARCHITECTURAL DRAWINGS FOR DETAILS
SWALE	←	
RIDGELINE	—	



No.	DATE	REVISION	DRN	TECH	ENG
7	2017.11.10	RE-ISSUED FOR DP	GIL	JC	ILC
6	2017.10.24	RE-ISSUED FOR DP	GIL	JC	ILC
5	2017.10.19	REVISED SITE PLAN	GIL	JC	ILC
4	2017.08.22	ISSUED FOR BUILDING PERMIT	NWP	SJB	ILC
3	2017.07.06	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP	GL	ILC
2	2017.06.02	ISSUED FOR DEVELOPMENT PERMIT	NWP	GL	ILC

LEGAL DESCRIPTION:
 LOT 10, SECTION 4, TOWNSHIP 8, NEW WESTMINSTER DISTRICT
 PLAN BCP232544

REMARKS:
 ELEVATIONS ARE IN METRES AND DERIVED FROM GEODETIC DATUM (CVD28GVRD), MONUMENT No.6165 LOCATED AT 184 ST. AND 52 AVE.
 EL=+6.238m

KM Civil CONSULTANTS LTD.

ABBOTSFORD OFFICE
 # 400 - 3407 Gladys Avenue
 Abbotsford, BC V2S 2E9
 Tel: 604-853-8831 Fax: 604-853-1580

VANCOUVER OFFICE
 # 110 - 2520 Vinland Way
 Vancouver, BC V6M 0C4
 Tel: 604-294-6862 Fax: 604-294-6865

CAPO CONSTRUCTION

2 - 169 GOLDEN DRIVE
 COQUITLAM, BC V3K 6T1
 ATTN: DAVID DALLAZANNA
 (604) 464-3942

SITE GRADING PLAN

BUILDING 'C'
 18725-52 AVENUE

DESIGNED	DRAWN	REVIEWED	APPROVED	SCALE	NO. OF SHEETS
ILC	NWP	SIM	ILC	1:300	1/3

SURVEY PROJECT NUMBER	DRAWING NO.
160555-C	2
K.M. CIVIL PROJECT NO.	7
DATE	REVISION NO.
FEBRUARY, 2017	7

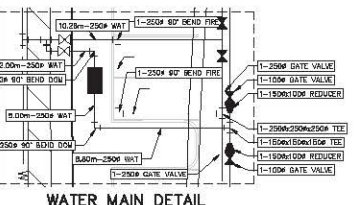
BEFORE YOU DIG
 EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE OBTAINED FROM A COMBINATION OF KNOWLEDGE AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEY. THIS INFORMATION IS NOT NECESSARILY COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. WHERE POTENTIAL CONFLICTS EXIST, CONTRACTOR TO CONTACT TELUS, B.C. HYDRO, PORTER AND BONE OR THE LOCAL PRIOR TO CONSTRUCTION TO DETERMINE LOCATIONS OF UTILITIES AND APPROPRIATE REQUIREMENTS FOR ADJUSTMENT AND DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.

STORM MANHOLE INFORMATION

STW MH 01 (1200x)	STW MH 05 (1200x)	STW MH 09 (1200x)
RIM = 9.48 INV. = 8.54 INVS. = 8.58	RIM = 11.04 INV. = 8.15 INVS. = 8.18	RIM = 11.50 INV. = 8.32 INVS. = 8.34
STW MH 02 (1200x)	STW MH 06 (1200x)	STW MH 10 (1200x)
RIM = 10.74 INV. = 9.81 INVS. = 9.78	RIM = 11.20 INV. = 8.97 INVS. = 8.81	RIM = 10.84 INV. = 9.88 INVS. = 9.79
STW MH 03 (1200x)	STW MH 07 (1200x)	STW MH 11 (1200x)
RIM = 11.84 INV. = 9.81 INVS. = 9.87	RIM = 11.20 INV. = 8.97 INVS. = 8.81	RIM = 10.84 INV. = 9.88 INVS. = 9.79
STW MH 04 (1200x)	STW MH 08 (1200x)	STW MH 12 (1200x)
RIM = 10.74 INV. = 9.81 INVS. = 9.78	RIM = 11.20 INV. = 8.97 INVS. = 8.81	RIM = 10.84 INV. = 9.88 INVS. = 9.79

SANITARY MANHOLE INFORMATION

SAN MH 01 (1050x)	SAN MH 02 (1050x)	SAN MH 03 (1050x)
RIM = 10.84 INV. = 9.88 INVS. = 9.84	RIM = 10.74 INV. = 9.88 INVS. = 9.79	RIM = 11.84 INV. = 9.88 INVS. = 9.84
SAN MH 04 (1050x)	SAN MH 05 (1050x)	SAN MH 06 (1050x)
RIM = 10.84 INV. = 9.88 INVS. = 9.84	RIM = 10.84 INV. = 9.88 INVS. = 9.84	RIM = 10.84 INV. = 9.88 INVS. = 9.84
SAN MH 07 (1050x)	SAN MH 08 (1050x)	SAN MH 09 (1050x)
RIM = 10.84 INV. = 9.88 INVS. = 9.84	RIM = 10.84 INV. = 9.88 INVS. = 9.84	RIM = 10.84 INV. = 9.88 INVS. = 9.84



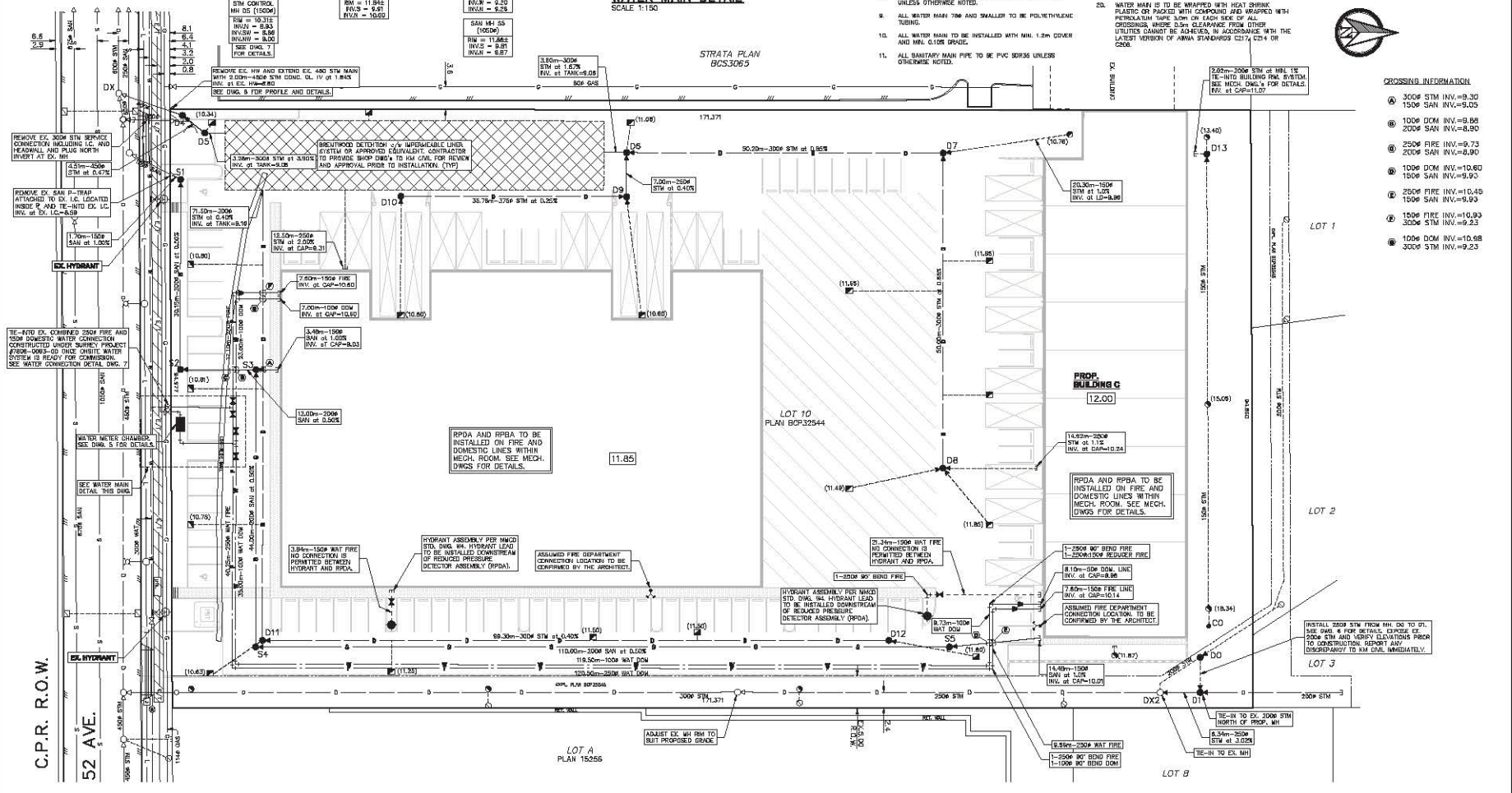
NOTES:

1. ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
2. EXPOSE AND VERIFY DEPTH AND LOCATION OF ALL TE-IN POINTS AND EXISTING UNDERGROUND SERVICES (DRAINAGE, PROPOSED STORM, SANITARY AND WATER MAINS) PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.
3. SEE ARCHITECTURAL DRAWINGS FOR DETAILED CURBS AND BUILDING ALIGNMENT/PLACEMENT, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STYLOS, COLUPPING, AND TYPIS.
4. ALL WORKS AND MATERIALS TO BE IN ACCORDANCE WITH THE BC PLUMBING CODE, 1960 (2012 EDITION (2000)), AND THE SURVEY SUPPLEMENTARY SPECIFICATIONS.
5. REFER TO MECHANICAL PLANS FOR ALL SERVICING DETAILS WITHIN ONE METRE OF THE BUILDING.
6. TYPE 1 BEDDING AND 100MM GRANULAR BACKFILL PER MCD STD. DIV. 04.
7. ALL WATER MAIN PIPE 1000 OR OVER TO BE PAD 0800 UNLESS OTHERWISE NOTED.
8. ALL WATER FITTINGS TO BE D.I.
9. ALL WATER MAIN PIPE 750M AND SMALLER TO BE POLYETHYLENE TUBING.
10. ALL WATER MAIN TO BE INSTALLED WITH MIN. 1.2M COVER AND MIN. 0.15M SPREAD.
11. ALL SANITARY MAIN PIPE TO BE PVC 3000S UNLESS OTHERWISE NOTED.

12. ALL TRENCH DRAIN AND WALL DRAIN LEADS TO BE 100MM DIAMETER PVC DRY AT MINIMUM 1.0M UNLESS OTHERWISE NOTED.
13. ALL STORM MAIN PIPE TO BE PVC 3000S UNLESS OTHERWISE NOTED.
14. ALL LAWN DRAINS TO BE 600W x 1/4 150W PVC 3000S LEAD TO MIN. 1.0M UNLESS OTHERWISE NOTED.
15. ALL STORM MAINS TO BE INSTALLED w/ 1/4 GASKETED JOINTS.
16. ALL DITCH BARRIERS TO BE AS PER DRAINAGE PLAN 23 (GRADE) AND NO. 24 (FRAME) OR APPROVED EQUIVALENT w/ 150W PVC 3000S LEAD TO MIN. 1.0M UNLESS OTHERWISE NOTED.
17. ALL STORM CONNECTIONS TO EXISTING BUILDING SHOPS, ROOFS TO BE BY OTHERS.
18. ALL SANITARY AND WATER MAINS AND CONNECTIONS WITH LESS THAN 1.0M COVER TO BE CONCRETE ENCASED PER MCD STD. DIV. 07.
19. ALL STORM PIPES WITH LESS THAN 1.0M COVER TO BE CONCRETE ENCASED PER MCD STD. DIV. 07 OR DRY PIPE IN ACCORDANCE WITH BRITISH COLUMBIA BUILDING CODE, 2012, PLUMBING SERVICES (PART 7).
20. WATER MAIN IS TO BE WRAPPED WITH HEAT SHRINK PLASTIC OR PACKED WITH COMPOUND AND WRAPPED WITH PETROLATUM TAPE 10M ON EACH SIDE OF ALL CROSSINGS, WHERE DOWN CLEARANCES FROM OTHER UTILITIES CANNOT BE ACHIEVED, IN ACCORDANCE WITH THE LATEST VERSION OF ANNA STRANDBERG CITY, BC OF CAN.
21. RESTATE ALL DISTURBED BULKHEADS, SHOULDERS, CONCRETE AND ASPHALT SIDEWALKS AND DRIVEWAYS TO ORIGINAL OR BETTER CONDITION.
22. ADJUST ALL EXISTING MANHOLE, VALVE, ETC. RIM ELEVATIONS AS REQUIRED TO MEET PROPOSED GRADES.
23. ALL WATER MAIN TEES AND BONDS TO HAVE THRUST RESTRAINTS.
24. ALL WATER MAIN JOINTS TO BE FULLY RESTRAINED USING UNI-FLANGE RESTRAINTS OR APPROVED ALTERNATE.
25. RPDA AND RPBA TO BE INSTALLED ON FIRE AND DOMESTIC LINES WITHIN MECH. ROOM. SEE MECH. DRAWINGS FOR DETAILS.
26. ALL STORM MANHOLES TO BE 1200MM DRY WELL BARRIERS.



STRATA PLAN 9553063



CROSSING INFORMATION

1	300W STW INV.=9.30
2	150W SAN INV.=9.25
3	100W DOM INV.=8.98
4	200W SAN INV.=8.90
5	250W FIRE INV.=8.73
6	200W SAN INV.=8.90
7	100W DOM INV.=10.60
8	150W SAN INV.=9.90
9	250W FIRE INV.=10.45
10	300W STW INV.=9.93
11	150W DOM INV.=10.68
12	100W STW INV.=9.23

7	2017.11.10	RE-ISSUED FOR DP	GIL JC ILC	ISSUE DESCRIPTION
6	2017.10.24	RE-ISSUED FOR DP	GIL JC ILC	LOT 10, SECTION 8, TOWNSHIP 8, NEW WESTMINSTER DISTRICT PLAN BCP32544
5	2017.10.19	REVISED SITE PLAN	GIL JC ILC	
4	2017.08.22	ISSUED FOR BUILDING PERMIT	NWP SJB ILC	
3	2017.07.06	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP GL ILC	ELEVATIONS ARE IN METRES AND DERIVED FROM GEODETIC DATUM (CHD25GVD), MONUMENT No.8168 LOCATED AT 184 ST. AND 52 AVE.
2	2017.06.02	ISSUED FOR DEVELOPMENT PERMIT	NWP GL ILC	EL#6.238m
No.	DATE	REVISION	DRN TECH ENG	

KM Civil CONSULTANTS LTD.
 ABBOTSFORD OFFICE
 400 - 3407 Gladys Avenue
 Abbotsford, BC V2S 5E9
 Tel: 604-853-8831 Fax: 604-853-1580
 VANCOUVER OFFICE
 #110-2520 Vined Way
 Vancouver, BC V5M 0C4
 Tel: 604-294-6662 Fax: 604-294-6665

CAPO CONSTRUCTION
 #2 - 169 GOLDEN DRIVE
 COQUITLAM, BC V3K 6T1
 ATTN: DAVID DALLAZANNA
 (604) 464-3942

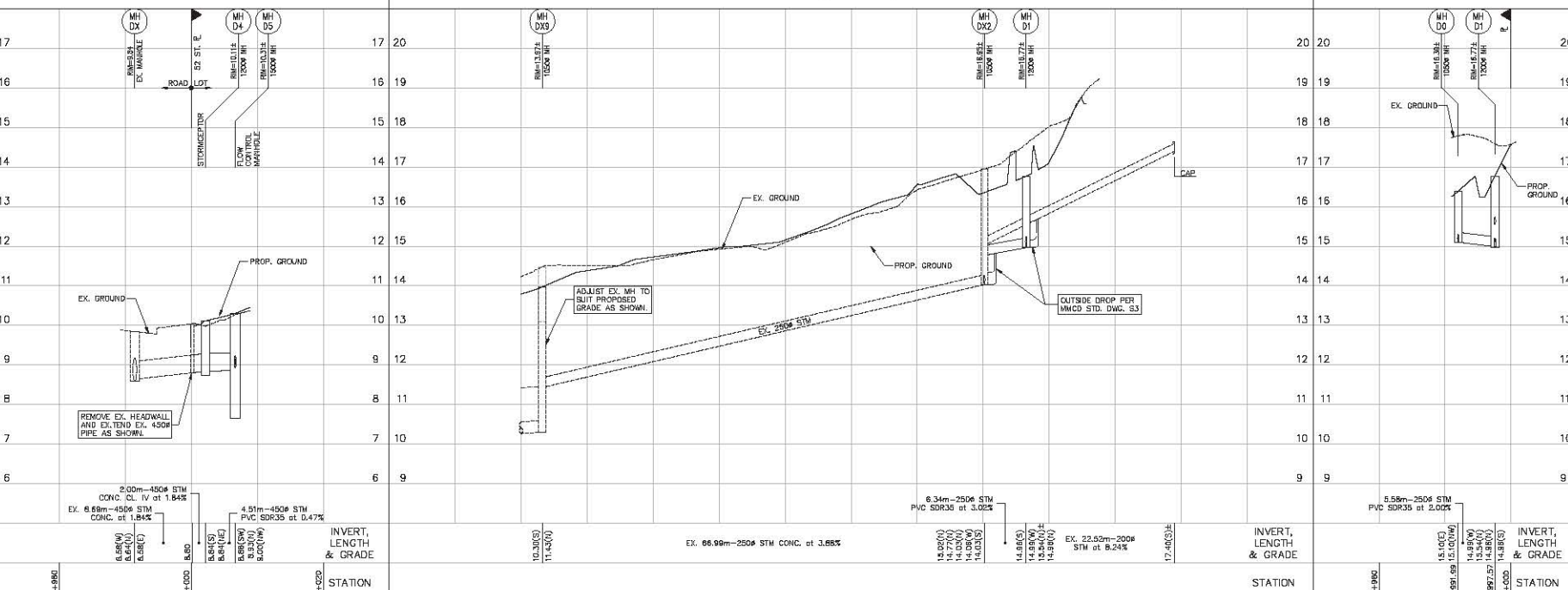
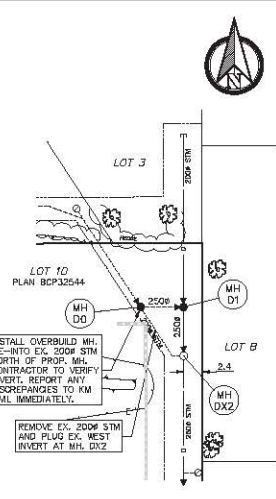
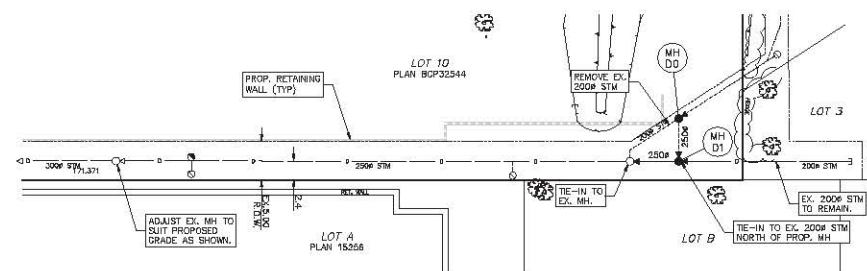
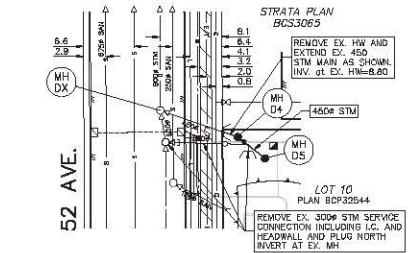
SITE SERVING PLAN
 BUILDING 'C'
 18725-52 AVENUE
 SCALE: 1:300
 SHEET NO. 3
 DATE: FEBRUARY, 2017

BEFORE YOU DIG
 EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR BEFORE POTENTIAL CONFLICTS EXIST. ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.



NOTES:

- SEE DRAWING 3 FOR ALL NOTES AND DETAILS.



No.	DATE	REVISION	DRN	TECH	ENG
7	2017.11.10	RE-ISSUED FOR DP	GIL	JC	ILC
6	2017.10.24	RE-ISSUED FOR DP	GIL	JC	ILC
5	2017.10.19	REVISED SITE PLAN	GIL	JC	ILC
4	2017.08.22	ISSUED FOR BUILDING PERMIT	NWP	SJB	ILC
3	2017.07.06	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP	GL	ILC
2	2017.06.02	ISSUED FOR DEVELOPMENT PERMIT	NWP	GL	ILC

KM Civil CONSULTANTS LTD.

ABBOTSFORD OFFICE
 # 400 - 34077 Gladys Avenue
 Abbotsford, BC V2S 2E9
 Tel: 604-853-8831 Fax: 604-853-1580

VANCOUVER OFFICE
 # 110 - 2520 Vinland Way
 Vancouver, BC V5M 0C4
 Tel: 604-294-6662 Fax: 604-294-6665

CAPO CONSTRUCTION

#2 - 169 GOLDEN DRIVE
 COQUITLAM, BC V3K 6T1
 ATTN: DAVID DALLAZANNA
 (604) 464-3942

DRAINAGE WORKS PROFILES

BUILDING 'C'

18725-52 AVENUE

DESIGNED: ILC DRAWN: NWP REVIEWED: SIM APPROVED: ILC SCALE: HORIZ: 1:300 VERT: 1:50 DATE: FEBRUARY, 2017 REVISION NO. 7

SUBMITTAL PROJECT NUMBER: **160555-C** DRAWING NO.: **6**

KM CIVIL PROJECT FILE: **160555-C** SHEET NO.: **7**

THIS DRAWING AND DESIGN IS THE PROPERTY OF KM CIVIL CONSULTANTS LTD. AND CANNOT BE REUSED OR REPRINTED WITHOUT THE WRITTEN CONSENT OF SAID COMPANY.

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 14, 2017** PROJECT FILE: **7817-0077-00**

RE: **Engineering Requirements (Industrial)
Location: 18725 52 Ave**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit. The following issues are to be addressed as a condition of the issuance of the building permit:

Works and Services

- Construct 9.0 metre concrete letdowns at each of the proposed driveway accesses.
- Provide on-lot source controls in accordance with the Cloverdale-McLellan Integrated Stormwater Management Plan (ISMP) along with a water quality/sediment control inlet chamber.
- Provide water, storm, and sanitary service connections to service the proposed development if not utilizing the service connections installed under Surrey Project 7806-0063-00.
- Register legal documents as determined through the Building Permit review process.

A Servicing Agreement is not required as part of this application.



Rémi Dubé, P.Eng.
Development Services Manager
CE4

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	2	2	Ø
Cottonwood			
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple			
Mountain Ash			
Trembling Aspen			
Paper Birch			
Cherry			
Crabapple			
Katsura			
Maidenhair Tree			
Red Maple			
Garry Oak	1	1	Ø
Coniferous Trees			
Atlas Cedar			
Deodar Cedar			
Western Red Cedar			
Douglas Fir	15	15	Ø
Falsecypress			
Scots Pine			
Spruce			
Norway Spruce			
Total (excluding Alder and Cottonwood Trees)	16	16	Ø
Additional Trees in the proposed Open Space / Riparian Area			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		71	
Total Retained and Replacement Trees		71	

Tree Preservation Summary

Surrey Project No: 7917-00 77-00
 Address: 18725 52nd AVE.
 Registered Arborist: Shan Tennyson #ON-0961A

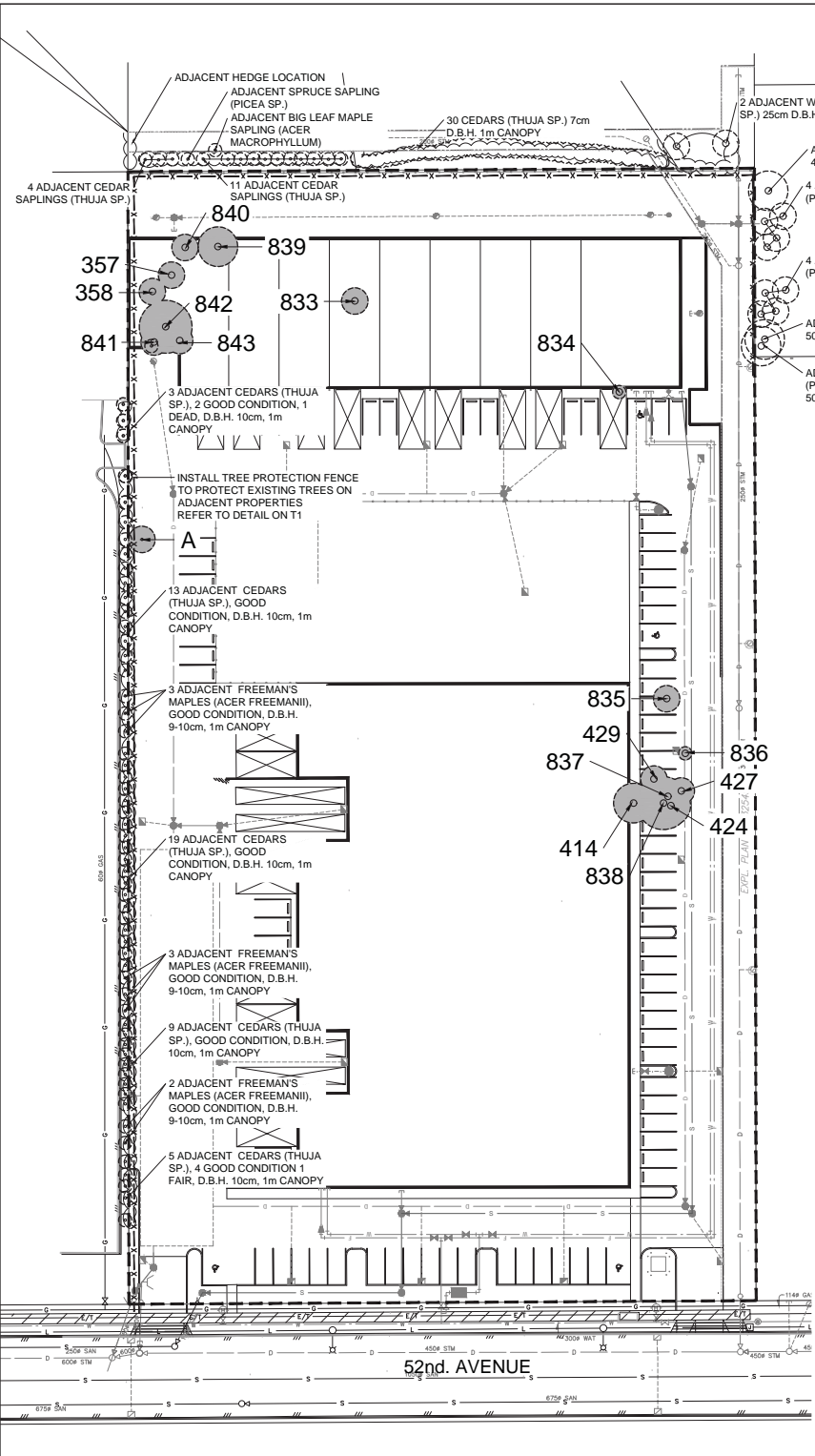
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	18
Protected Trees to be Removed	18
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>2</u> X one (1) = <u>2</u> - All other Trees Requiring 2 to 1 Replacement Ratio <u>16</u> X two (2) = <u>32</u>	34
Replacement Trees Proposed	71
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

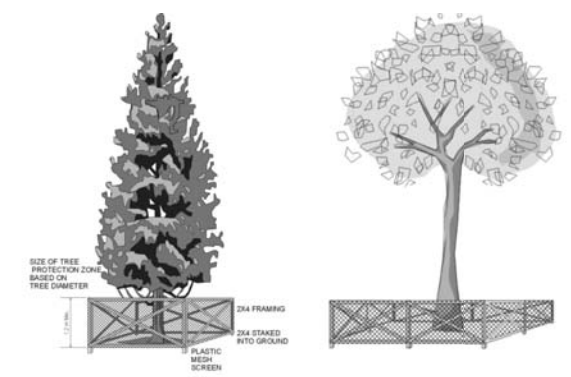
Shan Tennyson
 (Signature of Arborist)

Oct 23, 2017
 Date



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- TREE PROTECTION FENCING
- TREE TAG NO.



Signage to be posted on each tree protection barrier (weather-proof, 11x17" minimum size)

NO ENTRY
TREE PROTECTION ZONE

No grade change storage of material or equipment is permitted within this fenced area. Tree protection barrier must remain in place for the duration of construction.

For information call Trees & Landscape Section (604) 591-4675

TREE PROTECTION FENCE DETAIL

TABLE 1. TREE INVENTORY

25-Sep-17

*The tree health and structural condition ratings are as follows and are based on factors that could include one or a combination of:
 Poor Condition - Severe Canopy dieback, significant lean, decayed, missing leader, significant disease or parasitic plant presence
 Fair Condition - Moderate Canopy dieback and/or lean, limb defects, multiple stems, moderate foliage damage from stress, moderate damage from disease or parasite.
 Good condition - Healthy vigorous growth, no or minor visible defects or damage

TREE OR TAG #	BOTANICAL NAME	COMMON NAME	DBH (cm)	CANOPY RAD. (m)	CONDITION*	COMMENTS	RECOMMENDATION
357	Pseudotsuga menziesii	Douglas Fir	50	2	Good-Fair	One-sided growth	Remove for development
358	Pseudotsuga menziesii	Douglas Fir	50	2	Good		Remove for development
414	Pseudotsuga menziesii	Douglas Fir	55	3	Fair	Canopy dieback	Remove for development
424	Pseudotsuga menziesii	Douglas Fir	35	3	Good		Remove for development
427	Pseudotsuga menziesii	Douglas Fir	55	2	Good		Remove for development
429	Pseudotsuga menziesii	Douglas Fir	50	2	Good	Canopy dieback	Remove for development
833	Pseudotsuga menziesii	Douglas Fir	40	2	Poor	Topped, severe canopy dieback	Remove for health and development
834	Alnus rubra	Red Alder	42	1	Poor	Missing leader, severe canopy dieback, decay, insect holes	Remove for health and development
835	Pseudotsuga menziesii	Douglas Fir	55	2	Good		Remove for development
836	Pseudotsuga menziesii	Douglas Fir	32	1	Good		Remove for development
837	Pseudotsuga menziesii	Douglas Fir	30	2	Fair	Canopy dieback, leaning	Remove for development
838	Pseudotsuga menziesii	Douglas Fir	40	4	Good		Remove for development
839	Pseudotsuga menziesii	Douglas Fir	52, 33	2, 3	Good-Fair	2 stems at ground, 1 has corrected lean, canopy dieback	Remove for development
840	Pseudotsuga menziesii	Douglas Fir	32	2	Good		Remove for development
841	Pseudotsuga menziesii	Douglas Fir	40	2	Good		Remove for development
842	Alnus rubra	Red Alder	35, 32	3, 4	1 stem good-fair, 1 stem poor	1 stem poor included bark, canopy dieback	Remove for development
843	Pseudotsuga menziesii	Douglas Fir	40	2	Good		Remove for development
A	Quercus garryana	Garry Oak	10	2	Good		Remove for development

File Folder No. 7917-0077-00

- 5 23/10/2017 REVISED PER COORDINATION
- 4 25/09/2017 REVISED PER MUNICIPAL COMMENTS
- 3 17/06/2017 ISSUED WITH REPORT
- 2 31/05/2017 REVISED FOR COORDINATION
- 1 08/03/2017 ISSUED FOR APPLICATION

NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS

Assessment Done March 7, 2017
By Shan Tennyson,
I.S.A. # ON-0593A

Revised October 23, 2017
Civil Eng. plans updated Oct. 23, 2017



PROJECT NAME:
MULTI-TENANT BUILDINGS FOR MDZ DEVELOPMENTS

PROJECT ADDRESS:
18725 - 52nd AVE. SURREY, B.C.

DRAWING TITLE:
TREE LOCATION PLAN, INVENTORY CHART, AND DETAIL

SCALE: 1:500 AT ARCH C SIZE
DRAWING: JF
CHECKED: ST
PROJECT NO: 180556
DRAWING NO:

T1

SUMMARY: SURREY
18 TREES PROPOSED FOR REMOVAL: 2 FOR POOR OR FAIR-POOR HEALTH AND DEVELOPMENT
16 FOR DEVELOPMENT

0 TREES PROPOSED FOR RETENTION

