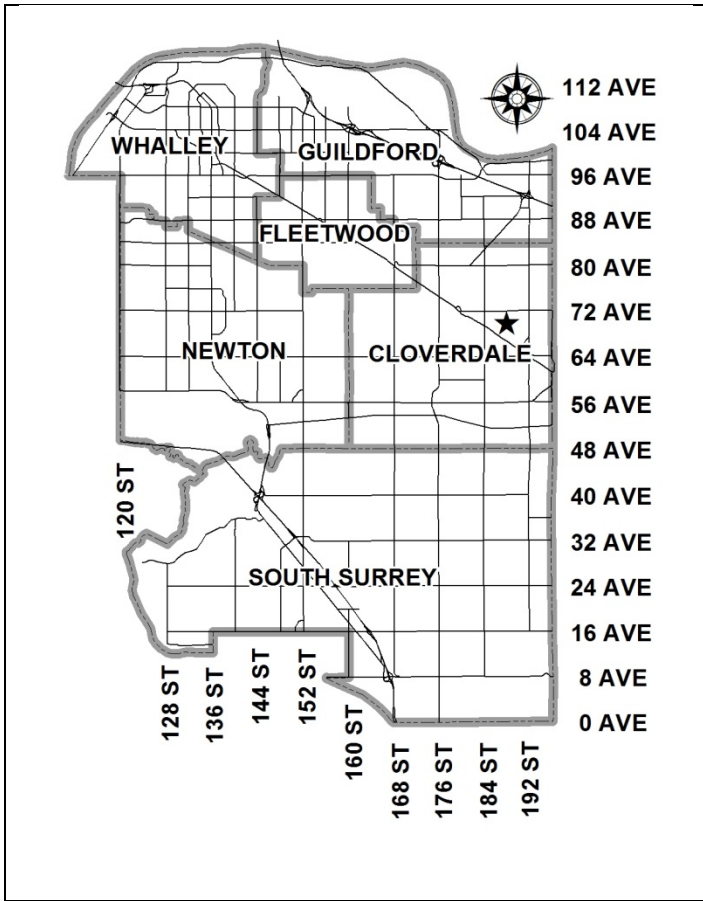


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0075-00

Planning Report Date: June 11, 2018



PROPOSAL:

- **Rezoning** of a portion from RA to CD
- **Development Permit**

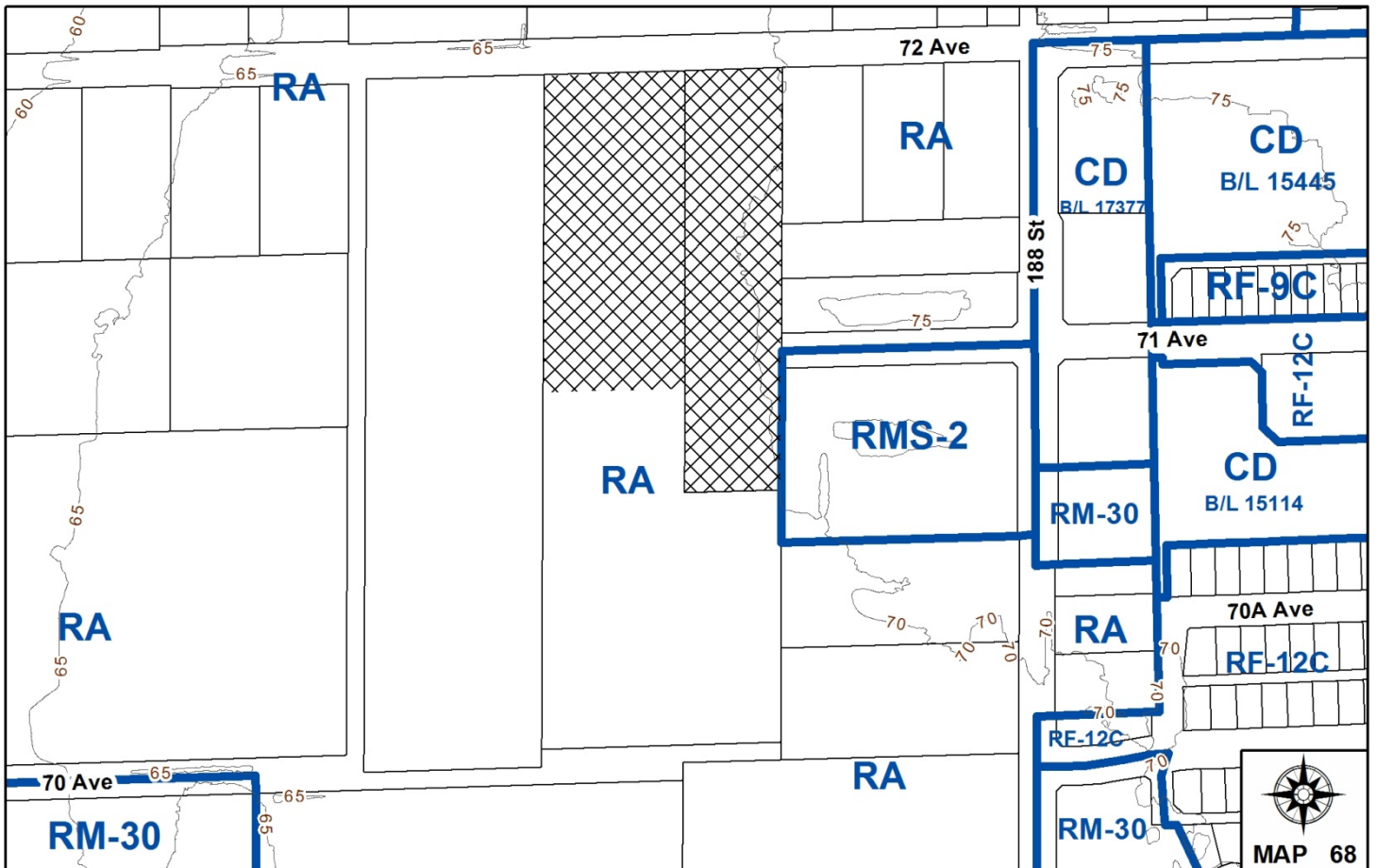
to permit the development of the Clayton Community Centre.

LOCATION: 18608 - 72 Avenue
 7011 - 188 Street
 7041 - 188 Street
 18680 - 72 Avenue
 18714 - 72 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Existing Park, Proposed Park, and Proposed Public Recreation Facility



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the West Clayton Neighbourhood Concept Plan.
- The proposed Clayton Community Centre will provide a valuable public amenity to residents of the Clayton community, and more generally for the City of Surrey.
- The proposed building is energy efficient and the design is of a high quality.
- A significant portion of the property will be retained as natural open space.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone 18714 – 72 Avenue, and a portion of 18680 – 72 Avenue as shown as Block 1 on the Survey Plan attached in Appendix I, from "One Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0075-00, for Form and Character and Sensitive Ecosystems generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) approval from the Ministry of the Environment in accordance with the Water Act; and
 - (h) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Existing Clayton Park and East Clayton/Hazelgrove Annex building.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 72 Avenue):	Acreege parcels under Development Application Nos. 7917-0518-00 and 7918-0001-00 (both pre-Council)	Townhouse Residential, Wildlife Corridor and Townhouse/Apartment Flex in the West Clayton NCP	RA
East (incl. portions across 188 Street):	Acreege parcels under Development Application Nos. 7917-0302-00 and 7917-0212-00 (both pre-Council), Care Facility, and acreege parcels including those under Development Application No. 7916-0334-00 (Third Reading)	Mixed Use Commercial/Residential, Care Facility in the West Clayton NCP and 22-45 UPA in the East Clayton NCP	RA and RMS-2
South (Across unopened 70 Avenue ROW):	Clayton Heights Secondary School	Existing School in the East Clayton Extension West of 188 Street NCP	RA
West:	Acreege residential dwellings and Clayton Park, including existing Clayton Park Community Hall	Proposed Park and Existing Park in the West Clayton NCP	RA

DEVELOPMENT CONSIDERATIONSBackground

- The 9.1-hectare (22.5-acre) subject site is comprised of 5 City-owned properties (18608, 18680 and 18714 – 72 Avenue and 7011, 7041 – 188 Street) that comprise a portion of Clayton Park. Three other properties that comprise the balance of Clayton Park are not included in the subject application (18544 – 72 Avenue, 7127 – 186 Street, and 18531 – 70 Avenue).
- Clayton Park is located in the West Clayton NCP area, located between 70 Avenue and 72 Avenue, west of 188 Street and to the north of Clayton Heights Secondary School.
- The subject site is designated Urban in the Official Community Plan (OCP) and Existing Park, Proposed Park, and Proposed Public Recreational Facility in the West Clayton Neighbourhood Concept Plan (NCP), and is zoned "One Acre Residential Zone (RA)".

- Clayton Park is currently the site of the East Clayton/Hazelgrove Annex building on the northern portion of the park fronting 72 Avenue, which houses the Creative Kids Learning Centre. The Clayton Dog-Off-Leash Park is located in the southeast corner of the park, fronting 188 Street. The remainder of the site is covered with an existing forest stand, and trails.
- An unnamed Class B (yellow-coded) watercourse is located in the northwest corner of the subject site.
- The Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site with a Low ecological value. This BCS Corridor generally follows the west property line of the subject site and the direction of the unnamed Class B watercourse (see Biodiversity Conservation Strategy and Streamside Protection sections).
- In 2014, a Request for Proposals (RFP) was issued for the purpose of retaining professional services related to the design of the Clayton Community Centre. Subsequently, HCMA Architecture and Design was awarded the design contract after a thorough evaluation process. Turnbull Construction Project Managers Ltd. was awarded the Project Management contract in early 2017 in response to an RFP.
- The proposed Clayton Community Centre is included in the 2014 Five-Year (2014 - 2018) Capital Program Budget (Corporate Report No. Fo41; 2013) and is expected to be completed and ready for use in Spring / Summer 2020.
- The existing Clayton Community Hall in the southwest corner of Clayton Park, located on a property not included in the development application, will remain open.

Current Proposal

- The applicant (the City of Surrey) has submitted an application that includes Rezoning, a Development Permit, and a Subdivision in order to permit the development of a two-storey community centre, including a gymnasium, art studios, library, child care centre and coffee shop.
- Specifically, the application consists of the following:
 - Subdivision/Consolidation of five properties into two lots (proposed Lots 1 and 2). Proposed Lot 1 will consist of portions of 18680 - 72 Avenue and all of 18714 - 72 Avenue;
 - Development Permit for Form and Character and Sensitive Ecosystems; and
 - Rezoning of proposed Lot 1 from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on "Commercial Recreation Zone (CPR)" to permit a community centre with accessory commercial uses operated by third parties, such as a child care centre and coffee shop.

- The Zoning By-law allows buildings that are owned and operated by the City for municipal purposes, such as the proposed Clayton Community Centre, to be located in any Zone. The proposed rezoning of the subject site to a CD Zone is intended to allow flexibility to lease tenant space to private businesses within the facility (i.e. a coffee shop, private childcare facility, physiotherapist, or other uses that will be compatible with the community centre).
- Proposed Lot 1, which will be the site of the proposed new Clayton Community Centre, will be approximately 2.55 hectares (6.2 acres) in area.
- The proposed Clayton Community Centre is approximately 7,357 square metres (79,195 sq.ft.) in size, and results in a total net floor area ratio (FAR) of 0.29. The proposed lot coverage is 20% and the proposed building height is two-storeys at 15 metres (49 ft.).
- The proposed remnant Lot 2 will be approximately 7.76 hectares (19 acres) and will continue to be used as a public park.

Road Dedication and Access

- As part of this application, portions of 72 Avenue and of future 187A Street will be dedicated and constructed along the north and east property lines, respectively.
- Vehicle access to the community centre will be via two driveway connections to future 187A Street. The northernmost driveway will be inbound only.
- In addition, a portion of the site along the southern property line will be dedicated for the future extension of 70 Avenue, however this will not be constructed at this time.

Proposed CD By-law

- In order to accommodate the proposed recreational and accessory uses within the project, the applicant has applied to rezone the site to a CD Zone, based on a modified CPR Zone.

- The table below shows a comparison between the proposed CD Zone and the CPR Zone:

	CPR Zone	Proposed CD By-law
Land Use	<ul style="list-style-type: none"> Recreational facilities, excluding outdoor go-kart operations, drag racing and rifle ranges; Child care centres Drive-in theatres and retail stores limited to flea markets; Cultural uses Accessory uses including: <ul style="list-style-type: none"> One dwelling unit, for the accommodation of an official, manager or caretaker of the principal use; Eating establishments; Clubhouse; and Agricultural and horticultural uses, excluding kennels 	<ul style="list-style-type: none"> Recreational facilities, excluding outdoor go-kart operations, drag racing and rifle ranges; Child care centres Cultural uses Accessory uses including: <ul style="list-style-type: none"> Eating establishments; Personal service uses Office uses; Community services; and Retail stores.
Building Setbacks	12.0 metres (40 ft.) to all lot lines	North (72 Ave): 8.0 metres South: 12.0 metres West: 12.0 metres East (187A Street): 12.0 metres
Building Height	12 metres (40 ft.)	15 metres (50 ft.)
Required Parking <i>Recreational Facility</i> <i>Library</i> <i>Gymnasium</i> <i>Childcare</i>	<ul style="list-style-type: none"> 3.0 spaces / 100 m² 5.0 spaces / 100 m² 11 spaces / 100 m² 2.0 spaces / employee 	<ul style="list-style-type: none"> 2.2 spaces / 100 m² floor area

- The proposed CD By-law includes recreational facilities, cultural uses and child care centres, along with a number of possible related accessory uses for the proposed facility.
- The reduced setback along the north lot line will provide for a more urban interface with 72 Avenue.
- The proposed building height allows for a clerestory element that will provide additional natural light penetration into the community centre.

Parking

- A surface parking lot is proposed to the immediate south of the proposed community centre building, with two driveway accesses to future 187A Street.
- The proposed parking lot consists of 167 stalls and 5 pick-up/drop off spaces near the main entrance.

- Based on the parking requirement for the individual uses proposed in the Clayton Community Centre (recreational facility plus gymnasium, library, child care facility and coffee shop), over 300 spaces would be required in order to comply with the Zoning By-law.
- However, Bunt & Assoc. Engineering Ltd. has conducted a Traffic Study for the Clayton Community Centre, assessing the demand generated by similar facilities in the City of Surrey (including the Guildford, Fleetwood and Cloverdale Community Centres) as well as Burnaby and Vancouver. Based on this assessment, Bunt & Assoc. has determined that the proposed 167 spaces are sufficient for the Clayton Community Centre. The Transportation Engineering and Park Planning Divisions are supportive of the proposed parking rate.

PRE-NOTIFICATION

Pre-notification letters were sent out to the neighbourhood on April 9, 2018, to a total of 458 addresses and the development sign was installed on April 17, 2018. To date, staff have received three responses.

- One caller was seeking more information about the quality of the trees on the subject site, and had further questions with respect to the timing of tree removal. In particular, the caller requested confirmation that no trees would be removed during the Bird Nesting Window, which is from March 15 to August 15 each year. The caller was also interested to know where the majority of tree removal would occur, noting that there is a significant forest stand within the Park.

(Staff advised the caller that tree removal on the subject site was previously carried out, in January of this year, in order to avoid the Bird Nesting Window. Staff provided information to the caller with respect to the location, quality and quantity of trees removed on the site, and information with respect to tree replacement, noting that the significant forest stand will be largely undisturbed. Additional information is provided in the Trees Section, below.)

- The second caller was seeking more information about the ultimate use of the surrounding Clayton Park.

(Staff advised the caller that Clayton Park would remain a city park in perpetuity and would not be developed, aside from park-related works, such as potential for trails. Ultimately, there will be a public consultation process to determine how Clayton Park in its entirety should be designed and used.)

- A resident wrote in support of the proposed library and community centre, and suggested that a community pool be included in the development, as there are none in the community.

(A pool is not proposed to be part of this community centre. As two aquatic centres have recently been developed by the City, there are no current plans in the Parks, Recreation and Culture Strategic Plan for additional pools to be developed.

The closest pools to this neighbourhood are Greenaway outdoor pool, adjacent the Cloverdale Fairgrounds, and the Surrey Sport and Leisure Complex.)

The City of Surrey held an Open House (the “Connecting Clayton Ideas Fair”) on Thursday, February 16, 2017. The project architect provided staff a summary of the general responses and suggestions from the Ideas Fair, organized around the following general themes:

- General comments
- Shared spaces
- Architectural
- Recreation
- Creative spaces (arts)
- Library
- Outdoor

In general, the responses were very positive, with residents viewing the siting, design and mix of community facilities within and around the proposed community centre very favourably. Residents were strongly advocating for the retention of the existing trees around the centre.

DESIGN PROPOSAL AND REVIEW

- The proposal is for a two-storey, City-owned community centre with associated active and passive outdoor areas.
- The 15-metre (49 ft.) tall building is located on the northern portion of the site fronting 72 Avenue, with primary entrances located at the north (72 Avenue) and south (parking lot) sides of the building. The siting provides a strong civic and urban presence on the corner of 72 Avenue and future 187A St, centrally located in the Clayton neighbourhood.
- The building is to be located on the site of the existing East Clayton/Hazelgrove Annex and parking lot in order to preserve as much of the existing forest as possible. The Clayton Community Centre will be connected to a trail system within this forest.
- The Clayton Community Centre will be constructed to meet strict Passivhaus energy efficiency requirements. A typical Passivhaus building sees up to one third of its heating demand met through solar gains alone. It is anticipated that upon completion, the Clayton Community Centre will be the largest Passivhaus building in Canada.
- The unique patterning of materials on the exterior of the building is intended to reflect a tree-canopy, with an impression of dappled light and texture.
- Unique window forms will allow for the penetration of natural daylight and allow expansive views of the adjacent park space.
- The roof clerestory "pop-up" rises from the roof to provide natural daylight and ventilation into the interior spaces of the community centre while providing articulation and visual interest to the exterior of the building.
- The building will incorporate a green roof.
- External materials include dark grey, custom metal panels on the upper level, with internal beam structure and Passivhaus-certified glazing visible through openings in the panel. The

density and size of these opens is determined by the allowable and maximum amounts of glazing specified by the Passivhaus design requirements. The ground level is comprised of masonry blocks of varying sizes and shades. The clerestory "pop-ups" will consist primarily of certified glazing, framed by silver metal panels.

- Uses within the proposed Community Centre, will include the following:
 - On the ground level, a library, gymnasium, childcare facility, visual art studio, rehearsal hall, several multi-purpose rooms, music studios, a workshop, staff areas, universal change rooms, public washrooms and space for a coffee shop (to be operated by a third party) will be provided; and
 - The second level will be accessed by a spiral stairway and will include additional library space, a fitness centre, meeting rooms, study rooms, multi-purpose rooms, public washrooms and classroom.
- The interior of the building makes significant use of wood, both structurally and as an aesthetic treatment.
- Uses within the proposed Community Centre are located to take advantage of natural lighting and solar gain. For example, the fitness centre is located on the second level and on the north side of the building to reduce solar gain and therefore reduce cooling demand, and also permit "eyes on the street" for 72 Avenue. Likewise, the gymnasium and library are located to the south to take advantage of natural lighting.

Landscaping and Outdoor Active Spaces

- External to the building, the outdoor areas will include a large event plaza and great lawn, social outdoor amenities such as barbecue areas, a "feast table", community garden, gathering spaces and active spaces such as sand volleyball courts, hard surface courts, children's play areas and running track.
- The western portion of the parking lot will be used as a flexible space that can be transformed into a public plaza for outdoor markets, festivals, and other events.
- A split rail fence, edge buffer of trees and natural detention will be located to the west of the community centre, as the active community centre and park uses transition to the riparian area and forest.
- Throughout the community centre grounds, landscaping will consist of a variety of trees including Maple, Beech, Dogwood, Sweet Gum, Spruce, Aspen, Pear, and Oak interspersed with shrubs such as Kinnikinnik, Hazel, Smoke Bush, Salal, Elderberry and Blueberry, and perennials and grasses.

Proposed Signage

- Currently two free-standing signs are proposed, one along the north side of the building facing 72 Avenue and a second, similar sign facing the parking lot. The signs comply with the Surrey Sign By-law.

- The lettering consists of non-illuminated, perforated lettering cut into a steel plate and mounted on the ground within the landscaping (see Appendix II).

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by species, noting that the summary does not include trees located outside of the area proposed for development (proposed Lot 1). Trees within the portion of the site to remain as Park (proposed Lot 2) have not been assessed and are not proposed for removal.

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	169	30	139
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paperback Maple	1	0	1
Bigleaf Maple	8	0	8
English Walnut	1	1	0
Paper Birch	21	2	19
Apple	1	1	0
Flowering Cherry	6	5	1
Subtotal	38	9	29
Coniferous Trees			
Norway Spruce	2	2	0
Blue Spruce	2	2	0
Sitka Spruce	4	0	4
Shore Pine	1	0	1
Douglas Fir	5	5	0
Western Hemlock	19	0	19
Variigated Western Red Cedar	1	1	0
Western Red Cedar	54	0	54
Subtotal	88	10	78
Total (excluding Alder and Cottonwood Trees)	126	19	107
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		153	
Total Retained and Replacement Trees		399	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of 126 protected trees on the development site (proposed Lot 1), excluding Alder and Cottonwood trees. One hundred and sixty-nine (169) existing trees, approximately 57% of the total trees on the development site, are Alder and Cottonwood trees. It was determined that 246 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- As noted above, Table 1 does not include protected trees that are located within the portion of the site (proposed Lot 2) that will remain as open space within Clayton Park. The trees within the Park will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area (see Biodiversity Conservation Section).
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 68 replacement trees on the site. The applicant is proposing 153 replacement trees, exceeding City requirements.
- As noted previously in the Pre-Notification Section of this report, tree removal on the subject site was previously carried out, in January of this year, in order to avoid the Bird Nesting Window. According to an addendum to the Arborist Assessment prepared by the Arborist, an additional 92 alder and cottonwood trees were required to be removed and will be replaced.
- In addition to the replacement trees, boulevard street trees will be planted on future 187A Street and on 72 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Maple, Beech, Dogwood, Sweet Gum, Spruce, Aspen, Pear, and Oak.
- In summary, a total of 399 trees are proposed to be retained or replaced on the development site.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Cloverdale BCS management area, with a Low ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderately High habitat suitability rating, derived from species at risk presence, species accounts and known

ecosystem habitat inventories. The Biodiversity Conservation Strategy (BCS) target recommends a 60-metre (197 ft.) wide wildlife corridor through the subject site.

- An environmental report, dated June 30, 2017, was prepared by qualified environmental professionals, Jimmy (Brett) Allen, R.P. Bio., Theraesa Coyle, Biologist, and Mike Coulthard, R.P. Bio of Diamondhead Consulting Ltd. The report identifies two watercourses in the vicinity of the subject site.
- An unnamed, braided Class B watercourse in the northwest corner of the site. This watercourse flows northward towards 72 Street, where it enters a culvert and joins a series of roadside ditches that appear to flow northwest towards the Serpentine River, one of the City's major fish-bearing watercourses.
- A 15-metre (49 ft.) streamside setback is required from the top-of-bank. This setback will be achieved, and no streamside setback variances are required for this watercourse. Land that is considered within the required riparian setback of the existing watercourse will be restored to a natural habitat, thereby improving the condition of this natural area and the integrity of the GIN corridor.
- An unnamed, constructed 40-metre long, Class B ditch that provides surface drainage for the existing East Clayton/Hazelgrove Annex site is connected to the above-noted unnamed Class B watercourse. A 7-metre (23 ft.) streamside setback is required from the top-of-bank for a Class B ditch.
- A 26-metre long portion of this ditch is proposed to be filled in as part of the development, extending to the edge of the 15-metre (49. Ft.) riparian setback to the unnamed watercourse. The total area of ditch to be filled in is 18 square metres (194 sq.ft.). This ditch does not originate from a headwater, and is non-fish bearing. According to the environmental consultant, downstream fish habitat will not be negatively impacted.
- However, under provincial Water Sustainability Act requirements, approval must be granted by the Province and compensation that exceeds the quantity and quality of instream habitat must be provided. The applicant made the required submission to the Province on December 8, 2017.
- In addition, the City of Surrey Streamside Protection By-law and Sensitive Ecosystem DP requirements specify that compensation is required for the removal of streamside riparian protection area, at a ratio of at least 1:1, calculated using the minimum setback distance of 7.0 metres (23 ft.) from the top-of-bank on either side of the ditch. The total riparian area to be removed and compensated for is 425 square metres (4,575 sq.ft.).
- The total compensation requirement for the 18 square metres (194 sq.ft.) of instream habitat and 425 square metres (4,575 sq.ft.) of riparian habitat is 443 square metres (4,768 sq.ft.)
- Compensation for the loss of instream habitat and riparian habitat will be accomplished by the creation of two naturalized detention ponds and related riparian habitat on site, with a combined total site area of approximately 1,167 square metres (12,561 sq.ft.). The applicant's environmental consultant has prepared a Riparian Restoration Plan (see Appendix VIII).

- Of the two naturalized detention ponds referenced above, the northernmost detention pond will replace the existing on-site asphalt parking lot, which is presently within the riparian area. Hard surfacing will be removed and replaced with a naturalized pond and appropriate planting designed to support preferred breeding ground of the blue listed red-legged frogs. A detailed planting plan, prepared by a Registered Professional Biologist (R.P. Bio.), and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- A Class B ditch is located just outside of the southern edge of the site. There is no proposed development at the southern edge of the site. A 7-metre (23 ft.) streamside setback is required from the top-of-bank. This setback will be achieved, and no streamside setback variances are required for this watercourse.
- The southern portion of the subject site will remain as forested area within a City park. Combined with the improvements to the streamside protection area achieved through the rehabilitation of the riparian area in the northwest corner of the subject site, the proposed wildlife corridor will exceed the 60-metre (197 ft.) width requirement.
- This method of GIN retention/enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location that is consistent with the guidelines in the BCS.

Sensitive Ecosystem Development Permit

- On September 12, 2016, Council approved amendments to the Official Community Plan (OCP) and Zoning By-law No. 12000 to implement a Sensitive Ecosystem DPA and Streamside Protection Measures, collectively known as Surrey's Ecosystem Protection Measures, for the protection of the natural environment, including riparian areas. These changes were detailed in Corporate Report No. R188, which was approved by Council on July 25, 2016.
- The OCP is used to identify the specific types of ecosystems that are intended to be protected including Class A, A/O or B streams. The Zoning By-law (Part 7A Streamside Protection) is used to identify the specific protection areas that are required to be established for Streamside Setback Areas.
- As the subject site is located within the newly-established Sensitive Ecosystem DPA, a Sensitive Ecosystem Development Permit for Streamside Areas and Green Infrastructure Areas and an accompanying Ecosystem Development Plan and Impact Mitigation Plan are required.
- A finalized Ecosystem Development Plan and Impact Mitigation Plan must be submitted by the applicant's environmental consultant with final recommendations which will be incorporated in the Development Permit. To date, the applicant has submitted a number of reports that support the proposed Sensitive Ecosystem Development Permit which have been reviewed, or are in the process of being reviewed, by staff, including:
 - Clayton Heights Community Centre Environmental Overview Assessment;
 - Clayton Heights Community Centre Stream and Riparian Impact Mitigation Plan;
 - Preliminary Geotechnical Report for Clayton Heights Community Centre;

- Erosion and Sediment Control Plan;
- Tree Management (Arborist) Report;
- Clayton Heights Community Centre Landscape Planting Plan;
- Storm Water Control Plan; and
- Ecosystem Development Plan Summary.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 24, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Located in Clayton, within the West Clayton NCP Area, and near the East Clayton NCP Area, near the intersection of 72 Avenue and 188 Street
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development will provide important community uses including a library, fitness centre, cultural spaces, and gathering spaces.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Almost all of the existing mature trees on the subject site are located within the riparian areas or within the proposed open space. Therefore, most trees will be retained and protected. • Absorbent soils, on-site infiltration, bioswales and permeable surfaces are proposed.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The site is located within walking distance of several bus routes, and is located on both the Siddons and Great Northern Greenways.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • All areas within the Community Centre will be fully accessible and appropriate for all ages. • The proposed building incorporates CPTED principles including: well-lit entries/exits and walkways.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The Clayton Community Centre will be constructed to meet strict Passivhaus energy efficiency requirements.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The City of Surrey held an Open House on Thursday, February 16, 2017.

ADVISORY DESIGN PANEL

ADP Meetings: February 22, 2018.

The site plan, building design and landscape plan were strongly supported by the ADP (see Appendix V). Some modest modifications were recommended by the Panel. These will be addressed prior to consideration of Final Adoption of the Rezoning By-law and issuance of the Development Permit.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets and Survey Plan
- Appendix II. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation, and Addendum
- Appendix V. ADP Comments
- Appendix VI. NCP Plan
- Appendix VII. Aerial Photo
- Appendix VIII. Riparian Restoration Plan
- Appendix IX. Proposed CD By-law

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CA/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Proposed Zoning: CD (based on CPR)

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	22.5 acres
Hectares	9.1 hectares
NUMBER OF LOTS	
Existing	5
Proposed	2
SIZE OF LOTS	
Range of lot widths (metres)	100 – 120 m
Range of lot areas (hectares)	2.55 – 7.76 ha
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	See Development Data Sheets
Lots/Hectare & Lots/Acre (Net)	
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	
Estimated Road, Lane & Driveway Coverage	
Total Site Coverage	
PARKLAND	
Area (square metres)	N/A
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	NO
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on CPR)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA - Development Site* - (in sq. metres)		
Gross Total		25,505 m ²
Road Widening area		419 m ²
Undevelopable area		
Net Total		25,086 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40%	20%
Paved & Hard Surfaced Areas		41.5%
Total Site Coverage		61.5%
SETBACKS (in metres)		
Front (North)	8.0 m	8.0 m
Rear (South)	12.0 m	12.0 m
Side #1 (West)	12.0 m	12.0 m
Side #2 (East)	12.0 m	12.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	15 m	15 m
Accessory	4.0 m	3.6 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
		7,357.5 m ²
TOTAL BUILDING FLOOR AREA		
		7,357.5 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.40	0.29
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	162	167
Number of accessible stalls	4	8
Number of small cars	58	13
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW NUMBER _____
 OF PORTIONS OF SECTION 16, TOWNSHIP 8,
 NEW WESTMINSTER DISTRICT
 BCGS 92G.017

INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.BC.1.GVRD

LEGEND

ALL DISTANCES ARE IN METRES
 GRID BEARINGS ARE DERIVED FROM PLAN EPP75058



BOOK OF REFERENCE		
BLOCK	DESCRIPTION	AREA
BLOCK 'A'	LOT 31, S.16, TP. 8, N.W.D. PLAN 37483	1.475 Ha.
	TOTAL AREA BLOCK 'A' =	1.475 Ha.

THE INTENDED PLOT SIZE OF THIS PLAN IS 460 mm
 IN WIDTH AND 280 mm IN HEIGHT (B SIZE SHEET)
 WHEN PLOTTED AT A SCALE OF 1:2000.



SEC. 16

TP. 8

N. W. D.

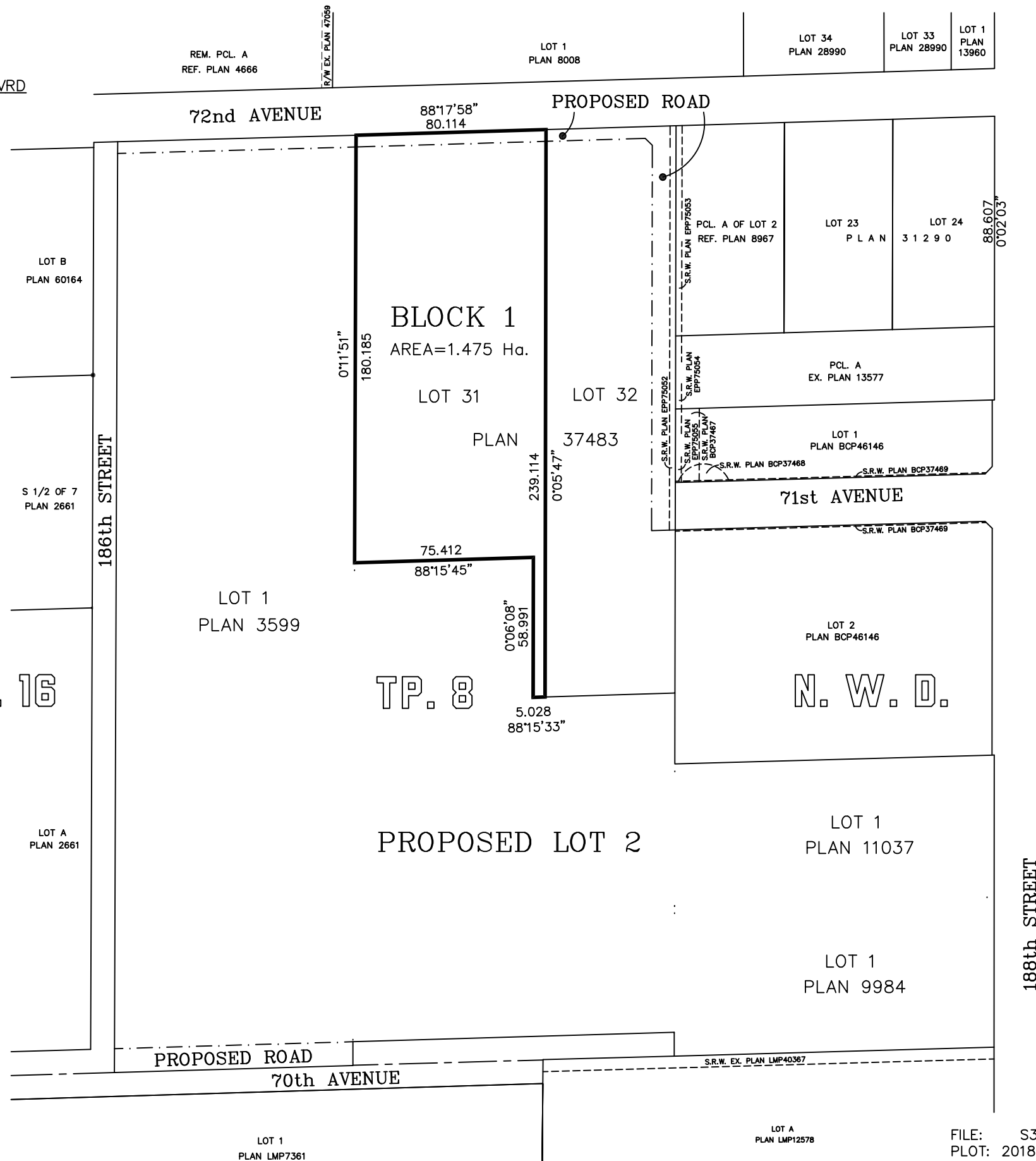
CERTIFIED CORRECT ACCORDING TO FIELD SURVEY
 DATED THIS 30th DAY OF APRIL, 2018

PRELIMINARY

GURPREET S. KOONER, BCLS 937



CITY OF SURREY, SURVEY SECTION
 13450 - 104 AVENUE
 SURREY, B.C. V3T 1V8
 TEL. (604) 591-4253
 FAX. (604) 591-8693



LOT 1
 PLAN LMP7361

LOT A
 PLAN LMP12578

FILE: S3120H
 PLOT: 2018/05/02
 MAP: 068

Appendix II

PRELIMINARY

SUBDIVISION PLAN OF
LOT 1, PLAN 3599,
LOTS 31 AND 32, PLAN 37483,
LOT 1, PLAN 11037, AND
LOT 1, PLAN 9984,
ALL OF SECTION 16, TOWNSHIP 8,
NEW WESTMINSTER DISTRICT

BCGS 92G.017

SCALE 1:1000

THE INTENDED PLOT SIZE OF THIS PLAN IS
1180mm IN HEIGHT BY 864mm IN WIDTH
WHEN PLOTTED AT A SCALE OF 1:1000 (ANSI E SIZE)

INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83, (CSRS) 4.0.0.BC.L.GVRD

ALL DISTANCES ARE IN METRES
GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 8790 AND 5687.

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE
DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
GEODETIC CONTROL MONUMENTS 8790 AND 5687.

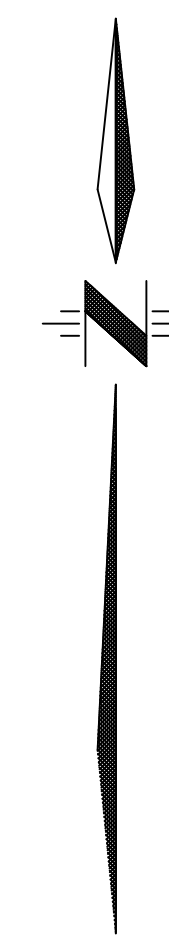
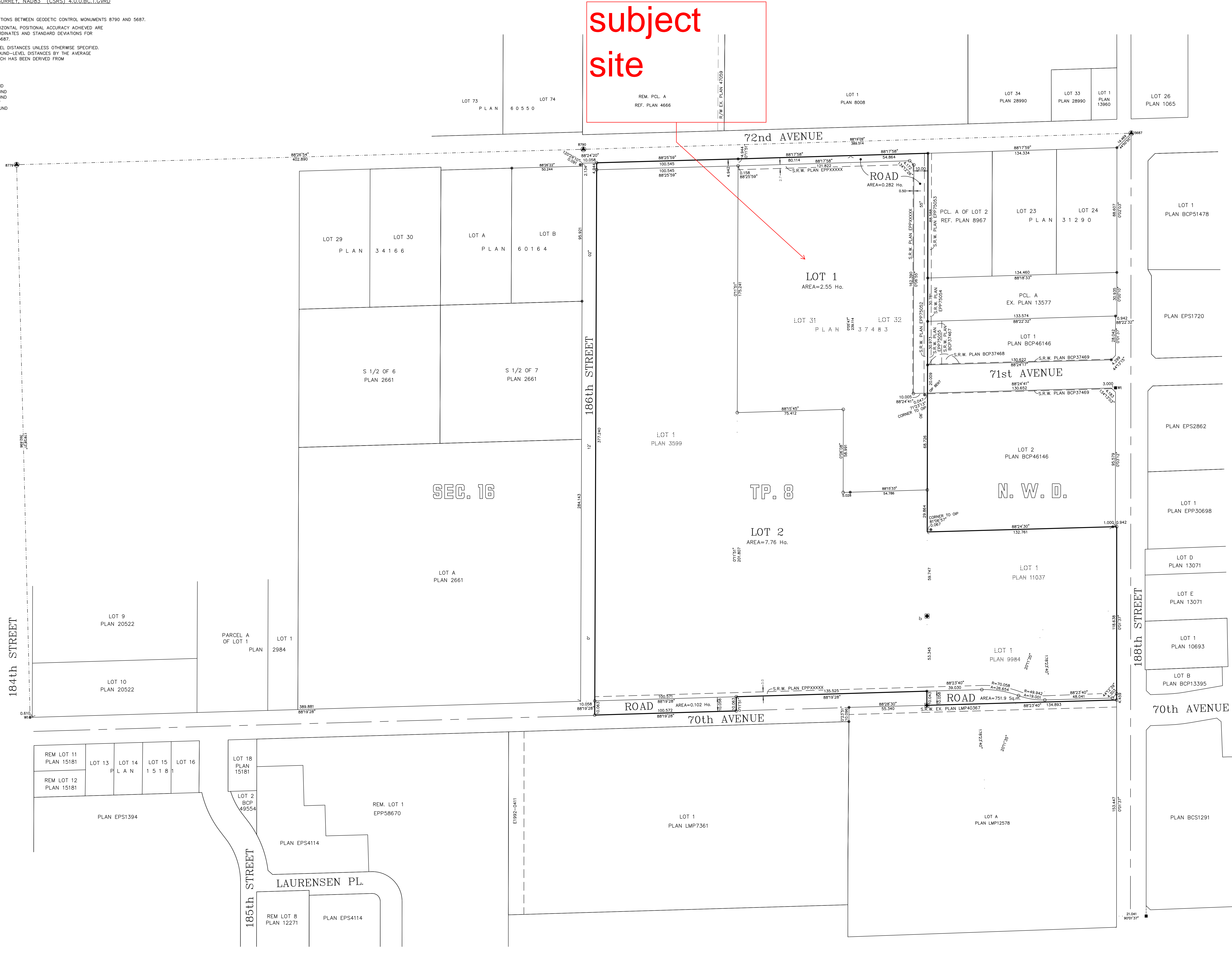
THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE
COMBINED SCALE FACTOR OF 0.9995977 WHICH HAS BEEN DERIVED FROM
CONTROL MONUMENTS 8790 AND 5687.

LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES NON-STANDARD POST FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST SET
- DENOTES STANDARD LEAD PLUG FOUND
- NF DENOTES NOTHING FOUND
- (c) DENOTES CALCULATED

**subject
site**

THIS PLAN LIES WITHIN THE JURISDICTION OF
THE APPROVING OFFICE FOR THE CITY OF SURREY



72ND AVE

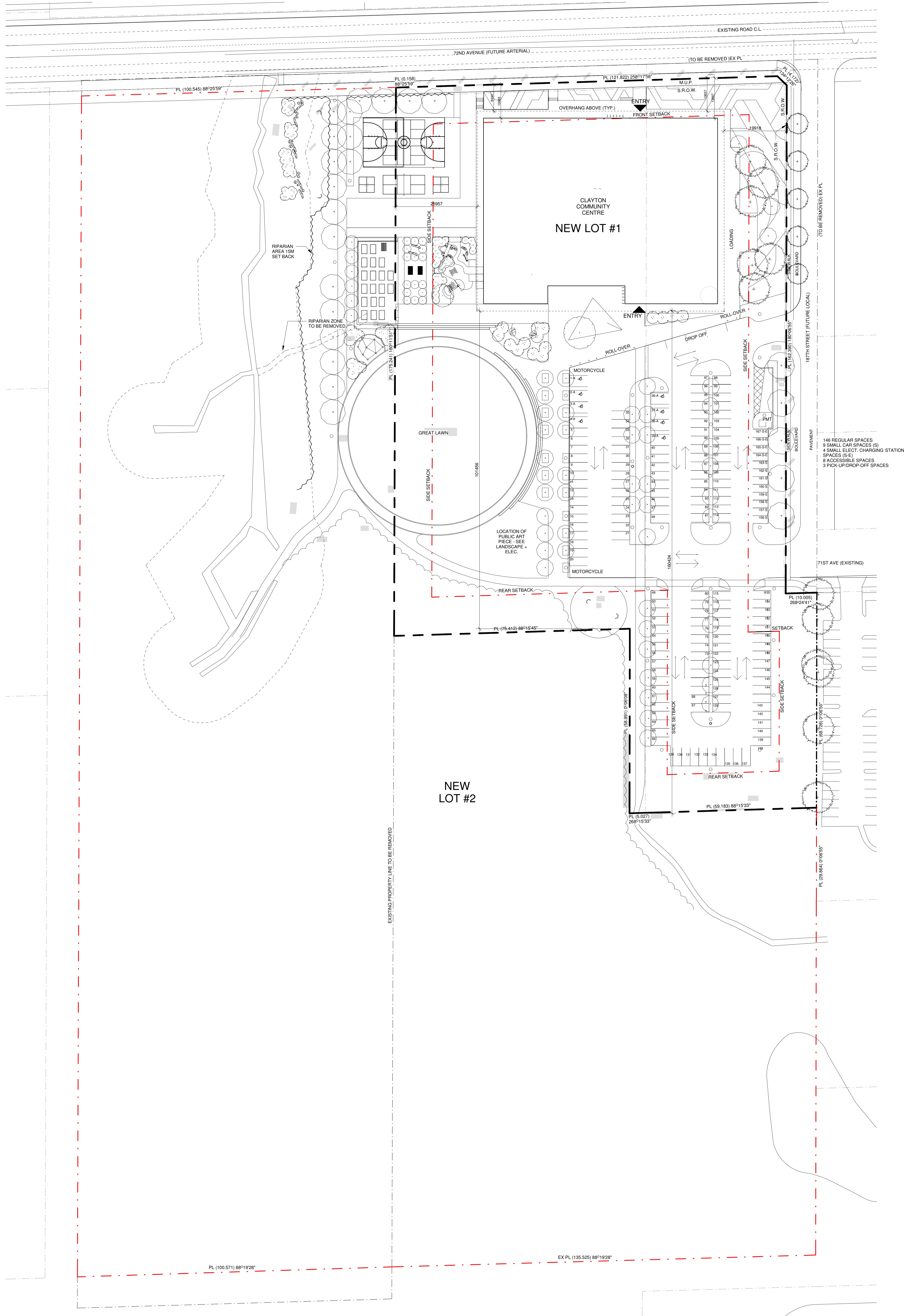
187A Street





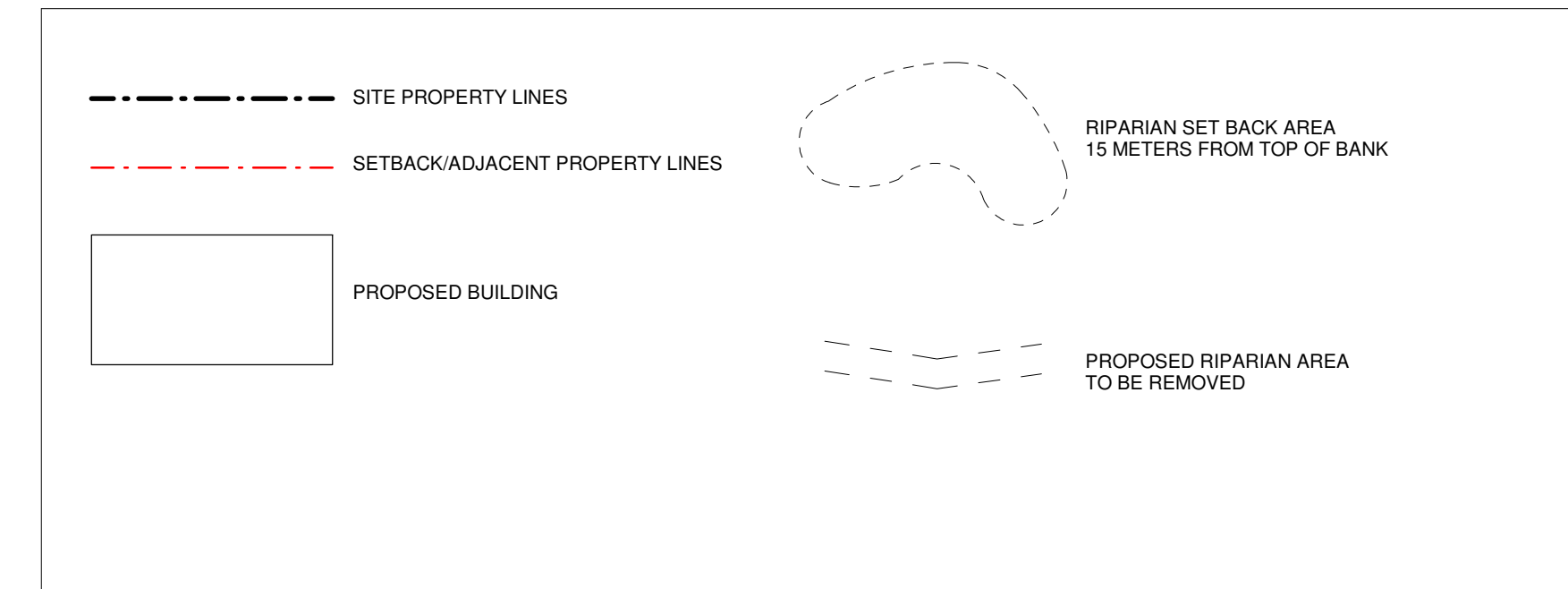
CLAYTON
COMMUNITY
CENTRE





146 REGULAR SPACES
 8 SMALL CAR SPACES (S)
 10 SMALL ELECT. CHARGING STATION SPACES (SE)
 1 ACCESSIBLE SPACES
 3 PICK-UP/DROP-OFF SPACES

SITE PLAN LEGEND



GENERAL NOTES

- ELEVATIONS ARE TO GEODETIC DATUM.
- EXISTING TOPOGRAPHIC INFORMATION IS FROM SURVEY DRAWING.
- SEE LANDSCAPE PLAN BY HAPA LANDSCAPE ARCHITECTS FOR LANDSCAPE PLANTINGS, SITE MATERIALS, LANDSCAPE GRADING, AND ADDITIONAL INFO. SEE LANDSCAPE/ARBORIST DRAWINGS FOR TREES RESTRAINED, REMOVED AND TREE PROTECTION.
- REFER TO CIVIL DRAWINGS FOR PARKING AND CURB GRABS, DRAIN SWALES, SITE SERVICES AND ADDITIONAL INFORMATION.

CLAYTON COMMUNITY CENTRE
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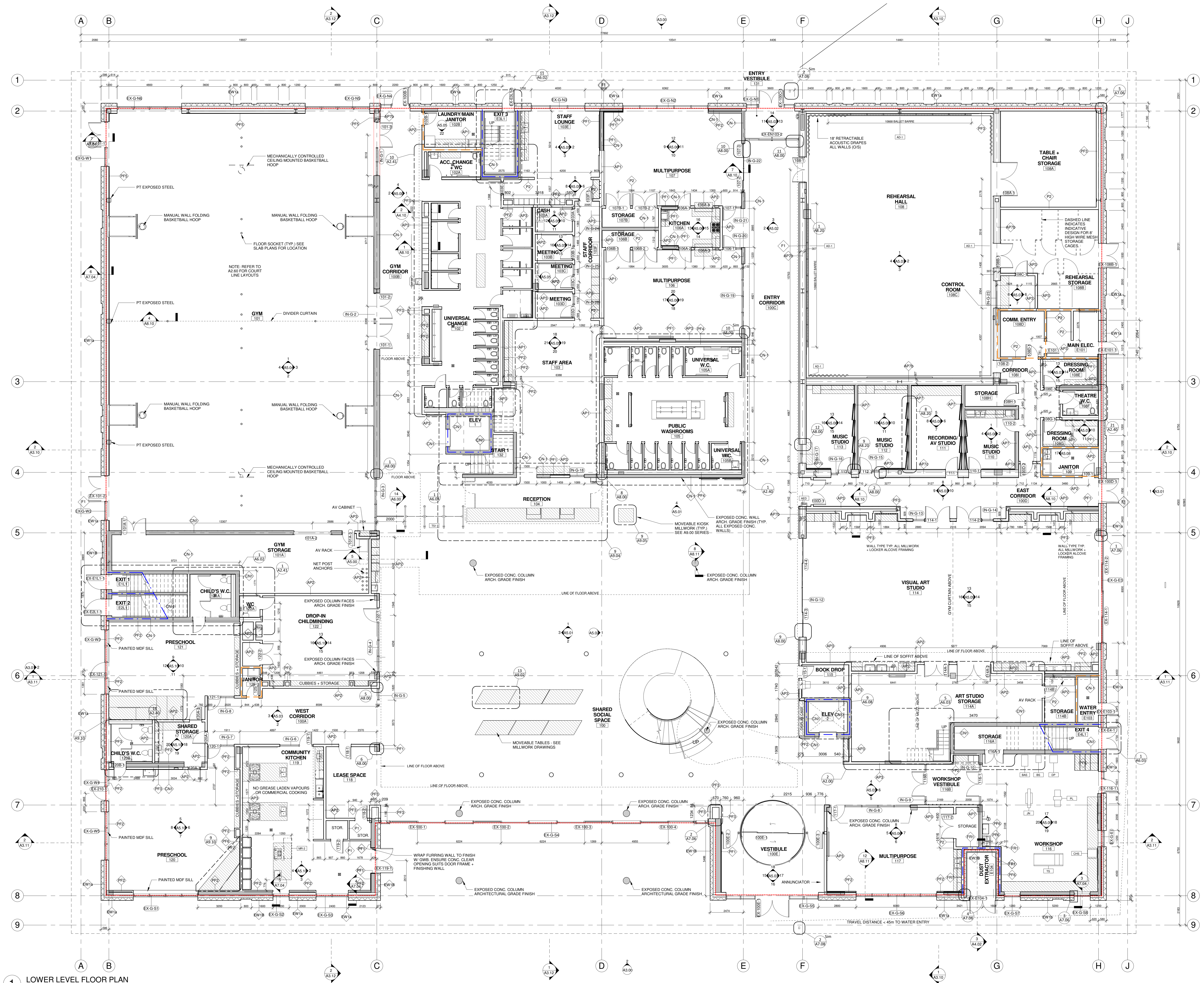
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2	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2017
3	ISSUED FOR DEVELOPMENT PERMIT	22 FEB 2018
4	ISSUED FOR BUILDING PERMIT	22 MAR 2018
5	ISSUED FOR DEVELOPMENT PERMIT	2 APR 2018

CONTEXT PLAN

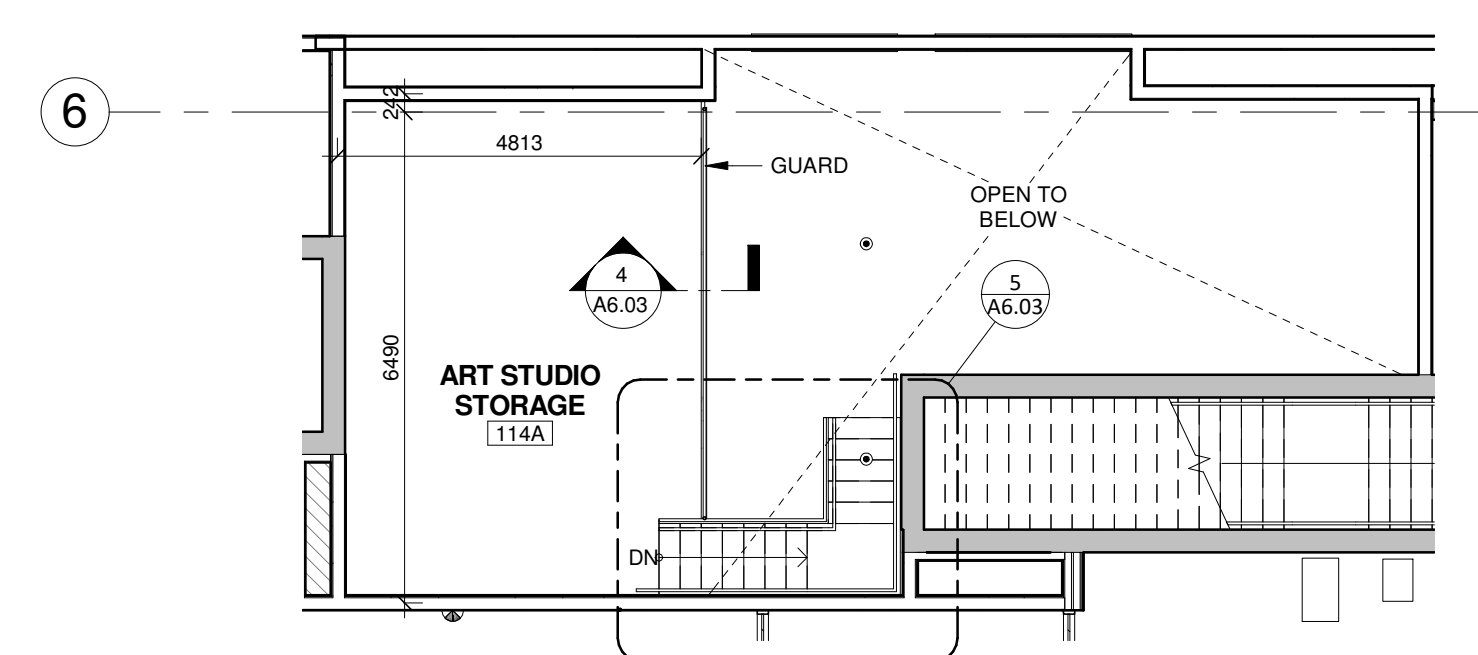
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 W hcm.ca

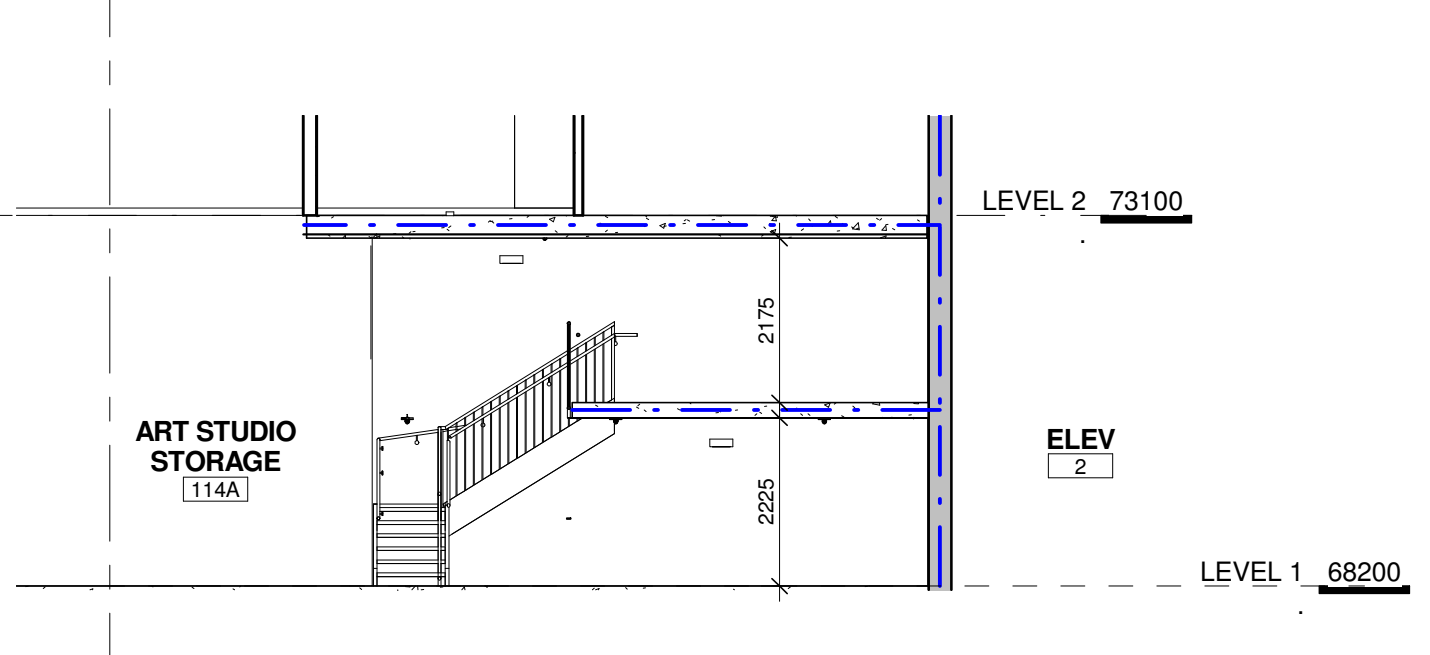
NOT FOR CONSTRUCTION



1 LOWER LEVEL FLOOR PLAN
1:100



2 ART MEZZANINE
1:100



3 ARTS MEZZ. SECTION
1:100

PLAN LEGEND

WF BP	WATER FOUNTAIN + BOTTLE FILLER
IRWL	INSULATED RAIN WATER LEADER
(Symbol)	MILLOWORK/CASEWORK

FIRE RATING LEGEND

(Symbol)	0 MN
(Symbol)	60 MN
(Symbol)	120 MN

NOTE: 1 MN = 60 MIN F.R. SEPARATION LEVEL 2 FLOOR TYPICAL AND ALL LEVEL 2 SUPPORTING ELEMENTS (WALLS, COLUMNS, ETC.) REFER TO STRUCT. FOR LOCATIONS.

AIR TIGHTNESS LEGEND

(Symbol)	LINE OF PASSIVE HOUSE AIR TIGHTNESS BOUNDARY
----------	----------------------------------------------

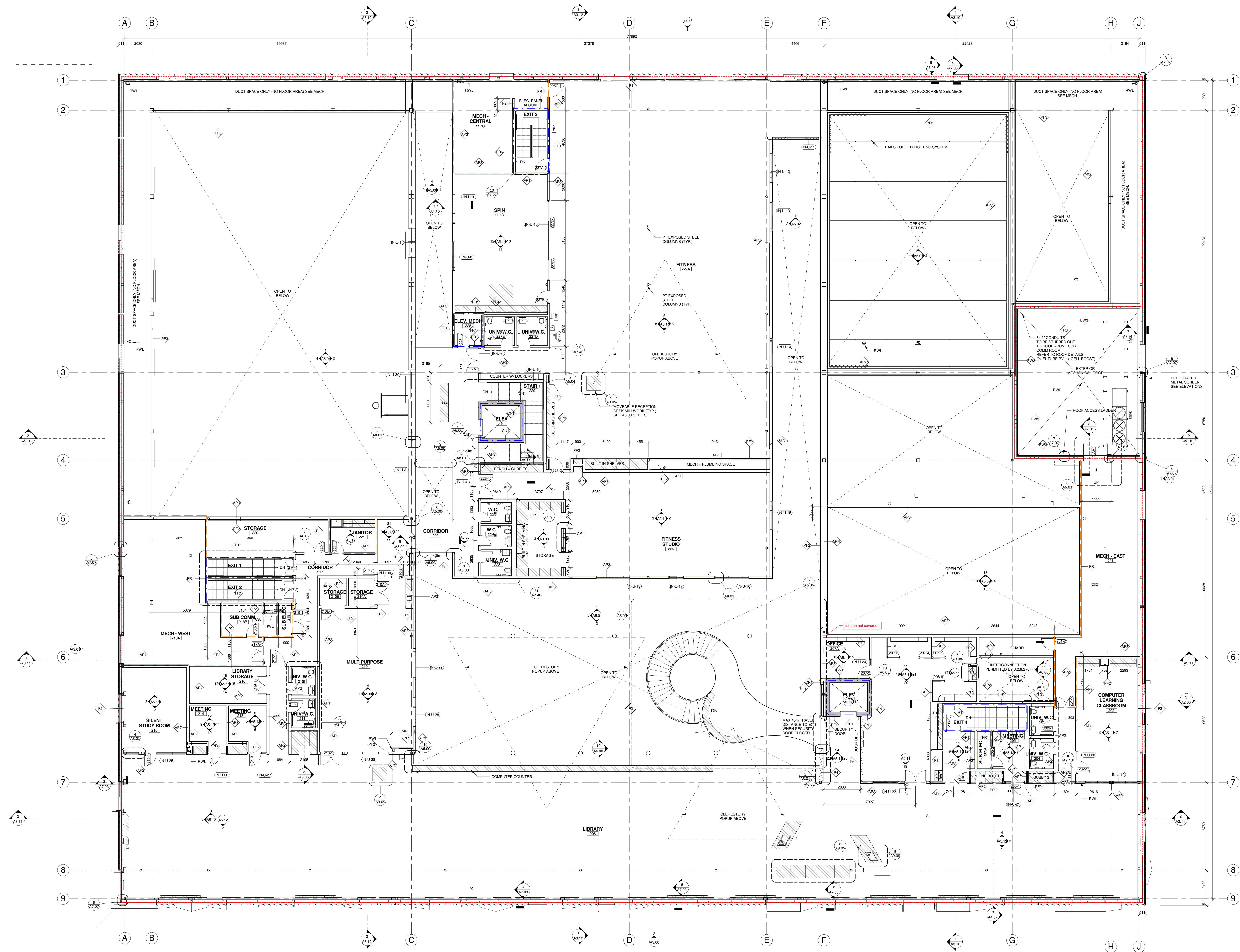
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7105-167A Street, Surrey, BC

DATE: 24 AUG 2017
ISSUE DESCRIPTION: ISSUED FOR DEVELOPMENT PERMIT REVIEW
15 DEC 2017: ISSUED FOR ADDENDUM REVIEW
22 FEB 2018: ISSUED FOR BUILDING PERMIT REVIEW
22 MAR 2018: ISSUED FOR TENDER
2 APR 2018: TENDER ADDENDUM 1

LOWER LEVEL PLAN

DATE: 4/2/2018 4:32:03 PM
A2.00
SCALE: As indicated

NOT FOR CONSTRUCTION



1 UPPER LEVEL FLOOR PLAN
1:100

PLAN LEGEND

WF&F	WATER FOUNTAIN + BOTTLE FILLER
IRWL	INSULATED RAIN WATER LEADER
MLW	MLLWORK CASEWORK NOTE: REFERS TO INTERIOR ELEVATIONS FOR MILLWORK TAGS - CALLOUTS

FIRE RATING LEGEND

---	0 MIN
---	60 MIN
---	120 MIN

NOTE: 1 MIN 60 MIN F.R.B. SEPARATION LEVEL 2 FLOOR TYPICAL AND ALL LEVEL 2 SUPPORTING ELEMENTS (WALLS, COLUMNS, ETC.) - REFER TO STRUCT. FOR LOCATIONS.

AIR TIGHTNESS LEGEND

---	LINE OF PASSIVE HOUSE AIRTIGHTNESS BOUNDARY
-----	---------------------------------------------

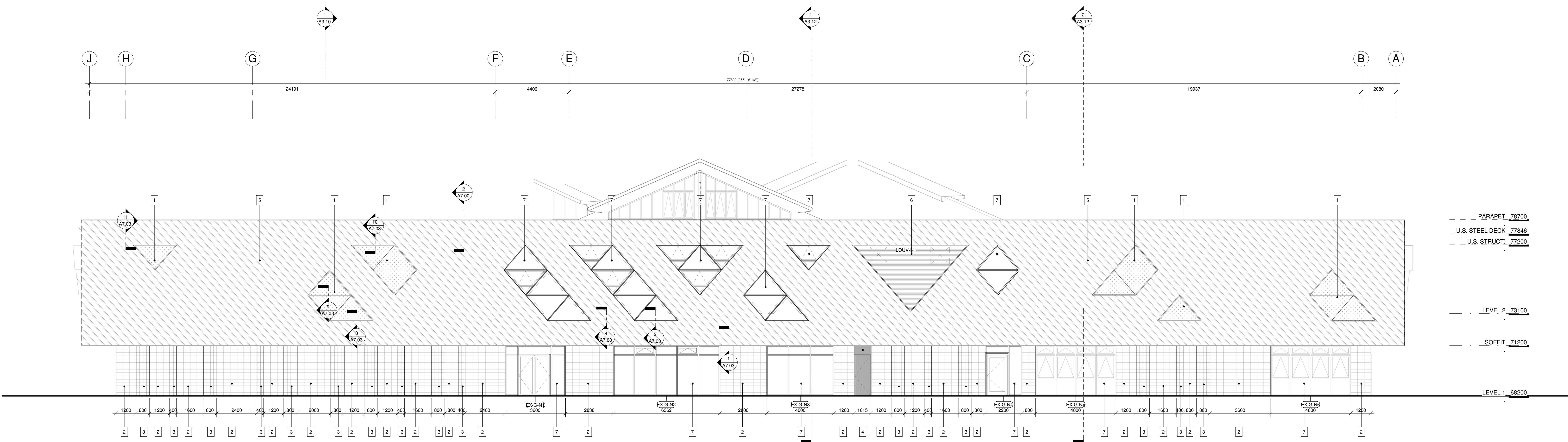
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715-187A Street, Surrey, BC

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ISSUED FOR PERMIT REVIEW: 15 DEC 2017
ISSUED FOR ADDENDUM: 22 FEB 2018
ISSUED FOR BUILDING PERMIT: 22 MAR 2018
ISSUED FOR TENDER: 2 APR 2018
1 TENDER ADDENDUM 1

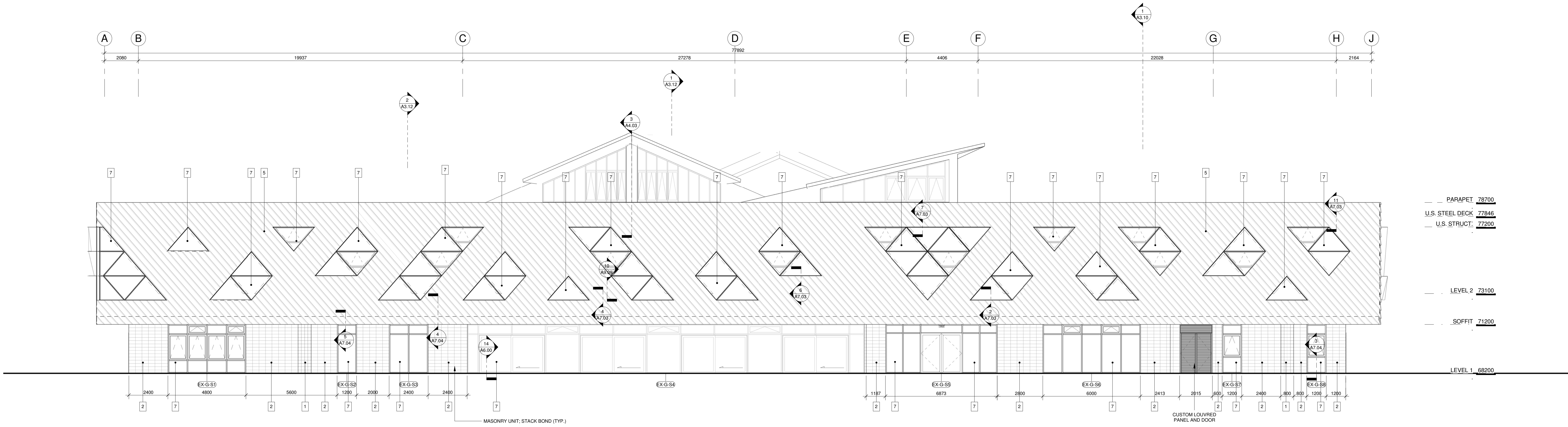
UPPER LEVEL PLAN

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A2.01
SCALE: As indicated

NOT FOR CONSTRUCTION



1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100

EXTERIOR ELEVATION LEGEND

1 MIRRORRED PANEL FINISH	4 METAL PANEL	7 PASSIVE HOUSE CERTIFIED GLAZING
2 MASONRY UNIT STACKED BOND - FULL SIZE	5 BENT FORMED METAL PANEL	8 EXTERIOR ELEC OUTLET - SEE ELEC.
3 MASONRY UNIT STACKED BOND - HALF SIZE	6 ARCHITECTURAL LOUVER	

CLAYTON COMMUNITY CENTRE
7155-187A Street, Surrey, BC

DATE
24 AUG 2017
15 DEC 2017
22 FEB 2018
22 MAR 2018
2 APR 2018

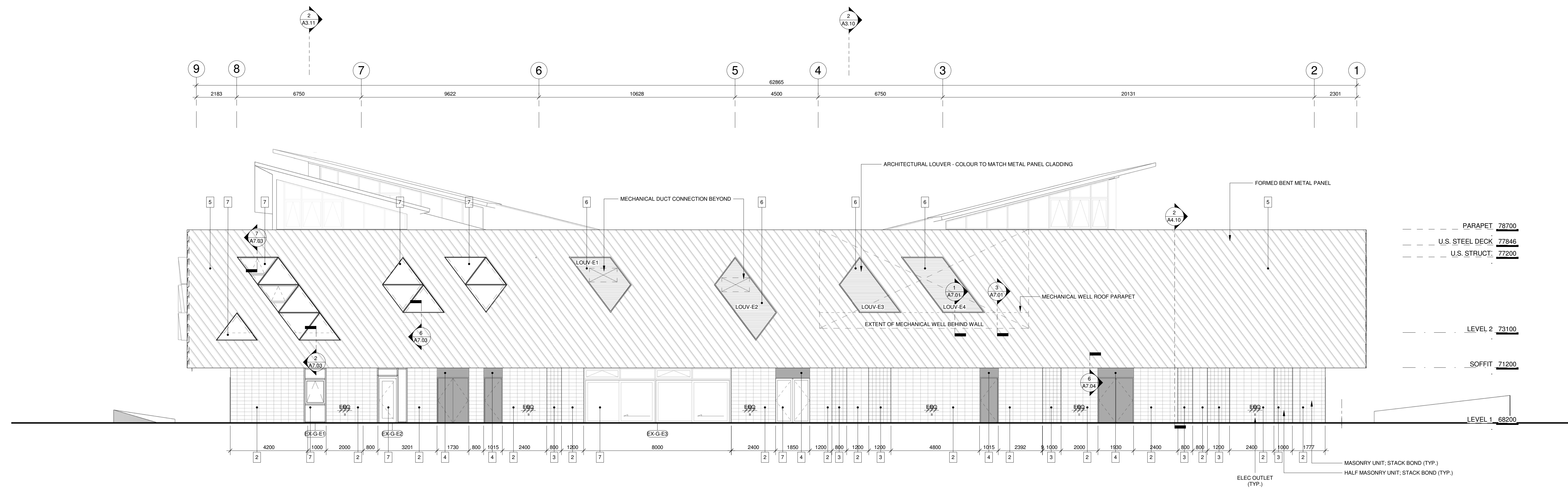
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ISSUED FOR DEVELOPMENT PERMIT
ISSUED FOR DEVELOPMENT PERMIT
ISSUED FOR ADDENDUM
ISSUED FOR BUILDING PERMIT
ISSUED FOR TENDER
ISSUED FOR DP ADDENDUM

BUILDING ELEVATIONS

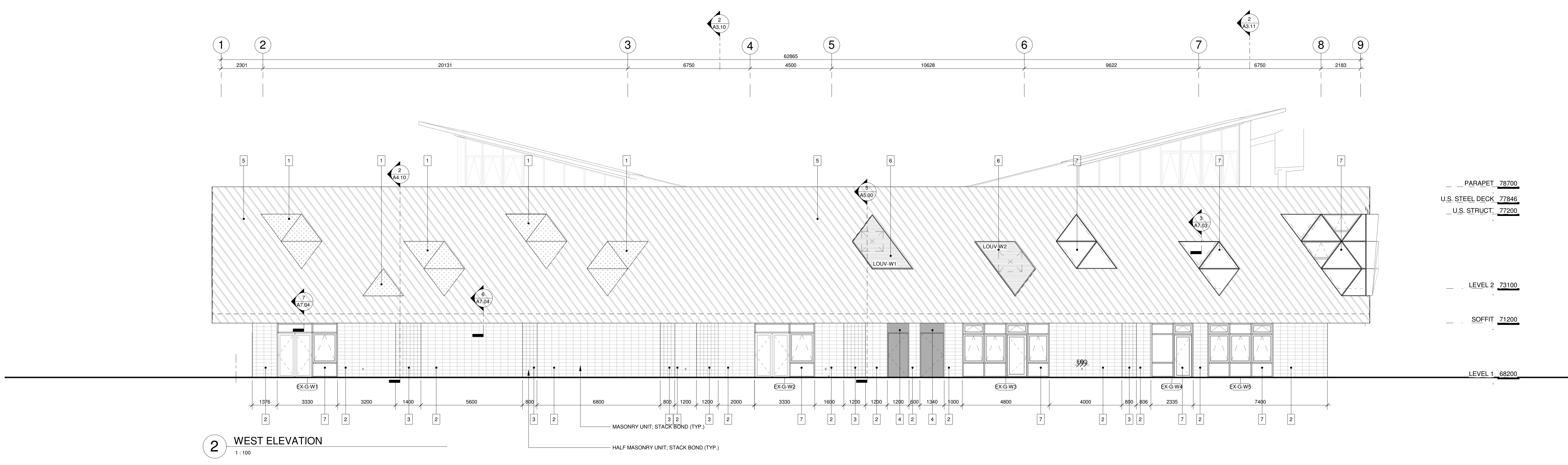
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SCALE: As indicated

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1 EAST ELEVATION
1:100



2 WEST ELEVATION
1:100

EXTERIOR ELEVATION LEGEND

	1 MIRRORRED PANEL FINISH		4 METAL PANEL		7 PASSIVE HOUSE CERTIFIED GLAZING
	2 MASONRY UNIT STACKED BOND - FULL SIZE		5 BENT FORMED METAL PANEL		8 EXTERIOR ELEC. OUTLET - SEE ELEC.
	3 MASONRY UNIT STACKED BOND - HALF SIZE		6 ARCHITECTURAL LOUVER		

CLAYTON COMMUNITY CENTRE
7155-187A Street, Surrey, BC

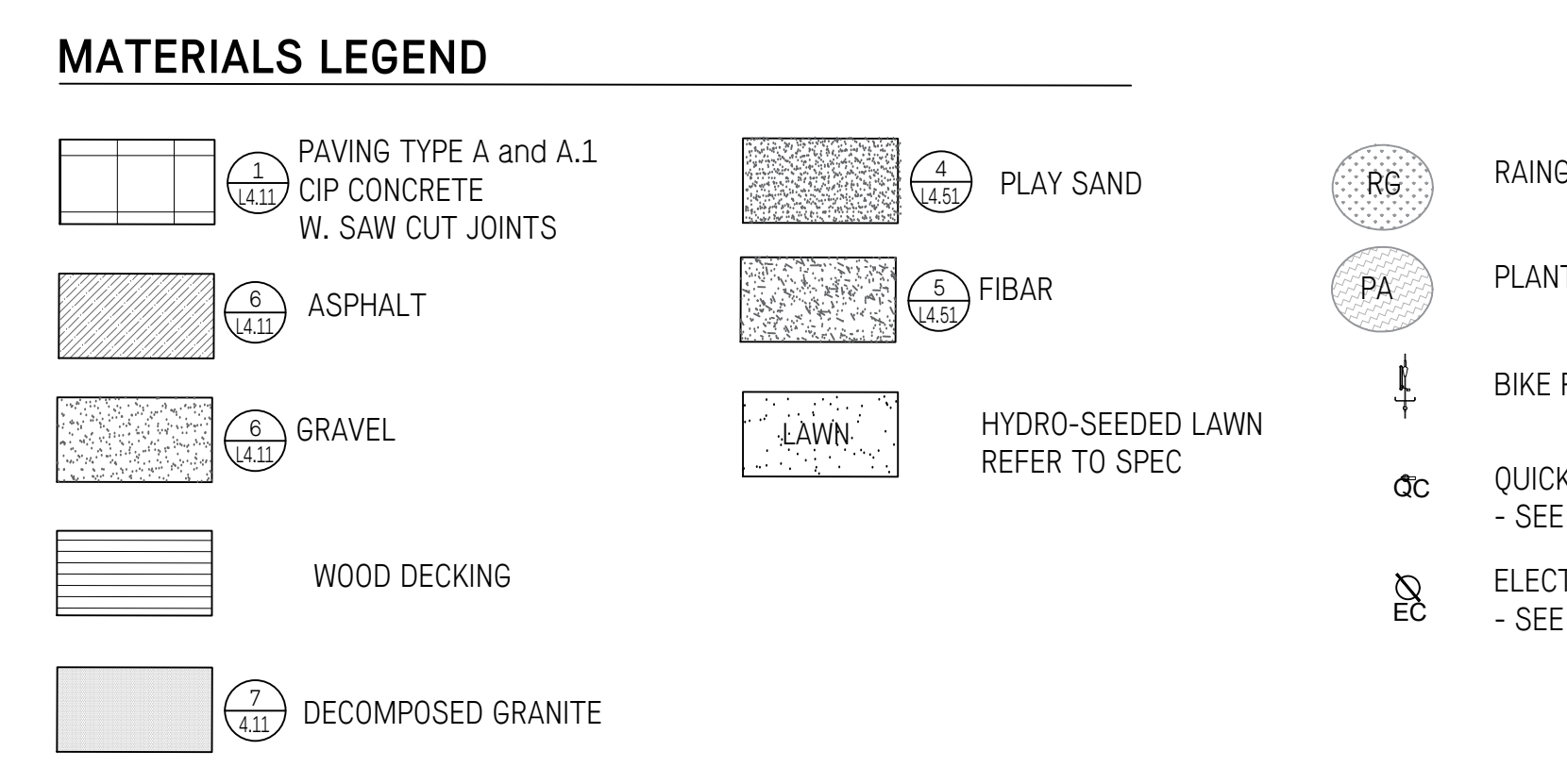
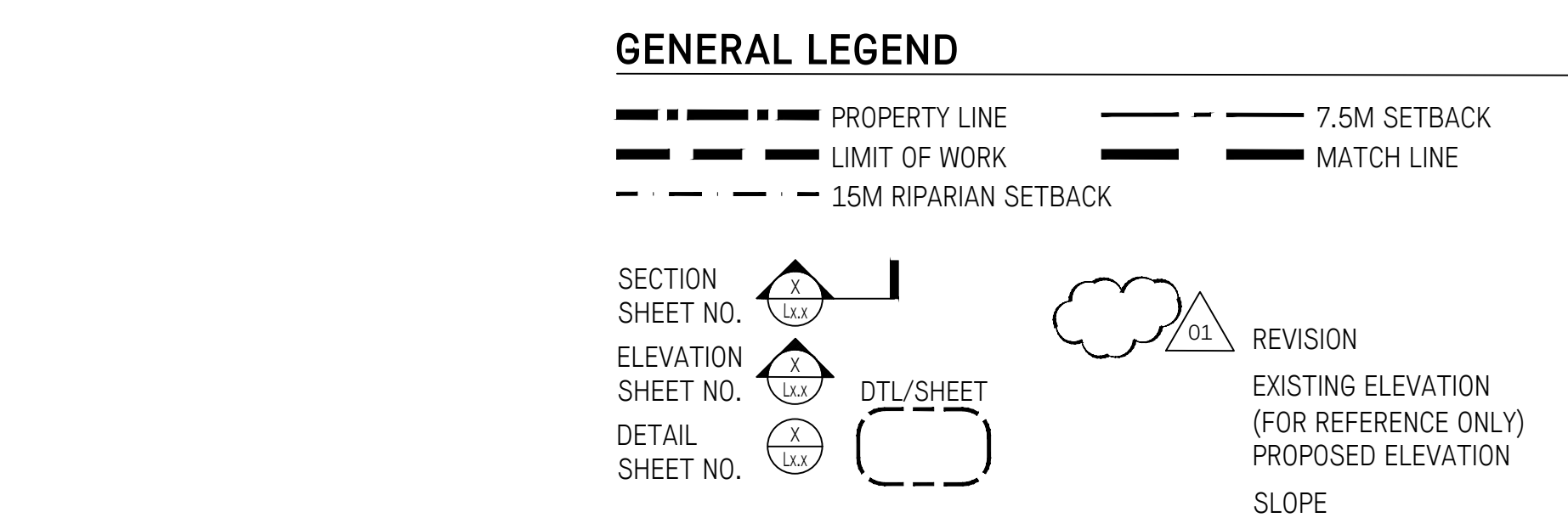
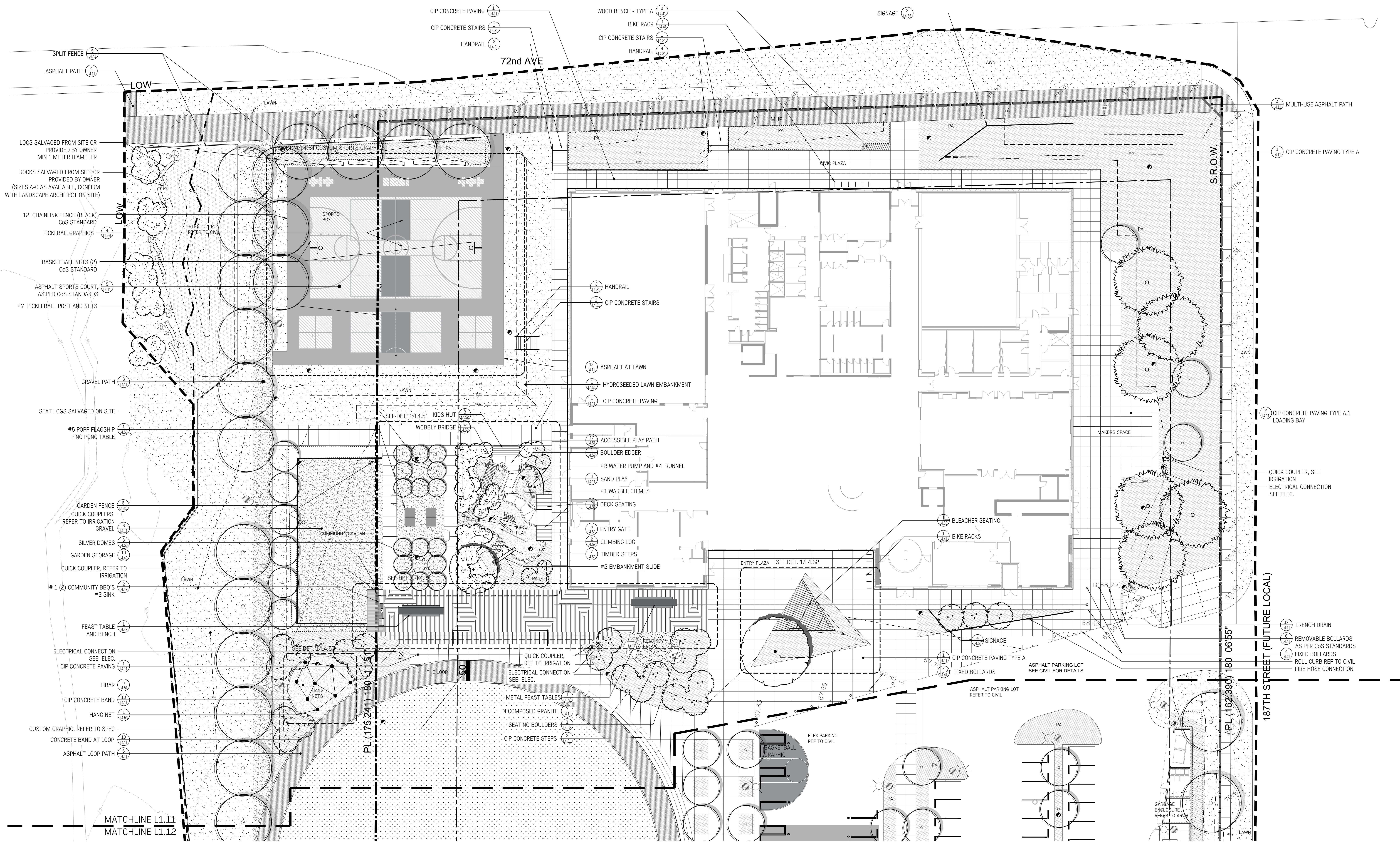
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ISSUED FOR DEVELOPMENT PERMIT
DATE: 15 DEC 2017
ISSUED FOR DP ADDENDUM
DATE: 22 FEB 2018
ISSUED FOR BALCONY PERMIT
DATE: 22 MAR 2018
ISSUED FOR DP ADDENDUM
DATE: 2 APR 2018

BUILDING ELEVATIONS

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A3.01
SCALE: As indicated

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- ### NOTES
- REFER TO TREE MANAGEMENT FOR TREE REMOVALS;
 - ALL PLANTING AROUND BUILDING TO HAVE AUTOMATIC IRRIGATION;
 - ALL DIMENSIONS ARE NOMINAL AND ARE BASED ON ARCHITECTURAL GRID;
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 - CONTRACTOR TO PROVIDE A STAKED-OUT LOCATION ON SITE FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OR INSTALLATION;
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 - BOULDERS: BOULDERS FOR READING ROOM AND ALL ADDITIONAL BOULDERS PROVIDED BY CO&S AND ALREADY ON SITE. REMAINING BOULDERS TO BE SUPPLIED BY CONTRACTOR.

PLAY EQUIPMENT LEGEND - SEE SPECIFICATION - INSTALL PER MANUFACTURERS INSTRUCTIONS

KEY	NAME	PRODUCT CODE	MANUFACTURER	MATERIAL	DISTRIBUTOR
#1	ALTO DIATONIC SS LEGS, GROUND FIX	TBD	FREE CHIMES	SS	HABITAT
#2	EMBANKMENT SLIDE SHOOT Stainless Steel w. 6" (15cm) Side Rails, For 5' Drop in Elevators, COLOR CASPAK-7 POWDER-COATED CHUTE RAILS AND ENTRANCE PLATFORM	1840-S1-EMB	COLUMBIA CASCADE	SS	COLUMBIA CASCADE COMPANY
#3	WATER TAP	M59305	KOMPAN	GAL STEEL	RECTEC
#4	ANGLED WATER RUNNEL	NR0505	KOMPAN	ROBINA	RECTEC
#5	POPP FLAGSHIP PING PONG TABLE (2)	NA	POPP PING PONG	STEEL	POPP PING PONG
#6	SIDEWAYS TREE CLIMBER W CARGO NET	NI-PG-901-09	NATURES INSTRUMENTS INC		BIENENSTOCK NATURE PLAY
#7	PUTTERMAN PICKLEBALL POSTS AND NET	NA	PICKLE BALL DEPOT.CA	STEEL, BLACK	

FLEX PARKING LEGEND - SEE SPECIFICATION - INSTALL PER MANUFACTURERS INSTRUCTIONS

KEY	NAME	PRODUCT CODE	MANUFACTURER	MATERIAL	DISTRIBUTOR
#8	1250 x 150 x 100 White mix Parking Curbs (36)	NA	SANDERSON CONCRETE	WHITE CONCRETE	NA
#9	STREETBOND 150 ADVANCED COATING FOR ASPHALT	NA	QUEST CONSTRUCTION PRODUCTS	3 STANDARD COLOURS 1 CUSTOM COLOUR, TBD	HUBSS.COM

BOULDER SCHEDULE

SYMBOL:	DESCRIPTION:	QTY:	SYMBOL:	DESCRIPTION:	QTY:
⊙	TYPE A - 24" DIA.	12 MIN	⊙	TYPE C - 42" DIA.	12 MIN
⊙	TYPE B - 36" DIA.	26 MIN	⊙	TYPE D - 6" DIA.	2 MIN

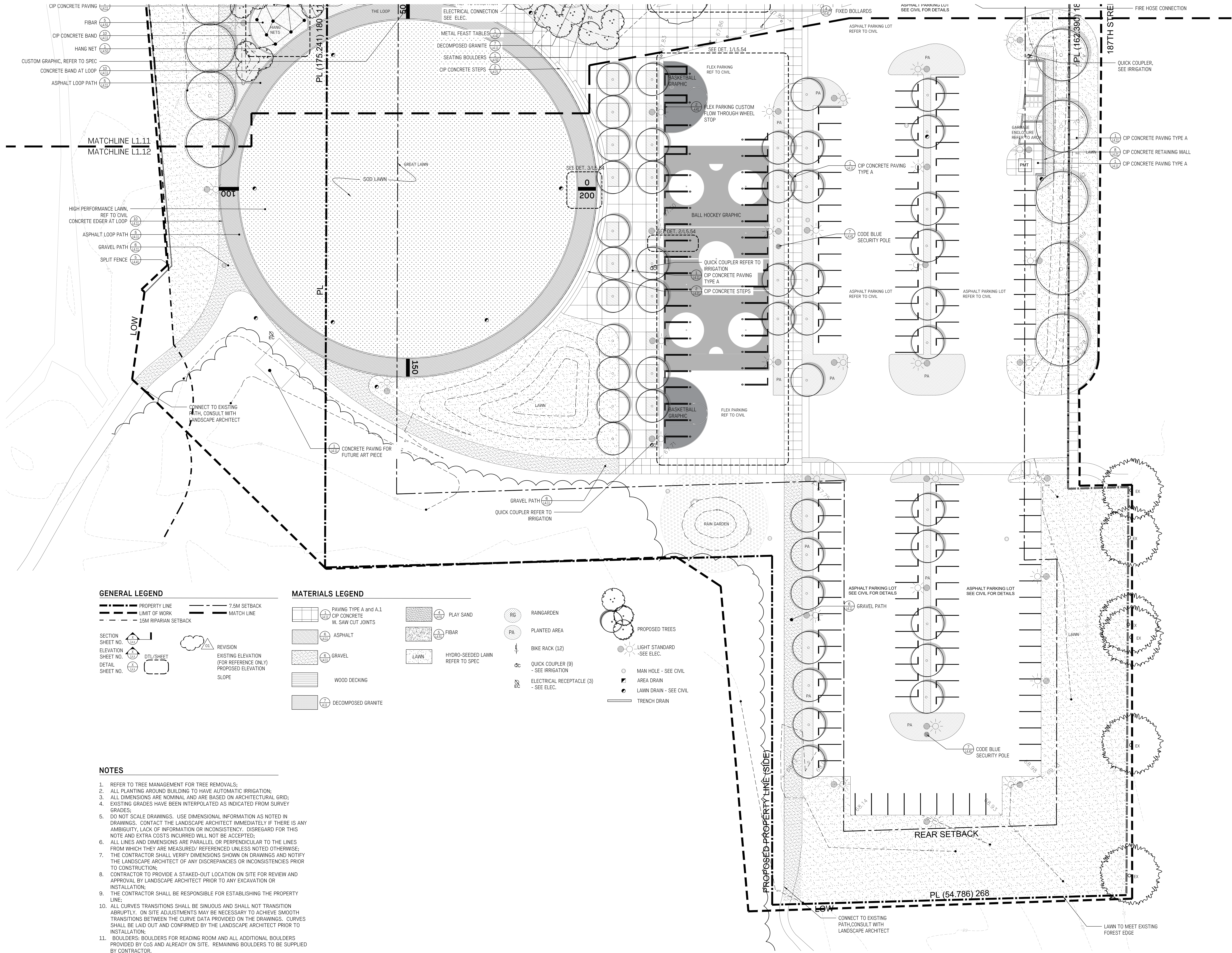
NOTE: ANY ADDITIONAL BOULDERS TO BE SALVAGED FOR AREAS AROUND DETENTION POND, CONFIRM WITH LANDSCAPE ARCHITECT ON SITE

CLAYTON COMMUNITY CENTRE
7165-187A Street, Surrey, BC

DATE: 11.03.2017
ISSUED FOR PERMIT: 03 NOV 2017
ISSUED FOR DEVELOPMENT PERMIT: 15 DEC 2017
ISSUED FOR P&L REVIEW: 15 FEB 2018
ISSUED FOR RFP REVIEW: 12 MARCH 2018
ISSUED FOR P&L REVIEW: 02 APRIL 2018

MATERIALS PLAN

DATE: 11.03.2017
L1.11
SCALE: 1:200



- CIP CONCRETE PAVING (1/1)
- FIBAR (1/2)
- CIP CONCRETE BAND (1/3)
- HANG NET (1/4)
- CUSTOM GRAPHIC, REFER TO SPEC (1/5)
- CONCRETE BAND AT LOOP (1/6)
- ASPHALT LOOP PATH (1/7)

- HIGH PERFORMANCE LAWN, REF TO CIVIL (1/8)
- CONCRETE EDGER AT LOOP (1/9)
- ASPHALT LOOP PATH (1/10)
- GRAVEL PATH (1/11)
- SPLIT FENCE (1/12)

CONNECT TO EXISTING PATH, CONSULT WITH LANDSCAPE ARCHITECT

- GENERAL LEGEND**
- PROPERTY LINE
 - LIMIT OF WORK
 - 15M RIPARIAN SETBACK
 - 7.5M SETBACK
 - MATCH LINE
- SECTION SHEET NO. (1/13)
- ELEVATION SHEET NO. (1/14)
- DETAIL SHEET NO. (1/15)
- DTL/SHEET (1/16)
- REVISION (1/17)
- EXISTING ELEVATION (FOR REFERENCE ONLY)
- PROPOSED ELEVATION
- SLOPE (1/18)

- MATERIALS LEGEND**
- PAVING TYPE A AND A.1
 - CIP CONCRETE W. SAW CUT JOINTS
 - ASPHALT
 - GRAVEL
 - WOOD DECKING
 - DECOMPOSED GRANITE
 - PLAY SAND
 - FIBAR
 - HYDRO-SEEDED LAWN REFER TO SPEC

- RAIN GARDEN (RG)
- PLANTED AREA (PA)
- BIKE RACK (12)
- QUICK COUPLER (9) - SEE IRRIGATION
- ELECTRICAL RECEPTACLE (3) - SEE ELEC.
- PROPOSED TREES
- LIGHT STANDARD - SEE ELEC.
- MAN HOLE - SEE CIVIL
- AREA DRAIN
- LAWN DRAIN - SEE CIVIL
- TRENCH DRAIN

- NOTES**
- REFER TO TREE MANAGEMENT FOR TREE REMOVALS.
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HCMA

HAPA

Landscape Architecture
Urban Design

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Vancouver BC, V5Y 1J6

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CLAYTON COMMUNITY CENTRE
7165-167A Street, Surrey, BC

DATE: 11.03.2017

ISSUE DESCRIPTION

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2	ISSUED FOR DEVELOPMENT PERMIT
3	ISSUED FOR DEVELOPMENT PERMIT
4	ISSUED FOR DEVELOPMENT PERMIT
5	ISSUED FOR DEVELOPMENT PERMIT
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9	ISSUED FOR DEVELOPMENT PERMIT

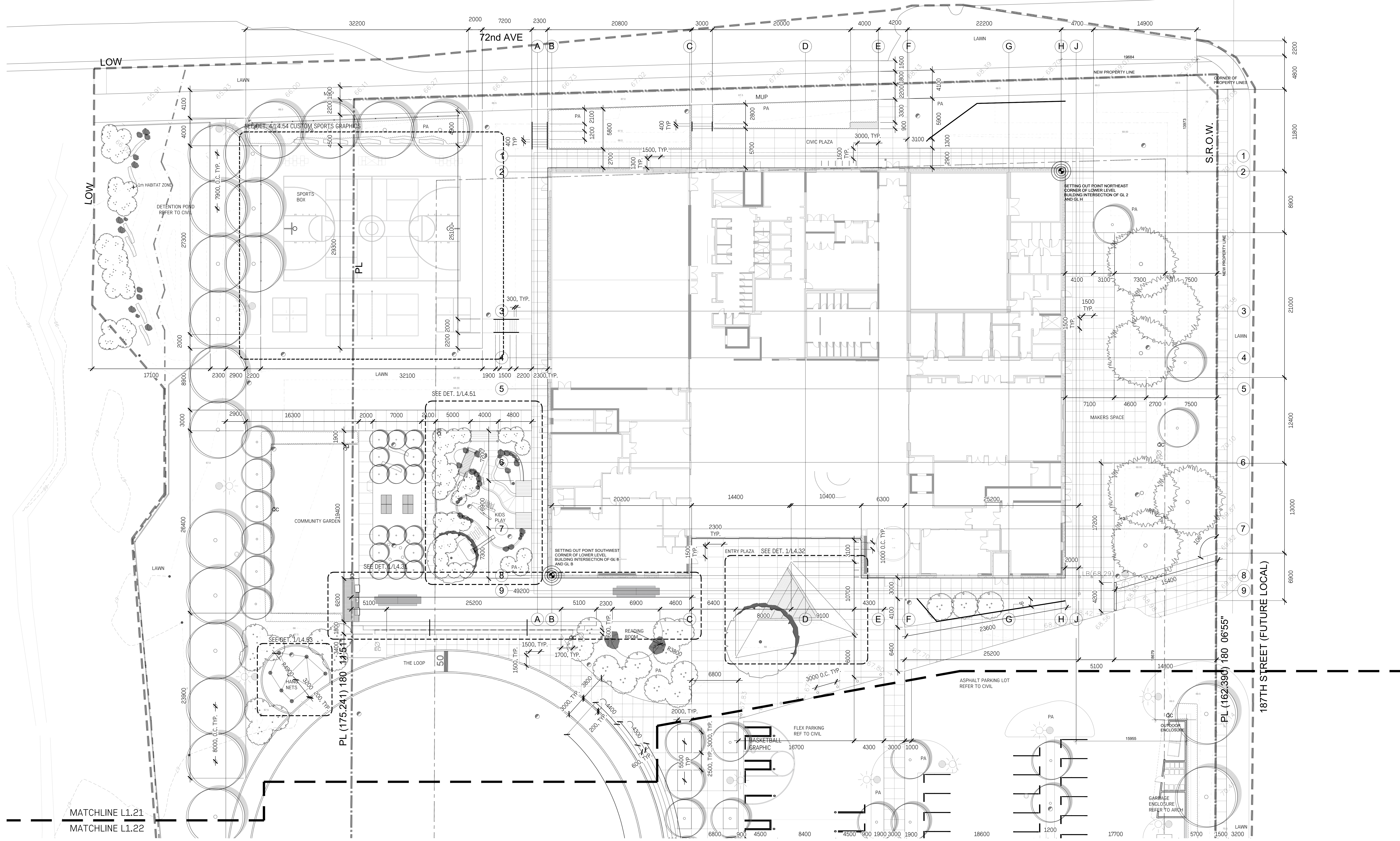
MATERIALS PLAN

DATE: 11.03.2017

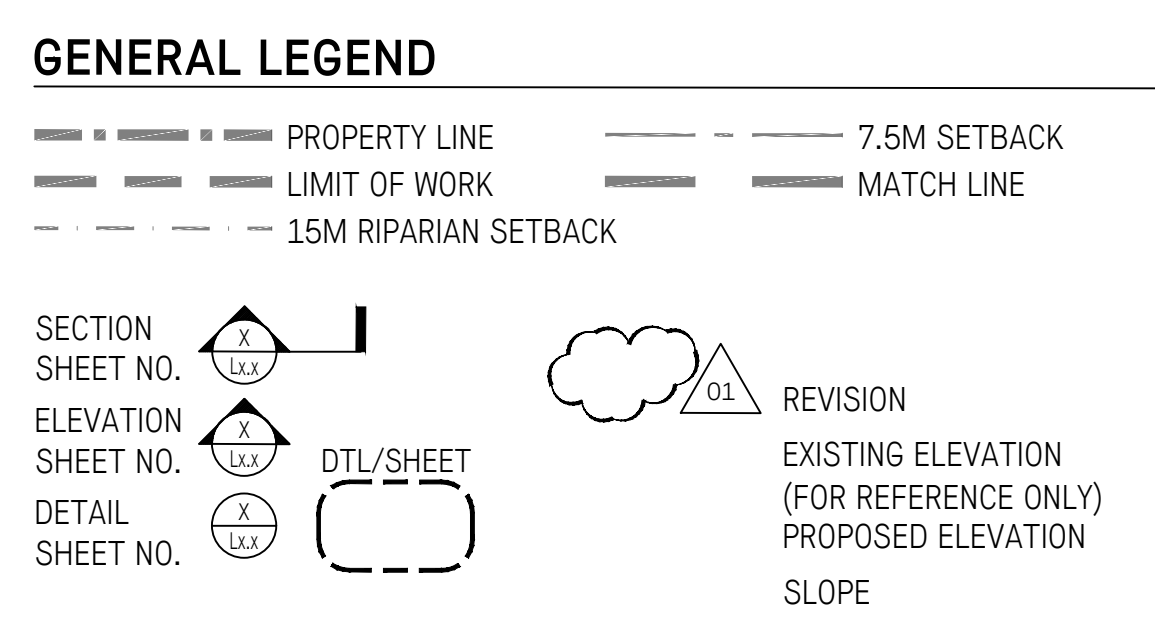
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SCALE: 1:200

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MATCHLINE L1.21
MATCHLINE L1.22



- NOTES**
- REFER TO TREE MANAGEMENT FOR TREE REMOVALS;
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 - DO NOT SCALE DRAWINGS. USE DIMENSIONAL INFORMATION AS NOTED IN DRAWINGS. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF THERE IS ANY AMBIGUITY, LACK OF INFORMATION OR INCONSISTENCY. DISREGARD FOR THIS NOTE AND EXTRA COSTS INCURRED WILL NOT BE ACCEPTED;
 - ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED/ REFERENCED UNLESS NOTED OTHERWISE;
 - THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO CONSTRUCTION;
 - CONTRACTOR TO PROVIDE A STAKED-OUT LOCATION ON SITE FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OR INSTALLATION;
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE PROPERTY LINE;
 - ALL CURVES TRANSITIONS SHALL BE SINOUS AND SHALL NOT TRANSITION ABRUPTLY. ON SITE ADJUSTMENTS MAY BE NECESSARY TO ACHIEVE SMOOTH TRANSITIONS BETWEEN THE CURVE DATA PROVIDED ON THE DRAWINGS. CURVES SHALL BE LAID OUT AND CONFIRMED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION;
 - BOULDERS: BOULDERS FOR READING ROOM AND ALL ADDITIONAL BOULDERS PROVIDED BY CoS AND ALREADY ON SITE. REMAINING BOULDERS TO BE SUPPLIED BY CONTRACTOR.

PROJECT#: 1637 • DRAWN: AV • CHECKED: JF

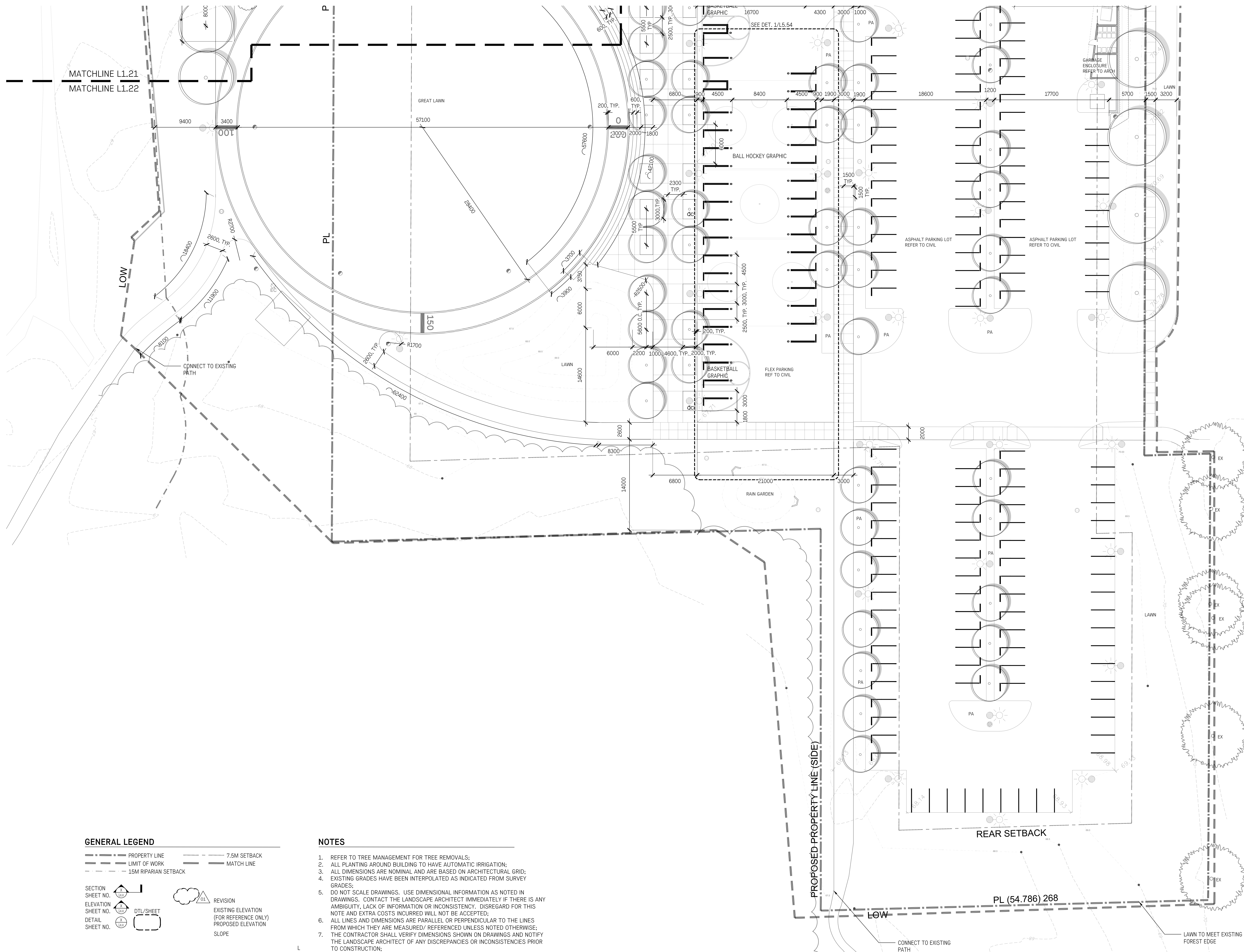
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CLAYTON COMMUNITY CENTRE
7165-187A Street, Surrey, BC

DATE	ISSUE DESCRIPTION
03 NOV 2017	1. ISSUE DESCRIPTION
15 DEC 2017	2. ISSUED FOR DEVELOPMENT PERMIT
15 FEB 2018	3. ISSUED FOR ARCHITECTURAL REVIEW
15 FEB 2018	4. ISSUED FOR ARCHITECTURAL REVIEW
12 MARCH 2018	5. ISSUED FOR REVIEW
02 APRIL 2018	6. ISSUED FOR APPROVAL

LAYOUT PLAN

DATE: 11.03.2017
L1.21
SCALE: 1:200



GENERAL LEGEND

--- PROPERTY LINE	--- 7.5M SETBACK
--- LIMIT OF WORK	--- MATCH LINE
--- 15M RIPARIAN SETBACK	

SECTION SHEET NO.	REVISION
ELEVATION SHEET NO.	EXISTING ELEVATION (FOR REFERENCE ONLY)
DETAIL SHEET NO.	PROPOSED ELEVATION
	SLOPE

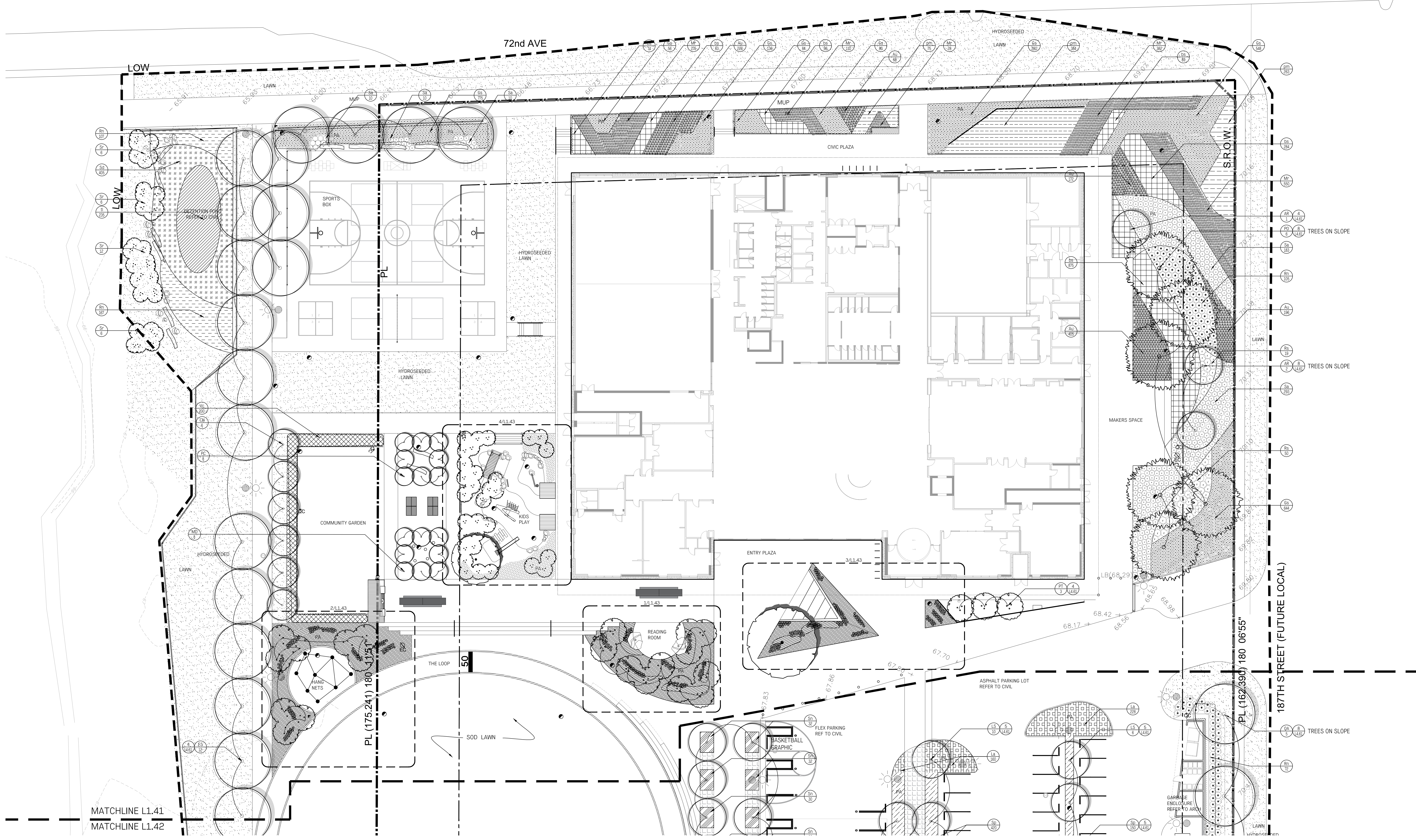
- NOTES**
- REFER TO TREE MANAGEMENT FOR TREE REMOVALS;
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#	DATE	DESCRIPTION
1	11.03.2017	ISSUED FOR DEVELOPMENT PERMIT
2	03.10.2017	ISSUED FOR DEVELOPMENT PERMIT
3	16.02.2017	ISSUED FOR DEVELOPMENT PERMIT
4	15.02.2018	ISSUED FOR DEVELOPMENT PERMIT
5	15.02.2018	ISSUED FOR DEVELOPMENT PERMIT
6	12.03.2018	ISSUED FOR DEVELOPMENT PERMIT
7	12.03.2018	ISSUED FOR DEVELOPMENT PERMIT
8	02.04.2018	ISSUED FOR DEVELOPMENT PERMIT

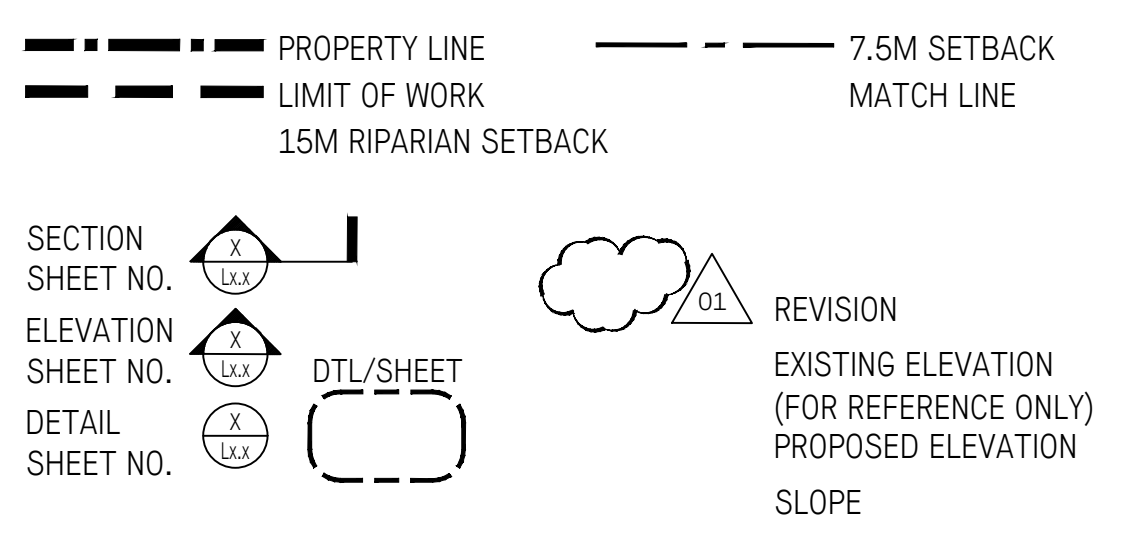
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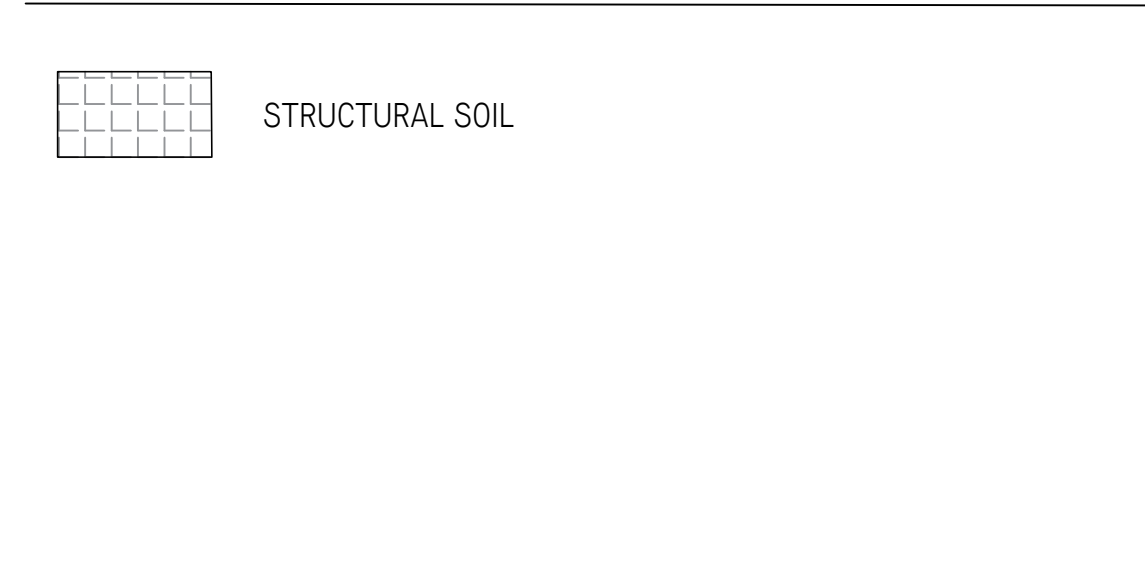
CLAYTON COMMUNITY CENTRE
7185-187A Street, Surrey, BC

DATE	DESCRIPTION
03 NOV 2017	ISSUED FOR PERMIT
15 DEC 2017	ISSUED FOR DEVELOPMENT PERMIT
15 FEB 2018	ISSUED FOR B.C. REVIEW
15 FEB 2018	ISSUED FOR B.C. REVIEW
12 MARCH 2018	ISSUED FOR B.C. REVIEW
02 APRIL 2018	ISSUED FOR APPROVAL

GENERAL LEGEND



PLANTING LEGEND



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
TREES					
AR	3	Acer rubrum	Red Maple	6cm CAL, B&B	full
AC	3	Acer circinatum 'Pacific Fire'	Vine maple	Multistem, 3m, B&B	full
AP	5	Acer circinatum 'Pacific Fire'	Redbark Vine maple	Multistem, 3m, B&B	full
CN	6	Cornus nuttallii	Pacific Dogwood	6cm CAL, B&B	full
FS	19	Fagus sylvatica	European Beech	6cm CAL, B&B	full
LS	46	Liquidambar styraciflua 'Warplesdon'	Warplesdon Sweet Gum	6 cm CAL, B&B	full
MD	8	Malus Liberty	Liberty Apple	5.0cm CAL, B&B	full
PO	6	Picea omorika	Serbian Spruce	6cm CAL, 2.4m ht, B&B	full
PT	24	Populus tremuloides	Quaking Aspen	Multistem, 3m B&B	full
PC	8	Pyrus communis	Common Pear	6cm CAL	full
QA	5	Quercus acutissima	Sawtooth Oak	6cm CAL, B&B	full
WOODY SHRUBS					
Au	1065	Arctostaphylos uva-ursi	Kinnikinnik	#1 Pot, 15" O.C.	full
Cp	16	Corylopsis pauciflora	Winter Hazel	#6 Pot, AS SHOWN	full
Ca	3	Cotinus coggygria 'Ancof'	Smoke Bush 'Ancof'	#8 Pot, AS SHOWN	full
Cg	5	Cotinus coggygria 'Grace'	Smoke Bush 'Grace'	#8 Pot, AS SHOWN	full
Cy	3	Cotinus coggygria 'Young Lady'	Smoke Bush 'Young Lady'	#8 Pot, AS SHOWN	full
Ga	2017	Gaultheria shallon	Salei	#2 Pot, 18" O.C.	full
Mr	1343	Mahonia repens	Oregon grape	#1 Pot, 16" O.C.	full
Ri	97	Ribes sanguineum	Flowering Currant	#2 Pot, 36" O.C.	full
Rn	628	Rosa nutka	Nootka Rose	#2 Pot, 24" O.C.	full
Sr	30	Sambucus racemosa	Red Elderberry	#2 Pot, 42" O.C.	full
Sp	343	Salix purpurea	Purple Osier	#2 Pot, 24" O.C.	full
Sn	270	Salix purpurea 'Nana'	Dwarf Purple Osier	#2 Pot, 24" O.C.	full
Sd	680	Spiraea douglasii	Hardhack	#2 Pot, 24" O.C.	full
Sa	506	Symphoricarpos albus	Snowberry	#2 Pot, 24" O.C.	full
Vc	160	Vaccinium hybrid Blue Crop	Blue Crop Blueberry	#2 Pot, 24" O.C.	full
Vc	40	Vaccinium hybrid Pink Lemonade	Pink Lemonade Blueberry	#2 Pot, 24" O.C.	full

PERENNIALS and GRASSES

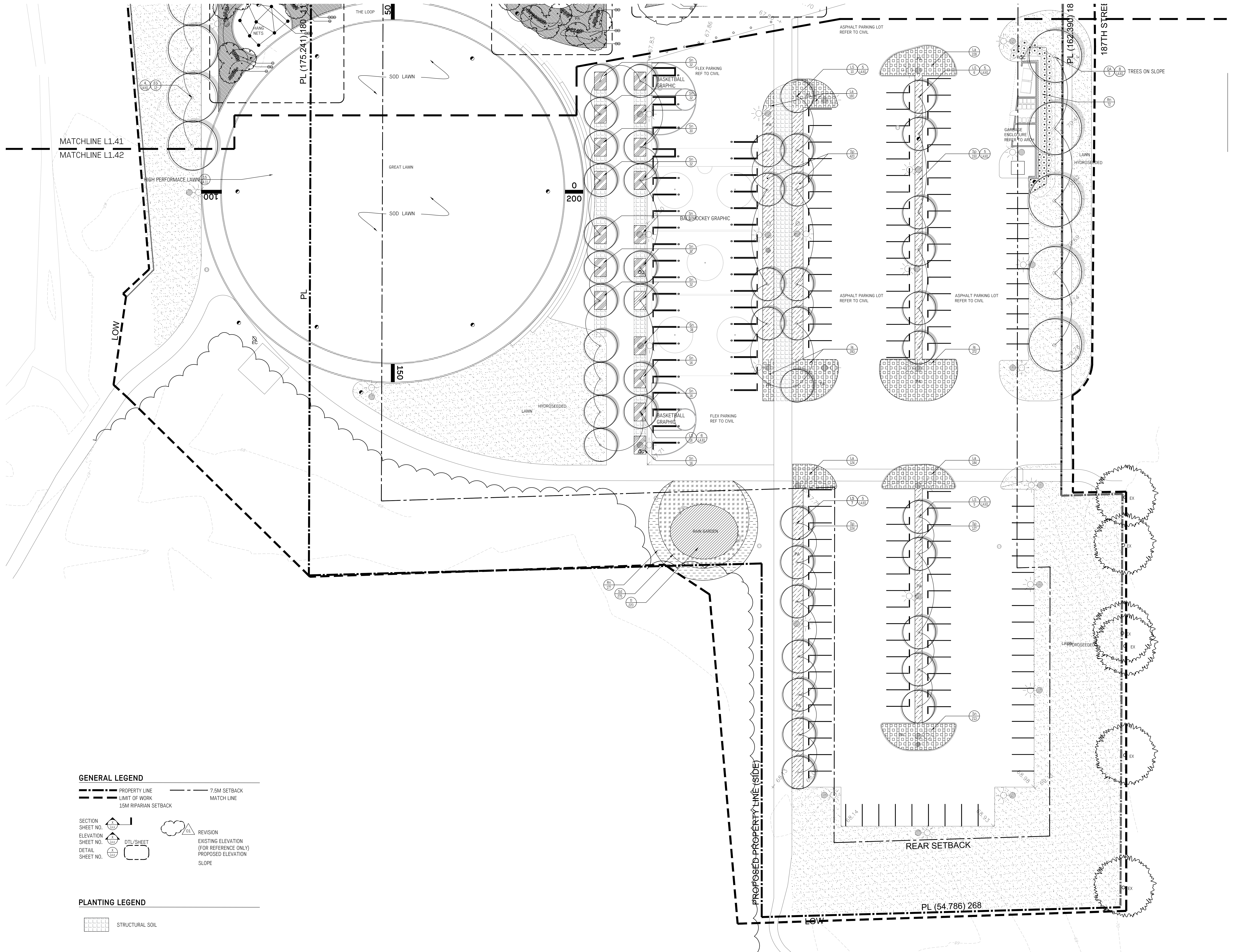
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
bs	1418	Blechnum spicant	Deer Fern	#1 Pot, 15" O.C.	full
Ep	64	Echinacea purpurea 'Bravado'	Purple Coneflower	#1 Pot, 18" O.C.	full
la	1349	Lavandula angustifolia	True Lavender	#1 Pot, 18" O.C.	full
mc	470	Molinia caerulea ssp. 'Heidebraut'	Purple Moor Grass	#1 Pot, 14" O.C.	full
pv	252	Panicum virgatum 'Dacotah'	Dacotah Switch Grass	#1 Pot, 18" O.C.	full
pm	722	Polystichum munitum	Western Sword Fern	#1 Pot, 18" O.C.	full
sn	153	Salvia nemorosa 'Caradonna'	Caradonna Wood Sage	#1 Pot, 18" O.C.	full
ss	180	Salvia x sylvestris 'Mainacht'	Wood sage 'May Night'	#1 Pot, 18" O.C.	full
sa	2728	Setaria autumnalis	Autumn Moor Grass	#1 Pot, 14" O.C.	full
ti	455	Typha latifolia	Cattail	#1 Pot, 24" O.C.	full

NOTES

- All plant material to CLNA standards. Refer to the CLNA standards, latest edition;
- Area of search for plant material: Pacific Northwest, including British Columbia, Washington and Oregon;
- Refer to specification for general conditions, materials and installation requirements;
- Refer to irrigation plan for areas requiring automatic irrigation;
- All 'Randomly spaced' trees to be laid out on site by Land Arch;
- All planting to be watered until established.

PLANTING PLAN

DATE: 11.03.2017
L1.41
SCALE: 1:200



GENERAL LEGEND

- - - - - PROPERTY LINE
 - - - - - LIMIT OF WORK
 - - - - - 15M RIPARIAN SETBACK
 - - - - - 7.5M SETBACK
 - - - - - MATCH LINE

SECTION SHEET NO. SECTION
 ELEVATION SHEET NO. ELEVATION
 DETAIL SHEET NO. DETAIL

REVISION
 EXISTING ELEVATION (FOR REFERENCE ONLY)
 PROPOSED ELEVATION
 SLOPE

PLANTING LEGEND

STRUCTURAL SOIL

* See L1.42 Planting Plan for Schedule and planting notes.

PROJECT#: 1637 • DRAWN: AV • CHECKED: JF

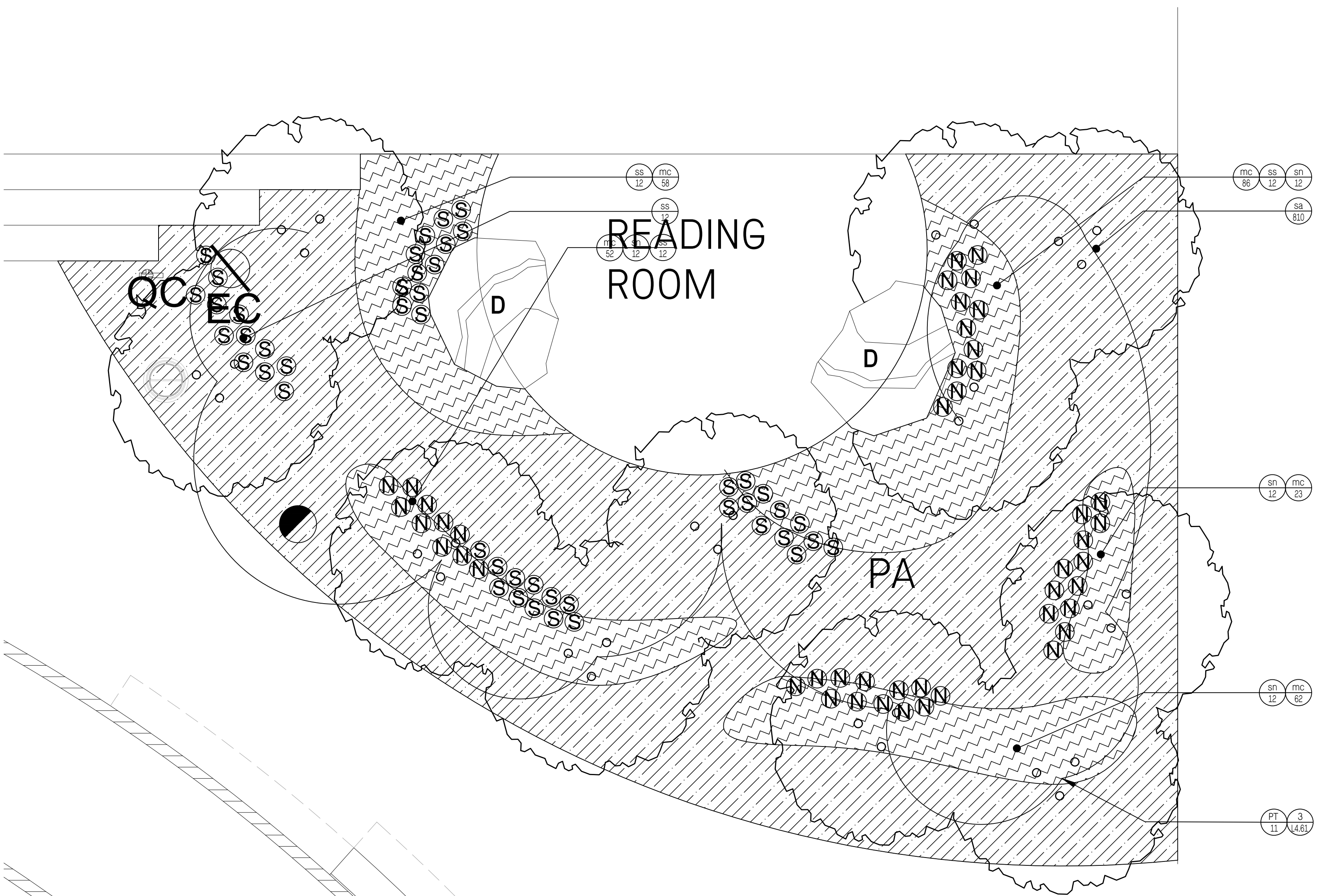
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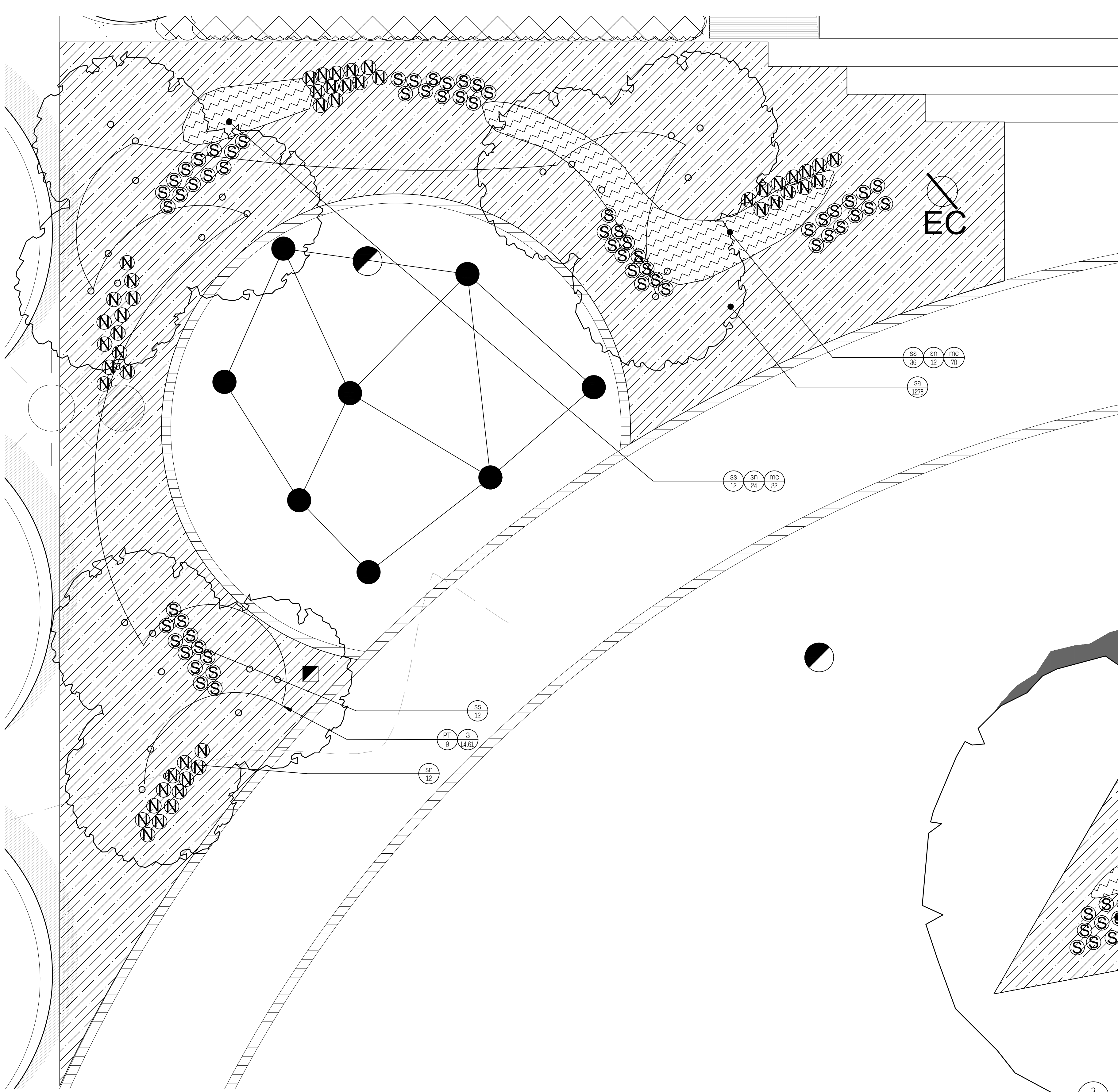
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|---|-------------------------------|---------------|
| 1 | ISSUED FOR DEVELOPMENT PERMIT | 03 NOV 2017 |
| 2 | ISSUED FOR DEVELOPMENT PERMIT | 15 DEC 2017 |
| 3 | ISSUED FOR B.C. CD REVIEW | 15 FEB 2018 |
| 4 | ISSUED FOR B.C. CD REVIEW | 12 MARCH 2018 |
| 5 | ISSUED FOR B.C. CD REVIEW | 02 APRIL 2018 |
| 6 | ISSUED FOR B.C. CD REVIEW | |
| 7 | ISSUED FOR B.C. CD REVIEW | |
| 8 | ISSUED FOR B.C. CD REVIEW | |
| 9 | ISSUED FOR B.C. CD REVIEW | |

PLANTING PLAN

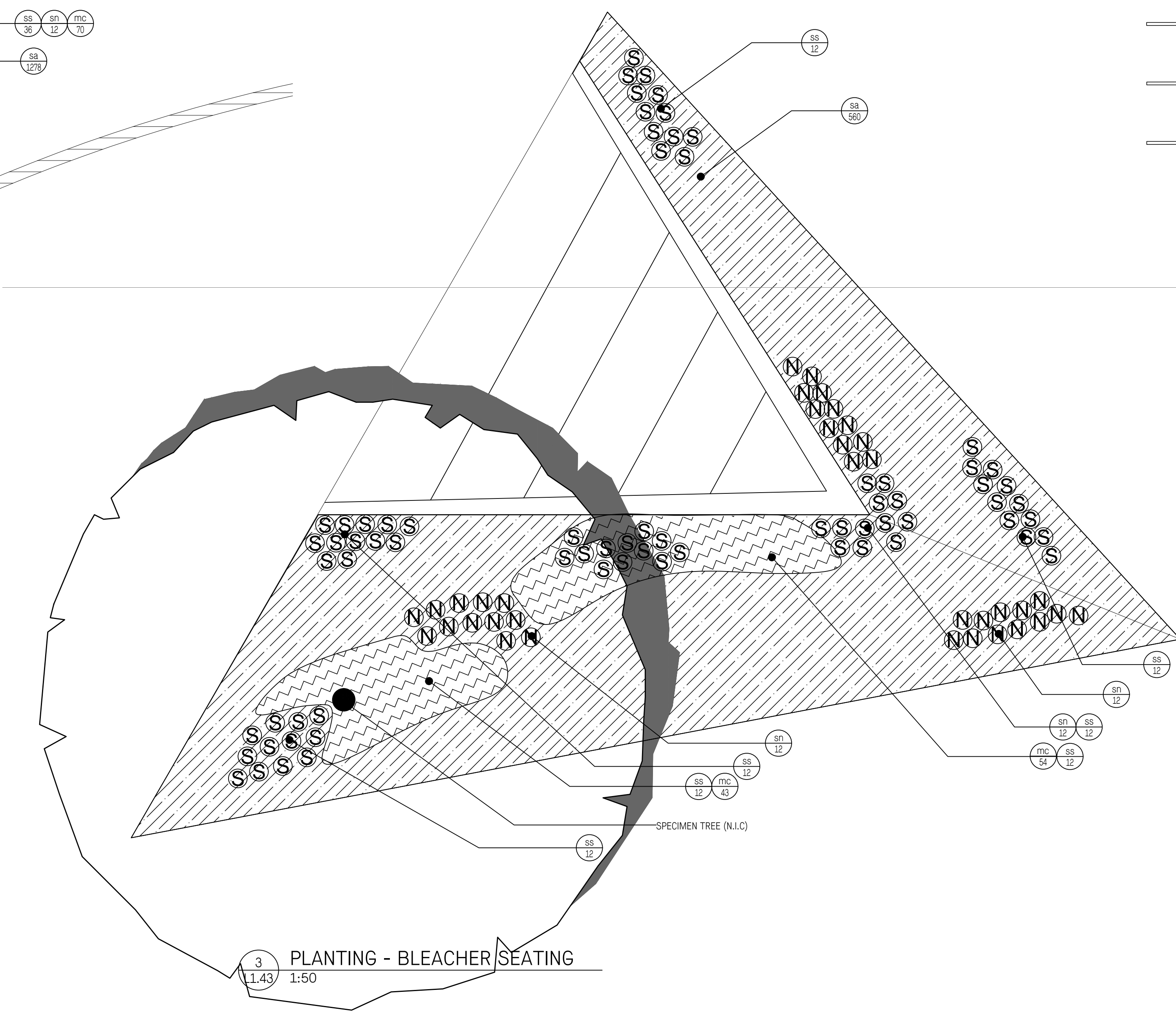
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L1.42
SCALE: 1:200



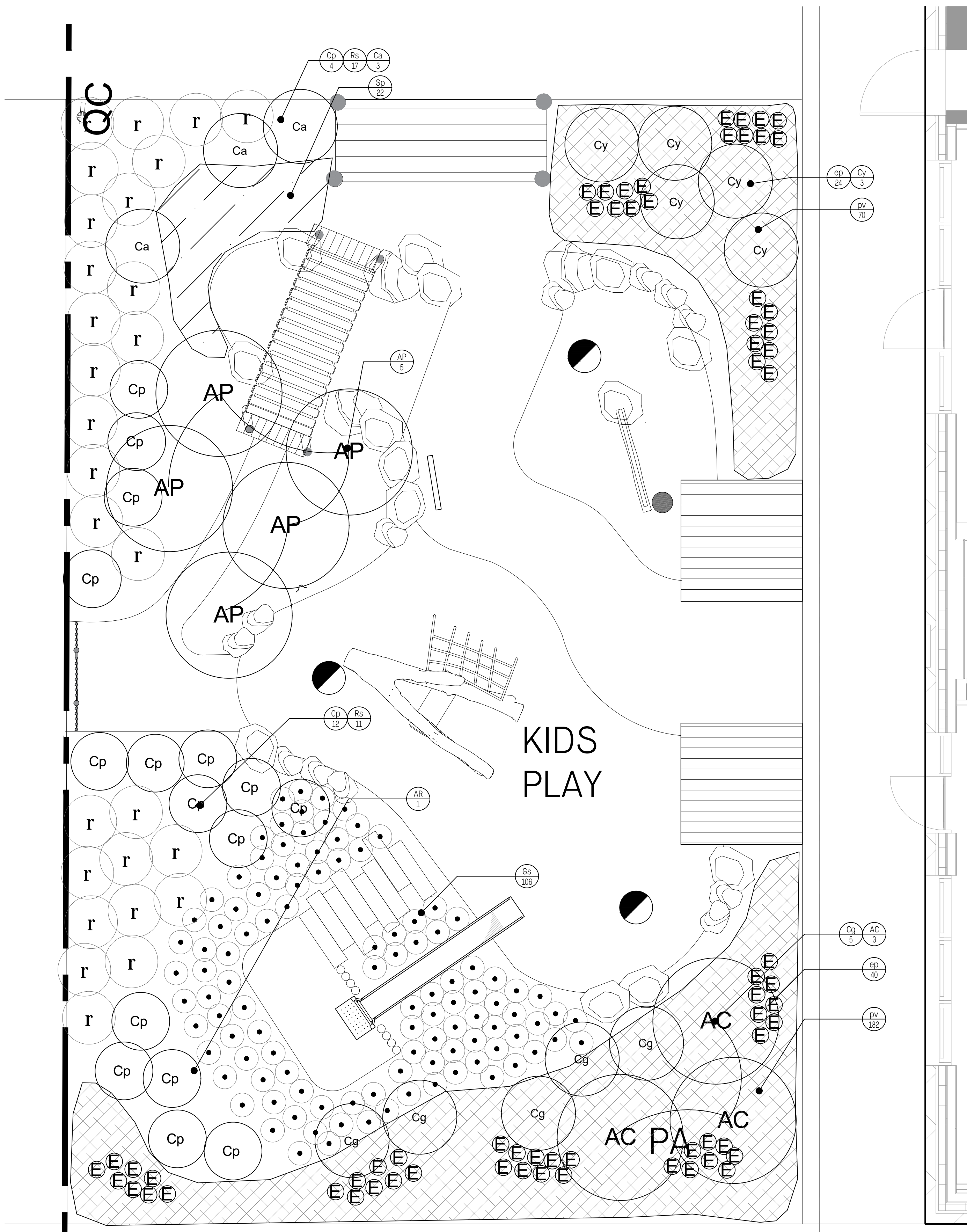
1 PLANTING - READING ROOM
1:50



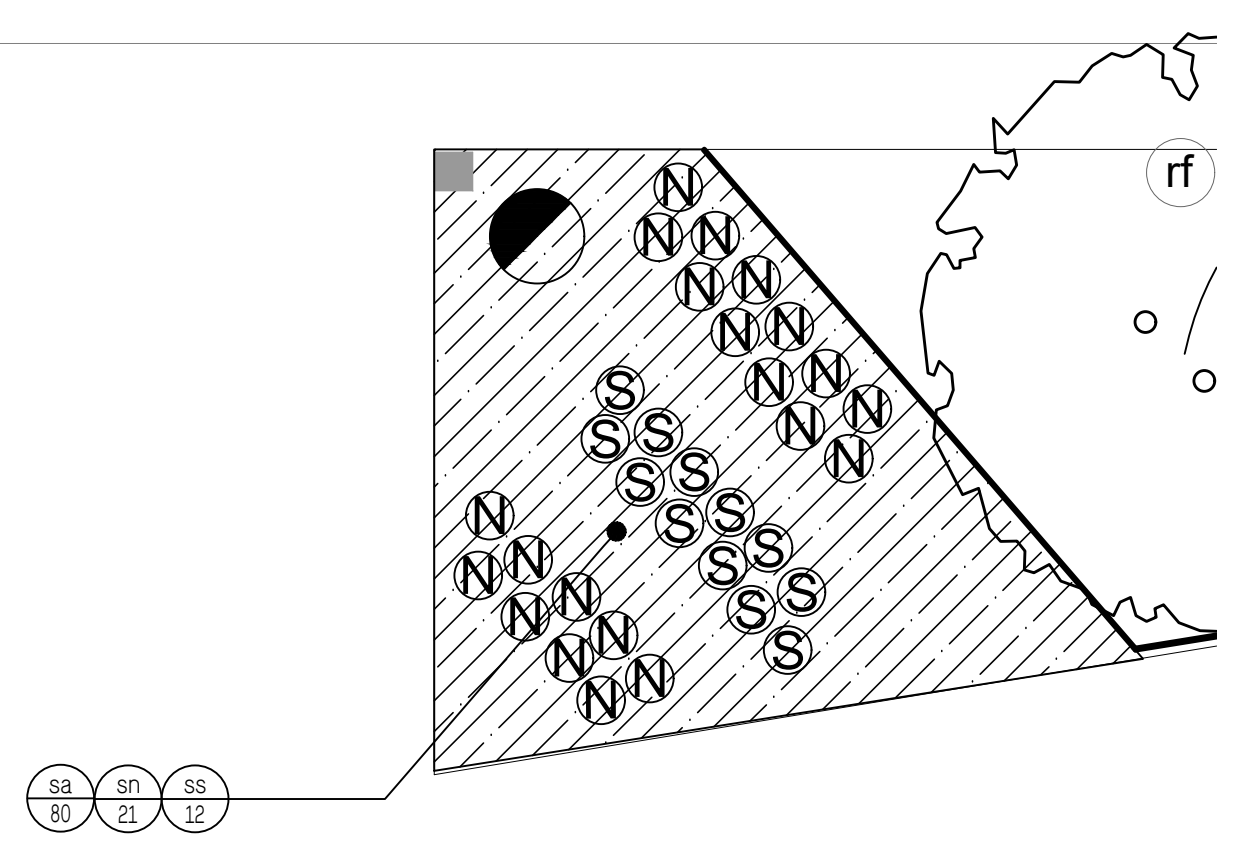
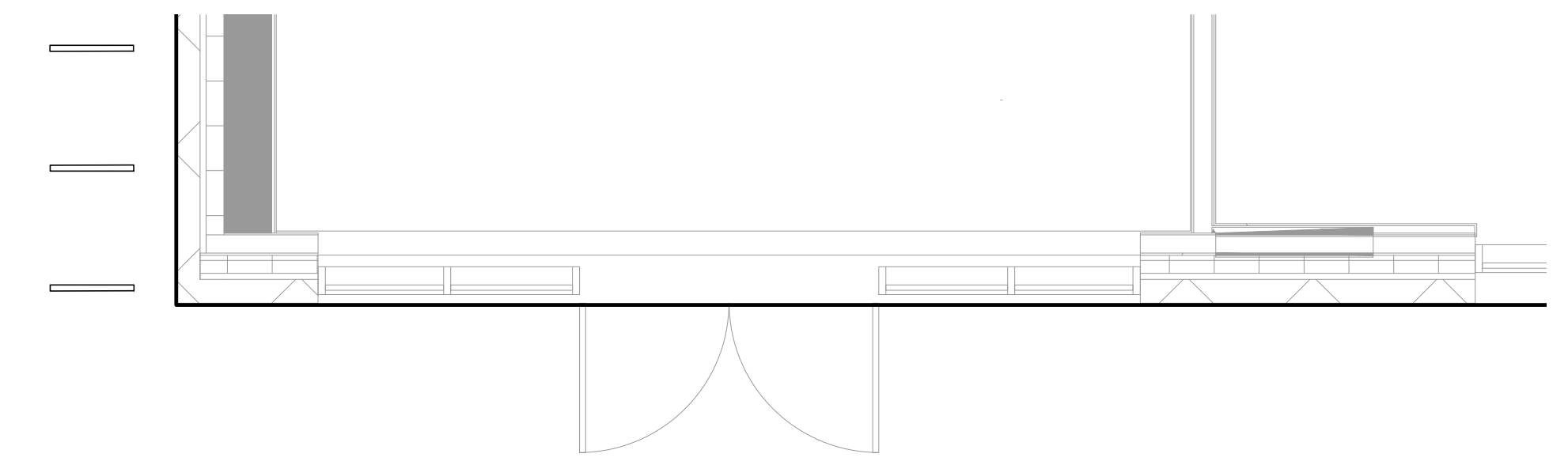
2 PLANTING - HANG NETS
1:50



3 PLANTING - BLEACHER SEATING
1:50



1 PLANTING - KIDS PLAY
1:50



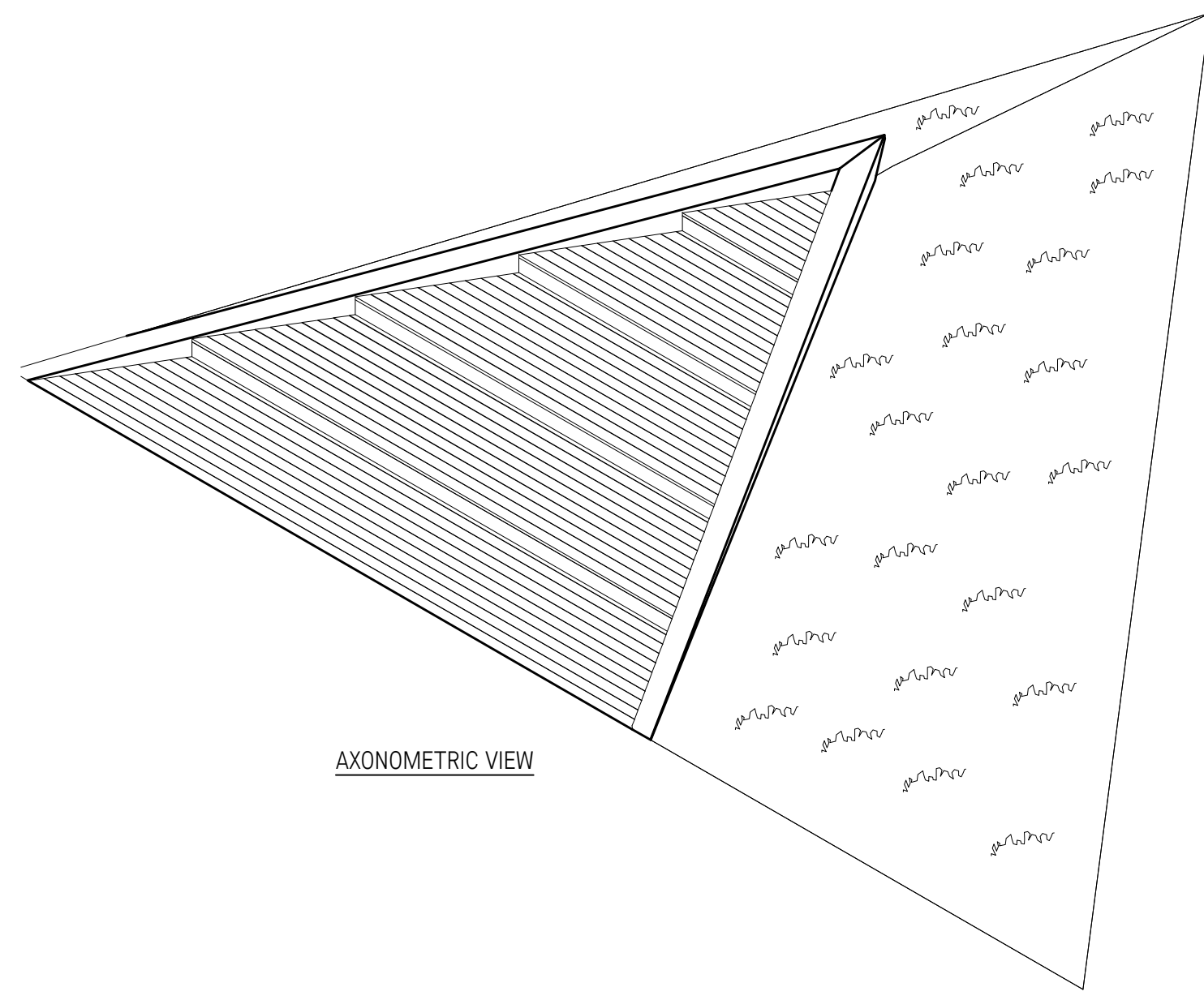
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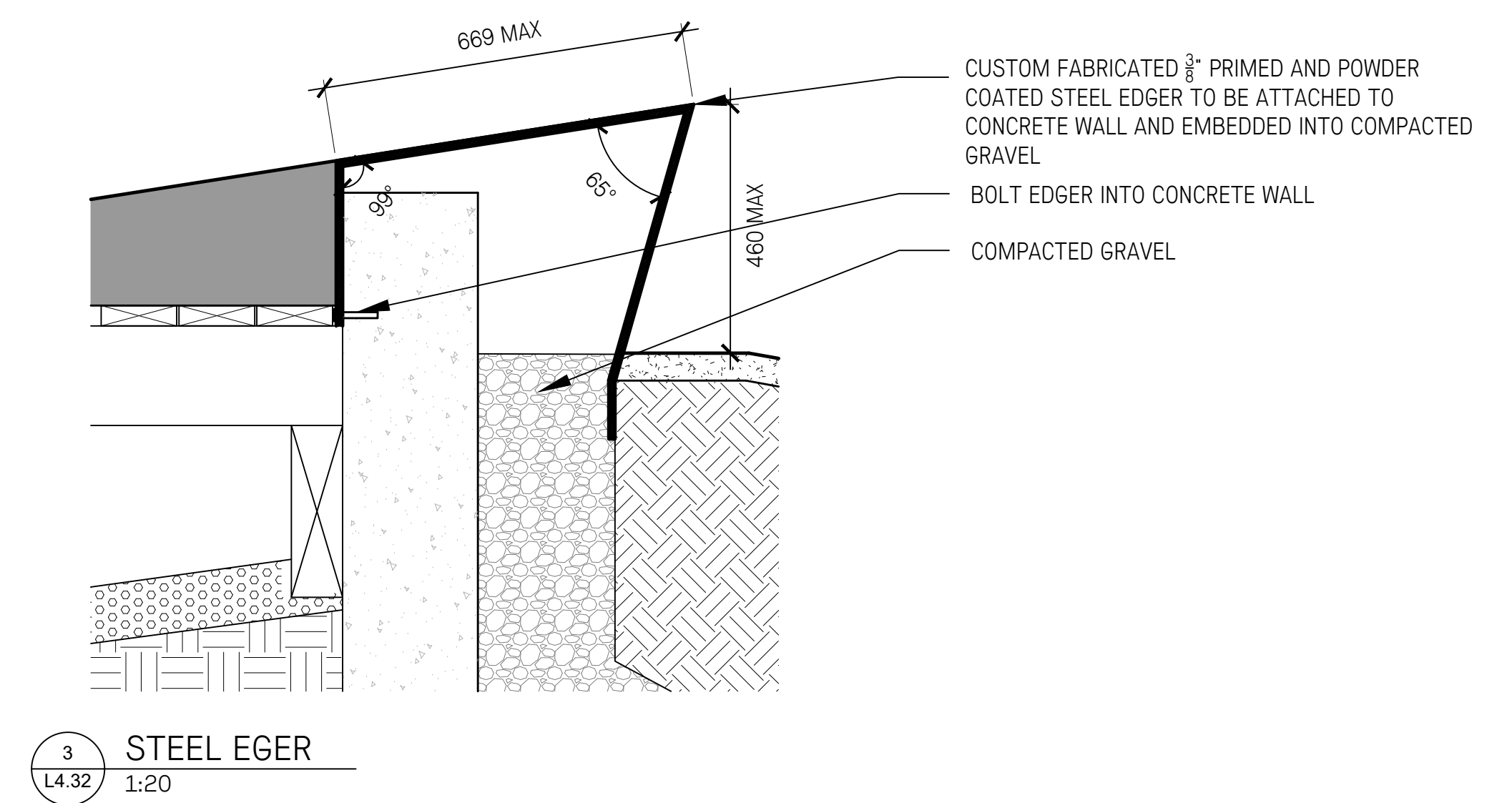
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| 2 | ISSUED FOR DEVELOPMENT PERMIT | 15 DEC 2017 |
| 3 | ISSUED FOR 47% CD REVIEW | 15 FEB 2018 |
| 4 | ISSUED FOR 47% CD REVIEW | 15 FEB 2018 |
| 5 | ISSUED FOR 47% CD REVIEW | 12 MARCH 2018 |
| 6 | ISSUED FOR 47% CD REVIEW | 02 APRIL 2018 |
| 7 | ISSUED FOR 47% CD REVIEW | 02 APRIL 2018 |
| 8 | ISSUED FOR 47% CD REVIEW | 02 APRIL 2018 |
| 9 | ISSUED FOR 47% CD REVIEW | 02 APRIL 2018 |

PLANTING PLAN

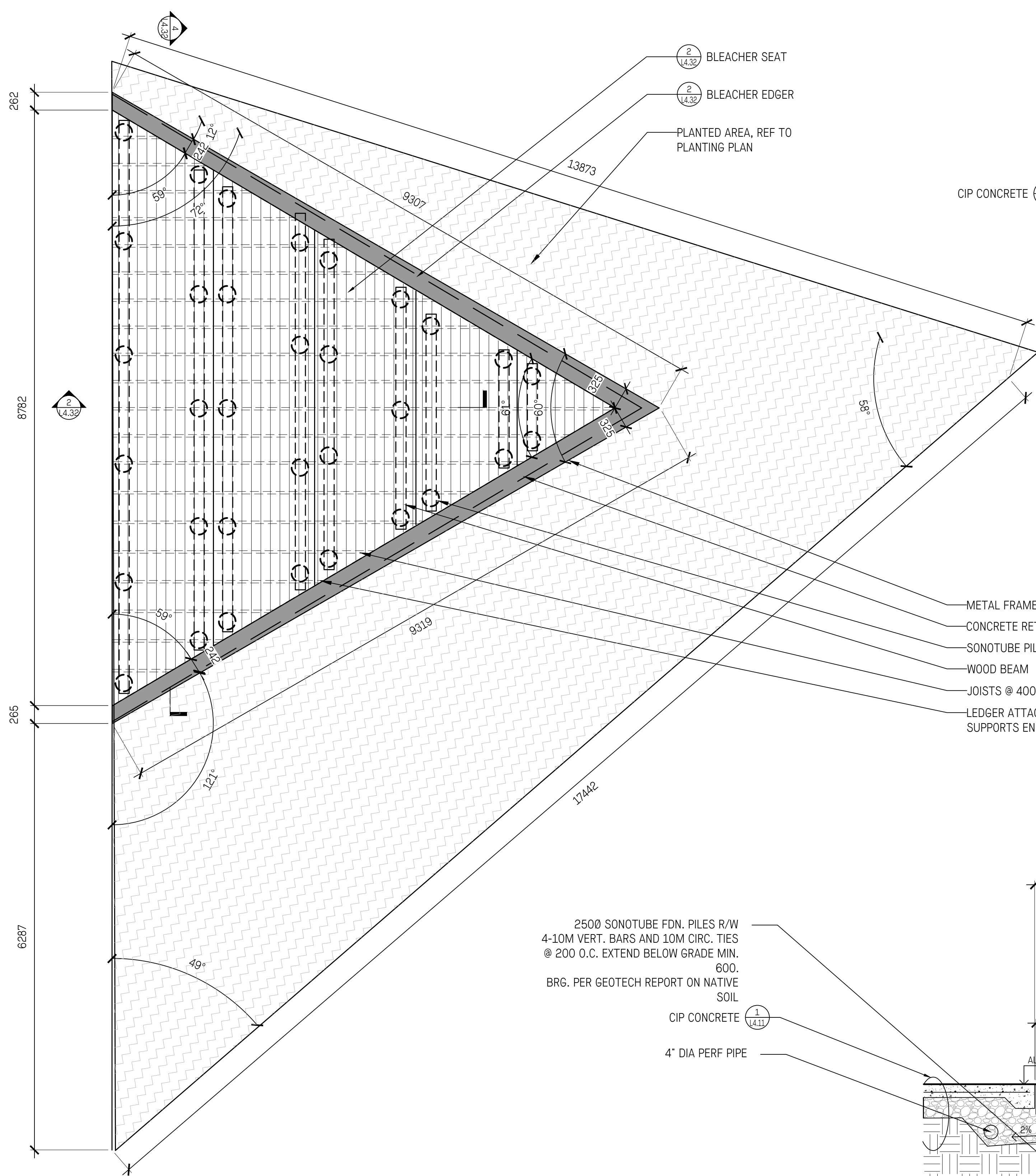
DATE: 11.03.2017
L1.43
SCALE: 1:200



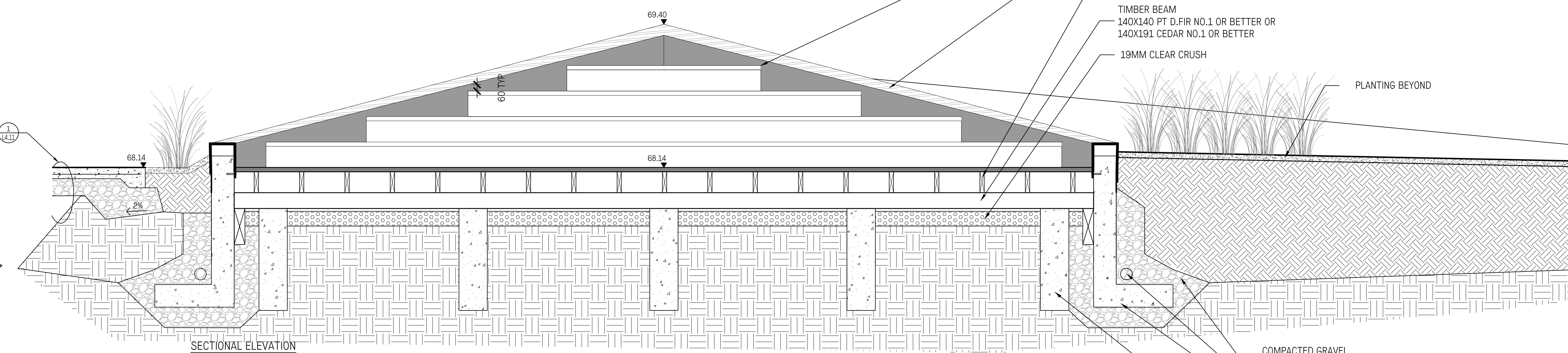
AXONOMETRIC VIEW



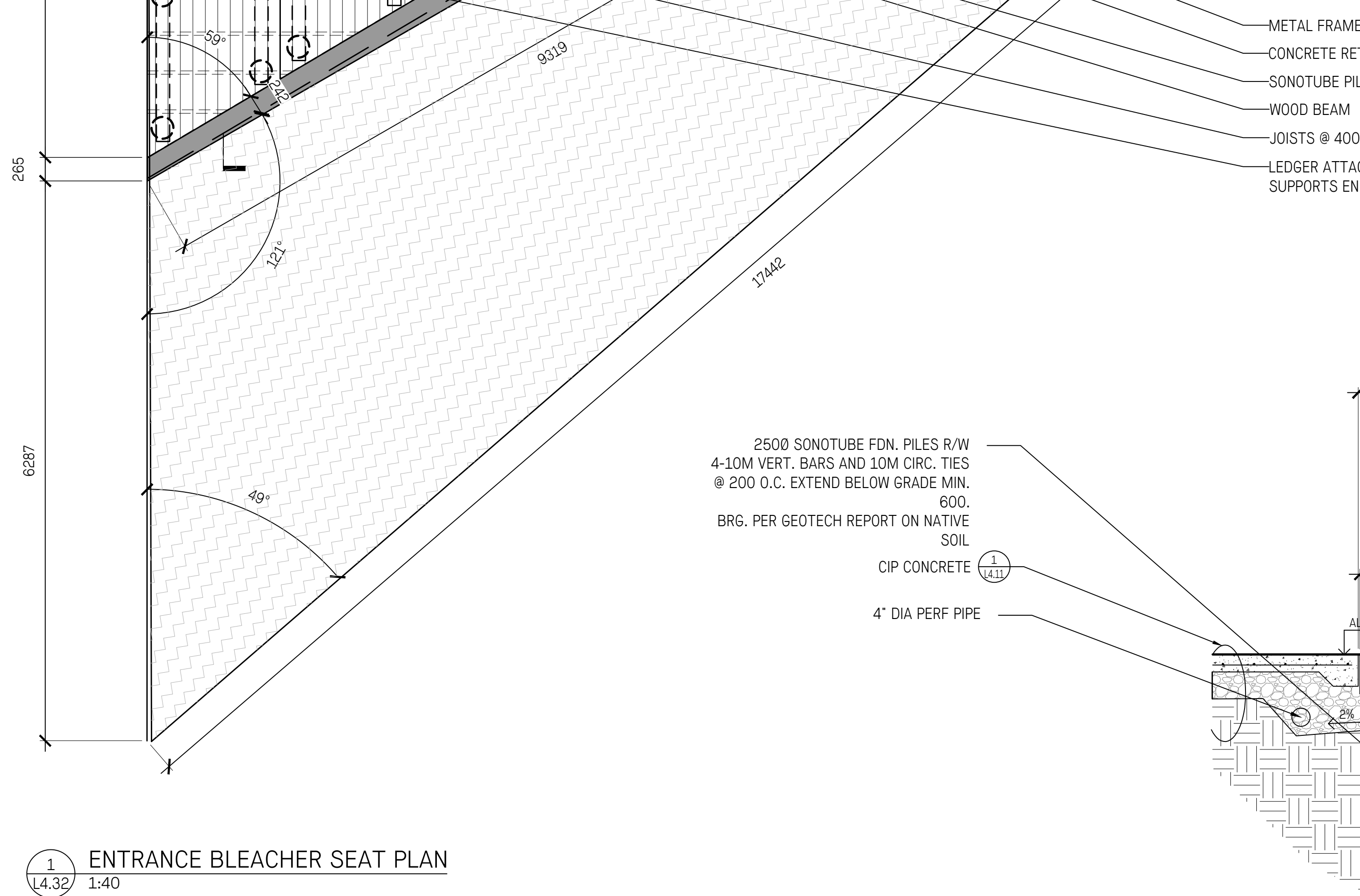
3 STEEL EGER
1:20



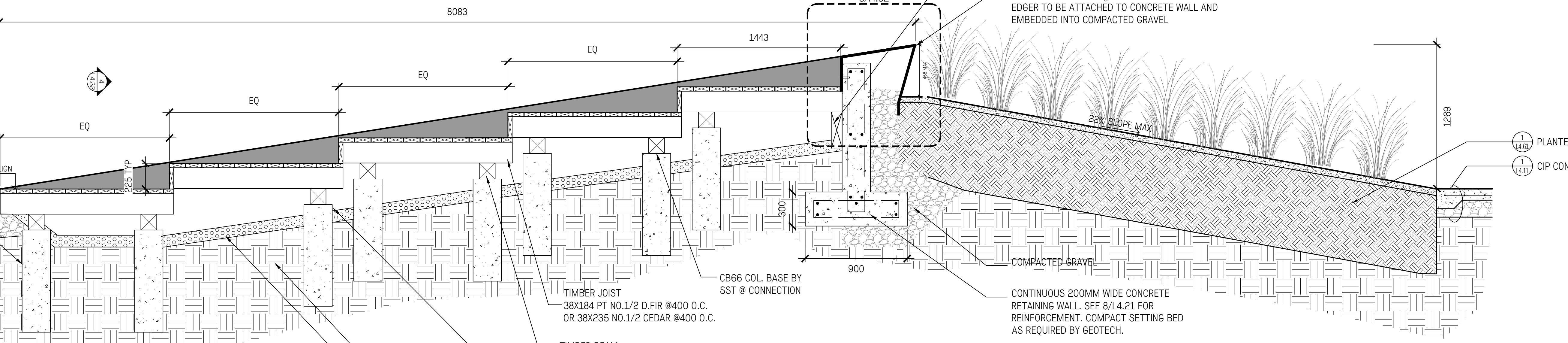
1 ENTRANCE BLEACHER SEAT PLAN
1:40



4 ENTRANCE BLEACHER SEATS
1:20



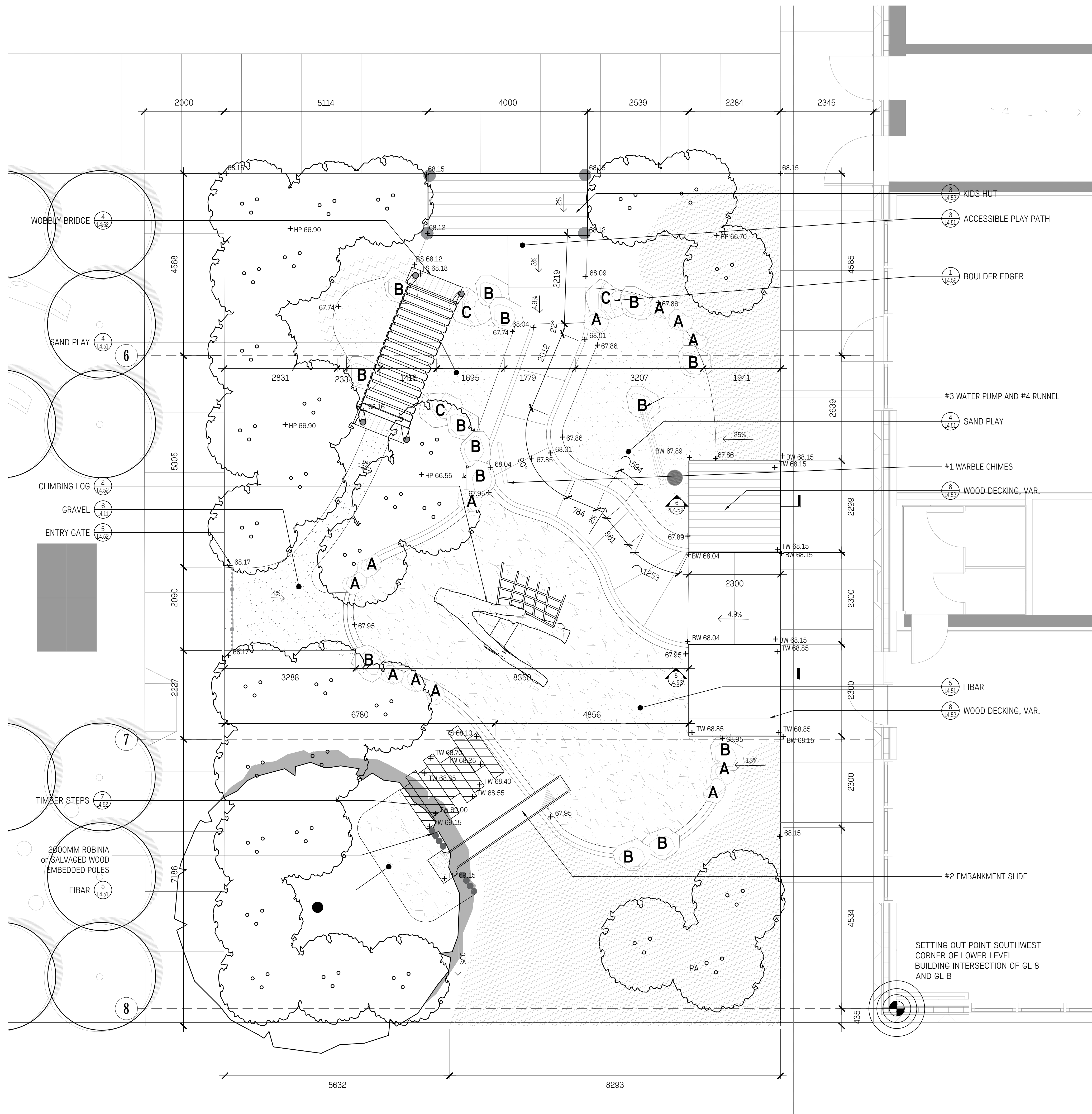
2 ENTRANCE BLEACHER SEATS
1:20



2 ENTRANCE BLEACHER SEATS
1:20

- NOTES:
- REFER TO SPECIFICATIONS FOR LANDSCAPE CARPENTRY MATERIALS AND INSTALLATION.
 - WOOD: TIGHTKNOT CEDAR FOR ALL SLATS, DECKING AND FINISH CARPENTRY. PRESSURE TREATED FOR STRUCTURAL LUMBER. SANDED SMOOTH.
 - WOOD FINISH: NONE, LEAVE TO GREY NATURALLY.
 - HARDWARE: HOT-DIPPED GALVANIZED FOR STRUCTURAL LUMBER, STAINLESS STEEL FOR ALL EXPOSED HARDWARE UNLESS OTHERWISE NOTED.
 - VERIFY IN THE FIELD ALL LOCATIONS AND COORDINATE WITH OTHER HARD LANDSCAPE WORKS.

DATE	ISSUE DESCRIPTION
03 NOV 2017	ISSUED FOR DEVELOPMENT PERMIT
15 DEC 2017	ISSUED FOR DEVELOPMENT PERMIT
15 FEB 2018	ISSUED FOR PERMITS REVIEW
12 MAR 2018	ISSUED FOR PERMITS REVIEW
02 APRIL 2018	ISSUED FOR PERMITS REVIEW



1 PLAYGROUND DETAIL PLAN
1:50

NOTES

- REFER TO TREE MANAGEMENT FOR TREE REMOVALS;
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PLAY EQUIPMENT LEGEND - SEE SPECIFICATION - INSTALL PER MANUFACTURERS INSTRUCTIONS

KEY	NAME	PRODUCT CODE	MANUFACTURER	MATERIAL	DISTRIBUTOR
#1	ALTO DIATONIC SS LEGS, GROUND FIX	TBD	FREE CHIMES	SS	HABITAT
#2	EMBANKMENT SLIDE SHOOT Stainless Steel w. 6" (150mm) Side Rails, For 5' Drop in Elevation; COLOR CASPIAN; 7 POWDER-COATED CHUTE RAILS AND ENTRANCE PLATFORM	1640-51-EMB	COLUMBIA CASCADE	SS	COLUMBIA CASCADE COMPANY
#3	WATER TAP	M59305	KOMPAN	GAL STEEL	RECTEC
#4	ANGLED WATER RUNNEL	NR0505	KOMPAN	ROBINIA	RECTEC
#5	POPP FLAGSHIP PING PONG TABLE (2)	NA	POPP PING PONG	STEEL	POPP PING PONG
#6	SIDEWAYS TREE CLIMBER W CARGO NET	Ni-PG-901-09	NATURES INSTRUMENTS INC	STEEL	BIENENSTOCK NATURE PLAY
#7	PUTTERMAN PICKLEBALL POSTS AND NET	NA	PICKLE BALL DEPOT.CA	STEEL, BLACK	

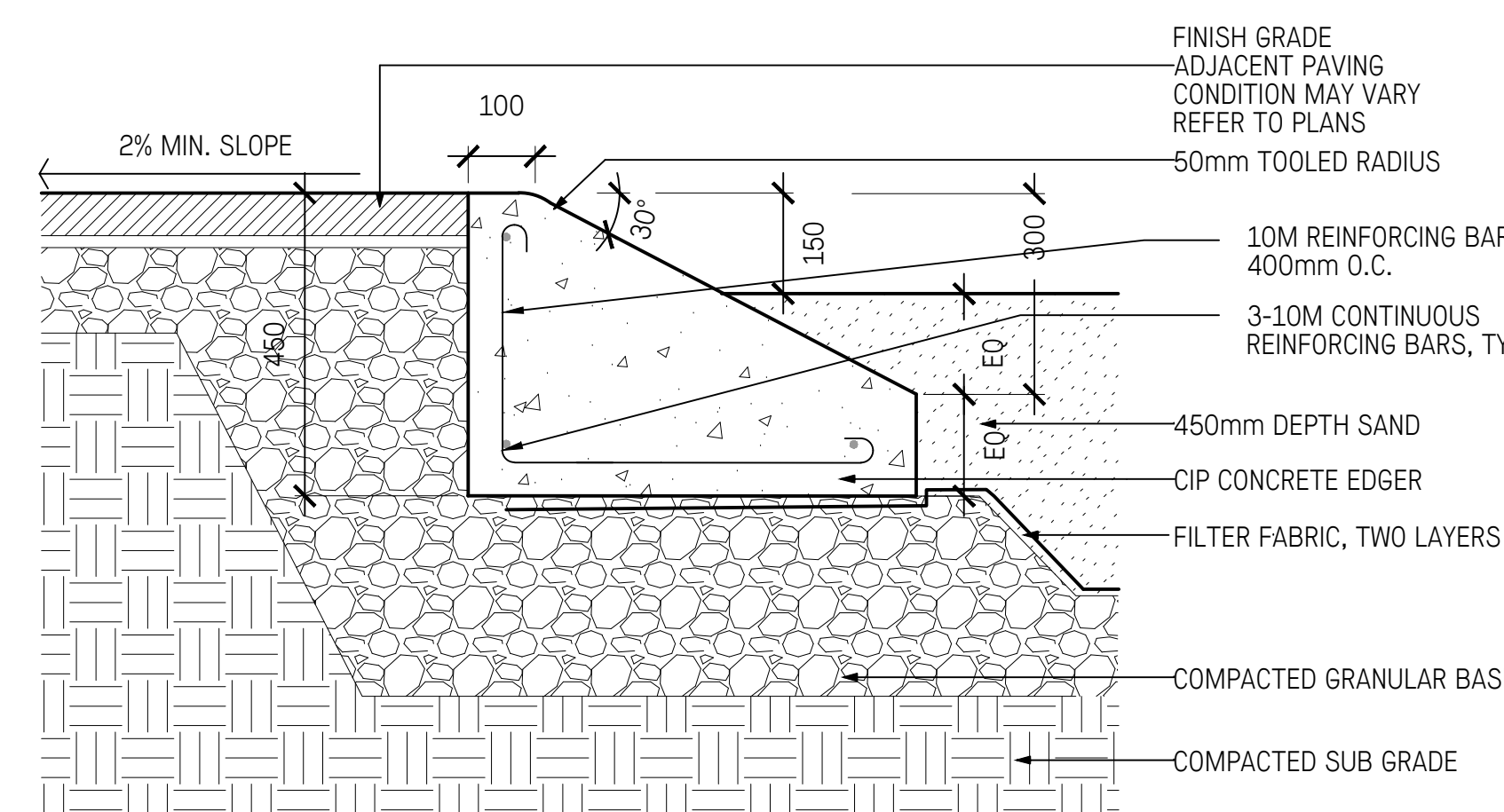
FLEX PARKING LEGEND - SEE SPECIFICATION - INSTALL PER MANUFACTURERS INSTRUCTIONS

KEY	NAME	PRODUCT CODE	MANUFACTURER	MATERIAL	DISTRIBUTOR
#8	(36) 1250 x 150 x 100 White mix Parking Curbs	NA	SANDERSON CONCRETE	WHITE CONCRETE	NA
#9	STREEBOND 150 ADVANCED COATING FOR ASPHALT	NA	QUEST CONSTRUCTION PRODUCTS	3 STANDARD COLOURS HUBSS.COM 1 CUSTOM COLOUR, TBD	

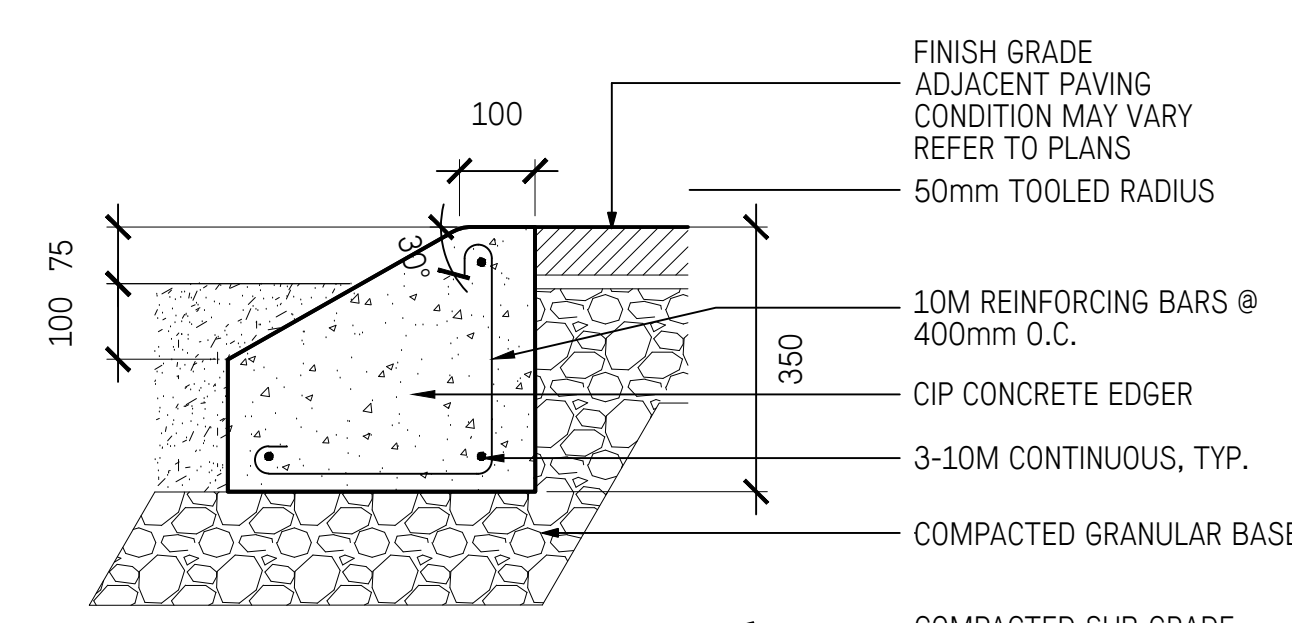
BOULDER SCHEDULE

SYMBOL:	DESCRIPTION:	QTY:	SYMBOL:	DESCRIPTION:	QTY:
⊙	TYPE A - 24" DIA.	12 MIN	⊙	TYPE C - 42" DIA.	12 MIN
⊙	TYPE B - 36" DIA.	26 MIN	⊙	TYPE D - 6" DIA.	2 MIN

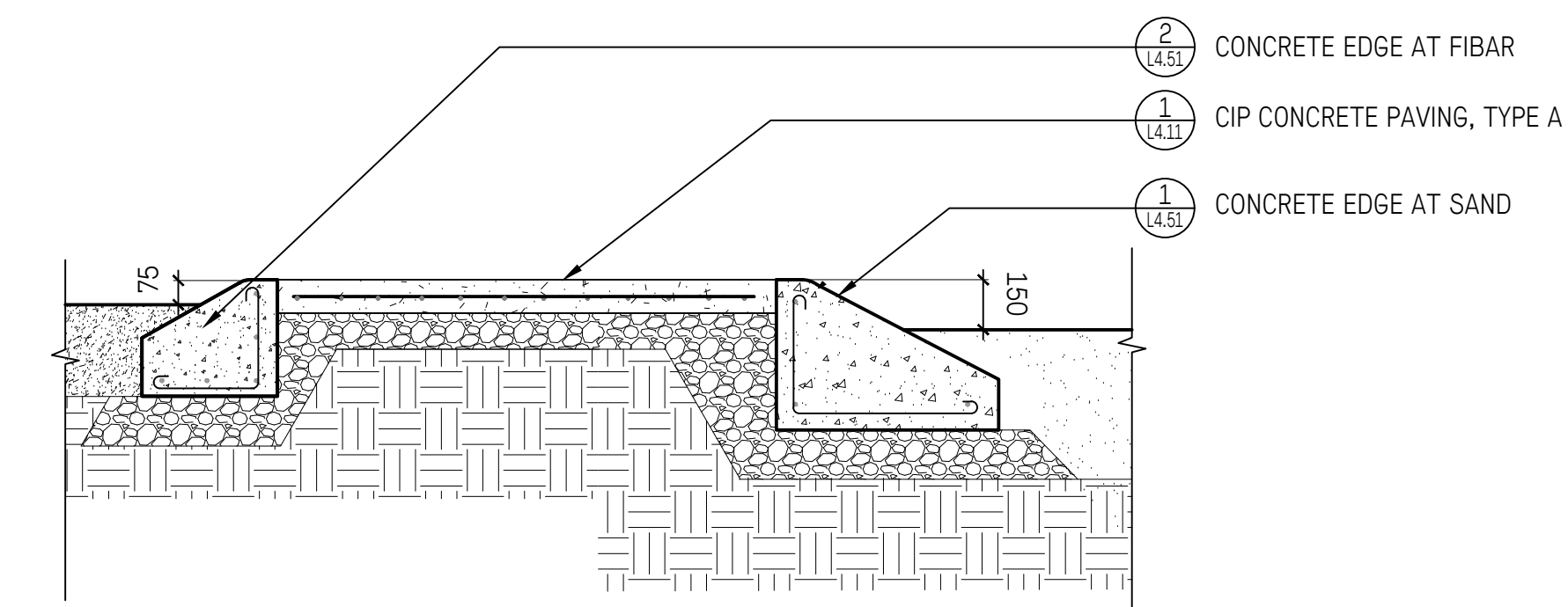
NOTE: ANY ADDITIONAL BOULDERS TO BE SALVAGED FOR AREAS AROUND DETENTION POND, CONFIRM WITH LANDSCAPE ARCHITECT ON SITE



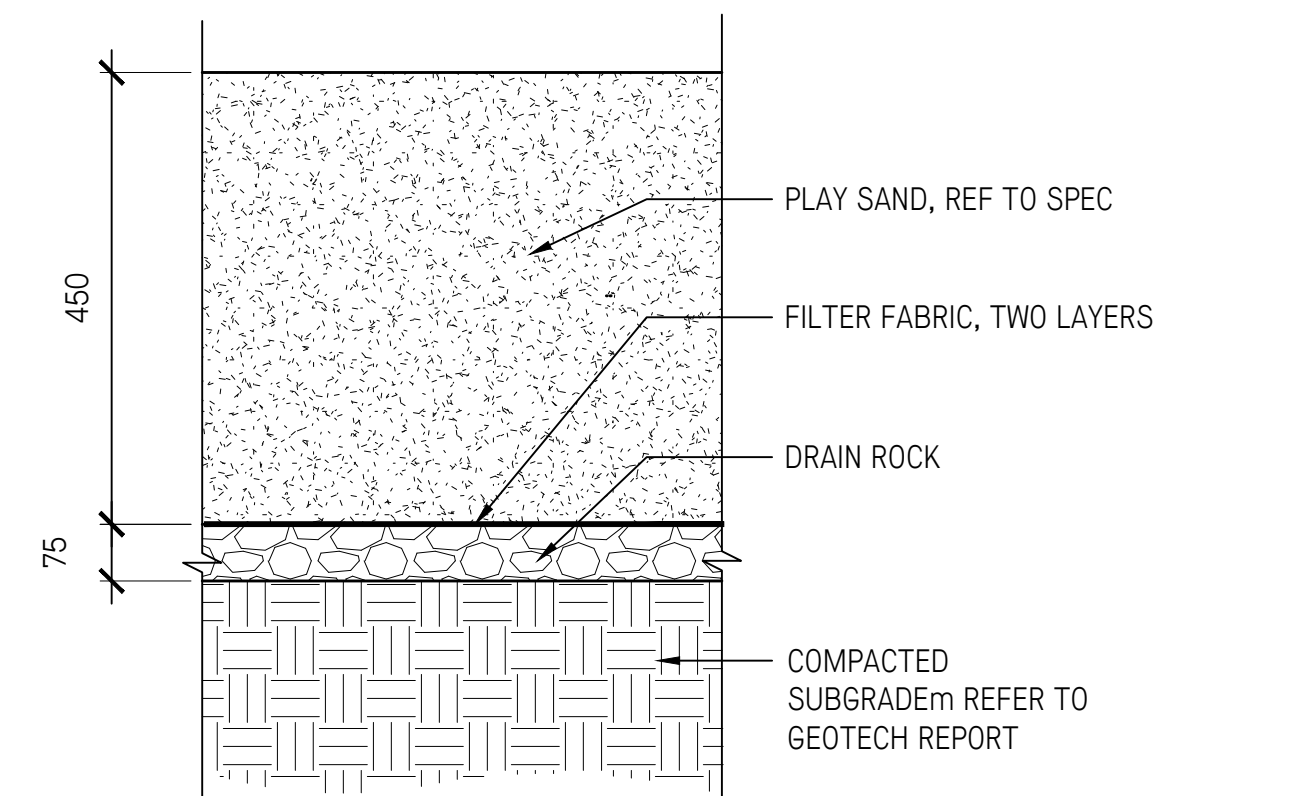
1 CONCRETE EDGE AT SAND, TYP
1:10



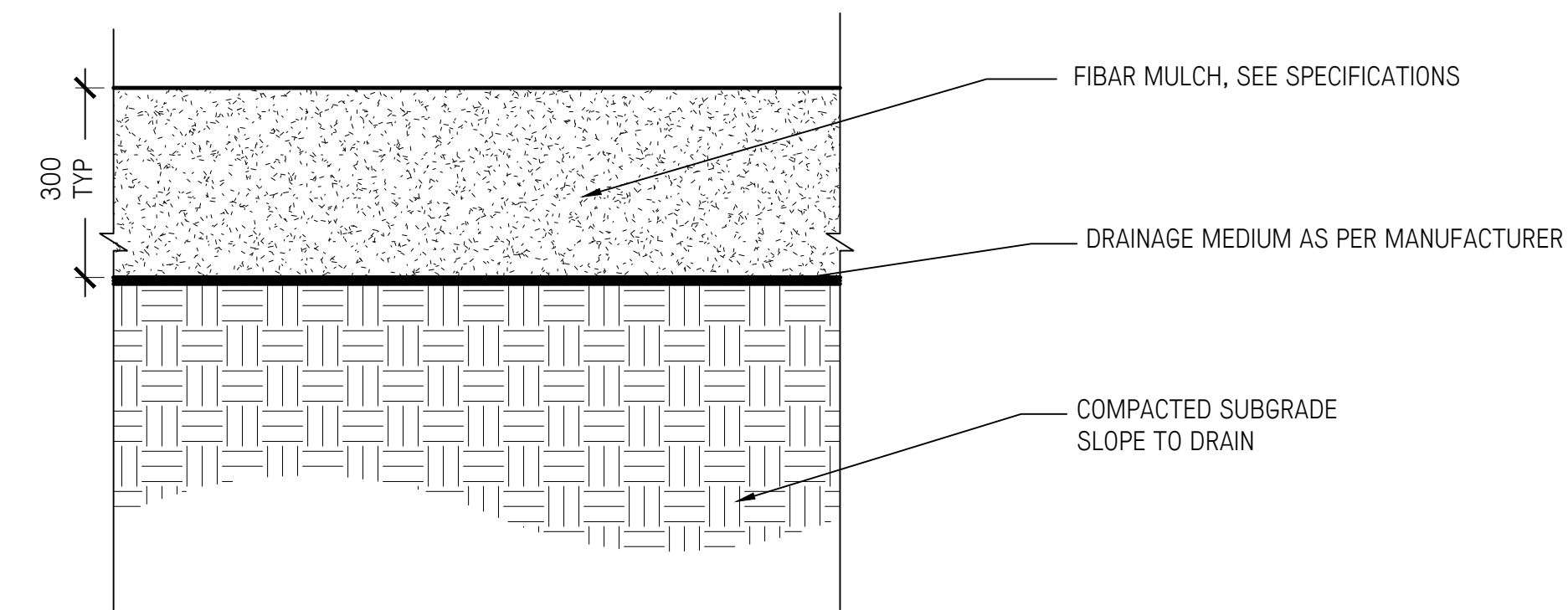
2 CONCRETE EDGE AT FIBAR, TYP
1:10



3 PLAY PATH TYP.
1:20

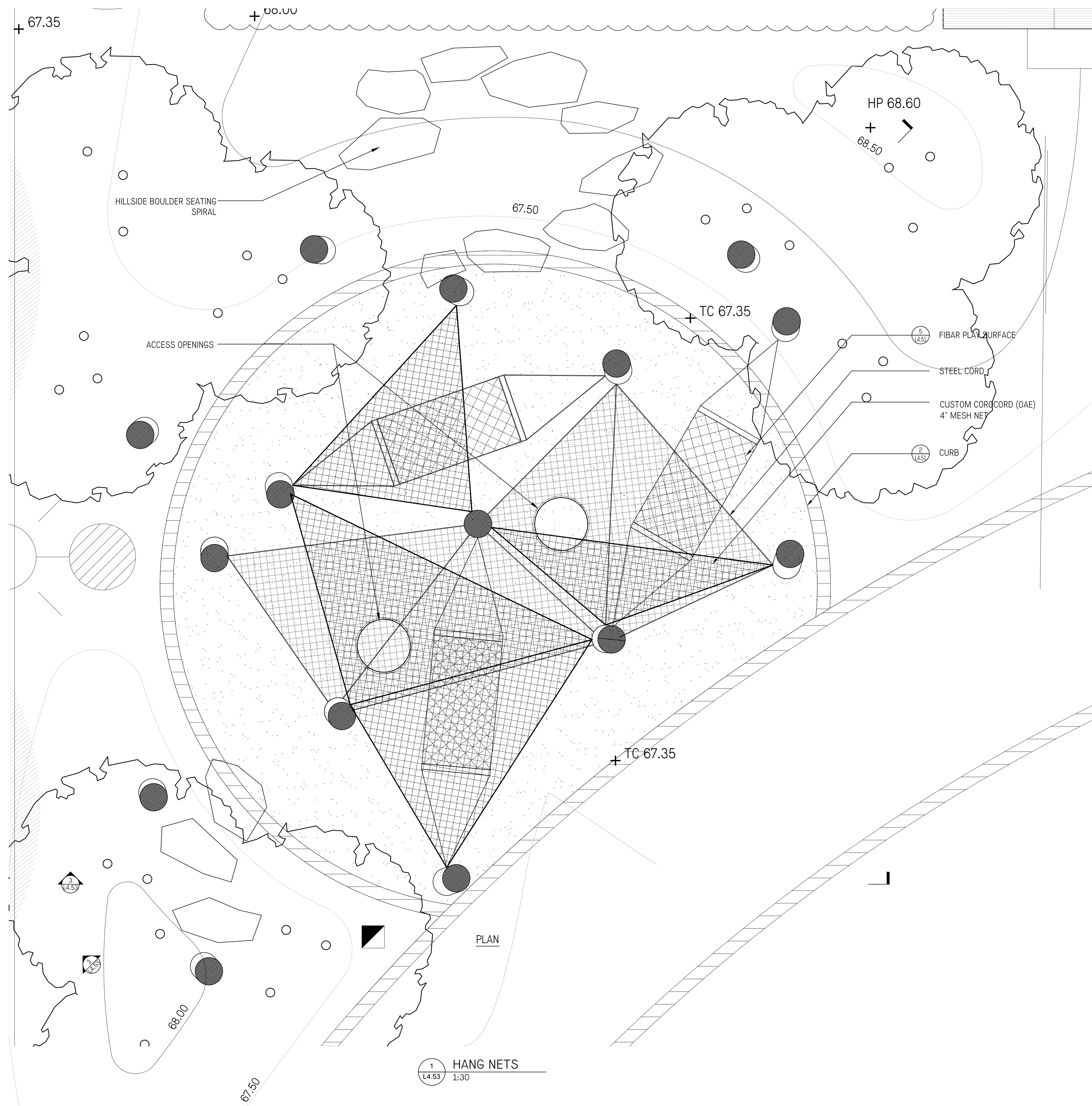


4 PLAY SAND, TYP
1:10

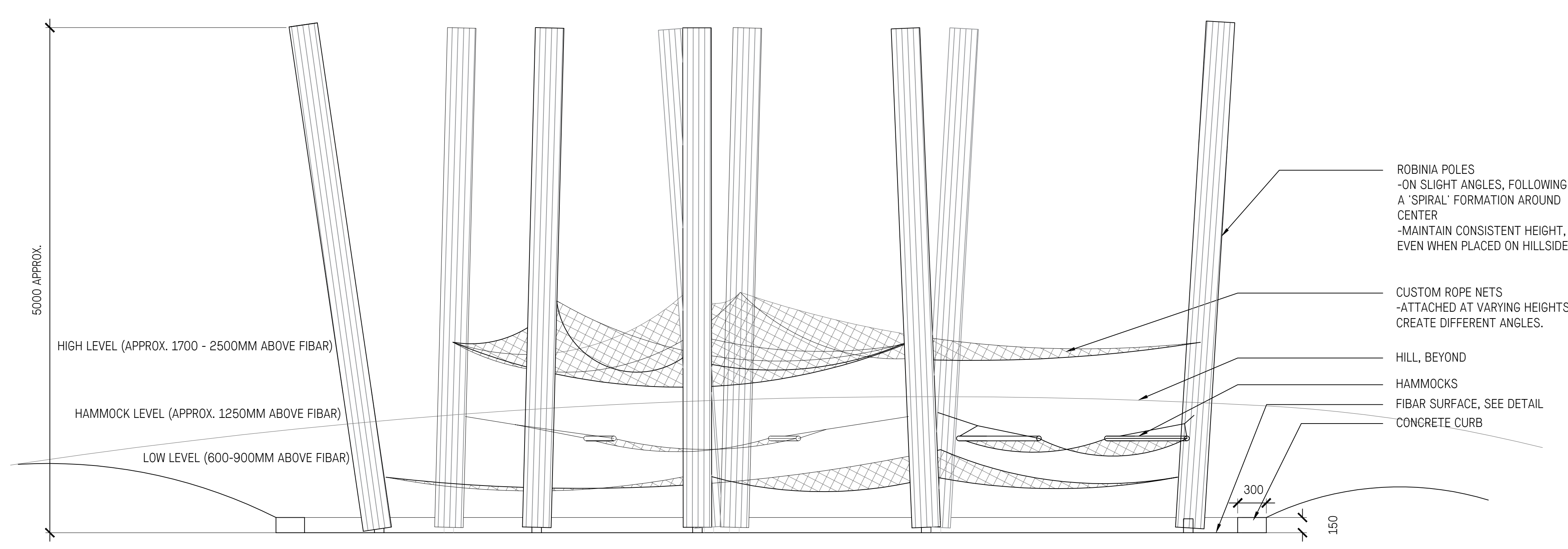


5 FIBAR, TYP
NTS

DATE	DESCRIPTION
03 NOV 2017	ISSUED FOR DEVELOPMENT PERMIT
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02 APR 2018	ISSUED FOR B.C. REVIEW
02 APR 2018	ISSUED FOR B.C. REVIEW



1 HANG NETS
1:30



2 HANG NETS ELEVATION
1:30



REFERENCE IMAGES

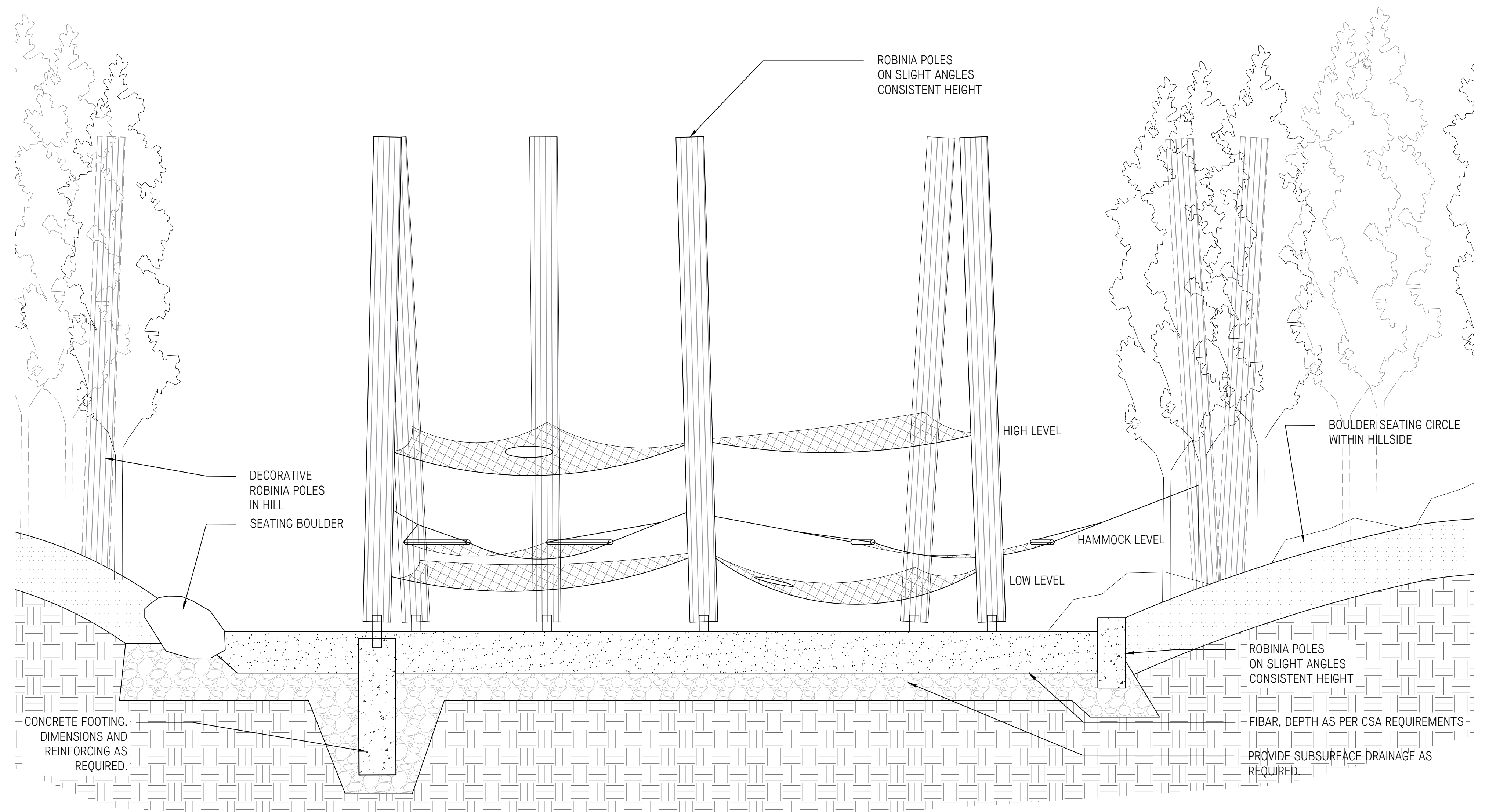
HANG NETS NOTES:

GENERAL:

- ALLOWANCE FOR HANG NETS TO INCLUDE THE FOLLOWING:
-ALL POLES, NETS, HAMMOCKS AND ASSOCIATED STRUCTURAL FOUNDATIONS, AND CONNECTIONS HARDWARE.
-DESIGN DEVELOPMENT, DETAILING AND ENGINEERING BY DESIGN-BUILD CONTRACTOR IN COORDINATION WITH LANDSCAPE ARCHITECT
-BOULDERS, DECORATIVE POSTS, CURBS, AND FIBAR SURFACING.
- DRAWINGS AND NOTES SHOW SCHEMATIC DESIGN ONLY. FINAL DESIGN TO BE DEVELOPED BY DESIGN BUILD CONTRACTOR, THROUGH COORDINATION WITH LANDSCAPE ARCHITECT. FINAL DESIGN CAN DIVERGE FROM SCHEMATIC TO ACHIEVE CONSTRUCTABILITY, SAFETY, DURABILITY, AND OTHER TECHNICAL REQUIREMENTS BUT MUST RETAIN THE GENERAL LEVEL OF COMPLEXITY AS WELL AS THE AESTHETIC, SOCIAL, AND PLAY VALUE OF THE SCHEMATIC DESIGN, AS APPROVED BY THE LANDSCAPE ARCHITECT AND CLIENT.
- CSA COMPLIANCY OF FINAL DESIGN TO BE REVIEWED WITH CLIENT AND LANDSCAPE ARCHITECT

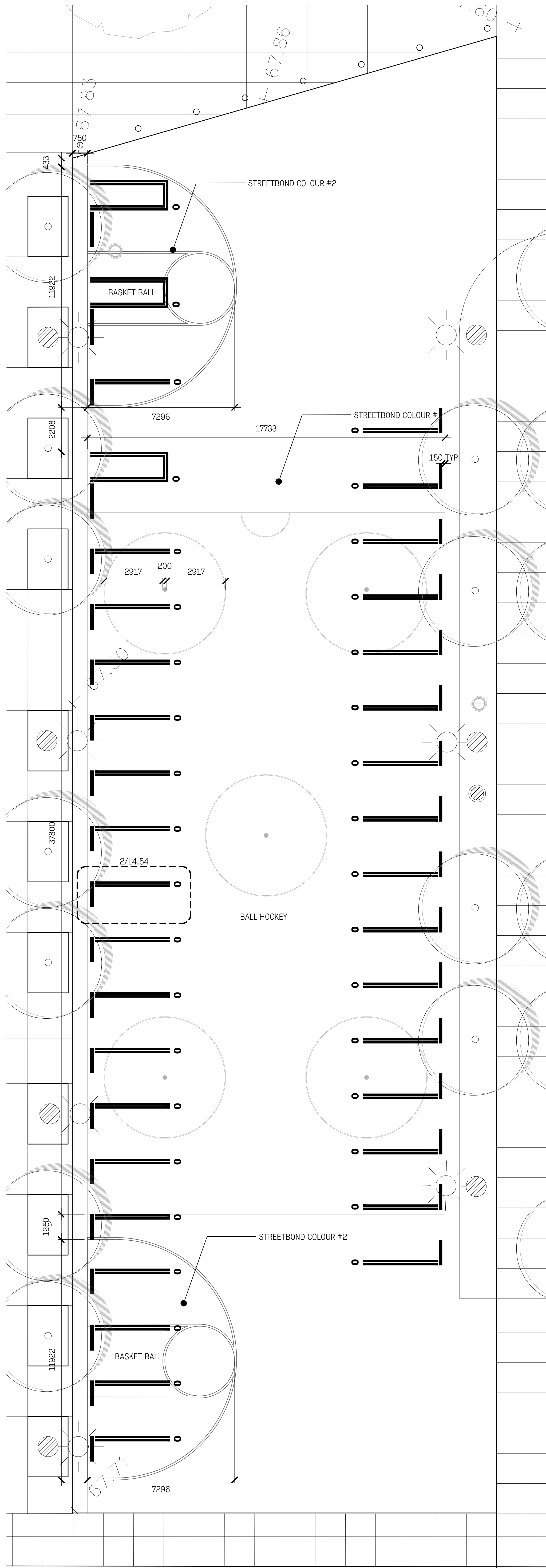
MATERIALS:

- ROBINIA POLES TO HAVE SMOOTH FINISH. 300MM CIRCUMFERENCE MIN. CONFIRM STRUCTURAL REQUIREMENTS.
- NETS AND HAMMOCKS TO BE VANDAL RESISTANT, PLAYGROUND GRADE MATERIALS AND CONNECTIONS. PRODUCT BY KOMPAN/COROCORD, OAE, OR CUSTOM EQUIVALENT.
- NETS AND HAMMOCKS TO BE AS COMFORTABLE AS POSSIBLE FOR LYING AND SITTING WHILE ACHIEVING DURABILITY REQUIREMENTS.
- COLOR OF NETS AND HAMMOCKS TO BE SELECTED BY LANDSCAPE ARCHITECT.
- BOULDERS TO BE OBTAINED ON SITE WHERE POSSIBLE.

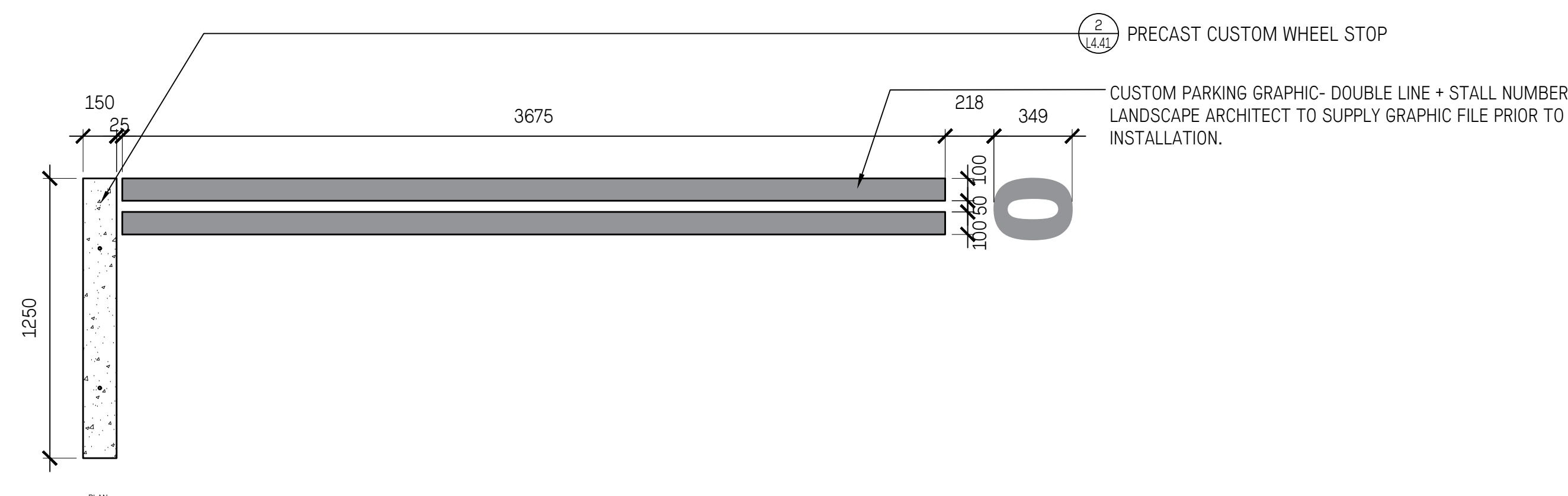


3 HANG NETS SECTION
1:30

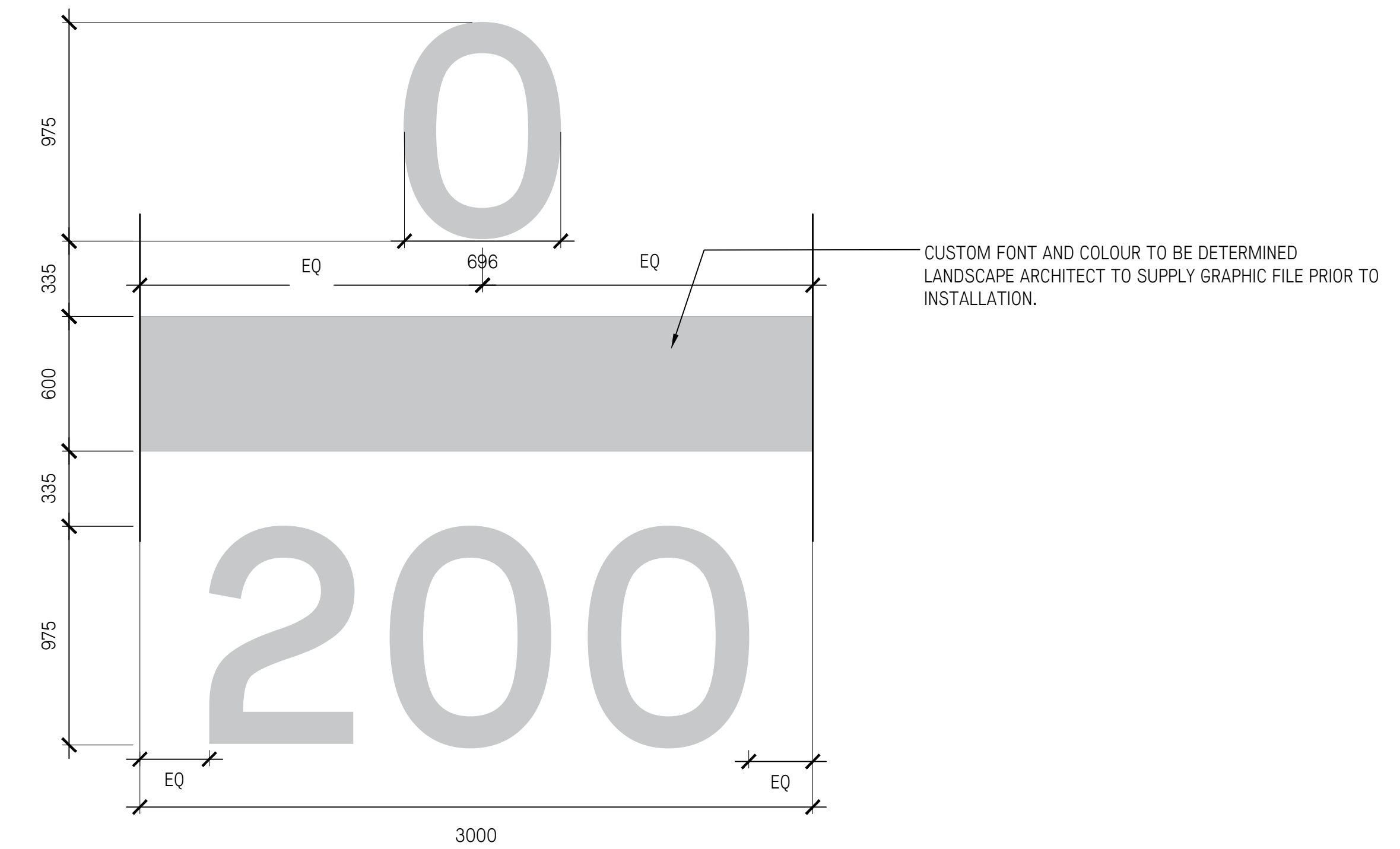
DATE	DESCRIPTION
03 NOV 2017	ISSUED FOR PERMIT
15 DEC 2017	ISSUED FOR DEVELOPMENT PERMIT
15 FEB 2018	ISSUED FOR O&M CD REVIEW
12 MARCH 2018	ISSUED FOR REVIEW - COURT
02 APRIL 2018	ISSUED FOR APPROVAL



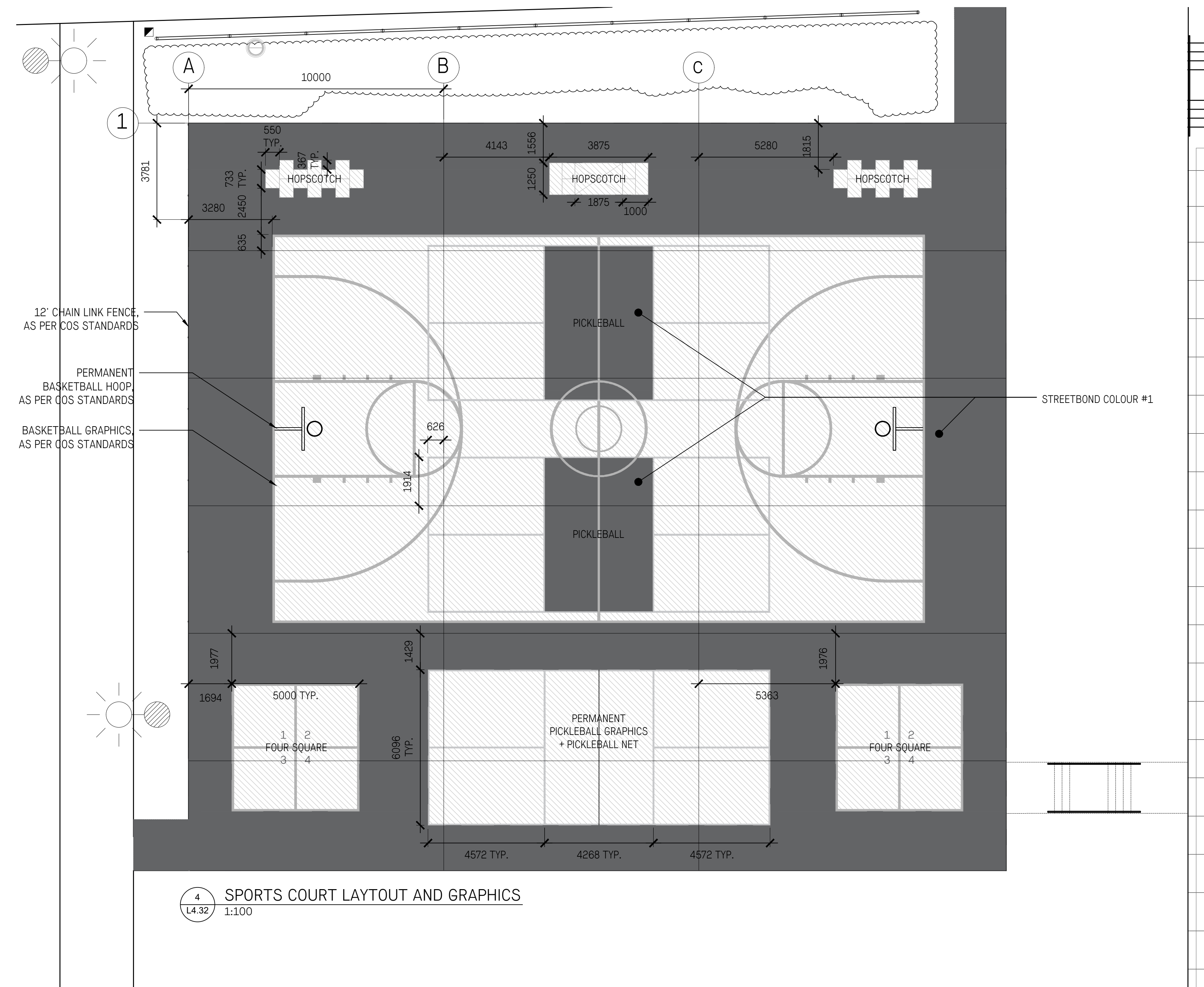
1 FLEX PARKING GRAPHIC LAYOUT
1:100



2 CUSTOM STALL MARKING
1:20



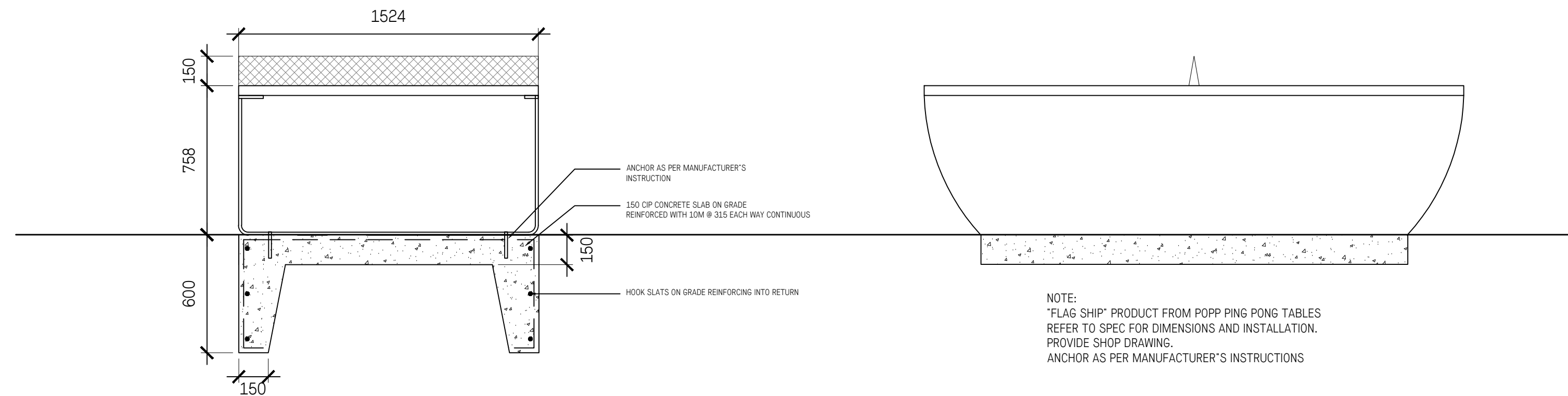
3 LOOP GRAPHICS- TYP
1:20



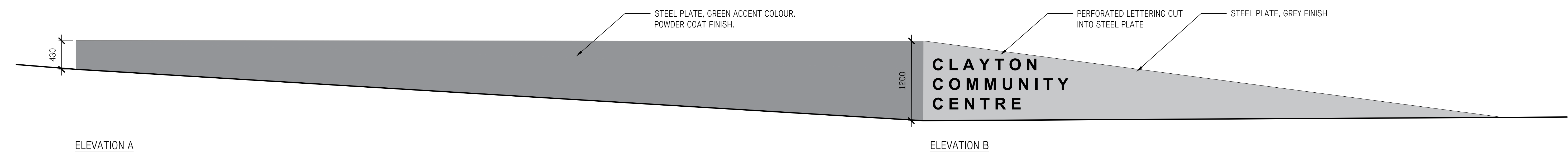
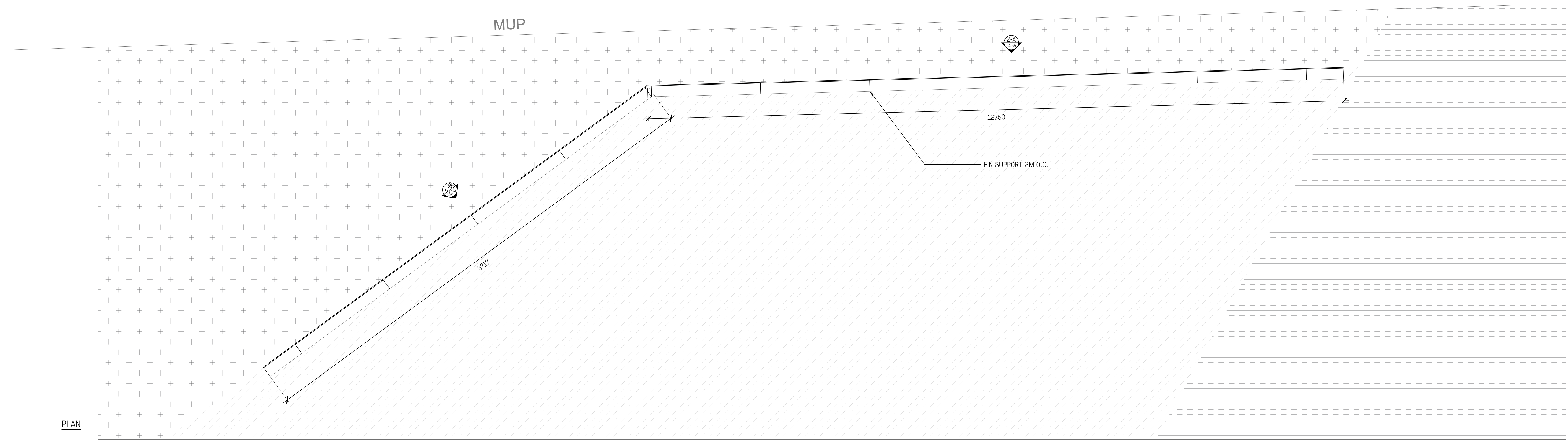
4 SPORTS COURT LAYOUT AND GRAPHICS
1:100

NOTES:
ALL CUSTOM GRAPHICS TO USE STREETBOND 150. COLOURS TO BE
DETERMINED BY LANDSCAPE ARCHITECT.
LANDSCAPE ARCHITECT TO PROVIDE GRAPHICS FILE OF FONT AND
LAYOUT AT TIME OF INSTALLATION.

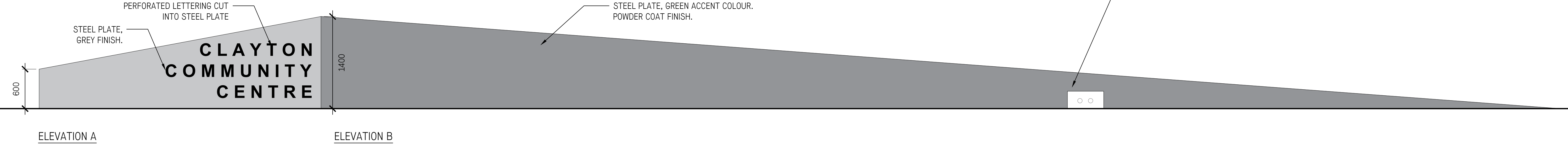
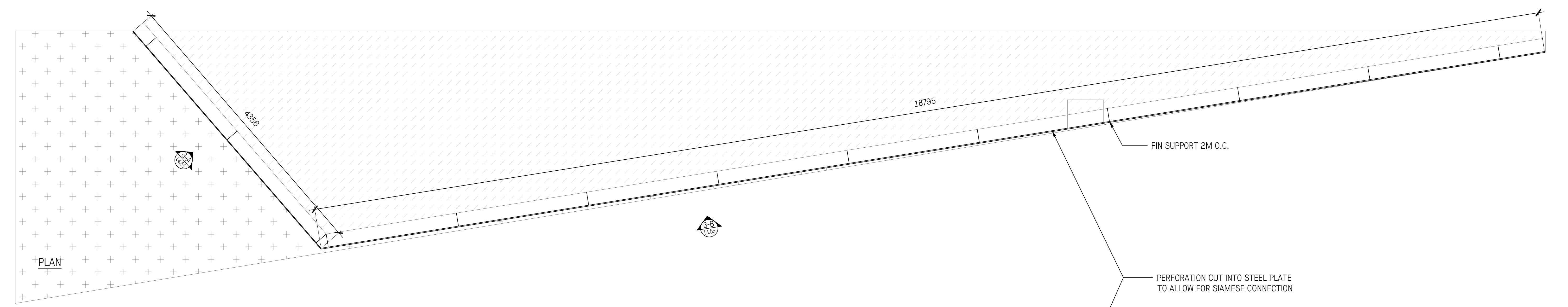
#	ISSUE DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03 NOV 2017
2	ISSUED FOR DEVELOPMENT PERMIT	15 DEC 2017
3	ISSUED FOR ARCHITECTURAL REVIEW	15 FEB 2018
4	ISSUED FOR ARCHITECTURAL REVIEW	15 FEB 2018
5	ISSUED FOR ARCHITECTURAL REVIEW	12 MARCH 2018
6	ISSUED FOR ARCHITECTURAL REVIEW	02 APRIL 2018
7	ISSUED FOR ARCHITECTURAL REVIEW	02 APRIL 2018
8	ISSUED FOR ARCHITECTURAL REVIEW	02 APRIL 2018
9	ISSUED FOR ARCHITECTURAL REVIEW	02 APRIL 2018



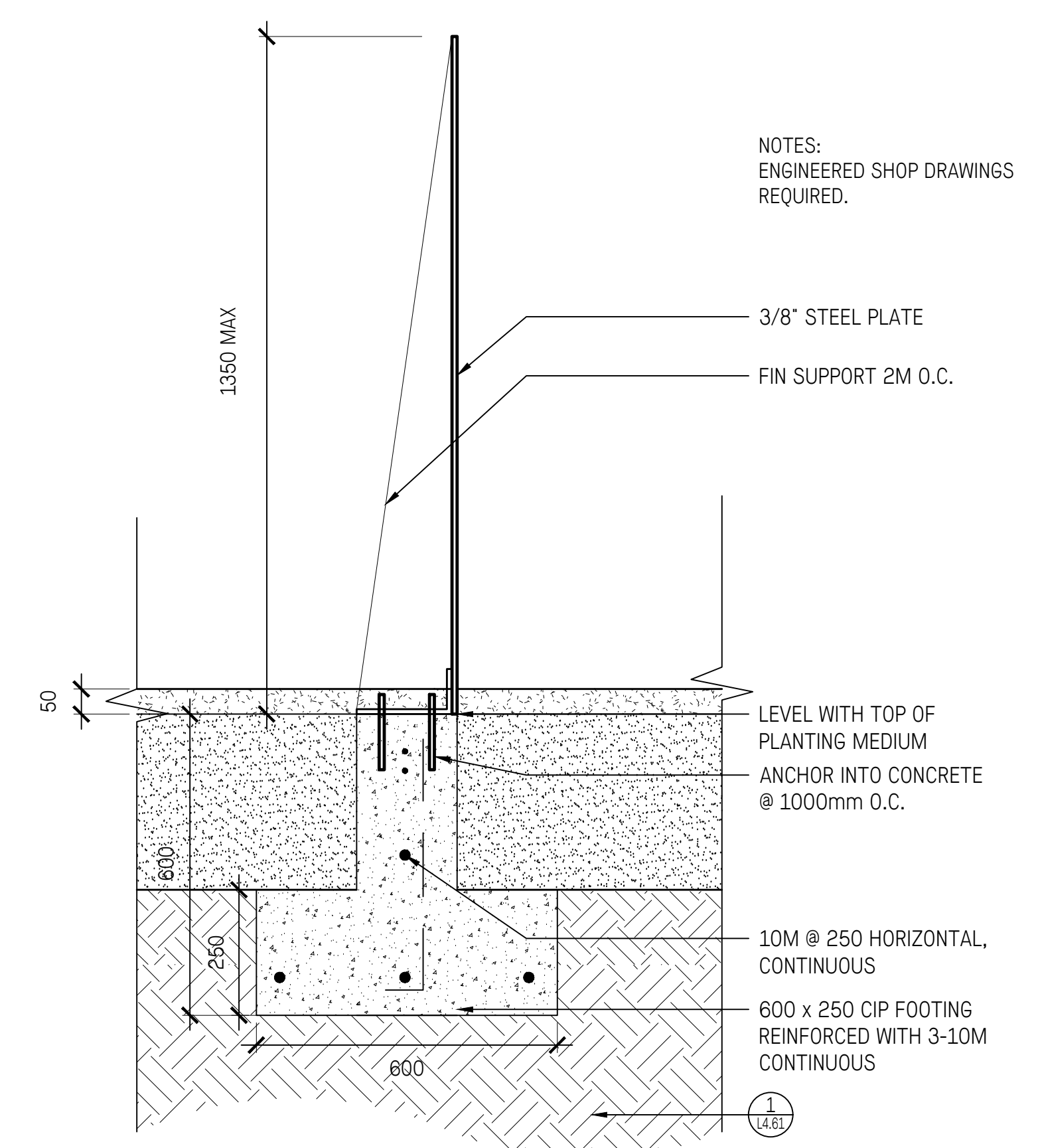
1 TABLE TENNIS
1:20



2 NORTH SIGNAGE
1:30



3 SOUTH SIGNAGE
1:30



4 SIGNAGE - TYP. SECTION
1:10

HCMA

HAPA

Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6
604 909 4150
hapacobo.com

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CLAYTON COMMUNITY CENTRE
7185-187A Street, Surrey, BC

DATE	ISSUE DESCRIPTION
03 NOV 2017	1 ISSUED FOR DEVELOPMENT PERMIT
15 DEC 2017	2 ISSUED FOR DEVELOPMENT PERMIT
15 FEB 2018	3 ISSUED FOR DEVELOPMENT PERMIT
12 MARCH 2018	4 ISSUED FOR DEVELOPMENT PERMIT
02 APRIL 2018	5 ISSUED FOR DEVELOPMENT PERMIT

DETAILS - PING PONG & SIGNAGE

DATE: 11.03.2017
L4.55
SCALE: AS NOTED

HCMA Architecture + Design
400 - 675 West Hastings Street
Vancouver BC V6B 1N2 Canada
T 604.732.5620
W hcma.ca

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 13, 2018** PROJECT FILE: **7817-0075-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 7011/41 188 Street, 18608/80 & 18714 72 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 4.942-metres on 72 Ave to 30.0-metre arterial road standard plus an additional 2.7-metre statutory right-of-way (SRW).
- dedicate 9.942-metres on 70 Avenue from 18608 72 Avenue, to 20.0-metre local road standard.
- dedicate 11.5-metre or 10.0-metre plus additional 1.5-metre SRW for 187 Street half road, ultimately 20.0-metre local road plus an additional 0.5-metre SRW.

Works and Services

- construct south side of 72 Avenue to an interim arterial road cross section (Figure 4.13 of the NCP) including 4.0-metre multi-use pathway with pedestrian lighting.
- construct 187 Street to the 11.5-metre half road standard, including water and storm mains.
- construct temporary sanitary mains, pay cash-in-lieu for 50% of sanitary main on 72 Avenue.
- construct storm water mitigation features to meet the West Clayton NCP and Integrated Stormwater Management Plan.
- provide water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements other than those noted above relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager
SK2

APPENDIX F
TREE PRESERVATION SUMMARY



Appendix _____

TREE PRESERVATION SUMMARY

Surrey Project No.: _____
 Project Address: 18608, 18680 & 18714, 72 Avenue, Surrey, BC
 Consulting Arborist: Nick McMahon

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	295
Bylaw Protected Trees to be Removed	49
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	246
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 30 times 1 = 30	
All Other Bylaw Protected Trees at 2:1 ratio: 19 times 2 = 38	
TOTAL:	68
Replacement Trees Proposed	N/A
Replacement Trees in Deficit	N/A
Protected Trees Retained in Proposed Open Space/ Riparian Areas	79

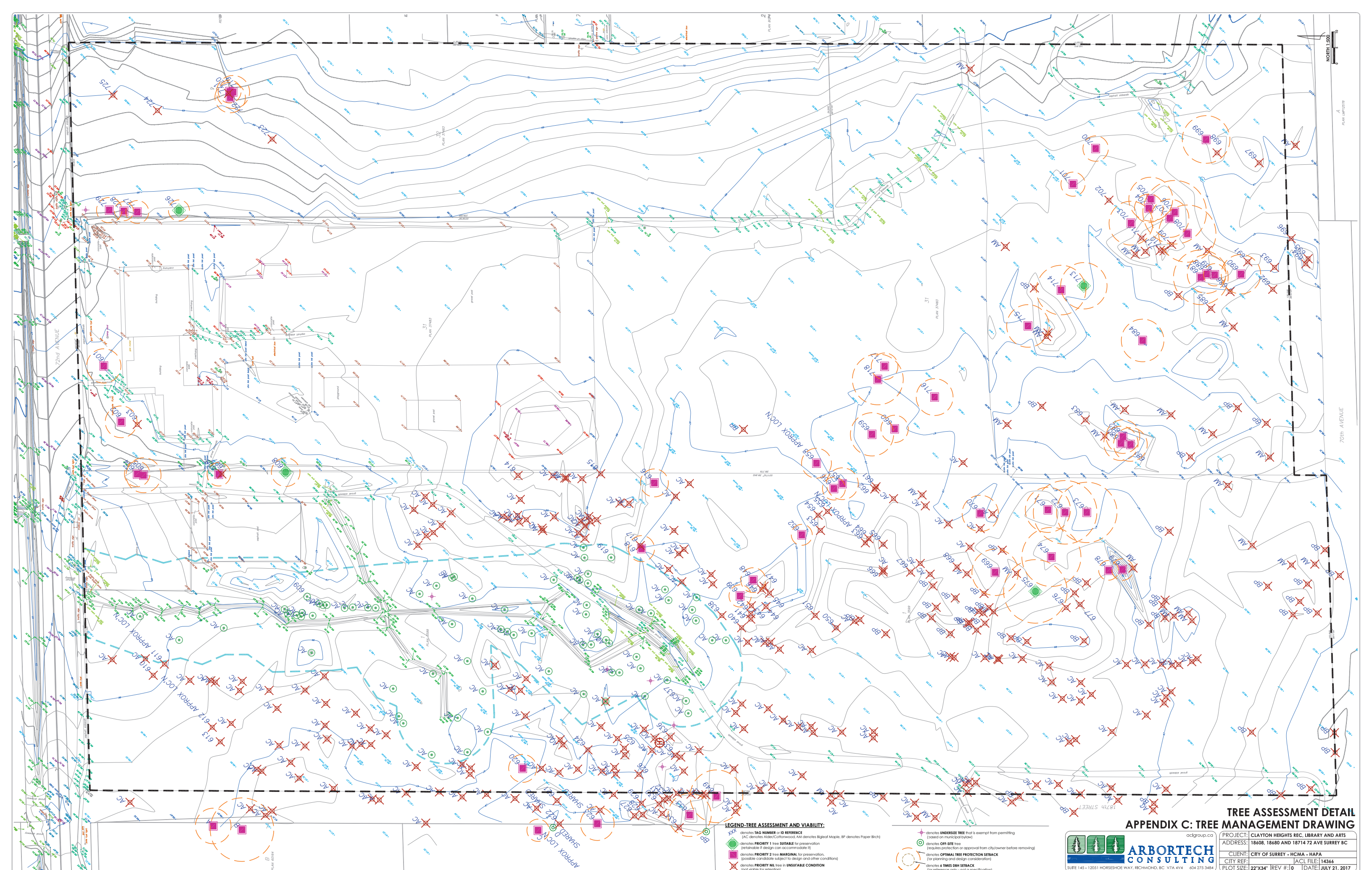
OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	0
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0	
All Other Bylaw Protected Trees at 2:1 ratio: 0 times 2 = 0	
TOTAL:	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:

Nick McMahon, Consulting Arborist Dated: July, 21, 2017

Direct: 604 812 2986
 Email: nick@aclgroup.ca



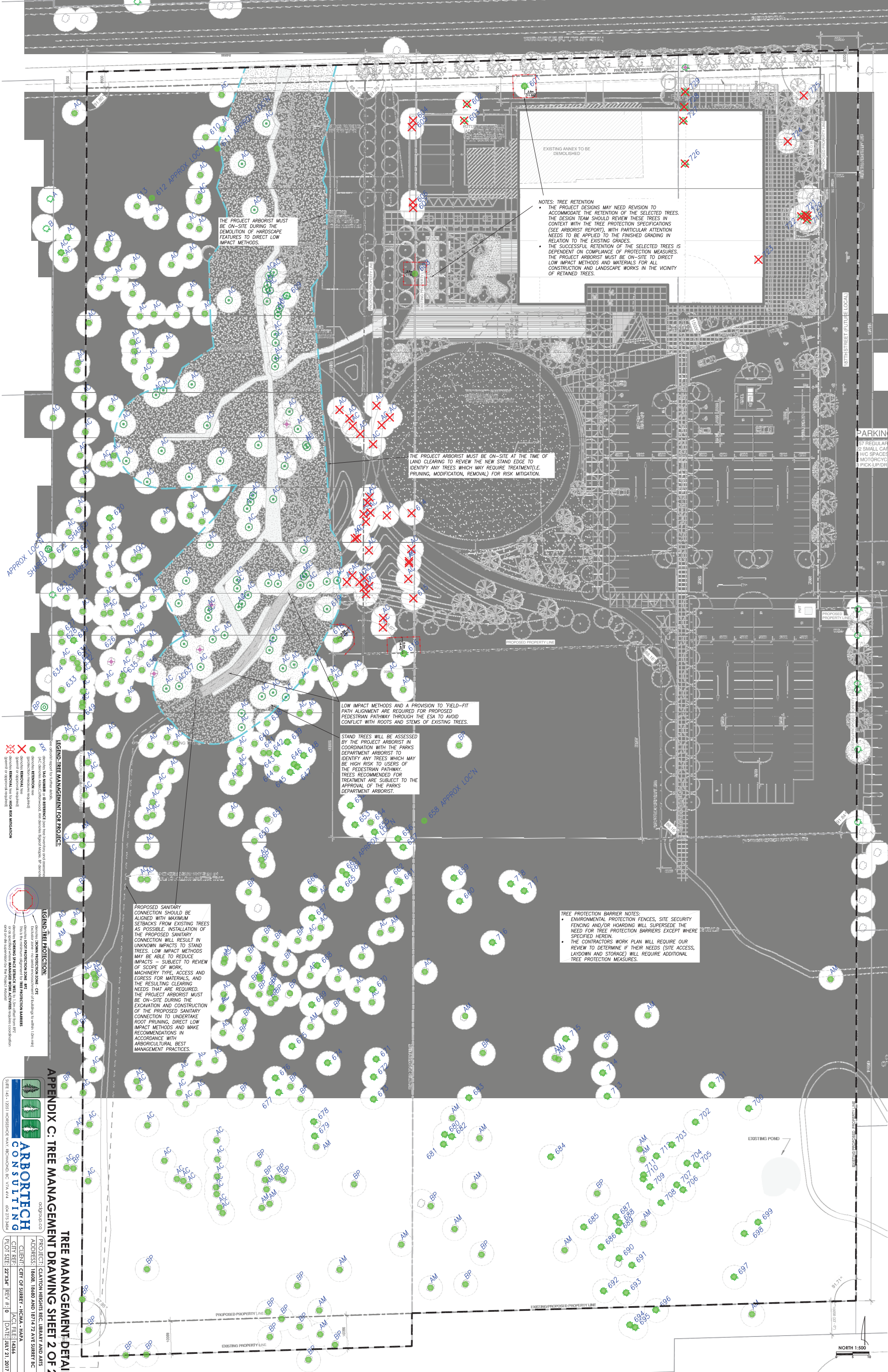
LEGEND - TREE ASSESSMENT AND VIABILITY:

- ✖ denotes TAG NUMBER or ID REFERENCE
- AC denotes Alder/Cattailwood, AM denotes Bigleaf Maple, BP denotes Paper Birch
- denotes PRIORITY 1 tree SUITABLE for preservation (retainable if design can accommodate it)
- denotes PRIORITY 2 tree MARGINAL for preservation, possible candidate subject to design and other conditions
- ✖ denotes PRIORITY NUL tree in UNSUITABLE CONDITION (not viable for retention)
- ✖ denotes UNDERSIZE TREE that is exempt from permitting (based on municipal bylaw)
- denotes OFF-SITE tree (requires protection or approval from city/owner before removing)
- denotes OPTIMAL TREE PROTECTION SETBACK (for planning and design consideration)
- denotes 4 TIMES DBH SETBACK (for reference only - not a specification)

**TREE ASSESSMENT DETAIL
APPENDIX C: TREE MANAGEMENT DRAWING**

ARBORTECH CONSULTING
 SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 604 275 3484

PROJECT:	CLAYTON HEIGHTS REC. LIBRARY AND ARTS
ADDRESS:	18608, 18680 AND 18714 72 AVE SURREY BC
CLIENT:	CITY OF SURREY - HCMA - HAPA
CITY REF:	ACL FILE: 14366
PLOT SIZE:	22'X34' REV #: 0 DATE: JULY 21, 2017



NOTES: TREE RETENTION

- THE PROJECT DESIGNS MAY NEED REVISION TO ACCOMMODATE THE RETENTION OF THE SELECTED TREES. THE DESIGN TEAM SHOULD REVIEW THESE TREES IN CONTEXT WITH THE TREE PROTECTION SPECIFICATIONS (SEE ARBORIST REPORT), WITH PARTICULAR ATTENTION NEEDS TO BE APPLIED TO THE FINISHED GRADING IN RELATION TO THE EXISTING GRADES.
- THE SUCCESSFUL RETENTION OF THE SELECTED TREES IS DEPENDENT ON COMPLIANCE OF PROTECTION MEASURES. THE PROJECT ARBORIST MUST BE ON-SITE TO DIRECT LOW IMPACT METHODS AND MATERIALS FOR ALL CONSTRUCTION AND LANDSCAPE WORKS IN THE VICINITY OF RETAINED TREES.

THE PROJECT ARBORIST MUST BE ON-SITE AT THE TIME OF LAND CLEARING TO REVIEW THE NEW STAND EDGE TO IDENTIFY ANY TREES WHICH MAY REQUIRE TREATMENT (I.E. PRUNING, MODIFICATION, REMOVAL) FOR RISK MITIGATION.

LOW IMPACT METHODS AND A PROVISION TO 'FIELD-FIT' PATH ALIGNMENT ARE REQUIRED FOR PROPOSED PEDESTRIAN PATHWAY THROUGH THE ESA TO AVOID CONFLICT WITH ROOTS AND STEMS OF EXISTING TREES.

STAND TREES WILL BE ASSESSED BY THE PROJECT ARBORIST IN COORDINATION WITH THE PARKS DEPARTMENT ARBORIST TO IDENTIFY ANY TREES WHICH MAY BE HIGH RISK TO USERS OF THE PEDESTRIAN PATHWAY. TREES RECOMMENDED FOR TREATMENT ARE SUBJECT TO THE APPROVAL OF THE PARKS DEPARTMENT ARBORIST.

PROPOSED SANITARY CONNECTION SHOULD BE ALIGNED WITH MAXIMUM SETBACKS FROM EXISTING TREES AS POSSIBLE. INSTALLATION OF THE PROPOSED SANITARY CONNECTION WILL RESULT IN UNKNOWN IMPACTS TO STAND TREES. LOW IMPACT METHODS MAY BE ABLE TO REDUCE IMPACTS - SUBJECT TO REVIEW OF SCOPE OF WORK, MACHINERY TYPE, ACCESS AND EGRESS FOR MATERIALS, AND THE RESULTING CLEARING NEEDS THAT ARE REQUIRED. THE PROJECT ARBORIST MUST BE ON-SITE DURING THE EXCAVATION AND CONSTRUCTION OF THE PROPOSED SANITARY CONNECTION TO UNDERTAKE ROOT PRUNING, DIRECT LOW IMPACT METHODS AND MAKE RECOMMENDATIONS IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES.

TREE PROTECTION BARRIER NOTES:

- ENVIRONMENTAL PROTECTION FENCES, SITE SECURITY FENCING AND/OR HOARDING WILL SUPERSEDE THE NEED FOR TREE PROTECTION BARRIERS EXCEPT WHERE SPECIFIED HEREIN.
- THE CONTRACTORS WORK PLAN WILL REQUIRE OUR REVIEW TO DETERMINE IF THEIR NEEDS (SITE ACCESS, LAYDOWN AND STORAGE) WILL REQUIRE ADDITIONAL TREE PROTECTION MEASURES.

LEGEND: TREE MANAGEMENT PROJECT

- AC - APPROXIMATE LOCATION
- BP - BOUNDARY PROTECTION
- AM - APPROXIMATE LOCATION
- APPROX LOCN SHOWN
- PROPOSED SANITARY CONNECTION
- EXISTING ANNEX TO BE DEMOLISHED
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING POND
- 187TH STREET (FUTURE LOCAL)
- PARKING
- 57 REGULAR
- 22 SMALL CAP
- 110 SPACES
- 3 MOTORCYCLES
- 3 PICK-UP/D

LEGEND: TREE PROTECTION

- PROPOSED SANITARY CONNECTION
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING POND
- 187TH STREET (FUTURE LOCAL)
- PARKING
- 57 REGULAR
- 22 SMALL CAP
- 110 SPACES
- 3 MOTORCYCLES
- 3 PICK-UP/D

ARBORTECH CONSULTING

APPENDIX C: TREE MANAGEMENT DETAIL
TREE MANAGEMENT DRAWING SHEET 2 OF 2

CLIENT: CITY OF SURREY - HCMA - HAFA
PROJECT: CLAYTON HEIGHTS REC, LIBRARY AND ARTS
ADDRESS: 18008, 18080 AND 18174 72 AVE SURREY BC
CITY REF: 227347
ACT FILE: 14345
DATE: JULY 21, 2017

NORTH 1:500

SITE REVIEW REPORT #:

01

Project Ref:

**Clayton Community Center
18608 72 Avenue, Surrey**

To:

**Scott Groves – City of Surrey
Aiden Callison – HCMA Architecture
Ray Brown – Aplin Martin
Craig Enns – Ellis Don Construction
Andrew Goodbrand – Ellis Don Construction**

ACL File:

14366

Report Date:

December 20, 2017

Ref Doc:

Tree Management Report and Drawing, Rev 0, dated July 21, 2017

Summary:

As requested, I met with the city representative, engineer, general contractor, and bidders for the removal of the trees at the above referenced project. Most of the bylaw-size trees (i.e. with a DBH greater than 30cm) were not shown on the survey and were counted as a stand of un-tagged trees in the above noted tree management report.

For tree removal within the parks, I counted the trees to be removed based on the approximate boundaries of the site, the parking lot, and based on the review of the alignment for the sanitary sewer. Figure 1 below shows the locations and the number of bylaw-size trees within three areas:

- The area between the existing chain-link fence and the proposed property line contains **20 bylaw-size trees**
- The area of the parking lot extending south into the park contains **32 bylaw-size trees**
- **40 bylaw-size trees** were counted within influencing distance from the sanitary sewer work. This count includes the portion of the work within the right-of-way for 70 Avenue.

A **total of 92 bylaw-size trees** not shown on our tree management drawing will need removal to accommodate the proposed development. In addition to this number, additional trees deemed to be dangerous to the site may need removal once we assess the newly created forest edge for wind firmness and tree risk.

NOTE: THE PROJECT ARBORIST IS TO ATTEND DURING LAND CLEARING TO MARK THE TREES TO BE REMOVED AND TO ASSESS THE NEWLY CREATED FOREST EDGE FOR WIND FIRMNESS AND RISK MITIGATION

20 BYLAW-SIZE TREES (I.E DBH GREATER THAN 30CM) TO BE REMOVED WITHIN THE AREA BETWEEN THE EXISTING CHAINLINK FENCE AND THE PROPOSED PROPERTY LINE - COUNTED BY THE PROJECT ARBORIST ON DECEMBER 14, 2017

32 BYLAW-SIZE TREES TO BE REMOVED WITHIN THIS PORTION OF THE PARKING LOT - COUNTED BY THE PROJECT ARBORIST ON DECEMBER 14, 2017

40 BYLAW-SIZE TREES, INCLUDING TREES GROWING WITHIN THE RIGHT-OF-WAY FOR 70 AVENUE, TO BE REMOVED DUE TO CONFLICT WITH THE PROPOSED SEWER LINE OR FOR RISK MITIGATION

NOTES: TREE RETENTION TO THE PROJECT DESIGN MAY NEED REVISION TO THE DESIGN TEAM SHOULD REVIEW THESE TREES IN THE CONTEXT WITH THE TREE PROTECTION SPECIFICATIONS (SEE ARBORIST REPORT), WITH PARTICULAR ATTENTION TO BE MADE TO THE EXISTING GRADING IN RELATION TO THE SUCCESSFUL RETENTION OF THE SELECTED TREES IS DEPENDENT ON COMPLIANCE OF PROTECTION MEASURES. LOW IMPACT METHODS AND MATERIALS FOR ALL CONSTRUCTION AND LANDSCAPE WORKS IN THE VICINITY OF RETAINED TREES.

THE PROJECT ARBORIST MUST BE CONSULTED PRIOR TO LAND CLEARING TO REVIEW THE TREE PROTECTION MEASURES, PRUNING, MODIFICATION, REMOVAL.

LOW IMPACT METHODS AND A PROVISION TO "FIELD-FIT" PATH ALIGNMENT ARE REQUIRED FOR PROPOSED PEDESTRIAN PATHWAY THROUGH THE PARKING LOT TO AVOID CONFLICT WITH ROOTS AND STEMS OF EXISTING TREES.

STAND TREES WILL BE ASSESSED BY THE PROJECT ARBORIST IN COORDINATION WITH THE PARKS DEPARTMENT TO IDENTIFY TREES WHICH MAY BE HIGH RISK TO USERS OF THE PEDESTRIAN PATHWAY. THESE TREES WILL BE SUBJECT TO THE APPROVAL OF THE PARKS DEPARTMENT ARBORIST.

TREE PROTECTION BARRIER NOTES: THE PROJECT ARBORIST WILL ASSESS THE NECESSITY, SITE SECURITY, FENCING AND/OR HOARDING WILL SUPERSEDE THE NEED FOR TREE PROTECTION BARRIERS EXCEPT WHERE SPECIFIED HEREIN. WORK PLAN WILL REQUIRE OUR REVIEW TO DETERMINE IF THEIR NEEDS (SITE ACCESS, LAYDOWN AND STORAGE) WILL REQUIRE ADDITIONAL TREE PROTECTION MEASURES.

THE PROJECT ARBORIST MUST BE CONSULTED PRIOR TO DEMOLITION OF HARDSCAPE FEATURES TO DIRECT LOW IMPACT METHODS.

PROPOSED SANITARY SEWER LINE TO FOLLOW EXISTING LINE TO FOLLOW EXISTING SETBACKS FROM EXISTING TREE AS POSSIBLE. INSTALLATION OF CONNECTION WILL RESULT IN UNKNOWN IMPACTS TO STAND TREES. LOW IMPACT METHODS AND MATERIALS FOR ALL CONSTRUCTION AND LANDSCAPE WORKS IN THE VICINITY OF RETAINED TREES. THE PROJECT ARBORIST MUST BE CONSULTED PRIOR TO CONSTRUCTION AND MAKE RECOMMENDATIONS IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

LEGEND-TREE MANAGEMENT FOR PROJECT:

- See arborist report for further details.
- denotes TAG NUMBER or ID REFERENCE (see tree inventory and assessment)
- (AC) denotes Acer/Cottonwood, AM denotes Bigleaf Maple, BP denotes
- denotes RETENTION tree (protection measures required)
- denotes REMOVAL tree (permit or approvals required)
- denotes REMOVAL tree for HIGH RISK MITIGATION (permit or approvals required)

LEGEND-TREE PROTECTION:

- denotes CROWN PROTECTION ZONE - CPZ (exclusion zone - no aerial encroachment of buildings to within 1.0m min)
- denotes ROOT PROTECTION ZONE - RPZ (protection measures required)
- denotes WORKING SPACE SETBACK (WSS) to 1.5m offset from RPZ or as specified where MANAGED WORK ACTIVITIES requires coordination and on-site supervision by the Project Arborist

APPENDIX C: TREE MANAGEMENT DRAWING SHEET 2 OF 2

ARBORTECH CONSULTING
 SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 604 275 3484
 cclgroup.ca

PROJECT:	CLAYTON HEIGHTS REC. LIBRARY AND ARTS
ADDRESS:	18608, 18680 AND 18714 72 AVE SURREY BC
CLIENT:	CITY OF SURREY - HCMA - HAPA
CITY REF:	ACL FILE: 14366
PLOT SIZE:	22'X34' REV #: 0 DATE: JULY 21, 2017

Present:

Chair - D. Tyacke

Panel Members:

M. Lesack

J. Leger

K. Johnston

L. Mickelson

Guests:

Colin Hogan, Focus Architecture

Mary Chen Yip, PMG Landscape Architects

Darryl Condon, HCMA Architecture + Design

Aiden Callison, HCMA Architecture + Design

Ariel Vernon, Hapa Collaborative

Wayne Vickers, Bosa Properties

Patrick Cotter, ZGF Architects

Mark Van der Zalm, Van der Zalm & Associates

Iain MacFadyen, ZGF Architects

Staff Present:

M. Rondeau, Planning & Development

N. Chow, Planning & Development

L. Blake, Legislative Services

A. RECEIPT OF MINUTES

It was

Moved by L. Mickelson

Seconded by M. Lesack

Panel meeting of January 25, 2018 be received.

That the minutes of the Advisory Design

Carried**B. NEW SUBMISSIONS**

2. 4:45 p.m.

File No.: 7917-0075-00

New or Resubmit: New

Last Submission Date: N/A

Description: Rezoning and Development Permit to permit a 2-storey, City-owned Coverdale Community Centre, including gymnasium, art studios, library, pre-school and coffee shop

Address: 18608-18714 – 72 Avenue

Developer: Scott Groves, City of Surrey

Architect: Darryl Condon Architect AIBC, HCMA Architecture and Design

Landscape Architect: Joe Fry, HAPA Landscape Architecture

Planner: Christopher Atkins

Urban Design Planner: Mary Beth Rondeau

The **Acting City Architect** advised that staff have no specific issues and can answer any questions from the Panel.

The **Project Architect** presented an overview of the site and building plans, streetscapes and elevations.

The **Landscape Architect** presented an overview of the general concept for the Landscape plans.

It was Moved by K. Johnston
Seconded by J. Leger
That the Advisory Design Panel (ADP)
supports the project and recommends that the applicant address the following
issues to the satisfaction of the Planning & Development Department.

CARRIED.

In general, the Panel strongly supported the proposal.

Form and Character

- Encourage the continued review of the cladding.
HCMA: the design team is continuing to refine the exterior cladding within the budgetary restrictions of the project to make the elevations more dynamic and to try to integrate a dappling tree like quality into the façade.
- Further delineate the specific sports on the multi-use court such as making basketball court lines very clear.
Hapa: sports court program (basketball, pickleball, and foursquare) have been separated to enhance the basketball line clarity.
- Consider introducing color when possible, specifically with respect to wayfinding.
HCMA: the use of colour to enhance wayfinding will be deployed as a strategy that starts with the exterior signage of the building and continues throughout the entire facility.
- Consider additional or enhanced storage particularly for the assembly occupancy.
HCMA: the size and location of storage has been determined by the City of Surrey Arts, Recreation, and Surrey Library groups and integrated into the building accordingly.
- Consider a lighter design concept for the central staircase, as it appears heavy and out of context.
HCMA: the design team is exploring the introducing a strong wayfinding colour into the central stair acknowledge the presence of the library on the upper floor.
- The public washroom design concept could lead to privacy concerns.
HCMA: the design team together with the City of Surrey, Surrey Libraries, City of Surrey Social Planning, and TransFocus Consulting spent considerable time researching, reviewing existing precedents and designing the current washrooms to suit a desire within the client team (and supported by the City of Surrey) to provide fully universal washroom and change facilities. The design as proposed will be a change to the typical gender separated washrooms, however, we feel the change supports a broader societal change and promotes inclusivity. We stand behind the current design and are proud that all washroom and changeroom amenities in the building are universal. We believe that the current design is more inclusive for people with disabilities, for people with caregivers of a different gender or parents with children of a different gender, for families, and for trans and non-binary people. The current design creates higher standards of privacy and comfort than are often found in gender-designated facilities. Recognizing that this design is a change from the typical layout, the location

and configuration of the multi-stall washrooms have been designed to allow for the separation of gender in the future if there are concerns over the current design.

HCMA Architecture + Design together with the support of the team members identified above have created a publicly accessible document “Designing for Inclusivity: Strategies for Universal Washrooms and Change Rooms” that can be found at the link below that fills a gap in design knowledge around issues relating to universal washrooms and change rooms. https://hcma.ca/wp-content/uploads/2018/01/Designing_For_Inclusivity.pdf

Landscape

- Recommend fencing for the preschool garden area.
Hapa: The client has expressed a strong desire to have the space accessible and welcoming to the broader community and to use a green hedge perimeter and gate on the north and east edges and grading on the south to provide enclosure. This approach also allows the covered area adjacent to the building to be used as part of the daycare programming. Fraser Health Authority has confirmed that the split rail fence along 72nd Ave, a 50 meter offset from the road, and 2 meter grade change is sufficient protection from the road. Allowances have been made along the perimeter should the client wish to install a fence in the future.
- Ensure the purpose of the outdoor playing courts is clear with respect to color use.
Hapa: the use of colour non-standard colour will be limited to foursquare markings, now separate from the basketball programming.
- Consider a ramp or sloped walkway from the wooden deck.
Hapa: We have considered the option of adding a ramp to the west end of the deck as requested, have found that the 16x2 meter footprint is challenging to accommodate into the current design without considerable revision and compromise to adjacent programming. We are also concerned that this addition will add considerable costs to the project, and result in a double ramp and landing condition at 1:12 that we have been advised by accessibility experts is not a friendly or desirable ramp. Considerable attention has been given to make all aspects of the site accessible, and there are multiple routing opportunities, though perhaps less direct, between the deck and the great lawn.
- The new tree planting plan appears rigid compared to the forest theme.
Hapa: The trees have been planted in informal bosques in all areas in which they are not functioning as shade trees along pedestrian routes.

Access

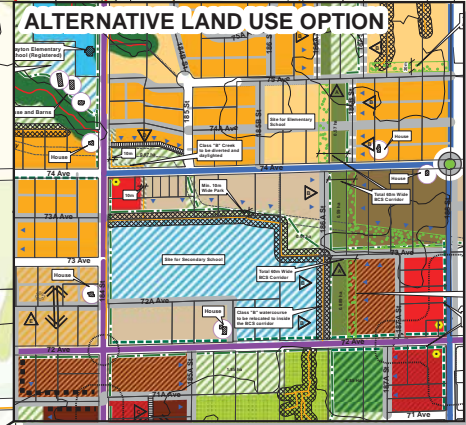
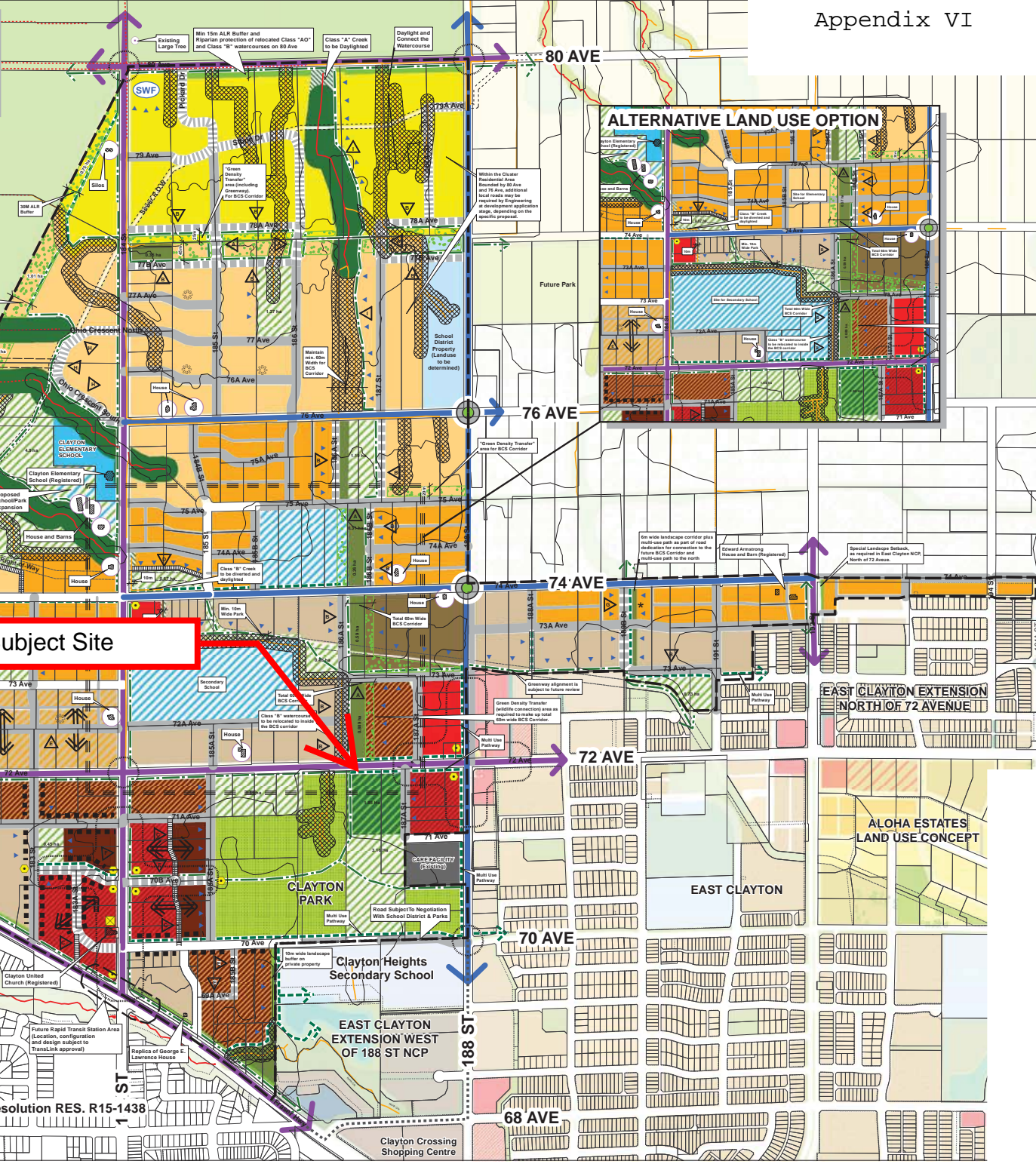
- Recommend power doors at lobby entrance as well as washrooms, if possible.
HCMA: power doors have been provided at both primary entries, the doors into the preschool spaces, as well as all single-user universal washroom in the building.
- Consider direct access from the circular pathway to the wooden patio.
Hapa: as per above.

- Legend**
- Residential Use**
- Suburban Residential (2 UPA)
 - Urban Residential (6 UPA)
 - Urban Residential (10+4 UPA Bonus)
 - Low Density Cluster*
 - TYPE 1 - 5% Open Space (6+2 UPA Bonus)
 - TYPE 2 - 7.5% Open Space (8+2 UPA Bonus)
 - Medium Density Cluster*
 - TYPE 1 - 7.5% Open Space (10+2 UPA Bonus)
 - TYPE 2 - 10% Open Space (12+2 UPA Bonus)
 - High Density Cluster*
 - TYPE 1 - 10% Open Space (22+5 UPA Bonus)
 - TYPE 2 - 15% Open Space (22+5 UPA Bonus)
 - Townhouse Residential (22+5 UPA Bonus)
 - Townhouse Residential (22+5 UPA Bonus) Transition
 - Urban/Townhouse Flex*
 - TYPE 1 - Urban (10+4 UPA Bonus)
 - TYPE 2 - Townhouse (22+5 UPA Bonus)
 - Townhouse/Apartment Flex*
 - TYPE 1 - Townhouse (22+5 UPA Bonus)
 - TYPE 2 - Apartment (1,3+0.3 FAR Bonus)
 - Stacked Townhouse/Apartment*
 - TYPE 1 - Stacked Townhouse (20+45 UPA Bonus)
 - TYPE 2 - Apartment (45 UPA) (1,3+0.2 FAR Bonus)
 - Commercial & Mixed Use
 - Neighbourhood Commercial
 - Mixed Use Commercial/Residential*
 - VIA ALICE MODE (1,3 + 0.2 FAR Bonus)
 - TRANSIT NODE (1.5 + 0.3 FAR Bonus)
- Institutional & Public Recreation Use**
- Existing Park
 - Proposed Park
 - Proposed Public Recreational Facility
 - Existing School
 - Proposed School
 - Future School/Park
 - BCS (Biodiversity Conservation Strategy) Corridor
- Transportation Engineering**
- Arterial
 - Collector
 - Proposed Local Road or Lane*
 - Proposed Local Road With Unique Cross Section*
 - On the map **WV** denotes a specific cross section. (See NCP document for detail)
 - Proposed Local Road (Alignment Flexible)*
 - Proposed Green Lane
 - Alignment of proposed roads at off-set intersections to be subject to Engineering approval
 - Pedestrian Street (8m R.O.W)
 - Multi-Use Pathway*
 - Right-In / Right-Out Access
 - Road subject to Engineering review
- Urban Design**
- Special Urban Design Area
 - Residential units designed to face / front park or wildlife corridors
 - Live - Work Option on ground floor of street - fronting units
 - No individual driveway access will be permitted to 5th storey multi-use pathway, unless approved by Engineering
 - All multi-use pathways and Greenways are unique cross-section unless adjacent to roads, within parkland or Foris BC r.o.w.
 - Urban Landmark (Public art/public landscaping/plaza)
 - Plaza / Farecourt
 - Heritage Site - Potential For Preservation
 - Heritage Site - Registered
 - Flex Blocks
- Other**
- Creek Class A (Year-Round Fish-bearing)
 - Creek Class AO (Seasonal Fish-bearing)
 - Creek Class B (Non-Fish-bearing, Supports nutrients to Fish-bearing creeks)
 - Forest/Blocks
 - Green Density Transfer (Forest Preservation/Restoration or ALR Buffer)*
 - * Land to be conveyed to the city in exchange for density transfer
 - Sanitary Trunk Sewer R.O.W.
 - Creek Buffer Class B
 - Creek Buffer Class A and Class AO
 - Daylighted Creek Buffer
 - SWF Storm Water Facility
 - Location, size of stormwater facility are subject to Engineering approval)
 - Agricultural Land Reserve

NOTES:

Riparian setbacks are shown at 30m and 15m, respectively, from the centrelines of Class "A" and Class "B" watercourses. The ultimate setbacks must be compliant, at minimum, with Federal Fisheries Act and Provincial Fish Protection Act (Riparian Areas Regulations (RAR)). Measures in support of the RAR, may include geotechnical investigations, windthrow analysis, wildlife analysis. Additionally, other Acts and Regulations may apply such as: Provincial Water Act, Provincial Wildlife Act Federal Species at Risk Act, Federal Migratory Bird Convention Act.

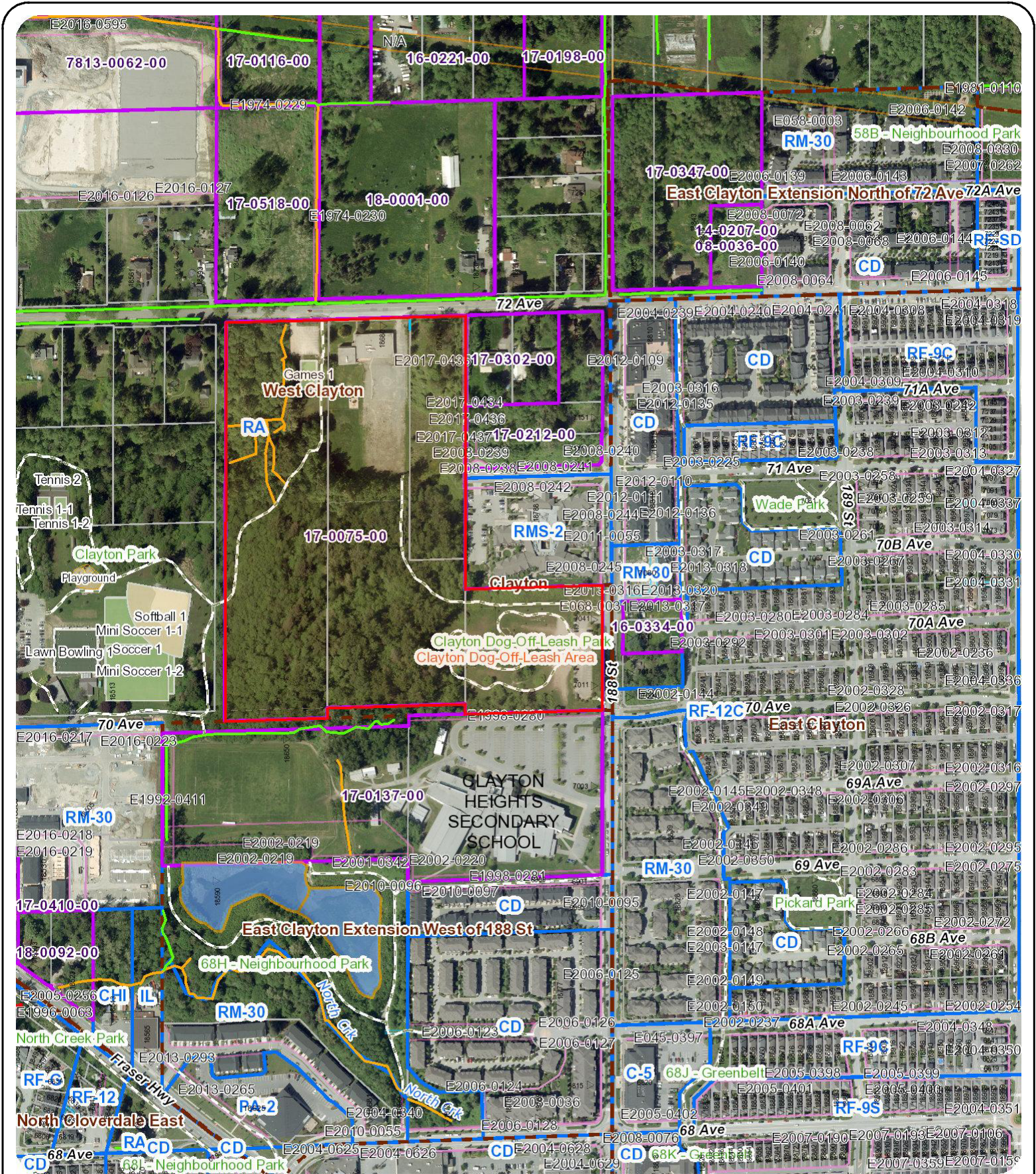
In addition to the land use density indicated, a bonus density may be available, subject to meeting the Energy Efficiency Density Bounding Policy.



**WEST CLAYTON NCP
Stage 2 Land Use Concept**

Approved by Council at it's Regular Council Meeting of 27 July, 2015 - Resolution RES. R15-1438

V:\Plan\Long Range\GIS_ANALYSIS\COVER\ALR\WEST_CLAYTON\NCP\Stage_2_LandUseConcept_2014

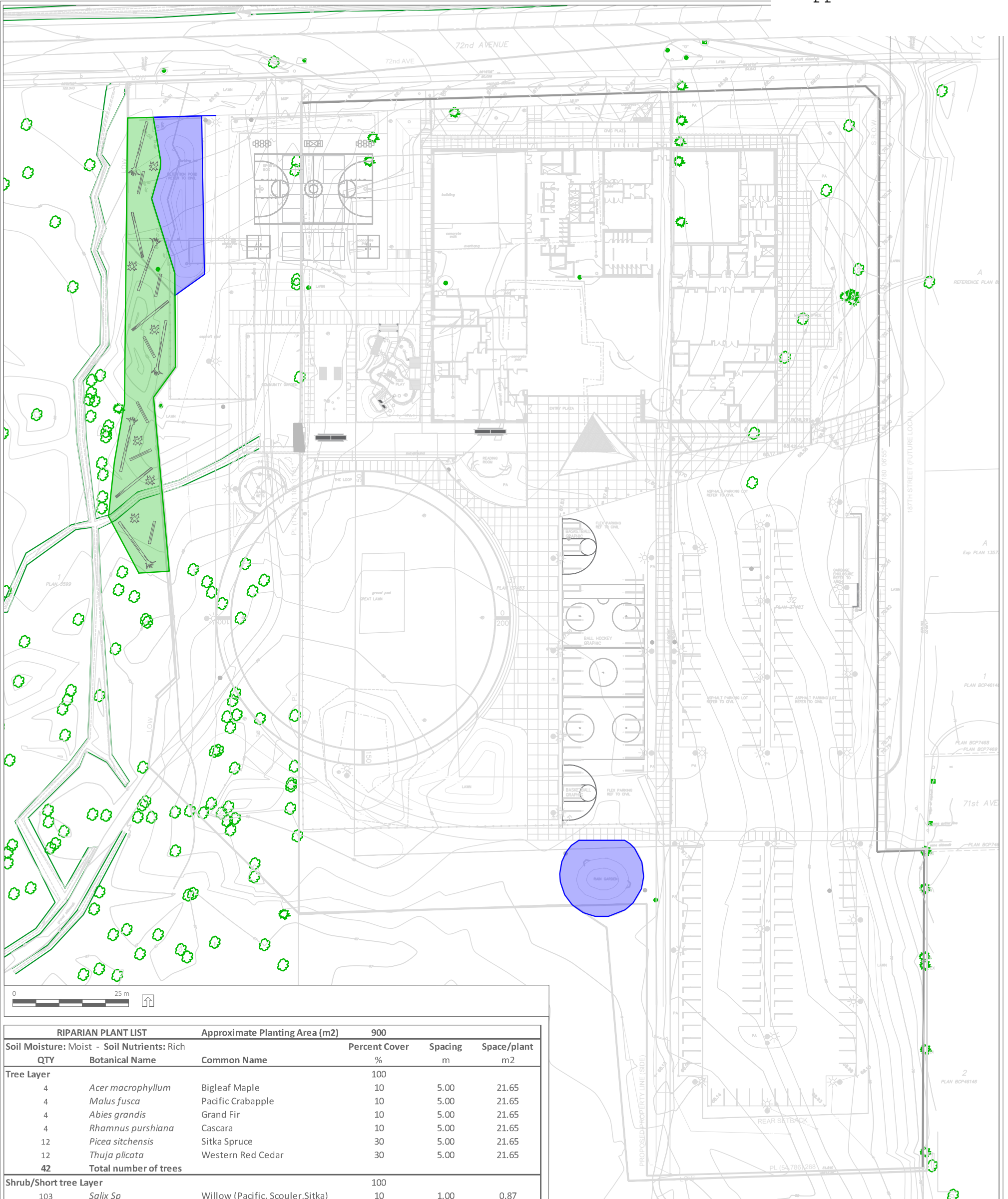


Enter Map Description

Scale: 1:4,923

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca





RIPARIAN PLANT LIST		Approximate Planting Area (m2)	900		
QTY	Botanical Name	Common Name	Percent Cover %	Spacing m	Space/plant m2
Tree Layer					
4	<i>Acer macrophyllum</i>	Bigleaf Maple	10	5.00	21.65
4	<i>Malus fusca</i>	Pacific Crabapple	10	5.00	21.65
4	<i>Abies grandis</i>	Grand Fir	10	5.00	21.65
4	<i>Rhamnus purshiana</i>	Cascara	10	5.00	21.65
12	<i>Picea sitchensis</i>	Sitka Spruce	30	5.00	21.65
12	<i>Thuja plicata</i>	Western Red Cedar	30	5.00	21.65
42	Total number of trees				
Shrub/Short tree Layer					
103	<i>Salix Sp</i>	Willow (Pacific, Scouler, Sitka)	10	1.00	0.87
103	<i>Acer circinatum</i>	Vine Maple	10	1.00	0.87
52	<i>Corylus cornuta*</i>	Beaked Hazelnut	5	1.00	0.87
207	<i>Rubus spectabilis</i>	Salmonberry	20	1.00	0.87
52	<i>Crataegus douglasii</i>	Black hawthorn	5	1.00	0.87
52	<i>Ribes bracteosum</i>	Stink currant	5	1.00	0.87
103	<i>Cornus stolonifera</i>	Red-osier Dogwood	10	1.00	0.87
207	<i>Oemleria cerasiformis</i>	Indian Plum	20	1.00	0.87
52	<i>Sambucus racemosa</i>	Red elderberry	5	1.00	0.87
103	<i>Spiraea douglasii</i>	Hardhack	10	1.00	0.87
569	Total number of shrubs				

LEGEND

- RESTORATION PLANTING AREA
- DETENTION POND PLANTING AREA (SEE SHEET L1.41 by Hapa)
- PROPOSED ECOLOGICAL ENHANCEMENTS (Target Log Size 5-8m, min. 30cm Diam.)

PLANTING STANDARDS:

1. Area to be restored is approximately 900m².
2. Plant shrubs in groups of between 5-10 of the same species.
3. Planting must be successful to an 80% take. If more than 20% die over one year, replanting is necessary.
4. **Topsoil:** Topsoil must meet BCLNA guidelines for growing medium and be weed free. Soils must be placed un-compacted to a depth of 50cm and textured in a cross slope pattern to help reduce erosion. There is to be no soil disturbance anywhere near Japanese knotweed until it is treated and is eradicated from the site.
5. **Planting Material:** All planted material must conform with the most current BC Landscape Standards for container grown stock. The Contractor shall be responsible for ensuring that plant materials delivered to the site are true to the specifications of the Planting Lists. There shall be no substitutions of plants without prior written approval from the City. All shrubs and ferns must be well established in #1 pots, and trees at least 1.2 m tall.
6. **Water and Irrigation:** Plants shall be inspected for moisture content at the time of delivery, and watered as necessary to retain a turgid condition. On-site irrigation shall be available during the duration of on-site storage.
7. **Planting Time:** Planting should occur in the fall (September - October) in order to ensure the highest possible plant survival rates. If planting is done outside of these windows, the Owner should plan a watering schedule (in summer) or protection from frost (in winter) based on recommendations from Diamond Head.
8. **Planting Methods:** Planting Methods shall adhere to the recommendations in the BC Landscape Standard Section 9.3.4: Planting (Seventh Edition). Typical spacing should be 5m triangular spacing for trees and 1m triangular spacing for all shrubs. All plants should be field-fit under the direction of an RPBio.
9. **Habitat Features:** A target of 20 pieces of large wood should be placed along this riparian corridor. Preferred sources are native conifer species. Large stumps or logs should be used. Logs should be a minimum of 30 centimetres diameter and four (4) metres long. A target of 5 wildlife trees should be installed along the riparian corridor. Logs should be native conifer species and be a minimum of 40 cm in diameter and 6 m long. One third to one half the length of a wildlife tree should be buried to ensure stability. Trees should be placed leaning away from structures and people.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Landscape Restoration Plan
Project address: Clayton Heights
Client: HCMA

Drawing No: XXX
Date: 2018/04/30
Drawn by: KW
Page Size: TABLOID 11"x17"

Page #
1 of 1

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 007-498-055
Lot 31 Section 16 Township 8 New Westminster District Plan 37483

Portion of 18680 - 72 Avenue

as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Gurpreet S. Kooner, B.C.L.S. on the 26th day of January, 2018, containing 1.475 hectares, called Block 1.

Parcel Identifier: 008-406-405
Lot 32 Section 16 Township 8 New Westminster District Plan 37483

18714 - 72 Avenue

(hereinafter both 1.(a) and (b) shall be referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a *recreational facility* and ancillary commercial uses.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Recreational facilities*, excluding outdoor go-kart operations, drag racing and rifle ranges.
2. *Child care centres*.
3. *Cultural uses*.
4. *Accessory uses* including the following:
 - (a) *Eating establishments*, excluding *drive-through restaurants*;
 - (b) *Retail stores*, excluding *adult entertainment stores* and *secondhand stores* and *pawnshops*;
 - (c) *Personal service uses* excluding *body rub parlours*;
 - (d) *Community services*; and
 - (e) *Office uses*, excluding *social escort services*, *methadone clinics* and *marijuana dispensaries*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule F of Surrey Zoning By-law, 1993, No. 12000, as amended, the *floor area ratio* shall not exceed 0.40.

E. Lot Coverage

The *lot coverage* shall not exceed 40%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback			
	North Yard	South Yard	West Yard	East Yard
<i>Principal Buildings</i>	8.0 m. [26 ft.]	12.0 m. [39 ft.]	12.0 m. [39 ft.]	12.0 m. [39 ft.]
<i>Accessory Buildings and Structures</i>	7.5 m. [25 ft.]	7.5 m. [25 ft.]	7.5 m. [25 ft.]	4.0 m. [13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. The *building height* shall not exceed 15.0 metres [49.5 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.0 metres [13.5 ft.].

H. Off-Street Parking

Notwithstanding Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000 as amended, *parking spaces* shall be provided at rate of 2.2 *parking spaces* per 100 m² [1,075 ft²] of *gross floor area* of any *buildings* on the *Lands*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.

4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

J. Special Regulations

Child care centres shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CPR Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.

7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2017, No. 19107, as may be amended or replaced from time to time, and the development cost charges shall be based on the CPR Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK