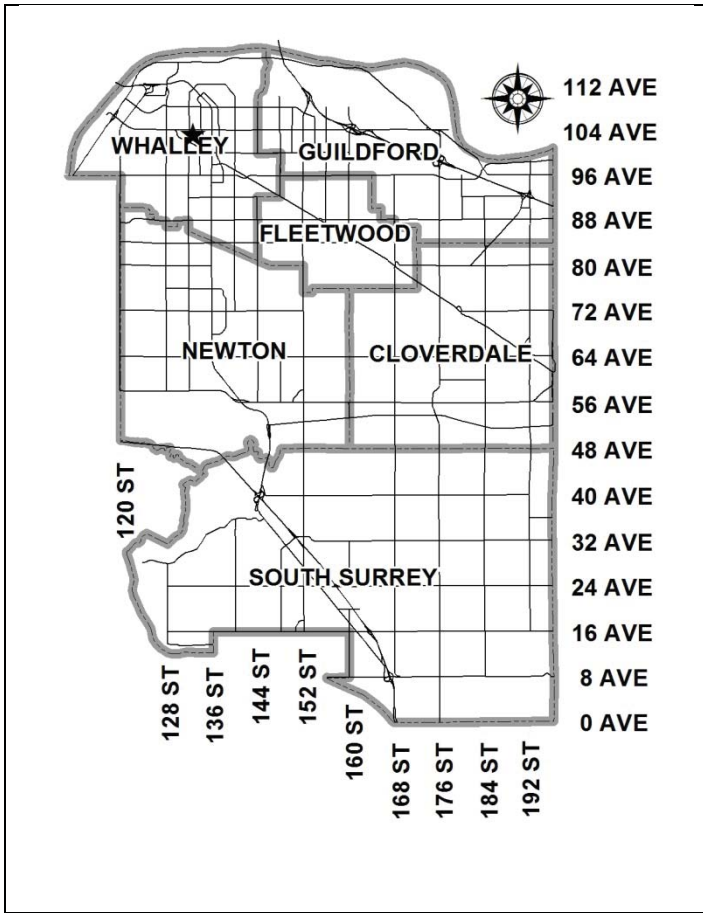


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0011-00

Planning Report Date: April 24, 2017



PROPOSAL:

- **Rezoning** from RF to CD (based upon RM-135 and C-5)
- **Development Permit**

to permit the development of a 44-storey with 13-storey podium rental apartment building with ground floor retail.

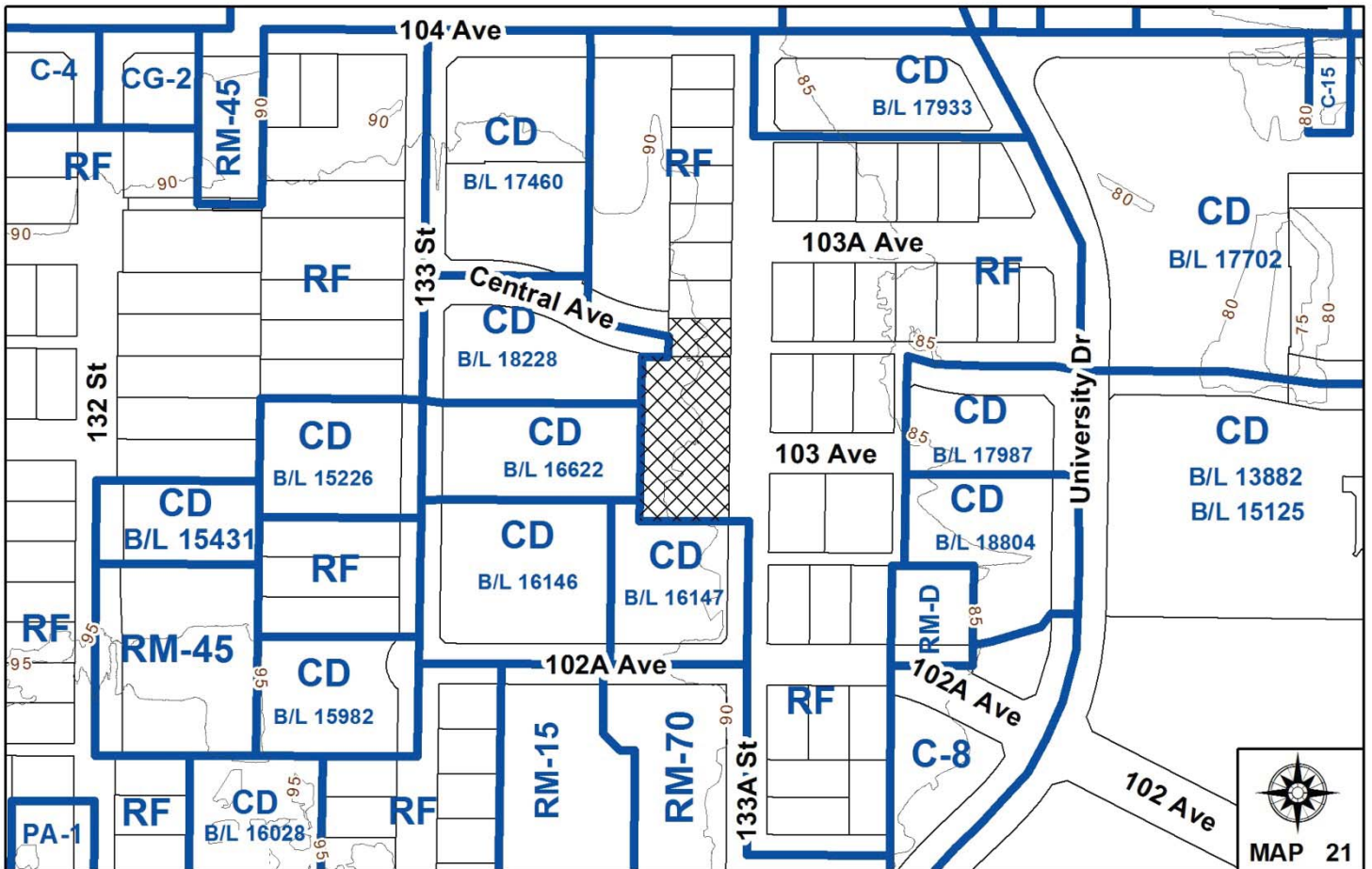
LOCATION: 10297 - 133A Street
 10327 - 133A Street

OWNERS: Weststone Properties 104 Ltd.
 West Village Parcel 6 Holdings Ltd.

ZONING: RF

OCP DESIGNATION: Central Business District

CITY CENTRE PLAN DESIGNATION: Residential High Rise 5.5 FAR and Mixed Use 5.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to reduce outdoor amenity space.
- Approval to draft Development Permit.
- Endorsement of the revised "West Village" Master Plan block concept previously presented to and endorsed by Council as part of Application No. 7906-0520-00 and revised and endorsed by Council as part of Application No. 7912-0325-00.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Central Business District designation in the OCP.
- The proposed development complies with the Residential High Rise 5.5 FAR (floor area ratio) and Mixed Use 5.5 FAR designations in the Surrey City Centre Plan.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use hub that will be complementary to the City of Surrey Civic Centre to the east.
- The proposed development conforms to the goal of achieving high-rise, high density development around the three SkyTrain Stations. The Surrey Central SkyTrain Station is located within a walking distance of 450 metres (1,476 ft.) from the subject site.
- The proposed development, which is Phase 5 of WestStone's "West Village (formerly "Urban Village") development, is generally consistent with that envisioned when the revised "West Village" Master Plan block concept was presented to Council on May 12, 2014 and endorsed (Application No. 7912-0325-00). The applicant is seeking endorsement of a further revised Master Plan that updates the development concept for Phase 5 and proposes updated phasing of future development parcels in "West Village".

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,650 square metres (17,760 sq. ft.) to 1,069 square metres (11,507 sq. ft.).
3. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 1,650 square metres (17,760 sq. ft.) to 952 square metres (10,247 sq. ft.).
4. Council authorize staff to draft Development Permit No. 7917-0011-00 generally in accordance with the attached drawings (Appendix III).
5. Council endorse the revised "West Village" Master Plan block concept shown as Appendix II.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to reflect the 550 proposed rental units and ensure that the applicant will adequately address the City's needs with respect to public art, and to address any shortfall in residential parking spaces, should the project be converted from rental housing to market units, at any point in the future;
 - (g) registration of a right-of-way for public rights-of-passage for the 8.0-metre (26 ft.) wide pedestrian walkway to the south of the proposed tower;
 - (h) resolve the shortfall in amenity contributions from previous phases of the "West Village" (previously known as "Urban Village") development;

- (i) discharge of Restrictive Covenant CA4687650, which is a "No Build" Restrictive Covenant intended to ensure the above-noted shortfall in amenity contributions is addressed;
- (j) the applicant adequately address the impact of reduced indoor amenity space; and
- (k) the applicant adequately address the impact of reduced outdoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

14 Elementary students at Old Yale Road Elementary School
6 Secondary students at Kwantlen Park Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2020.

Surrey Fire Department: The Fire Department has no concerns with the proposed development application. However, there are some items which are to be addressed as part of the Building Permit application.

SITE CHARACTERISTICS

Existing Land Use: The subject site is currently vacant.

Adjacent Area:

Direction	Existing Use	City Centre Plan Designation	Existing Zone
North:	Single family dwelling, and vacant single family lots owned by the applicant	Mixed Use 5.5 FAR	RF
East (Across 133A Street):	Single family lot and vacant single family lot	Residential High Rise 5.5 FAR and Mixed Use 5.5 FAR	RF
South:	4-storey apartment building (Phase 2 of West Village)	Residential High Rise 5.5 FAR	CD By-law No. 16147

Direction	Existing Use	City Centre Plan Designation	Existing Zone
West:	35-storey apartment building and townhouses (Phase 3 of West Village) and 36-storey apartment building and 3-storey commercial building (Phase 4 of West Village), under construction	Residential High Rise 5.5 FAR and Mixed Use 5.5 FAR	CD By-law No. 16622 and CD By-law No. 18228

DEVELOPMENT CONSIDERATIONS

Background

- The subject site involves two properties, 10297 – 133A Street and 10327 – 133A Street, in the City Centre. The subject site is part of the applicant's (WestStone Group) larger land holdings in the immediate area that comprise the "West Village" development.
- WestStone has assembled most of the properties within the block bound by 104 Avenue to the north, 133 Street to the west, 133A Street to the east and 102A Avenue to the south. The exceptions are the CD-zoned site at the south-east corner of 104 Avenue and 133 Street, site of the Rize Alliance "Wave" development, and the RF-zoned lot at 10335 – 133A Street.
- WestStone has assembled the lands in the subject block to develop an integrated, multi-building, multiple unit residential community and ancillary commercial space, which is intended to continue to be constructed over phases in the next few years.
- Phases 1 to 3 of WestStone's development have now been constructed and residents are already residing in the buildings. Phase 4 is currently under construction.
- Phases 1 and 2, on the north side of 102A Avenue, consist of two, 4-storey apartment buildings, with 71 units and 135 units respectively (Application Nos. 7906-0029-00 and 7906-0321-00).
- Phase 3, north of 102A Avenue and fronting 133 Street, consists of a 35-storey apartment tower with eleven (11) at-grade 2-storey townhouses units, with a total of 418 units (Application No. 7906-0520-00).
- Phase 4, currently under construction fronting 133 Street and Central Avenue, consists of a 36-storey apartment tower and 2-storey townhouse podium for a total of 402 units and a 3-storey commercial building (Application No. 7912-0325-00), which received final adoption January 12, 2015.

Overall West Village Master Plan Revised Concept

- Previously, under Application No. 7906-0520-00, a Master Plan for the entire WestStone block was presented to Council, which showcased the intended development of WestStone's land holdings. The development was initially called "Urban Village" and has subsequently been renamed "West Village".
- The "West Village" Master Plan concept was revised as part of Application No. 7912-0325-00. The revised Master Plan concept incorporated place making principles into the design, as well as reflecting a change in the alignment of Central Avenue (previously 103 and 103A Avenue) through the site. In addition, the revised Master Plan showed the inclusion of an at-grade commercial component along the north and south sides of Central Avenue and a shift in tower locations and increased building heights in the last four phases of West Village (Parcels 5, 6, 7 and 8), ranging from 36 to 45 storeys.
- The proposed revision to the Master Plan concept deletes the central community amenity building currently identified for the subject site (Phase 5). The intent of this building was originally to satisfy the shortfall in amenity contributions from previous phases of the "West Village" development. The applicant, with support from staff, now proposes to address this shortfall by providing the cash-in-lieu amount previously agreed to by the applicant, and secured through Restrictive Covenant CA4687650. The applicant proposes to address the required indoor amenity space as part of this phase and each subsequent phase, allowing it to be distributed more evenly throughout the remaining "West Village" development.
- In addition, while a significant area of accessible open space remains as part of the subject phase, additional accessible open space will be provided through future Phase 6 in a manner that complements the publicly accessible outdoor space provided along Central Avenue as part of the adjacent Rize Alliance "Wave" development to the west.
- The revised Master Plan concept also takes into account the possibility that 10335 – 133A Street (shown as "Lot 7" on the attached revised Master Plan) may not ultimately be incorporated into the "West Village" development, despite WestStone's attempts and staff's encouragements.
- The overall density proposed for the entire Master Plan area will be a floor area ratio (FAR) of 5.9, based on a gross density calculation.
- The City Centre Plan indicates that the subject site is appropriate for high-rise residential and mixed use development with a floor area ratio (FAR) of up to 5.5, based on the gross site area.
- In addition, the Surrey City Centre Plan permits developments to increase densities up to 20% more than the densities shown in the City Centre Plan, subject to density bonusing in accordance with the density bonusing policy, which is currently in the process of refinement. As a result, WestStone's proposed overall gross density of 5.9 FAR for the block is consistent with the Surrey City Centre Plan.

- Densities on individual development sites within "West Village" will vary and have varied, depending upon the size of the parcel and the building form being proposed for each parcel. The subject site and remaining undeveloped sites in the block will have densities in excess of 5.5 FAR, similar to Phase 3, whereas the initial 2 phases and Phase 4 had densities below 5.5 FAR.
- Separate Rezoning and Development Permit applications will be required for each of the remaining phases of the "West Village" project and further fine-tuning of the Master Plan is anticipated.

Current Application

- The applicant, WestStone Group, has submitted a development application for Phase 5 of the "West Village" development, which is located in the southwest corner of future Central Avenue and 133A Street.
- The subject application consists of a rezoning from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)", Development Permit and subdivision to allow for the development of a 44-storey residential tower and 13-storey residential podium, with 2-storey townhouses and commercial retail space at the ground level. The project is intended to provide rental accommodation for 100% of the units.
- A total of 11 townhouse units and 539 apartment units are proposed, for a total of 550 dwelling units. The commercial component will consist of 427 square metres (7,594 sq.ft.) of floor area.
- As part of this application, the continuation of Central Avenue (previously 103A/103 Avenue) will be dedicated and will be constructed as a 22-metre (72 ft.) wide road cross-section, including a separated bike lane (cycle track).
- In recognition of the impact of creating additional roads to achieve a finer-grained road network, density for lands within the Surrey City Centre Plan is determined on the gross site area of the entire block.
- Including the land to be dedicated for road, the subject Phase 5 has a proposed gross density of 9.1 FAR. The proposed net density for the site is 10.62 FAR. The gross density of the "West Village" development remains 5.9 FAR, as per the Master Plan concept, as noted in the previous section of this report.

Multiple Residential Component

- The multiple residential component of the proposed high rise residential tower and mid-rise podium will consist of a total of 550 dwelling units, including 11 two-storey townhouses at the ground level and 539 apartment units. The project is intended to provide rental housing for 100% of the units.
- The 11 townhouse units will range in size from 47 square metres (506 sq.ft.) to 69 square metres (748 sq.ft.), comprised of a kitchen, bathroom and living room on the first level and two bedrooms with bathrooms on the second level.

- The apartment units will range in size from 30 square metres (321 sq.ft.) to 137 square metres (1,475 sq.ft.), and are comprised of the following unit types:
 - 71 studio units;
 - 197 one-bedroom units;
 - 76 one-bedroom plus den unit;
 - 155 two-bedroom units;
 - 37 two-bedroom plus den units, and
 - 3 three-bedroom units.
- Thirty-six (36) one-bedroom plus den apartment units will be adaptable units.
- As this will be a rental residential building, a 79-square metre (852 sq.ft.) leasing office is provided on the ground floor.

Indoor Amenity Space

- The development proposes 1,068.5 square metres (11,501 sq.ft.) of indoor amenity space located throughout the residential tower and podium.
- The proposed indoor amenity spaces will consist of an amenity lounge on the ground floor (L1), workshops available for residents on the first level below the tower (Lo), a fitness amenity space with multi-purpose room on the third level, a washroom, combined meeting/media room with kitchenette and second smaller multi-purpose room on Level 14, a large “business/learning centre” on Level 34, and rooftop amenity space on Level 44 that will include a gallery space, several TV areas and seating for lounging, a washroom, as well as tables and chairs for various activities. The indoor rooftop amenity will be adjacent an outdoor amenity space.
- Based upon the City’s Zoning By-law requirement of 3.0 square metres/32 sq.ft. per dwelling unit for amenity space, 1,650 square metres (17,760 sq.ft.) of indoor amenity space is required for the proposed 550 dwelling units. The proposed 1,068.5 square metres (11,501 sq.ft.) results in a shortfall of 581.5 square metres (6,259 sq.ft.) of indoor amenity space. The applicant has agreed to provide compensation to mitigate the reduction of indoor amenity space in accordance with Council policy.

Outdoor Amenity Space

- The development proposes 952 square metres (10,247 sq. ft.) of outdoor amenity space, located in multiple locations, including on Level 3 adjacent to the fitness amenity space, as a deck atop the 13-storey residential podium, and as a rooftop deck on Level 44 adjacent to and accessed from the indoor rooftop amenity space.
- The proposed outdoor amenity space on Level 3 will consist of hard-surface pavers with seating and seating areas, and will be landscaped with trees and other low plantings. The Level 14 outdoor amenity space will include, in addition to that listed above, an amenity area for dog owners, garden plots for residents (and a related garden tool shed), and a barbecue area including patio seating. The rooftop outdoor amenity will include a barbecue area and large “harvest” table, seating and lounging areas with landscaping consistent with that described above.

- The proposed development is required to provide 1,650 square metres (17,760 sq.ft.) of outdoor amenity space and 952 square metres (10,247 sq. ft.) is proposed. The applicant has agreed to provide compensation to mitigate the 698-square metre (7,513-sq.ft.) reduction of outdoor amenity space in accordance with Council policy.

Commercial Component

- Approximately 427 square metres (4,594 sq.ft.) of ground floor commercial space has been proposed along Central Avenue and 133A Street, generally consistent with the Master Plan endorsed by Council.
- The commercial area will serve as a gathering and meeting place for residents in the area, as well as provide convenient commercial services for the growing population.
- In order to accommodate the proposed density and other aspects of the project, the applicant has applied to rezone the site to a CD Zone, based on the RM-135 Zone for the residential component and the C-5 Zone for the commercial component, but modified to accommodate the proposed project.

Proposed CD By-law

- The table below shows a comparison between the proposed CD Zone and the RM-135 and C-5 Zones:

	RM-135 and C-5 Zones	Proposed CD By-law
Land Use	<ul style="list-style-type: none"> • The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple residential buildings. • The C-5 Zone permits commercial use including: <ul style="list-style-type: none"> ○ Retail stores; ○ Personal service uses; ○ Eating establishments. ○ Neighbourhood pubs; ○ Office uses; ○ General service uses; ○ Indoor recreational facilities; ○ Community services; and ○ Child care facilities. 	<ul style="list-style-type: none"> • Residential will comply with the RM-135 Zone. • Commercial uses will be limited to the following, with some restrictions: <ul style="list-style-type: none"> ○ Retail stores; ○ Personal service uses; ○ Eating establishments; ○ Office uses; ○ General service uses; ○ Indoor recreational facilities; ○ Community services; and ○ Child care facilities.
FAR	2.5	10.7
Lot Coverage	33%	60%

	RM-135 and C-5 Zones	Proposed CD By-law
Building Setbacks	50% of the height of the building from all lot lines	North (Central Ave): 4.5 metres South: 11.5 metres West: 7.0 metres East (133A Street): 4.5 metres
Required Parking		
Residential	<ul style="list-style-type: none"> • 1.04 spaces / 1 or less bdrm unit • 1.2 spaces / 2 or more bdrm unit • 1.6 spaces / townhouse unit • 0.16 space / unit for visitors 	<ul style="list-style-type: none"> • 0.88 space / 1 or less bdrm unit • 1.2 spaces / 2 or more bdrm unit • 1.6 spaces / townhouse unit • 0.1 space / unit for visitors
Commercial	<ul style="list-style-type: none"> • 2.4 spaces / 100 m² gross floor area 	<ul style="list-style-type: none"> • 2.4 spaces / 100 m² gross floor area
Parking Location	No parking facilities within 2.0 metres (6.6 ft.) of the front lot line	Underground parking may extend to all lot lines
Bicycle Parking	<ul style="list-style-type: none"> • 1.2 bicycle spaces / unit and 6 spaces for visitors • 0.12 bicycle parking space for every 100 square metres (1, 075 sq.ft.) of gross floor area for general service uses 	<ul style="list-style-type: none"> • Complies with Zoning By-law.

- The proposed CD By-law will incorporate similar uses as the RM-135 for the residential component and the C-5 Zone for the commercial component, but will be more restrictive with respect to the commercial uses permitted. Eating establishments will be limited to less than 150 square metres (15,069 sq.ft.) in floor area, to ensure parking requirements can be met.
- The proposed net floor area ratio (FAR) of the development will be 10.7, and the lot coverage is proposed to be 60%, which will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone. However, the proposed density complies with the Residential High Rise 5.5 FAR and Mixed Use 5.5 FAR designations in the Surrey City Centre Plan and the proposed lot coverage is appropriate for the proposed development.
- The RM-135 Zone requires the setbacks to be 7.5 metres (25 ft.) or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks be included in the CD By-law, as indicated in the table above. The reduction in building setbacks is supportable as the reduced setbacks allow for more active engagement of the streets, which is desirable for the City Centre area.

Parking

- Vehicle access to the underground parking and loading/unloading facilities will be from 133A Street. Seven (7) levels of underground parking are proposed.

- A total of 557 resident parking spaces will be provided in the underground parking facility, at ratios noted in the table above. Residential parking will be slightly lower than the normal reduction in parking permitted within the City Centre area. The reduced parking rates are acceptable as the proposed development will provide rental units for 100% of the proposed development. However, a Restrictive Covenant will be required specifying that, in the event that any or all of the units within the rental building are converted to market units, the applicant will be required to address the parking shortfall by providing a combination of car-share vehicles and a cash-in-lieu contribution.
- A total of 55 visitor parking spaces will be provided on the first level of the underground parking facility, at a ratio of approximately 0.1 parking space per dwelling unit. City staff have reviewed the requested reductions for visitor parking in the context of proximity to a SkyTrain Station and a high density, mixed-use city core, and consider the reduction, which is consistent with other tower developments in the City Centre, to be acceptable.
- A total of 10 parking spaces serving the commercial uses of the development will be provided on the first level of the underground parking facility at a ratio of 2.4 spaces per 100 square metres (1,075 sq.ft.), which is consistent with the typical requirement of 3 spaces / 100 m² gross floor, minus 20%, in City Centre.
- In total, a proposed 622 parking spaces will be provided for the development. Of these, 167 small car spaces are provided, or 27% of the total number of parking spaces provided, which is less than the maximum permitted within the Surrey Zoning By-law.
- A total of 8 accessible parking spaces are provided for persons with disabilities, exceeding the requirements within the Surrey Zoning By-law.
- In addition to the required parking spaces, the applicant is proposing to provide Electric Vehicle charging stations within the site.
- To maximize the amount of parking, the underground parkade will be permitted to be sited 0.0 metre (0.0 ft.) from all lot lines.
- In addition, the development will be providing a total of 688 bicycle parking spaces, exceeding the requirements within the Surrey Zoning By-law.

Road Dedication

- The applicant is required to dedicate approximately 18.6 metres for the construction of Central Avenue (previously 103A/103 Avenue). Central Avenue will ultimately be constructed to a 22-metre (72 ft.) wide road cross-section, and will include a separated bike lane (cycle track).

Public Art Policy

- In accordance with the City's Public Art Policy No. R-21, the applicant was not required to provide a monetary contribution towards public art due to the residential component being intended for rental. A Restrictive Covenant will be required to be placed on the site specifying that, in the event that any or all of the units within the rental building are converted to market units, the applicant will fulfill their requirement to provide a cash-in-lieu contribution as per the public art policy.

PRE-NOTIFICATION

Pre-notification letters were mailed out on April 6, 2017 to a total of 1,026 addresses and the development sign was installed on March 20, 2017. To date, staff have received some correspondence seeking information regarding the project, with no specific comments provided relative to the development. In addition, staff received the following written correspondence:

- One resident of a neighbouring development wrote to voice their concern with respect to the amount of high-rise buildings in the neighbourhood. The resident states that there are too many already, and that there should be more low-rise buildings to improve ventilation and access to sunlight and greenspace.

(The site is within an area designated for high density residential development in the Surrey City Centre Plan. This proposed new development is part of a master planned community developed by WestStone. WestStone will be proposing additional residential towers in subsequent phases of the development.)

DESIGN PROPOSAL AND REVIEW

- The proposal incorporates a single, high-rise tower and mid-rise residential podium comprised of 550 dwelling units, including 11 ground level townhouses, and ground-oriented commercial retail units.
- The 44-storey, 134-metre (440 ft.) tall residential tower is located on the northern portion of the site, with its primary residential entrance oriented towards the internal north-south right-of-way "road" located west of the subject site. This existing north-south link was established as part of the "West Village" Phases 1 and 2, ultimately providing an internal link from 102A Avenue to Central Avenue.
- The tower is complemented by a 13-storey mid-rise podium that extends to the southern portion of the site. The base of this podium is comprised of two-storey townhouse units with individual entries that front and are actively engaged with the internal road to the west, an internal pedestrian walkway to the south, and 133A Street to the east.
- The podium and tower base provide a strong urban edge and street wall wrapping the intersection of 133A Street and Central Avenue.
- The building is comprised of frames of painted white concrete that are separated at floor levels 14, 34 and 44 to signify the amenity functions on these floors.

- The ground level commercial retail units fronting Central Avenue and wrapping onto 133A Street provide a continuation of the small commercial node along Central Avenue. Continuous weather canopies are provided along the extent of the commercial frontage.
- Commercial signage will be proposed and reviewed as part of a separate, subsequent Development Permit application.
- The dwelling units will all incorporate balconies or terraces.

Landscaping

- Landscaping along the ground level will reflect the differentiation between the townhouse units, which are generally on the southern portion of the site, and the commercial units which are generally on the northern portion of the site.
- The townhouse units incorporate raised private entry porches that are landscaped and moderately screened with Japanese Stewartia Trees and shrubs such as Laurel, Japanese Barberry, Lilac and Dwarf Sweet Box.
- The commercial frontage is more open with a greater amount of hardscaping interspersed with in-ground planters comprised of Stewartia and Katsura trees, shrubs such as Laurel and groundcovers.
- In addition, the applicant is providing an accessible and landscaped, east-west pedestrian walkway along the southern portion of the site that is a continuation of an existing pedestrian walkway that connects 133A Street to 133 Street through the “West Village” development. Landscaping along this walkway will consist of White Wonder Dogwood trees along with shrubs and groundcovers, including Laurel, Japanese Barberry and others.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VII for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City’s District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City’s DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

TREES

- Tyler Rodgers, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Douglas Fir	1	1	0
Grand Fir	1	1	0
Total	2	2	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		38	
Total Retained and Replacement Trees		38	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are 2 mature trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree removal was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 4 replacement trees on the site. The applicant is proposing 38 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on Central Avenue and 133A Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Katsura, White Wonder Dogwood, Serbian Spruce and Japanese Stewartia.
- In summary, a total of 38 trees are proposed to be replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 20, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposed development is located within the City Centre area and is consistent with the "High Rise 5.5 FAR" and "Mixed Use 5.5 FAR" designations of the City Centre Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development incorporates a range of residential and commercial uses. • The proposed development incorporates a mix of housing types. • The proposed development includes purpose built rental units. • The project includes opportunities for garden plots.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development will incorporate Low Impact Development Standards (LIDS).
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The development will include pedestrian and cycling oriented infrastructure, such as: <ul style="list-style-type: none"> ○ Connection to off-site pedestrian and multi-use paths; ○ Covered outdoor waiting areas; ○ Pedestrian specific lighting; ○ Direct pedestrian linkages to transit stops; ○ Bike racks and lockers. • The development will also provide Electric Vehicle charging stations
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed development incorporates CPTED principles, including providing "eyes on the street", good sight lines throughout, and lighting throughout the public realm. • On-site rental management and security will be provided. • The project provides for 36 adaptable units. • The project provides for indoor and outdoor spaces for different age groups and life stages.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	• N/A
7. Education & Awareness (G1-G4)	• N/A

ADVISORY DESIGN PANEL

ADP Date: March 23, 2017

The site plan and building design were generally well-received by ADP (see Appendix VII). The applicant's architect and landscape architect have agreed to work with staff to resolve the majority of the design items, which includes some recommended modifications to the character of the tower and some recommended changes to the landscaping, prior to consideration of Final Adoption of the Rezoning By-law and issuance of the Development Permit.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheets and Draft Subdivision Plan
Appendix II.	Proposed Revised Master Plan
Appendix III.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	District Energy Service Area Map
Appendix VIII.	ADP Comments
Appendix IX.	Proposed CD By-law

Original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

CA/dk

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based upon RM-135 and C-5)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		4,072.5 m ²
Road Widening area		575 m ²
Undevelopable area		
Net Total		3,497.5 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	59%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front		4.5
Rear		11.5
Side #1 (West)		4.5
Side #2 (East)		7.0
BUILDING HEIGHT (in metres/storeys)		
Principal	Not applicable	133.6 m / 44 storeys
Accessory		N/A
NUMBER OF RESIDENTIAL UNITS		
Studio		71
One Bed		273
Two Bedroom		195
Townhouse		11
Total		550
FLOOR AREA: Residential		36,716.5 m ²
FLOOR AREA: Commercial		
Retail		427 m ²
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		37,143.5 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		9.12
FAR (net)	10.7	10.62
AMENITY SPACE (area in square metres)		
Indoor	1,650 m ²	1,068.5 m ²
Outdoor	1,650 m ²	952 m ²
PARKING (number of stalls)		
Commercial	10	10
Industrial		
Residential Bachelor + 1 Bedroom	303	304
2-Bed	234	235
Townhouse	18	18
Residential Visitors	55	55
Institutional		
Total Number of Parking Spaces	622	622
Number of accessible stalls		
Number of small cars	217	167
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		

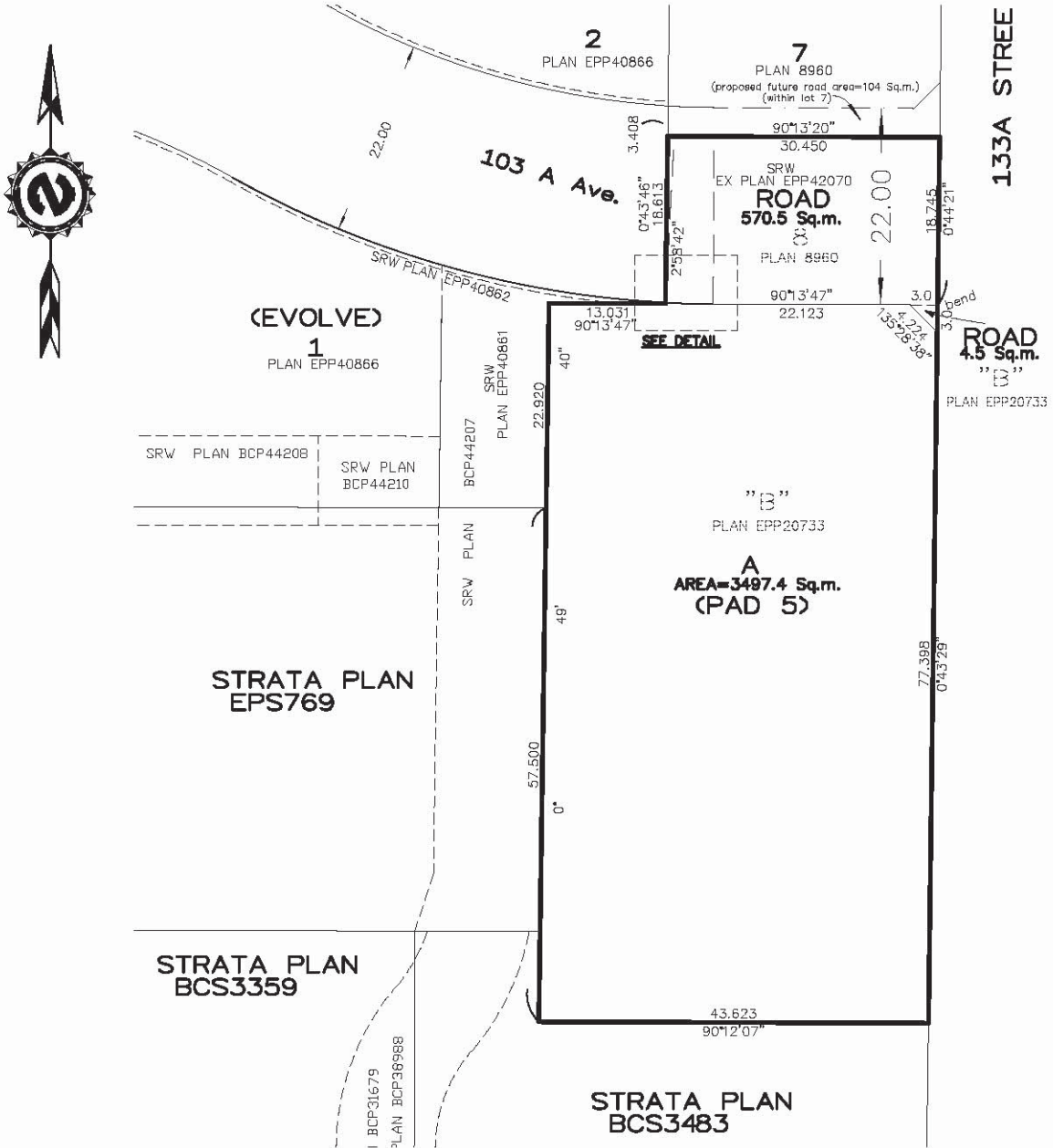
Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**PROPOSED SUBDIVISION OF LOT 8 PLAN 8960
AND LOT B PLAN EPP20733
ALL OF SEC 27 BLK 5 N R 2 W NWD**

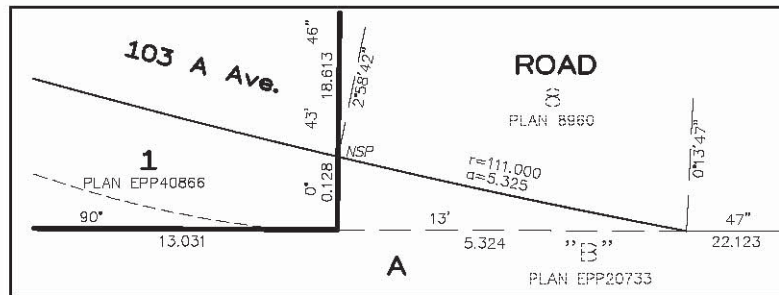
**DRAFT DATE:
APRIL 19, 2017
SCALE 1 : 500**

LEGEND

Sq.m. DENOTES SQUARE METRES
EXISTING PROPERTY LINES DERIVED FROM PLAN EPP40866.
PROPOSED PROPERTY LINES DERIVED FROM CHRIS DIKEAKOS ARCHITECTS INC.

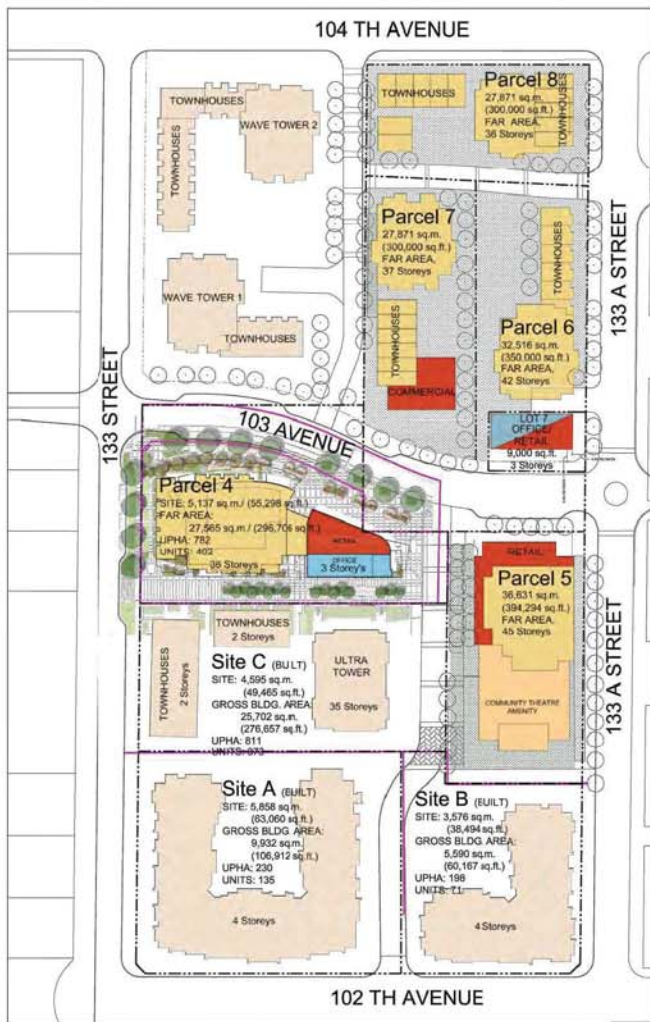


DETAIL:
NOT TO SCALE

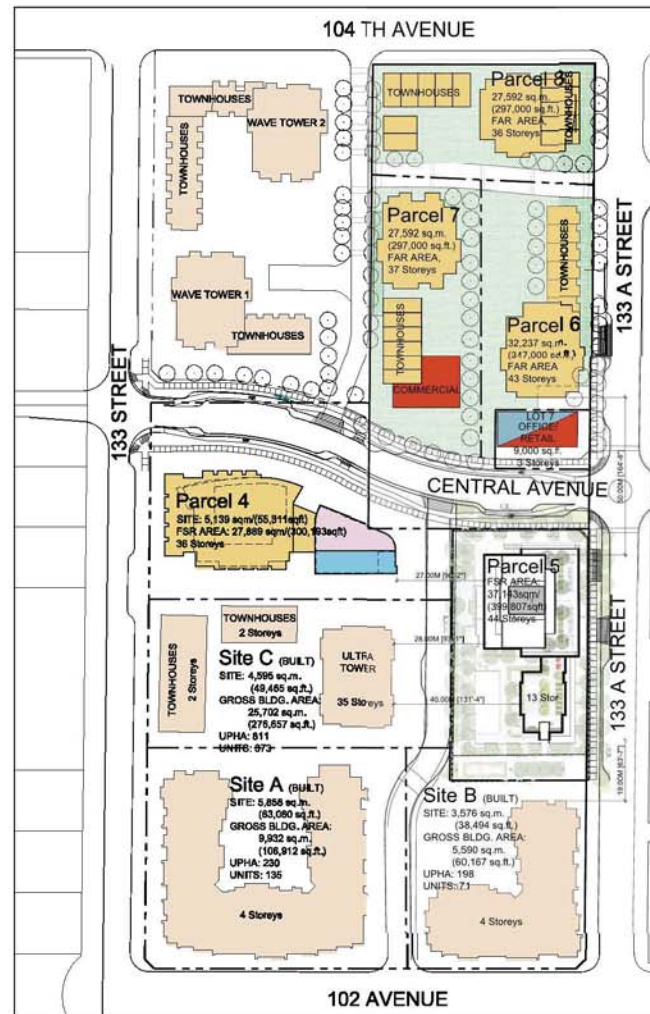


FOR DISCUSSION PURPOSES ONLY.
NOT FOR LEGAL TRANSACTIONS.
PROPOSED LOT LINES SUBJECT
TO REVIEW AND APPROVAL FROM
THE CITY OF SURREY.





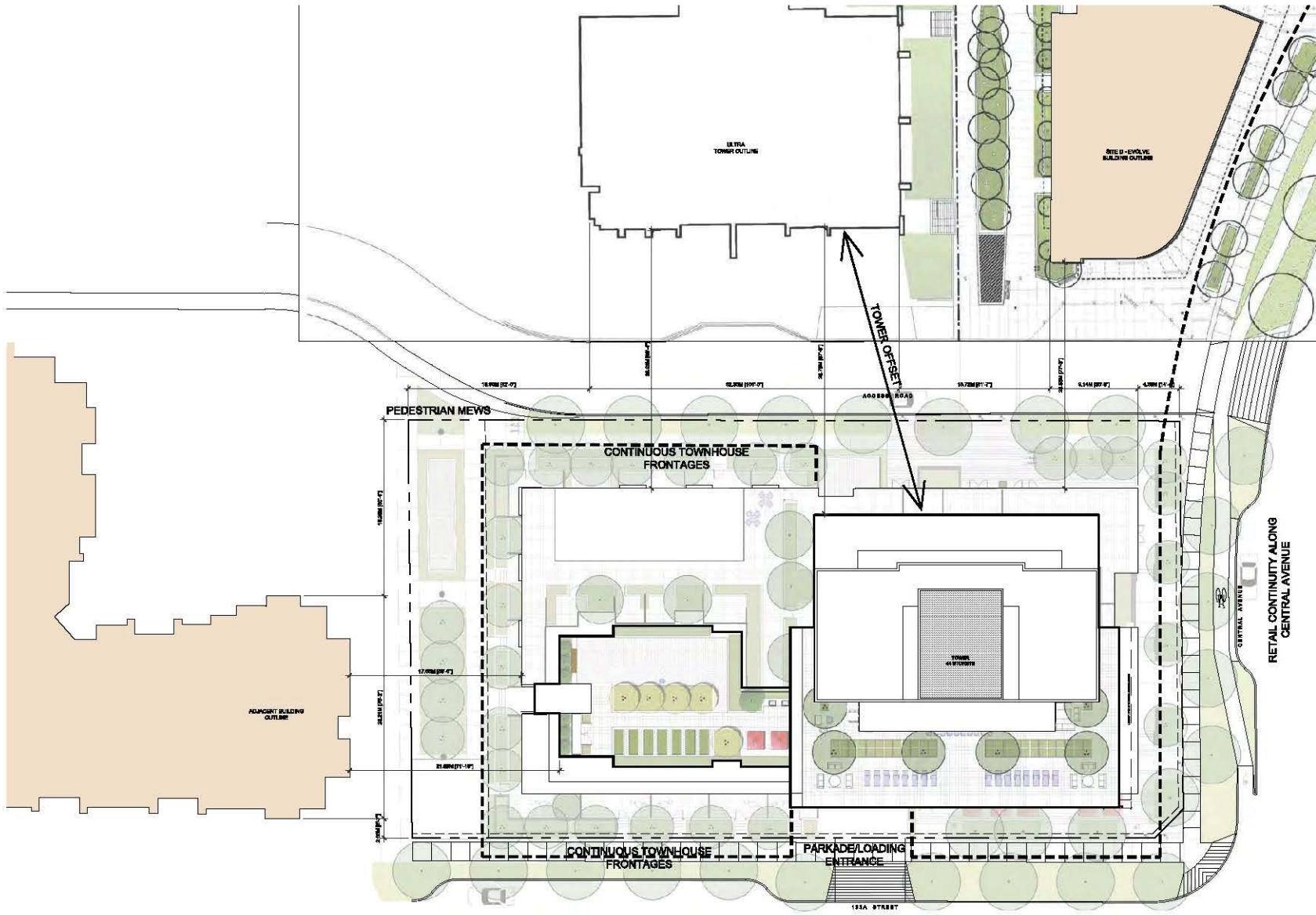
ADOPTED BY COUNCIL MAY 12, 2016

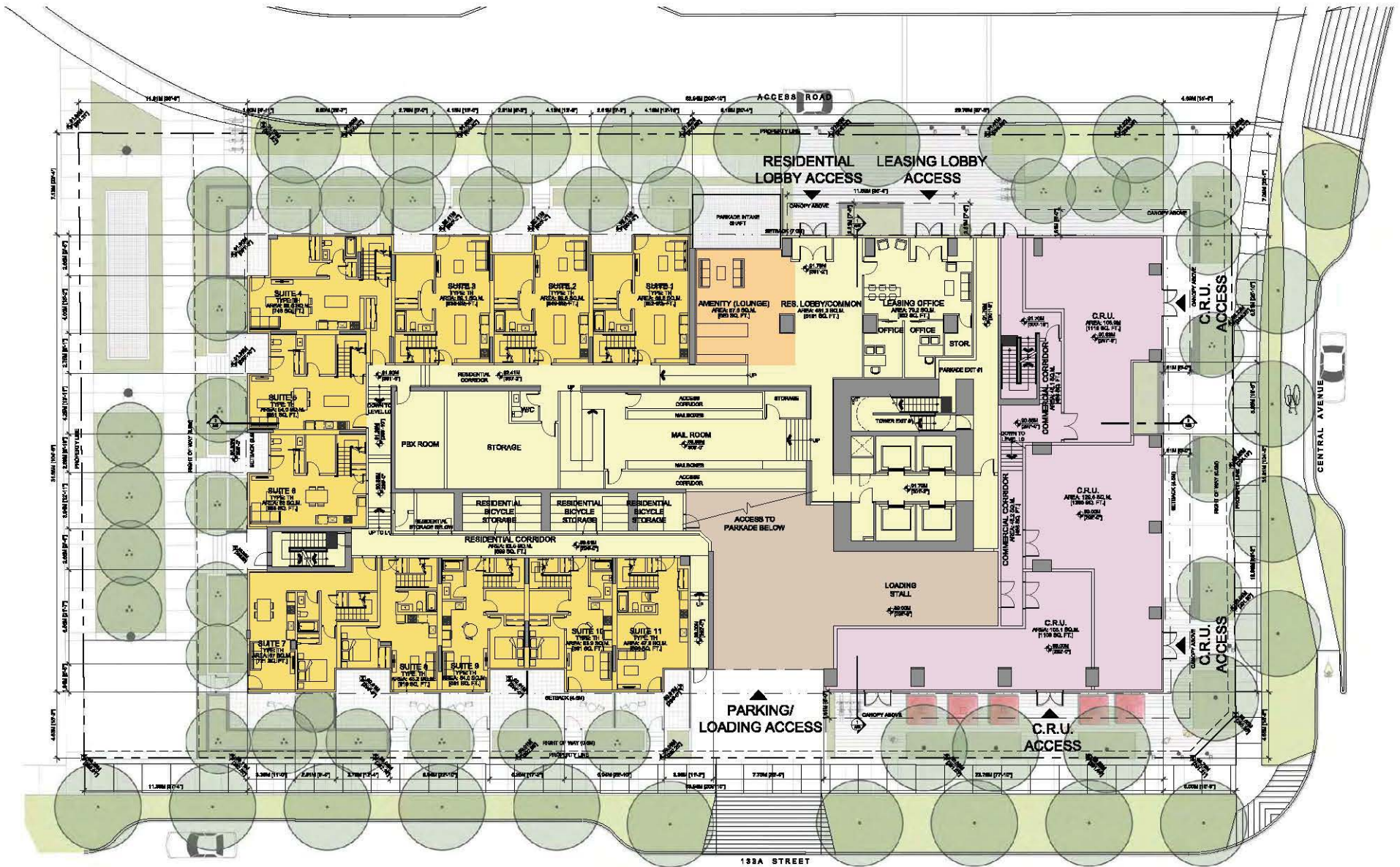


REVISED PLAN









West Village - Site 5
10297 133A Street, Surrey, BC

Plan - Level L0/L1 Combined
Scale: 1:250

Issued With Post-ADP Revisions
April 11, 2017



WESTstone

A103



LEGEND

- RESIDENTIAL
- RES. COMMON
- AMENITY
- RETAIL
- SERVICE/VOID



West Village - Site 5
10297 133A Street, Surrey, BC

Floor Plan - Level L0
Scale: 1:250

Issued With Post-ADP Revisions
April 11, 2017



WESTstone

A204



LEGEND

- RESIDENTIAL
- RES. COMMON
- AMENITY
- RETAIL
- SERVICE/OID



West Village - Site 5
10297 133A Street, Surrey, BC

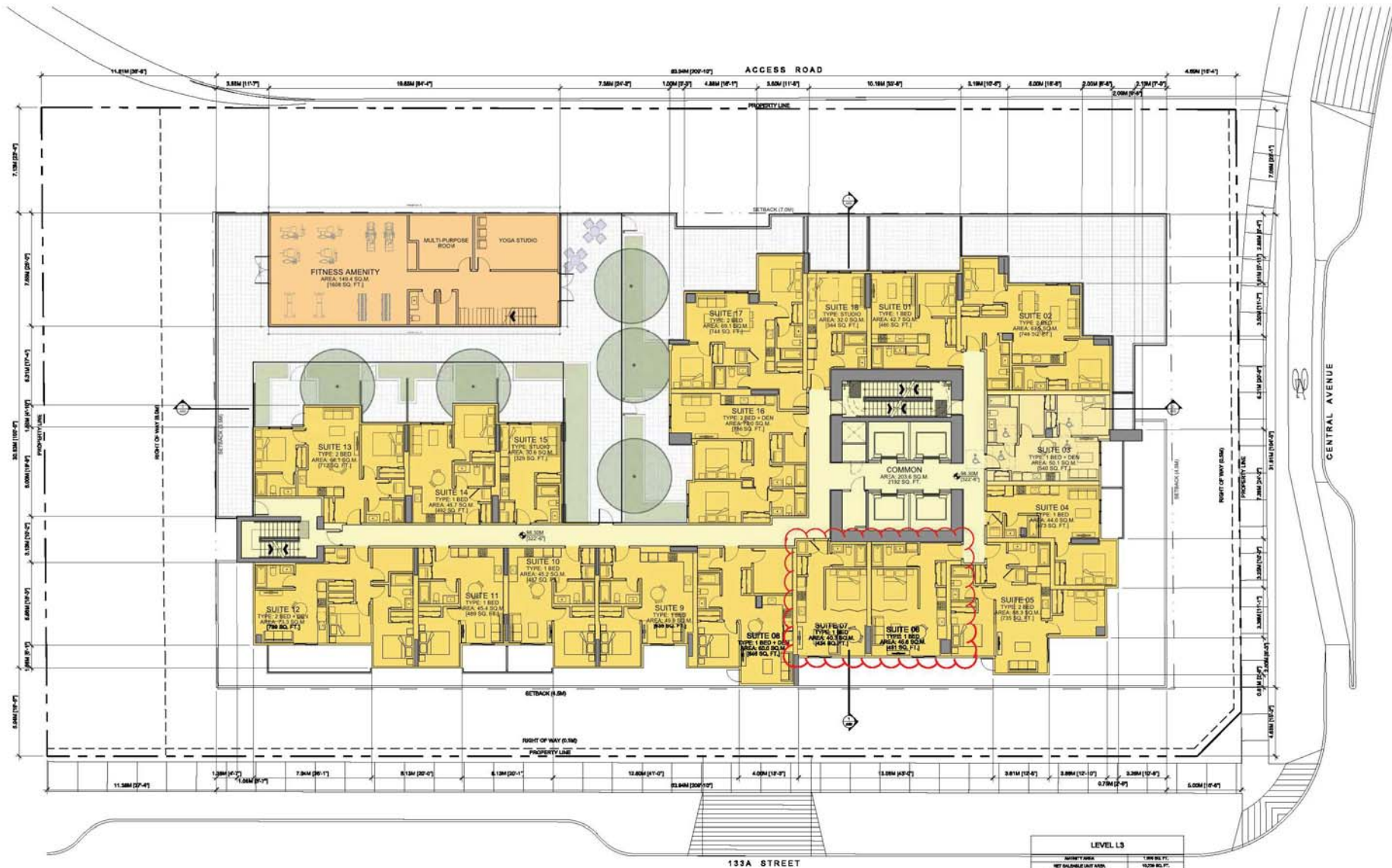
Floor Plan - Level L1
Scale: 1:250

Issued With Post-ADP Revisions
April 11, 2017



WESTstone

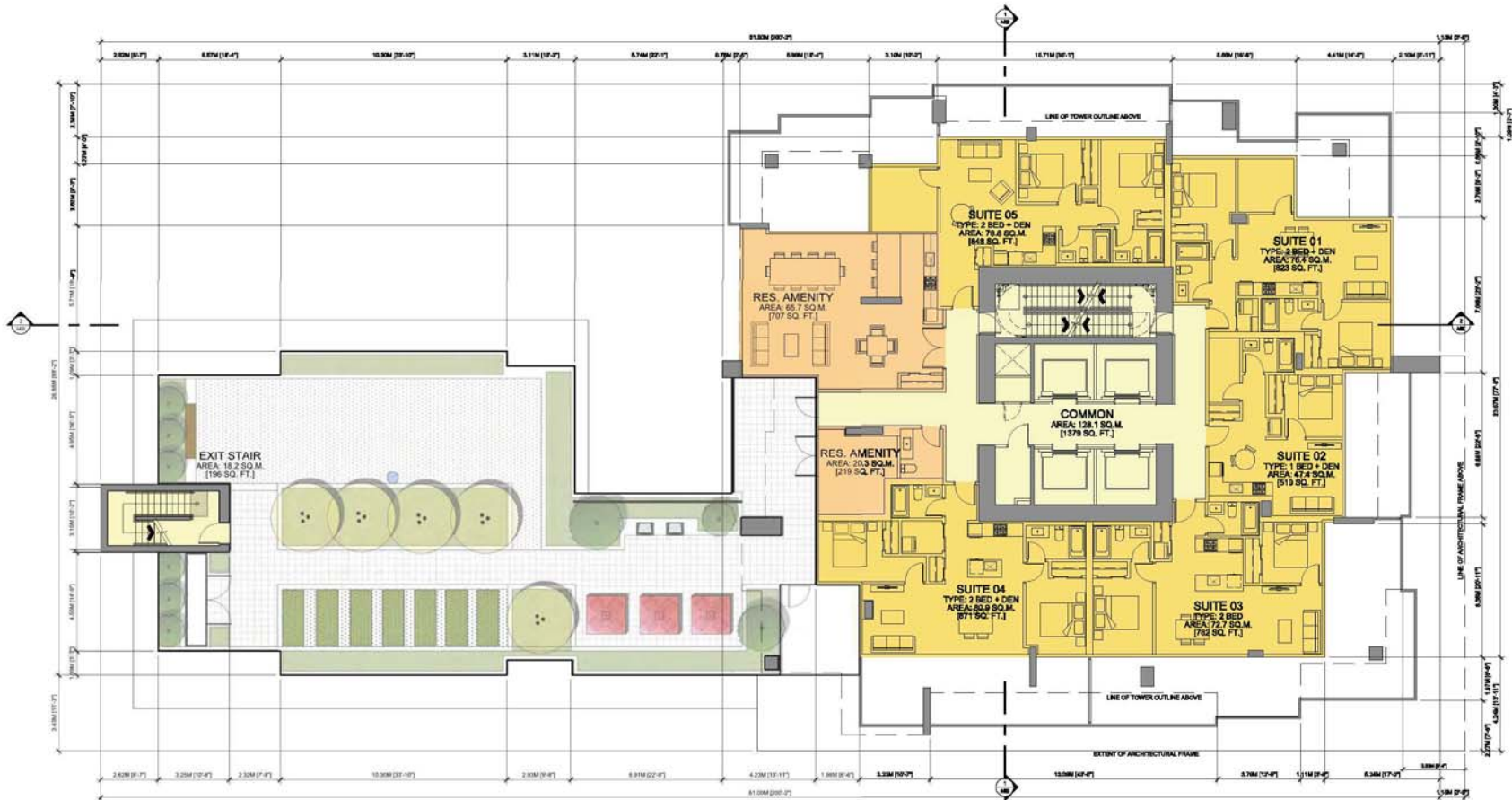
A205



LEGEND

- RESIDENTIAL
- RES. COMMON
- AMENITY
- RETAIL
- SERVICE/VOID

LEVEL L3	
AMENITY AREA	1768 SQ. FT.
NET RESIDENTIAL AREA	3208 SQ. FT.
COMMON AND CIRCULATION AREA	4786 SQ. FT.
UNDEVELOPED AREA	4786 SQ. FT.
RESIDENTIAL STRENGTH	8000



LEVEL L14	
AMENITY AREA	856 SQ. FT.
NET BALANCE LINE AREA	3,336 SQ. FT.
CORE AND CIRCULATION AREA	1,574 SQ. FT.
GROSS FLOOR AREA	4,916 SQ. FT.
RESIDENTIAL EFFICIENCY	76.1%

LEGEND

- RESIDENTIAL
- RES. COMMON
- AMENITY
- RETAIL
- SERVICE/VOID



West Village - Site 5
10297 133A Street, Surrey, BC

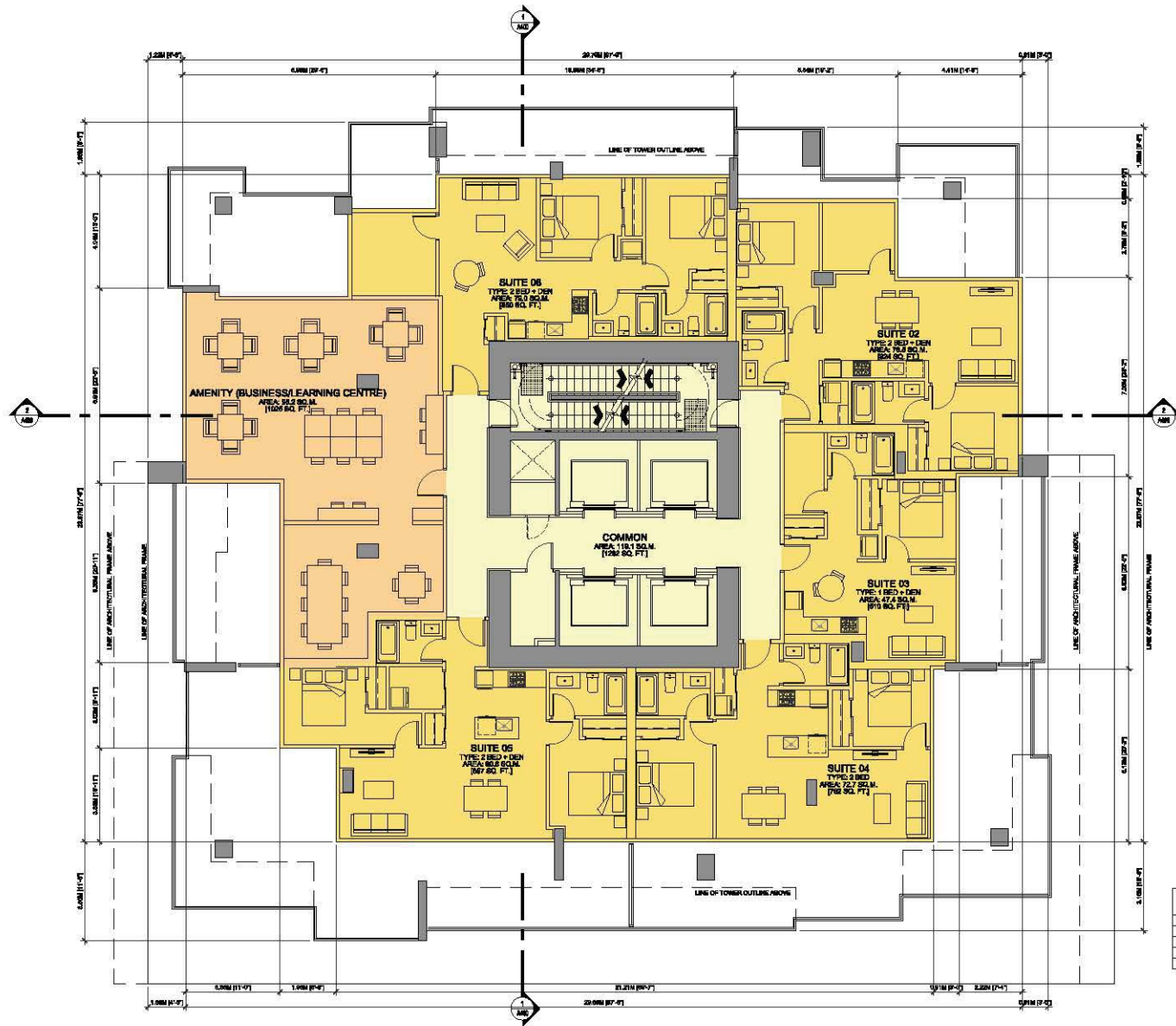
Floor Plan - Level L14
Scale: 1:200

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April 11, 2017



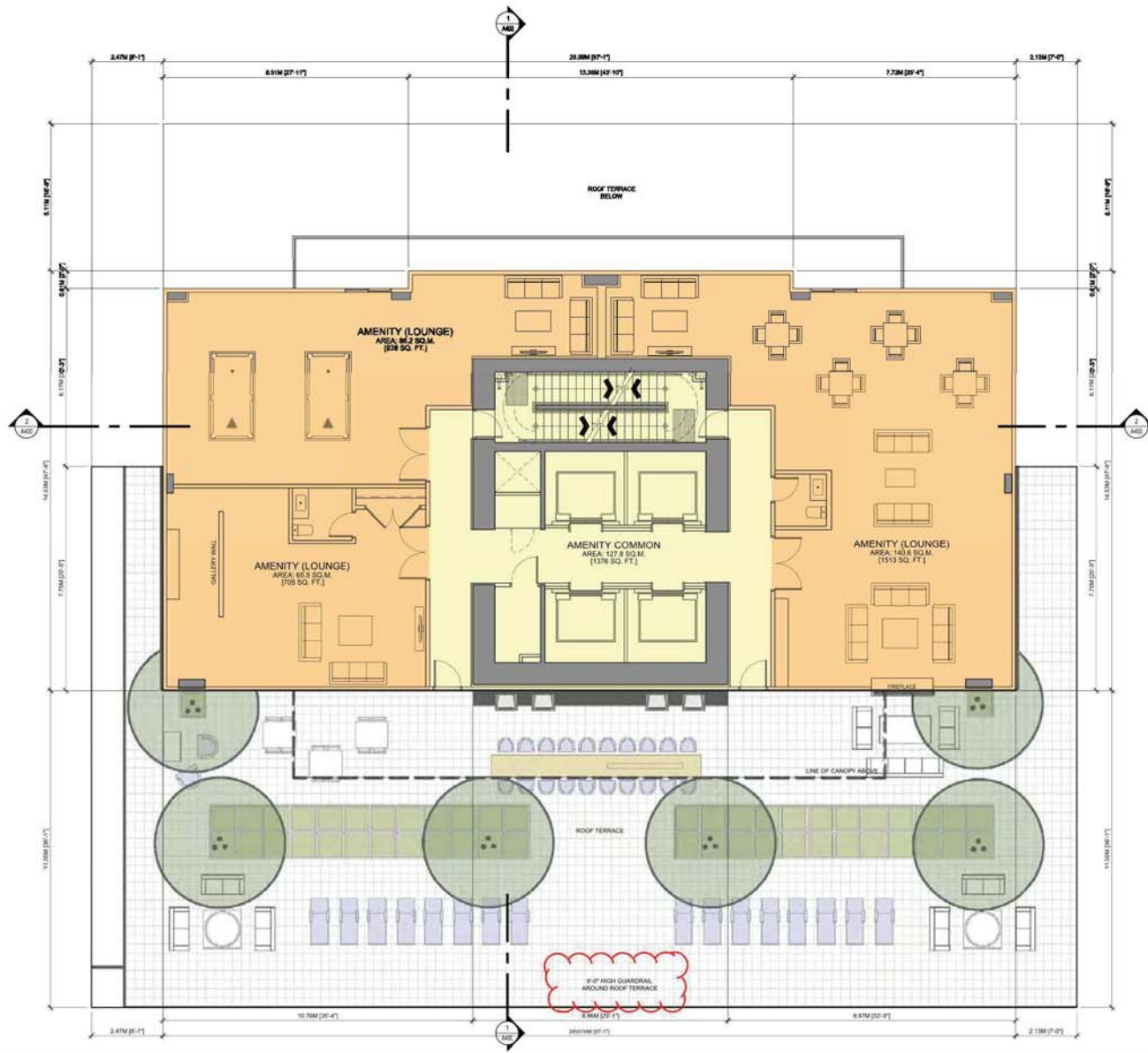
WESTstone

A210



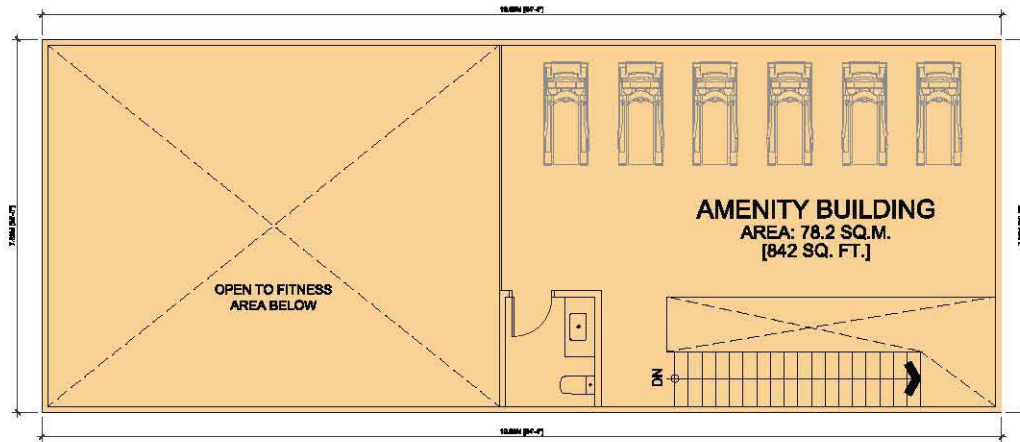
- LEGEND**
- RESIDENTIAL
 - RESIDENTIAL COMMON
 - AMENITY
 - RETAIL
 - SERVICE

LEVEL L34 FLOOR AREAS	
AMENITY AREA	3,260 SQ. FT.
NET RESIDENTIAL UNIT AREA	5,480 SQ. FT.
COVER AND CIRCULATION AREA	1,280 SQ. FT.
GRAND FLOOR AREA	10,020 SQ. FT.
RESIDENTIAL EFFICIENCY	78.1%

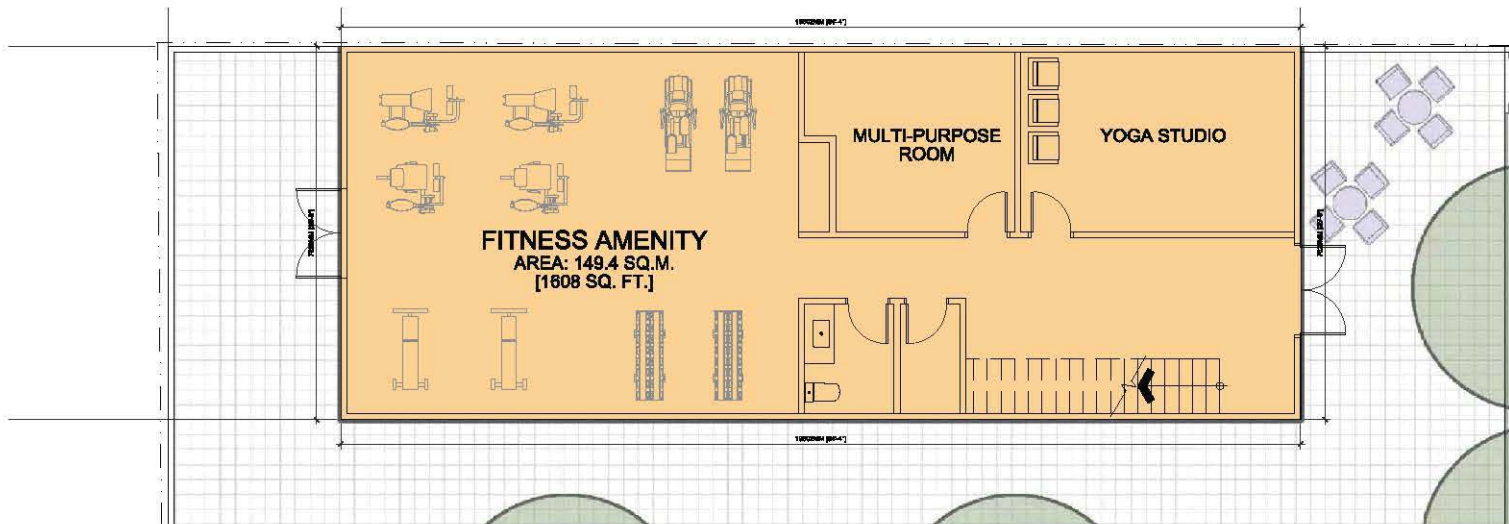


- LEGEND**
- RESIDENTIAL
 - RESIDENTIAL COMMON
 - AMENITY
 - RETAIL
 - SERVICE

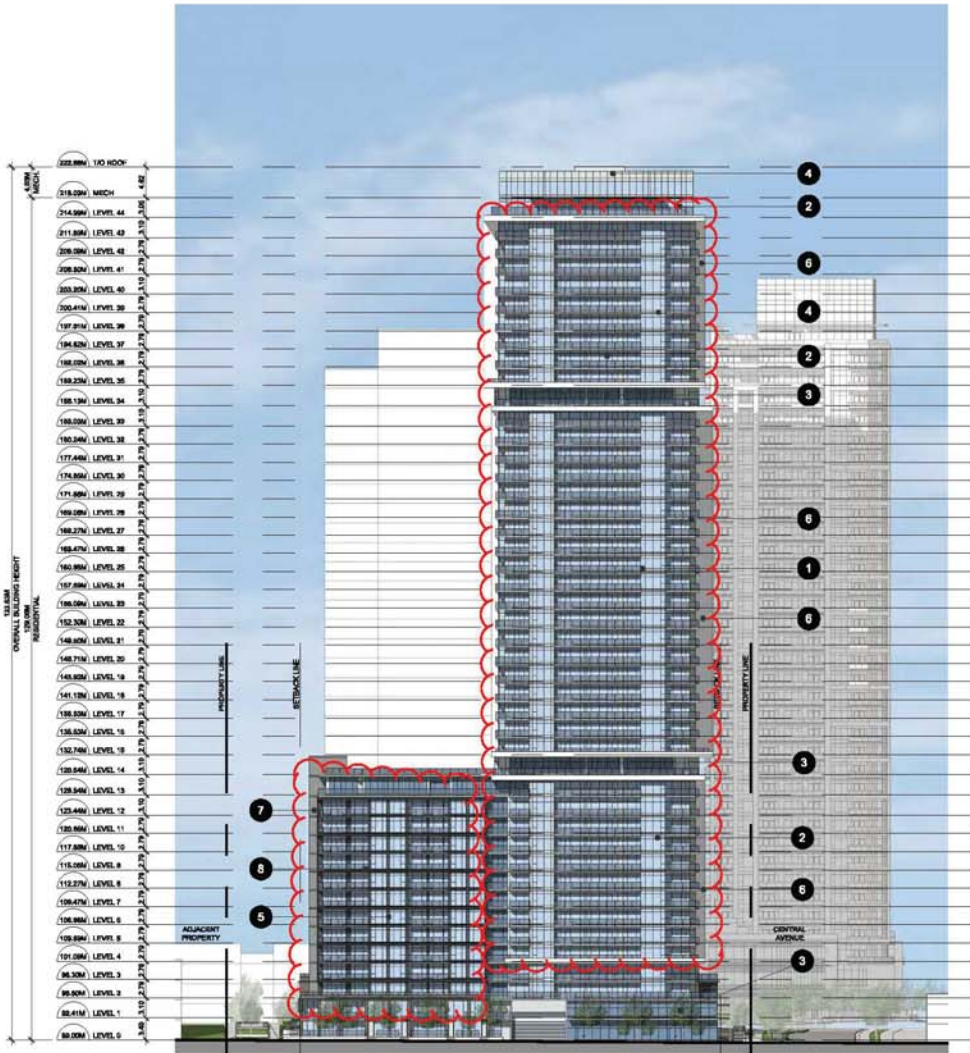
LEVEL L44 AMENITY	
AMENITY AREA	3,168 SQ. FT.
AMENITY CIRCULATION AREA	1,376 SQ. FT.
GROSS FLOOR AREA	4,544 SQ. FT.
EFFICIENCY	89.8%



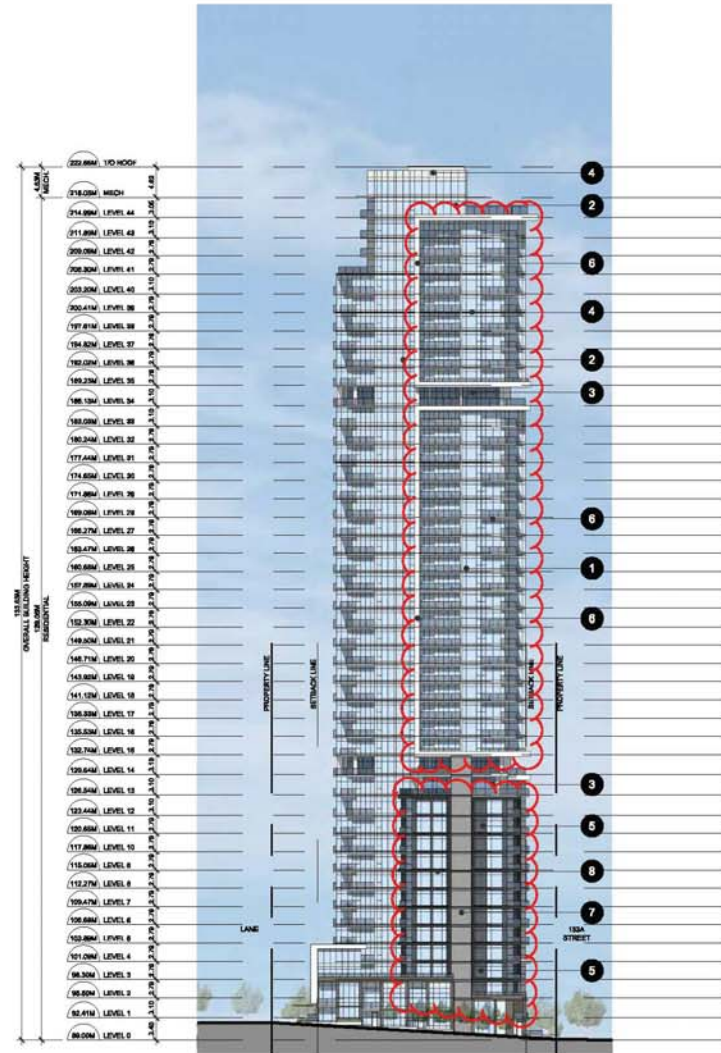
2 Floor Plan - Level L4



1 Floor Plan - Level L3



1 East Elevation



2 South Elevation

MATERIAL LEGEND

- 1 WINDOW FRAME, GUARDRAIL, & CANOPY SUPPORTS:
ALUMINUM INTERIOR COATING STANDARD SILVER
- 2 VISION GLASS:
SOLARAN 60 ANGLELED #2
- 3 ACCENT VISION GLASS:
SOLARAN 206 THERMO #2
- 4 SPANOREL GLASS:
#5 17H HEATHER GREY
- 5 SPANOREL GLASS:
#5 383 ANDOR GRAY
- 6 ARCHITECTURAL FINISH CONCRETE:
BEAUMAIN MOORE 212-40 WHITE DARK GRAY
- 7 ARCHITECTURAL FINISH CONCRETE:
BEAUMAIN MOORE 212-146 PINEBIRCH
- 8 ARCHITECTURAL FINISH CONCRETE:
BEAUMAIN MOORE 204-26 TROUT GRAY
- 9 STONE:
MADONNY - TAN COLOUR SANDRIFT
- 10 METAL PANEL:
INCLINE METAL PANEL 21 / GLOW 28

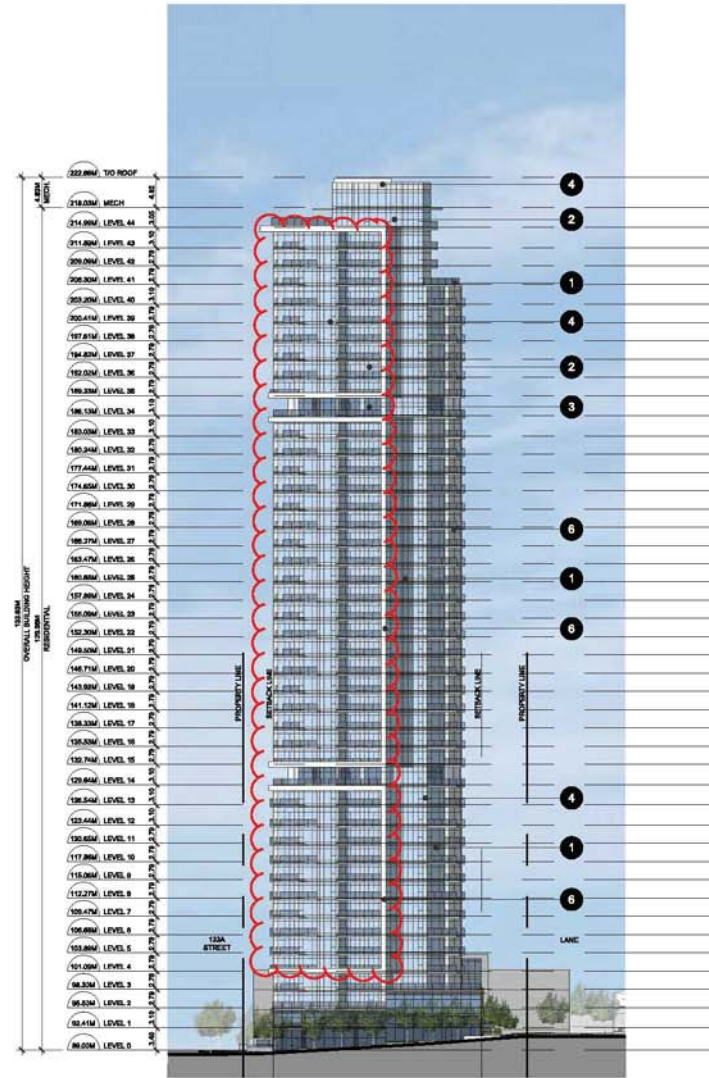
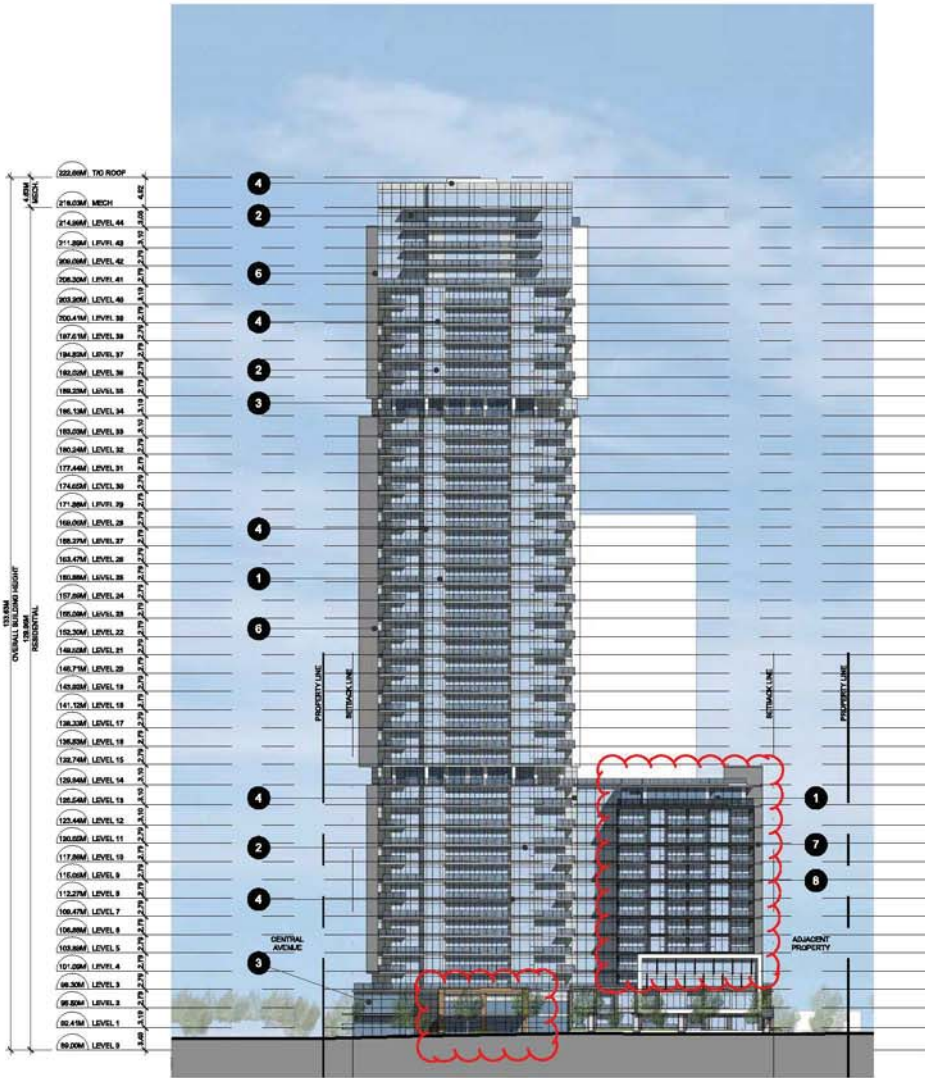


West Village - Site 5
10297 133A Street, Surrey, BC

Elevations - East & South
Scale: 1:750

Issued With Post-ADP Revisions
April 11, 2017

WESTstone | **A300**



MATERIAL LEGEND

- 1 WINDOW FRAME, GUARDRAIL, & CANOPY SUPPORTS:
60438AN 30 ANCHORED 20
- 2 VISION GLASS:
60438AN 20 ANCHORED 20
- 3 ACCENT VISION GLASS:
60438AN 20 ANCHORED 20
- 4 SPANDREL GLASS:
60438AN 20 ANCHORED 20
- 5 SPANDREL GLASS:
60438AN 20 ANCHORED 20
- 6 ARCHITECTURAL FINISH CONCRETE:
60438AN 20 ANCHORED 20
- 7 ARCHITECTURAL FINISH CONCRETE:
60438AN 20 ANCHORED 20
- 8 ARCHITECTURAL FINISH CONCRETE:
60438AN 20 ANCHORED 20
- 9 STONE:
60438AN 20 ANCHORED 20
- 10 METAL PANEL:
60438AN 20 ANCHORED 20



1 East Elevation

MATERIAL LEGEND

- 1 WINDOW FRAME, GUARDRAIL & CANOPY SUPPORTS: ANODIZED ALUMINUM (COLOR: BRANDED SILVER)
- 2 VISION GLASS: SOLARLOW 60 ANGLAZED 60
- 3 ACCENT VISION GLASS: SOLARLOW 300 TRIPROVID 60
- 4 SPANDREL GLASS: 10-11M FLUORIDE GREY
- 5 SPANDREL GLASS: 10-12M ANODIZED GREY
- 6 ARCHITECTURAL FINISH CONCRETE: BRUSHED CONCRETE 200-40 WITH BRANDING
- 7 ARCHITECTURAL FINISH CONCRETE: BRUSHED CONCRETE 210-40 FINISH
- 8 ARCHITECTURAL FINISH CONCRETE: BRUSHED CONCRETE 210-40 TROTT GREY
- 9 STONE: MARBRY - TAN COLOUR SANDRIT
- 10 METAL PANEL: INOX MET BRASS PINK 1.5 FLORIN 08



2 South Elevation



1 West Elevation

MATERIAL LEGEND

- 1 WINDOW FRAME, GUARDRAIL, & CANOPY SUPPORTS: POLYMER BRUSHED STAINLESS STEEL
- 2 VISION GLASS: POLYMER BRUSHED
- 3 ACCENT VISION GLASS: POLYMER BRUSHED
- 4 SPANDREL GLASS: POLYMER BRUSHED
- 5 SPANDREL GLASS: POLYMER BRUSHED
- 6 ARCHITECTURAL FINISH CONCRETE: POLYMER BRUSHED
- 7 ARCHITECTURAL FINISH CONCRETE: POLYMER BRUSHED
- 8 ARCHITECTURAL FINISH CONCRETE: POLYMER BRUSHED
- 9 STONE: POLYMER BRUSHED
- 10 METAL PANEL: POLYMER BRUSHED



2 North Elevation



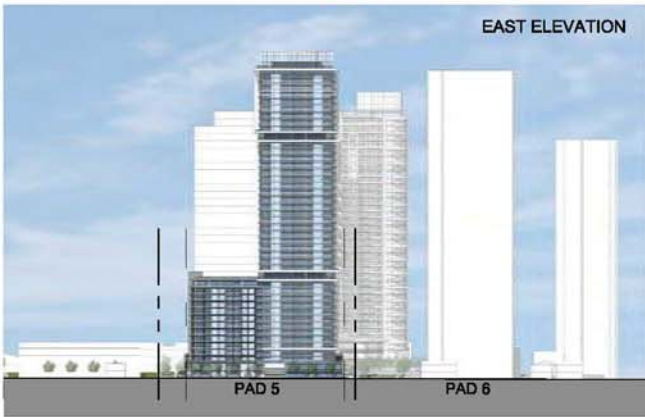
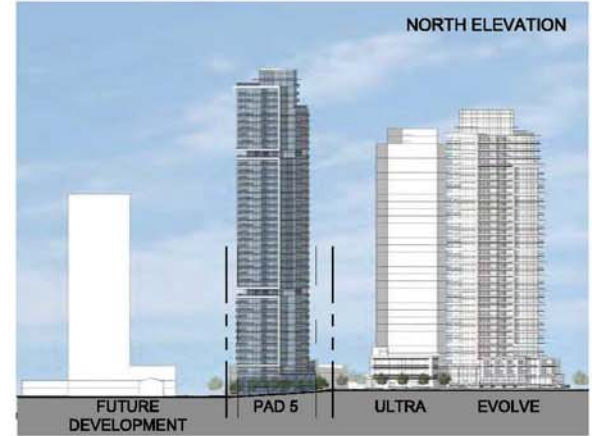
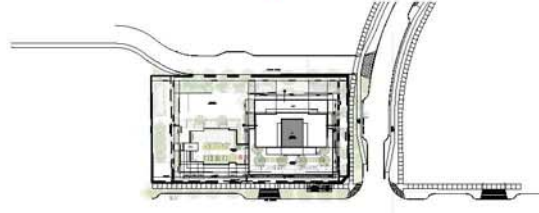
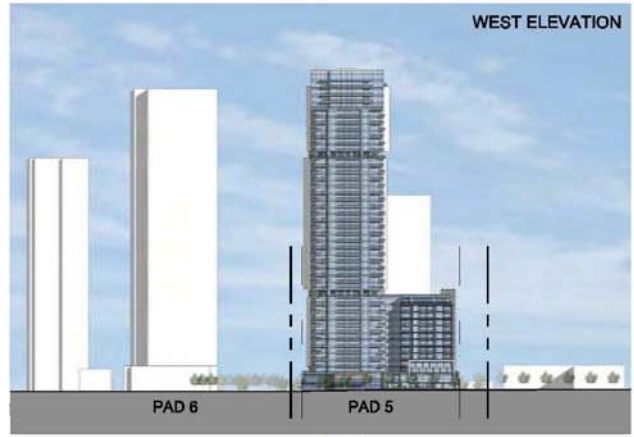
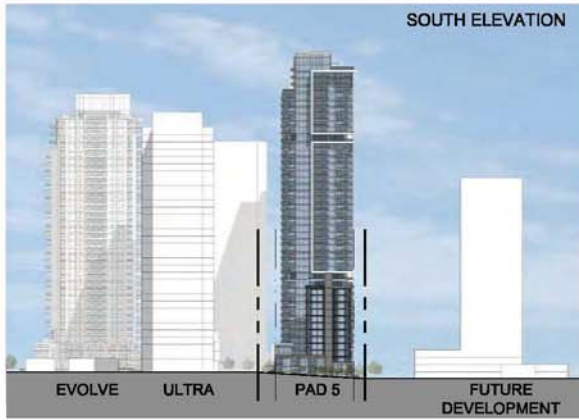
West Village - Site 5
10297 133A Street, Surrey, BC

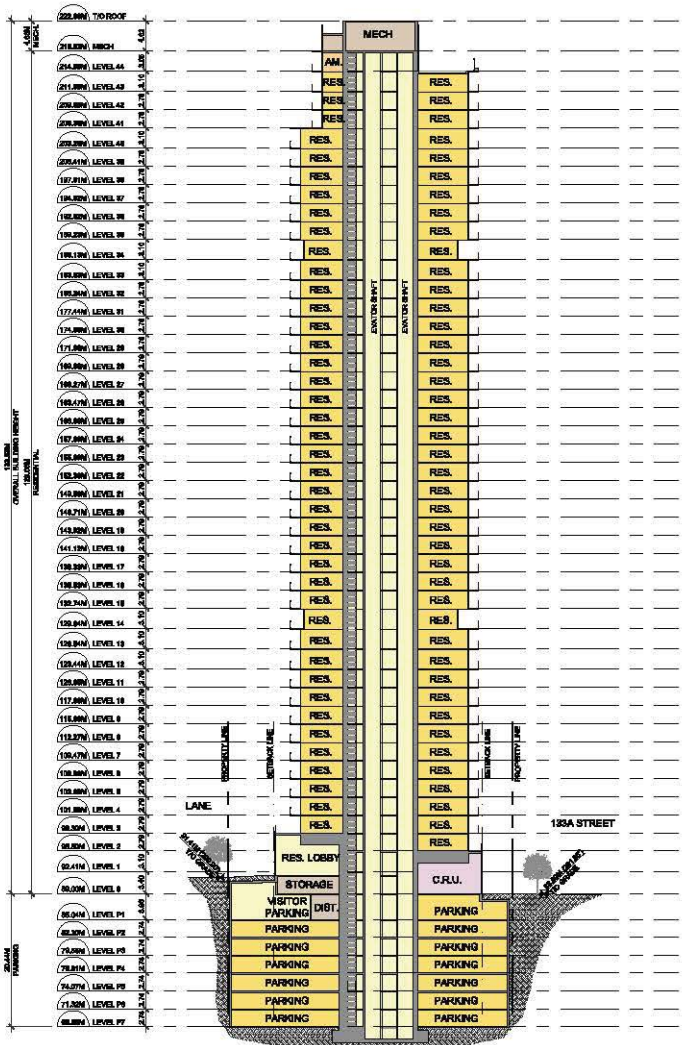
Elevations - West & North (Enlarged)
Scale: 1:750

Issued With Post-ADP Revisions
April 11, 2017

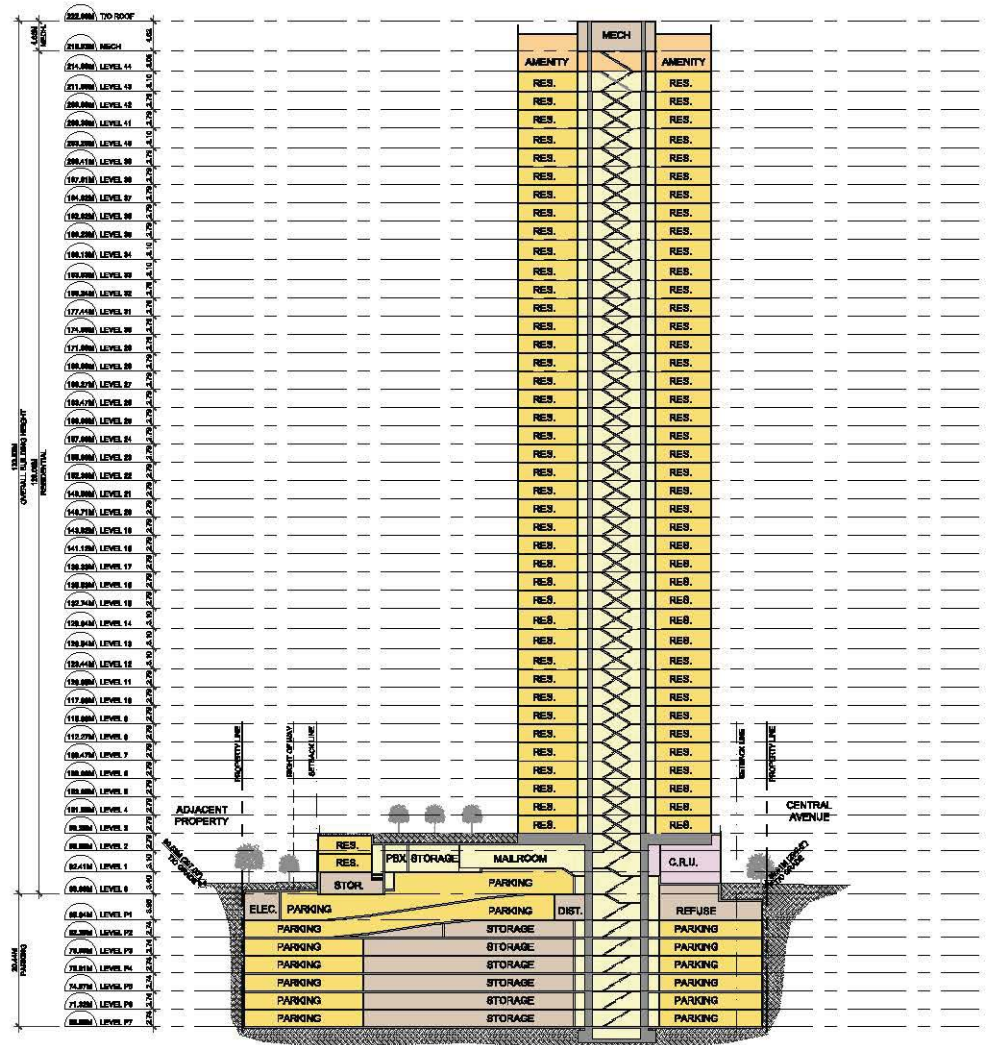
WESTstone

A303

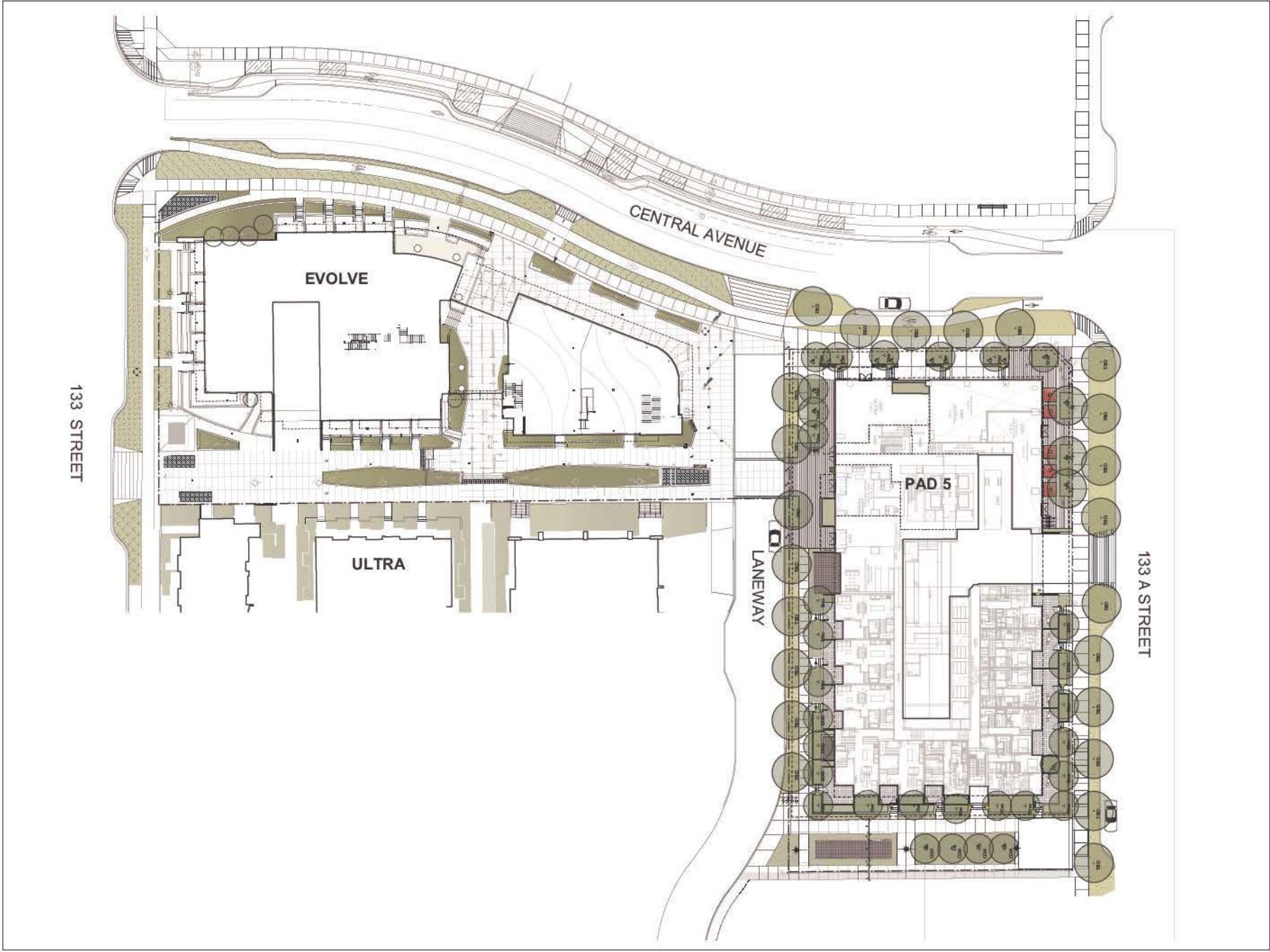




1 Building Section 01



2 Building Section 02




3	Response to AJDP Comments	04/07/2017
2	Re-issued for DP	03/14/2017
1	Issued for DP	12/19/2016
	Revision No.	Date

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Client: **WESTSTONE PROPERTIES LTD.**

Project Title: **WEST VILLAGE BLOCK 5**

Drawing Title: **Site Context Plans**

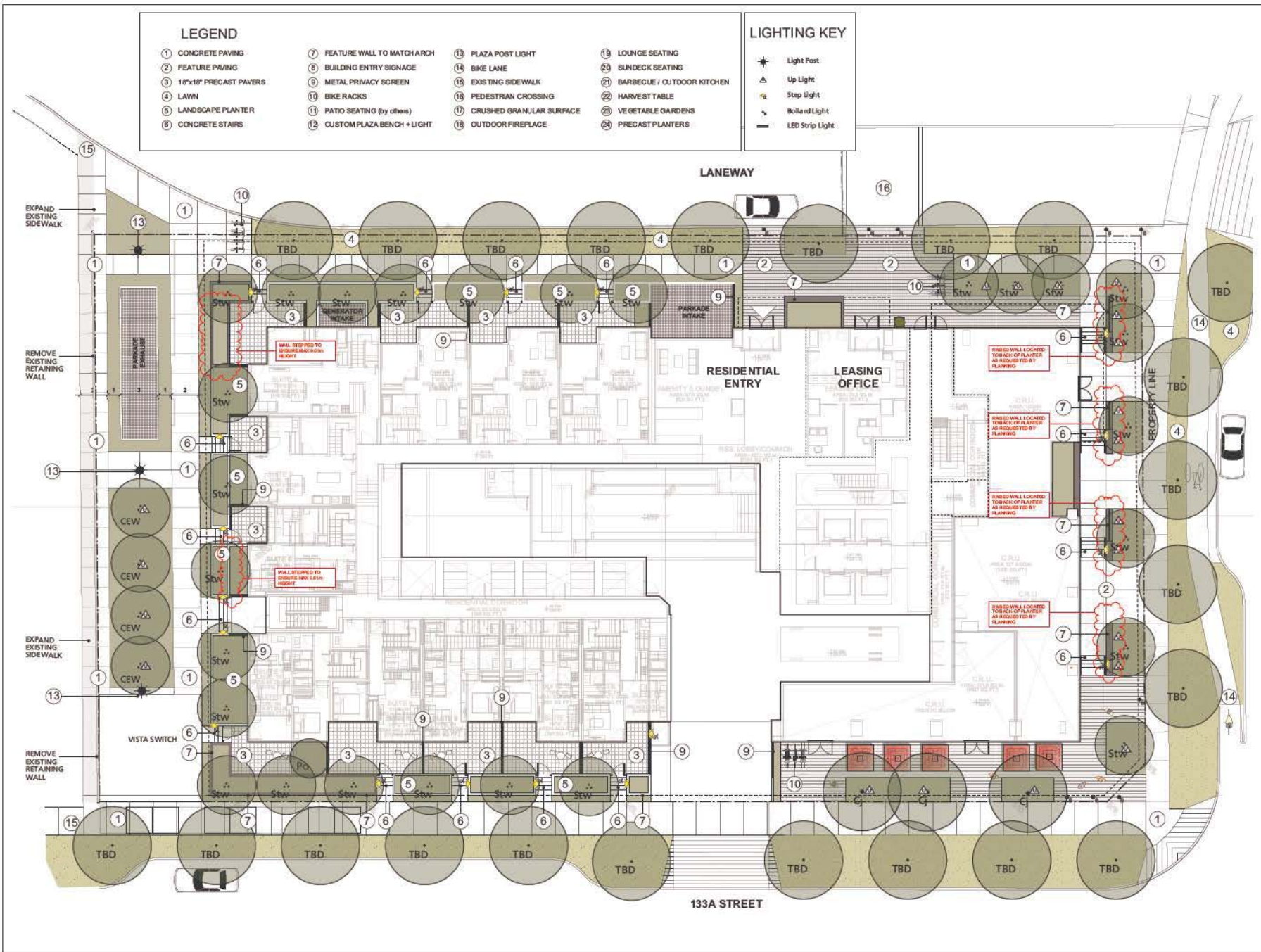
Project North:  Drawn By: **MW**
 Checked By: **JM**
 Scale: 1:250 Job No.: 16-046
 Sheet No.:

LEGEND

- | | | | |
|--------------------------|------------------------------|----------------------------|------------------------------|
| ① CONCRETE PAVING | ⑦ FEATURE WALL TO MATCH ARCH | ⑬ PLAZA POST LIGHT | ⑲ LOUNGE SEATING |
| ② FEATURE PAVING | ⑧ BUILDING ENTRY SIGNAGE | ⑭ BIKE LANE | ⑳ SUNDECK SEATING |
| ③ 18"x18" PRECAST PAVERS | ⑨ METAL PRIVACY SCREEN | ⑮ EXISTING SIDEWALK | ㉑ BARBECUE / OUTDOOR KITCHEN |
| ④ LAWN | ⑩ BIKE RACKS | ⑯ PEDESTRIAN CROSSING | ㉒ HARVEST TABLE |
| ⑤ LANDSCAPE PLANTER | ⑪ PATIO SEATING (by others) | ⑰ CRUSHED GRANULAR SURFACE | ㉓ VEGETABLE GARDENS |
| ⑥ CONCRETE STAIRS | ⑫ CUSTOM PLAZA BENCH + LIGHT | ⑱ OUTDOOR FIREPLACE | ㉔ PRECAST PLANTERS |

LIGHTING KEY

- ☼ Light Post
- ▲ Up Light
- ⬇ Step Light
- Bollard Light
- LED Strip Light



3 Response to AUDP 04/07/2017
 Comments 03/14/2017
 2 Re-issued for DP
 1 Issued for DP 12/16/2016
 Review No. Date

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Client: **WESTSTONE PROPERTIES LTD.**

Project Title: **WEST VILLAGE BLOCK 5**

Drawing Title: **Landscape Plan**

Project North: Drawn By: _____
 Checked By: _____
 Scale: 1:125 Job No.: 16-046
 Sheet No.: _____



LEGEND			
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② FEATURE PAVING	⑧ BUILDING ENTRY SIGNAGE	⑭ BIKE LANE	⑳ SUNDECK SEATING
③ 15"x18" PRECAST PAVERS	⑨ METAL PRIVACY SCREEN	⑮ EXISTING SIDEWALK	㉑ BARBECUE / OUTDOOR KITCHEN
④ LAWN	⑩ BIKE RACKS	⑯ PEDESTRIAN CROSSING	㉒ HARVEST TABLE
⑤ LANDSCAPE PLANTER	⑪ PATIO SEATING (by others)	⑰ CRUSHED GRANULAR SURFACE	㉓ VEGETABLE GARDENS
⑥ CONCRETE STAIRS	⑫ CUSTOM PLAZA BENCH + LIGHT	⑱ OUTDOOR FIREPLACE	㉔ PRECAST PLANTERS

LIGHTING KEY	
✦	Light Post
△	Up Light
⊥	Step Light
⋈	Bollard Light
—	LED Strip Light

2 Re-issued for DP 03/14/2017
 1 Issued for DP 12/19/2016
 Revision No. Date

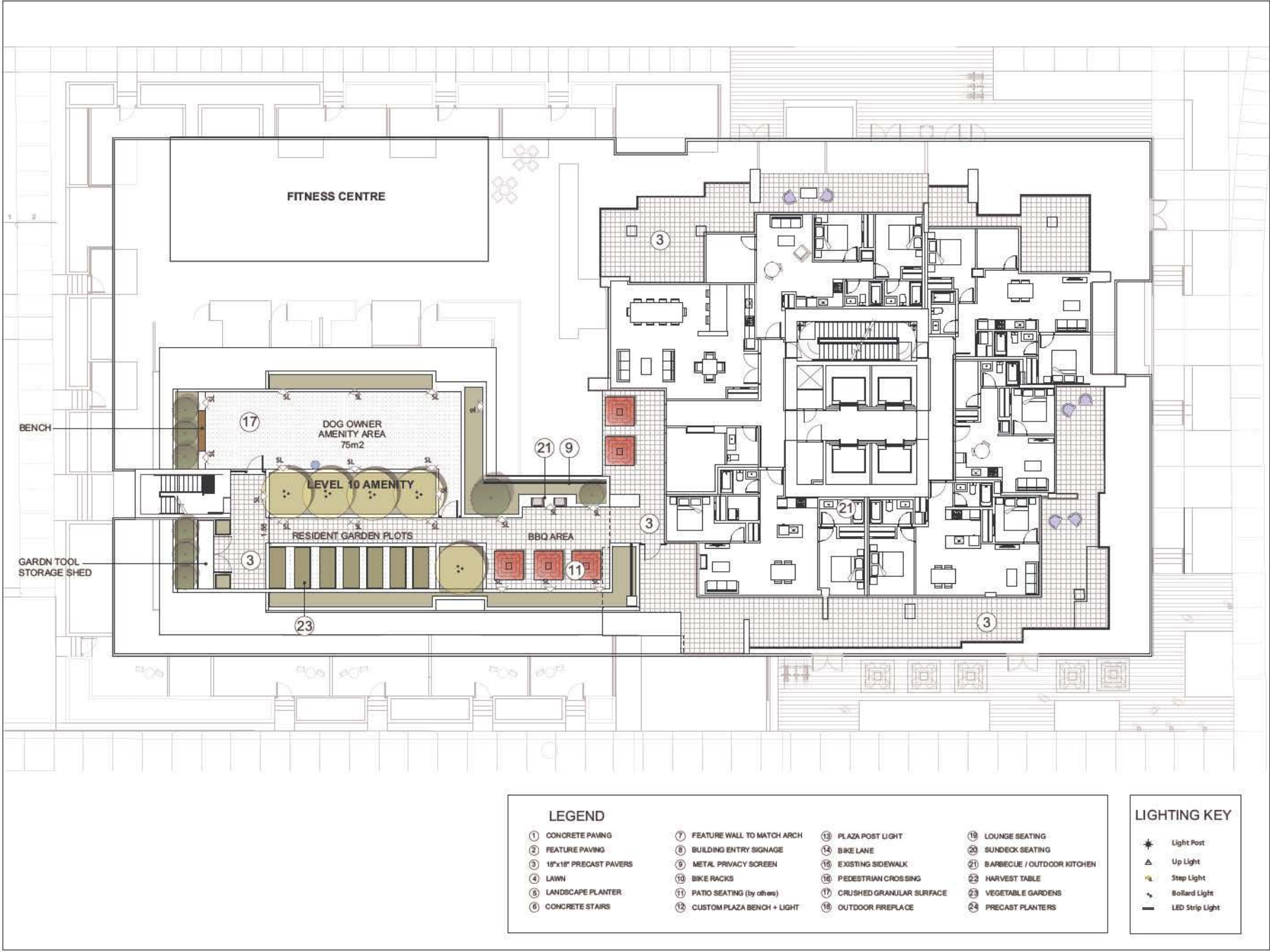
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WESTSTONE PROPERTIES LTD.

Project Title: **WEST VILLAGE BLOCK 5**

Drawing Title: **Level Three Landscape Plan**

Project No: _____ Drawn By: **MW**
 Checked By: **JM**
 Scale: 1:100 Job No: _____
 Sheet No: 16-045



LEGEND			
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② FEATURE PAVING	⑧ BUILDING ENTRY SIGNAGE	⑭ BIKE LANE	⑳ SUNDECK SEATING
③ 18"x18" PRECAST PAVERS	⑨ METAL PRIVACY SCREEN	⑮ EXISTING SIDEWALK	㉑ BARBECUE / OUTDOOR KITCHEN
④ LAWN	⑩ BIKE RACKS	⑯ PEDESTRIAN CROSSING	㉒ HARVEST TABLE
⑤ LANDSCAPE PLANTER	⑪ PATIO SEATING (by others)	⑰ CRUSHED GRANULAR SURFACE	㉓ VEGETABLE GARDENS
⑥ CONCRETE STAIRS	⑫ CUSTOM PLAZA BENCH + LIGHT	⑲ OUTDOOR FIREPLACE	㉔ PRECAST PLANTERS

LIGHTING KEY	
✦	Light Post
△	Up Light
⊥	Step Light
⋈	Bollard Light
—	LED Strip Light


2 Re-issued for DP 03/14/2017
 1 Issued for DP 12/19/2016
 Revision No. Date

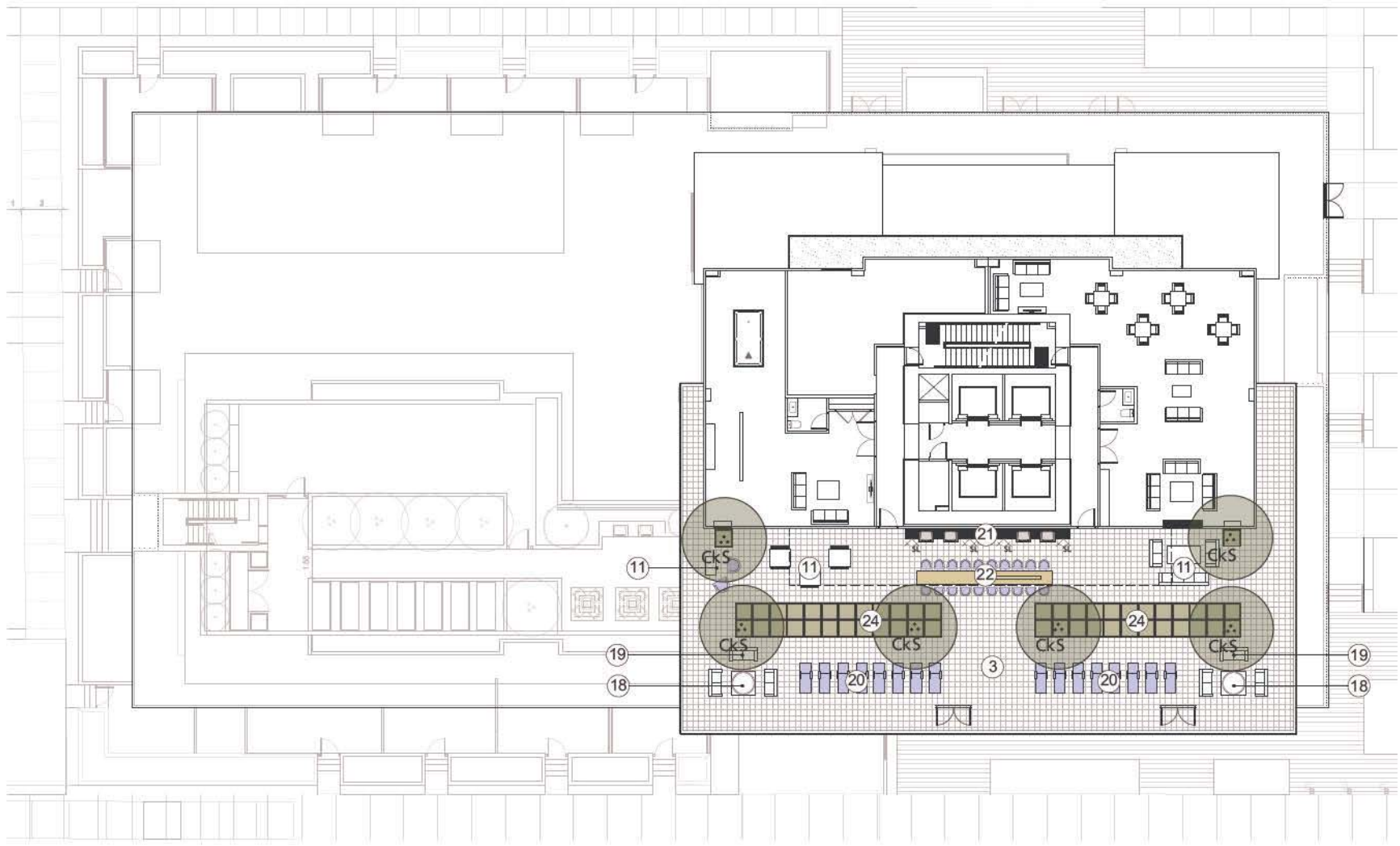
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WESTSTONE PROPERTIES LTD.

Project Name: **WEST VILLAGE BLOCK 5**

Drawing Title: **Level 14 Landscape Plan**

Project No:  Drawn By: MW
 Checked By: JM
 Scale: 1:100 Job No: 16-045
 Sheet No:



2 Re-issued for DP 03/14/2017
 1 Issued for DP 12/19/2016
 Revision No. Date

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WESTSTONE PROPERTIES LTD.

Project Name: **WEST VILLAGE BLOCK 5**

Drawing Title: **Rooftop Amenity Landscape Plan**

Project No: _____ Drawn By: **MW**
 Checked By: **JM**
 Scale: 1:100 Job No: _____
 Sheet No: 16-045

LEGEND				LIGHTING KEY	
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② FEATURE PAVING	⑧ BUILDING ENTRY SIGNAGE	⑭ BIKE LANE	⑳ SUNDECK SEATING	▲	Up Light
③ 18"x18" PRECAST PAVERS	⑨ METAL PRIVACY SCREEN	⑮ EXISTING SIDEWALK	㉑ BARBECUE / OUTDOOR KITCHEN	▬	Step Light
④ LAWN	⑩ BIKE RACKS	⑯ PEDESTRIAN CROSSING	㉒ HARVEST TABLE	⊕	Bollard Light
⑤ LANDSCAPE PLANTER	⑪ PATIO SEATING (by others)	⑰ CRUSHED GRANULAR SURFACE	㉓ VEGETABLE GARDENS	—	LED Strip Light
⑥ CONCRETE STAIRS	⑫ CUSTOM PLAZA BENCH + LIGHT	⑲ OUTDOOR FIREPLACE	㉔ PRECAST PLANTERS		

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 18, 2017** PROJECT FILE: **7817-0011-00**

RE: **Engineering Requirements
Location: 10297 & 10327 133A Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 18.613m for 103 Avenue (Central Ave) for a total of 22.000m;
- Dedicate 3.0m x 3.0m corner cut at the intersection of 133A St and 103 Ave (Central Ave);
and
- Provide 0.5m wide SROW along 103 Avenue (Central Ave) and along 133A St.

Works and Services

- Construct 103 Avenue (Central Avenue) to Collector standard.
- Construct 133A Street to Through Local standard.
- Construct water main, storm main and sanitary main to service the site.
- Register restrictive covenants for sustainable drainage, water quality/sediment control, sanitary pump connection, legal documents for district energy and working easement from neighbouring properties, as required.
- Pay amenity charge for undergrounding existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements, beyond those noted above, relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

HB4



Thursday, March 16, 2017
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 17-0011-00

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. The District is moving the Inter a district program from Kwantlen Park Secondary to Queen Elizabeth Secondary to reduce projected long term overcrowding at Kwantlen Park Secondary School. The densification within the City Centre will result in additional High School level learning space needs in the area. The timing of future high rise development in the area, with continued strong residential market conditions in City Centre could impact the enrolment growth upwards at both elementary and secondary schools, from the projections below.

SUMMARY

The proposed 550 highrise units are estimated to have the following impact on the following schools:

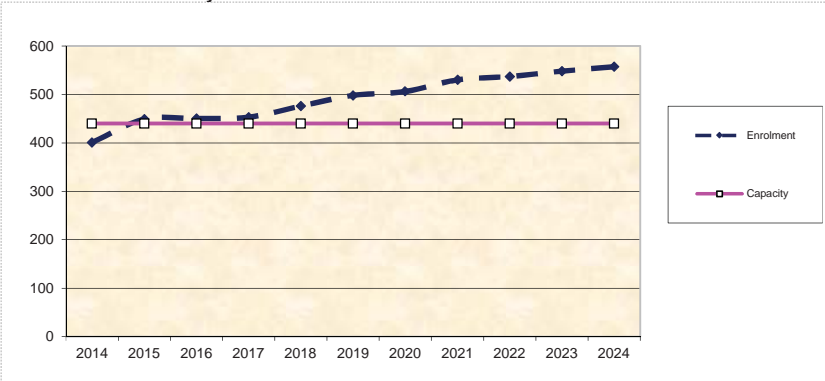
Projected # of students for this development:

Elementary Students:	14
Secondary Students:	6

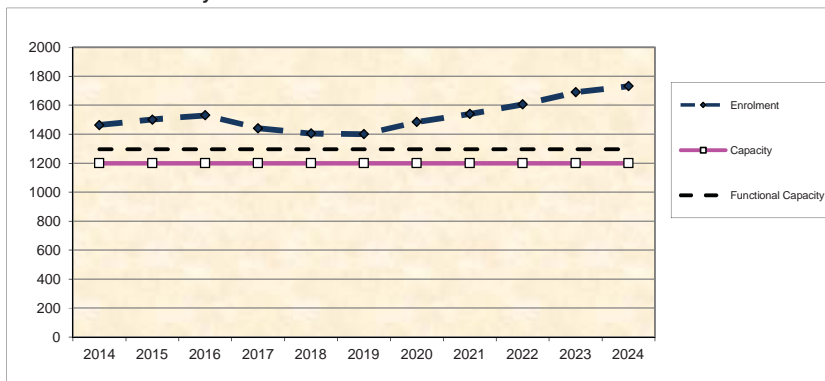
September 2018 Enrolment/School Capacity

Old Yale Road Elementary	
Enrolment (K/1-7):	53 K + 397
Capacity (K/1-7):	40 K + 400
Kwantlen Park Secondary	
Enrolment (8-12):	1531
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

Old Yale Road Elementary



Kwantlen Park Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 4. Tree Preservation Summary.

TREE PRESERVATION SUMMARY	
Surrey Project No:	Unknown
Address:	10297 133A Street, Surrey, BC
Registered Arborist:	Tyler Rodgers, RFT ISA Certified Arborist (PN-8320A) Silviculture Accredited Surveyor (AA201505)
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	2
Protected Trees to be Removed	2
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	4
- All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 4	
Replacement Trees Proposed	4
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

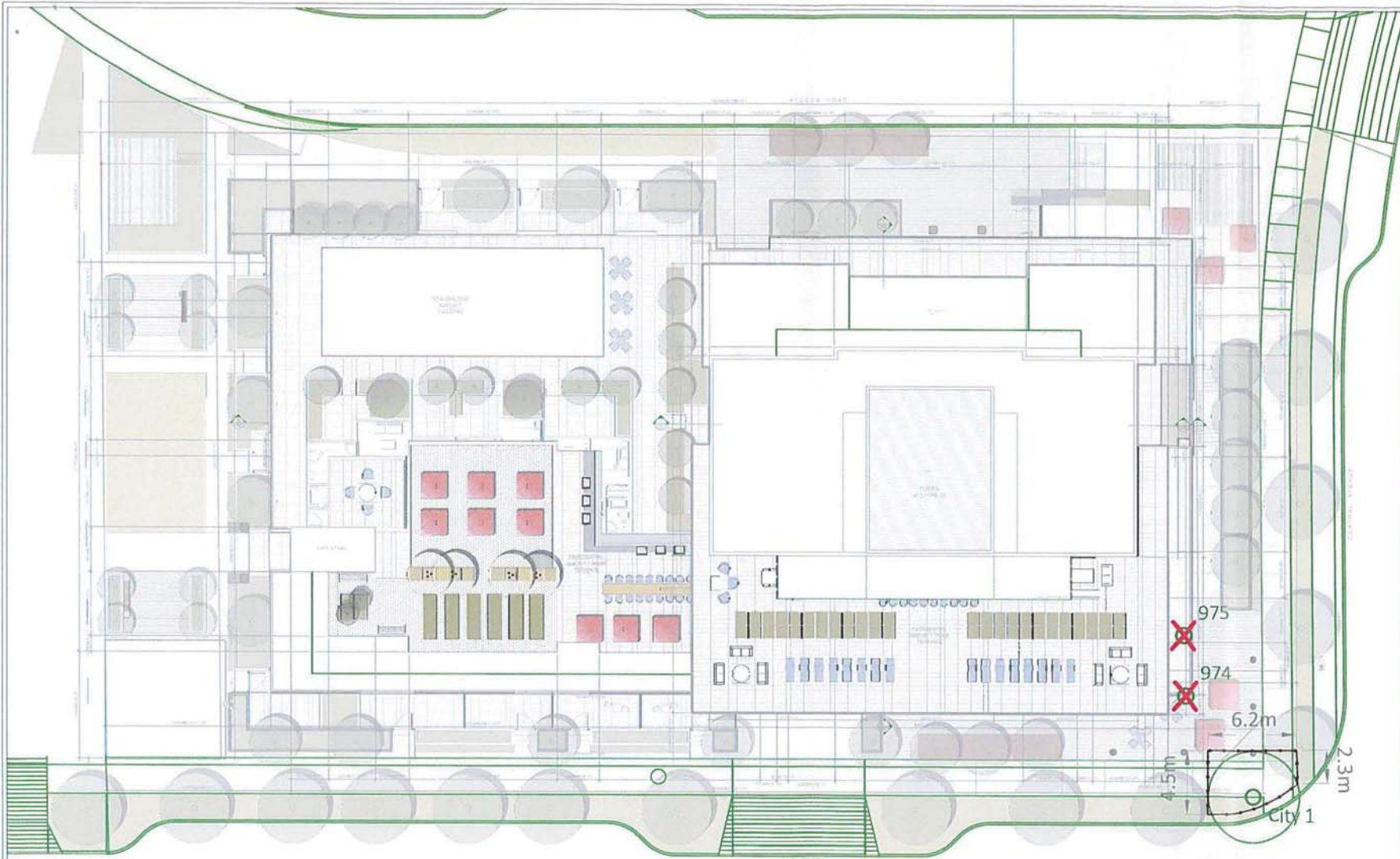
Summary prepared and
submitted by:

Arborist



Jan 11, 2017

Date



- LEGEND**
- TREE PROTECTION ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION FENCE
 - TREE TO BE RETAINED
 - UN-SURVEYED TREE
 - ✗ TREE TO BE REMOVED

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (The trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
 5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

- REFERENCE DRAWINGS**
1. Base Survey by:

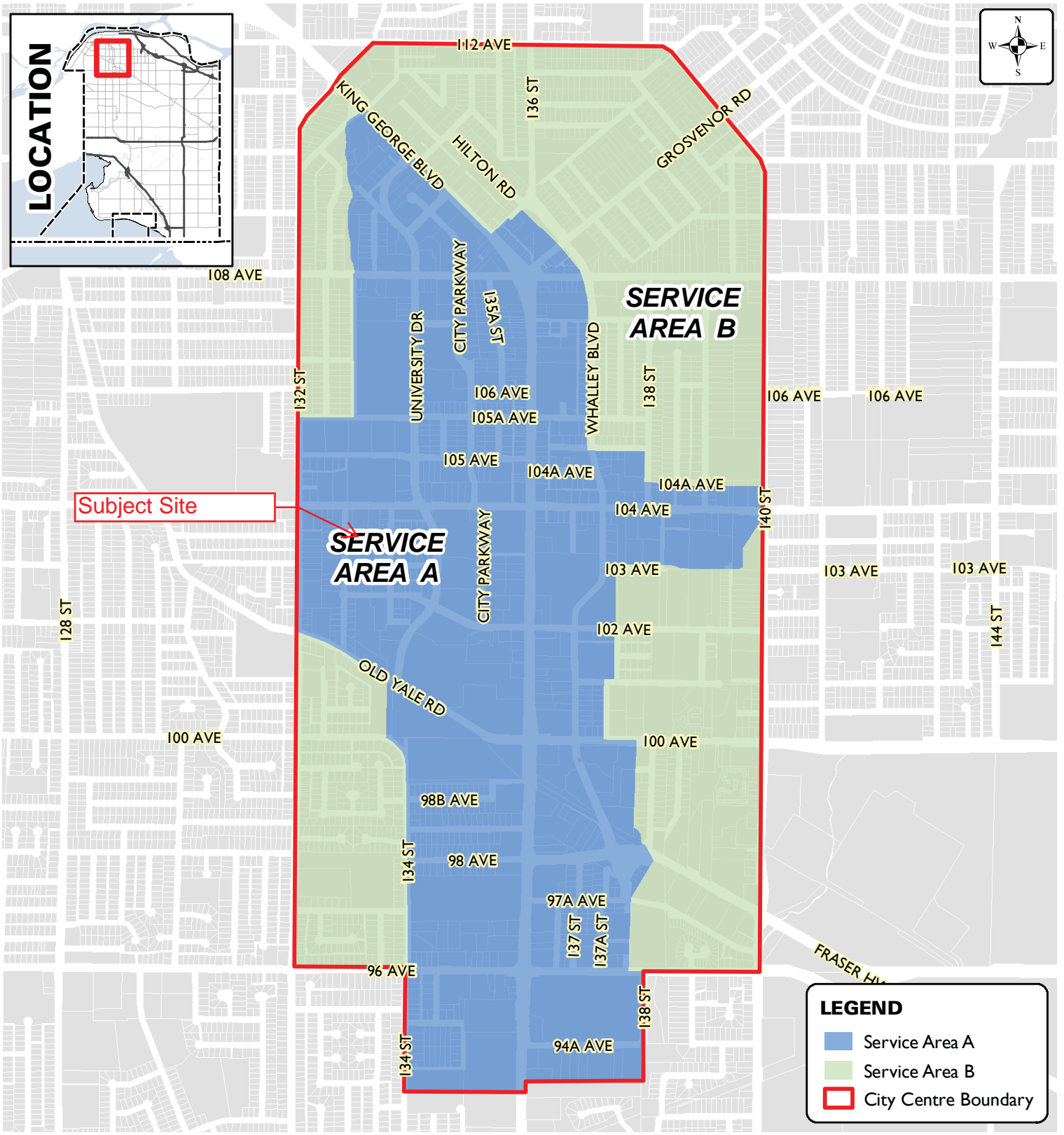
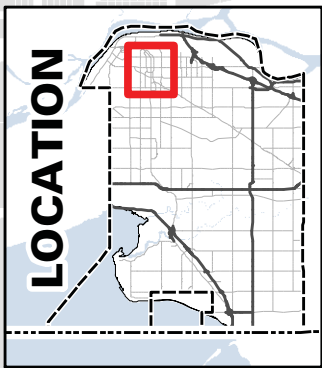


3551 COMMERCIAL STREET
VANCOUVER BC | V5M 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan
Project address: 10297 133A Street, Surrey
Client: Weststone Group

Drawing No: 001
Date: 2017/01/11
Drawn by: TR
Page Size: TABLOID(11"x17")

Page #
1 of 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

Present:

Chair – K. Johnston
 M. Enns
 M. Lesack
 M. MacCaul
 S. McFarlane
 D. Nelson
 A. Scott
 D. Staples

M. Younger

Guests:

L. Barnett, Barnett Dembeck Architect Ltd.
 M. Chan-Yip, PMG Landscape Architects
 R. Bernstein, Chris Dikeakos Architects
 J. Basran, Chris Dikeakos Architects
 J. McDougall, Perry & Associates
 R. Jenkins, WestStone Group

V. Jeon, WestStone Group M.
 Ciriello, Lo Studio Architecture
 Inc.

M. Mitchell, M2 Landscape
 Architecture Staff Present:

M. Rondeau, Acting City Architect,
 Planning & Development
 L. Luaifoa, Legislative Services

B. NEW SUBMISSIONS

3. 5:30 PM

File No.:	7917-0011-00
New or Resubmit:	New
Last Submission Date:	Description: N/A
	Rezoning and DP to permit a 44-storey tower and 13-storey podium containing 550 rental residential units, indoor and outdoor amenity space, 427 sq. of ground floor commercial and 6 levels underground parking.
Address:	10297-133A Street in City Centre.
Developer:	Ryan Jenkins or Victor Jeon, WestStone Properties
Architect:	Richard Bernstein, Chris Dikeakos Architects
Landscape Architect:	Jason McDougall, P+A Landscape Architects
Planner:	Christopher Atkins
Urban Design Planner:	Mary Beth Rondeau

The Acting City Architect provided the following comments:

- Staff has no specific issues with use, form or density.
- The height exceeds the suggested in City Centre; however, is supported given the higher buildings in the surrounding context.

The Project Architect presented a detailed overview of the site plan, building plans and elevations. The following was highlighted:

- This all-rental project is intensely programmed with amenity spaces for socializing and different functions.
- The mail room is larger to accommodate parcel delivery.

The Landscape Architect presented a detailed overview of the landscape plans and noted that the project is designed to be accessible to all people.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Rezoning and DP to permit a 44-storey tower and 13-storey podium containing 550 rental residential units, indoor and outdoor amenity space, 427 sq. of ground floor commercial and 6 levels underground parking. File No. 7915-0363-00

It was

Moved by D. Nelson

Seconded by D. Staples

That the Advisory Design Panel (ADP)

recommends A – that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried with 1 opposed

STATEMENT OF REVIEW COMMENTS

The Panel commended the comprehensive, legible package and support the project.

Site

- Well-planned site, tower placement and circulation.

Building Form and Character

- Massing and façade articulation generally well resolved.
- Further refinement needed to the juncture between the tower and shoulder massing on the east façade. This should have better tracking of the tower to the ground and carve out some floor area where the tower and shoulder relationship are crowded. This could result in relocating to another storey on the building.
 - *Shifting density to another storey on the shoulder to achieve more articulation to separate the tower is not a desired strategy from a height relationship and massing standpoint. We have modified the materiality at this junction to strengthen the difference in massing and design.*
- The shoulder massing would benefit from more charcoal elements not just on the banding to better distinguish from the tower massing.
 - *We have revised the drawings to add significant dark grey spandrel panel to further differentiate the shoulder massing from the tower portion.*

- The skip-jack balconies could be further differentiated by a change in material.
 - *We feel that the skip-jack patterning provides enough visual interest without adding a material change as well.*
- The treatment of the balconies within the big frames could be differentiated with those outside the frames similar to precedent image.
 - *We have modified the balcony guardrails within the frames to incorporate a face-mounted guardrail system vs a top-mounted guardrail on the remaining balconies.*
- Re-visit the glazing colour. Strength could be given to shoulder and tower. Encourage to look at colour of striping of glass.
 - *Glazing colours continue to define key differences in massing.*
- Recommend more emphasis/definition for the main residential entrance.
 - *The depth of the entrance frame has been increased to give more definition. The metal panel material and is more pronounced by shifting the glass back.*
- Consider more articulation to townhomes and suggest bolder material choice.
 - *We feel that the masonry material sufficiently differentiates and provides the appropriate look and scale for these units.*
- Concern with excessive extent of concrete slab extensions; consider cladding in lieu of concrete.
 - *As this is a rental project, significant and ongoing maintenance will be performed, therefore painted concrete will be both an economical and attractive choice.*
- Efficient unit and floor plans.
- Note there is room to move in the plan to resolve the windowless bedrooms.
 - *Updated room layouts provide shoji screens that will allow natural light to enter the bedrooms.*
- Suggest extending glass rails on rooftop as windbreak and in consideration of those who may have issues around height.
 - *We have increased the guardrail height on Level L44 to 6'-0"*
- Commend the generous amenity spaces especially the workshop areas.

Landscaping

- Consider expanding hardscape at key access points to site (i.e. south west corner).
 - *Expanded hardscape has been considered but feel that the current space provided is ample enough to allow for pedestrian circulation.*
- Consider wrapping future paving around north side to be consistent to adjacent CRU's.
 - *The north and south paving was intentionally designed to have different material to clearly differentiate between public thoroughfare aisles and commercial/entry congregating spaces.*
- Commend the simple planting palette and mass planting to reinforce formal quality of building. Good mix of foundation planting and perennial/grass accents.
 - *Thank you, care will be taken through the implementation stage to ensure mix of foundation and perennial / accent planting is installed.*
- Good mix of sun and shade.
 - *Thank you*

CPTED

- Recommend significant on-site security.
 - *On-site security will be provided for this project.*

Accessibility

- There were no comments regarding accessibility.

Sustainability

- Recommend commitment to LEED certification.
 - *We are committed to a program of sustainability but not certification as this is not necessary for a rental project.*
 - Recommend use of Energy Recover Ventilators for suite ventilation.
 - *In-slab ducting ventilates each suite as per current energy requirements.*
- Concern with percentage of view glass to solid wall; concern regarding thermal bridging extent/energy utilization. Seems a shame that the energy benefits of the District Energy allow reduced building energy efficiency compared to baseline buildings.
- *We will be conducting further modelling of the tower with our mechanical engineer to ensure full compliance with ASHRAE 2010.*
 - Consider thermal break products for slab/balcony interface throughout all levels.
 - *This detail is currently prohibitively expensive and is not commonly used in local multi-residential buildings.*

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, April 13, 2017.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 7:00 p.m.

Jane Sullivan, City Clerk

Kimberly Johnston, Chair
Advisory Design Panel

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 028-914-554
Lot B Section 27 Block 5 North Range 2 West New Westminster District Plan EPP20733

10297 - 133A Street

Parcel Identifier: 002-984-601
Lot 8 Section 27 Block 5 North Range 2 West New Westminster District Plan 8960

10327 - 133A Street

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of high *density*, high-rise *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, and commercial uses, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*
2. *Child care centres, provided that such centres:*
 - (a) Do not constitute a singular use on a *lot*; and
 - (b) Do not exceed a total of 3.0 square metres [32 sq.ft] per *dwelling unit*.
3. The following *accessory uses*, provided that such uses form an integral part of the *multiple unit residential building* on the *Lands*:
 - (a) *Retail stores* excluding the following:
 - i. *Adult entertainment stores*;
 - ii. *Auction houses*; and
 - iii. *Secondhand stores and pawnshops*.
 - (b) *Personal service uses* limited to the following:
 - i. *Barbershops*;
 - ii. *Beauty parlours*;
 - iii. *Cleaning and repair of clothing*; and
 - iv. *Shoe repair shops*.
 - (c) *General service uses* excluding funeral parlours and *drive-through banks*;
 - (d) *Eating establishments* excluding *drive-through restaurants* and limited to less than 150 square metres (1,615 sq.ft.) in gross floor area;
 - (e) *Office uses* excluding *social escort services* and *methadone clinics*;
 - (f) *Indoor recreational facilities*; and
 - (g) *Community services*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 10.7.
2. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 60%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard (Central Avenue)	Rear Yard (South)	Side Yard (West)	Side Yard on Flanking Street (133A Street)
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m. [15 ft.]	11.5 m. [37 ft.]	7.0 m. [23 ft.]	4.5 m. [15 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, *balconies* and canopies may encroach up to 2.0 metre [7 ft.] into the required *setbacks*.
3. Notwithstanding Sub-section E.17(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than three risers may encroach into the *setbacks*.
4. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of the *front lot line*.

G. Height of Buildings

Not applicable to this Zone.

H. Off-Street Parking

1. All commercial *parking spaces* shall be provided as stated in Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, resident parking shall be provided as follows:
 - (a) For *dwelling units* within *ground-oriented multiple unit residential buildings*: 1.6 *parking spaces* per *dwelling unit*;
 - (b) For *dwelling units* within *non-ground-oriented multiple unit residential building*: 0.88 *parking space* for each *dwelling unit* with 1 or no bedrooms; and
 - (c) For *dwelling units* within *non-ground-oriented multiple unit residential building*: 1.2 *parking spaces* for each *dwelling unit* with 2 or more bedrooms.
3. Notwithstanding Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, visitor *parking spaces* shall be provided at the rate of 0.1 *parking space* per *dwelling unit*.
4. All required resident, visitor and commercial *parking spaces* shall be provided as *underground parking*.
5. A minimum of 622 *parking spaces* shall be provided.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and

- (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
 3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
3,400 sq. m. [0.8 acre]	40 metres [131 ft.]	78 metres [256 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-135 Zone in the City Centre as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-135 Zone in the City Centre for the residential portion and the C-5 Zone in the City Centre for the commercial portion.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
11. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK