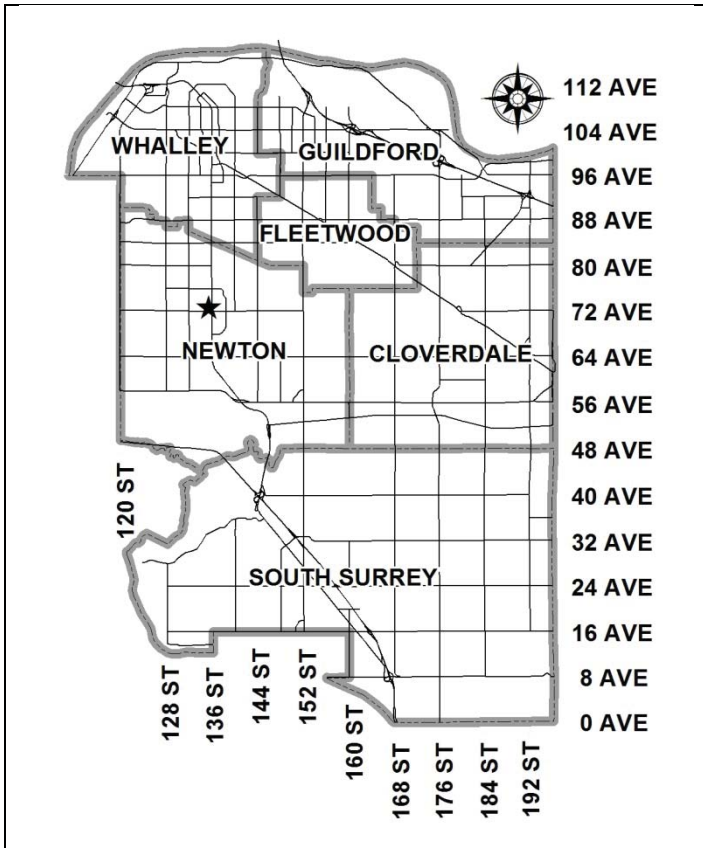


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0714-00

Planning Report Date: May 29, 2017

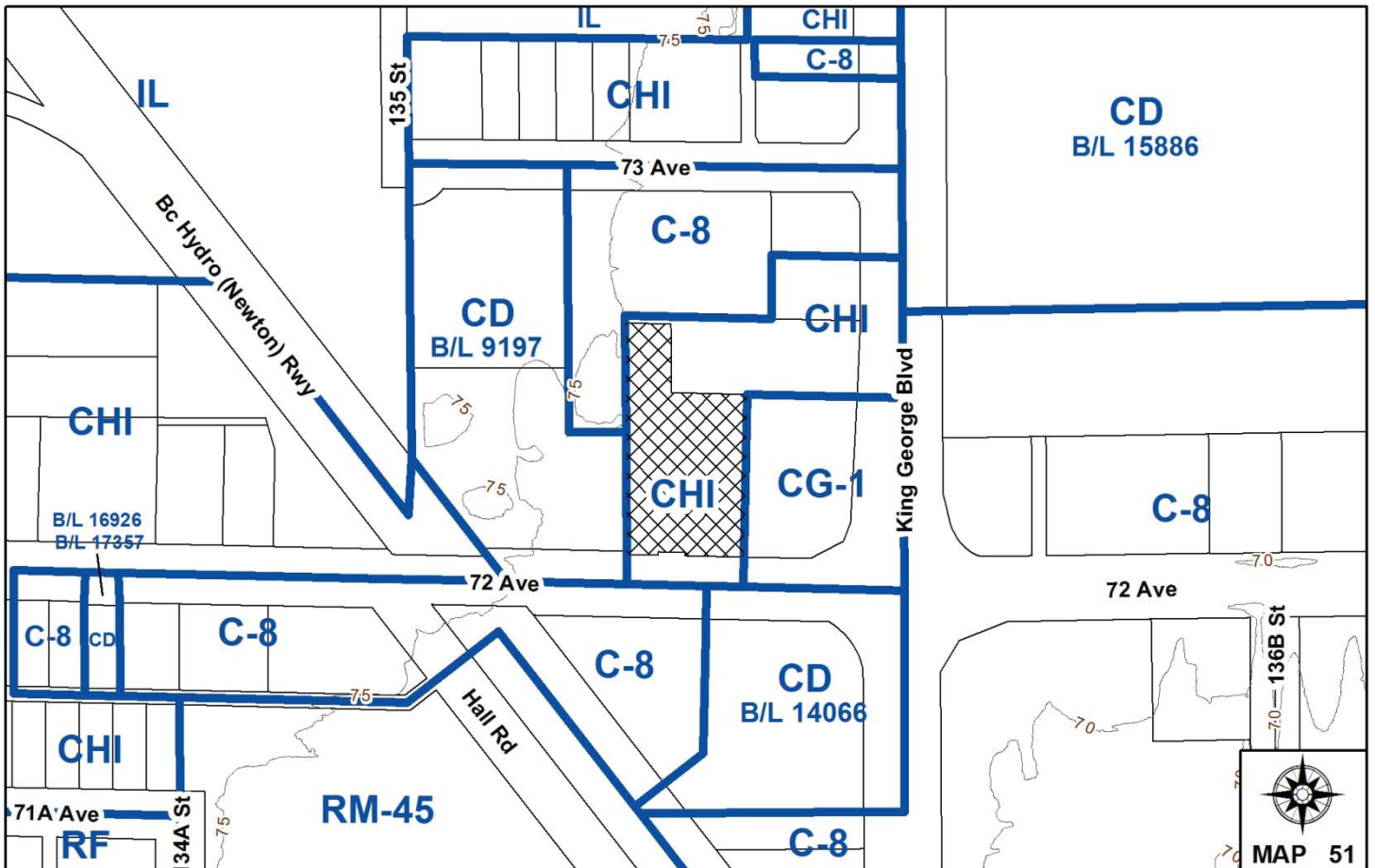


PROPOSAL:

- **Development Permit**

to permit renovations to an existing McDonald's restaurant in Newton Town Centre.

LOCATION: 13565 - 72 Avenue
OWNER: McDonald's Restaurants of Canada Limited
ZONING: CHI
OCP DESIGNATION: Commercial
TCP DESIGNATION: Auto-Oriented Commercial (Newton Town Centre Plan)



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval to vary the Sign By-law through a comprehensive sign design package.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant seeks to vary the Sign By-law to increase the maximum number of fascia signs from two (2) to five (5), and to permit more than two (2) of these fascia signs to be located on the same façade, through a comprehensive design package.

RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a new modern design while maintaining desirable elements of the existing building. The introduction of a by-pass lane across the front of the building is supported to facilitate the circulation of drive-through traffic, improve access, and to address the issue of loitering on-site.
- While drive-through lanes abutting street frontages are typically discouraged in the City of Surrey, staff have consulted various Newton Town Centre community stakeholders who support the proposed by-pass lane in this context to facilitate McDonald's business functions and address community concerns occurring on-site. Improvements to the landscaping along 72 Avenue and pedestrian connections on the site are also proposed to address community concerns.
- While only two (2) fascia signs are permitted under the Surrey Sign By-law, the location and scale of the proposed signage with the façade articulation of the building, is modest, complementary to the building's design, and constructed of high quality materials.
- The proposed fascia signage is under the maximum sign area permitted under the Sign By-law, and is considered reasonable in relation to the size and scale of the existing building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7916-0714-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's restaurant with drive-through.

Adjacent Area:

Direction	Existing Use	OCP/TCP Designation	Existing Zone
North:	Office Use and automotive services	Commercial/ Auto-Oriented Commercial	C-8 and CHI
East:	Gas station and automotive services	Commercial/ Auto-Oriented Commercial	CG-1 and CHI
South (Across 72 Avenue):	Newton Cultural Centre and gas station	Commercial/ Auto-Oriented Commercial	C-8 and CD (By-law No. 14066)
West:	Automotive services and office use	Commercial/ Auto-Oriented Commercial	CD (By-law No.9197) and C-8

DEVELOPMENT CONSIDERATIONS

Context

- The subject site is located west of King George Boulevard and north of 72 Avenue in Newton Town Centre. The site is designated "Commercial" in the Official Community Plan (OCP) and "Auto-Oriented Commercial" in the Newton Town Centre Plan (TCP). The site is zoned "Highway Commercial Industrial Zone (CHI)".
- An existing transit stop is located directly in front of the site on 72 Avenue.
- The site is currently occupied by an existing single-storey McDonald's restaurant with a drive-through. The restaurant was originally constructed in the early 1980's and over time has had additions to the building, a drive-through added, and multiple interior and exterior renovations. The restaurant experiences a high level of drive-through and pedestrian traffic given its location in Newton Town Centre and its proximity to the Newton Cultural Centre (directly across 72 Avenue), Newton bus exchange, Newton Community Centre and Wave Pool located east of King George Boulevard.
- As part of a branding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve consistent branding and increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.
- The applicant recently completed interior renovations of the restaurant through a Tenant Improvement Building Permit.

Current Proposal

- The applicant is proposing a Development Permit in order to allow exterior renovations to the existing drive-through restaurant, a new drive-through by-pass lane, minor site improvements (i.e. parking and landscaping), and new fascia and site signage (Appendix III).
- The floor area of the existing building is 522 square metres (5,616 sq.ft.). An additional 6 square metres (65 sq.ft.) is proposed to be added to expand the drive-through kitchen area, resulting in a total floor area of 528 square metres (5,680 sq.ft.) and a floor area ratio (FAR) of 0.13, which complies with the maximum FAR of 1.0 permitted in the CHI Zone.
- A new 3.66 metre (12 ft.) wide drive-through by-pass lane is proposed along the front of the existing restaurant where a former patio existed. The patio furniture was removed more than two years ago. The purpose of the by-pass lane is to facilitate the circulation of drive-through traffic to allow customers to return to the restaurant's parking lot and/or access King George Boulevard (southbound), and to address undesirably activity on-site. The proposed by-pass lane is discussed in detail in the next section of the report.
- The existing landscaped area along 72 Avenue and flanking the new by-pass lane will also be improved with proposed plantings and pedestrian connections to the sidewalk.

- The existing free-standing sign with the yellow arch logo located at the driveway entrance of the site will be replaced with a smaller illuminated free-standing sign. A few directional signs will also be added, removed, or modified to facilitate the drive-through by-pass lane and to minimize the total number of signs on the site.
- The applicant is also proposing to vary the number of fascia signs that are permitted under the Sign By-law through a comprehensive sign design package in order to allow four (4) additional fascia signs, for a total of five (5) signs.

Proposed Drive-Through By-Pass Lane

- McDonald's proposes a drive-through by-pass lane to facilitate the circulation of drive-through traffic within the subject site, to improve access to/from the site, and to address the on-going loitering and undesirable activity occurring at the front of the restaurant along 72 Avenue.
- McDonald's indicates that generally 60-70% of business is generated through the drive-through at restaurants where a drive-through is available. McDonald's has found that of that proportion, 50-60% of drive-through customers are likely to park in the restaurant parking lot after receiving their order. The subject site currently does not allow customers to return to the parking lot and must exit westbound on 72 Avenue.
- The Newton Business Improvement Association (BIA) approached the Planning & Development Department to express their support for the proposed drive-through by-pass lane. Both the BIA and McDonald's expressed concern of the on-going loitering and illegal/undesirable activity occurring at the front of the restaurant along 72 Avenue and the negative impact on the overall image of the Newtown Town Centre. The BIA supports the proposed by-pass lane as an opportunity to improve McDonald's business functions and to deter the undesirable activity on-site.
- The drive-through lane would be located in front of the restaurant where a former patio existed. More than two years ago the outdoor furniture was removed as an effort to deter loiterers on-site.
- McDonald's and the BIA also report that McDonald's customers are likely to park in parking lots of adjacent businesses which has generated complaints from adjacent business owners and increased garbage on their properties.
- Planning staff have consulted with various Newton community stakeholders through the Newton Integrated Service Providers (NIST), which meets regularly to monitor issues raised by residents and businesses in Newton and develop strategies to enhance community safety. As members of NIST, the RCMP, BC Commissionaires, and Surrey By-law Officers have all attested to the concentration and frequency of issues occurring on the subject site. Although some of the reported issues on the subject site are associated with the transit stop located directly in front of the restaurant and loitering occurring on other sites in the immediate area, the community stakeholders are of the opinion that the proposed by-pass lane and improved landscaping could deter the undesirable activity, and improve traffic circulation and pedestrian activity.

- While drive-through lanes abutting street frontages exist on other McDonald's restaurants and eating establishments throughout the City of Surrey, they are typically discouraged and are not considered good planning practice. Creating an urban and pedestrian-oriented street frontage is typically supported and therefore, drive-through lanes are encouraged to be located away from street frontages to minimize visibility and negative impacts on adjacent properties. In this particular proposal, staff support the proposed by-pass lane to address community concerns that are occurring on-site.

DESIGN PROPOSAL AND REVIEW

- The applicant is proposing a number of exterior modifications and improvements to the existing building and site, which will provide a more contemporary look to the building.
- The proposed changes to the exterior of the building are intended to implement McDonald's new modern restaurant design while maintaining elements and materials of the existing character of the building. The proposed design retains portions of the stucco, brick, trim, and aluminum frame glazing. Many of the exterior elements and finishes will be retained and painted charcoal and medium grey to implement McDonald's new colour scheme.
- The existing hip roof will be replaced with charcoal grey metal siding, with vertical red metal metals to articulate the southeast corner of the building and east building entrance. White metal ribbon will be installed along the north, south and east elevations as a new key design element to identify the restaurant entrance and add articulation to the building. Similarly, a red and white metal paneling will be installed on the west elevation to identify the location of two drive-through order pick-up windows.

Drive-Through and Parking

- The site currently accommodates 52 parking spaces, which meets the number of parking spaces required under the Zoning By-law. One additional parking space is proposed for a total of 53 parking spaces on the site. Two (2) existing "pull forward" parking stalls (i.e. allowing drive-through customers to park temporarily) located at the drive-through egress will be relocated to the east side of the site and one small car parking space is proposed to be added to the northwest corner of the restaurant.
- The existing dual lane drive-through configuration will remain unchanged.

Trees & Landscaping

- There are six (6) existing by-law sized trees on-site which will be retained.
- The landscaped area along 72 Avenue and flanking the proposed by-pass lane is proposed to be improved with grace smoke trees and low plantings, such as green gem boxwood, bearberry, and hameln fountain grass. The proposed plantings are intended to improved pedestrian safety while maintaining natural surveillance to/from the restaurant.
- New 1.5 metre (5 ft.) wide pedestrian connections to the sidewalk flanking the landscaped area along 72 Avenue is proposed to improve pedestrian safety and access to the site.

- The proposed 3.66 metre (12 ft.) wide by-pass lane will consist of permeable pavers to differentiate the lane for customers wishing to return to the parking lot.

Proposed Signage

- The applicant proposes four (4) additional fascia signs to the building, for a total of five (5) signs. The existing "McDonald's" sign on the east elevation will be replaced with a new illuminated white "McDonald's" sign, 0.46 metres (1.5 ft.) tall, and consisting of channel lettering. The applicant is proposing that the additional signage be approved as part of a comprehensive sign package. A list of all proposed sign by-law variances is shown in Appendix II.
- Two (2) new fascia signs are proposed on the south elevation (fronting 72 Avenue), including a yellow arch logo and a "PlayPlace" sign. Two (2) new fascia signs are proposed on the east elevation in addition to the "McDonald's" replacement sign, including a second yellow arch logo and a blue "Open 24 Hours" sign. The total sign area of all proposed signs is well under with the maximum sign area permitted on the premises under the Sign By-law.

The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the same façade of the premises. The applicant proposed a total of five (5) fascia signs, and as a result, a relaxation is required to allow three (3) additional fascia signs and permit multiple signs on the same façade.

- The existing 7.8 metre (25 ft.) tall free-standing sign with the yellow arch logo located close to the east entrance of the restaurant will be replaced with a smaller illuminated free-standing sign consisting of the yellow arch logo and "McCafé" and proposed to be located closer to 72 Avenue. The proposed double-sided sign will be 2.0 metres (6.5 ft.) high and 2.3 square metres (25 sq. ft.) in area, which complies with the maximum sign area of 28 square metres (300 sq.ft.) permitted under the Sign By-law.
- Two (2) new directional signs will be added: one sign on the south side of the existing drive-through lane, and the second sign on the north side of the new by-pass lane (near the site entrance). An existing directional sign at the egress of the drive-through lane to 72 Avenue will be modified to include a "Do Not Enter" sign and another directional sign located east of the site entrance will be removed.
- Two temporary red flag signs that currently flank the site entrance on 72 Avenue will be removed.
- The proposed signage design has been reviewed by staff and found to be acceptable. The location and scale of the proposed signage is modest and complementary to the building design. The signage is constructed of high quality materials.

RE-NOTIFICATION

- A Development Proposal Sign was installed on the site on May 3, 2017 to inform adjacent property owners about the proposed development. Staff have not received any comments on this proposal.

ADVISORY DESIGN PANEL

- The proposal was not referred to the Advisory Design Panel (ADP), but was reviewed by staff, including the Acting City Architect, and found to be acceptable.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheet |
| Appendix II. | Proposed Sign By-law Variances Tables |
| Appendix III. | Proposed Site Plan, Building Elevations, Landscape Plans and Perspective |

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Lovick Scott Architects Ltd. and IBI Group, respectively, dated May 19, 2017 and December 16, 2016.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

DH/da

DEVELOPMENT DATA SHEET

Existing Zoning: CHI

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		3,817 sq.m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	50%	15%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5m	9.88m
Rear	7.5m	54.91m
Side #1 (E)	7.5m	22.9m
Side #2 (W)	7.5m/0m	5.13m
BUILDING HEIGHT (in metres/storeys)		
Principal	9m	7.16m
Accessory		
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		
Retail		
Office		
Total		527.6 sq.m
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		527.6 sq.m

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.13
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	52	53
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	52	53
Number of accessible stalls		2
Number of small cars		1
Tandem Parking Spaces: Number / % of Total Number of Units		3 (6%)
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of five (5) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.
2	To allow two (2) fascia signs to be installed on the same (south) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the south façade includes a yellow arch logo and "PlayPlace" signs.
3	To allow three (3) fascia signs to be installed on the same (east) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the east façade includes a yellow arch logo and "Open 24 Hours" sign, in addition to the existing "McDonald's" replacement sign.
4	To allow three (3) fascia signs to extend above the roof line of the building face to which it is attached on the south and east elevations.	A fascia sign must not extend above the roof line of the building face to which it is attached (Part 1, Section 6(1.3))	The three (3) proposed signs are reasonable in size and scale in relation to the existing building.

McDonald's®

McDONALD'S APPROVALS
 McDONALD'S APPROVED
 REGIONAL/NATIONAL DESIGN
 September 14, 2016
1602

LOT 100 SECTION 20 TOWNSHIP 2 PLAN 65761 NWD .
13565 72 AVENUE, SURREY, BRITISH COLUMBIA



DRAWING / CONSULTANT LIST:

ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.
 3707 1st AVENUE,
 BURNABY, B.C., V5C 3V8
 (tel) 804.298.3700
 (fax) 804.298.6081
 (e-mail) ascott@lovlissscott.com
meyses@lovlissscott.com

- A0 Cover Sheet
- A0.1 General Notes
- A0.2 Civil Analysis and Specifications
- A0.2 Signage Schedules
- AS0.0 Context Photos
- AS1.0 Existing Site Plan
- A1 Existing/Demolition Floor Plan
- A1.1 Proposed Floor Plan
- A1.2 Existing/Demolition Roof Plan
- A1.3 Proposed Roof Plan
- A1.4 Existing/Demo Reflected Ceiling Plan
- A1.5 Proposed Reflected Ceiling Plan
- A2.0 Existing & Proposed South Elevations
- A2.1 Existing & Proposed East Elevations
- A2.2 Existing & Proposed North Elevations
- A2.3 Existing & Proposed West Elevations

CIVIL

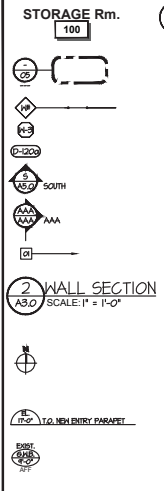
IBI GROUP
 308-30 EGLINTON AVENUE WEST,
 MISSISSAUGA, ON, L4R8E7
 (tel) 905.880.3550
 (fax) 905.880.7081

- BP1 Site Plan
- C1 Grading Plan

- A2.4 Coloured Elevations
- A2.5 Coloured Elevations
- A2.6 Perspectives
- AS.0 Building Section A A B & C

REISSUED FOR DP - MAY 19, 2017

ANNOTATION SYMBOLS

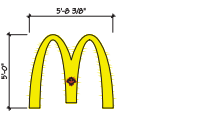


- ROOM NAMES & GRID
- DETAILS EBBLE
- WALL TAG
- DOOR TAG
- EXTERIOR ELEVATION MARKER
- SECTION EBBLE
- KEYNOTE TAG
- PLAN / ELEVATION SECTION DETAIL TITLE
- TREE NORTH
- ELEVATIONS
- CEILING HEIGHTS

ABBREVIATION LEGEND

CL	CENTER LINE
COL	COLUMN
EX	EXISTING
NEW	NEW
DEM	DEMOLITION
TYP	TYPICAL
NA	NOT APPLICABLE
MTH - C/M	MTH - COMES WITH
UNO	UNLESS NOTED OTHERWISE
SON	SCOPE OF WORK
PT	PRESSURE TREATED

SIGNAGE SCHEDULE



5'-8 3/8" GOLDEN ARCH SIGN ON BLADE
PROPOSED:
2 SIGNS



CHANNEL LETTERS
PROPOSED:
1 SIGN



OPEN 24 HOURS' SIGNS
PROPOSED:
1 SIGN



CHANNEL LETTERS ON PARAPET WALL
PROPOSED:
1 SIGN

NOTE:
- ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. SEE SIGN MANUFACTURER CUT SHEETS INDICATING FINISHES, MOUNTING DETAILS, ILLUMINATION SYSTEMS, ETC.
- ALL SIGNS TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.
- ALL SIGNS TO MEET ALL LOCAL SIGNAGE BY-LAW.

NO.	DATE	REVISION	DESCRIPTION

CONSULTANT SEAL

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

3707 1ST AVENUE
BURNABY, B.C. V5C 3V6
ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 6081
MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC
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DRAWN BY: APPROVED:

ES
PROJECT

McDonald's Restaurant
13565-12ND AVENUE,
SURREY, BC

DRAWING

PROJECT NUMBER	DRAWING NUMBER
16-102	AO.2
SCALE	MAP'S NATIONAL NUMBER
1/4" = 1'-0"	4362
SITE	REVISION
AUGUST 2016	

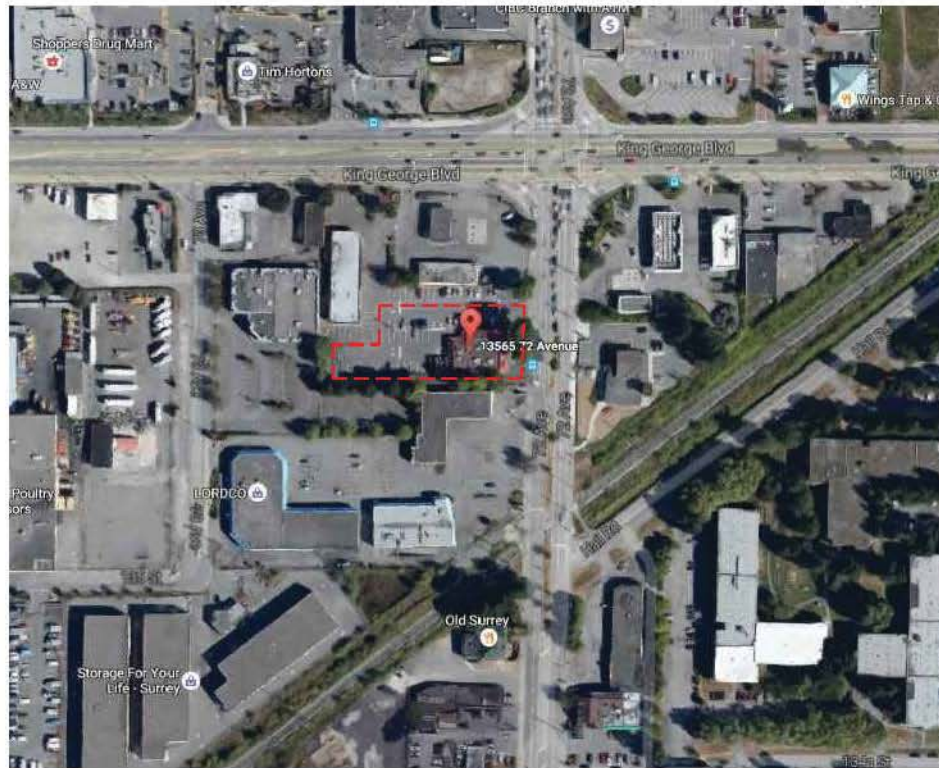
SIGNAGE SCHEDULES




EAST VIEW (EXISTING)
SCALE, NOT TO SCALE

SOUTH VIEW (EXISTING)
SCALE, NOT TO SCALE

WEST VIEW (EXISTING)
SCALE, NOT TO SCALE



KEY PLAN
SCALE: NOT TO SCALE

PROJECT	McDonald's	DATE	2016	CONTRACTOR	
DESIGNED BY	ASOLO	DATE		CONTRACTOR	
CHECKED BY		DATE		CONTRACTOR	
DATE		DATE		CONTRACTOR	
					
McDONALD'S RESTAURANTS OF CANADA LIMITED 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 0G6					

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



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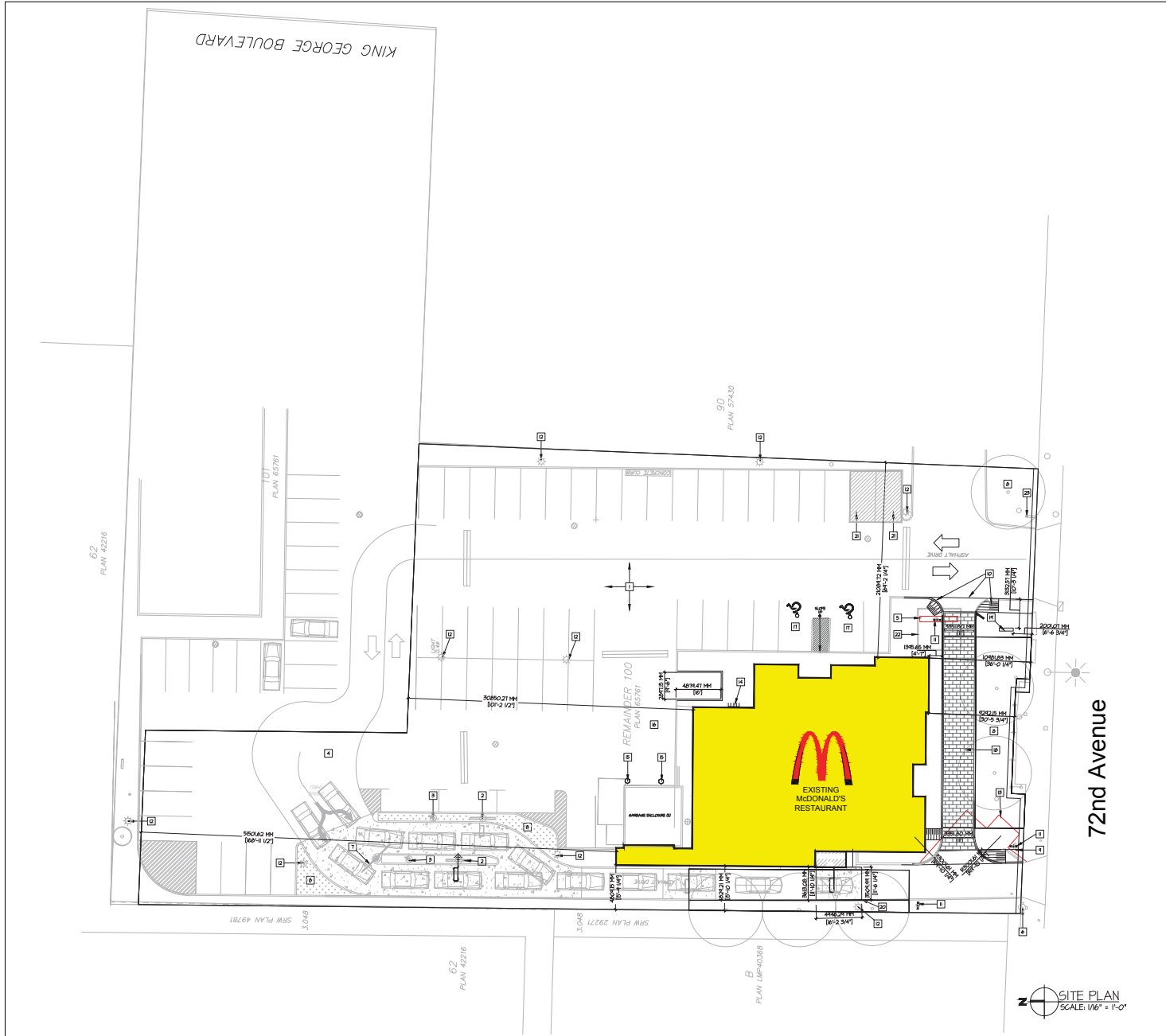
DESIGNED BY: **ASOLO**

PROJECT: **McDonald's Restaurant**

DATE: **13565 72 AVENUE, SURREY, BC**

DRAWING: **CONTEXT PHOTOS**

PROJECT NUMBER	DRAWING NUMBER
16-102	ASOLO
SCALE: NOT TO SCALE	METS NATIONAL NUMBER
DATE: AUGUST 2016	REVISION



PROJECT STATISTICS

AUTHORITY HAVING JURISDICTION:
CITY OF SURREY

LEGAL ADDRESS:
LOT 100 SECTION 20 TOWNSHIP 2 PLAN 65761 M10
EXCEPT PLAN IMPROVED.

CIVIC ADDRESS:
3565 72 AVENUE, SURREY, B.C.

ZONING:
HIGHWAY COMMERCIAL INDUSTRIAL ZONE (C4)

LOT SUBDIVISION: NO CHANGE

USE: RESTAURANT

RESTAURANT:
ALLOWED

LOT COVERAGE:
ALLOWED 50%
LOT AREA = 4082 SQ FT (3911 M²)
PROPOSED BUILDING AREA = 2068 SQ FT (1917 M²)
MAXIMUM = 4102 SQ FT

SETBACKS (EXISTING & NO CHANGE):

ELEVATION	ALLOWED	PROPOSED
15 m (20')	14.8 m (49'-0")	
15 m (20')	12.2 m (39'-9")	
15 m (20')	14.0 m (45'-9")	
15 m (20')	15.0 m (49'-0")	

BUILDING HEIGHT:
ALLOWED = 30'-0" (9.1 M)
EXISTING = 20'-4" (6.2 M)
PROPOSED = 25'-4" (7.8 M)

BUILDING FLOOR AREA (F.A.):
ALLOWED = 10 MAX.
EXISTING = 5682.5 SQ FT (5219 M²)
ADDITION = 482.5 SQ FT (447 M²)
TOTAL FLOOR AREA = 5679.5 SQ FT (5216.5 M²)
5719 SQ FT ALLOW 50% = 2859.5

LANDSCAPING:
EXISTING & NO CHANGE

PARKING:
REQUIRED: 10 STALLS PER 100 SQM OF G.F.A.
(2214 / 100 * 10) = 221 STALLS
= 55 STALLS
PROPOSED: 55 STALLS

LOADING:
REQUIRED: 1 OFF STREET, 4.0M HGT, 4.2M LENGTH, 4.0M SIDE
PROVIDED: 1 EXISTING (NO CHANGE)

BIKE PARKING:
REQUIRED: 0.25 SPACE FOR EVERY 100 SQM
PROPOSED: 1 EXISTING (NO CHANGE)

SEATING:
EXISTING: 100 SEATS
PROPOSED: 100 SEATS

- SITE KEY NOTES (EXISTING UNO.):**
- EXISTING ASPHALT PARKING TO REMAIN INCLUDING ALL PAINTED (D) THRU SIGNS AND PARKING LINES. SEE SITE PLAN NOTES.
 - 4 PANEL MENU BOARD
 - PRE-SELL BOARD
 - DRIVE THRU LANE
 - PREESTANDING SIGN TO BE REMOVED.
 - FIRE HYDRANT.
 - VEHICLE HEIGHT DETECTOR
 - LANDSCAPE/SEE LANDSCAPE DWGS.
 - EXISTING SIGN TO BE REMOVED
 - NEW RAMP WITH C/M PEDESTRIAN CONNECTION
 - NEW ILLUMINATED SIGN SEE PATISSON DWGS.
 - LOT LIGHT
 - DRILL ORDER LANE TO BE REMOVED.
 - BIKE RACK
 - BOLLARD
 - LOADING AREA
 - NO PARKING STALL
 - NEW BY-PASS LANE & ANY NEW RELATED ITEMS, SUCH AS RAMP, CURBS, LANDSCAPING, PHISHNETS-SEE CIVIL DWGS.
 - NEW GROUND SIGN, SEE PATISSON SIGN DWGS.
 - NEW DETECTOR LOOP & CONCRETE PAD EXTENSION
 - NEW GRILL ORDER STALLS
 - EXISTING LANDSCAPE TO BE REMOVED
 - ILLUMINATED SIGN TO BE REMOVED

- SITE PLAN NOTES:**
- ALL EXISTING ASPHALT PAVING AND CONCRETE CURBS ARE TO BE REPAIRED. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE. CONTRACTOR IS TO REPAIR TO MATCH EXISTING AT NO COST TO OWNER.
 - ALL EXISTING CONCRETE SIDEWALKS ARE TO BE REPAIRED. CONTRACTOR IS TO CUT AS REQUIRED. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO SIDEWALKS TO THE PRE-CONSTRUCTION CONDITIONS.
 - ALL SITE FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY MRSA AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
 - CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES OR VARIANCES TO MRSA.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
 - MAKE GOOD ALL EXISTING THAT IS DISTURBED BY NEW WORK.
 - GC RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURB/ASPHALT/CONC. BASE WORK.

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
		ISSUED FOR DP			
		ISSUED FOR MCA REVIEW			

McDonald's
MCDONALD'S RESTAURANTS OF CANADA LIMITED,
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT:

LOVICK SCOTT ARCHITECTS

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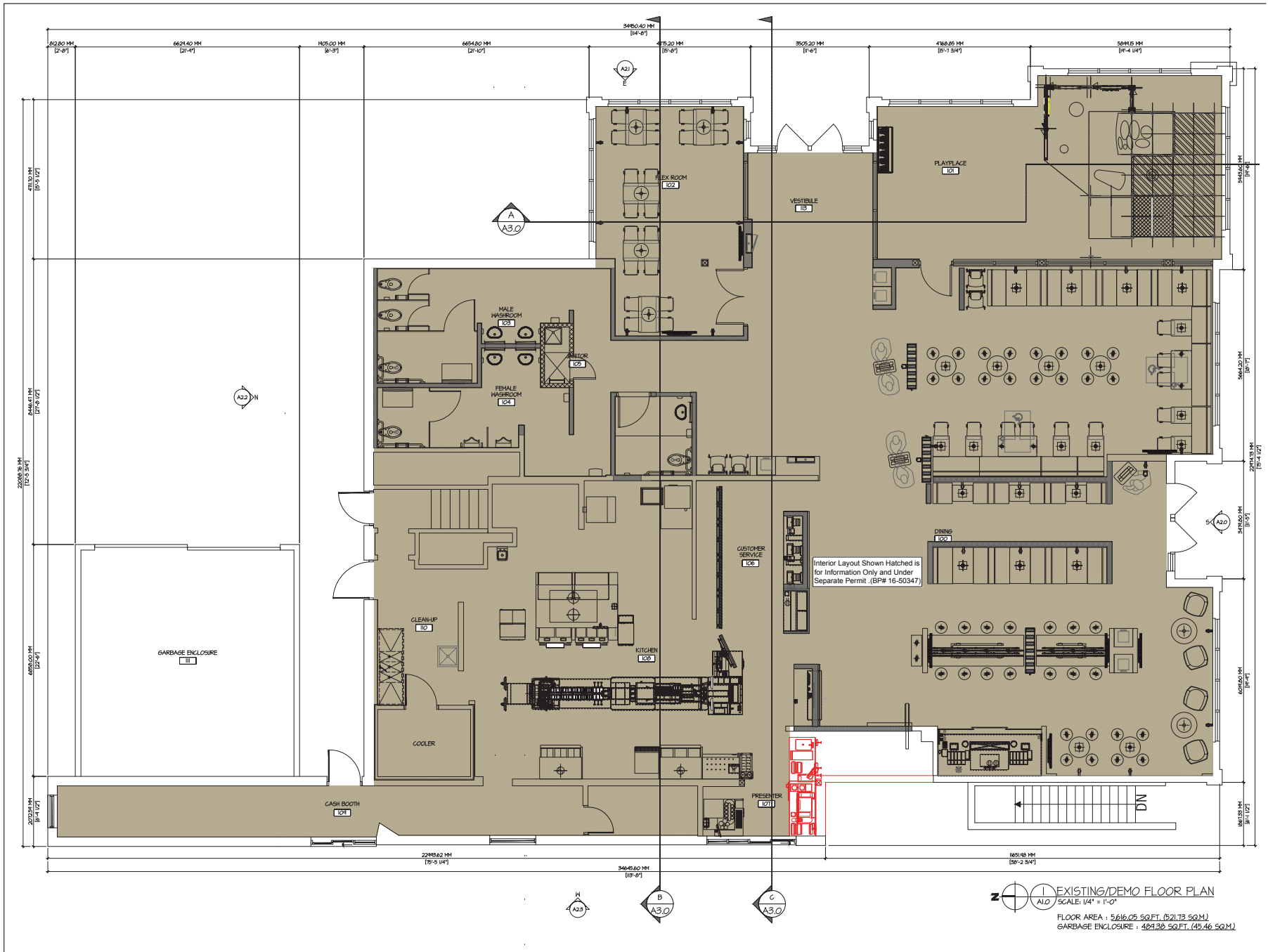
McDonald's Restaurant
15665-12ND AVENUE,
SURREY, BC

SRN/RES/AD
15665-12ND AVENUE,
SURREY, BC

DRIVING

SITE PLAN

PROJECT NUMBER: 16-102
DRAWING NUMBER: A51.0
SCALE: 1/8" = 1'-0"
DATE: AUGUST 2016



NO.	DATE	REVISION	DESCRIPTION
1	10/20/20	ISSUED FOR DP	
2	10/20/20	ISSUED FOR DP	
3	10/20/20	ISSUED FOR DP	
4	10/20/20	ISSUED FOR DP	
5	10/20/20	ISSUED FOR DP	
6	10/20/20	ISSUED FOR DP	
7	10/20/20	ISSUED FOR DP	
8	10/20/20	ISSUED FOR DP	
9	10/20/20	ISSUED FOR DP	
10	10/20/20	ISSUED FOR DP	

McDonald's®
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 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT

CONSULTANT SEAL

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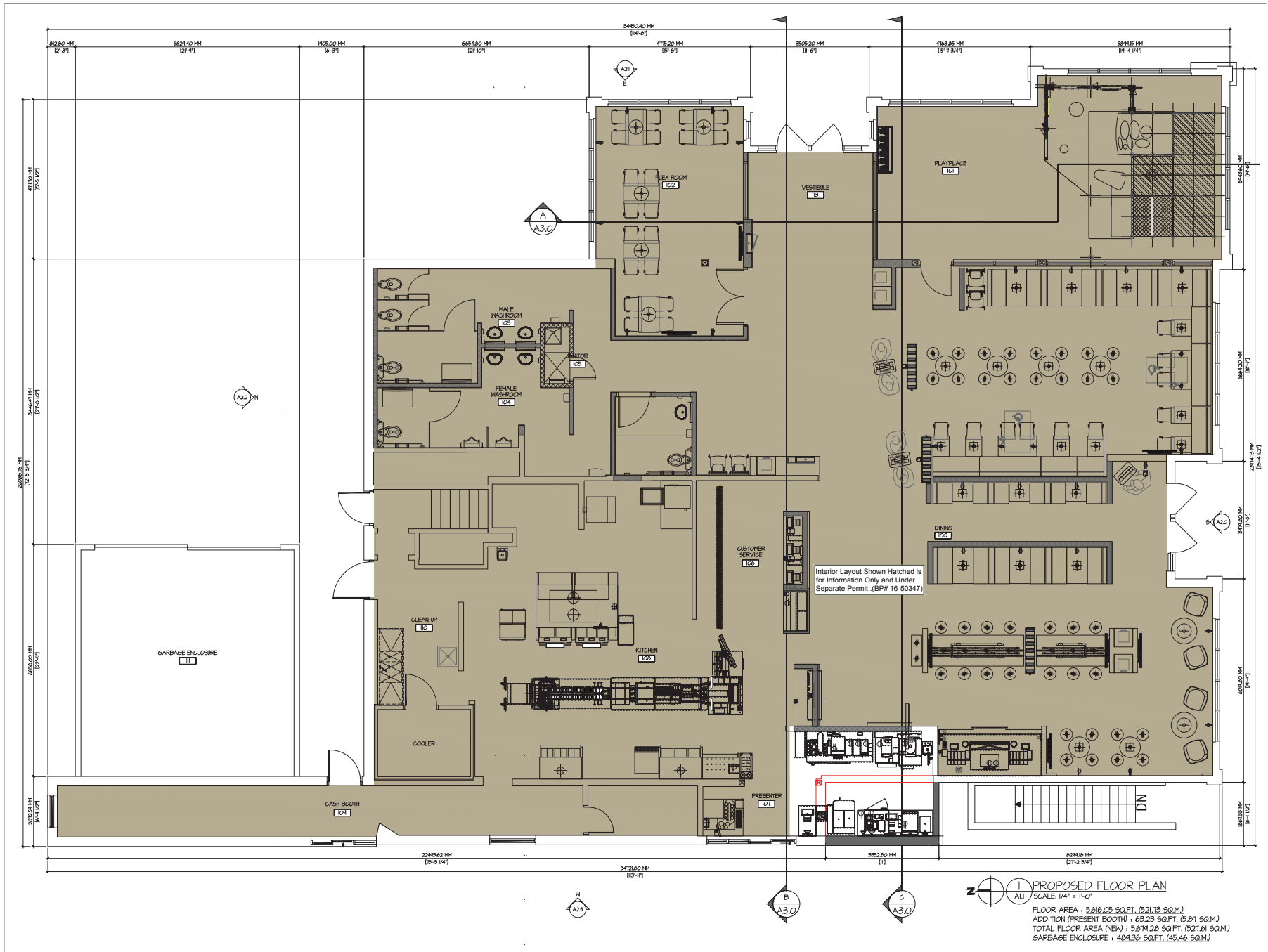
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DESIGNED BY: RMR/FS
 PROJECT: McDonald's Restaurant
 13565-12ND AVENUE, SURREY, BC

DRAWING: EXISTING/DEMO FLOOR PLAN

PROJECT NUMBER: 16-102
 DRAWING NUMBER: A.I.O.
 SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 2016

FLOOR AREA: 5,616.05 SQ.FT. (521.73 SQ.M.)
 GARBAGE ENCLOSURE: 424.30 SQ.FT. (45.46 SQ.M.)



Interior Layout Shown Hatched is for Information Only and Under Separate Permit (BP# 16-50347)

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"
 FLOOR AREA : 5,616.25 SQ.FT. (521.73 SQ.M.)
 ADDITION (PRESENT BOOTH) : 63.29 SQ.FT. (5.87 SQ.M.)
 TOTAL FLOOR AREA (NEW) : 5,679.54 SQ.FT. (527.61 SQ.M.)
 GARBAGE ENCLOSURE : 494.38 SQ.FT. (45.46 SQ.M.)

NO.	DATE	REVISION	DESCRIPTION
1	10/20/20	REVISED FOR DP	
2	10/20/20	ISSUED FOR CP	
3	10/20/20	ISSUED FOR PERMIT	
4	10/20/20	ISSUED FOR PERMIT	

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

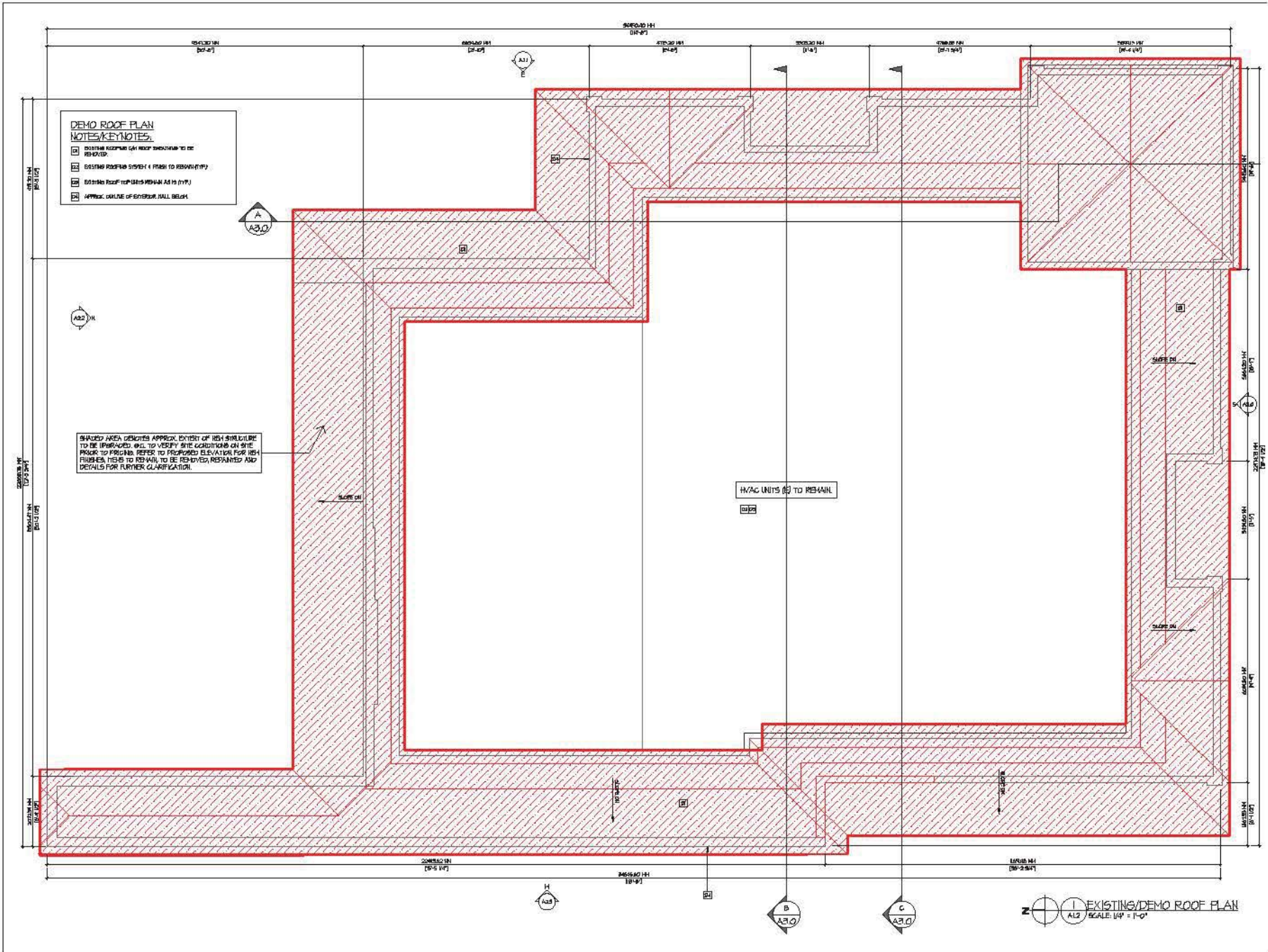


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DESIGNED BY: RMR/RFS
 PROJECT: McDonald's Restaurant
 13565-12ND AVENUE, SURREY, BC

PROJECT NUMBER	DRAWING NUMBER
16-102	A1.1
SCALE: 1/4" = 1'-0"	MDS NATIONAL NUMBER: 6362
DATE: OCTOBER 2016	REVISION:



**DEMO ROOF PLAN
NOTES/KEYNOTES:**

- A3.0 EXISTING ROOFING (GUTTER SYSTEMS) TO BE REPAIRED.
- A3.1 EXISTING ROOFING SYSTEM (FLASH TO REMAIN/REMOVE)
- A3.2 EXISTING ROOF TOP (FLASHES/REPAIR AS IS (NYP))
- A3.3 APPLY: CURVE OF EXTERIOR WALL BULK

SHADDED AREA INDICATES APPROX. EXTENT OF WORK TO BE PERFORMED. SEE TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PROCEED. REFER TO PROFORM ELEVATION FOR ROOF FINISHES. ITEMS TO REMAIN TO BE REMOVED, REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.

HVAC UNITS TO REMAIN

PROJECT NO.	DATE	DESCRIPTION

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT SEAL
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ARCHITECT

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SCOTT
ARCHITECTS**

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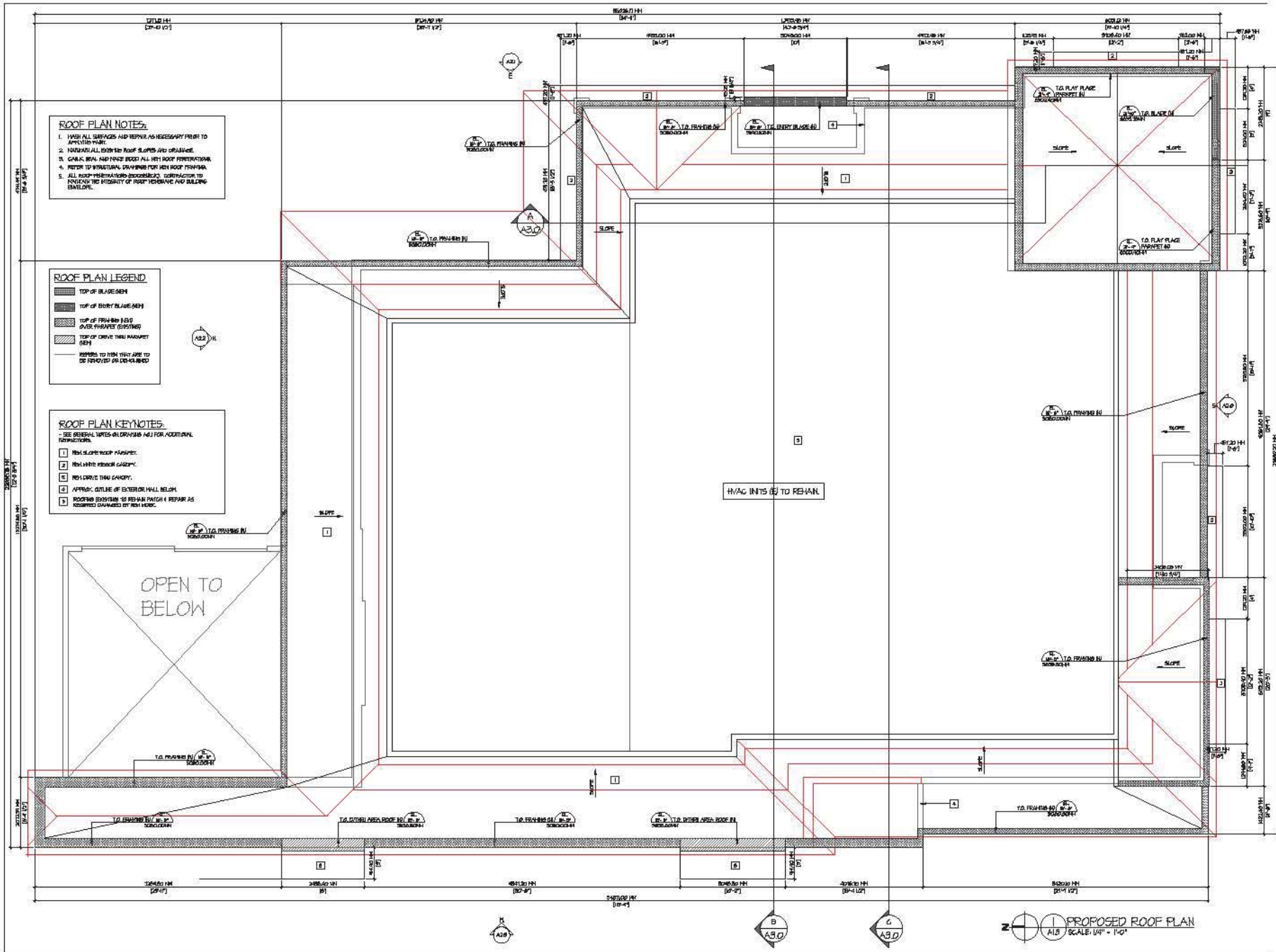
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DESIGNED BY: **PS**
 APPROVED BY: **PS**
McDonald's Restaurant
 3707 1ST AVENUE,
 BURNABY, B.C.

EXISTING/DEMO ROOF PLAN

PROJECT NUMBER: **16-102** DRAWING NUMBER: **A1.2**
 SCALE: **1/4" = 1'-0"** DATE: **OCTOBER 2016**
 REVISION:

NEWTON - 16-102



ROOF PLAN NOTES:

1. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLICATION.
2. NAIL DOWN ALL EXISTING ROOF SHEETS AND DRAINAGE.
3. GASKET SEAL AND FINISH ROOF ALL NEW ROOF PENETRATIONS.
4. REFER TO STRUCTURAL DRAWINGS FOR NEW ROOF PENETRATION.
5. ALL ROOF PENETRATIONS (MECHANICAL, VENTILATION, ETC.) SHALL BE INSTALLED TO MAINTAIN THE INTEGRITY OF ROOF TERMINATE AND BUILDING ENVELOPE.

ROOF PLAN LEGEND:

- TOP OF BLADE/DECK
- TOP OF BENT BLADE/DECK
- TOP OF FINISH (SLOPE OVER FINISH) (EXISTING)
- TOP OF DRIVE TRAY MARKER (DECK)
- REFERS TO ITEM THAT ARE TO BE FINISHED OR DEMOLISHED

ROOF PLAN KEYNOTES:

SEE GENERAL NOTES AND DRAWING FOR ADDITIONAL INSTRUCTIONS.

1. NEW SLOPE TRAY MARKER.
2. NEW WHITE RUBBER GASKET.
3. NEW DRIVE TRAY MARKER.
4. APPROX. OUTLINE OF EXISTING WALL BELOW.
5. ROOFING (EXISTING) TO REMAIN PATCH & REPAIR AS REQUIRED DAMAGED BY NEW WORK.

PROJECT NO.	DATE	CONTRACTOR
ISSUED FOR PERMIT	ISSUED FOR PERMIT	CONTRACTOR
ISSUED FOR PERMIT	ISSUED FOR PERMIT	CONTRACTOR
ISSUED FOR PERMIT	ISSUED FOR PERMIT	CONTRACTOR
ISSUED FOR PERMIT	ISSUED FOR PERMIT	CONTRACTOR

McDonald's
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 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT SEAL

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ARCHITECT

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DESIGNED BY APPROVED

McDonald's Restaurant
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 SURREY, BC

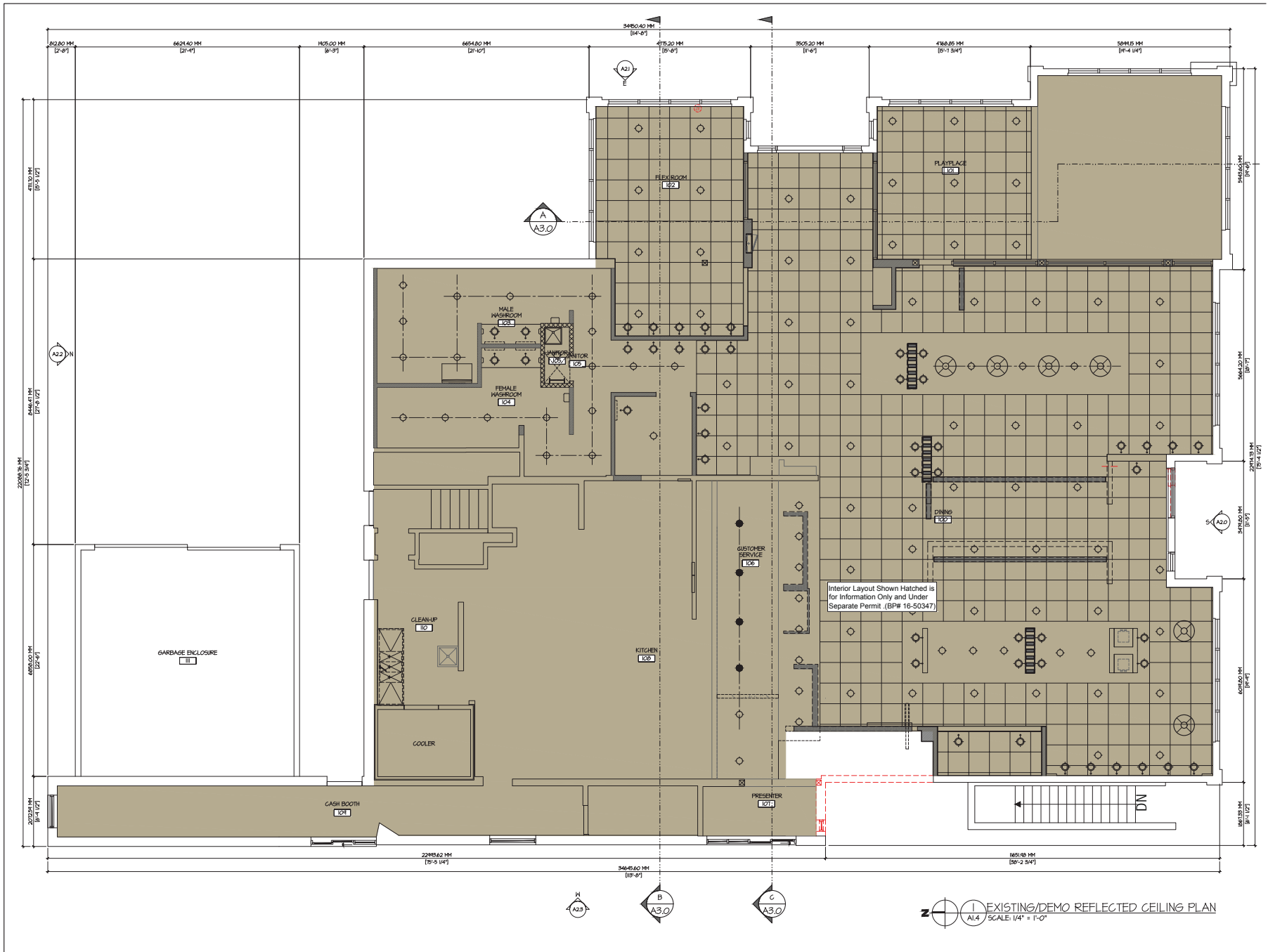
PROPOSED FLOOR PLAN

PROJECT NUMBER: 16-102 DRAWING NUMBER: A1.3

SCALE: 1/4" = 1'-0"

DATE: AUGUST 2016 REVISION: MAY 2017

NEWTON - 16-102



REV	DATE	DESCRIPTION
1	11/11/16	ISSUED FOR DP
2	12/01/16	ISSUED FOR DP
3	02/17/16	ISSUED FOR NDS REVIEW

McDonald's
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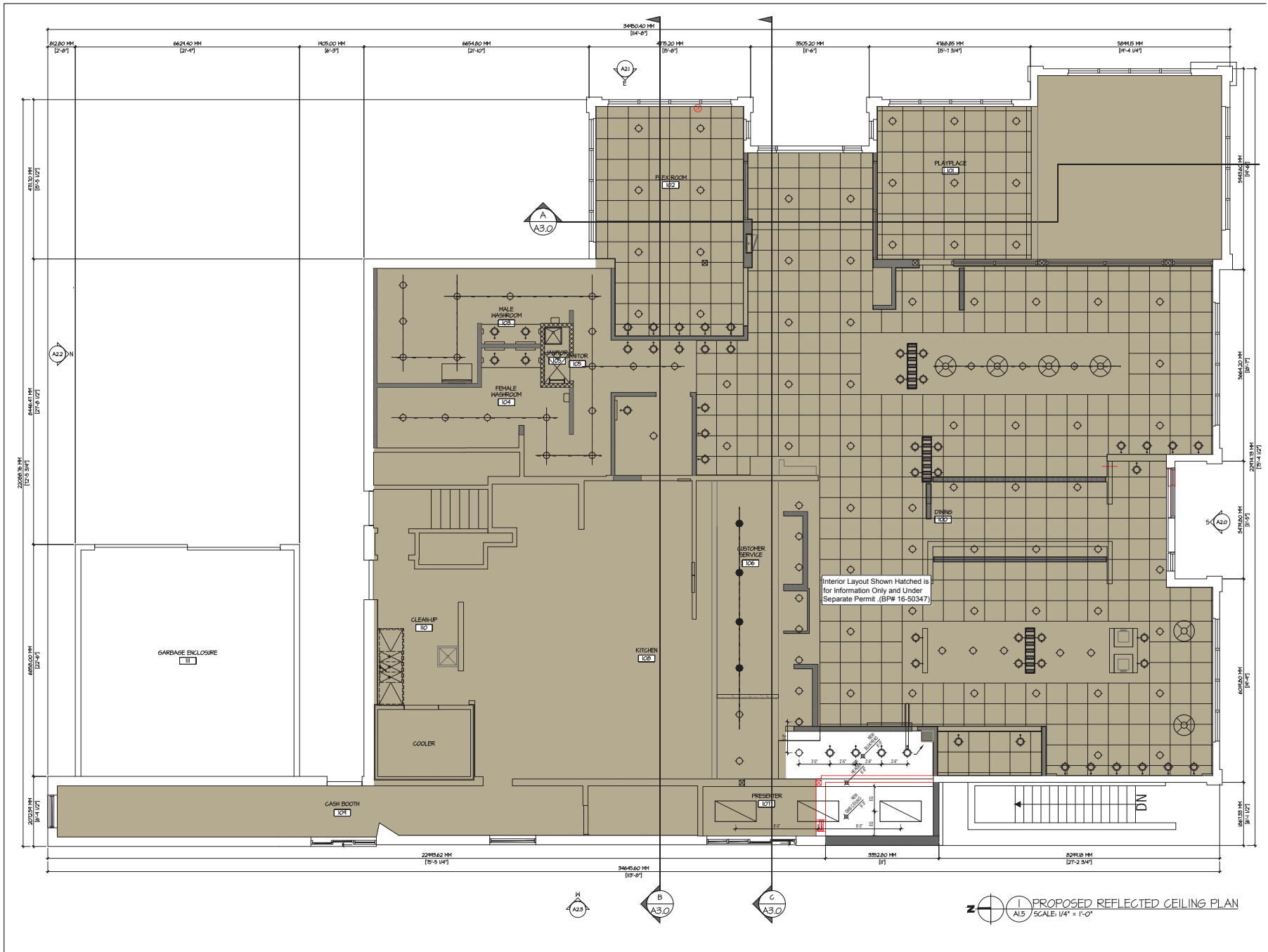
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DESIGNED BY: APPROVED:
 FS
 PROJECT: McDonald's Restaurant
 13565-12ND AVENUE,
 SURREY, BC

PROJECT NUMBER	DRAWING NUMBER
16-102	A1.4
SCALE: 1/4" = 1'-0"	Metric NATIONAL NUMBER: 6362
DATE: OCTOBER 2016	REVISION:

EXISTING/DEMO REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



NO.	DATE	REVISION	DESCRIPTION
1	10/20/16	ISSUED FOR DP	
2	10/20/16	ISSUED FOR DP	
3	10/20/16	ISSUED FOR DP	
4	10/20/16	ISSUED FOR DP	
5	10/20/16	ISSUED FOR DP	
6	10/20/16	ISSUED FOR DP	
7	10/20/16	ISSUED FOR DP	
8	10/20/16	ISSUED FOR DP	
9	10/20/16	ISSUED FOR DP	
10	10/20/16	ISSUED FOR DP	

McDonald's
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 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT

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ARCHITECT

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DRAWN BY: [Signature]
 APPROVED: [Signature]
McDonald's Restaurant
 13565-12ND AVENUE,
 SURREY, BC

PROJECT NUMBER: 16-102
 DRAWING NUMBER: A1.5
 SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 2016

PROJECT TITLE: PROPOSED REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 2016

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH

SHADED AREA DENOTES APPROX. EXTENT OF REPAIRS TO BE MADE TO EXISTING EXTERIOR TO BE REPAIRED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PROCEEDING WITH PROPOSED ELEVATION FOR REPAIRS, REPAIRS TO BE REPAIRED, TO BE REPAIRED, REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.



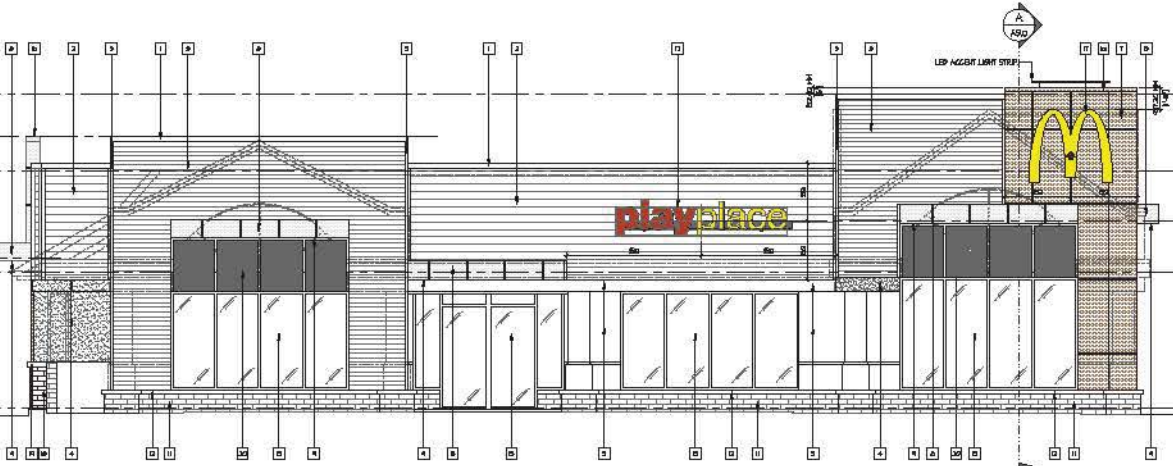
1 EXISTING SOUTH ELEVATION
A2.0 SCALE 1/4" = 1'-0"

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH

TO ROOF
22'0" PLAY AREA 02
FINISH



2 PROPOSED SOUTH ELEVATION
A2.0 SCALE 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO NOTES BEFORE APPLYING ITEMS BELOW
- EXTERIOR WALL GLAZING SMOOTH GLASSING & FINISHES NOTED TO BE REPAIRED ARE TO BE REPAIRED AND EXPRESSED BY G.C. PATCH & REPAIRWORK AS REPAIRS DETERMINED BY ARCHITECT.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REPAIRED ARE TO BE REPAIRED AND EXPRESSED BY G.C. UNLESS NOTED TO BE REPLACED. REPAIR WORK SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO COMMENCING REPAIR WORK.
- REMOVE ALL EXISTING ELECTRICAL, CULERS, LAMP FIXTURES, DOWNLIGHTS, WALL LIGHTS OR SPLIT LIGHTS TO REPAIR WORK TO FINISHES AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING INCLUDING SPLIT LIGHTS NOTED TO BE REPAIRED OR OFF ELECTRICAL FOR ELECTRICAL WORKERS REPAIR/REPLACE PATCH AND REPAIR AS NOTED REFER TO ELECTRICAL DRAWINGS FOR REPAIR WORK. LIGHTING SPECIFICATIONS AND NOTES.
- EXISTING METAL, ALUMINUM, BATHING, FLASHING, BATTLES, RISERS AND CAP FLASHING NOTED TO BE REPAIRED TO BE REPAIRED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXTERIOR CHIMNEYS TO BE REPAIRED.
- G.C. TO REPAIR ALL EXISTING VANDAL DAMAGE, SCUFFING, STAINING AND DISCOLORATION TO EXTERIOR FINISHES. REPAIRS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO COMMENCING REPAIR WORK. REPAIRS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO COMMENCING REPAIR WORK.
- EXISTING ILLUMINATED SIGNAGE & GRAPHICS NOTED TO BE REPAIRED OR REPLACED REFER TO ELECTRICAL NOTES FOR ELECTRICAL ENGINEER'S REPAIR NOTES. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY REPAIR WORK AS REPAIR AND COORDINATE WITH ELECTRICAL ENGINEER'S REPAIR NOTES.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
- PROTECT ANY EXISTING DAMAGED BRICKS TO PATCH EXISTING. ALL Voids AND CRACKS TO BE GROUT GROUTED PRIOR TO FINISHING.
- G.C. AND REPAIR AS NECESSARY ALL EXISTING BRICKS TO REPAIR WORK.
- REMOVE EXISTING SILLINGS TO REPAIR OR BUILDING PRIOR TO FINISHES. REPLACE SILLINGS UPON COMPLETION.
- REFER TO FINISHES FOR ROOF, WALL & WINDOW TO BE FINISHED SHALL BE FINISHED TO BE FINISHED WITH FINISHES PRIOR TO FINISHES. FINISHES TO BE FINISHED PRIOR TO FINISHES AND FINISHED.
- ALL EXISTING DOLLARS TO REPAIR TO BE FINISHED WHITE YELLOW.
- ALL EXISTING SILLINGS TO REPAIR TO BE FINISHED BRASS-GRADE FINISHES.
- REMOVE ALL EXISTING BRICKS AND OTHER WALL MOUNTED FIXTURES PRIOR TO FINISHES AND FINISHED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWINGS AND.

EXTERIOR FINISHES

MATERIAL	COLOR	MATERIAL	COLOR
1 PREFINISHED METAL CAP FLASHING	CANADIAN LEADERS OR TO MATCH ADJACENT FINISHES & 20% RED	11 ALUMINUM EXTERIOR DOOR/DOOR FINISHES	BRONZE ANODIZED
2 HORIZONTAL METAL SILLING ABOVE	UNPAINTED GREY (MCMC01)	12 PREFINISHED METAL BASE / TRU WALL FLASHING	CHARCOAL AC-BRUTE
3 BRICKS EXISTING - MEDIUM GREY	FINISHED BRICK PAINT (MCMC01) 1/2" x 1/2" x 1/2"	13 METAL DOORS & PARTIAL PARTIALS - MEDIUM GREY	PAINTED BRICK PAINT (MCMC01)
4 BRICKS TO MATCH EXISTING EXTERIOR (SOME SOTTED WINDOWS - MEDIUM GREY)	FINISHED BRICK PAINT (MCMC01) 1/2" x 1/2" x 1/2"	14 BRICK TO MATCH EXISTING - DARK GREY	SEE RESPONSIBILITY COLOR
5 6" x 6" GROUT TILE - SMOOTH - TOP FLOOR	CALK PLANT (MCMC01) 1/2" x 1/2" x 1/2"	15 BRICK TO MATCH EXISTING - DARK GREY	STAINED - MARRON (MCMC01) GREY
6 TRUSS GABLE END LAP JOINTS	CALK PLANT (MCMC01) 1/2" x 1/2" x 1/2"	16 BRICK TO MATCH EXISTING - DARK GREY	STAINED - MARRON (MCMC01) GREY
7 METAL PANEL - RED	WASH RED	17 ALUMINUM EXTERIOR WINDOW FINISHES	BRONZE ANODIZED
8 METAL PANEL / WINDOW - WHITE	WASH WHITE		
9 METAL PANEL SPLIT - ANODIZED	WASH WHITE		
10 PREFINISHED METAL PANEL SPLIT - ANODIZED	WASH WHITE		
11 BRICK EXISTING - DARK GREY	STAINED - MARRON (MCMC01) GREY		
12 BRICK WALL EXISTING - DARK GREY	STAINED - MARRON (MCMC01) GREY		

- ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWINGS AND.
- ALL MATERIALS FINISHES TO BE AS SHOWN.

PROPOSED ELEV. LEGEND:

(A) NATIONAL STANDARD

(B) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REPAIRED

PROPOSED ELEV. LEGEND:

(A) NATIONAL STANDARD

(B) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REPAIRED

McDonald's
MCDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, EMERYVALE, B.C. V5C 6C6

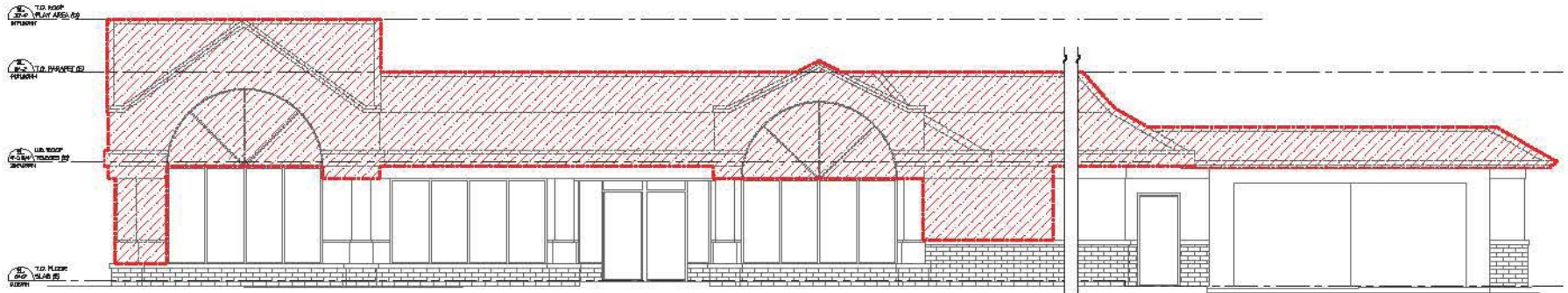
PROJECT NUMBER: 16-102
DRAWING NUMBER: A2.0
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 2016
REVISION: MAY 2017

LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
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ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 6081
MEMBER OF THE AIBC, AIA, SAA, NWTAA & RAIC ARCHITECTURAL BOARD

EXISTING & PROPOSED SOUTH ELEVATIONS

PROJECT NUMBER: 16-102
DRAWING NUMBER: A2.0
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 2016
REVISION: MAY 2017

NEWTON - 16-102



1 EXISTING EAST ELEVATION
A2.1 SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
A2.1 SCALE 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO SECTIONS OF WORK BEFORE APPLYING ITEMS BELOW
- EXTERIOR WALL GLAZING SPIGOT GLASSING & FINISHES NOTED TO BE REMOVED ARE TO BE REMOVED AND EXPRESSED BY G.C. PATCH & REFINISHING AS REQUIRED EXCEPT DAMAGED BY WIND WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND EXPRESSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS ON SITE. FINISHES PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, SWITCHES, RECEPTACLES, WALL SWITCHES OR SPOT LIGHTS TO REMAIN PRIOR TO FINISHES. REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING INCLUDING SPOT LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL FOR ELECTRICAL SHOWN. REINSTALLATION PATCH AND REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND BEAMS.
- EXISTING METAL ROOFING, BATHING FLASHING, GUTTERS, DOWNS AND GUT FLUENTS NOTED TO BE REMOVED TO BE REPAIRED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXTERIOR GUTTERS ON SITE.
- G.C. TO REPAIR ALL EXISTING VARIOUS DAMAGED, SEPARATE FLASHING AND INSULATION TO OPERATE AS INTENDED. IT WILL BE NECESSARY IF ANY ROT OR MOLD IS DISCOVERED PRODUCT HANDBOOK & WARRANTY IS TO BE NOTIFIED IMMEDIATELY FOR RE-CONSTRUCTION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWS FOR ELECTRICAL SCHEDULES RELOCATED SIGNS TO REMAIN & REPAIR EXISTING DAMAGED BY WIND WORK. AS REQUIRED COORDINATE WITH SIGNAGE CONTRACTOR.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
- PAINT ANY EXISTING DAMAGED BRICKS TO MATCH EXISTING. ALL Voids AND CRACKS TO BE GROUT GRADED PRIOR TO FINISHES.
- GLAZED AND REPAIR AS NECESSARY ALL EXISTING WINDOWS TO REMAIN UNCHANGED.
- REMOVE EXISTING SIGNAGE TO REMAIN OR BILLING PRIOR TO FINISHES. REPLACE SIGNAGE UPON COMPLETION.
- REFER TO PARTING OF ROOF, WALL & OUTSIDE WALL. QUALIFIED WILL BE REQUIRED TO BE CLEANED WITH SOLVENTS PRIOR TO FINISHES. USE OIL & GREASE EMULSION FOR MANUFACTURER'S INSTRUCTIONS.
- ALL EXISTING DOLLARS TO REMAIN TO BE PAINTED WHITE/YELLOW.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- REMOVE ALL EXISTING EXTERIOR DOORS AND OPENING WALL. HORIZONTAL FINISHES PRIOR TO FINISHES AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWINGS A0.1.

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1 PREFINISHED METAL CLIP FLASHING	CANADIAN BEARINGS OR TO MATCH ADJACENT FINISHES & DOWN EYE	8 ALUMINUM EXTERIOR DOOR/ WINDOW FINISHES EXTERIOR	BRONZE ANODIZED
2 HORIZONTAL METAL SHIMS ABOVE	CHARCOAL GREY - MCKINLEY	9 PREFINISHED METAL BASE / TRIM WALL FLASHING	CHARCOAL AC-BRITE
3 BRICKS EXTERIOR - HERRIN GREY	PAINTED BRICK (MATCH EXISTING GREY) 1/2" HD. IN	10 METAL DOORS & WINDOWS EXTERIOR - HERRIN GREY	PAINTED BRICK (MATCH EXISTING)
4 BRICKS TO MATCH EXISTING EXTERIOR (SHIM SUTTED HERRIN - HERRIN GREY)	PAINTED BRICK (MATCH EXISTING GREY) 1/2" HD. IN	11 BRICK TO MATCH EXISTING - DARK GREY	STAINED - HERRIN PRESENT GREY
5 6FT CORR CENTER TRIM - SMOOTH - TOP HERRIN	PAINTED BRICK (MATCH EXISTING GREY) 1/2" HD. IN	12 BRICK TO MATCH EXISTING - DARK GREY	SEE RESPONSIBILITY COLOUR
6 TRIM CORNER LIP SERRIN	PAINTED BRICK (MATCH EXISTING GREY) 1/2" HD. IN	13 BRICK TO MATCH EXISTING - DARK GREY	STAINED - HERRIN PRESENT GREY
7 METAL PANEL - RED	WIND RESIST	14 ALUMINUM EXTERIOR WINDOW FINISHES	BRONZE ANODIZED
8 METAL PANEL / DOWN - WHITE	TRIM WHITE		
9 METAL PANEL SPURT - ANODIZED	TRIM WHITE		
10 PREFINISHED METAL PANEL SUPPORT - ANODIZED	TRIM WHITE		
11 BRICK EXTERIOR - DARK GREY	STAINED - HERRIN CHARCOAL GREY		
12 BRICK WALL EXTERIOR - DARK GREY	STAINED - HERRIN CHARCOAL GREY		

- ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE
 - REFER TO EXTERIOR FINISH SPECIFICATION ON DWS. A0.1
 - ALL MATERIALS PLANNED TO BE IN PLACE
 - SEE EXTERIOR FINISHES FOR ACCESSIBLE COLOURS

PROPOSED ELEV. LEGEND:

EXISTING MATERIAL

EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

PROPOSED ELEV. LEGEND:

EXISTING MATERIAL

EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONTRACTOR: []
 PERMITTED FOR DP: []
 DESIGN: []
 DATE: []

CONSULTANT: []

LOVICK SCOTT ARCHITECTS

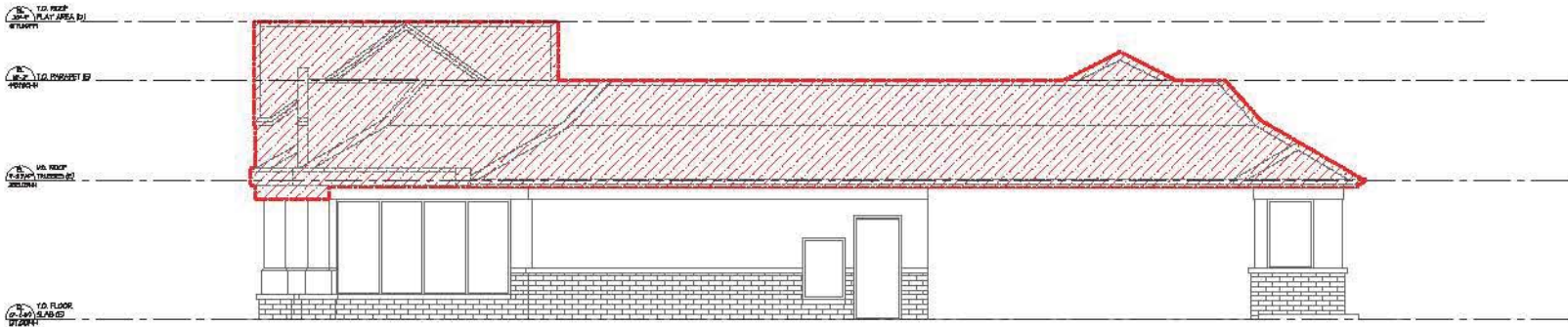
3707 1ST AVENUE
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 P: 604 298 3700 F: 604 298 6081
 MEMBER OF THE AIBC, AIA, SAA, NWTAA & RAIC

McDonald's Restaurant
 6565-124D AVENUE,
 SURREY, BC

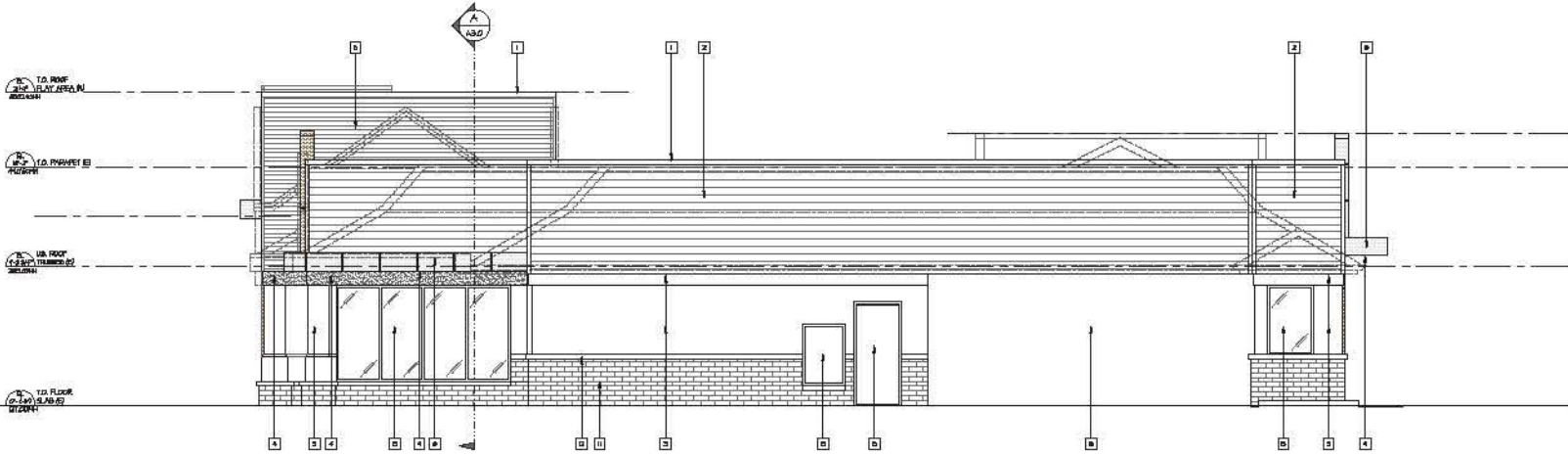
EXISTING & PROPOSED EAST ELEVATIONS

PROJECT NUMBER: 16-102
 DRAWING NUMBER: A2.1
 SCALE: 1/4" = 1'-0"
 DATE: AUGUST 2016
 REVISION: MAY 2017

NEWTON - 16-102



1 EXISTING NORTH ELEVATION
A2.2 / SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
A2.2 / SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO NOTES BEFORE APPLYING ITEMS BELOW
- EXTERIOR WALL GLAZING (SPRINT GLAZING) & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND REPOSED BY S.C. PATCH & REPAIRWORK AS REQUIRED EXCEPT DAMAGED BY WIND WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REPOSED AND REPOSED BY S.C. UNLESS NOTED TO BE RELOCATED. REAR FRONT OF NEW WINDOW WILL BE CENTERED BY EXISTING WINDOW SITE MARKER PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL, CULERS, LIGHT FIXTURES, DOWNSPOUTS, WALL LIGHTS OR SPRINT LIGHTS TO REMAIN PRIOR TO FINISHES AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REPOSED. CAP OFF ELECTRICAL FOR ELECTRICAL SHOWNERS. REPOSEMENTS PATCH AND REPAIR AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND BEAMS.
- EXISTING METAL, DOWNSPOUTS, BATHING FLASHING, BUTTERS, RISERS AND CAP FLASHING NOTED TO BE REMOVED TO BE REPOSED BY S.C. PATCH & REPAIRWORK AS REQUIRED. ALL EXTERIOR DAMAGED BY WIND WORK.
- S.C. TO REPOSE ALL EXISTING VARIOUS DAMAGED, SEPARATE FROMING AND INSULATION TO OBSERVE IF REPAIRS WILL BE NECESSARY. IF ANY ROT OR MILD IS OBSERVED PRODUCT HANDWORK & REPAIRMENTS IS TO BE NOTED IMMEDIATELY FOR RECONSTRUCTION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DINGS FOR ELECTRICAL ENGINEERS REPOSEMENTS. S.C. TO PATCH & REPAIR EXISTING DAMAGED BY WIND WORK. AS READ AND COORDINATE WITH CONTRACTORS WITH S.C. COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
- PRIME AND EXISTING DAMAGED BRICKS TO PATCH EXISTING. ALL Voids AND CRACKS TO BE GROUT GRADED PRIOR TO FINISHES.
- GLAZING AND REPAIR AS NECESSARY ALL EXISTING BRICKS TO REMAIN UNCHANGED.
- REMOVE EXISTING SILLINGS TO REMAIN OR BUILDING PRIOR TO FINISHES. REPLACE SILLINGS UPON COMPLETION.
- PRIME TO FINISHES IF ROOF, WALL & OUTSIDE WALLS SHALL BE REPOSED TO BE CLEANED WITH SOLVENTS PRIOR TO FINISHES. ALL CRACKS & GROUND DAMAGED BY WIND WORK TO BE REPAIRED. ALL CRACKS & GROUND DAMAGED BY WIND WORK TO BE REPAIRED. ALL CRACKS & GROUND DAMAGED BY WIND WORK TO BE REPAIRED.
- ALL EXISTING DOLLARS TO REMAIN TO BE PAINTED WHITE/YELLOW.
- ALL EXISTING SILLINGS TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- REMOVE ALL EXISTING EXTERIOR BRICKS AND OTHER WALL MOUNTED MATERIALS PRIOR TO FINISHES AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWINGS AND.

EXTERIOR FINISHES

MATERIAL	COLOR	MATERIAL	COLOR
1. PREFINISHED METAL CAP FLASHING	CANADIAN LOGGERS OR TO MATCH ADJACENT FINISHES & 20% GREY	BRICKS MATCHED	
2. HORIZONTAL METAL SLOPE ARMS	SPANISH GREY (MATCHED)	X. PREFINISHED METAL BASE (1/4" WALL FLASHING)	CHARCOAL AC-BOTE
3. BRICKS EXISTING - MEDIUM GREY	FINISHED DALLAS PLY (MATCHED GREY) 1/2" R	D. METAL DOWNSPOUTS & FLASHING EXISTING - MEDIUM GREY	PAINTED DALLAS PLY 1/2" R
4. BRICKS TO MATCH EXISTING EXCEPT DAMAGED BY WIND WORK - MEDIUM GREY	FINISHED DALLAS PLY (MATCHED GREY) 1/2" R	E. GUTTERS/SLOPE FLASHING - MEDIUM GREY	STAINED - MEDIUM GREY
5. 6" X 6" PORT CEMENT TILE - SMOOTH - TOP 1/2" HIGH	DALLAS PLY (MATCHED GREY) 1/2" R	F. BRICK TO MATCH EXISTING - DARK GREY	SEE REPAIRABILITY GUIDE
6. TRIM, CORNER CAP SINGS	DALLAS PLY (MATCHED GREY) 1/2" R	G. BRICK TO MATCH EXISTING - DARK GREY	STAINED - MEDIUM CHARCOAL GREY
7. METAL PANEL - RED	WIND RES.	H. BRICK BELL TOP MATCH EXISTING - DARK GREY	STAINED - MEDIUM CHARCOAL GREY
8. METAL PANEL / DOWNSPOUT - WHITE	WIND RES.	I. ALUMINUM EXTERIOR WINDOW FINISHES	BRICKS MATCHED
9. METAL PANEL SPRINT - BROWN	WIND RES.		
10. PREFINISHED METAL PANEL SPRINT - ANODIZED	WIND RES.		
11. BRICK EXISTING - DARK GREY	STAINED - MEDIUM CHARCOAL GREY		
12. BRICK WALL EXISTING - DARK GREY	STAINED - MEDIUM CHARCOAL GREY		

- ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE
 - REFER TO EXTERIOR FINISH SPECIFICATION ON DING. AND
 - ALL MATERIALS PLANNED TO BE S.C. & REPAIRWORK AS REQUIRED EXCEPT DAMAGED BY WIND WORK.

PROPOSED ELEV. LEGEND:

102 MATERIAL NUMBER

EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

EXISTING & PROPOSED NORTH ELEVATIONS

PROJECT NUMBER: 16-102
 SCALE: 1/4" = 1'-0"
 DATE: AUGUST 2016

DRAWING NUMBER: A2.2
 DATE: MAY 2017

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT

LOVICK SCOTT ARCHITECTS

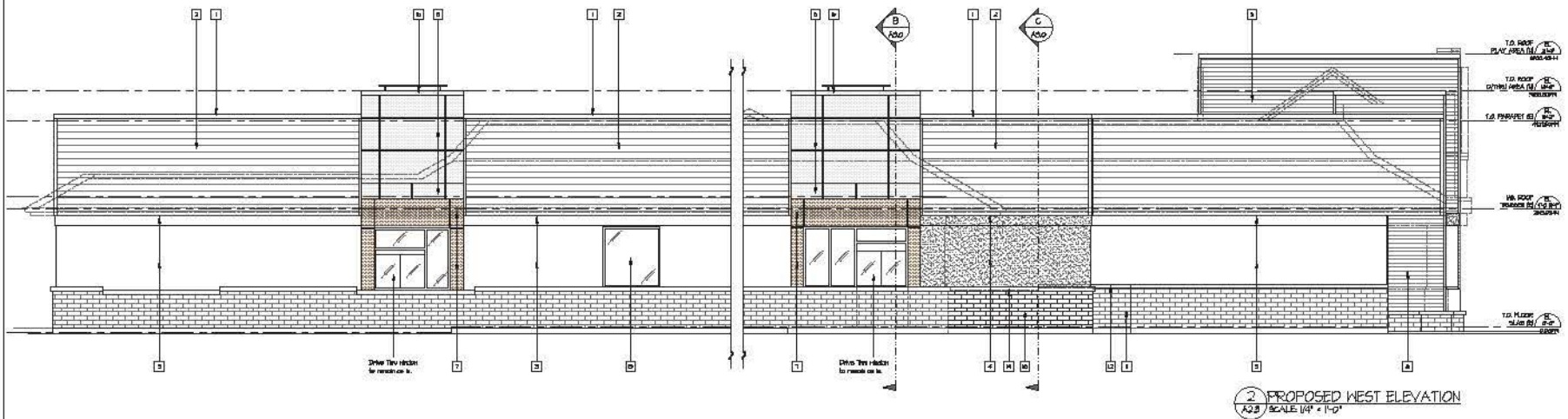
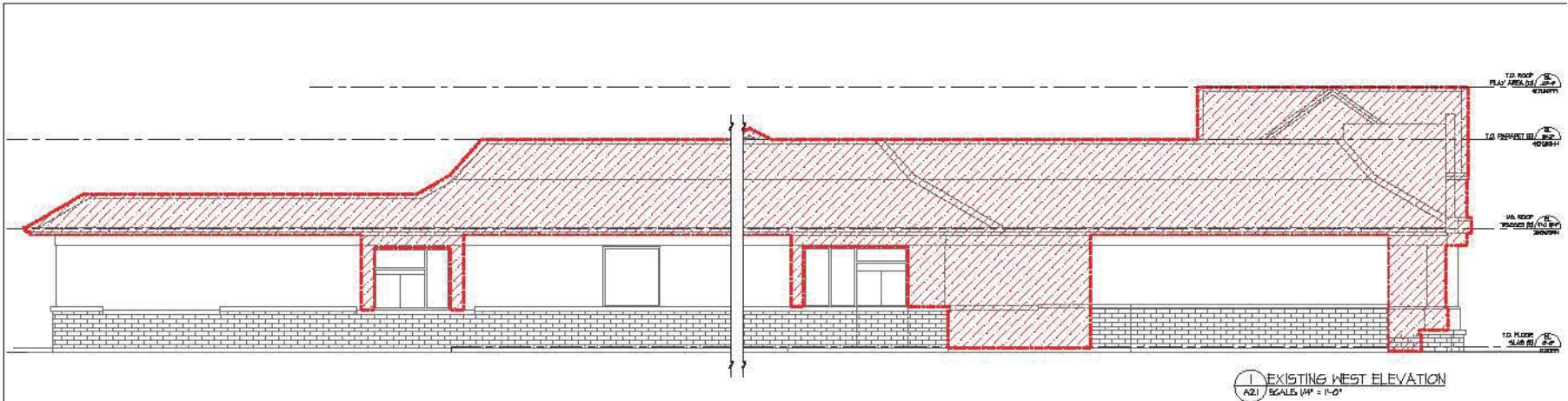
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 MEMBER OF THE AIBC, AIA, SAA, NWTAA & RAIC

EXISTING & PROPOSED NORTH ELEVATIONS

PROJECT NUMBER: 16-102
 SCALE: 1/4" = 1'-0"
 DATE: AUGUST 2016

DRAWING NUMBER: A2.2
 DATE: MAY 2017

NEWTON - 16-102



- ELEVATION NOTES:**
- REFER TO SECTIONS OF WORK BEFORE APPLYING ITEMS BELOW
 - 1. EXTERIOR WALL GLAZING SMOOTH GLASSING & FINISHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REFINISH SURFACE AS REFERRED EXISTING DAMAGED BY MECH WORK.
 - 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. REAR SIDING OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOW SIZES & FINISHES PRIOR TO ORDERING NEW WINDOWS.
 - 3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, LIGHT FIXTURES, DOORBELL, HALL LIGHTS OR SWITCH LIGHTS TO REMAIN PRIOR TO FINISHES AND REINSTALL IN SAME LOCATION AFTER.
 - 4. EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL FOR ELECTRICAL WORKERS. REINSTALL PATCH AND REPAIR AS REFERRED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND BEAMS.
 - 5. EXISTING METAL, ROOFING, BATHING FLASHING, BATTERS, DKS AND CAP FLASHING NOTED TO BE REMOVED TO BE REPAIRED BY G.C. PATCH & REPAIR AS REQUIRED. ALL COVERING DAMAGED BY MECH WORK.
 - 6. G.C. TO REPAIR ALL EXISTING VAPOR BARRIER, BATHING FLASHING AND INSULATION TO ORIGINAL IF REPAIRABLE. IF NOT REPAIRABLE, IF ANY ROT OR MILD IS OBSERVED PRODUCT HANDBOOK & WARRANTY IS TO BE NOTIFIED IMMEDIATELY FOR RE-EXAMINATION INSTRUCTIONS.
 - 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL CODES FOR ELECTRICAL ENGINEER'S RECOMMENDATIONS TO PATCH & REPAIR EXISTING DAMAGED BY MECH WORK AS REFERRED AND COORDINATE BACKLOGS/REPORTS WITH S&B COMPANY.
 - 8. FINISH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
 - 9. PATCH ANY EXISTING DAMAGED BRICKS TO MATCH EXISTING. ALL Voids AND CRACKS TO BE GROUT GROUTED PRIOR TO FINISHING.
 - 10. GROUT AND REPAIR AS NECESSARY ALL EXISTING BRICKS TO REMAIN UNREMOVED.
 - 11. REMOVE EXISTING STUCCO TO REVEAL OR BUILDING PRIOR TO FINISHES. REPLACE DAMAGED UPON COMPLETION.
 - 12. PRIOR TO FINISHING IF ROOF, WALL & OUTLET IS QUALIFIED WILL BE REQUIRED TO BE CLEANED WITH SOLVENT FREE MOP - 10% DIL & GRESSED HALF-PHOSPHOR FOR MANUFACTURER'S INSTRUCTIONS.
 - 13. ALL EXISTING DOLLARS TO REMAIN TO BE PAINTED WHITE/YELLOW.
 - 14. ALL EXISTING SIFTS TO REMAIN TO BE PAINTED EXTERIOR-GRADE WHITE.
 - 15. REMOVE ALL EXISTING EXTERIOR BATTERS AND OTHER WALL MOUNTED TRIMMED PRIOR TO FINISHING AND REINSTALLED.
 - 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
 - 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWINGS AND.

- 1. PREFINISHED METAL CLIP FLASHING
- 2. HORIZONTAL METAL SLABS ABOVE
- 3. BRICKS EXISTING - MEDIUM GREY
- 4. BRICKS TO MATCH EXISTING TYPICAL EXISTING DOTTED HATCHES - MEDIUM GREY
- 5. GUT FRONT GUTTER - SMOOTH - TOP FLOOR
- 6. TREE-GUARD LAP SIDING
- 7. METAL PANEL - RED
- 8. METAL PANEL / DORMER - WHITE
- 9. METAL PANEL SPLIT - BROWN
- 10. PREFINISHED METAL PANEL SPLIT - ALUMINUM
- 11. BRICK EXISTING - DARK GREY
- 12. BRICK WALL EXISTING - DARK GREY
- 13. ALUMINUM EXTERIOR FINISH FINISHES
- 14. BRICK TO MATCH EXISTING - DARK GREY
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- 99. BRICK TO MATCH EXISTING - DARK GREY
- 100. BRICK TO MATCH EXISTING - DARK GREY

MATERIAL		EXTERIOR FINISHES	
MATERIAL	COLOR	MATERIAL	COLOR
1. PREFINISHED METAL CLIP FLASHING	CANADIAN LOG-BOARDS OR TO MATCH ADJACENT FINISHES & 20% RED	ALUMINUM EXTERIOR FINISH FINISHES EXISTING	BRICKS MATCHED
2. HORIZONTAL METAL SLABS ABOVE	CHARCOAL GREY MICROLITE	X. PREFINISHED METAL BASE / TRU WALL FLASHING	CHARCOAL-GC-NOTE
3. BRICKS EXISTING - MEDIUM GREY	PAINTED DULL PAINT WHITE GREY 1/2" DIL IN	D. METAL DOORS & PARTIAL EXISTING - MEDIUM GREY	PAINTED DULL PAINT 1/2" DIL IN
4. BRICKS TO MATCH EXISTING TYPICAL EXISTING DOTTED HATCHES - MEDIUM GREY	PAINTED DULL PAINT WHITE GREY 1/2" DIL IN	E. GUTTER	SEE REFERRED LIST COLOR
5. GUT FRONT GUTTER - SMOOTH - TOP FLOOR	PAINTED DULL PAINT WHITE GREY 1/2" DIL IN	F. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
6. TREE-GUARD LAP SIDING	PAINTED DULL PAINT WHITE GREY 1/2" DIL IN	G. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
7. METAL PANEL - RED	WHITE	H. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
8. METAL PANEL / DORMER - WHITE	WHITE	I. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
9. METAL PANEL SPLIT - BROWN	WHITE	J. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
10. PREFINISHED METAL PANEL SPLIT - ALUMINUM	WHITE	K. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
11. BRICK EXISTING - DARK GREY	SHARED - MEDIUM CHARCOAL GREY	L. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR
12. BRICK WALL EXISTING - DARK GREY	SHARED - MEDIUM CHARCOAL GREY	M. BRICK TO MATCH EXISTING - DARK GREY	SEE REFERRED LIST COLOR

PROPOSED ELEV. LEGEND:

(1) MATERIAL NUMBER

(2) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

PROPOSED ELEV. LEGEND:

(1) MATERIAL NUMBER

(2) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 0G6

LOVICK SCOTT ARCHITECTS
 3707 1ST AVENUE
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EXISTING & PROPOSED WEST ELEVATIONS

PROJECT NUMBER: 16-102
 DRAWING NUMBER: A23
 SCALE: 1/4" = 1'-0"
 DATE: AUGUST 2016
 REVISION: MAY 2017



1 PROPOSED SOUTH ELEVATION
A24 SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
A24 SCALE 1/4" = 1'-0"

APPROVED FOR I/P		DESIGNED FOR I/P		CHECKED FOR I/P		DATE	PRICE	CORPORATION
McDONALD'S RESTAURANTS OF CANADA LIMITED 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6								

CONSULTANT SEAL

ARCHITECT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

LOVICK SCOTT ARCHITECTS

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 ARCHITECTURAL SEAL

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DRAWN BY: **ES**
 PROJECT: **McDonald's Restaurant**
6865-12ND AVENUE,
SURREY, BC

DRAWING: **COLOURED ELEVATION**

PROJECT NUMBER 16-102	DRAWING NUMBER A24
SCALE 1/4" = 1'-0"	DATE SEPT 18 - 2016
DATE SEPT 18 - 2016	REVISION HAY 11 / 2017



1 PROPOSED NORTH ELEVATION
A25 / SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
A25 / SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE

McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

CONSULTANT SEAL

 CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
 ARCHITECT
 **LOVICK SCOTT ARCHITECTS**

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DRAWN BY: APPROVED:

PROJECT:
McDonald's Restaurant
 3765-12ND AVENUE,
 BURNABY, BC

DRAWING:

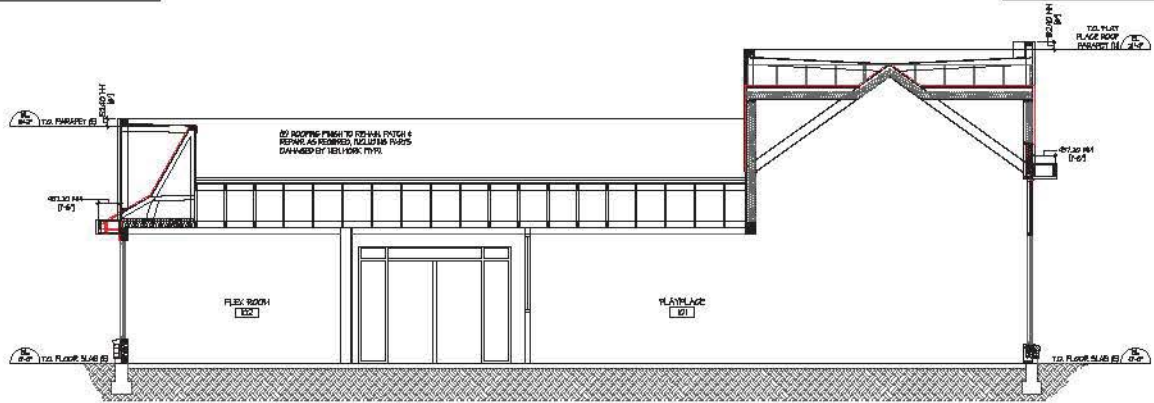
COLOURED ELEVATIONS

PROJECT NUMBER 16-102	DRAWING NUMBER A25
SCALE 1/4" = 1'-0"	BDS NATIONAL NUMBER
DATE SEPT 18 - 2016	REVISION MAY 11 / 2017

NEWTON - 16-102

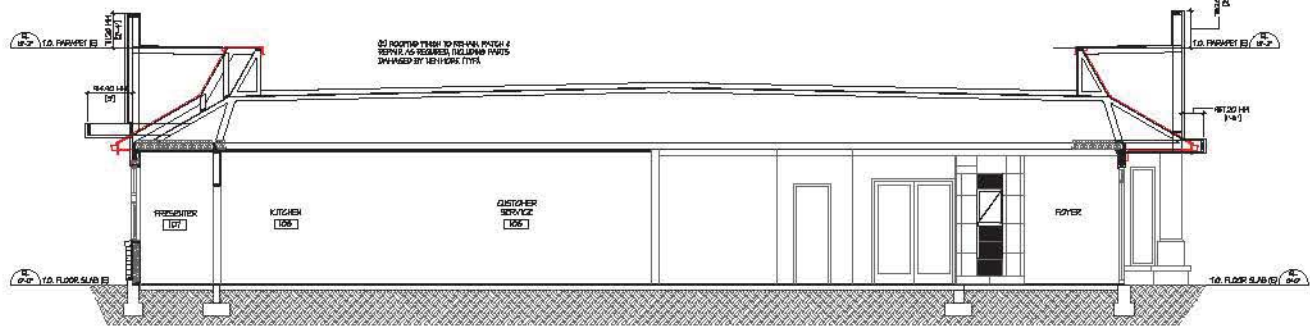
CHANGES EXISTING TO BE REPEATED

CHANGES EXISTING TO BE REPEATED



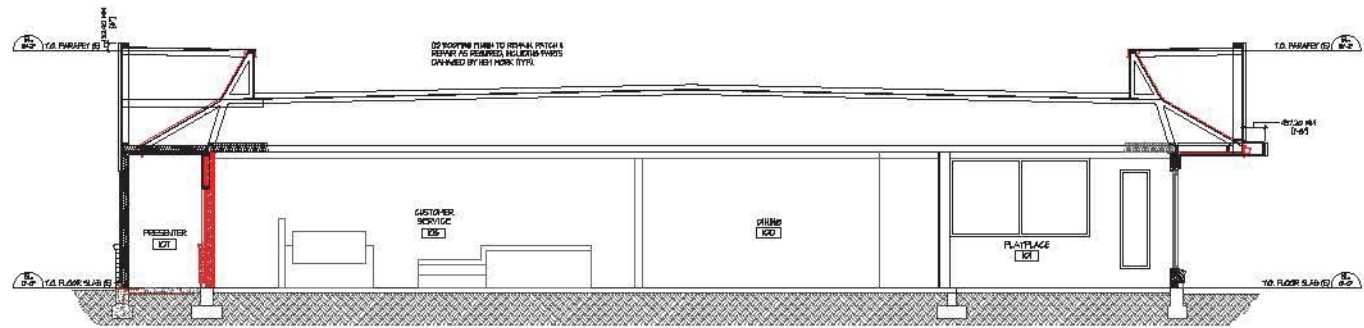
1 BUILDING SECTION - A
A-B / SCALE: 1/4" = 1'-0"

CHANGES EXISTING TO BE REPEATED



2 BUILDING SECTION - B
A-B / SCALE: 1/4" = 1'-0"

CHANGES EXISTING TO BE REPEATED



3 BUILDING SECTION - C
A-B / SCALE: 1/4" = 1'-0"

PROJECT NUMBER	16-102	DRAWING NUMBER	A3.0
SCALE	1/4" = 1'-0"	DATE	SEP 18 2016
DATE	SEP 18 2016	REVISION	
DESIGNED BY	J.S.	CHECKED BY	J.S.
DRAWN BY	J.S.	DATE	
PROJECT NAME	McDonald's Restaurant		
PROJECT ADDRESS	3707 1ST AVENUE, BURNABY, BC V5C 3V6		
CLIENT	MCDONALD'S RESTAURANTS OF CANADA LIMITED		
CLIENT ADDRESS	4400 STILL CREEK DRIVE, BURNABY, BC V5C 6C6		

CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
 BURNABY, B.C. V5C 3V6
 ADMIN@LOVICKSCOTT.COM
 P: 604 298 3700 F: 604 298 6081
 MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC
 ARCHITECTURAL SEAL

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DESIGNED BY: J.S.
 PROJECT: McDonald's Restaurant
 3707 1ST AVENUE, BURNABY, BC

DRAWING: BUILDING SECTIONS A, B & C
 PROJECT NUMBER: 16-102
 DRAWING NUMBER: A3.0
 SCALE: 1/4" = 1'-0"
 DATE: SEP 18 2016

NEWTON - 16-102

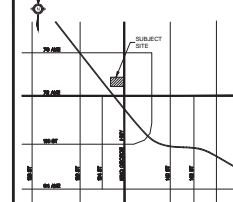
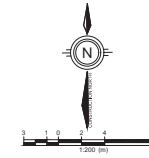
McDonald's PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	CAL. SIZE	COND.	MATURE HEIGHT	MATURE SPREAD	O.C.	QTY.
SHRUBS AND PERENNIALS								
01	<i>Cornus Grayi</i>	Grace Shruble Tree	60cm	3 gal.	2.0	2.0	1.0	3
02	<i>Abutilon Crispum</i>	Queen Gem Bougainvillea	30cm	3 gal.	1.0	1.0	0.5	20
03	<i>Andropogon distachyoides</i>	Elephantgrass	1 gal.	1 gal.	0.1	0.1	0.5	100
04	<i>Pennisetum alopecuroides</i>	Hemlock Foxtail Grass	2 gal.	2 gal.	0.3	0.3	0.5	215

NOTE: ANY SPECIES SUBSTITUTIONS MUST BE TO THE SATISFACTION OF THE MUNICIPALITY.

LANDSCAPE NOTES:

- INSTALL ALL PLANT MATERIAL TO MUNICIPAL STANDARDS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BC/SARACOLA LANDSCAPE STANDARDS - LATEST EDITION. AREA OF SEARCH: BRITISH COLUMBIA, WASHINGTON AND OREGON. PROVIDE DISEASE AND PEST FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION. ALL PLANT MATERIAL TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM BY OTHERS.
- COMPLETE ALL WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
- NEED ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SERVICE LOCATIONS.
- EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE SERVICES SUCH AS HYDRO VALVES, METERS, UTILITY POLES, ETC.
- ALL PLANT MATERIAL LOCATIONS TO BE STAKED OR MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SUPPLY ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK - LATEST EDITION. INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN.
- DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SHREDED CONIFER BARK MULCH (SUCH AS CANADA RED OR GROUND BARK 50% MULCH, OR APPROVED EQUIVALENT. ALTERNATIVE MULCHES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO UTILITY LAYOUT DIMENSIONS WHERE PROVIDED.
- PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
- ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE. NO EXTRACTS WILL BE PAID TO COMPLETE THIS WORK.
- SUPPLY AND PLACE TOPSOIL IN ACCORDANCE WITH DBSS 2013 751 TO A MINIMUM DEPTH OF 150MM UNLESS OTHERWISE SPECIFIED.
- SUPPLY AND PLACE SOIL IN ACCORDANCE WITH DBSS 2013 751/752 UNLESS OTHERWISE SPECIFIED.
- SUPPLY AND PLACE SEED IN ACCORDANCE WITH DBSS 2013 707 UNLESS OTHERWISE SPECIFIED. ALL 5:1 OR GREATER SLOPES TO BE SEEDED WITH TACKIFIER. CONTRACTOR PROVIDE NECESSARY EROSION CONTROL PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION.
- ALL DIMENSIONS IN METERS UNLESS OTHERWISE NOTED.
- IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
- CONTRACTOR TO PROVIDE MINIMUM TWO (2) YEAR WARRANTY FROM DATE ACCEPTED OR ALL WORK UNLESS OTHERWISE SPECIFIED.
- ANY SITE PLAN OR GRADING AND SERVICES SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DRAINAGE.
- NOT FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT.
- DRAWINGS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT.
- APPROVAL OF LANDSCAPE PLAN TO BE OBTAINED FROM MUNICIPALITY.
- FOR GRADING AND SERVICES INFORMATION REFER TO THE CONSULTING ENGINEER'S DRAWINGS.
- FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL CONSULTANT'S DRAWINGS.



KEY MAP - N.T.S.

LEGEND

- EX. TREE TO REMAIN
- EX. TREE TO BE REMOVED
- TEMPORARY TREE PROTECTION FENCING D1 ON LP2
- CONCRETE PAVING
- PAVEMENT
- PROPOSED DECIDUOUS SHADE TREE
- PROPOSED DECIDUOUS SHRUB
- PROPOSED CONIFEROUS SHRUB
- PROPOSED BROAD-LEAF EVERGREEN SHRUB
- PROPOSED PERENNIALS
- PROPOSED ORNAMENTAL GRASSES
- PLANT SPECIES
- QUANTITY
- DETAIL NUMBER
- SHEET NUMBER

DATE	BY	ISSUED FOR	DESCRIPTION

REVISIONS

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 4400 Still Creek Drive
 Burnaby, BC
 V5C 6C8
 Tel: 604-294-2181

IBI GROUP
 308 - 30 Eglington Avenue West
 Mississauga ON L5R 3E7 Canada
 tel 905 890 3550 fax 905 890 7081
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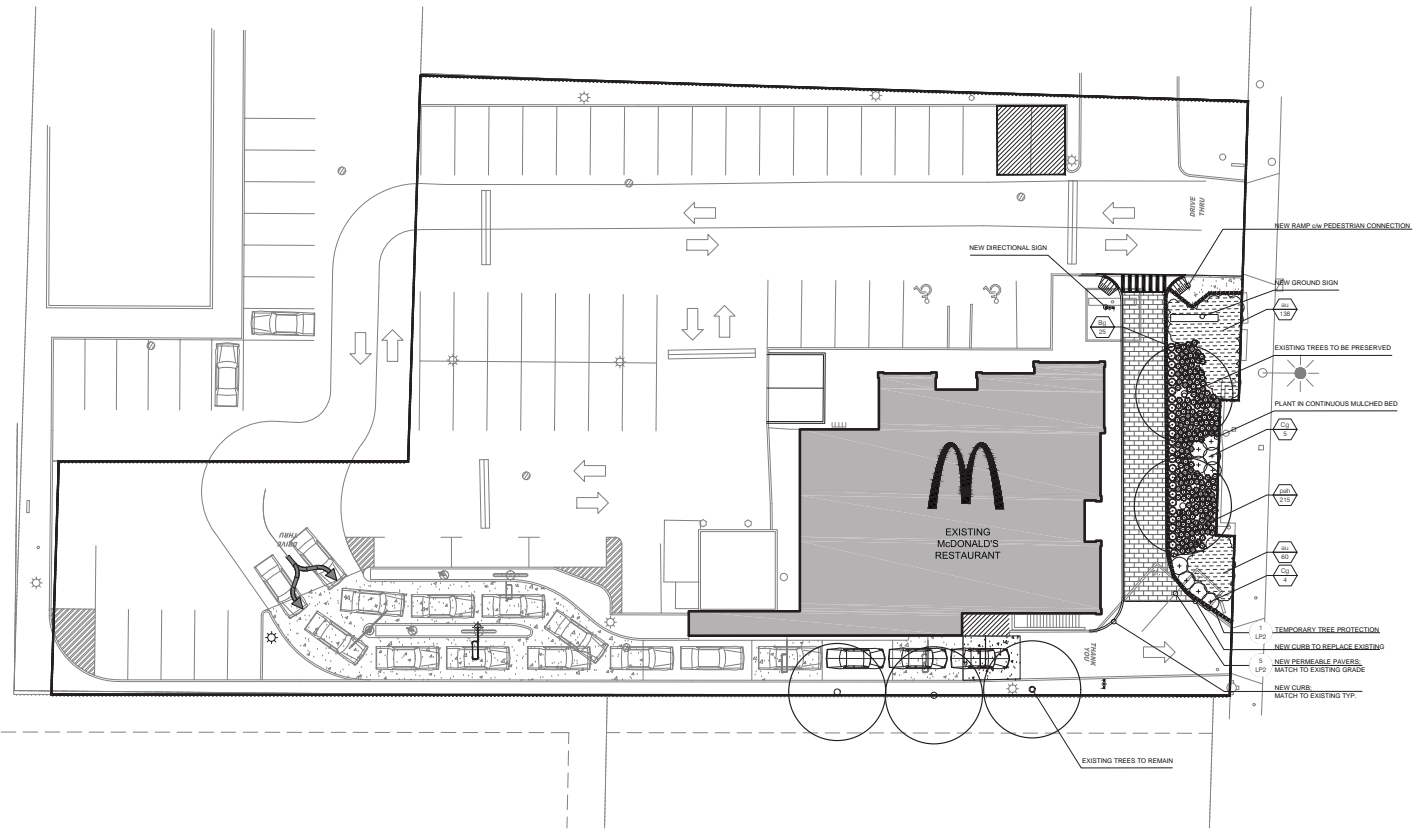
NEWTON

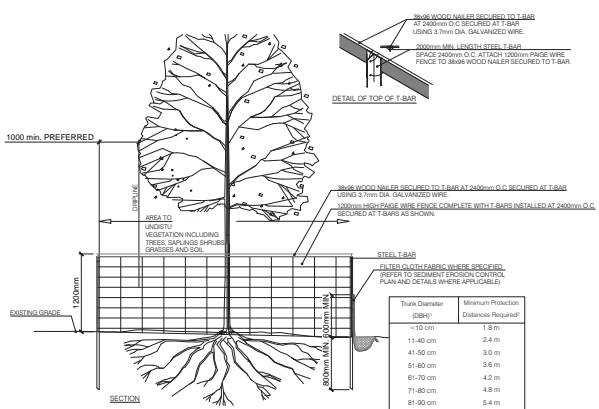
McDONALD'S RESTAURANTS OF CANADA LIMITED
 13665 72nd AVE
 SURREY, BC

LANDSCAPE PLAN

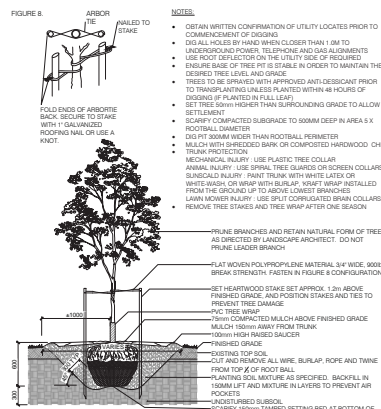
DESIGNED BY	TO SCALE	AS NOTED

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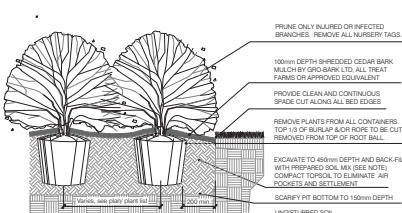
- ### 1 TREE PRESERVATION FENCING
- LP2** N.T.S.
- ALL EXISTING TREES TO REMAIN ON SITE, OR ON ADJACENT PROPERTIES, SHALL BE TAGGED AND FULLY PROTECTED WITH FENCING BEYOND THEIR DRLINE TO THE SATISFACTION OF THE CITY. TREE PROTECTION ZONES MAY BE EXPANDED AS REQUIRED BASED ON THE SPECIES OF THE TREE. THESE BARRIERS ARE CREATED TO PROTECT THE ROOTS, TRUNKS AND BRANCHES DURING DEVELOPMENT, AS WELL AS THE UNDERSTOREY AND BRUSHCOVER. SHALL LOT BY LOT TREE PROTECTION REQUIRES SIGN FENCING WITH METAL POST ENCLOSURES. LONG TERM DEVELOPMENT CONSTRUCTION REQUIRES SPECIAL PAGE WIRE FENCING OR PLWOOD TO A MINIMUM HEIGHT OF 1.2m.
 - FENCES SHALL BE LOCATED AT A MINIMUM OF 0.5 TIMES THE CROWN RADII OF THE TREE FROM THE DRLINE, 360 DEGREE AROUND THE PERIMETER OF INDIVIDUAL OR CLUSTERED TREES.
 - AREAS WITHIN THE TREE PROTECTION ZONE SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS, STRUCTURES OR EQUIPMENT. THIS TREE PROTECTION ZONE SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SITE CLEARANCE, DEMOLITION, OR ANY TYPE OF CONSTRUCTION.
 - SURPLUS SOIL, EQUIPMENT, VEHICLES, TOOLS, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE TREE PROTECTION ZONE. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
 - TREE ROOTS TYPICALLY SPREAD WELL BEYOND THE DRLINE OF TREES. UP TO 3.5 TIMES THE DRLINE RADII, AND ARE LOCATED PREDOMINANTLY IN THE TOP 30CM OF SOIL. AS THIS AREA IS NOT PROTECTED, ACTIVITY SHOULD BE KEPT TO A MINIMUM TO PREVENT ROOT DAMAGE AND SOIL COMPACTION. WHERE ROOT SYSTEMS OF TREES ARE EXPOSED OR DAMAGED BY CONSTRUCTION WORK, THE CITY MUST BE ADVISED FIRST BEFORE THE ROOTS ARE TRIMMED NEATLY AND THE AREA BACK-FILLED WITH TOPSOIL.
 - EQUIPMENT SHALL NOT COMPACT SOIL OVER THE ROOT ZONE OF EXISTING TREES. TO AVOID DAMAGE TO TREES THAT AREA TO BE PROTECTED, ACCESS ROUTES MUST BE ESTABLISHED AWAY FROM PROTECTED AREAS. ALL ACCESS ROUTES REGARDLESS OF HOW TEMPORARY, MUST BE IDENTIFIED AND APPROVED BY THE CITY.
 - WRITTEN PERMISSION MUST BE OBTAINED FROM THE CITY PRIOR TO COMMENCING WORK SUCH AS TUNNELING, TOPPEDING, CLOSING OR FENCING WITHIN THE DRLINE OF ANY TREE TO MINIMIZE ROOT INJURY AND AVOID SOIL COMPACTION.
 - WHEREVER POSSIBLE AVOID CUTTING SURFACE ROOTS DURING EXCAVATION IF ROOT CUTS ARE NECESSARY, IT SHOULD BE DONE QUICKLY MAKING FLUSH CUTS WHILE SURFERRED BY AN INSPECTOR OR FORESTRY REPRESENTATIVE. THE ROOTS SHALL BE SHOVELLED AND WATERED BEFORE THEY HAVE A CHANCE TO DRY OUT. WHERE ROOTS REQUIRE REMOVAL, THERE MAY BE A SUBSEQUENT DECLINE WITHIN THE TREE CANOPY. BRANCHES SHOULD ONLY BE REMOVED IF DEBRACK OCCURS.
 - WHERE LABEL OR PORTIONS OF TREES ARE DAMAGED OR MUST BE REMOVED FROM CITY OWNED TREES TO ACCOMMODATE CONSTRUCTION WORK, CITY FORESTRY PERSONNEL IN ACCORDANCE WITH ACCEPTED ARBORICULTURE PRACTICES, WILL REMOVE THE MEASURES SHALL BE TAKEN TO PREVENT ANY FURTHER DAMAGE.
 - UNLESS AUTHORIZED, ALL INDIVIDUALS SHALL AVOID DISTURBING ORIGINAL GRADES AROUND TREES IN AREAS OF THE TREE PROTECTION ZONE. IN ADDITION, ROAD GRADES SHOULD MATCH TOPOGRAPHY AT THE CURB LINES TO MAXIMIZE TREE RETENTION IN BOULEVARDS AND FRONT YARDS. IF GRADES AROUND PROTECTED TREES ARE LIKELY TO CHANGE, THE DEVELOPER AND THEIR AGENTS SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DUMP WALLS, RETAINING WALLS AND ROOT FEEDINGS TO THE SATISFACTION OF THE CITY.
 - NO CABLES, HOSES SHALL BE WRAPPED AROUND OR INSTALLED IN OR ON ANY TREE THAT IS TO REMAIN AFTER CONSTRUCTION. NOR SHALL IT HAVE SIGNS OR FENCES NAILED TO IT, OR BURIED MARKINGS OR PAINT APPLIED TO IT.
 - ALL VEGETATION WITHIN THE TREE PROTECTION ZONE, INCLUDING TREES, SHRUBS, GRASSES ARE TO BE WATERED, AND MAINTAINED TO AN ACCEPTABLE LEVEL AS REQUIRED.
 - THE CITY SHALL BE NOTIFIED TO INSPECT ALL TREE PROTECTION ZONES. THESE MEASURES SHALL REMAIN IN EFFECT UNTIL THE COMPLETION OF THE WORK AT WHICH TIME THE AUTHORIZATION FROM THE CITY MUST BE OBTAINED BEFORE REMOVAL.
 - THE CITY MUST BE NOTIFIED IMMEDIATELY WHEN ANY MANUALLY OWNED TREE IS INJURED OR DESTROYED DURING CONSTRUCTION OR DEVELOPMENT.
 - ALL CONSTRUCTION WITHIN TREE PROTECTION FENCING IS TO BE HANDWORKED (NO MACHINERY) IN ACCORDANCE WITH THE VEGETATION MANAGEMENT NOTATION PROVIDED WITH THE TEMPORARY FENCING DETAIL. CONSULT WITH A QUALIFIED ARBORIST PRIOR TO COMMENCEMENT OF WORKS WITHIN THE TREE PROTECTION ZONES.



2 BALLED & BURLAPPED/ WIRE BASKET DECIDUOUS TREE
LP2 N.T.S.

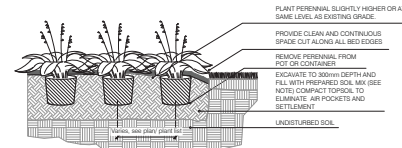
- ### NOTES
- OBTAIN WRITTEN CONFIRMATION OF UTILITY LOCATES PRIOR TO COMMENCEMENT OF DIGGING.
 - DISJAL HOLES BY HAND WHEN CLOSER THAN 1.0M TO UNDERGROUND POWER, TELEPHONE AND GAS ALIGNMENTS.
 - USE ROOT PROTECTION ON THE UTILITY SIDE OF REQUIRED.
 - ENSURE BASE OF TREE IS STABLE IN ORDER TO MAINTAIN THE DESIRED TREE LEAD AND CANOPY.
 - TREES TO BE SPRAYED WITH ANTI-DESICCANT PRIOR TO TRANSPORTATION UNLESS PLANTED WITHIN 48 HOURS OF DROPPING (IF PLANTED IN FULL LEAF).
 - SET TREES DOWN HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
 - SCAFFY COMPACT SUBGRADE TO 100MM DEEP IN AREA 5 X FOOTBALL DIAMETER.
 - DO NOT USE MOAR MORE THAN 100MM BALL PERIMETER.
 - TRUNK PROTECTION.
 - MULCH WITH SPREAD BARK OR COMPOSTED HARDWOOD CHIPS.
 - MECHANICAL INJURY: USE PLASTIC TREE COLLAR.
 - ANIMAL INJURY: USE SPIRAL TREE GUARDS OR SCREEN COLLARS.
 - SOIL: PLANT WITH WHITE LATES OR WHITE ANASH OR WRAP WITH BURLAP. WRAP WRAP INSTALLED FROM THE GROUND UP TO AVOID OVERHANGING BRANCHES.
 - LAWN MOWER INJURY: USE SPLIT CORRUGATED BRON COLLARS.
 - REMOVE TREE STAKES AND TREE WRAP AFTER ONE SEASON.

- PRUNE BRANCHES AND RETAIN NATURAL FORM OF TREE AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT PRUNE LEADER BRANCH.
- FLAT WOVEN POLYPROPYLENE MATERIAL 3/4" WIDE, 9000LB BREAK STRENGTH. FASTEN IN FINGER & CONFIGURATION.
- SET TRUNKWOOD EDGE 3ET APPROX. 1.5" ABOVE FINISHED GRADE. AND POSITION STAKE AND TIES TO PREVENT THE DAMAGE.
- PVC TREE WRAP.
- 100MM HIGH RIMMED SAUCER.
- MULCH 150MM AWAY FROM TRUNK.
- FINISHED GRADE.
- EXISTING TOP SOIL.
- CUT AND REMOVE ALL WIRE, BURLAP, ROPE AND TWINE FROM TOP X/2 OF ROOT BALL.
- BACKFILL WITH MIXTURE AS SPECIFIED. BACKFILL IN 150MM LIFT AND MIXTURE IN LAYERS TO PREVENT AIR POCKETS.
- UNDISTURBED SUBSOIL.
- SCAFFY 150MM THICK SETTING BED AT BOTTOM OF TREE PIT.



3 BALLED AND BURLAPPED/POTTED SHRUB
D-1 N.T.S.

- ### NOTES
- SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL, ONE (1) PART WELL ROTTED COMPOST.
 - SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 - ALL DIMENSIONS ARE IN MM.
 - IN POORLY DRAINED SOILS PLANT SHRUB SLIGHTLY HIGHER THAN ADJACENT GRADE.
 - ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.



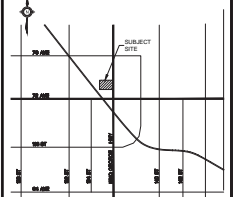
4 CONTAINER GROWN PERENNIAL/GRASS
D-1 N.T.S.

- ### NOTES
- SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL, ONE (1) PART WELL ROTTED COMPOST.
 - SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 - ALL DIMENSIONS ARE IN MM.
 - CUT AND REMOVE CONTAINER. SCAFFY ROOTBALL SIDES.
 - ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.



5 PERMEABLE PAVERS
D-1 N.T.S.

- CONTRACTOR SHALL PROVIDE 70MM MULCH FOR ALL PERENNIALS EXCEPT GRASS COVERS UNLESS SPECIFIED OTHERWISE.



NO.	DATE	BY	ISSUED FOR	DESCRIPTION
1	2016-12-16	TO	ISSUED FOR OP	
1	DATE	BY	REVISION	DESCRIPTION

McDonald's Restaurants of Canada Ltd.
4400 Still Creek Drive
Burnaby, BC
V5C 6C8
Tel: 604-294-2181

IBI GROUP
308 - 30 Eglinton Avenue West
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ibigroup.com

NEWTON

MCDONALD'S RESTAURANTS OF CANADA LIMITED
13665 72nd AVE
SURREY, BC

DETAILS

DESIGNED BY: TO SCALE AS NOTED
DRAWN BY: TO PLAN & SECTION
CHECKED BY: TO NUMBER 103858
DATE: 2016.11.11 SHEET NUMBER: 1/1

LAST SAVED BY: Shereen@ibi.com, Friday, November 11, 2016 2:24:34 PM. PLOTTED BY: Shereen@ibi.com, Thursday, December 15, 2016 2:08:52 PM.