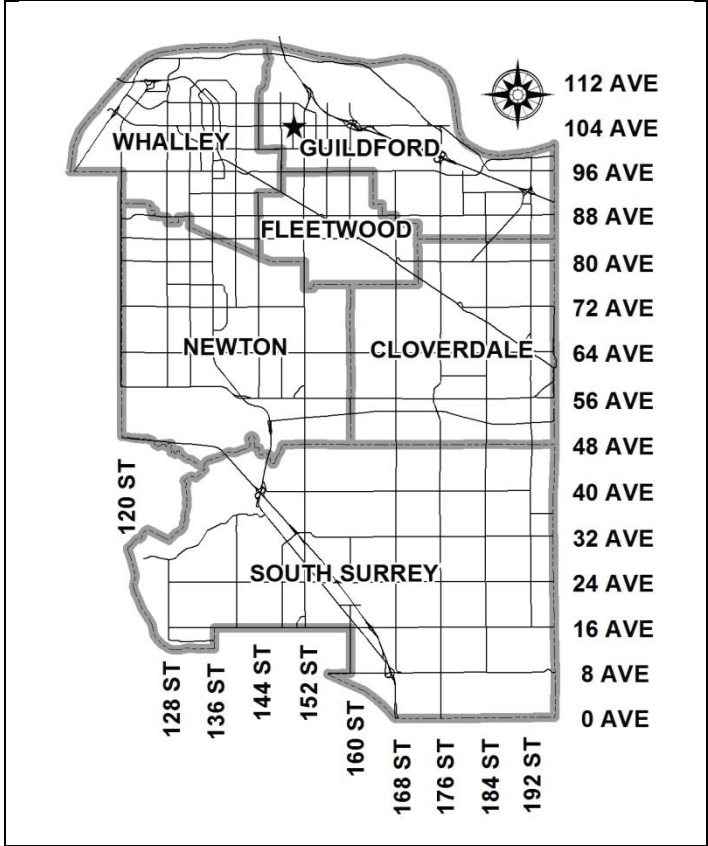


City of Surrey  
PLANNING & DEVELOPMENT REPORT

File: 7916-0705-00

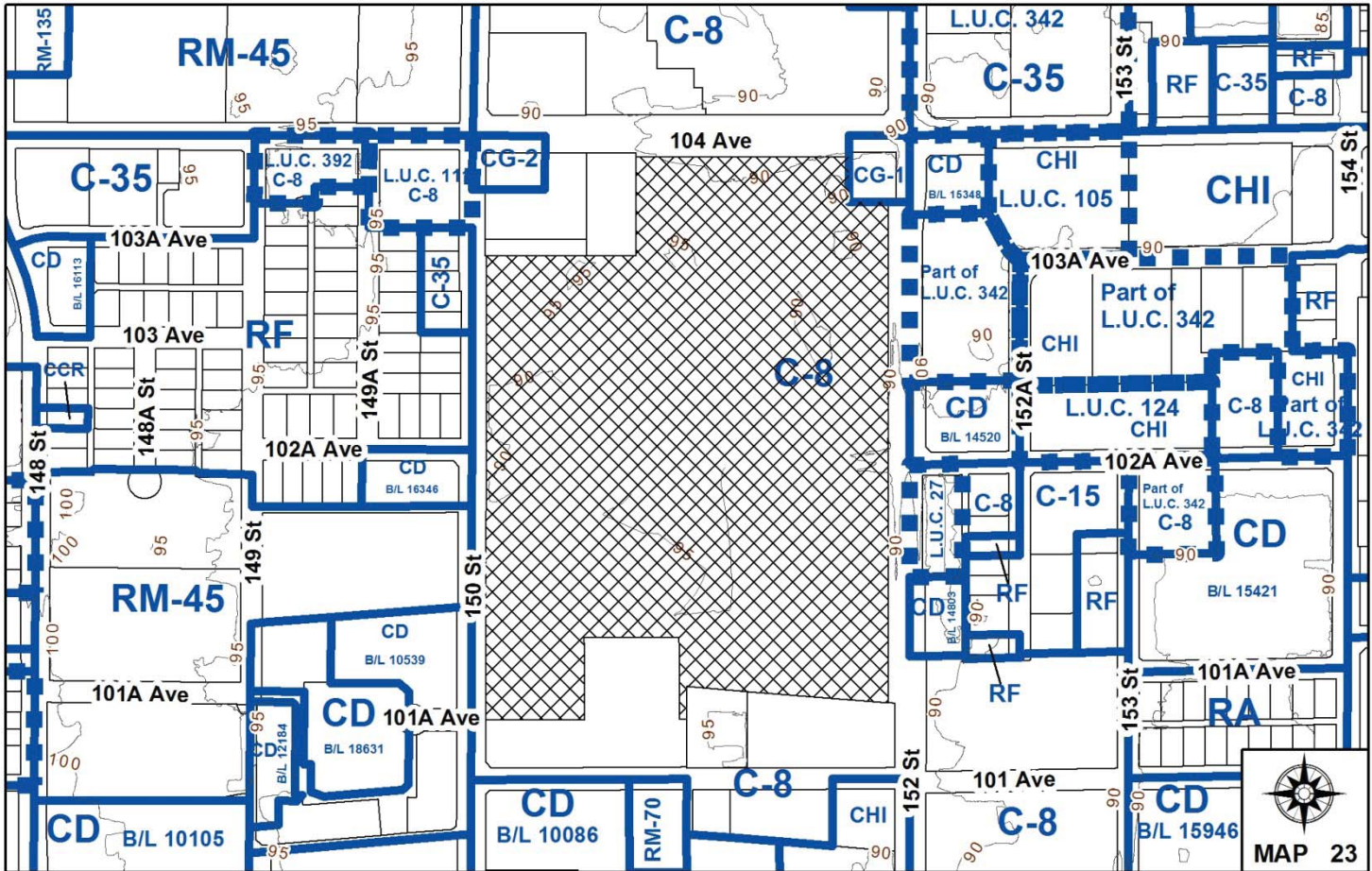
Planning Report Date: March 6, 2017



PROPOSAL:

- **Development Permit**  
to allow additional fascia signs and minor exterior building renovations for an existing restaurant on the Guildford Town Centre Mall site.

**LOCATION:** 10181 – 152 Street  
**OWNER:** 4239431 Canada Inc.  
**ZONING:** C-8  
**OCP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the Sign By-law to increase the maximum permitted sign area, to allow two (2) additional fascia signs and to allow an additional fascia sign to be installed above the building roofline for an existing restaurant (White Spot) on the Guildford Town Centre Mall site.

### RATIONALE OF RECOMMENDATION

- Due to the relocation of the sidewalk and the widening of the boulevard along the west side of 152 Street, a free-standing sign for the White Spot restaurant was removed in 2014. Currently, the only fascia signage on the White Spot building faces west towards the internal parking lot. The proposed fascia signage on the north and east building elevations will improve exposure along 152 Street, in place of the free-standing sign that was removed.
- The proposed locations of the fascia signs, including the roof sign, are appropriate and have been comprehensively designed and integrated. The proposed signs consist of high quality materials and are appropriate in scale.
- The applicant also proposes exterior improvements to the building, including a new wood trellis structure, new paint and culture stone cladding.
- The proposed fascia signage and exterior building renovations are appropriate for this part of the Guildford and will complement the recent renovations and redevelopment of portions of Guildford Town Centre.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7916-0705-00 for a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

**REFERRALS**

**Engineering:** The Engineering Department has no objection to the proposal.

**SITE CHARACTERISTICS**

**Existing Land Use:** Existing commercial building associated with the Guildford Town Centre mall. The building is currently occupied by a White Spot restaurant.

**Adjacent Area:**

<b>Direction</b>	<b>Existing Use</b>	<b>OCP Designation</b>	<b>Existing Zone</b>
North:	Commercial retail building (Mark's Work Warehouse).	Town Centre	C-8
East (Across 152 Street):	North lot: Existing commercial buildings (Starbucks and a sushi restaurant).	Town Centre	North lot: CD Zone (By-law No. 14803)
	South lot: Multi-building shopping centre (Boardwalk Plaza).		South lot: C-8
South:	One-storey multi-tenant commercial buildings.	Town Centre	C-8
West:	Existing parking facility for the Guildford Town Centre mall.	Town Centre	C-8

## DEVELOPMENT CONSIDERATIONS

- The subject proposal is situated on the southeast corner of the Guildford Town Centre Mall site. The subject proposal is located along 152 Street, south of the existing Mark's Work Warehouse building.
- The site is designated Town Centre in the Official Community Plan (OCP) and zoned "Community Commercial Zone (C-8)".
- Guildford Town Centre Mall has completed a major redevelopment of the site. This redevelopment consisted of a number of phases, including Phase I (Application No. 7906-0413-00), which was approved by Council on May 17, 2010, for the construction of a new Wal-Mart south of 104 Avenue, and Phase II (Application No. 7909-0174), which was approved by Council on September 12, 2011, for further upgrades, expansion and modernization of other portions of the mall.
- These earlier phases did not include the subject building or surrounding lands. However, improvements to the perimeter landscaping along 152 Street and the adjacent driveway entrance (north of the building) were approved under an amendment for Phase II.
- The applicant is proposing a comprehensive sign design package for new fascia signage and exterior renovations to the existing 575-square metre (6,190-sq.ft.) free-standing commercial building located at 10181 – 152 Street, which is currently occupied by a White Spot restaurant. No expansion to the existing building is proposed.
- Three (3) existing fascia signs, including a menu board sign, are installed along the west building elevation above the roof line, facing the internal parking lot. The applicant is proposing two (2) additional fascia signs on the building, on the north and east building elevations, respectively.
- The applicant is seeking three (3) variances to the Sign By-law as part of the proposed comprehensive sign design package for White Spot (also see Appendix II):
  - To increase the maximum permitted sign area to accommodate all existing and proposed signs;
  - To allow two (2) additional fascia signs for a total of five (5) fascia signs; and
  - To allow a roof sign along the east building elevation in addition to three (3) existing signs above the roofline on the west building elevation.
- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit application, such as the current proposal, has been submitted to Council that includes a comprehensive sign design package containing a sign or signs that require variances of the Sign By-law provisions.

### DESIGN PROPOSAL AND REVIEW

- The applicant is proposing a number of exterior renovations to the existing building occupied by White Spot restaurant. Most of the existing beige-coloured brick cladding located below the window sills will be replaced with new culture stone cladding, while the remaining brick cladding will be cleaned and re-painted Brandon beige (deep beige).
- The existing metal doors will be painted black and the existing door frames and fascia boards will be painted Mountain Majesty (deep green). The existing roof and skylight frames, which are currently orange-beige in colour, will be painted Willow (dark grey). The proposed colours will match White Spot's corporate colours and create a more contemporary design.
- A new wood trellis structure is proposed along the east building elevation above the existing walkway in front of the main entrance, and will be painted Morocco Red (deep red-brown). The wood trellis will be secured with steel beam brackets and will provide an appropriate street interface with 152 Street.
- No expansion to the existing building is proposed.

### Proposed Comprehensive Sign Design Package

- Currently, three (3) fascia signs are installed above the roofline on the west building elevation. This includes a 'White Spot' sign, a White Spot logo sign, and a menu board sign, which results in a sign area of approximately 43 square metres (465 sq.ft.). The applicant proposes to retain all three (3) roof signs.
- As part of the current development application, the applicant is proposing to install two (2) additional fascia signs – one on the east building elevation and one on the north building elevation.
- Due to the unique sloped roof of the building, the proposed fascia sign along the east building elevation will be installed above the building roofline. The proposed fascia sign is to be mounted on a raised raceway installed on the proposed wood trellis structure. The raceway will be painted to match the building.
- The proposed fascia sign consists of face-lit channel letters painted white and a logo painted green, burgundy and yellow to reflect the White Spot corporate colours. The proposed fascia sign is approximately 13 metres (43 ft.) by 1.2 metres (4ft.), resulting in a sign area of 16 square metres (170 sq.ft.).
- The proposed fascia sign on the north building elevation is a shaped box incorporating the White Spot logo and includes the restaurant's founding date ('Since 1928').
- The proposed fascia sign is an illuminated, shaped box painted white, green burgundy and yellow. The sign area of the proposed fascia sign, including the founding date, is approximately 2.6 square metres (28 sq.ft.).
- The overall sign area of the proposed signs along the north and east building elevations is approximately 18.6 square metres (198 sq.ft.).

- The proposed fascia signs require three (3) variances to the Sign By-law as part of the proposed comprehensive sign design package for White Spot, including (see Appendix II):
  - An increase to the maximum permitted fascia sign area from 28.5 square metres (307 sq.ft.) to 62 square metres (663 sq.ft.);
  - An increase to the number of fascia signs permitted for a single tenant from three (3) to five (5); and
  - An additional fascia sign to be installed above the roofline on the east building elevation, along with the three (3) already existing on the west elevation to be retained.
- Although the proposed signage package requires variances to the Sign By-law, these variances have merit when considered in the context of the overall signage plan.
- Due to the relocation of the sidewalk and the widening of the boulevard along the west side of 152 Street directly in front of White Spot, a free-standing sign for the White Spot restaurant was removed in 2014. As a result, the owner has noted a significant loss in revenue since no building signage for the restaurant is visible from 152 Street. The proposed fascia signs along the north and east building elevations will provide the appropriate identification for White Spot in order to maintain a presence along 152 Street.
- All of the proposed signage has been designed with high quality, durable materials, and will complement the White Spot restaurant.
- Staff support the requested variances for the proposed fascia signage.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Development Permit No. 7916-0705-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                 Jim Wong  
  Studio One Architecture Inc.  
  Address:                 388 - West 8<sup>th</sup> Avenue, Unit 240  
  Vancouver, BC V5Y 3X2
  
2.      Properties involved in the Application
  - (a)      Civic Address:                 10181 – 152 Street
  
  - (b)      Civic Address:                 10181 – 152 Street  
          Owner:                         4239431 Canada Inc.  
  Director Information:  
  Viscount John Albert McGibbon  
  
  Officer Information as at December 15, 2016:  
  Viscount John Albert McGibbon (President, Secretary)  
  
          PID:                             005-331-714  
          Lot 1 Section 29 Block 5 North Range 1 West New Westminster District Plan BCP45069  
          Except Plan BCP45070
  
3.      Summary of Actions for City Clerk's Office
  - (a)      Approval and issuance of Development Permit No. 7916-0705-00

## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirements	Rationale
1	<p><u>Sign Area:</u> To increase the maximum allowable sign area of all signs (except for free-standing signs) on the subject building (White Spot) from 28.5 square metres (307 sq.ft.) to 62 square metres (663 sq.ft.).</p>	<p>The maximum permitted sign area of all signs on a lot, excluding free-standing signs, shall not exceed 1 square metre per linear metre (3 sq.ft. per linear foot) of premises frontage (Part 5, Section 27(2)(b)). For the subject tenant space, this equates to a maximum permitted sign area of approximately 28.5 square metres (307 sq.ft.).</p>	<p>The proposed fascia signs are comprehensively designed for the building, and are high quality channel letter or shape box signs that are of an appropriate size and scale in relation to the building.</p> <p>Due to the relocation of the sidewalk and the widening of the boulevard along the west side of 152 Street</p>
2	<p><u>Number of Fascia Signs:</u> To increase the maximum number of allowable fascia signs for the subject building (White Spot) from two (2) to five (5).</p>	<p>A maximum of two (2) fascia signs are permitted for each premises provided that both of the fascia signs shall not be located on the same façade of the premises (Part 5, Section 27(2)(a)).</p>	<p>directly in front of White Spot, a free-standing sign for the White Spot restaurant was removed in 2014. As a result, no building signage for the restaurant is visible from 152 Street. The</p>
3	<p><u>Roof Sign:</u> To allow an additional fascia sign to be installed above the roofline on the east building elevation, along with the three (3) existing on the west elevation that are to be retained.</p>	<p>A fascia sign must not extend above the roof line of the building face to which it is attached (Part 1, Section 6(1.3)).</p>	<p>proposed fascia signs along the north and east building elevations will provide the appropriate identification for White Spot to maintain a presence along 152 Street.</p>



CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7916-0705-00

Issued To: 4239431 CANADA INC.  
("the Owner")

Address of Owner: c/o Studio One Architecture Inc.  
388 - West 8<sup>th</sup> Avenue, Unit 240  
Vancouver, BC V5Y 3X2

**A. General Provisions**

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-382-609  
Lot 1 Section 29 Block 5 North Range 1 West New Westminster District Plan BCP45069  
Except Plan BCP45070

10181 – 152 Street

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A, which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

**B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, and comprehensive sign packages on the Land shall be in accordance with the drawings numbered DP No. 7916-0705-00(A) through to and including DP No. 7916-0705-00(P) (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

**C. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL,  
THE DAY OF , 2017.

ISSUED THIS DAY OF , 2017.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

  
\_\_\_\_\_  
Authorized Agent: (Signature)

  
\_\_\_\_\_  
Name: (Please Print)

\_\_\_\_\_  
Owner: (Signature)

\_\_\_\_\_  
Name: (Please Print)

Sign By-law Variances

#	Variance	Sign By-law Requirement
1	<p><u>Sign area:</u> To increase the maximum allowable sign area of all signs (except for free-standing signs) on the subject building (White Spot) from 28.5 square metres (307 sq.ft.) to 62 square metres (663 sq.ft.).</p>	<p>The maximum permitted sign area of all signs on a lot, excluding free-standing signs, shall not exceed 1 square metre per linear metre (3 sq.ft. per linear foot) of premises frontage (Part 5, Section 27(2)(b)). For the subject tenant space, this equates to a maximum permitted sign area of approximately 28.5 square metres (307 sq.ft.).</p>
2	<p><u>Number of Fascia signs:</u> To increase the maximum number of allowable fascia signs for the subject building (White Spot) from two (2) to five (5).</p>	<p>A maximum of two (2) fascia signs are permitted for each premises provided that both of the fascia signs shall not be located on the same façade of the premises (Part 5, Section 27(2)(a)).</p>
3	<p><u>Roof Sign:</u> To allow an additional fascia sign to be installed above the roofline on the east building elevation along with the three (3) already existing on the west elevation to be retained.</p>	<p>A fascia sign must not extend above the roof line of the building face to which it is attached (Part 1, Section 6(1.3)).</p>



## DRAWING LIST

### ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 LOCATION PLAN
- A0.2 CONTEXT PLAN
- A0.3 PROPOSED SITE PLAN, PROJECT STATISTICS, WRITTEN BRIEF
- A1.0 EXISTING GROUND FLOOR PLAN
- A1.1 EXISTING ROOF PLAN
- A1.2 PROPOSED GROUND FLOOR PLAN
- A1.3 PROPOSED ROOF PLAN
- A1.4 PROPOSED DETAIL TRELLIS PLAN
- A2.0 EXISTING AND PROPOSED EAST ELEVATION
- A2.1 EXISTING AND PROPOSED EAST ELEVATION (VIEW FROM SIDEWALK)
- A2.2 EXISTING AND PROPOSED NORTH ELEVATION
- A2.3 EXISTING AND PROPOSED NORTH ELEVATION (VIEW FROM SIDEWALK)
- A2.4 EXISTING AND PROPOSED WEST ELEVATION
- A2.5 EXISTING AND PROPOSED SOUTH ELEVATION
- A3.0 CROSS SECTION
- A3.1 SECTION AND TRELLIS DETAIL
- A4.0 RENDERINGS
- A4.1 RENDERINGS

### SIGNAGE

- SG5.0 FACE LIT CHANNEL LETTERS AND SHAPE (EAST ELEVATION)
- SG5.1 FACE LIT CHANNEL LETTERS AND SHAPE SECTION (EAST ELEVATION)
- SG5.2 FACE LIT CHANNEL LETTERS AND SHAPE (EAST ELEVATION)
- SG5.3 FACE LIT CHANNEL SHAPE (NORTH ELEVATION)
- SG5.4 FACE LIT CHANNEL SHAPE (NORTH ELEVATION)

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Vancouver, B.C. V5Y 3K2  
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Tomas Wolf Architect ABC

studioone  
architecture inc.

## WHITESPOT RESTAURANT - RENOVATION PROJECT

10181 152nd STREET, SURREY, B.C.

ISSUED FOR COMPREHENSIVE SIGN DESIGN  
DECEMBER 07, 2016

### ARCHITECTURAL

Studio One Architecture Inc.  
240-388 West 8th Ave. Vancouver, B.C., V5Y 3K2  
Tel: 604-731-3966  
Fax: 604-734-1121  
E-mail: soa@studioonearchitecture.ca

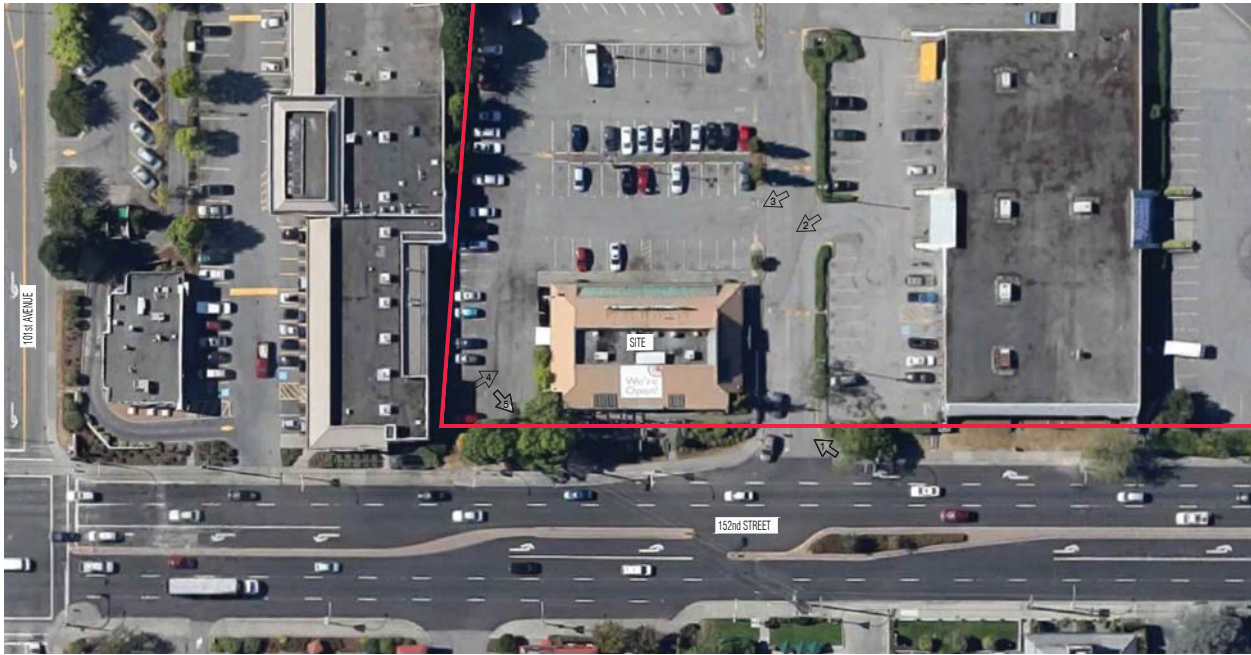
Contacts: Tomas Wolf / Jim Wong

### SIGNAGE

Galaxie Signs  
5085 Regent Street, Burnaby, B.C., V5C 4H4  
Tel: 604-291-6011  
Fax: 604-291-7139  
E-mail: shawn@galaxiesign.com

Contact: Shawn Simmons

DP #7916-0705-00 (A)  
The "Drawings"



CONTEXT PLAN



1 - 152nd STREET LOOKING SOUTH



2 - BUILDING LOOKING SOUTH



3 - BUILDING LOOKING EAST



4 - BUILDING LOOKING NORTH



5 - 152nd STREET LOOKING NORTH-EAST

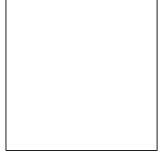


CURRENT STREET VIEW

240 - 388 West 8th Ave.  
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 Fax: 604 - 734 - 1121  
 studioonearchitecture.ca  
 Tomas Wolf MAIBC



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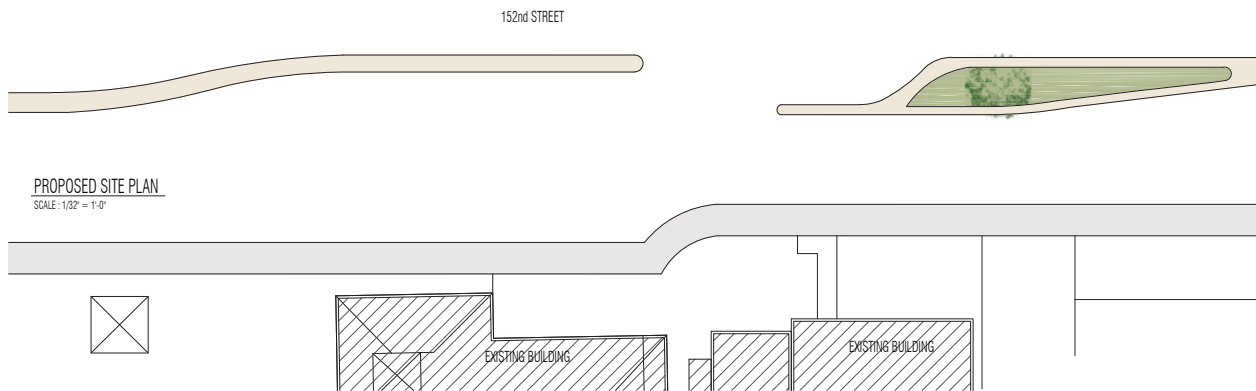
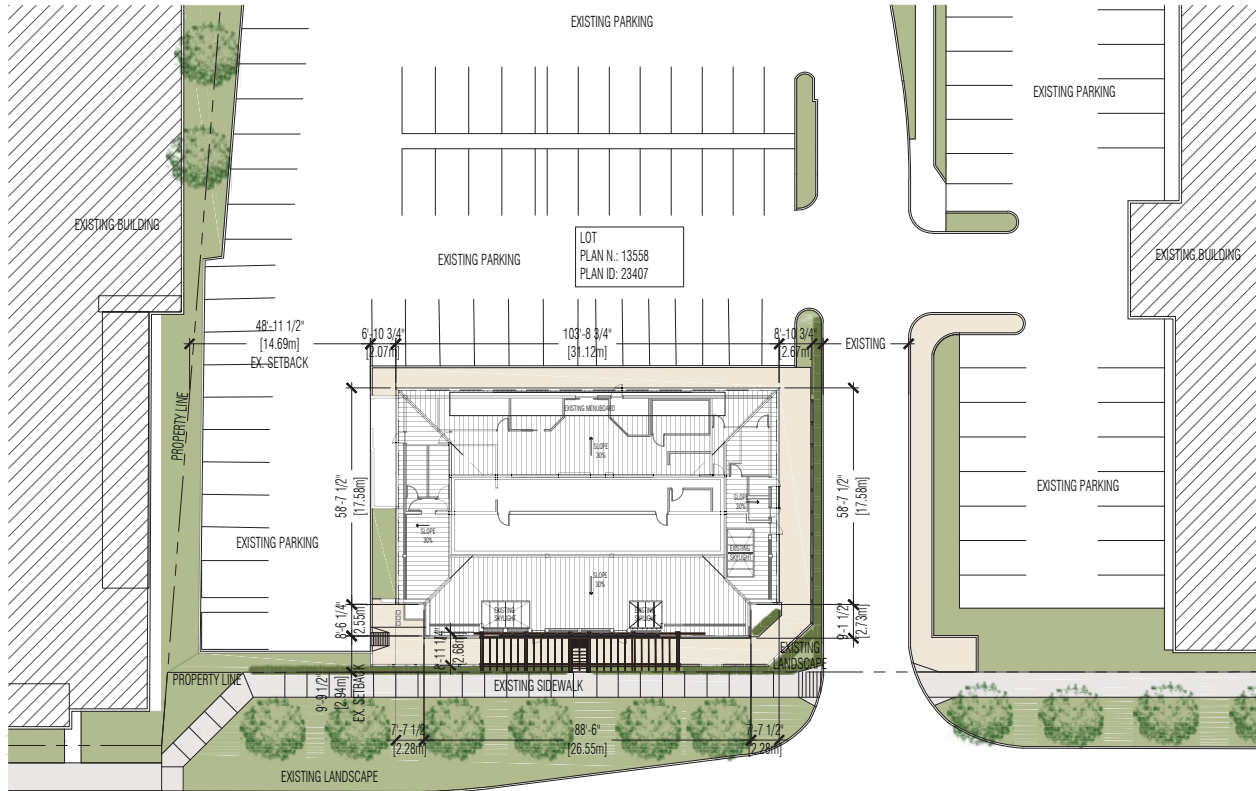
no.	date	description
1	Dec 07, 16	Issued for CSDP

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 GUILDFORD  
 10181 152nd ST. SURREY  
 drawing title:  
 CONTEXT PLAN

project no.:	16029
drawn by:	SS
checked by:	JW1
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.:

A 0.2



PROJECT STATISTICS	
CIVIC ADDRESS:	10181 152nd STREET, SURREY B.C. V3R 4G6
LEGAL DESCRIPTION:	SEE LEGAL DESCRIPTION DOCUMENT ATTACHED WITH THE LAND DEVELOPMENT APPLICATION
ZONING / LAND USE CONTRACT:	C-8 TOWN CENTRE
EXISTING USE:	RESTAURANT
LOT COVERAGE:	EXISTING
GROSS FLOOR AREA:	EXISTING
HEIGHT:	EXISTING
SITEBACK:	
FRONT LOT LINE (152nd STREET):	EXISTING
REAR LOT LINE:	EXISTING
INTERIOR NORTH SIDE LOT LINE:	EXISTING
INTERIOR SOUTH SIDE LOT LINE:	EXISTING
OFF-STREET PARKING	EXISTING
OFF-STREET BICYCLE PARKING	EXISTING

**WRITTEN BRIEF**

**LOCATION:**  
 THE SITE, INCLUDING WHITE SPOT RESTAURANT, IS LOCATED ON THE SOUTH AREA OF GUILDFORD TOWN CENTRE IN SURREY, ALONG 152ND STREET.  
 THE SITE IS ADJACENT TO A SECONDARY ROAD THAT LEADS TO THE SHOPPING MALL AND PARKING ON THE NORTH SIDE, AND TO AN EXISTING COMMERCIAL BUILDING ON THE SOUTH SIDE.

**OCF & ZONING:**  
 THE PROJECT INVOLVES THE EXISTING WHITE SPOT RESTAURANT BUILDING LOCATED WITHIN C-8 TOWN CENTRE ZONE. A COMPREHENSIVE SIGN DESIGN PACKAGE APPLICATION IS REQUIRED FOR THE RENOVATION PROJECT.

- THE PROPOSAL WILL REQUIRE THE FOLLOWING THREE VARIANCES:
- 1) VARIANCE TO INCREASE THE TOTAL SIGN AREA PERMITTED;
  - 2) VARIANCE TO ALLOW A FASCIA SIGN ALONG THE NORTH BUILDING ELEVATION;
  - 3) VARIANCE TO ALLOW A ROOF SIGN ALONG THE EAST BUILDING ELEVATION.

**PROJECT DESCRIPTION:**  
 THE PROPOSAL INCLUDES A RENOVATION OF THE EXTERIOR FINISH MATERIALS AND COLOURS THROUGH THE USE OF HIGH QUALITY ARCHITECTURAL DESIGN AND MATERIALS. THE PROJECT WILL GIVE TO THE BUILDING A NEW RENOVATED IMAGE THAT, IN ACCORDANCE WITH OCP POLICIES, WILL CONTRIBUTE TO THE VALORIZATION AND IMPROVEMENT OF THE URBAN AREA. THE PROPOSAL WILL INTEGRATE POSITIVELY WITH THE RECENT URBAN DESIGN ALONG THE 152ND STREET.  
 THE PROJECT PROPOSES TO RE-CLAD SMALL PORTIONS OF THE EXISTING BRICK WALL UNDER THE WINDOW SILL WITH NEW CULTURE STONE ALONG THE EAST ELEVATION (ALONG 152ND STREET) AND PART OF THE NORTH ELEVATION.  
 THE EXISTING BUILDING WILL BE RE-PAINTED OVERALL WITH NEW AND UPGRADED COLOURS IN COMPLIANCE WITH WHITE SPOT STANDARDS AND THE GUIDELINES FOR THE AREA (SEE ATTACHMENT "PROPOSED EXTERIOR FINISHES" FOR FURTHER INFORMATION ON THE COLOURS AND MATERIALS USED).  
 THE PROJECT INCLUDES ALSO THE ADDITION OF A NEW WOOD TRELLIS ALONG 152ND FRONTAGE THAT WILL UPGRADE THE FRONT ELEVATION AND THE RESTAURANT'S ENTRANCE.  
 ALONG 152ND STREET, THE ROAD WAS WIDENED WHICH CHANGED THE BOULEVARD AND THE CITY REQUIRED THE REMOVAL OF A PYLON SIGN. THE SIGN REMOVAL SIGNIFICANTLY AFFECTED THE BUSINESS NEGATIVELY.  
 THE NEW ILLUMINATED SIGNAGE WILL IMPROVE VISIBILITY AND EXPOSURE ALONG 152ND STREET.

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 studioonearchitecture.ca  
 Tomas Wolf MAIBC



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1 Dec 07, 16 Issued for CSDP		
no.:	date:	description:

project title:  
 WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY

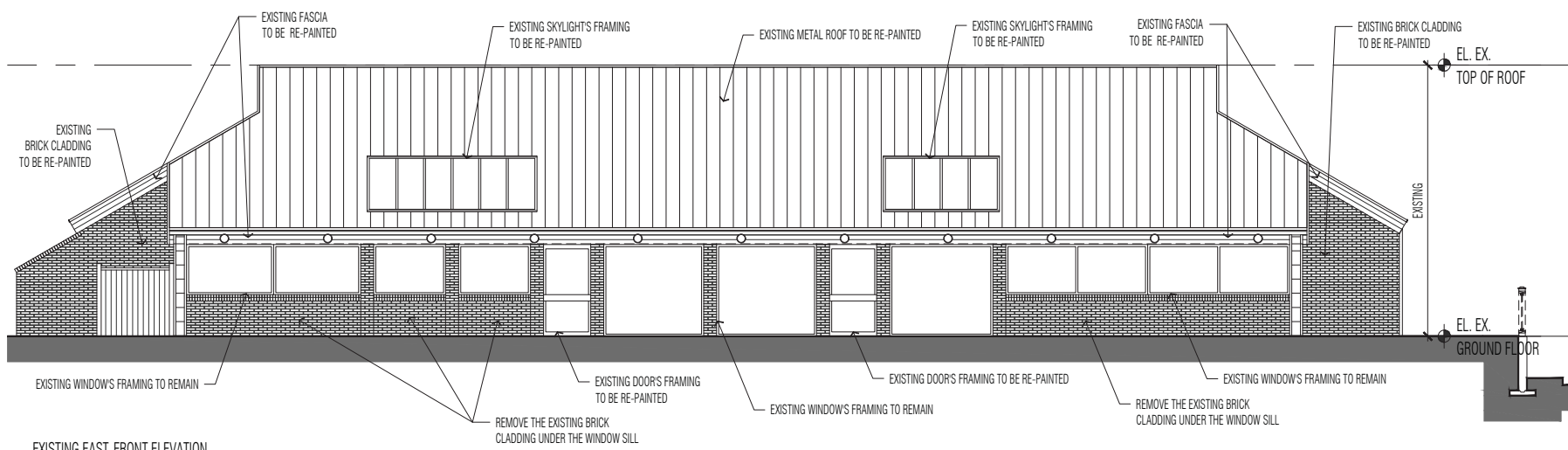
drawing title:  
 PROPOSED SITE PLAN  
 PROJECT STATISTICS  
 WRITTEN BRIEF

project no.:	16029
drawn by:	SS
checked by:	JW1
date:	DEC 07, 2016
scale:	AS NOTED



drawing no.:

A 0.3



**EXISTING EAST-FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**PROPOSED EAST-FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

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1 Dec 07, 16 Issued for CSDP  
no. date description  
revisions

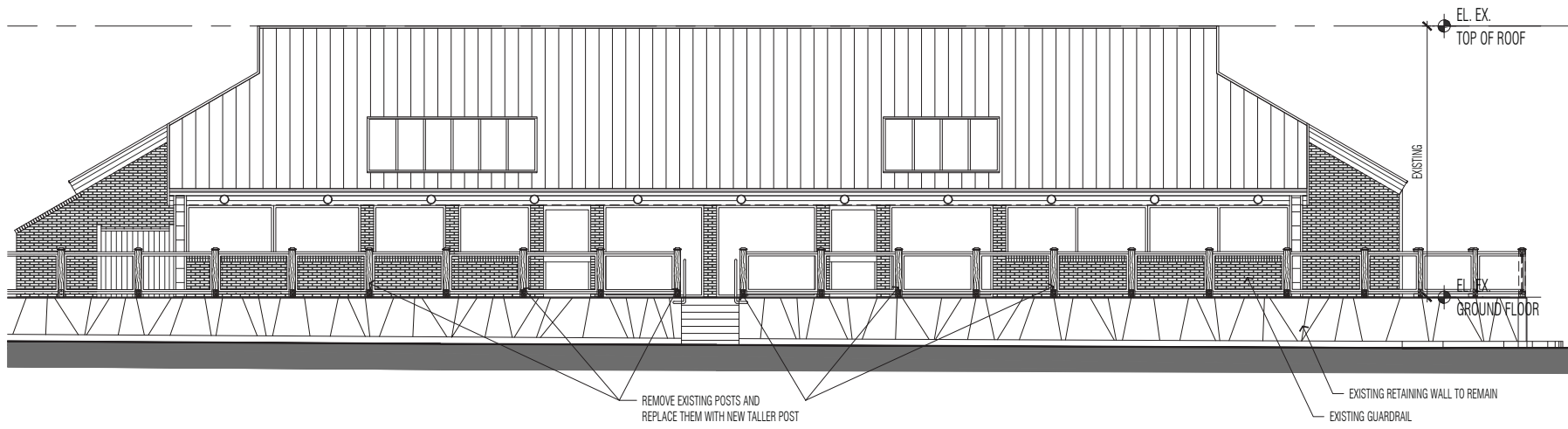
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10181 152nd ST. SURREY  
drawing title: **EXISTING AND PROPOSED EAST ELEVATION**

project no.: 16029  
drawn by: SS  
checked by: JMT  
date: DEC 07, 2016  
scale: AS NOTED



drawing no.: **A 2.0**





EXISTING FRONT ELEVATION (VIEW FROM SIDEWALK)  
 SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION (VIEW FROM SIDEWALK)  
 SCALE: 1/8" = 1'-0"

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1	Dec 07, 16	Issued for CSDP
no.	date	description
revisions		

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10181 152nd ST. SURREY	
drawing title:	EXISTING AND PROPOSED EAST ELEVATION (VIEW FROM SIDEWALK)

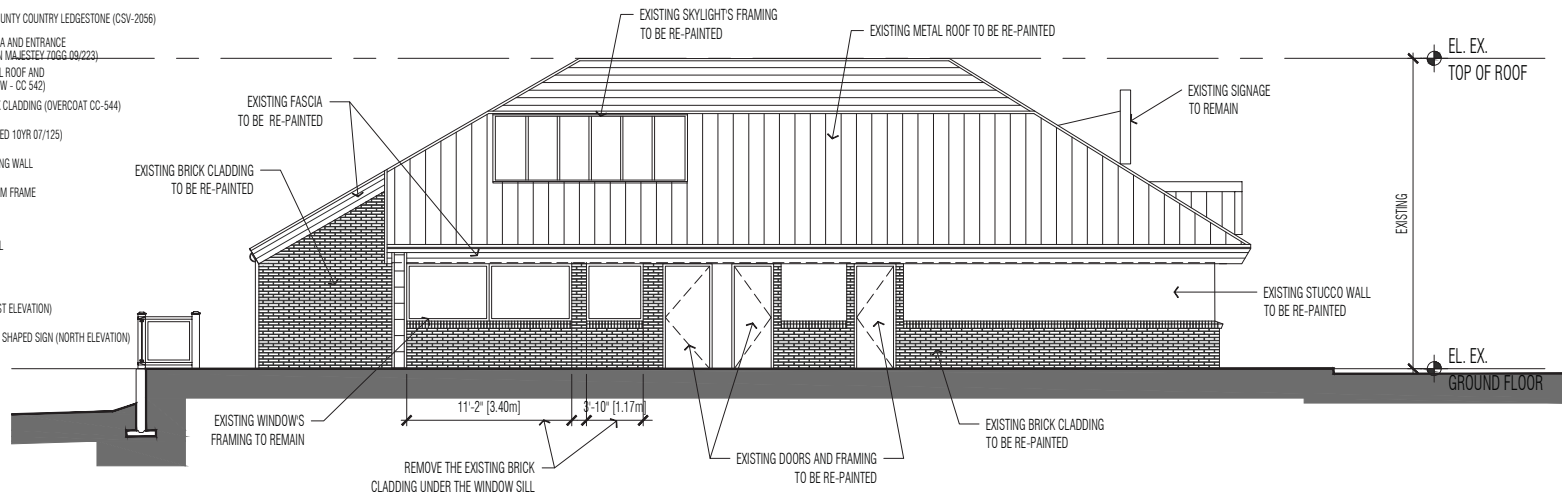
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drawn by:	SS
checked by:	JW1
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.:

A 2.1

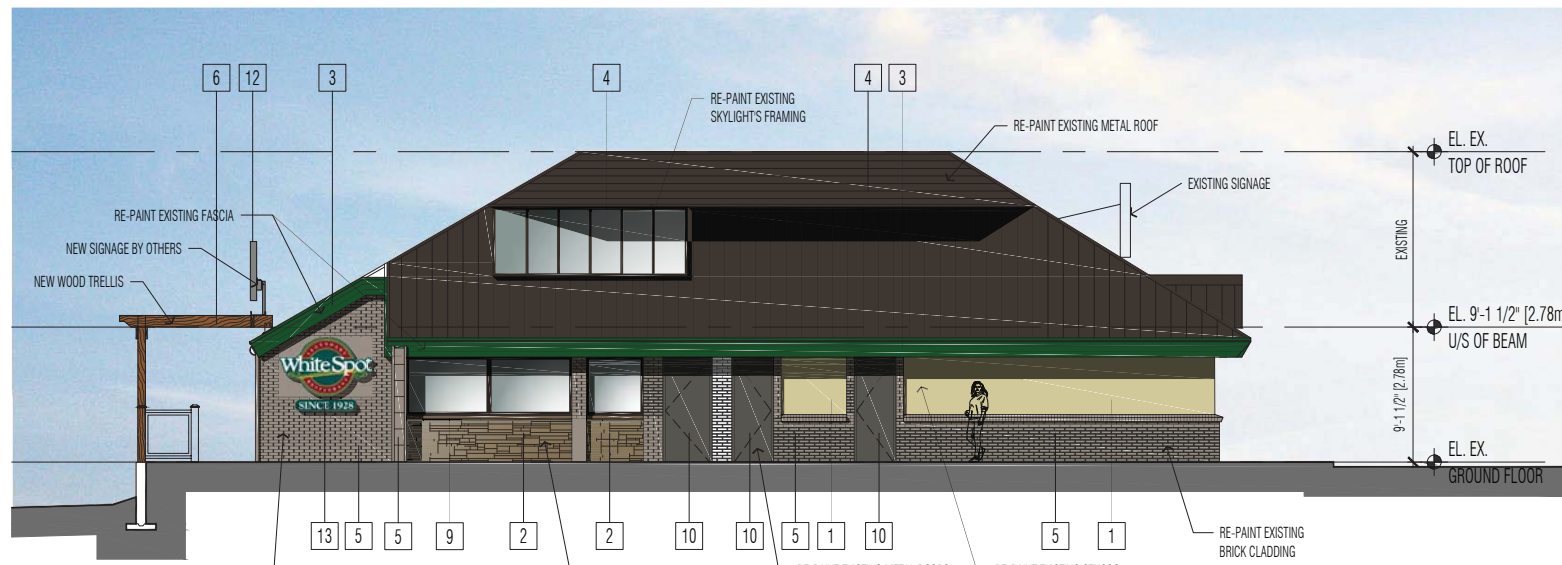
**EXTERIOR FINISH SCHEDULE**

- 1 RE-PAINTING EXISTING STUCCO (BRANDON BEIGE CC-530)
- 2 CULTURED STONE BUCKS COUNTY COUNTRY LEDGESTONE (CSV-2056)
- 3 RE-PAINTING EXISTING FASCIA AND ENTRANCE DOORS FRAMING (MOUNTAIN MAJESTEY 2065 09/223)
- 4 RE-PAINTING EXISTING METAL ROOF AND SKYLIGHT'S FRAMING (WILLOW - CC 542)
- 5 RE-PAINTING EXISTING BRICK CLADDING (OVERCOAT CC-544)
- 6 WOOD TRELLIS (MOROCCO RED 10YR 07/125)
- 7 EXISTING CONCRETE RETAINING WALL
- 8 EXISTING WINDOW ALUMINIUM FRAME
- 9 STONE SILL MOCHA COLOUR
- 10 RE-PAINTING EXISTING METAL DOORS (DAYS END 2133-30)
- 11 EXISTING EXTERIOR LIGHTING
- 12 NEW ILLUMINATED SIGN (EAST ELEVATION)
- 13 NEW ILLUMINATED CHANNEL SHAPED SIGN (NORTH ELEVATION)



**EXISTING NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**PROPOSED NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

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no.	date	description:

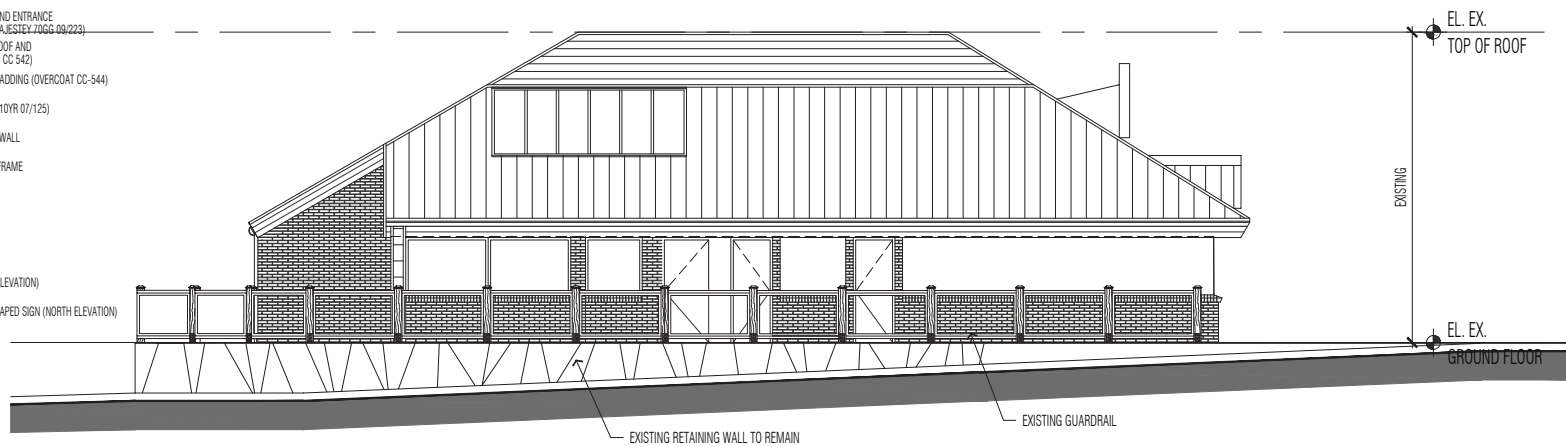
project title:	WHITESPOT RESTAURANT RENOVATION GUILDFORD
10181 152nd ST. SURREY	
drawing title:	EXISTING AND PROPOSED NORTH ELEVATION

project no.:	16029
drawn by:	SS
checked by:	JWL
date:	DEC 07, 2016
scale:	AS NOTED

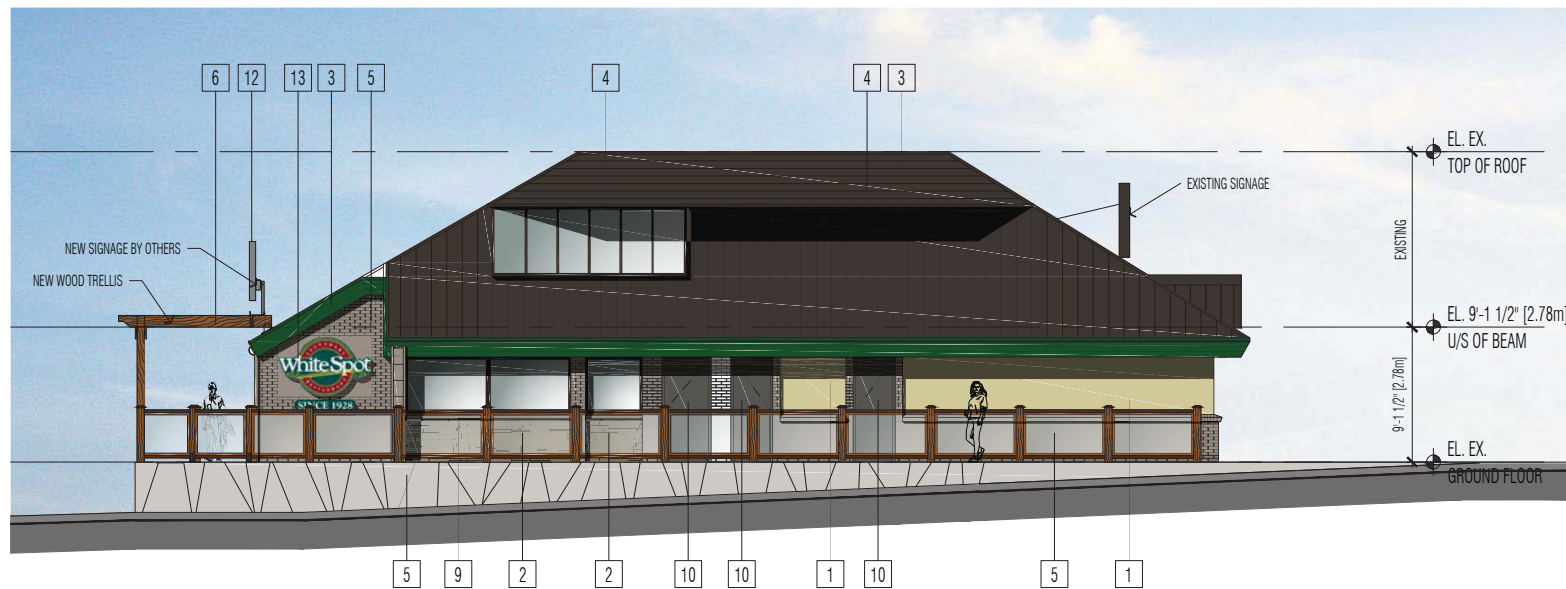
drawing no.:	A 2.2
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EXTERIOR FINISH SCHEDULE

- 1 RE-PAINTING EXISTING STUCCO (BRANDON BEIGE CC-530)
- 2 CULTURED STONE BUCKS COUNTY COUNTRY LEDGESTONE (CSV-2056)
- 3 RE-PAINTING EXISTING FASCIA AND ENTRANCE DOORS FRAMING (MOUNTAIN MAJESTEX 2066 09/223)
- 4 RE-PAINTING EXISTING METAL ROOF AND SKYLIGHT'S FRAMING (WILLOW - CC 542)
- 5 RE-PAINTING EXISTING BRICK CLADDING (OVERCOAT CC-544)
- 6 WOOD TRELLIS (MOROCCO RED 10YR 07/125)
- 7 EXISTING CONCRETE RETAINING WALL
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- 9 STONE SILL MOCHA COLOUR
- 10 RE-PAINTING EXISTING METAL DOORS (DAYS END 2133-30)
- 11 EXISTING EXTERIOR LIGHTING
- 12 NEW ILLUMINATED SIGN (EAST ELEVATION)
- 13 NEW ILLUMINATED CHANNEL SHAPED SIGN (NORTH ELEVATION)



EXISTING NORTH ELEVATION (VIEW FROM SIDEWALK)  
SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION (VIEW FROM SIDEWALK)  
SCALE: 1/8" = 1'-0"

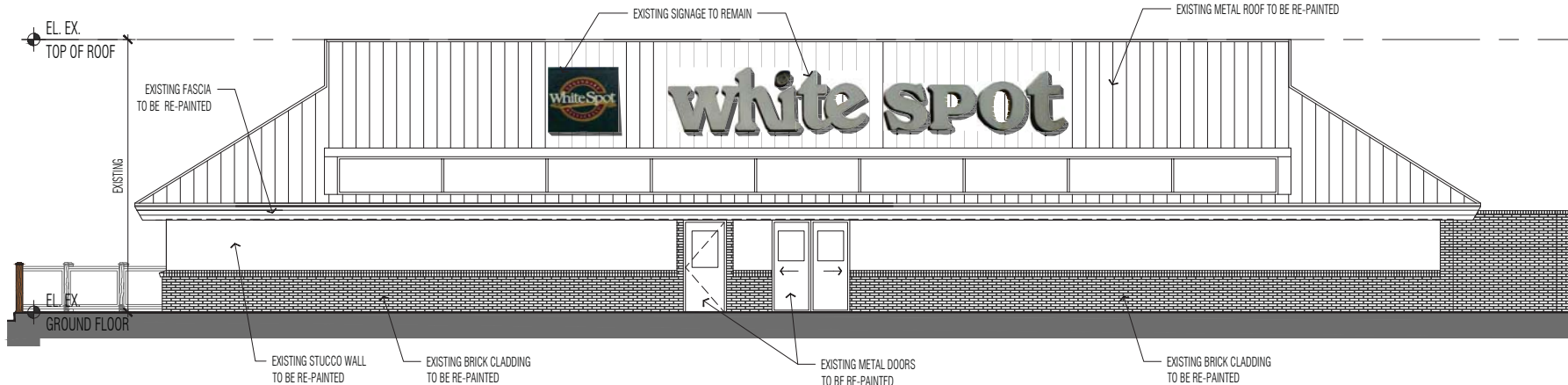


1	Dec 07, 16	Issued for CSDP
no.	date	description
revisions		

project title:	WHITESPOT RESTAURANT RENOVATION GUILD FORD 10181 152nd ST. SURREY
drawing title:	EXISTING AND PROPOSED NORTH ELEVATION VIEW FROM SIDEWALK

project no.:	16029
drawn by:	SS
checked by:	JM1
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.:	A 2.3
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EXISTING WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

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revisions		

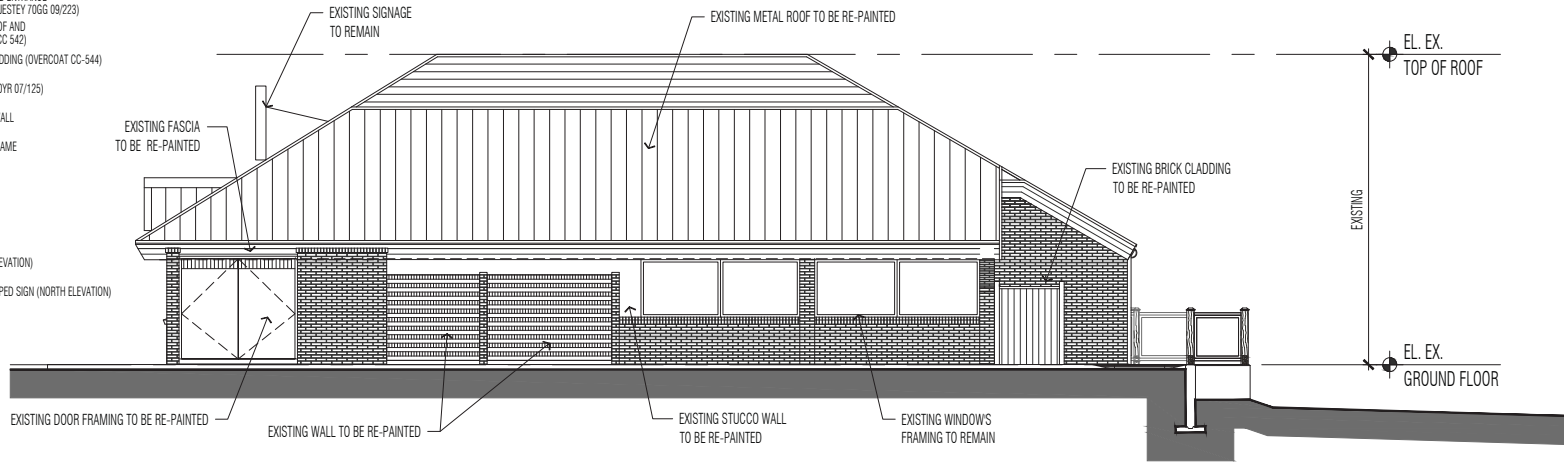
project title:	WHITESPOT RESTAURANT RENOVATION GUILDFORD
location:	10181 152nd ST. SURREY
drawing title:	EXISTING AND PROPOSED WEST ELEVATION

project no.:	16029
drawn by:	SS
checked by:	JW1
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.:	A 2.4
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EXTERIOR FINISH SCHEDULE

- 1 RE-PAINTING EXISTING STUCCO (BRANDON BEIGE CC-530)
- 2 CULTURED STONE BUCKS COUNTY COUNTRY LEDGESTONE (CSV-2056)
- 3 RE-PAINTING EXISTING FASCIA AND ENTRANCE DOORS FRAMING (MOUNTAIN MAJESTY 7065 09/223)
- 4 RE-PAINTING EXISTING METAL ROOF AND SKYLIGHT'S FRAMING (WILLOW - CC 542)
- 5 RE-PAINTING EXISTING BRICK CLADDING (OVERCOAT CC-544)
- 6 WOOD TRELLIS (MOROCCO RED 10YR 07/125)
- 7 EXISTING CONCRETE RETAINING WALL
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- 9 STONE SILL MOCHA COLOUR
- 10 RE-PAINTING EXISTING METAL DOORS (DAYS END 2133-30)
- 11 EXISTING EXTERIOR LIGHTING
- 12 NEW ILLUMINATED SIGN (EAST ELEVATION)
- 13 NEW ILLUMINATED CHANNEL SHAPED SIGN (NORTH ELEVATION)



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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revisions:		

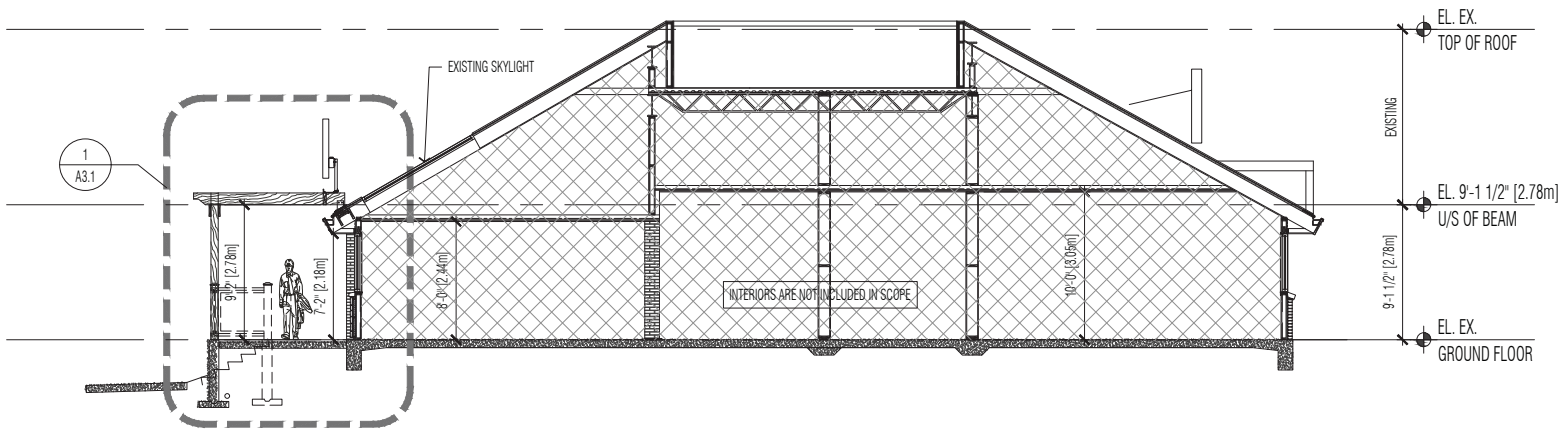
project title:  
**WHITESPOT RESTAURANT  
RENOVATION  
GUILDFORD  
10181 152nd ST. SURREY**  
drawing title:  
**EXISTING AND PROPOSED  
SOUTH ELEVATION**

project no.:	16029
drawn by:	SS
checked by:	JM1
date:	DEC 07, 2016
scale:	AS NOTED



drawing no.:

**A 2.5**



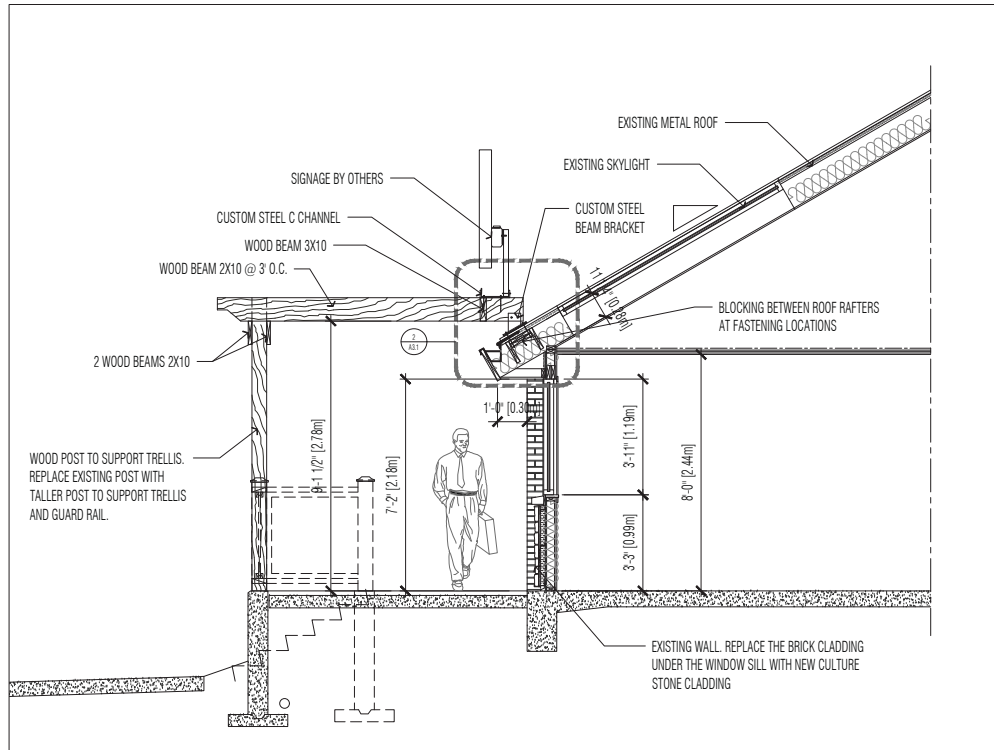
**CROSS SECTION**  
 SCALE: 1/8" = 1'-0"

no.	date	description
1	Dec 07, 16	Issued for CSDP

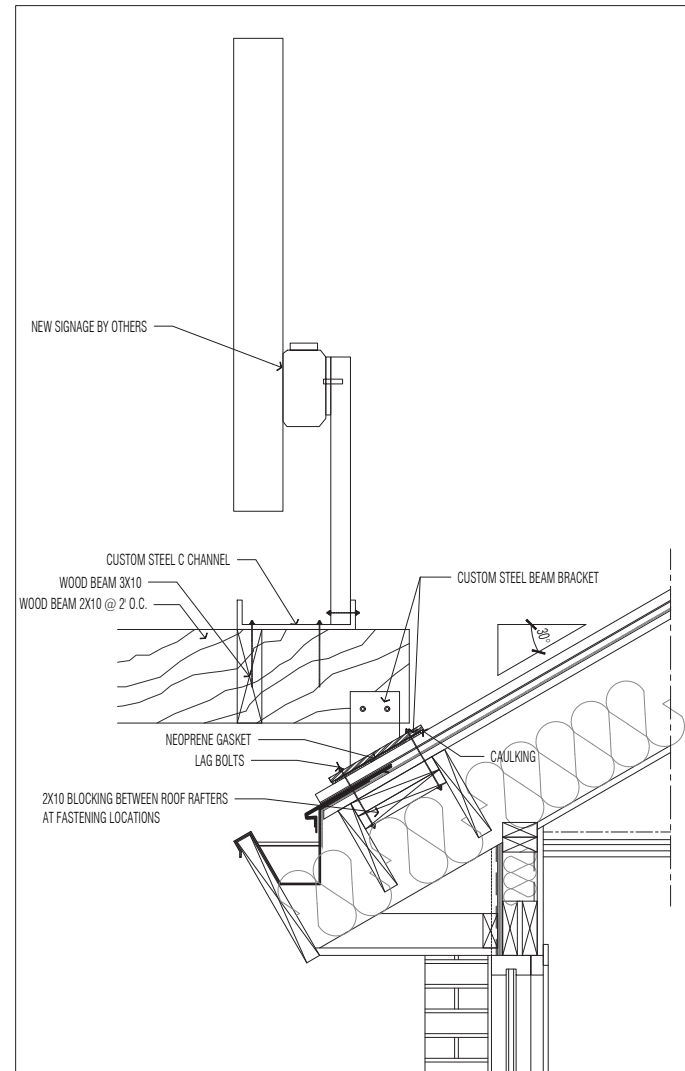
project title: <b>WHITESPOT RESTAURANT          RENOVATION          GUILDFORD          10181 152nd ST. SURREY</b>
drawing title: <b>CROSS SECTION</b>

project no.:	16029
drawn by:	SS
checked by:	JW
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.: <b>A 3.0</b>
------------------------------



DETAIL 1  
SCALE: 1/4" = 1'-0"



DETAIL 2  
SCALE: 1" = 1'-0"

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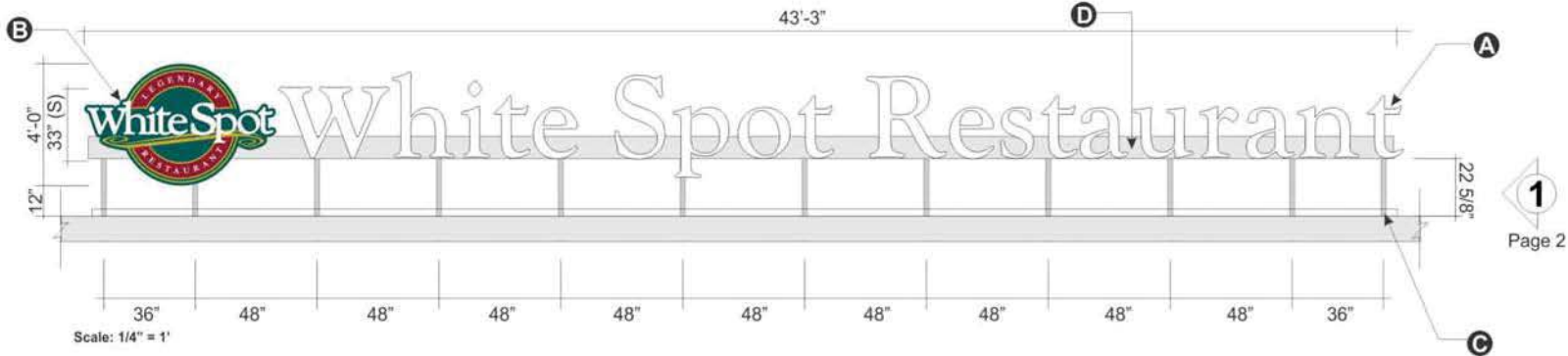
1	Dec 07, 16	Issued for CSDP
no.	date	description
revisions		

project title:  
**WHITESPOT RESTAURANT  
RENOVATION  
GUILDFORD  
10181 152nd ST. SURREY**  
drawing title:  
**SECTION AND  
TRELLIS DETAILS**

project no.:	16029
drawn by:	SS
checked by:	JW1
date:	DEC 07, 2016
scale:	AS NOTED

drawing no.:

**A 3.1**



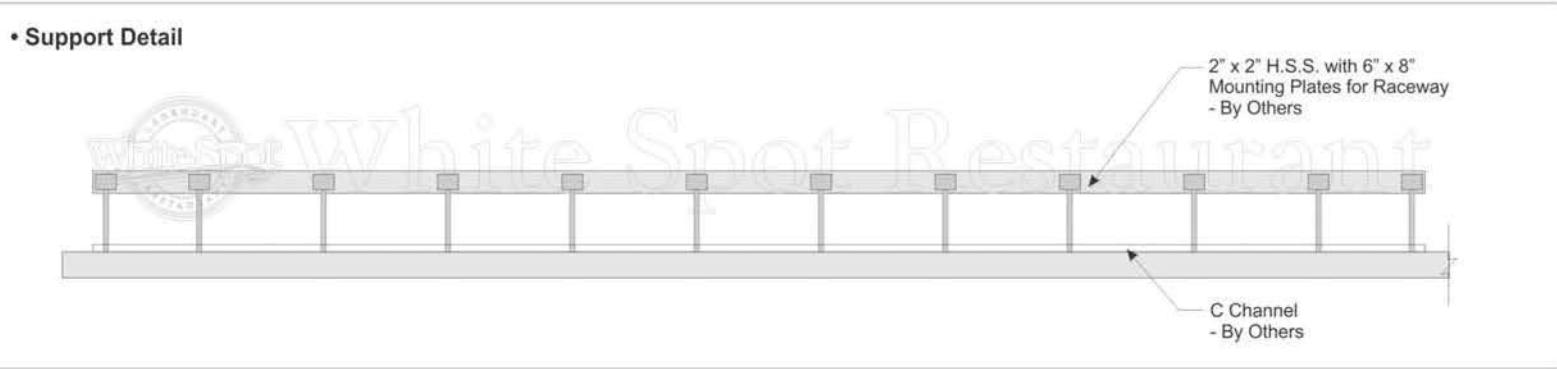
1  
 Page 2

• 1(x) 4'-0" x 43'-3" s/f Illuminated Sign (173 sq.ft.)

• Typical Specifications

- A** Face lit Channel Letters
  - White LED Illumination
  - 2447 White Acrylic Faces
  - Returns painted to match Green pms 330
- B** Face lit Channel Shape
  - White LED Illumination
  - 2447 White Acrylic Faces / 1st surface vinyl
  - Returns painted to match Green pms 330
- C** 2" x 2" H.S.S. Supports and C Channel
  - By Others
  - Painted to Match Roof
- D** 8 11/16" Raceway
  - Painted to Match Building

Color Schedule	
<span style="display: inline-block; width: 15px; height: 15px; background-color: #008000; border: 1px solid black;"></span>	Green pms 330
<span style="display: inline-block; width: 15px; height: 15px; background-color: #800000; border: 1px solid black;"></span>	Burgundy pms 202
<span style="display: inline-block; width: 15px; height: 15px; background-color: #FFD700; border: 1px solid black;"></span>	Yellow pms 117
<span style="display: inline-block; width: 15px; height: 15px; background-color: white; border: 1px solid black;"></span>	White



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no.	date	description

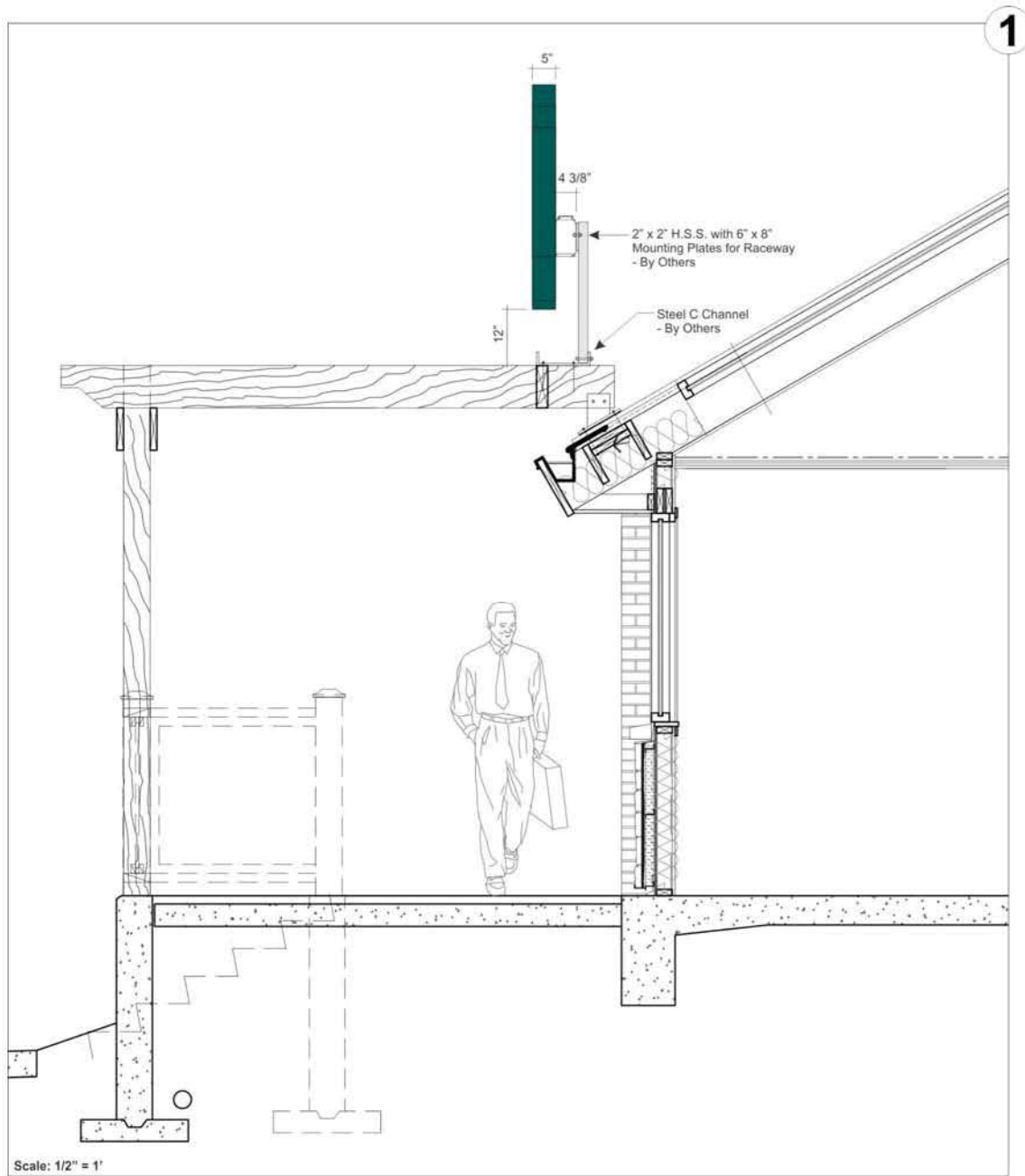
project title:  
 WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY

drawing title:  
 FACE LIT CHANNEL  
 LETTERS AND SHAPE  
 (EAST ELEVATION)

project no.:	16029
drawn by:	SS
checked by:	JW
date:	DEC 2, 2016
scale:	AS NOTED

drawing no.  
 SG 5.0





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 revisions

project title:  
**WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY**  
 drawing title:  
**FACE LIT CHANNEL  
 LETTERS AND SHAPE  
 SECTION  
 (EAST ELEVATION)**

project no.: 16029  
 drawn by: SS  
 checked by: JW  
 date: DEC 2, 2016  
 scale: AS NOTED

drawing no.:  
**SG 5.1**

WhiteSpot(Guildford)-16161-R6



EAST-FRONT ELEVATION (VIEW FROM SIDEWALK)

SCALE: 1/8" = 1'-0"



Scale: NTS

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 Revisions:

PROJECT TITLE:  
 WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY

DRAWING TITLE:  
 FACE LIT CHANNEL  
 LETTERS AND SHAPE  
 (EAST ELEVATION)

PROJECT NO.: 16029  
 DRAWN BY: SS  
 CHECKED BY: JW  
 DATE: DEC 2, 2016  
 SCALE: AS NOTED

DRAWING NO.:  
 SG 5.2

WhiteSpot(Guildford)-16161-R6



Scale: 3/4" = 1'

**Sign 2**

• 1(x) s/f Illuminated channel Shaped sign

- A** 3/16" White acrylic face with 1st surface vinyl graphics
  - White LED Illumination
  - Copy Colors: Digitally printed to match White Spot corporate specifications.
  - Returns Painted to match Green pms 330
- B** c/w Routed aluminum face and 1/2" acrylic push thru graphics
  - White LED Illumination
  - Face / Returns Painted to match Green pms 330
  - 2(x) Support Rods Painted Black

**Color Schedule**

<span style="display: inline-block; width: 10px; height: 10px; background-color: green; border: 1px solid black;"></span> Green pms 330
<span style="display: inline-block; width: 10px; height: 10px; background-color: #800000; border: 1px solid black;"></span> Burgundy pms 202
<span style="display: inline-block; width: 10px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Yellow pms 117
<span style="display: inline-block; width: 10px; height: 10px; background-color: white; border: 1px solid black;"></span> White



**NORTH ELEVATION**

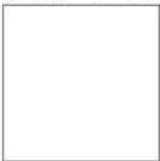
SCALE: 1/8" = 1'-0"

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Standard disclaimer: The accuracy of the quantity of materials indicated on this plan is based upon the current & approved specifications.



NO.	DATE	DESCRIPTION

1 Dec 07 '16 Issued for CSDP

project title:  
**WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY**

drawing title:  
**FACE LIT CHANNEL  
 SHAPE  
 (NORTH ELEVATION)**

project no.: 16029  
 drawn by: SS  
 checked by: JW  
 date: DEC 2, 2016  
 scale: AS NOTED

drawing no.:  
**SG 5.3**

WhiteSpot(Guildford)-16161-R6



Scale: NTS

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project title:  
 WHITESPOT RESTAURANT  
 RENOVATION  
 GUILDFORD  
 10181 152nd ST. SURREY

drawing title:  
 FACE LIT CHANNEL  
 SHAPE  
 (NORTH ELEVATION)

project no.:	16029
drawn by:	SS
checked by:	JW
date:	DEC 2, 2016
scale:	AS NOTED

drawing no.:

**SG 5.4**

WhiteSpot(Guildford)-16161-R6