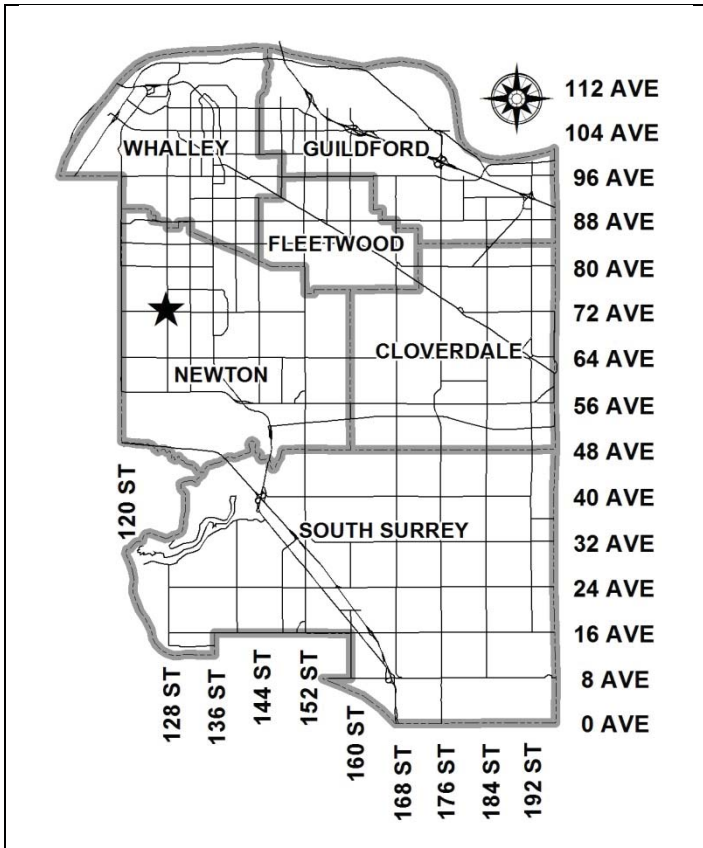


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0693-00

Planning Report Date: December 19, 2016



**PROPOSAL:**

- **Development Permit**

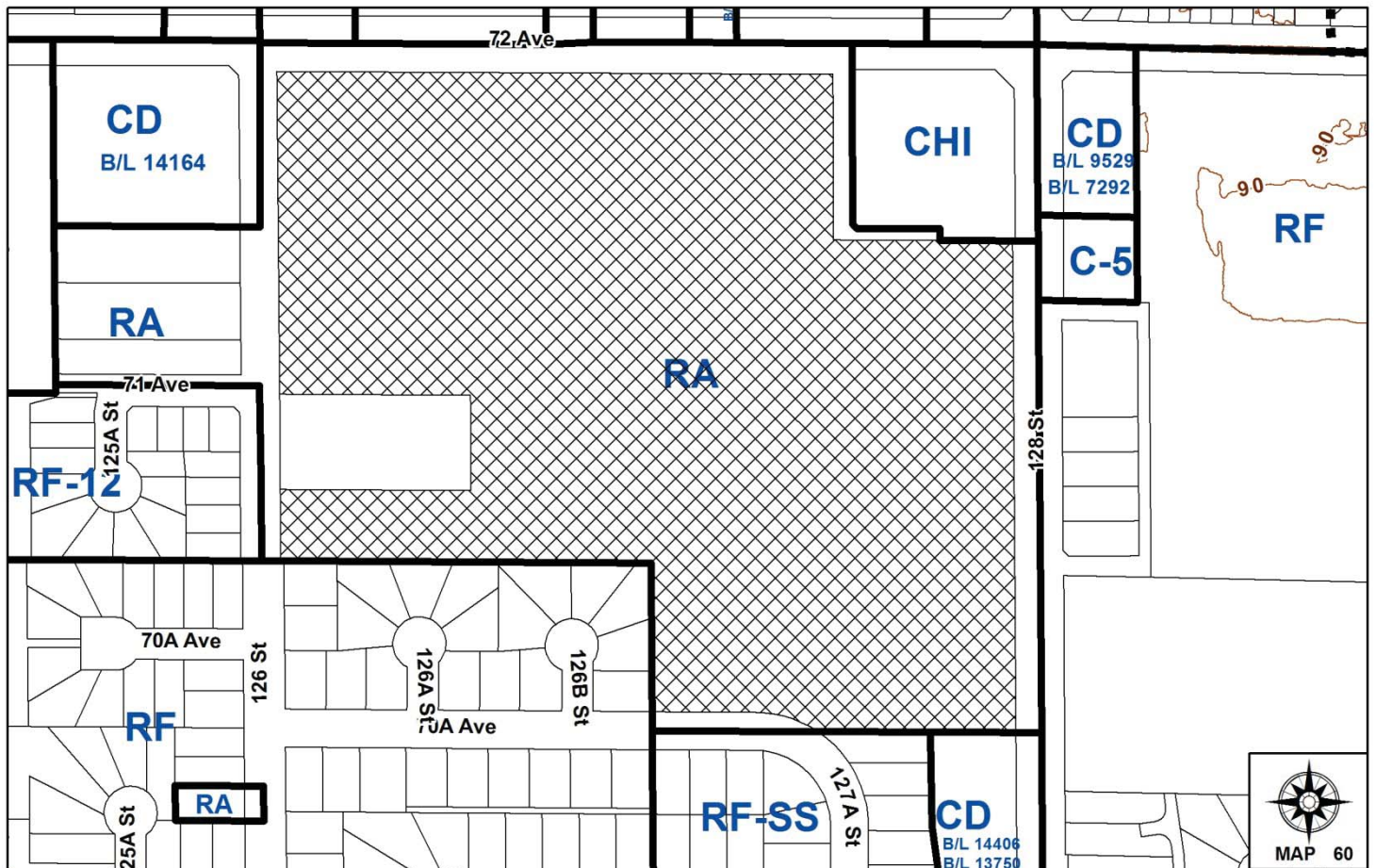
to permit an addition on the Newton Kwantlen Polytechnic University campus.

**LOCATION:** 12666 - 72 Avenue

**OWNER:** Kwantlen Polytechnic University

**ZONING:** RA

**OCP DESIGNATION:** Urban



### RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- The proposed building addition to the Spruce Building will create a new presence on the Newton campus for the Fine Arts and Sciences programs at Kwantlen Polytechnic University (KPU), enhancing KPU's ability to serve its students and the broader community.
- The proposed building addition for KPU supports the City in furthering its consideration as one of the world's "Intelligent Communities".

## RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7916-0693-00 and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit, as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

## REFERRALS

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: No concerns.

## SITE CHARACTERISTICS

Existing Land Use: Kwantlen Polytechnic University Newton campus.

Adjacent Area:

| <b>Direction</b>                        | <b>Existing Use</b>   | <b>OCP Designation</b>                                    | <b>Existing Zone</b>  |
|---|---|---|---|
| North (Adjacent and Across 72 Avenue):  | Telus building adjacent, multi-family residential across 72 Avenue.                                   | Urban adjacent and Multiple Residential across 72 Avenue. | CHI adjacent and CD (By-law Nos. 12260, 11130, 14429, 15790, 15159 and 12806) across 72 Avenue. |
| East (Adjacent and Across 128 Street):  | Commercial adjacent and across 128 Street, single family residential and City park across 128 Street. | Urban   | CHI adjacent and C-5 and RF across 128 Street.  |
| South (Adjacent and Across 70A Avenue): | Single family residential adjacent and across 70A Avenue and mixed use adjacent                       | Urban   | RF and CD (By-law Nos. 13750 and 14406) adjacent and RF-SS across 70A Avenue.                   |
| West (Across 126 Street):               | Single family residential adjacent and across 126 Street, commercial across 126 Street.               | Urban   | RF adjacent and RA, RF-12 and CD (By-law No. 14164) across 126 Street.                          |

## DEVELOPMENT CONSIDERATIONS

- The subject site is located at 12666 – 72 Avenue, on the south side of 72 Avenue between 126 Street and 128 Street, and is occupied by the Newton Kwantlen Polytechnic University (KPU) campus.
- The site is zoned "One-Acre Residential Zone" (RA) and is designated Urban in the Official Community Plan (OCP). The applicant has a separate Development Application (No. 7909-0252-00)

for a rezoning and a General Development Permit, which contemplates the “Master Plan” for the campus, and has yet to proceed to Council. KPU staff have indicated they are committed to proceeding with this application and Surrey staff will continue to work with KPU staff regarding completion of this application.

- The applicant is proposing a Development Permit for a building addition to the Spruce Building which is located in the southeast portion of the site. The applicant is proposing to demolish 330 square metres (3,550 sq.ft.) of the existing Spruce Building and construct a 2,199 square metre (23,670 sq.ft.) addition, which would increase the size of the Spruce Building from 3,417 square metres (36,780 sq.ft.) to a total of 5,286 square metres (56,900 sq.ft.).
- In terms of calculating parking requirements, KPU indicates that they have 8,263 square metres (88,940 sq.ft.) of classroom/lab space and 3,304 square metres (35,560 sq.ft.) of gymnasium/assembly hall space. Based on the parking requirements in the Zoning By-law, 611 parking spaces are required. The Newton KPU campus has approximately 1,130 parking spaces.

### DESIGN PROPOSAL AND REVIEW

- The proposed building addition to the Spruce Building will create a new presence on the Newton campus for the Fine Arts and Sciences programs and provides a new "front door" to the Spruce Building on the eastern elevation.
- The proposed addition consists of infilling an existing open atrium area and also an addition to the the southeast portion of the building. The proposed two-storey addition matches the two-storey height of the existing building. The portion of the addition that is proposed to enclose the existing open atrium area will have a clerestory window, which will allow natural light into this two-storey enclosed atrium space. The enclosed atrium space provides collaborative space for students and an area for the Fine Arts and Science programs to intermingle.
- The applicant is proposing extensive glazing on the east elevation, which is the elevation most visible to the public realm, although the building is set back approximately 130 metres (430 ft.) from 128 Street. Extensive metal paneling and metal siding are also proposed as cladding materials for the proposed addition. Vertical solar shading is proposed on the east elevation, which also enlivens that façade. The applicant is targeting LEED Gold certification for the building.
- The applicant is proposing to rejuvenate the existing landscaped areas to the east and south of the Spruce Building. A new main entry walk is proposed to emphasize the main eastern entry to the Spruce Building from the east parking area and to enhance wayfinding on the campus. A lawn area that provides for "outdoor education on display" is the main feature of the easterly landscaped area. This landscaped area also includes seating, a landscape feature wall, retained trees and various planting beds. An outdoor studio area with permeable pavers and an outdoor kiln are proposed in the southerly landscaped area.

### TREES

- Laura Ralph, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

| Tree Species   | Existing  | Remove    | Retain   |
|--|-----------|-----------|----------|
| <b>Alder and Cottonwood Trees</b>  |           |           |          |
| Cottonwood   | 1         | 1         | 0        |
| <b>Deciduous Trees</b><br>(excluding Alder and Cottonwood Trees)           |           |           |          |
| Red Maple  | 11        | 11        | 0        |
| Tulip  | 6         | 1         | 5        |
| Dove   | 1         | 0         | 1        |
| Ash  | 1         | 0         | 1        |
| <b>Coniferous Trees</b>  |           |           |          |
| Deodar Cedar   | 1         | 0         | 1        |
| Spruce   | 1         | 0         | 1        |
| <b>Total (excluding Alder and Cottonwood Trees)</b>                        | <b>21</b> | <b>13</b> | <b>8</b> |
| <b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b> |           | <b>27</b> |          |
| <b>Total Retained and Replacement Trees</b>                                |           | <b>35</b> |          |

- The Arborist Assessment states that there are a total of 21 protected trees on the portion of the site impacted by the proposed building addition, excluding Alder and Cottonwood trees. One (1) existing tree, approximately 5% of the total trees on the portion of the site impacted by the proposed building addition, are Alder and Cottonwood trees. It was determined that 8 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services and building footprints.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 27 replacement trees on the site. The applicant is proposing 27 replacement trees, meeting City requirements.
- In summary, a total of 35 trees are proposed to be retained or replaced on the portion of the site impacted by the proposed building addition.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 1, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| Sustainability Criteria               | Sustainable Development Features Summary                                |
|---------------------------------------|---|
| 1. Site Context & Location<br>(A1-A2) | • Kwantlen Polytechnic University (KPU) is within an urban infill area. |
| 2. Density & Diversity<br>(B1-B7)     | • n/a   |
| 3. Ecology &                          | • The applicant is proposing to retain 10 trees, and plant 25 trees.    |

|  |  |
|--|--|
| Stewardship<br>(C1-C4)                               | <ul style="list-style-type: none"> <li>• Recycling and organic waste pick-up are available on the campus.</li> </ul>   |
| 4. Sustainable<br>Transport &<br>Mobility<br>(D1-D2) | <ul style="list-style-type: none"> <li>• The campus utilizes shared parking, provides electric vehicle charging stations, bike parking and also car-sharing parking spaces.</li> </ul> |
| 5. Accessibility &<br>Safety<br>(E1-E3)              | <ul style="list-style-type: none"> <li>• KPU strives to provide a safe campus for all community members.</li> </ul>  |
| 6. Green Certification<br>(F1)                       | <ul style="list-style-type: none"> <li>• The applicant is targeting LEED Gold certification.</li> </ul>  |
| 7. Education &<br>Awareness<br>(G1-G4)               | <ul style="list-style-type: none"> <li>• Development application signs were placed on the KPU property to advise residents of the proposed development.</li> </ul>                     |

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners, Action Summary and Project Data Sheets  
Appendix II. Development Permit No. 7916-0693-00

*Original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

KB/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Trevor Wong

Address: 12666 - 72 Avenue  
Surrey, BC

2. Properties involved in the Application

(a) Civic Address: 12666 - 72 Avenue

(b) Civic Address: 12666 - 72 Avenue  
Owner: Kwantlen Polytechnic University  
PID: 024-146-226  
Lot A Section 18 Township 2 New Westminster District Plan LMP37958

3. Summary of Actions for City Clerk's Office



(the "City")

DEVELOPMENT PERMIT

NO.: 7916-0693-00

**Issued To: Kwantlen Polytechnic University**

**(the "Owner")**

**Address of Owner: 12666 - 72 Avenue  
Surrey, BC V3W 2M8**

**A. General Provisions**

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 024-146-226

024-146-226

Lot A Section 18 Township 2 New Westminster District Plan LMP37958

12666 - 72 Avenue

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

**B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7916-0693-00 (1) through to and including 7916-0693-00 (12) (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.



### **C. Landscaping Installation and Maintenance**

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans numbered and attached as 7916-0693-00 (10) through to 7916-0693-00 (12) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

### **D. Security and Inspections**

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. The security for landscaping is to be submitted as follows:
  - i. Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$270,384.35 (the "Security")
4. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
5. For Form and Character development permits, when the Landscaping has been determined to be substantially complete, as determined by the City, and without the City having to use the Security, 90%, less deficiencies, of the original Security will be returned. When the Landscaping requirements and permit requirements receive final approval by the City, 10% of the original Security will be returned.
6. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
7. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

### **E. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.
6. This development permit is NOT A BUILDING PERMIT.


AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF     , 20 .

ISSUED THIS     DAY OF     , 20 .

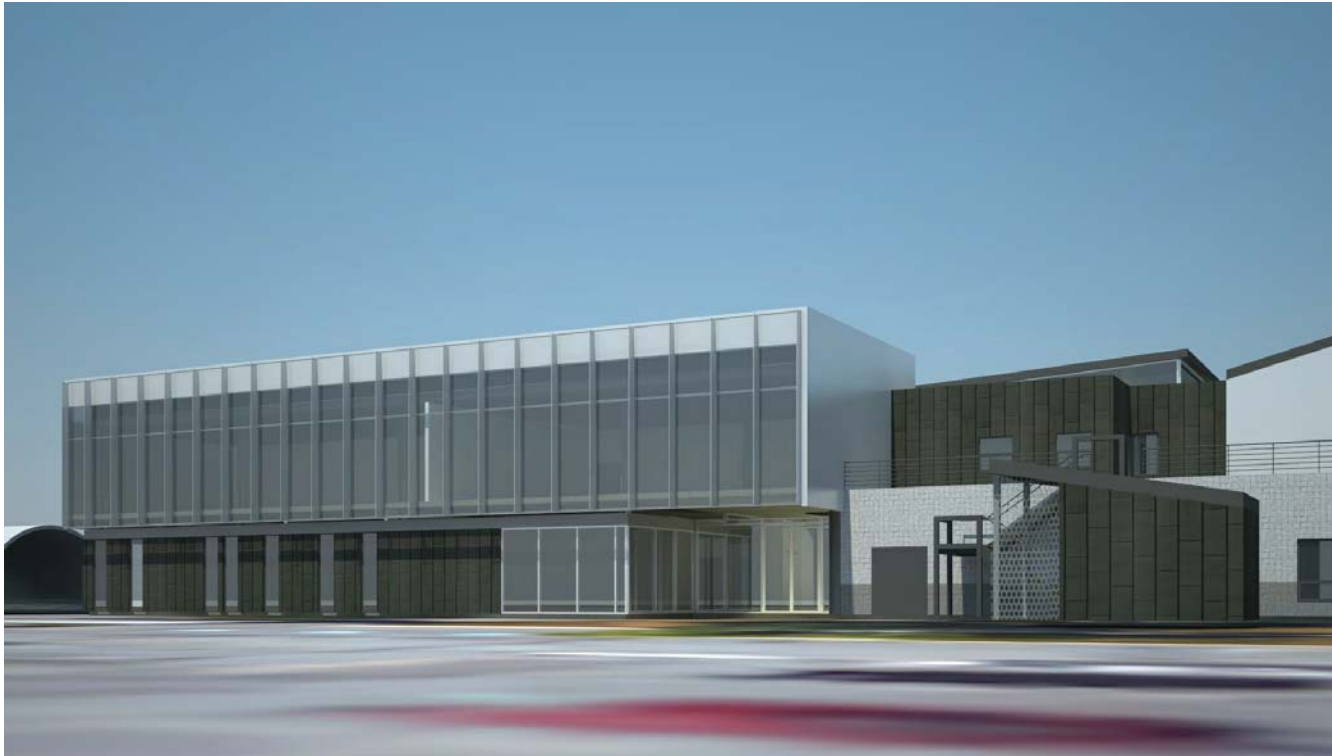
\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

  
\_\_\_\_\_  
Authorized Agent: (Signature)

Trevor Wong.  
\_\_\_\_\_  
Name: (Please Print)



| KPU DRAWING LIST     |              |   |
|----------------------|--------------|---|
| Sheet Classification | Sheet Number | Sheet Name                                    |
| INFORMATION          | A001         | COVER   |
| INFORMATION          | A002         | LEGEND / PROJECT DATA / LEGAL + CIVIC ADDRESS |
| ARCHITECTURE         | A110         | LOCATION PLAN                                 |
| ARCHITECTURE         | A111         | SITE PLAN                                     |
| ARCHITECTURE         | A112         | SITE SURVEY                                   |
| ARCHITECTURE         | A113         | EXISTING/DEMO LEVEL 1                         |
| ARCHITECTURE         | A114         | EXISTING/DEMO LEVEL 2                         |
| ARCHITECTURE         | A115         | EXISTING/DEMO ROOF PLAN                       |
| ARCHITECTURE         | A116         | LEVEL 1                                       |
| ARCHITECTURE         | A117         | LEVEL 2                                       |
| ARCHITECTURE         | A118         | ROOF PLAN                                     |
| ARCHITECTURE         | A119         | EXTERIOR ELEVATIONS                           |
| ARCHITECTURE         | A119a        | RENDERED PERSPECTIVES                         |
| ARCHITECTURE         | A120         | BUILDING SECTIONS + ATRIUM ELEVATIONS         |
| ARCHITECTURE         | A121         | WALL SECTIONS                                 |
| ARCHITECTURE         | A122         | LEVEL 1 CEILING DIAGRAM                       |
| ARCHITECTURE         | A123         | LEVEL 2 CEILING DIAGRAM                       |
| ARCHITECTURE         | A124         | FLOOR AREA CALCULATION                        |

ARCHITECTURE

STANTEC CONSULTING LTD.  
111 Dunsmuir Street  
Vancouver, BC T6B 6A3

Contact: Mark Travis

STRUCTURAL

STANTEC CONSULTING LTD.  
400 - 655 Tyee Road  
Victoria, BC V9A6X5

Contact: Brian Lange

MECHANICAL

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111 Dunsmuir Street  
Vancouver, BC T6B 6A3

Contact: Keith Bate

ELECTRICAL

STANTEC CONSULTING LTD.  
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Vancouver, BC T6B 6A3

Contact: Thys Fourie

CIVIL

STANTEC CONSULTING LTD.  
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Vancouver, BC T6B 6A3

Contact: Andrei Cvaci  
Contact: Sarv Jahankhani

GEOTECH

STANTEC CONSULTING LTD.  
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Burnaby, BC V5H 0C6

Contact: Joel Pineau

CODE

LDMG  
4th Floor, 780 Beatty St  
Vancouver, BC V6B 2M1

Contact: Alan Jung

LEED

STANTEC CONSULTING LTD.  
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Vancouver, BC T6B 6A3

Contact: Graham Twyford-Miles

ENVIRONMENTAL

STANTEC CONSULTING LTD.  
500-4730 Kingsway  
Burnaby, BC V5H 0C6

Contact: Matthew Redmond

LANDSCAPE

STANTEC CONSULTING LTD.  
111 Dunsmuir Street  
Vancouver, BC T6B 6A3

Contact: Emily Dunlop





Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY.MM.DD

Issued \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY.MM.DD

Permit/Seal \_\_\_\_\_

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Not for permits, pricing or other official purposes.  
This document has not been completed or checked and is for general information or comment only.

Client/Project \_\_\_\_\_

**Kwantlen  
KPU - Spruce Buidling  
Renovation**

12666 - 72 Ave.  
Surrey, BC  
Canada V3W 2M8

Title  
**FLOOR AREA CALCULATION**

Project No. 144316180 Scale As indicated

Revision \_\_\_\_\_ Drawing No. \_\_\_\_\_

**A124**

**7916-0693-00 (3)**

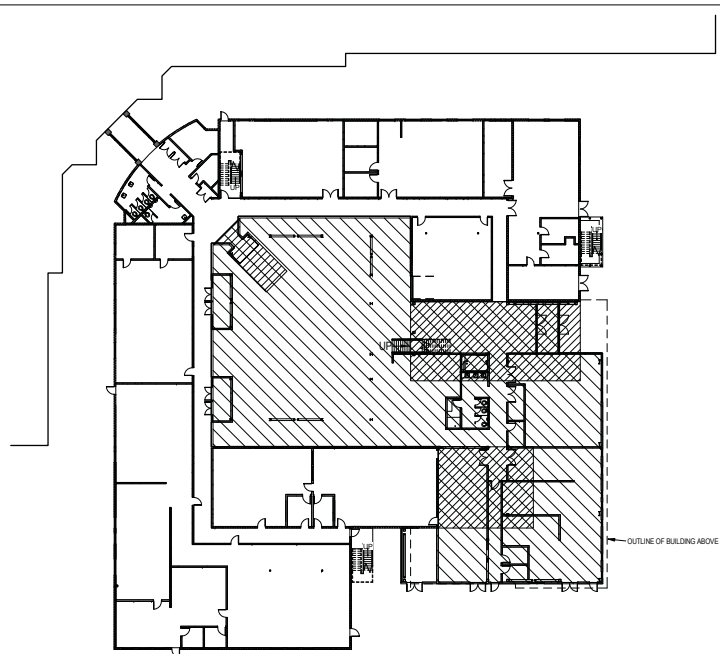
**AREA LEGEND**

- EXTENT OF AREA REDUCTION
- EXTENT OF NEW CONSTRUCTION

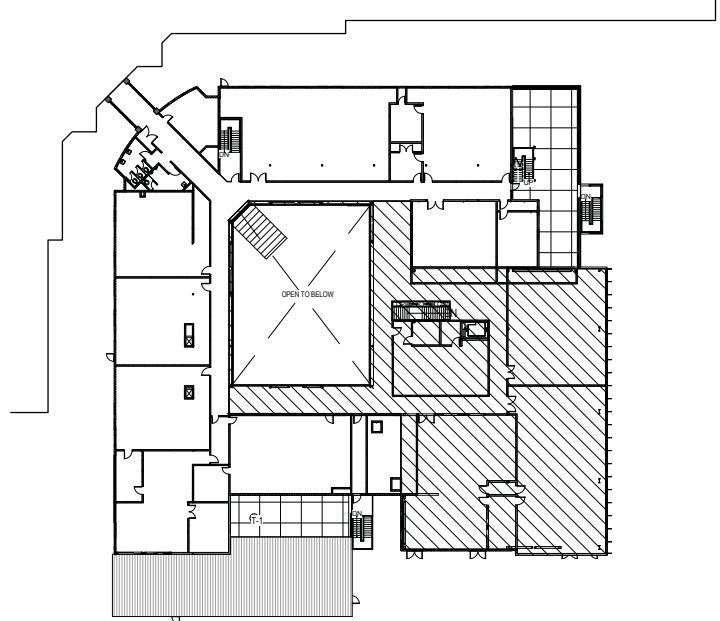
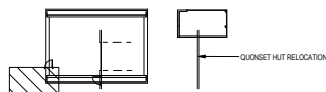
|                     | EXISTING | PROPOSED  |
|---------------------|----------|-----------|
| <b>GROUND FLOOR</b> |          |           |
| AREA REDUCTION      |          | 308.8 M2  |
| NEW CONSTRUCTION    |          | 1258.4 M2 |

|                     |  |          |
|---------------------|--|----------|
| <b>SECOND FLOOR</b> |  |          |
| AREA REDUCTION      |  | 21.3 M2  |
| NEW CONSTRUCTION    |  | 940.9 M2 |

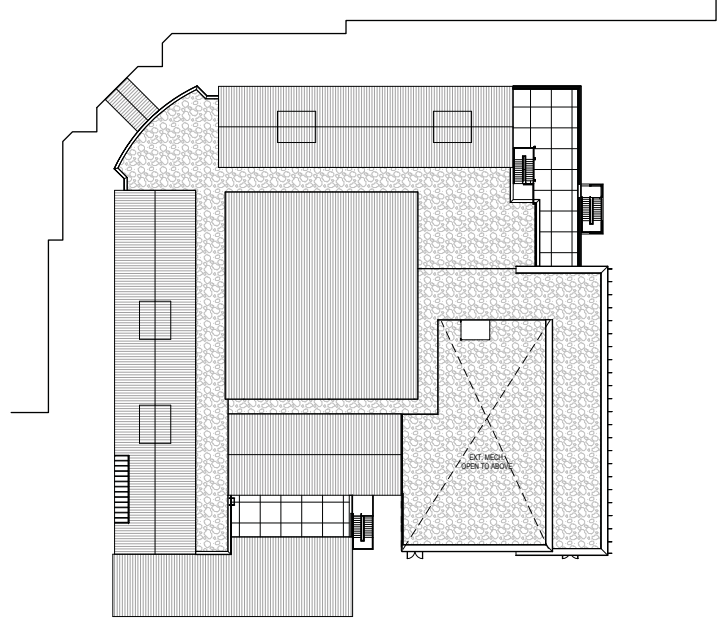
|                             |  |            |
|-----------------------------|--|------------|
| <b>TOTAL</b>                |  |            |
| EXISTING AREA               |  | 3,417 M2   |
| AREA REDUCTION              |  | 330.1 M2   |
| NEW CONSTRUCTION            |  | 2,199.3 M2 |
| TOTAL ADDITIONAL FLOOR AREA |  | 1,869.2 M2 |
| FLOOR AREA AFTER RENOVATION |  | 5,286.2 M2 |



**1 LEVEL 1 AREA OVERLAY**  
A124 1:400



**2 LEVEL 2 AREA OVERLAY**  
A124 1:400



**4 ROOF PLAN AREA OVERLAY**  
A124 1:400

**NOTES**

FIXED FURNITURE ELEMENTS TO BE INCLUDED WHERE HEAD ROOM CLEARANCE IS UNDER 2.0m.  
e.g. UNDER BRACING AND STAIRCASES.

STEEL/WOOD WORK SURFACE TO BE INTEGRATED BETWEEN ALL SECOND FLOOR BRACING AT 914mm ABOVE F.F.E.

ALL FLOORS TO BE POLISHED CONCRETE WITH SEAMLESS TRANSITION BETWEEN NEW AND EXISTING UNLESS OTHERWISE NOTED

EXISTING FIRE RATED SHAFT

FURNITURE N.I.C. - FOR REFERENCE PURPOSES ONLY

**INTERIOR FINISH LEGEND**

- WALLS
- EXISTING CONCRETE BLOCK WALLS
- PARTITION WALLS
- ACOUSTIC WALL TREATMENT
- FLOOR
- SLIP RESISTANT POLISHED CONCRETE
- ROOF
- CONCRETE PAVERS ROOF DECK
- FLAT ROOF
- STANDING SEAM METAL ROOF - CHARCOAL COLOUR



Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YY.MM.DD

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**Kwantlen  
KPU - Spruce Building  
Renovation**

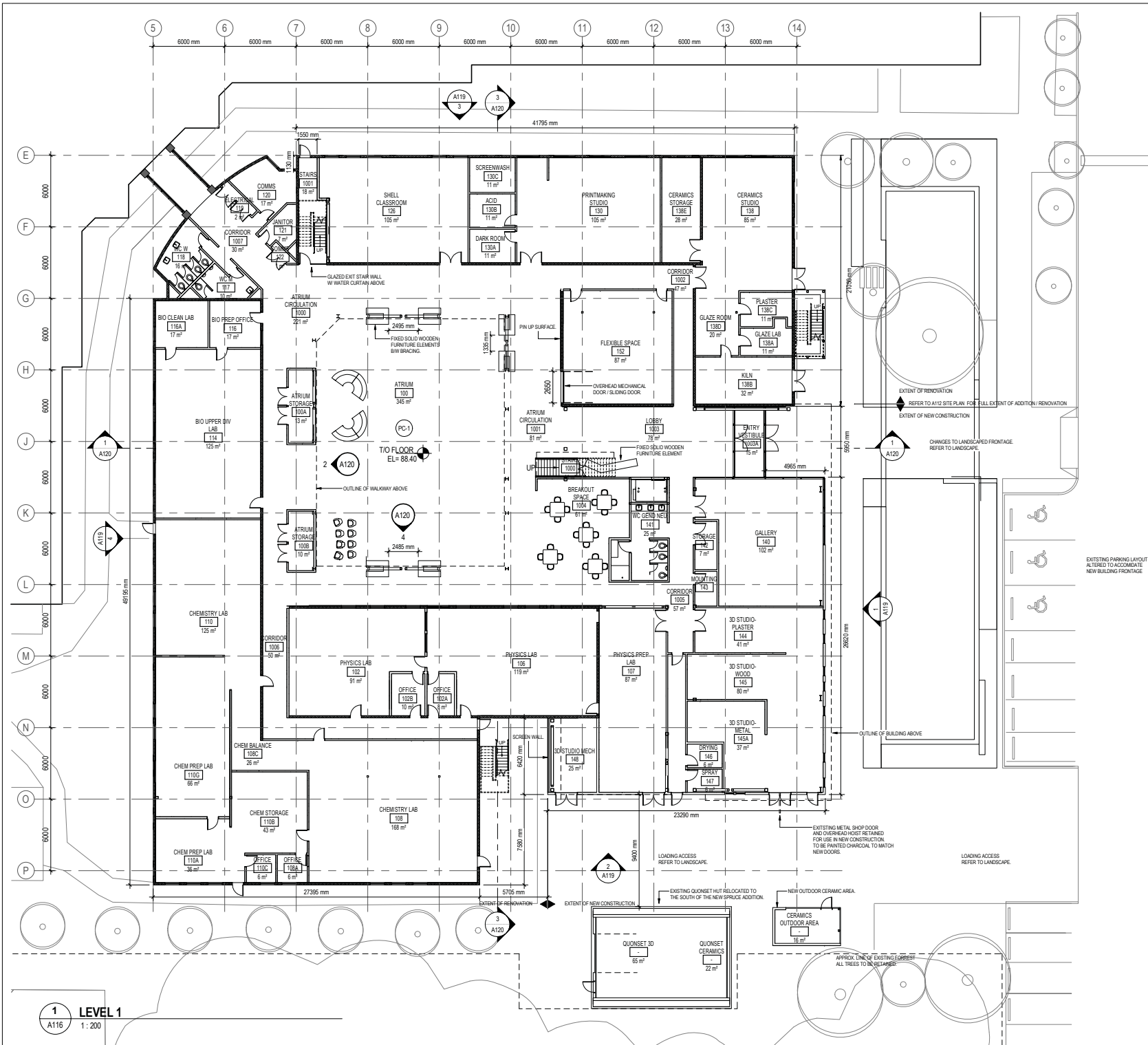
12666 - 72 Ave.  
Surrey, BC  
Canada V3W 2M8

Title  
**LEVEL 1**

Project No. 144316180  
Scale As indicated

Revision \_\_\_\_\_ Drawing No. **A116**

7916-0693-00 (4)



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**NOTES**

FIXED FURNITURE ELEMENTS TO BE INCLUDED WHERE HEAD ROOM CLEARANCE IS UNDER 2.1m, EX. UNDER BRACING AND STAIRCASES.

STEEL/WOOD WORK SURFACE TO BE INTEGRATED BETWEEN ALL SECOND FLOOR BRACING AT 914mm ABOVE F.F.E.

ALL FLOORS TO BE POLISHED CONCRETE WITH SEAMLESS TRANSITION BETWEEN NEW AND EXISTING UNLESS OTHERWISE NOTED.

EXISTING FIRE RATED SHAFT

FURNITURE N.I.C. - FOR REFERENCE PURPOSES ONLY

**INTERIOR FINISH LEGEND**

- WALLS
- EXISTING CONCRETE BLOCK WALLS
- PARTITION WALLS
- ACOUSTIC WALL TREATMENT
- FLOOR
- SLIP RESISTANT POLISHED CONCRETE
- ROOF
- CONCRETE PAVERS ROOF DECK
- FLAT ROOF
- STANDING SEAM METAL ROOF - CHARCOAL COLOUR



Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YY.MM.DD

Issued \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY.MM.DD

Permit-Setal

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Client/Project

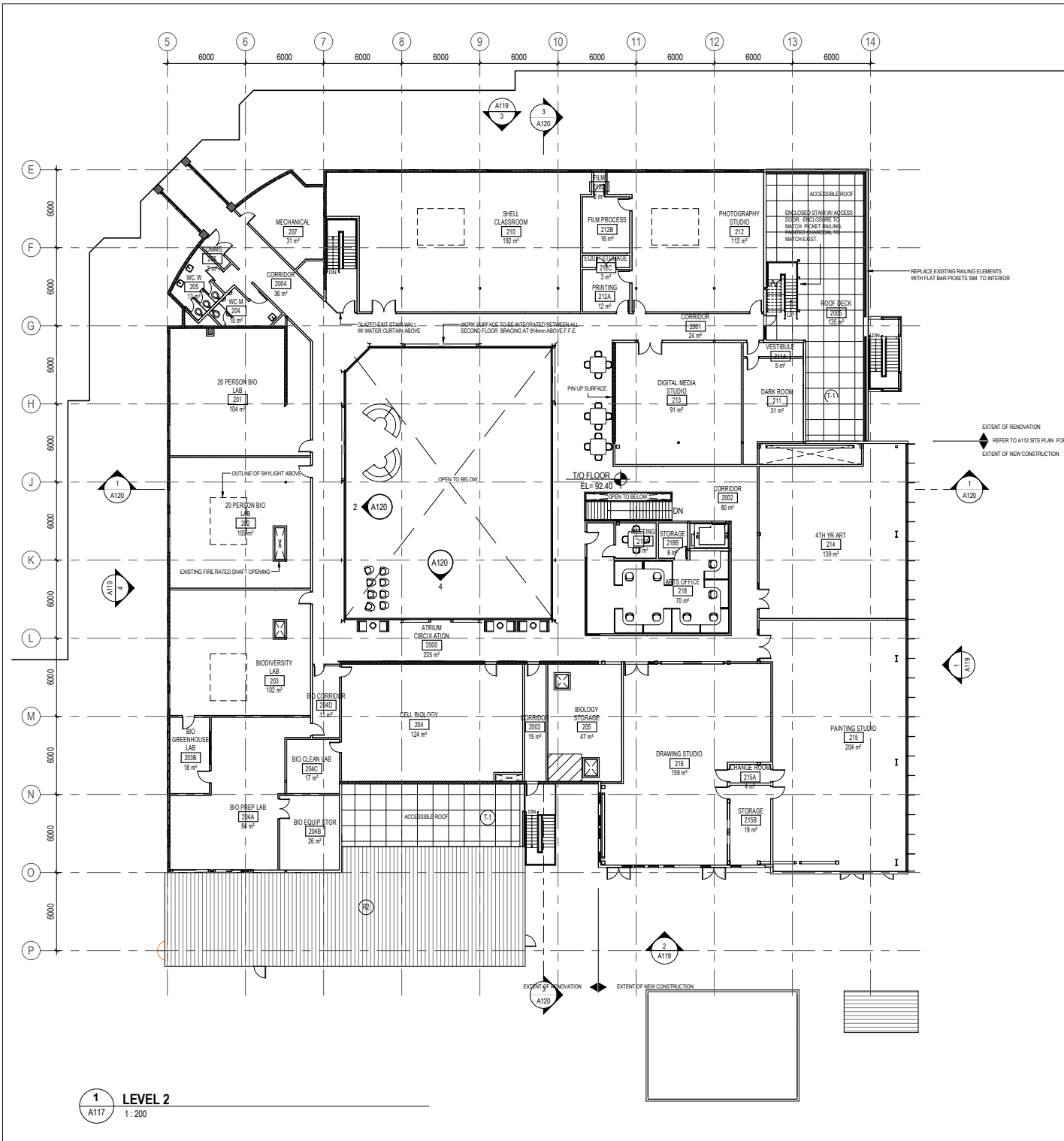
**Kwantlen  
KPU - Spruce Buidling  
Renovation**

12666 - 72 Ave.  
Surrey, BC  
Canada V3W 2M8

Title  
**LEVEL 2**

Project No. 144316180  
Scale As indicated

Revision \_\_\_\_\_ Drawing No.  
**A117**



**1 LEVEL 2**  
A117 1:200



**NOTES**  
ALL EXISTING FLAT ROOFS TO BE REPLACED WITH A SEAMLESS TRANSITION BETWEEN EXISTING AND NEW AREAS OF FLAT ROOFS.

- ROOF LEGEND**
- roof
  - CONCRETE PAVERS ROOF DECK
  - FLAT ROOF
  - STANDING SEAM SLOPED METAL ROOF - SHIMKOK COLOUR
  - GLASS ROOF



Revision By Appd YY.MM.DD

Issued By Appd YYYY.MM.DD

Permit-Seal

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Client/Project

**Kwantlen  
KPU - Spruce Buidling  
Renovation**

12666 - 72 Ave.  
Surrey, BC  
Canada V3W 2M8

Title

**ROOF PLAN**

Project No.  
144316180

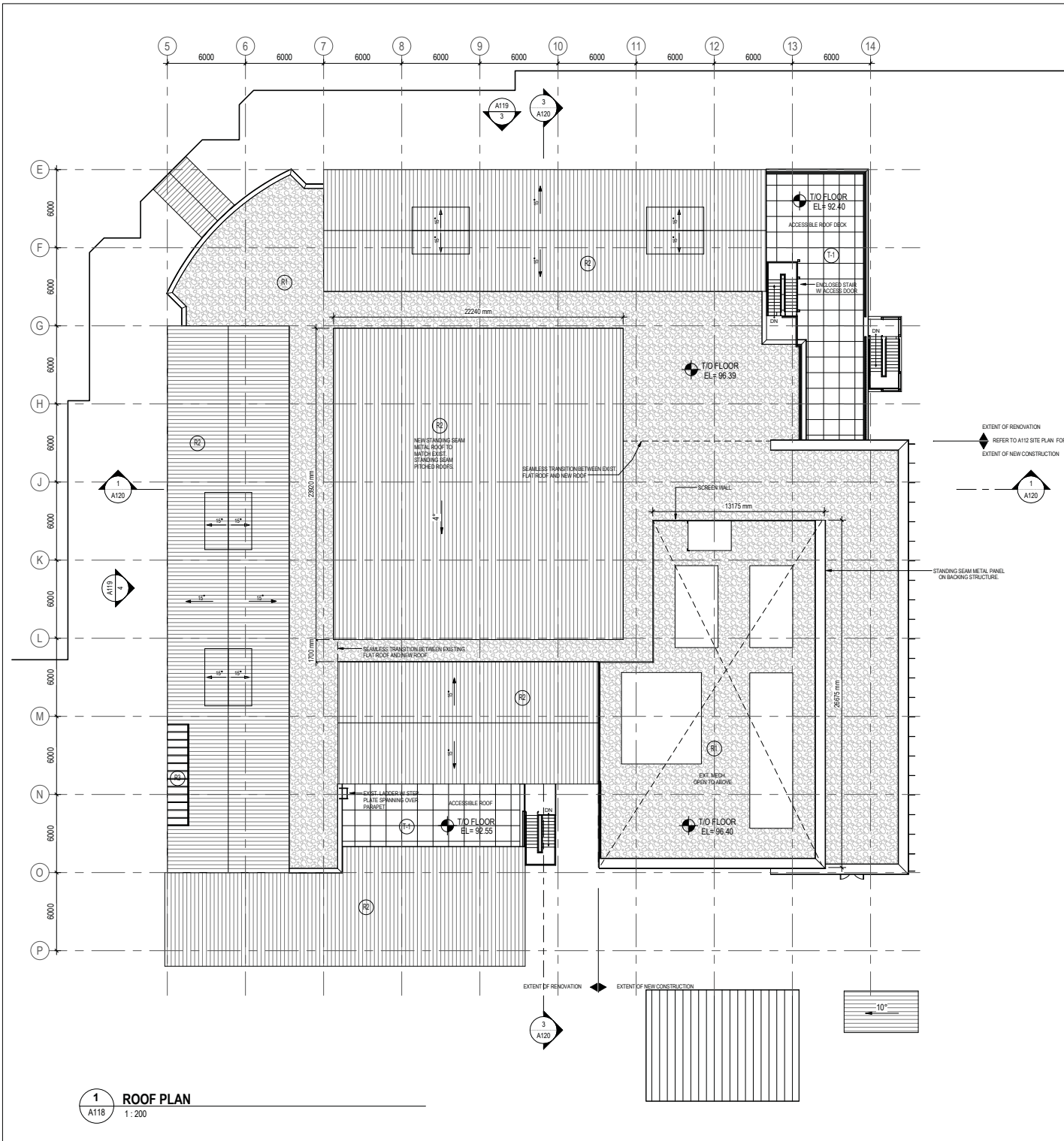
Scale  
As indicated

Revision

Drawing No.

**A118**

7916-0693-00 (6)



**1 ROOF PLAN**  
A118 1 : 200

**EXTERIOR MATERIAL LEGEND**

- METALS**
- (MT-1) CLEAR ANODIZED METAL PANEL
  - (MT-2) CHARCOAL COLOUR STANDING SEAM SHEET METAL SIDING - VERTICAL 550 WIDE MODULE
  - (MT-3) CHARCOAL METAL PANEL
  - (MT-4) CLEAR ANODIZED DOOR AND WINDOW FRAME
  - (MT-5) CHARCOAL COLOUR WINDOW AND DOOR FRAME
  - (MT-6) METAL SCREENING - CHARCOAL COLOUR
  - (FL-1) CLEAR ANODIZED PREFINISHED ALUMINUM FLASHING
  - (FL-2) CHARCOAL COLOUR PREFINISHED ALUMINUM FLASHING - STANDING SEAM
- GLASS**
- (GL-1) 4 WAY SSG CURTAINWALL
  - (GL-2) OPAQUE GLAZING
  - (GL-3) TRANSPARENT GLAZING
- CONCRETE BLOCK**
- (CB-1) SPLIT FACE CONCRETE BLOCK WITH COATING - COLOUR A
  - (CB-2) SINGLE SCORE CONCRETE BLOCK WITH COATING - COLOUR B

**INTERIOR MATERIAL LEGEND**

- WALLS**
- (CB-1) SPLIT FACE CONCRETE BLOCK WITH COATING - COLOUR A
  - (CB-2) SINGLE SCORE CONCRETE BLOCK WITH COATING - COLOUR B
  - (P-1) "PIN UP" WALL SURFACE - FOBO
  - (AW-1) ACOUSTIC WALL TREATMENT
- METALS**
- (MT-7) STRUCTURAL MEMBERS PAINTED WHITE WITH INTUMESCENT COATING
  - (MT-8) METAL PICKET GUARDRAIL - CHARCOAL COLOUR
- TIMBER**
- (T-1) HEAVY TIMBER BEAM



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UNIVERSITY**

**NOTES**

ALL DOOR AND WINDOW FRAMES WITHIN STANDING SEAM METAL PANEL TO MATCH CHARCOAL COLOUR FINISH.

CURTAINWALL MULLIONS TO BE 4 WAY SSG WITH ANODIZED ALUMINUM BACKSECTIONS. DOORS WITHIN TO MATCH ANODIZED FINISH OF BACK SECTION.

ALL EXISTING EXTERIOR RAILING TO BE REPLACED WITH NEW PICKET GUARDRAIL.



Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY/MM/DD

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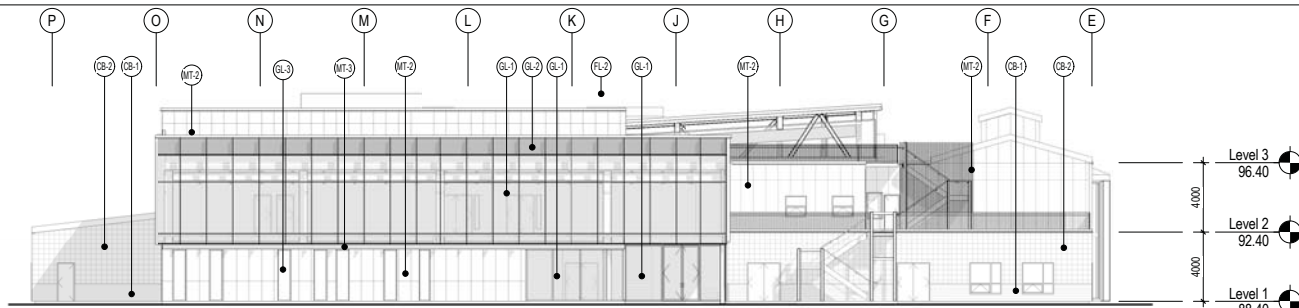
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Title  
**EXTERIOR ELEVATIONS**

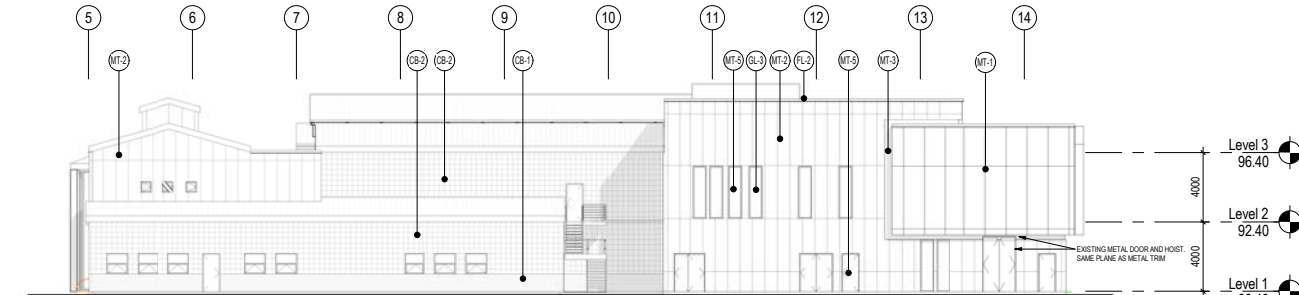
Project No. 144316180  
Scale As indicated

Revision \_\_\_\_\_ Drawing No. **A119**

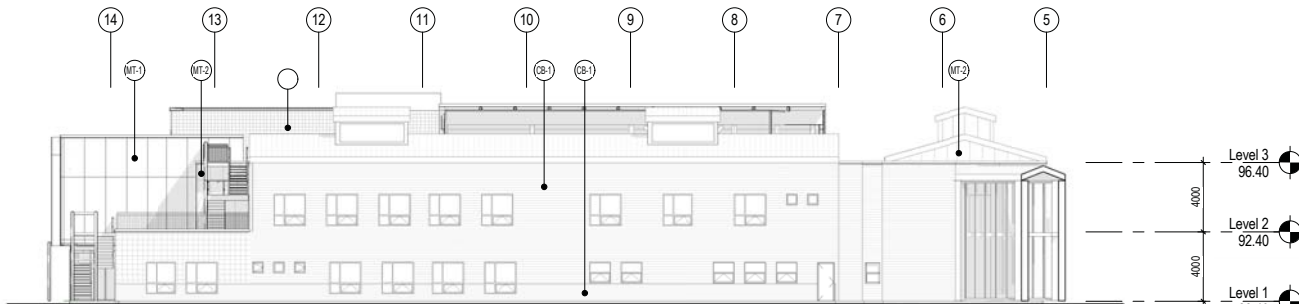
7916-0693-00 (7)



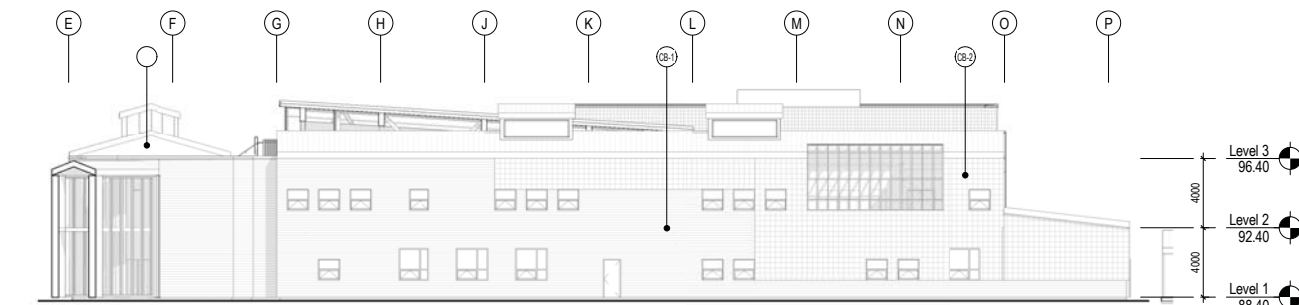
**1 EAST ELEVATION**  
A119 1: 200



**2 SOUTH ELEVATION**  
A119 1: 200



**3 NORTH ELEVATION**  
A119 1: 200



**4 WEST ELEVATION**  
A119 1: 200



SOUTH EAST BROSEYE



NORTH EAST BROSEYE



SOUTH EAST CORNER



NORTH EAST CORNER



SOUTH EAST CORNER



EAST ELEVATION



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Title

RENDERED PERSPECTIVES

Project No. Scale

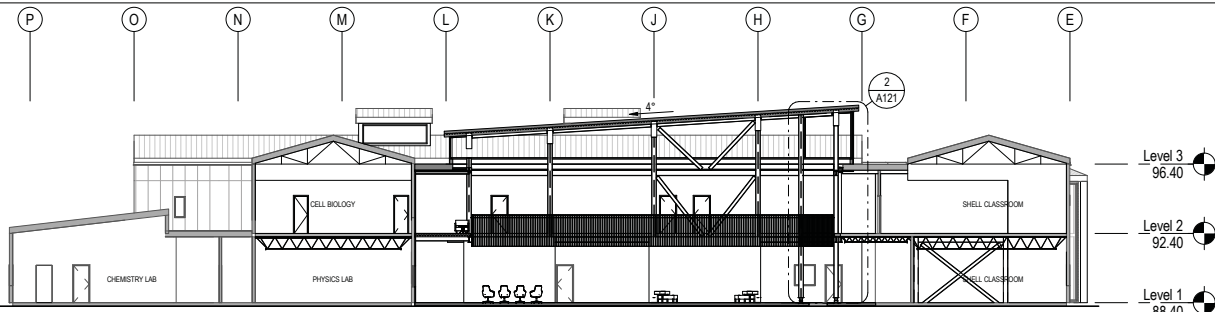
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Revision Drawing No.

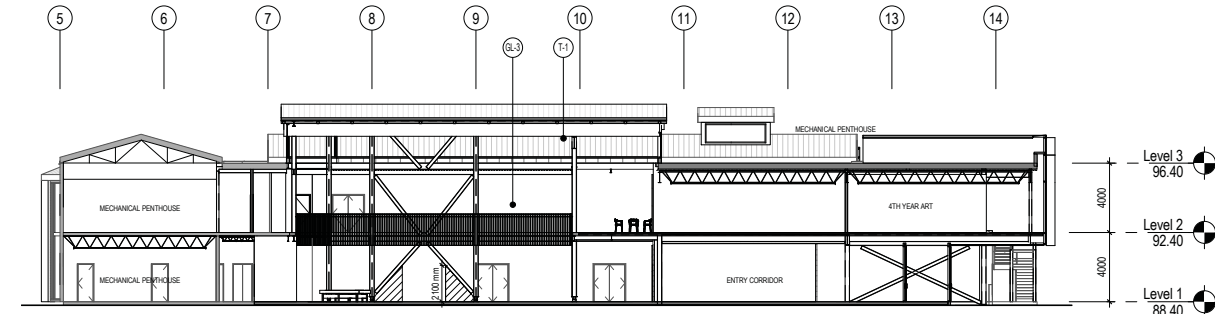
**A119a**

7916-0693-00 (8)

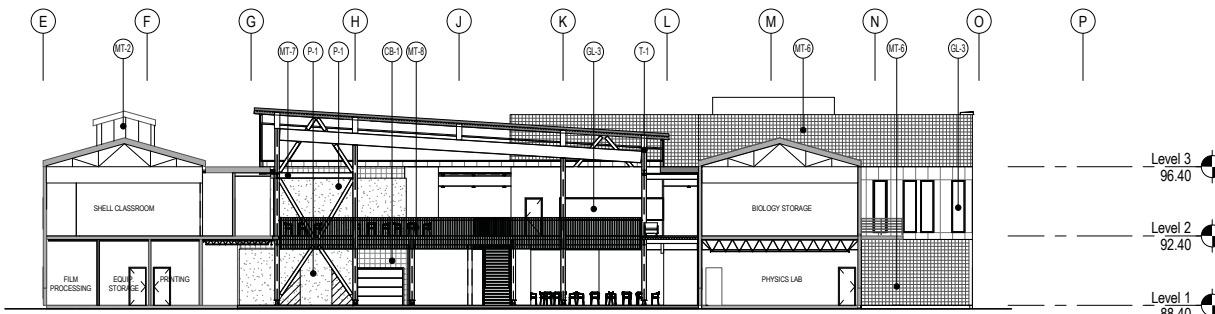
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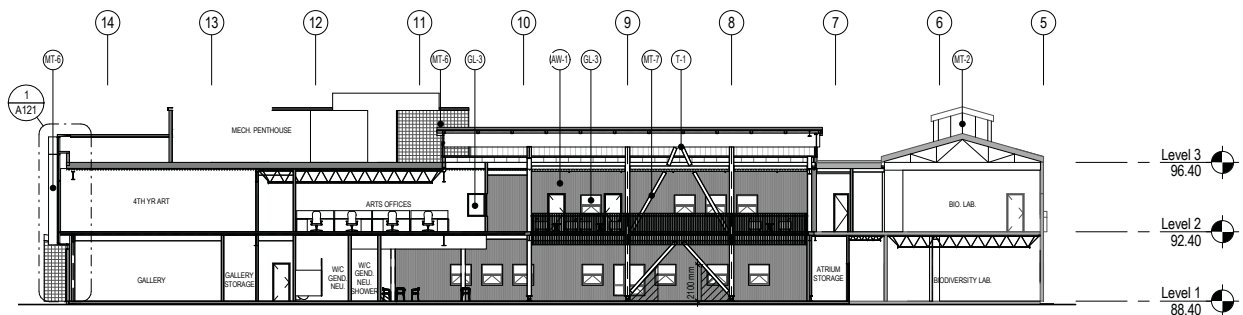
**2 WEST ATRIUM ELEVATION**  
A120 1:200



**1 NORTH ATRIUM ELEVATION**  
A120 1:200



**3 EAST ATRIUM ELEVATION**  
A120 1:200



**4 SOUTH ATRIUM ELEVATION**  
A120 1:200

**EXTERIOR MATERIAL LEGEND**

**METALS**

- (MT-1) CLEAR ANODIZED METAL PANEL
  - (MT-2) CHARCOAL COLOUR STANDING SEAM SHEET METAL SIDING - VERTICAL 550 WIDE MODULE
  - (MT-3) CHARCOAL METAL PANEL
  - (MT-4) CLEAR ANODIZED DOOR AND WINDOW FRAME
  - (MT-5) CHARCOAL COLOUR WINDOW AND DOOR FRAME
  - (MT-6) METAL SCREENING - CHARCOAL COLOUR
  - (FL-1) CLEAR ANODIZED PREFINISHED ALUMINUM FLASHING
  - (FL-2) CHARCOAL COLOUR PREFINISHED ALUMINUM FLASHING - STANDING SEAM
- GLASS**
- (GL-1) 4 WAY SSG CURTAINWALL
  - (GL-2) OPAQUE GLAZING
  - (GL-3) TRANSPARENT GLAZING

**CONCRETE BLOCK**

- (CB-1) SPLIT FACE CONCRETE BLOCK WITH COATING - COLOUR A
- (CB-2) SINGLE SCORE CONCRETE BLOCK WITH COATING - COLOUR B

**INTERIOR MATERIAL LEGEND**

**WALLS**

- (CB-1) SPLIT FACE CONCRETE BLOCK WITH COATING - COLOUR A
- (CB-2) SINGLE SCORE CONCRETE BLOCK WITH COATING - COLOUR B
- (P-1) "PIN UP" WALL SURFACE - FOBO
- (AW-1) ACOUSTIC WALL TREATMENT

**METALS**

- (MT-7) STRUCTURAL MEMBERS PAINTED WHITE WITH INTUMESCENT COATING
- (MT-8) METAL PICKET GUARDRAIL - CHARCOAL COLOUR

**TIMBER**

- (T-1) HEAVY TIMBER BEAM

**NOTES**

- ALL EXPOSED STRUCTURAL MEMBERS IN ATRIUM TO BE PAINTED WHITE WITH FIRE RATED INTUMESCENT PAINT.
- ROOF AND FLOOR STRUCTURE TO BE PAINTED CHARCOAL.
- FIXED FURNITURE ELEMENTS TO BE INCLUDED WHERE HEAD ROOM CLEARANCE IS UNDER 2.1m, eg UNDER BRACING AND STAIRCASES.
- ALL INTERIOR WALLS TO BE WHITE PAINTED DRYWALL UNLESS OTHERWISE NOTED.
- ALL EXISTING EXTERIOR WINDOWS THAT BECOME INTERIOR WITH THE INFILL OF THE ATRIUM ARE TO BE REPLACED.

- AREAS AROUND BRACING WHERE FIXED FURNITURE IS REQUIRED.



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**BUILDING SECTIONS +  
ATRIUM ELEVATIONS**

Project No. 144316180 Scale As indicated

Revision \_\_\_\_\_ Drawing No. \_\_\_\_\_

**A120**

7916-0693-00 (9)





| Revision | By | Appd | YY.MM.DD |
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| 3. ISSUED FOR DR. RESUBMISSION (REV. 3) | ED | ED | 2016.12.15 |
| 2. ISSUED FOR DR. RESUBMISSION          | ED | ED | 2016.12.08 |
| 1. DEVELOPMENT PERM APPLICATION         | ED | ED | 2016.11.30 |

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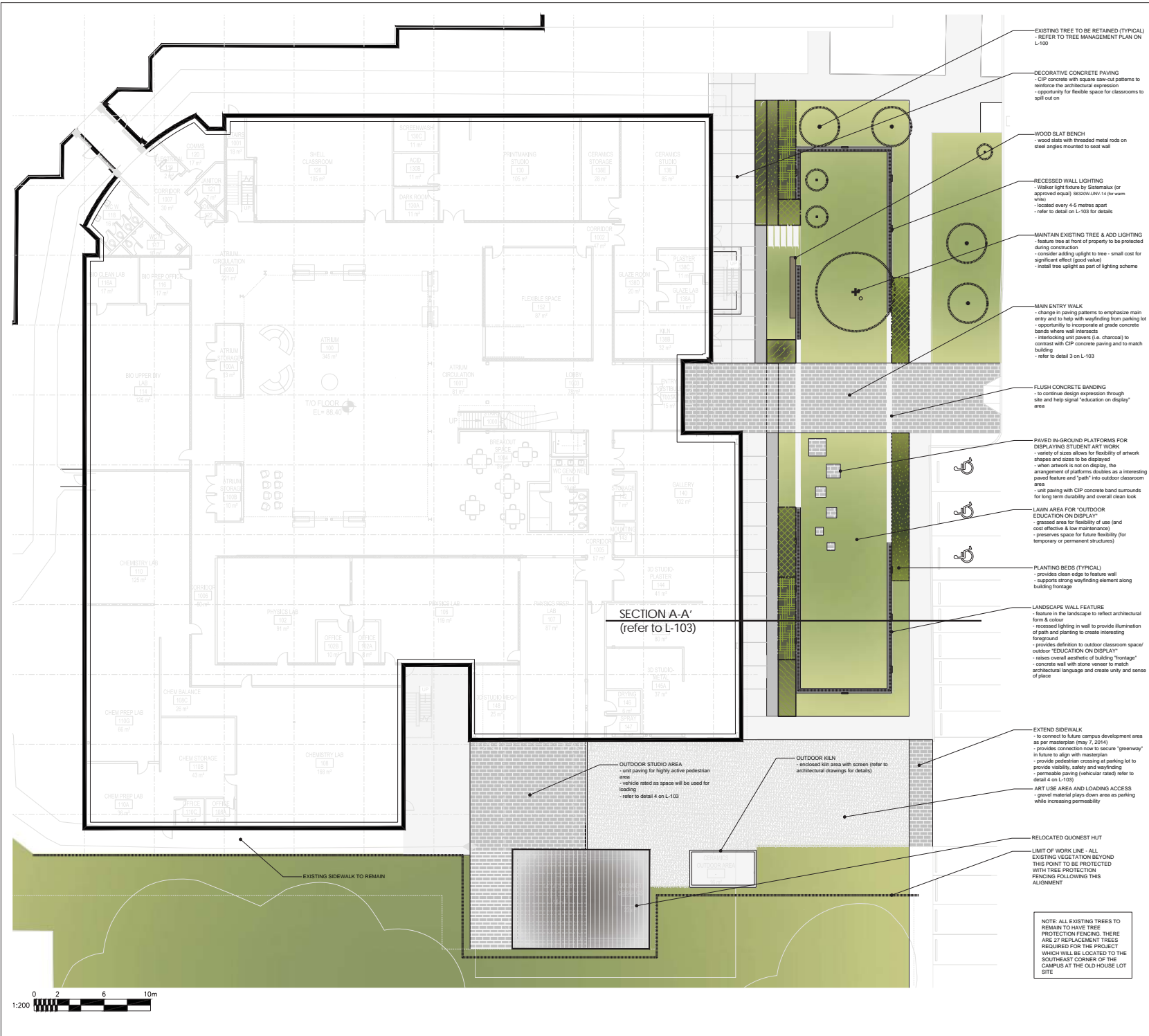
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








Title  
**LANDSCAPE PLAN**

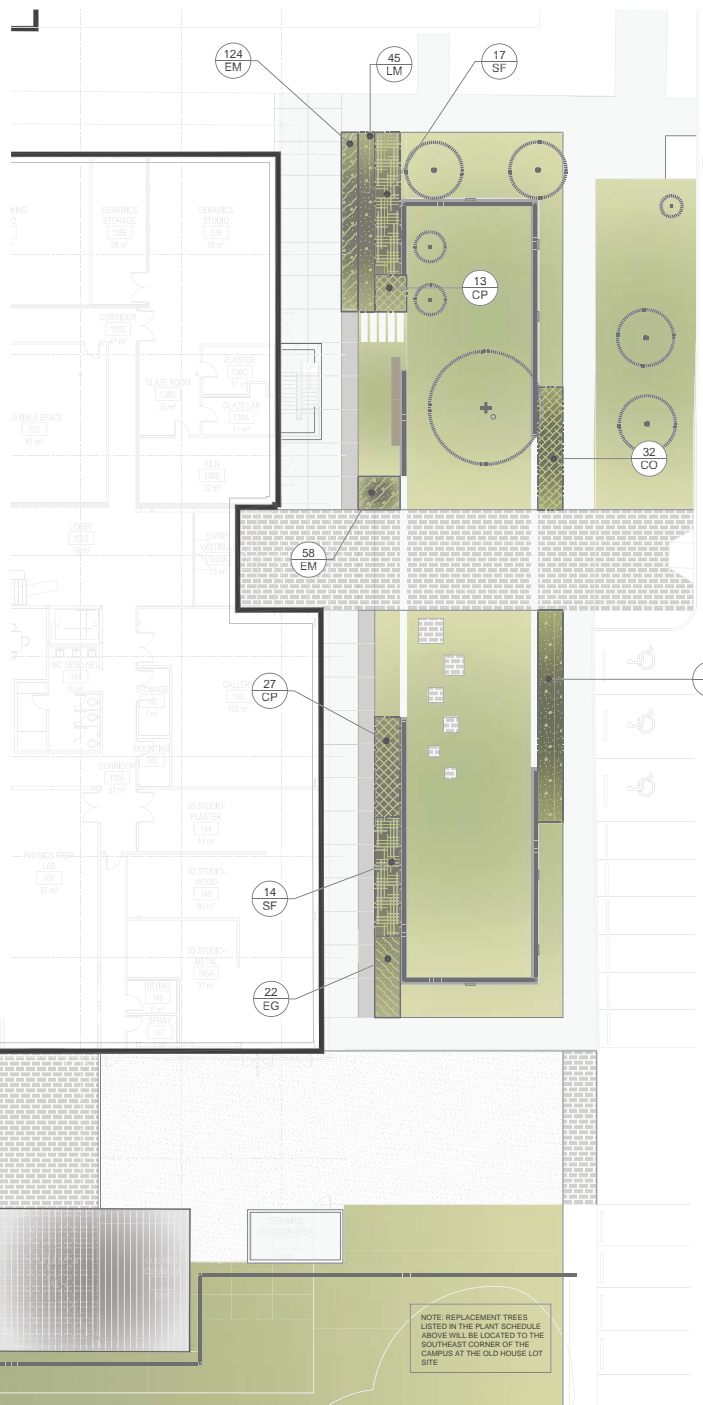
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| Project No.<br>144316180 | Scale<br>As Indicated       |
| Revision<br><b>3</b>     | Drawing No.<br><b>L-101</b> |

**7916-0693-00 (10)**



**PLANT SCHEDULE**

| TREES   | CODE | BOTANICAL NAME                       | COMMON NAME                | CONDITION | SIZE        | SPACING (O.C.) | QTY        |     |
|---|------|--------------------------------------|----------------------------|-----------|-------------|----------------|------------|-----|
|    | AC   | Acer circinatum                      | Vine Maple                 | B & B     | 7 cm cal.   | see plans      | 6          |     |
|    | AM   | Acer macrophyllum                    | Big Leaf Maple             | B & B     | 7 cm cal.   | see plans      | 3          |     |
|    | CN   | Cornus nuttallii                     | Western Flowering Dogwood  | B & B     | 7 cm cal.   | see plans      | 3          |     |
|    | PS   | Picea sitchensis                     | Sitka Spruce               | B & B     | 2.0m height | see plans      | 3          |     |
|    | PC   | Prunus virginiana                    | Chokecherry                | B & B     | 7 cm cal.   | see plans      | 5          |     |
|    | TP   | Thuja plicata                        | Western Red Cedar          | B & B     | 2.0m height | see plans      | 4          |     |
|    | TH   | Tsuga heterophylla                   | Western Hemlock            | B & B     | 2.0m height | see plans      | 3          |     |
| <b>TOTAL TREES</b>  |      |                                      |                            |           |             |                | <b>27</b>  |     |
| SHRUB AREAS   | CODE | BOTANICAL NAME                       | COMMON NAME                | CONDITION | SIZE        | SPACING (O.C.) | SPACING    | QTY |
|    | CO   | Calamagrostis x acutiflora 'Overdam' | Overdam Feather Reed Grass | container | #2 pot      | 600mm          | 600mm      | 32  |
|    | CP   | Ceanothus gloriosus 'Point Reyes'    | Point Reyes Ceanothus      | container | #2 pot      | 800mm          | 600mm      | 40  |
|    | EG   | Elymus glaucus                       | Blue Wildrye               | container | #2 pot      | 600mm          | 600mm      | 22  |
|   | EM   | Elymus mollis                        | American Dunegrass         | container | #2 pot      | 300mm          | 300mm      | 182 |
|  | LM   | Lavandula angustifolia 'Munstead'    | Munstead English Lavender  | container | #2 pot      | 500mm          | 500mm      | 125 |
|  | SF   | Sarcococca humilis 'Fragrant Valley' | Sweetbox                   | container | #3 pot      | 900mm          | 900mm      | 31  |
| <b>TOTAL SHRUBS, PERENNIALS AND GRASSES</b>   |      |                                      |                            |           |             |                | <b>432</b> |     |



Lavandula angustifolia (munstead lavender)  
-very drought tolerant perennial  
- container (#2 pot)



Pachysandra terminalis (japanese spurge)  
- low maintenance groundcover  
- container (#1 pot)



Sarcococca humilis 'fragrant valley' (sweetbox)  
- low maintenance and low growing shrub  
- container (#3 pot)



Elymus mollis (american dune grass) - "bullet proof" perennial grass - container (#2 pot)



Calamagrostis overdam (overdam feather reed grass)  
- "bullet proof" perennial grass - container (#2 pot)



Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YY.MM.DD

3. ISSUED FOR DPR-SUBMISSION (REV 3) ED ED 2016.12.15  
2. ISSUED FOR DPR-SUBMISSION ED ED 2016.12.08  
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Title  
**PLANTING PLAN**

Project No.  
**144316180**

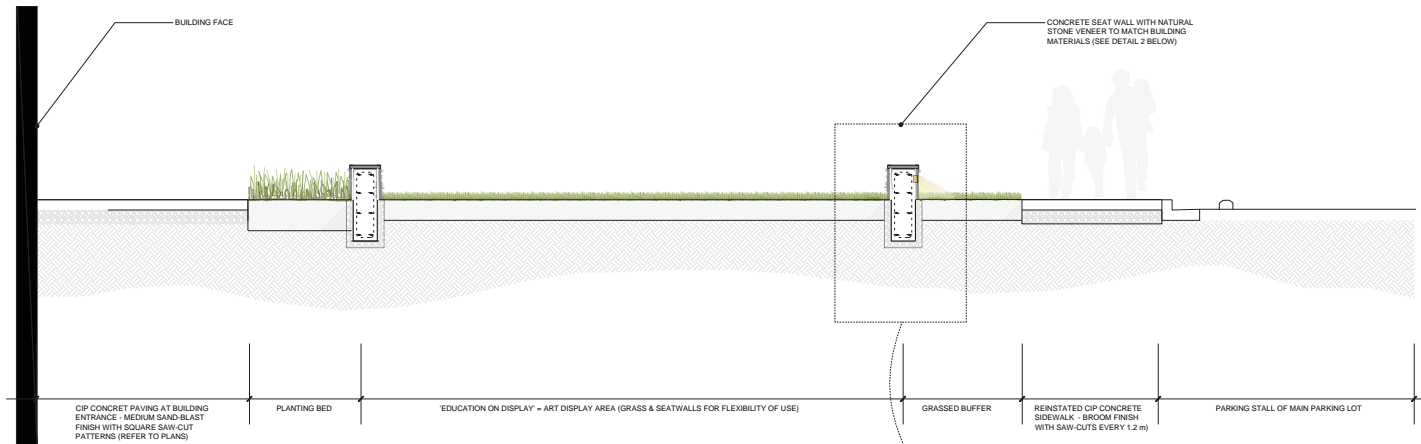
Scale  
**As Indicated**

Revision  
**3**

Drawing No.  
**L-102**

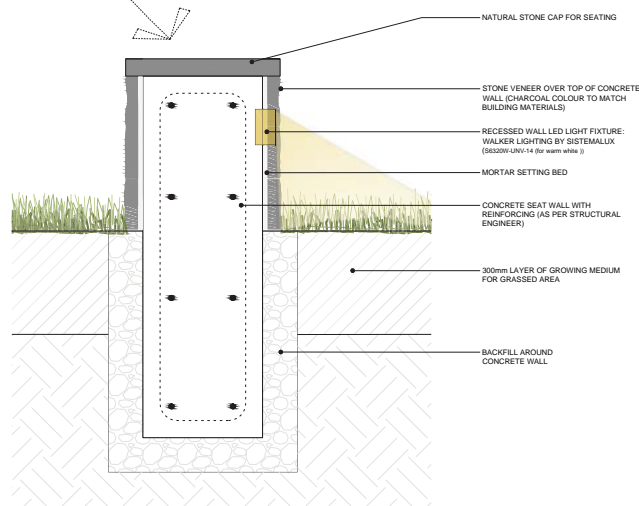
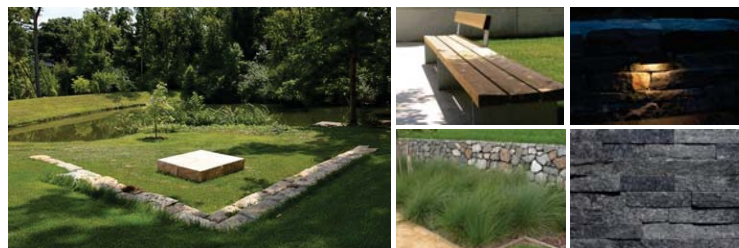
**7916-0693-00 (11)**



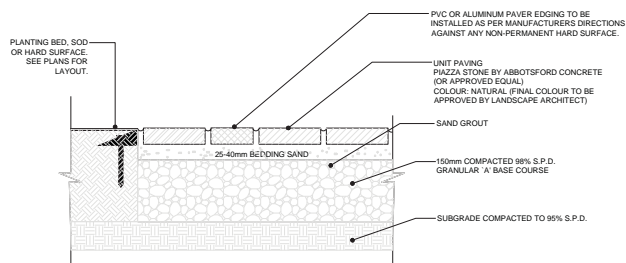


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L103 1:50

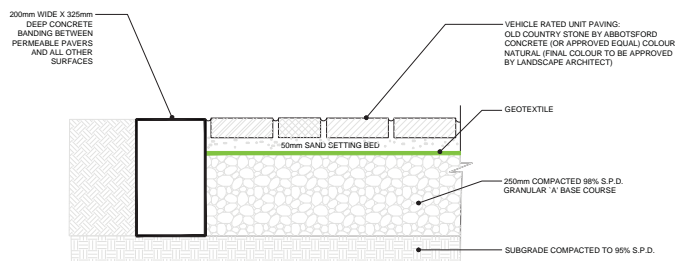
DETAIL EXAMPLE IMAGERY



**2 TYPICAL DETAIL OF SEATWALL**  
L103 1:10



**3 TYPICAL DETAIL OF UNIT PAVING (PEDESTRIAN RATED)**  
L103 1:10



**4 TYPICAL DETAIL OF UNIT PAVING (VEHICLE RATED)**  
L103 1:10



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| 3. ISSUED FOR DP-RESUBMISSION (REV 3) | ED | ED | 2016.12.15 |
| 2. ISSUED FOR DP-RESUBMISSION         | ED | ED | 2016.12.08 |
| 1. DEVELOPMENT PERM APPLICATION       | ED | ED | 2016.11.30 |

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Title  
**LANDSCAPE DETAILS**

|                          |                             |
|--------------------------|-----------------------------|
| Project No.<br>144316180 | Scale<br>As Indicated       |
| Revision<br><b>3</b>     | Drawing No.<br><b>L-103</b> |