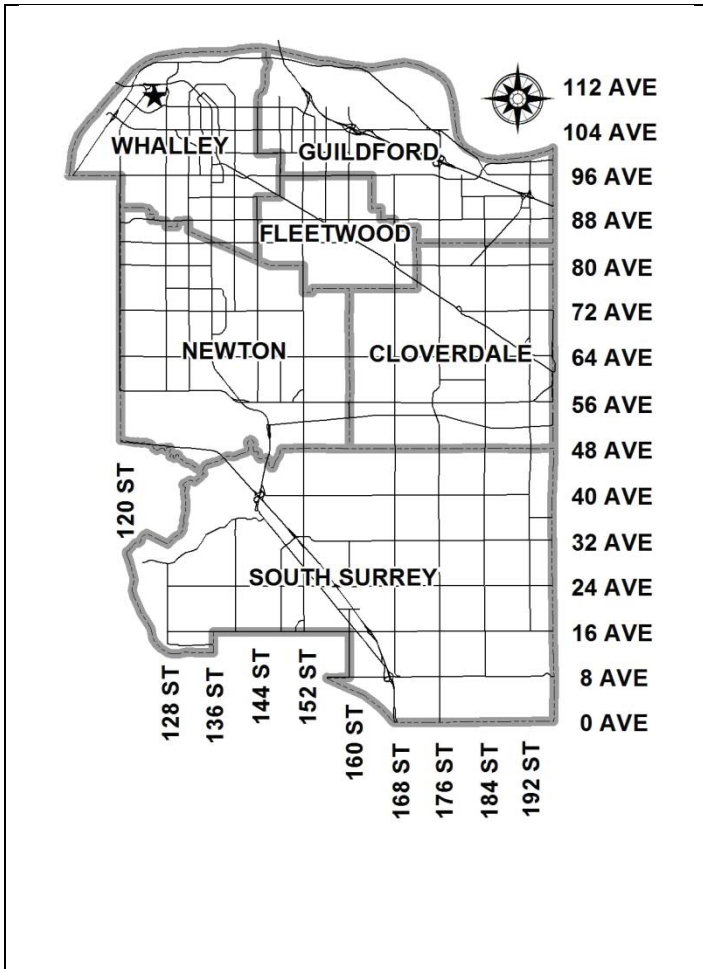


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0685-00

Planning Report Date: May 8, 2017

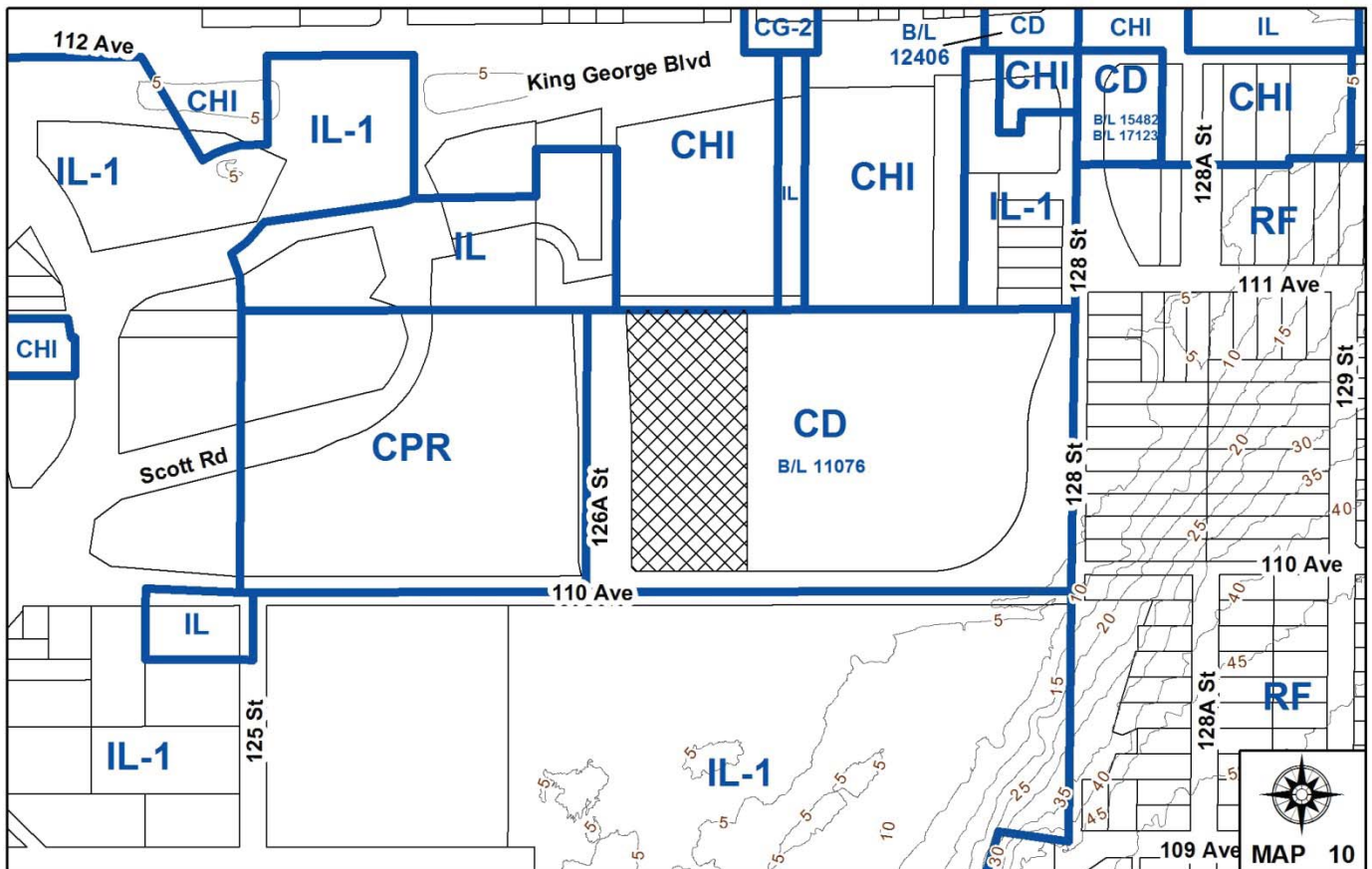


PROPOSAL:

- **OCF Amendment** from Commercial and Mixed Employment to Multiple Residential
- **OCF Text Amendment** to allow a higher density in the Multiple Residential designation
- **NCP Amendment** from Highway Commercial to Transit-Oriented Urban Village
- **Rezoning** from CD (By-law No. 11076) to CD (based on RM-70 and C-5)
- **Development Permit**

to permit a mixed-use retail and multiple unit residential development.

LOCATION: 12661 – 110 Avenue
OWNER: Waterstone Holdings No 2 Ltd.
ZONING: CD (By-law No. 11076)
OCF DESIGNATIONS: Commercial and Mixed Employment
NCP DESIGNATION: Highway Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment;
 - OCP Text Amendment; and
 - Rezoning.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Does not comply with the Mixed Employment designation in the OCP or with the density permitted under the Multiple Residential designation in the OCP.
- Does not comply with the Highway Commercial designation in the South Westminster NCP.
- Seeking variances to the Sign By-law to allow additional fascia signage through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- The proposed OCP Amendment of the subject site from Commercial and Mixed Employment to Multiple Residential will allow for a higher density, mixed-use development near the Scott Road SkyTrain Station, which is consistent with the City's goal of increasing density near transit services. The Multiple Residential designation supports high-density residential development along with local, neighbourhood-serving commercial and community uses.
- The proposed density is appropriate for this area of South Westminster, which is designated as a Future Frequent Transit Development Area in the OCP, given its proximity to frequent transit services, and is consistent with the goal in Metro Vancouver's Regional Growth Strategy of supporting sustainable transportation choices.
- The proposed NCP Amendment of the subject site from Highway Commercial to Transit-Oriented Urban Village is consistent with the designation of the adjacent property to the west and supports the objectives of the South Westminster NCP to develop an active, compact, mixed-use community near a transit station.
- The proposed density and building form on the subject site are appropriate for this part of South Westminster, where many of the properties are under-utilized and the preferred land uses have not been achieved. The subject proposal and the City's proposed sports and ice centre to the immediate south (Application No. 7917-0170-00) will provide impetus for other properties in the area to redevelop.
- The proposed signage has been comprehensively designed to be integrated with the design of the buildings. The proposed signs consist of high quality materials and are appropriate in size and scale.

RECOMMENDATION

The Planning & Development Department recommends that:

1. an OCP Amendment By-law be introduced to:
 - (a) amend "Figure 3: General Land Use Designations" by redesignating the subject site from Commercial and Mixed Employment to Multiple Residential;
 - (b) amend "Figure 42: Major Employment Areas" by removing the Commercial and Mixed Employment designations from the subject site; and
 - (c) amend "Table 7a: Land Use Designation Exceptions" by including a site-specific notation as shown on the attached table (Appendix III),

and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 11076) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,542 square metres (16,600 square feet) to 622 square metres (6,695 square feet).
5. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
6. Council authorize staff to draft Development Permit No. 7916-0685-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix IV).
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (f) submission of an acoustical report and registration of a Section 219 Restrictive Covenant to ensure the implementation of noise mitigation measures;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (h) completion of a minor amendment to Development Permit No. 6793-0081-00 (12701 – 128 Street) to remove and reconfigure the portion of the Home Depot parking lot, including the removal and replanting of trees, that encroaches onto the subject site;
 - (i) the applicant adequately address the impact of reduced indoor amenity space;
 - (j) discharge of Restrictive Covenant BG316893, which requires the subject site to conform with Development Permit No. 6793-0081-00; and
 - (k) registration of a Section 219 Restrictive Covenant to reflect the 514 proposed rental units and ensure that the applicant will adequately address the City's needs with respect to public art, and to address any shortfall in residential parking spaces, should the project be converted from rental housing to market units, at any point in the future.
8. Council pass a resolution to amend the South Westminster Neighbourhood Concept Plan to redesignate the subject site from Highway Commercial to Transit-Oriented Urban Village, when the project is considered for final adoption.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements, as outlined in Appendix V.
School District:	<p>Projected number of students from this development:</p> <p>13 Elementary students at Bridgeview Elementary School 5 Secondary students at Kwantlen Park Secondary School</p> <p>(Appendix VI)</p> <p>The applicant has advised that the dwelling units are expected to be constructed and ready for occupancy by Spring of 2019.</p>
Parks, Recreation & Culture:	No concerns.

Surrey Fire Department: No concerns.

TransLink: No concerns, but has requested the applicant enter into an agreement with them regarding the impact of the construction on the SkyTrain guideway and associated TransLink infrastructure due to the poor soil conditions in the area, and the applicant has agreed.

SITE CHARACTERISTICS

Existing Land Use: The Home Depot parking lot encroaches onto the eastern portion of the subject site; otherwise, the site is currently vacant.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Beyond City-owned lot for future 111 Avenue):	SkyTrain guideway above unauthorized truck parking.	Business / Residential Park	CHI
East:	Home Depot.	Highway Commercial	CD (By-law No. 11076)
South (Across 110 Avenue):	City-owned vacant land (Trouton Pit) under Application No. 7917-0170-00 for a sport and ice arena (pre-Council).	Retail / Residential and Multiple Residential	IL-1
West (Across 126A Street):	Scott Road Park & Ride.	Transit-Oriented Urban Village	CPR
Further West (Across Scott Road):	Scott Road SkyTrain Station.	SkyTrain	CPR

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located at 12661 – 110 Avenue in the South Westminster area, and is bounded by the SkyTrain guideway to the north and 110 Avenue to the south, and 126A Street to the west and the Home Depot site to the east. The Scott Road Park and Ride and the Scott Road SkyTrain Station are located to the west across 126A Street.
- The subject site is approximately 1.7 hectares (4.2 acres) in area and is zoned "Comprehensive Development Zone (CD)" By-law No. 11076. The property is designated Commercial and Mixed Employment in the Official Community Plan (OCP) and designated Highway Commercial in the South Westminster Neighbourhood Concept Plan (NCP).
- The previous owners of the subject site submitted a development application (File No. 7912-0185-00) to rezone the site to a "Comprehensive Development Zone (CD)" based on the

C-15 Zone, an OCP Amendment to redesignate the site from Industrial to Commercial, an NCP Amendment to redesignate the site from Highway Commercial to Transit-Oriented Urban Village, and a General Development Permit in order to develop a mixed-use, transit-oriented project. Development Application No. 7912-0185-00 was forwarded to Council on September 10, 2012, and Council supported staff's recommendation to refer the file back to staff to proceed with the standard processing of a complete development application.

- With the adoption of OCP By-law No. 18020 on October 20, 2014, the designation for this site was amended to Commercial and Mixed Employment.
- When Council initially considered Application No. 7912-0185-00, the subject site was still part of the Home Depot site (12701 – 110 Avenue) to the east. The two (2) current lots were created under the subdivision portion of the application (No. 7912-0185-00) in October of 2015.
- The subject site was subsequently sold, and Development Application No. 7912-0185-00 was closed on January 13, 2016.

Current Proposal

- The current owners of the subject site have submitted a development application to permit a total of four (4), 6-storey buildings on two (2) lots, containing approximately 33,950 square metres (365,460 sq.ft.) of residential space (514 units) and 1,102 square metres (11,867 sq.ft.) of ground floor commercial retail space. The proposal requires the following:
 - Official Community Plan (OCP) Amendment from Commercial and Mixed Employment to Multiple Residential;
 - OCP Text Amendment to allow a higher density in the Multiple Residential designation;
 - Neighbourhood Concept Plan (NCP) Amendment from Highway Commercial to Transit-Oriented Urban Village;
 - Rezoning from Comprehensive Development (CD By-law No. 11076) to CD (based on RM-70 and C-5);
 - Subdivision into two lots separated by a new road; and
 - Development Permit.
- The Mixed Employment designation in the OCP supports a mix of commercial, business, office and industrial uses, but specifically does not allow residential uses. Since the current proposal is primarily residential with ground-floor commercial retail uses, an OCP Amendment to Multiple Residential is required. The Multiple Residential designation is intended to support high-density residential development along with local, neighbourhood-serving commercial and community uses, similar to the current proposed development.
- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed OCP Amendment from Commercial and Mixed Employment to Multiple Residential is permitted under the General Urban land use designation, and therefore an amendment to the RGS is not required.
- An OCP Text Amendment is also proposed to increase the maximum allowable floor area ratio (FAR) under the Multiple Residential designation for the subject site, from 1.5 FAR to 2.0 FAR calculated on the gross site area. The maximum FAR permitted under the Multiple

Residential designation within a Frequent Transit Development Area (FTDA) is 2.0 gross FAR; however, the subject site is located in a Future FTDA, and therefore, the maximum density for the subject site is 1.5 net FAR.

- Although the subject site is located in a Future FTDA, the site is located directly east of the existing Scott Road SkyTrain Station, and therefore a higher density (2.0 gross FAR) is supportable since the proposed development maintains the City's objectives of increasing density and housing choice within an existing or proposed rapid transit corridor.
- The Highway Commercial designation in the NCP supports a mix of commercial, business, office and industrial uses, but only allows residential uses as an accessory use. Therefore, an NCP Amendment to Transit-Oriented Urban Village is proposed. This is consistent with the designation of the adjacent property to the west and supports the objectives of the South Westminster NCP to develop an active, compact, mixed-use community near transit services.
- The subject application incorporates land uses and densities that are consistent with the creation of a transit-oriented village, and will help shape and transform this area of South Westminster. The property to the south across 110 Avenue (12780 – 110 Avenue) is under Development Application No. 7917-0170-00 for an ice arena complex on City land. The proposal is currently pre-Council. These projects will provide the impetus for further redevelopment in the area.
- The applicant proposes to subdivide the subject property into two (2) lots. Proposed Lot 1 (south lot) is 0.64 hectare (1.6 acres) and proposed Lot 2 (north lot) is 0.82 hectare (2.0 acres) in size. The two (2) lots will be separated by a new east / west road (currently unnamed).
- The project includes two (2) 6-storey mixed-use buildings and two (2) 6-storey residential buildings – four (4) buildings in total. Proposed Buildings A (residential only) and B (mixed-use) are located on proposed Lot 1 (south lot) and proposed Buildings C (mixed-use) and D (residential only) are located on proposed Lot 2 (north lot). The following table outlines the floor area and unit types for each building:

BUILDING	UNIT TYPE AND NUMBER					RESIDENTIAL FLOOR AREA (INCLUDING INDOOR AMENITY)	COMMERCIAL FLOOR AREA
	STUDIO UNITS	1-BEDROOM UNITS	1-BEDROOM + DEN UNITS	2-BEDROOM UNITS	TOTAL		
A (RESIDENTIAL)	16	65	9	36	126	8,478 m ² (91,258 ft ²)	439 m ² (4,728 ft ²)
B (MIXED-USE)	8	68	8	23	107	7,086 m ² (76,274 ft ²)	None proposed
C (MIXED-USE)	12	73	11	27	123	8,094 m ² (87,118 ft ²)	663 m ² (7,139 ft ²)
D (RESIDENTIAL)	26	75	9	48	158	10,295 m ² (110,810 ft ²)	None proposed
TOTALS:	62	281	37	134	514	33,953 m ² (365,460 ft ²)	1,102 m ² (11,867 ft ²)

- The dwelling units will range in size from 34 square metres (367 sq.ft.) for a studio unit to 91 square metres (980 sq.ft.) for a 2-bedroom unit.
- The applicant has indicated that the proposed dwelling units will consist entirely of rental units.
- In accordance with the City's Public Art Policy No. R-21, the applicant was not required to provide a monetary contribution towards public art due to the residential component being intended for rental. A Restrictive Covenant will be required to be placed on the site specifying that, in the event that any or all of the units within the rental building are converted to market units, the applicant will fulfill their requirement to provide a cash-in-lieu contribution as per the public art policy.
- The western portion of the existing Home Depot parking lot on the abutting lot to the east (12701 – 110 Avenue) extends onto the subject site. The parking spaces, drive aisles, landscape islands and trees that extend onto the subject site will be removed, and the Home Depot parking lot will undergo a minor reconfiguration. A total of 90 parking stalls will be removed from the Home Depot site, but the remaining parking supply (597 parking stalls) still exceeds the minimum parking requirement for the site. A minor Development Permit will be required to ensure the parking lot reconfiguration and tree planting is appropriate.

Housing Agreement

- Section 483 of the *Local Government Act* authorizes local governments to enter into Housing Agreements for terms and conditions agreed to by the owner and the local government regarding the occupancy of the housing units.
- The applicant is proposing a total of 514 rental dwelling units on the subject site. Staff requested that the applicant consider a Housing Agreement to restrict the dwelling units to rental only for a specific period of time (e.g. 20 years).
- The applicant, WestStone, is not willing to enter into a Housing Agreement and has stated it is their intent to construct and operate the project as purpose-built rental dwelling units for the foreseeable future, which is a much needed facility for the City of Surrey. They have indicated that a Housing Agreement is an unnecessary restriction on their company's ability to manage its assets.

Road Dedication

- The applicant is required to dedicate approximately 5.0 metres (16.5 ft.) along the south property line to widen 110 Avenue to the 30-metre (100-ft.) ultimate road allowance.
- The applicant is also required to dedicate the portion of the property that is currently encumbered by a right-of-way (ROW) for a 20-metre (66-ft.) wide east/west road (currently unnamed) through the middle of the site. This east/west road will be extended when the Home Depot site to the east (12701 – 110 Avenue) redevelops in the future.
- In accordance with the South Westminster Neighbourhood Concept Plan (NCP), the applicant is required to complete the construction of 126A Street along the west property line. The applicant has however, proposed a minor realignment to the north half of 126A Street, by

shifting it slightly to the west. The minor shift will not impact the alignment of the future unnamed road, which will connect to 128 Street to the east, in compliance with the South Westminster NCP.

- These connections will maintain the objectives of the South Westminster NCP and the City's Transportation Strategic Plan of achieving a finer-grained road network to increase mobility and access for all modes of transportation.

PROPOSED CD BY-LAW (APPENDIX XII)

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed mixed-use and residential buildings. The proposed CD By-law for the subject site is based upon the Multiple Residential 70 Zone (RM-70) and the Neighbourhood Commercial Zone (C-5).
- A comparison of the permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Residential Uses (RM-70 Zone)		Proposed CD By-law
Multiple unit residential buildings and ground-oriented multiple unit residential buildings	Permitted	Permitted
Child care centres	Permitted	Permitted
Commercial Uses (C-5 Zone)		Proposed CD By-law
Retail Uses, excluding adult entertainment stores, auction houses, secondhand stores and pawnhouses	Permitted	Permitted
Office Uses, excluding social escort services and methadone clinics	Permitted	Permitted
Personal Service Uses limited to barber shops, beauty parlours, cleaning and repair of clothing and shoe repairs	Permitted	Permitted
General Service Uses, excluding funeral parlours, drive-through banks and vehicle rentals	Permitted	Permitted
Eating establishments, excluding drive-through restaurants	Permitted	Permitted
Neighbourhood pubs	Permitted	Permitted
Indoor recreational facilities	Permitted	Permitted
Community services	Permitted	Permitted
Child care centres	Permitted	Permitted
Caretaker's suite	Permitted	Not permitted

- The proposed CD By-law includes multiple unit residential buildings and ground-oriented unit residential buildings along with a variety of commercial uses appropriate for a mixed-use building.
- A comparison of the density, lot coverage, setbacks, and building height in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

	RM-70	C-5	Proposed CD By-law
Net FAR	1.50	0.50	Block A (Lot 1): 2.5 Block B (Lot 2): 2.3
Lot Coverage	33%	50%	85% (100% for air space parcels)
Setbacks	7.5 metres (25 ft.) to all lot lines		<u>Lot 1:</u> Front yard (west): 5.0 metres (16.5 ft.) Rear yard (east): 6.0 metres (20 ft.) Side yard (north): 4.7 metres (15.5 ft.) Side yard (south): 5.0 metres (16.5 ft.) <u>Lot 2:</u> Front yard (west): 5.0 metres (16.5 ft.) Rear yard (east): 6.0 metres (20 ft.) Side yard (north): 7.5 metres (25 ft.) Side yard (south): 4.7 metres (15.5 ft.) 0.0 metre (0 ft.) for air space parcels
Principal Building Height	50 metres (164 ft.)	9 metres (30 ft.)	24 metres (80 ft.)

- The proposed net floor area ratio (FAR) of 2.5 (gross FAR of 2.0) for the proposed development exceeds the maximum FAR of 1.5 permitted in the RM-70 Zone. The subject site is located within a Future Frequent Transit Development Area (FTDA) in accordance with the Official Community Plan (OCP) and is located directly east of the existing Scott Road SkyTrain Station. Therefore, the proposed density is supported since the proposed development maintains the City’s objectives of increasing density and housing choice within an existing rapid transit corridor.
- The proposed CD By-law reduces the building setbacks along all lot lines to a minimum of 5.0 metres (16.5 ft.), except for the side yard (north) setback for proposed Lot B. The north setback on proposed Lot B is 7.5 metres (25 ft.) in order provide greater separation between proposed Buildings C and D and the existing SkyTrain guideway to the north. The reduced setbacks along the remaining lot lines will promote active building interfaces with the streets and sidewalks with the exception of the east lot line, which interfaces with the Home Depot parking lot. This interface will be appropriately landscaped to ensure adequate screening and privacy.
- The proposed CD By-law will also allow minor encroachments of decks, building architectural features, roof overhangs, and ground floor risers into the setbacks. These elements are essential to the overall function and design of the proposed development.
- The proposed building height of 24 metres (80 ft.) is less than the maximum building height of 50 metres (164 ft.) in the RM-70 Zone to reflect the proposed 6-storey building form.
- The parking rates in the following table will be incorporated in the proposed CD By-law (also see Parking section of this report):

Site A and B	Zoning By-law Rate	Proposed CD By-law Rate
1-Bedroom Dwelling Unit or less	1.3 parking spaces per dwelling unit	1.0 parking space per dwelling unit
2-Bedroom Dwelling Unit	1.5 parking spaces per dwelling unit	1.2 parking spaces per dwelling unit
Residential Visitor Parking	0.2 parking space per dwelling unit	0.1 parking space per dwelling unit

- As the proposed development is a transit-oriented development, reduced residential parking rates (see Parking section) are supported, and are incorporated in the proposed CD By-law for the subject site. Commercial parking rates and any other proposed parking rates not identified in the table will be subject to parking rates listed under Part 5 Off-Street Parking and Loading/Unloading of Surrey By-law, 1993, No. 12000, as amended.
- The proposed CD By-law will allow up to 10% of the required residential bicycle parking spaces to be located on the exterior of the buildings. All other bicycle parking requirements for the residential and commercial components of the project are subject to Part 5 Off-Street Parking and Loading/Unloading of Surrey By-law, 1993, No. 12000, as amended.

DESIGN PROPOSAL AND REVIEW

- The development consists of two (2) 6-storey mixed-use buildings and two (2) 6-storey residential buildings. Proposed Buildings B (on proposed Lot 1) and C (on proposed Lot 2) include ground-floor commercial retail units facing west towards 126A Street.
- All of the buildings consist of a light and dark grey concrete brick base. The building materials include cement board siding panels with aluminum reveals painted white, black, and light and dark grey.
- Each building is highlighted with coloured accent frames using a different colour: proposed Building A (yellow), Building B (orange), Building C (blue), and Building D (green).
- Woodgrain aluminum slats are proposed over the commercial units to accentuate the storefronts.
- The proposed buildings incorporate a modern, contemporary design with relatively flat roofs and accentuated roof overhangs and significant glazing.
- All ground floor dwelling units have patios, while all non-ground-oriented dwelling units include a deck with aluminum / glass balcony railings.
- The on-site walkways will be slightly higher in elevation than the sidewalk, and as a result, some stairs and ramps are proposed. In order to create an urban, pedestrian-friendly streetscape, the applicant proposes appropriate landscaping, benches and features.

Storage Space

- In addition to the storage rooms proposed within the parking garages on proposed Lots 1 and 2, the applicant also proposes individual storage spaces for 378 (or 74%) of the dwelling units. These storage spaces are part of each dwelling unit, but can only be accessed by the interior hallway and not from within each unit. Building Division staff have no concerns with these units provided the applicant's consultant confirms that the storage units meet fire safety requirements.

Parking

- Although Transit-Oriented Developments (TODs) like the subject proposal focus on efforts to improve multi-modal choices, the site must still be able accommodate automobile usage. A successful TOD can achieve this by applying Transportation Demand Management (TDM) strategies that discourage unnecessary automobile trips. Providing an appropriate supply of parking is one highly effective TDM measure.
- The applicant proposes a self-contained three-level parking garage with one (1) level located partially underground and two (2) levels above grade on each lot (proposed Lots 1 and 2). The portions of the parking garages that are partially underground will not be connected underground across the new east/west road.
- Vehicle access to the underground parking garage for proposed Lots 1 and 2 is via the new, unnamed east/west road, which will be constructed as part of the subject development application.
- The two (2) levels of parking proposed above grade are located in the middle of each property and are surrounded by commercial or residential units. Therefore, the parking garages are not visible from the street.
- The applicant proposes 272 parking spaces for proposed Buildings A and B (proposed Lot 1), which includes 237 resident parking spaces and 22 visitor parking spaces for the 233 dwelling units, and 13 parking spaces for the ground floor commercial units. The Zoning By-law requires the applicant to provide a total of 376 parking spaces (315 resident parking spaces, 47 visitor parking spaces and 14 commercial parking spaces). Therefore, the proposed parking is deficient by 104 parking spaces for proposed Buildings A and B on proposed Lot 1.
- The applicant proposes 370 parking spaces for proposed Buildings C and D (proposed Lot 2), which includes 323 resident parking spaces and 28 visitor parking spaces for the 281 dwelling units, and 20 parking spaces for the ground floor commercial units. The Zoning By-law requires the applicant to provide a total of 459 parking spaces (381 resident parking spaces, 56 visitor parking spaces and 22 commercial parking spaces). Therefore, the proposed parking is deficient by 88 parking spaces for proposed Buildings C and D on proposed Lot 2.
- An additional twenty (20) on-street parking spaces will be provided along the unnamed east/west road that separates proposed Lots 1 and 2. These parking spaces will provide additional parking for visitors, but are not counted towards the parking requirement since they are located off-site.

- As a Transit-Oriented Development, there is basis for staff to recommend supporting a relaxation in the residential parking supply particularly given that the site is close to an existing rapid transit line (SkyTrain). The relaxation to the residential rates for the proposed development (Lots 1 and 2 combined) is approximately 23%, which is slightly more than the 20% provision in the Zoning By-law for developments within the City Centre, but is consistent with other Transit-Oriented Developments in the City. See CD By-law Section of this report for proposed detailed parking rates.
- The proposal includes a total of 645 bicycle parking spaces with 595 located within the underground parking garages and the remaining located on the exterior of the four (4) buildings on proposed Lots 1 and 2. The 645 proposed bicycle parking spaces meet the minimum 643 bicycle parking space requirement under the Zoning By-law.
- The following table summarizes the vehicle and bicycle parking on the subject site:

ON-SITE PARKING	BUILDINGS A AND B (PROPOSED LOT 1)		BUILDINGS C AND D (PROPOSED LOT 2)	
	Required Parking	Proposed Parking	Required Parking	Proposed Parking
Residential	315	237	381	323
Visitor	47	22	56	28
Commercial	14	13	22	20
Total	376	272	459	371
Result (vehicle)	<i>(104) deficit</i>		<i>(88) deficit</i>	
Bicycle Parking	293	294 (272 interior, 22 exterior)	350	351 (323 interior, 28 exterior)
Result (bike)	<i>1 surplus</i>		<i>1 surplus</i>	

Indoor Amenity Space

- Based on the 233 proposed dwelling units proposed in Buildings A and B on proposed Lot 1 and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 699 square metres (7,500 square feet) of indoor amenity space is required. The development proposes 310 square metres (3,330 sq.ft.) of indoor amenity space on proposed Lot 1, which does not meet the minimum indoor amenity space required on proposed Lot 1. Therefore, the applicant will provide a monetary contribution of \$156,000 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- Based on the 281 proposed dwelling units proposed in Buildings C and D on proposed Lot 2 and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 843 square metres (9,070 square feet) of indoor amenity space is required. The development proposes 312 square metres (3,360 sq.ft.) of indoor amenity space on proposed Lot 2, which does not meet the minimum indoor amenity space required on proposed Lot 2. Therefore, the applicant will provide a monetary contribution of \$212,400 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.

- In total, the applicant will provide a monetary contribution of \$368,400 for the shortfall in indoor amenity space for the subject site (both properties).
- The following table outlines the indoor amenity space that is required and proposed as part of the subject development application:

INDOOR AMENITY SPACE	PROPOSED LOT 1			PROPOSED LOT 2		
	Building A (126 units)	Building B (107 units)	Total (233 units)	Building C (123 units)	Building D (158 units)	Total (281 units)
Required			699 m ² (7,500 ft ²)			843 m ² (9,070 ft ²)
Proposed	155 m ² (1,670 ft ²)	155 m ² (1,670 ft ²)	310 m ² (3,330 ft ²)	155 m ² (1,670 ft ²)	157 m ² (1,690 ft ²)	312 m ² (3,360 ft ²)
Deficit			389 m ² (4,200 ft ²)			531 m ² (5,715 ft ²)
Shortfall Contribution			\$156,000			\$212,400

- The indoor amenity space consists of a large multi-purpose room on the ground floor (adjacent to the main lobby) in all four (4) buildings. Each room is approximately 155 square metres (1,670 sq.ft.) in size and can be utilized for strata meetings or larger gatherings and events.
- The applicant has provided the following reasons for the reduction in the size of the indoor amenity space:
 - Significant outdoor amenity space is provided, including rooftop amenity space, and will provide a balance between indoor and outdoor amenity spaces;
 - Based on market analysis, the programming for the amenity rooms have set the sizes of the spaces provided; and
 - Access to existing City parks and facilities, including Chuck Bailey Recreation Centre, are a short distance away on the SkyTrain. A new City ice rink facility will be constructed to the south, across 110 Avenue, in the near future.

Outdoor Amenity Space

- Based on the 233 proposed dwelling units proposed for Buildings A and B on proposed Lot 1 and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 699 square metres (7,500 square feet) of outdoor amenity space is required. The development proposes 1,042 square metres (11,215 sq.ft.) of outdoor amenity space on proposed Lot 1, which exceeds the minimum requirement.
- The outdoor amenity space proposed for Buildings A and B on proposed Lot 1 consists of a large central courtyard located above the parking garage. The outdoor amenity space is divided into three (3) sections. A large patio area with tables and chairs, as well as a trellis feature, is located at the southwest corner, while a table and chairs, garden plots, and a greenhouse is located the northeast corner. A sod lawn area separates these areas and provides a focal point for the courtyard.

- Based on the 281 proposed dwelling units proposed for Buildings C and D on proposed Lot 2 and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 843 square metres (9,075 square feet) of outdoor amenity space is required. The development proposes 1,422 square metres (15,307 sq.ft.) of outdoor amenity space on proposed Lot 2, which exceeds the minimum requirement.
- The outdoor amenity space proposed for Buildings C and D on proposed Lot 2 also consists of a large central courtyard located above the parking garage. The outdoor amenity space includes a patio area with tables and chairs located at the southwest corner. A playground area, including a slide, spinners, stepping stumps and a playground structure, form the focal point for the courtyard.
- Additional outdoor amenity space (rooftop patios) is proposed above the sixth floor of all four (4) proposed buildings, and will provide an alternative amenity space to the central courtyards for the future residents. These rooftops patios, which are about 18 metres (60 ft.) above grade, are located well above the SkyTrain guideway to the north, which is about 7.5 metres (25 ft.) to the top of the guideway.
- The applicant also proposes a public outdoor plaza located on the ground floor facing 110 Avenue, adjacent to the commercial unit proposed in Building A. The outdoor plaza is approximately 210 square metres (2,250 sq.ft.) in size and will offer an open space for the public.

Proposed Comprehensive Sign Design Package

- A comprehensive signage package has been included as part of the Development Permit package. The signs have been comprehensively designed to be architecturally coordinated with the building.
- The proposed commercial fascia signs are comprised of illuminated aluminum channel letters located above each commercial / retail unit. The proposed building identification fascia signs (i.e. Station A) are comprised of non-illuminated aluminum channel letters.
- Each commercial / retail premise at the ground floor will incorporate a maximum of two (2) fascia signs, which will be permitted as per Surrey's Sign By-law.
- The applicant also proposes fascia signs to identify the building and development, including 'Stations A to D', 'Parking' and 'Transit Village'. A total of nine (9) building identification signs are proposed with two (2) of the identification signs (both "Transit Village") located on the same elevation (west façade of proposed Buildings B and C). Therefore, a variance is required (see Appendix II).
- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit application, such as the current proposal, has been submitted to Council that includes a comprehensive sign design package containing signs that require a variance of the Sign By-law provisions.
- The proposed signage is supportable, as it has been designed in a comprehensive manner and coordinated as part of the overall design of the building.

ADVISORY DESIGN PANEL

ADP Date: February 9, 2017

The applicant has resolved most of the outstanding items from the ADP review. Some minor revisions will be completed prior to Council's consideration of final adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department (see Appendix VIII).

TREES

- Kelly Koome, ISA Certified Arborist of Van der Zalm + Associated Inc. prepared an Arborist Report for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Japanese Maple	3	3	0
Littleleaf Linden	1	1	0
Pin Oak	5	5	0
Red Oak	5	5	0
Total	14	14	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		135	
Total Retained and Replacement Trees		135	
Contribution to the Green City Fund		No contribution required	

- The Arborist Assessment states that there are a total of fourteen (14) protected trees on the subject site. There are no Alder and Cottonwood trees on the site. It was determined that none of the trees can be retained as part of this development proposal. All fourteen (14) trees belong to the adjacent Home Depot (12701 – 110 Avenue) site to the east and will be removed, as part of a Minor Development Permit Amendment, in order to reconfigure the parking lot.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 28 replacement trees on the site. The applicant is proposing 135 replacement trees, which exceeds City requirements.

Landscaping

- The landscape plan shows a total of 135 trees to be planted throughout the subject site including maple, redwood, pine, magnolia, cherry and hemlock.

- A significant number of shrubs and ground cover species are proposed throughout the subject site, including boxwood, laurel, cedars, ferns, rhododendrons, roses, azaleas, and decorative grasses.
- The proposed trees and landscaping will enhance the streetscape and create an urban, pedestrian-friendly environment.
- The two (2) proposed outdoor amenity spaces (courtyards) will also include the installation of a significant number of trees and shrubs.

PRE-NOTIFICATION

Pre-notification letters were sent on March 6, 2017. Staff received two (2) e-mails from nearby property owners in response to the pre-notification letters. The property owners expressed the following comments / concerns (with staff comments in italics):

- The proposed development should not consist entirely of rental units, since this will bring increased crime to the area.

(The properties in the area, including the subject site, are underdeveloped. The proposed development will provide needed housing within walking distance of the Scott Road SkyTrain Station. Affordable, residential rental units close to public transit are particularly in demand.)

The applicant advises that the company that will manage the property once the buildings have been constructed is a reputable local company that has been in business since 1987, and has been solely focused on rental management services since 2010. Their experience and expertise will ensure that the properties are managed securely and professionally.)

JUSTIFICATION FOR PLAN AMENDMENT

- The proposed OCP Amendments to redesignate the subject site from Commercial and Mixed Employment to Multiple Residential (in Figure 3 of the OCP) and to remove the Commercial and Mixed Employment designations (in Figure 42 of the OCP) (Appendices X and XI) are consistent with City's goal of achieving higher density, mixed-use developments near an existing SkyTrain Station. The Mixed Employment designation in the OCP supports a mix of commercial, business, office and industrial uses, but specifically does not allow residential uses. The Multiple Residential designation supports high-density residential development along with local, neighbourhood-serving commercial and community uses.
- The proposed density is consistent with areas designated in the OCP as future Frequent Transit Development Areas, where higher densities near frequent transit stations are encouraged.
- The proposed OCP Amendment from Mixed Employment to Multiple Residential is permitted under the General Urban land use designation in Metro Vancouver's Regional Growth Strategy (RGS), and therefore an amendment to the RGS is not required.

- The subject site is located within the South Westminster Neighbourhood Concept Plan (NCP) area, which identifies the goal of creating a Transit-Oriented Urban Village District within a walking radius of approximately 500 metres (1/3 mile) to 800 metres (1/2 mile) of the Scott Road SkyTrain Station.
- The subject site is located less than 500 metres (1/3 mile) to the Scott Road SkyTrain Station and the subject proposal incorporates land uses and densities that are consistent with the creation of a transit-oriented village. Therefore, the proposed mixed-use residential / commercial development is in keeping with the vision of the South Westminster NCP.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 26, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located in South Westminster, just east of the Scott Road SkyTrain Station.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed gross density is 2.0 FAR. • The proposed development will increase the density in the area and provide needed residential rental units near a SkyTrain Station. • The proposed development provides a range of unit sizes from studio to 1- and 2-bedroom units.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The subject site is currently vacant and largely devoid of trees. Over one hundred replacement trees will be planted on the site, in addition to a variety of shrubs, grass, perennials and ground cover. • The proposed development will provide provisions for organic waste and recycling facilities within the underground parkade.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The site is located within walking distance of Scott Road SkyTrain Station. • A bus exchange is also located adjacent to the Scott Road SkyTrain Station, which provides transit service to other areas of Surrey as well as Delta, New Westminister, Richmond and Vancouver. • Secure bicycle parking is provided within the parkade.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • All non-ground oriented units are accessible by elevator. • Easy access to ground floor commercial units. • The proposed building incorporates CPTED principles including: well-lit entries/exits and passive street surveillance.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	<ul style="list-style-type: none"> No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Pre-notification letters were mailed to area residents and property owners, and a development proposal sign was installed on subject site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	OCP Text Amendment (Table 7a)
Appendix IV.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix V.	Engineering Summary
Appendix VI.	School District Comments
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	ADP Comments
Appendix IX.	NCP Plan
Appendix X.	OCP Redesignation Map (Figure 3)
Appendix XI.	OCP Amendment Map (Figure 42)
Appendix XII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by John Carter, GeoPacific Consultants Ltd., dated October 21, 2015
- Ecosystem Development Report Prepared by Libor Michalak, Pieris Ecological Consulting, dated February 2017
- Traffic & Parking Study prepared by James Lee and Jordan Eccles, Bunt & Associates Engineering Ltd, dated January 11, 2017

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DN/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Victor Jeon
 WestStone Group
 Address: 10090 – 152 Street, Unit 300
 Surrey, BC V3R 8X8

2. Properties involved in the Application
 - (a) Civic Address: 12661 – 110 Avenue

 - (b) Civic Address: 12661 – 110 Avenue
 Owner: Waterstone Holdings No 2 Ltd.
 PID: 029-684-994
 Lot 1 Section 17 Block 5 North Range 2 West New Westminster District Plan EPP39522

3. Summary of Actions for City Clerk's Office
 - (a) Introduce an OCP Amendment By-law to:
 - amend "Figure 3: General Land Use Designations" by redesignating the subject site from Commercial and Mixed Employment to Multiple Residential;
 - amend "Figure 42: Major Employment Areas" by removing the Commercial and Mixed Employment designations from the subject site; and
 - amend "Table 7a: Land Use Designation Exceptions" by including a site-specific notation as shown on Appendix III,and a date be set for Public Hearing.
 - (b) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed: CD (based on RM-70 and C-5)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA		
Gross Total		17,126 square metres
Road Widening area		2,494 square metres
Undevelopable area		N/A
Net Total		14,632 square metres
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		85%
Paved & Hard Surfaced Areas		8%
Total Site Coverage		93%
SETBACKS		
Lot 1: Front (west)	7.5 metres	5.0 metres
Rear (east)	7.5 metres	6.0 metres
Side #1 (north)	7.5 metres	5.0 metres
Side #2 (south)	7.5 metres	5.0 metres
Lot 2: Front (west)	7.5 metres	5.0 metres
Rear (east)	7.5 metres	6.0 metres
Side #1 (north)	7.5 metres	7.5 metres
Side #2 (south)	7.5 metres	5.0 metres
BUILDING HEIGHT		
Principal	50 metres	22 metres
Accessory	4.5 metres	N/A
NUMBER OF RESIDENTIAL UNITS		
Studio		62
One Bed +		318
Two Bedroom		134
Total		514
FLOOR AREA: Residential		
		33,331 square metres
FLOOR AREA: Commercial		
Retail		1,102 square metres
Office		N/A
Total		1,102 square metres
FLOOR AREA: Industrial		
		N/A
FLOOR AREA: Institutional		
		N/A
TOTAL BUILDING FLOOR AREA	34,936 square metres	34,433 square metres

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR (gross): entire site	2.0	2.0
FAR (net): Lot 1		2.5
FAR (net): Lot2		2.3
AMENITY SPACE		
Indoor	1,542 square metres	622 square metres
Outdoor	1,542 square metres	2,464 square metres
PARKING (number of stalls)		
Commercial	36	33
Industrial		N/A
Studio and 1-bedroom	494	380
2-Bed	202	180
Residential Visitors	103	50
Institutional		N/A
Total Number of Parking Spaces	835	643
Number of accessible stalls	7	16
Number of small cars	226	64
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variance	Sign By-law Requirement	Rationale
1	To allow a total of two (2) additional fascia signs ('Transit Village') on the west façade of proposed Buildings B and C.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed buildings, and have been comprehensively designed of high quality materials for the development.

Table 7a: Land Use Designation Exceptions

The following use or density exceptions are permitted for the following properties, or any lots created from these properties, in the identified Land Use Designation, on a site-specific basis only:

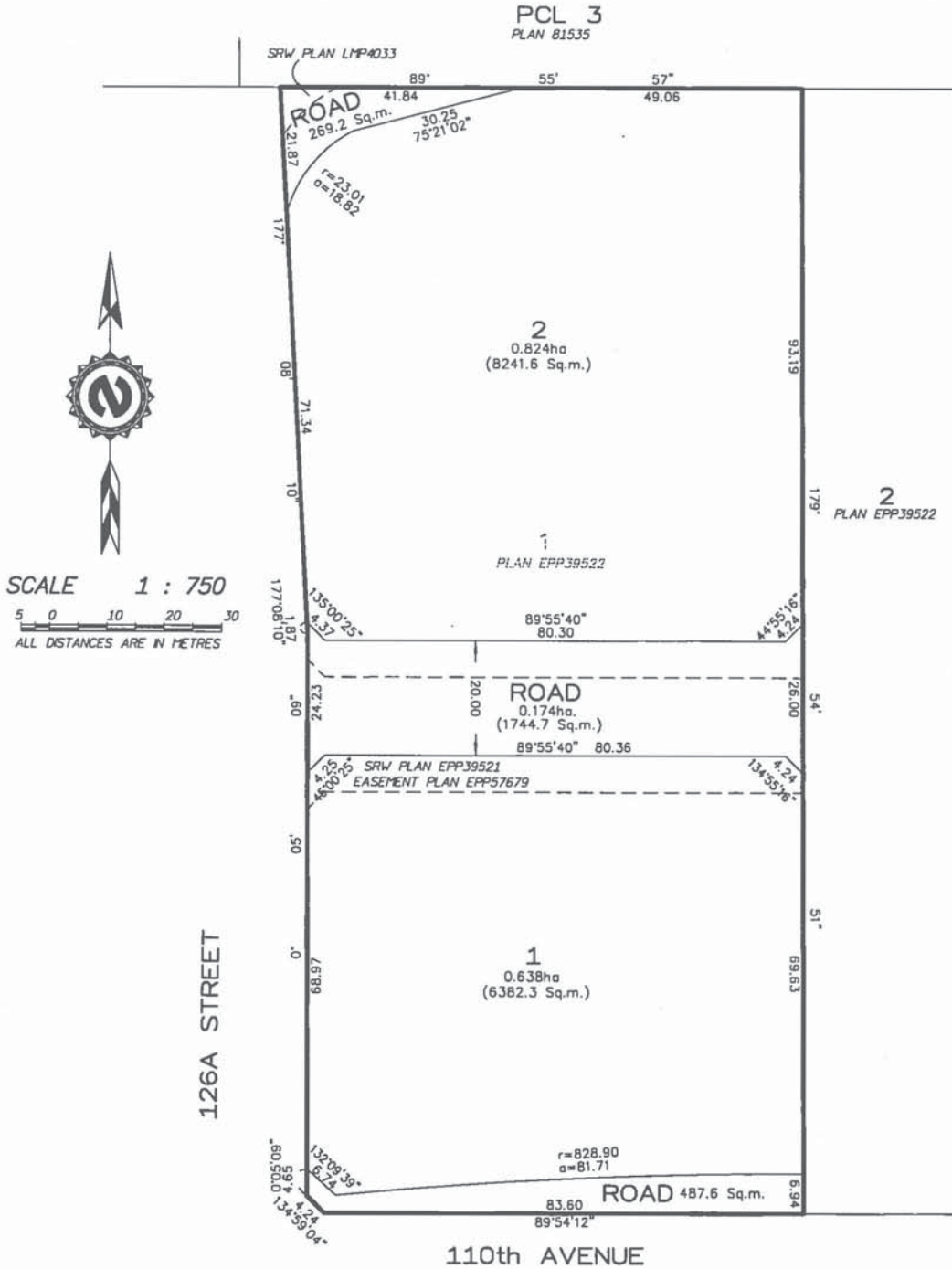
<u>BYLAW NO.</u>	<u>LAND USE DESIGNATION</u>	<u>SITE SPECIFIC PROPERTY</u>	<u>SITE SPECIFIC PERMISSION</u>
Bylaw# 19243	Multiple Residential	12661—110 Avenue (Lot 1 Section 17 Block 5 North Range 2 West New Westminster District Plan EPP39522)	Density permitted up to 2.0 FAR (gross calculation)

**PROPOSED SUBDIVISION PLAN OF
LOT 1 SEC 17 BLK 5 N R 2 W
NWD PLAN EPP39522**

APRIL 6, 2017

CIVIC ADDRESS:

12661 110th Ave., Surrey, BC
P.L.D. 029-684-994



SCALE 1 : 750
5 0 10 20 30
ALL DISTANCES ARE IN METRES

Lot dimensions are derived from Plan EPP39522.
Not to be used for Legal Transactions.
Subject to review and approval from the City of Surrey.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT



FILE: 8145-SUB-R2

TRANSIT VILLAGE

PROPOSED MIXED USE DEVELOPMENT / COMMERCIAL & RESIDENTIAL / SURREY, B.C.



SHEET SCHEDULE

SD6-1	COVER PAGE	SD6-CD1	P1 FLOOR PLAN
SD6-2	PROJECT DATA	SD6-CD2	1ST FLOOR PLAN
SD6-3	CONTEXT PLANS	SD6-CD3	2ND & 3RD FLOOR PLAN
SD6-4	CONTEXT PHOTOS	SD6-CD4	4TH & 8TH FLOOR PLAN
SD6-5	SITE PLAN	SD6-CD5	6TH & ROOF FLOOR PLAN
SD6-6	SITE SECTION	SD6-CD6	BUILDING ELEVATIONS
SD6-7	STREETSCAPES	SD6-CD7	BUILDING ELEVATIONS
SD6-8	SHADOW STUDY	SD6-CD8	BUILDING ELEVATIONS
SD6-9	SHADOW STUDY	SD6-CD9	BUILDING ELEVATIONS
SD6-10	30 MASSING PERSPECTIVES	SD6-CD10	BUILDING SECTIONS
SD6-11	COLOR/MATERIAL BOARD	SD6-CD11	PERSPECTIVES
SD6-12	SIGNAGE	SD6-CD12	ENLARGED SECTIONS
SD6-13	UNIT PLANS	SD6-CD13	ENLARGED ELEVATIONS
SD6-14	UNIT PLANS		
SD6-15	UNIT PLANS		
SD6-AB1	P1 FLOOR PLAN		
SD6-AB2	1ST FLOOR PLAN		
SD6-AB3	2ND & 3RD FLOOR PLAN		
SD6-AB4	4TH & 8TH FLOOR PLAN		
SD6-AB5	6TH & ROOF FLOOR PLAN		
SD6-AB6	BUILDING ELEVATIONS		
SD6-AB7	BUILDING ELEVATIONS		
SD6-AB8	BUILDING ELEVATIONS		
SD6-AB9	BUILDING ELEVATIONS		
SD6-AB10	BUILDING SECTIONS		
SD6-AB11	PERSPECTIVES		



WESTSTONE GROUP

T 604.486.1958 | 300 - 10090 152 STREET
F 604.486.1959 | SURREY, BC V3R 6X8



KEYSTONE ARCHITECTURE & PLANNING LTD.

T 604.850.0577 | 110 - 2081 GARDEN STREET
F 1.888.398.4878 | ABBOTSFORD, BC V2T 4X1



TRANSIT VILLAGE MIXED USE

12061 - 110 AVENUE, SURREY, BC

COVER PAGE

Scale: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

17/04/24
CITY OF SURREY FILE # - 7919-0685-00



SD6-1

A. PROJECT DATA

PROJECT:	TRANSIT VILLAGE (RESIDENTIAL/COMMERCIAL)
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
GENIC ADDRESS:	12901, 110 AVENUE, SURREY, B.C.
LEGAL DESCRIPTION:	LOT 1, SEC 17, BLDG 819 & 10, 34RD PLAN EPP5982
TOTAL SITE AREA GROSS:	174,367 S.F. (77,186.8 S.M.) 14.89 ACRES - INCLUDING ROAD DEDICATIONS
TOTAL SITE AREA NET:	157,367 S.F. (71,883.8 S.M.) 14.15 ACRES - NET INCLUDING ROAD DEDICATIONS
NETS AVAILABLE AREA GROSS:	163,944 S.F. (7,740 S.M.)
NETS AVAILABLE AREA GROSS:	149,360 S.F. (6,930 S.M.)
NETS AVAILABLE AREA NET:	140,899 S.F. (6,561 S.M.)
NETS AVAILABLE AREA NET:	140,794 S.F. (6,549 S.M.)
NET AVAILABLE AREA NET PER UNIT:	147,261 S.F. (RESIDENTIAL) - 4,710 S.F. (COMMERCIAL) - 3,267 S.F. (AMENITY SPACE) - 146,889 S.F. / 68,889 S.F. = 2.14
NET AVAILABLE AREA NET PER UNIT:	147,261 S.F. (RESIDENTIAL) - 7,130 S.F. (COMMERCIAL) - 3,267 S.F. (AMENITY SPACE) - 146,794 S.F. / 68,794 S.F. = 2.17
NET AVAILABLE AREA GROSS PER UNIT:	147,261 S.F. (RESIDENTIAL) - 4,710 S.F. (COMMERCIAL) - 3,267 S.F. (AMENITY SPACE) - 146,889 S.F. / 68,889 S.F. = 2.14
NET AVAILABLE AREA GROSS PER UNIT:	147,261 S.F. (RESIDENTIAL) - 7,130 S.F. (COMMERCIAL) - 3,267 S.F. (AMENITY SPACE) - 146,794 S.F. / 68,794 S.F. = 2.14
TOTAL GROSS PER UNIT:	146,889 S.F. (RESIDENTIAL) - 11,807 S.F. (COMMERCIAL) - 3,889 S.F. (AMENITY SPACE) - 162,585 S.F. / 114,387 S.F. = 1.42
TOTAL NET PER UNIT:	146,889 S.F. (RESIDENTIAL) - 11,807 S.F. (COMMERCIAL) - 3,889 S.F. (AMENITY SPACE) - 162,585 S.F. / 117,387 S.F. = 1.26
NETS COVERED BY AVAILABLE AREA NET:	17,400 S.F. / 140,794 S.F. = 12.3%
NETS COVERED BY AVAILABLE AREA GROSS:	17,400 S.F. / 149,360 S.F. = 11.6%
NETS COVERED BY AVAILABLE AREA GROSS:	17,400 S.F. / 163,944 S.F. = 10.6%
NETS COVERED BY AVAILABLE AREA NET:	17,400 S.F. / 140,794 S.F. = 12.3%
TOTAL NET LOT COVERAGE:	11,807 S.F. / 140,794 S.F. = 8.4%
TOTAL GROSS LOT COVERAGE:	11,807 S.F. / 140,794 S.F. = 8.4%
BUILDING HEIGHT (BLDG ADD):	4 STOREY - 34.0M
BUILDING HEIGHT (BLDG CAD):	4 STOREY - 34.0M

B. FLOOR AREA

RESIDENTIAL	BLDG A	BLDG B	BLDG C	BLDG D	TOTAL
1ST	11,200 S.F.	8,207 S.F.	5,775 S.F.	14,200 S.F.	
2ND	12,811 S.F.	4,132 S.F.	4,300 S.F.	14,200 S.F.	
3RD	10,800 S.F.	15,941 S.F.	14,204 S.F.	20,489 S.F.	
4TH	10,870 S.F.	15,981 S.F.	16,475 S.F.	20,472 S.F.	
5TH	10,870 S.F.	15,981 S.F.	16,475 S.F.	20,472 S.F.	
6TH	10,870 S.F.	15,981 S.F.	16,475 S.F.	20,472 S.F.	
ROOF CONC. 14	500 S.F.	500 S.F.	614 S.F.	500 S.F.	
TOTAL	61,258 S.F.	73,773 S.F.	67,115 S.F.	116,816 S.F.	319,962 S.F. 14,820 S.M.
COMMERCIAL					
1ST	NA	4,750 S.F.	400 S.M.	7,130 S.F.	400 S.M.
2ND	NA	4,750 S.F.	400 S.M.	7,130 S.F.	400 S.M.
TOTAL	NA	9,500 S.F.	800 S.M.	14,260 S.F.	1,360 S.M.
AMENITY					
1ST	57,200 S.F.	6,375 S.M.	72,750 S.F.	6,800 S.M.	
2ND	34,310 S.F.	2,200 S.M.	30,914 S.F.	2,780 S.M.	
3RD	30,910 S.F.	2,251 S.M.	30,914 S.F.	2,780 S.M.	
TOTAL	122,420 S.F.	8,826 S.M.	134,578 S.F.	12,360 S.M.	257,000 S.F. 11,836 S.M.
INDOOR AMENITY (REQUIRED 2 S.M. PER UNIT - 1,540 S.M.)					
INDOOR AMENITY	1,540 S.F.	134.5 S.M.	1,540 S.F.	134.5 S.M.	3,080 S.F. 284.0 S.M.
OUTDOOR AMENITY (PER PLAN)	11,810 S.F.	1,040 S.M.	13,870 S.F.	1,260 S.M.	25,680 S.F. 2,360 S.M.
OUTDOOR AMENITY (PROOF)	3,080 S.F.	280.0 S.M.	3,080 S.F.	280.0 S.M.	6,160 S.F. 568.0 S.M.
TOTAL	15,430 S.F.	1,464 S.M.	18,420 S.F.	1,700 S.M.	33,850 S.F. 3,128 S.M.
PUBLIC SPACE - NE	2,204 S.F.	200 S.M.	NA	NA	2,204 S.F. 200 S.M.
STORAGE					
1ST	148 S.F.	50 S.F.	50 S.F.	200 S.F.	
2ND	707 S.F.	70 S.F.	70 S.F.	280 S.F.	
3RD	825 S.F.	484 S.F.	487 S.F.	604 S.F.	
4TH	817 S.F.	484 S.F.	487 S.F.	607 S.F.	
5TH	817 S.F.	484 S.F.	487 S.F.	607 S.F.	
6TH	817 S.F.	484 S.F.	487 S.F.	607 S.F.	
TOTAL	3,331 S.F.	2,016 S.F.	2,016 S.F.	2,800 S.F.	14,200 S.F. 1,320 S.M.
CONCLUSION					
1ST	1,200 S.F.	1,400 S.F.	2,207 S.F.	3,051 S.F.	
2ND	1,400 S.F.	1,800 S.F.	2,007 S.F.	3,204 S.F.	
3RD	1,200 S.F.	1,300 S.F.	2,701 S.F.	3,010 S.F.	
4TH	1,100 S.F.	1,300 S.F.	2,670 S.F.	2,800 S.F.	
5TH	1,100 S.F.	1,300 S.F.	2,670 S.F.	2,800 S.F.	
6TH	1,100 S.F.	1,300 S.F.	2,670 S.F.	2,800 S.F.	
TOTAL	14,700 S.F.	14,710 S.F.	18,174 S.F.	18,665 S.F.	70,410 S.F. 3,240 S.M.
FLOOR AREA SUMMARY					
CONCRETE	8%	8%	8%	8%	8%
INDOOR AMENITY	61,258 S.F.	61,251 S.F.	64,207 S.F.	116,816 S.F.	273,532 S.F. 12,580 S.M.
NET UNIT AREA	71,500 S.F.	68,271 S.F.	68,271 S.F.	68,470 S.F.	276,512 S.F. 12,610 S.M.
NET CONCLUSION AREA	14,700 S.F.	14,710 S.F.	18,174 S.F.	18,665 S.F.	66,249 S.F. 3,060 S.M.
NET STORAGE AREA	3,331 S.F.	2,016 S.F.	2,016 S.F.	2,800 S.F.	10,163 S.F. 460 S.M.
INDOOR AMENITY	1,540 S.F.	1,464 S.F.	1,471 S.F.	1,401 S.F.	6,076 S.F. 560 S.M.
NET COMMERCIAL AREA	NA	4,750 S.F.	7,130 S.F.	14,260 S.F.	1,360 S.M.

NOTE: NE = NOT INCLUDED IN TOTALS

C. UNIT COUNT

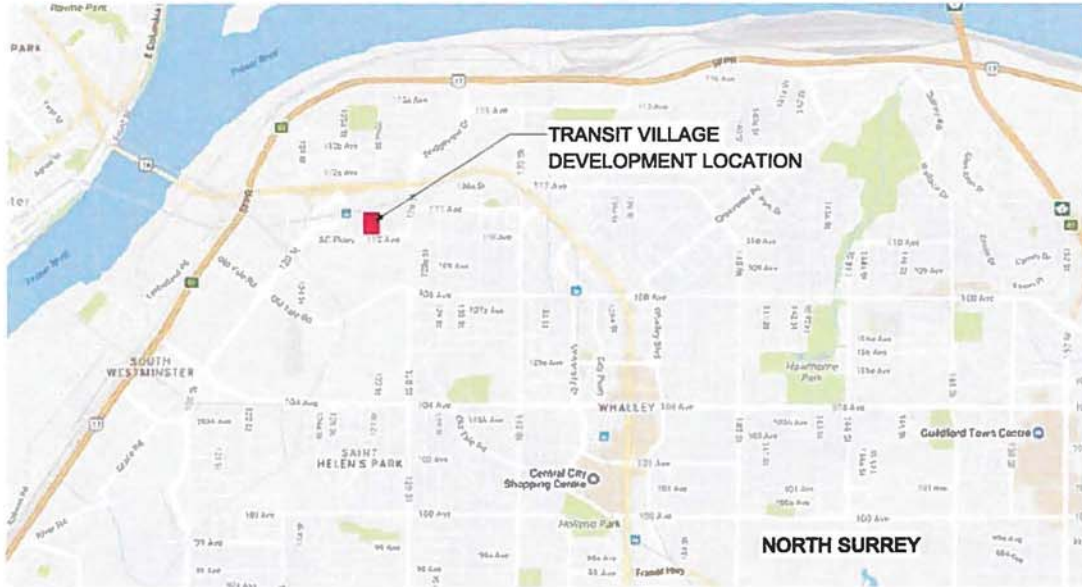
RESIDENTIAL	BLDG A	BLDG B	BLDG C	BLDG D	TOTAL
1 BED + DEN	0	7%	0	7%	11
1 BED	85	82%	80	64%	73
2 BED	16	15%	0	7%	11
TOTAL UNITS	100	100	100	100	400

NOTE: ALL NON-GROUND OWNED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 80 S.F. EACH)

D. PARKING

REQUIRED (BY LAW REQUIREMENT)	BLDG A & B	BLDG C & D	TOTAL
TENANT (2 BED)	80	75	155
TENANT (1 BED + DEN, 1 BED, STUDIO)	170	120	290
VISITOR	250	47	297
COMMERCIAL	4,750 S.F.	7,130 S.F.	11,880 S.F.
TOTAL STALLS	500	400	900
PROVIDED			
TENANT (1ST FLOOR)	18	150	168
TENANT (2ND FLOOR)	0	11	11
TENANT (3RD FLOOR)	0	0	0
TENANT (4TH FLOOR)	0	0	0
TENANT (5TH FLOOR)	0	0	0
TENANT (6TH FLOOR)	0	0	0
TOTAL	18	161	179
COMMERCIAL (STREET PARKING CENTRAL ROAD) - 10	0	10	10
TOTAL	18	171	189
BIKE PARKING (REQUIRED BY LAW REQUIREMENT)			
BIKE STALLS (RESIDENTIAL) (1.0%)	250	100	350
BIKE STALLS (VISITOR) (0.5%)	0	24	24
BIKE STALLS (COMMERCIAL) (1.0%)	4750	7130	11880
TOTAL BIKE STALLS	250	124	374
BIKE PARKING PROVIDED			
BIKE STALLS (RESIDENTIAL) (1.0%)	272	100	372
BIKE STALLS (VISITOR) (0.5%)	0	24	24
TOTAL BIKE STALLS	272	124	396

NOTE: NE = NOT INCLUDED IN TOTALS



110 AVE LOOKING EAST



126a LOOKING NORTH



110 AVE LOOKING N/W





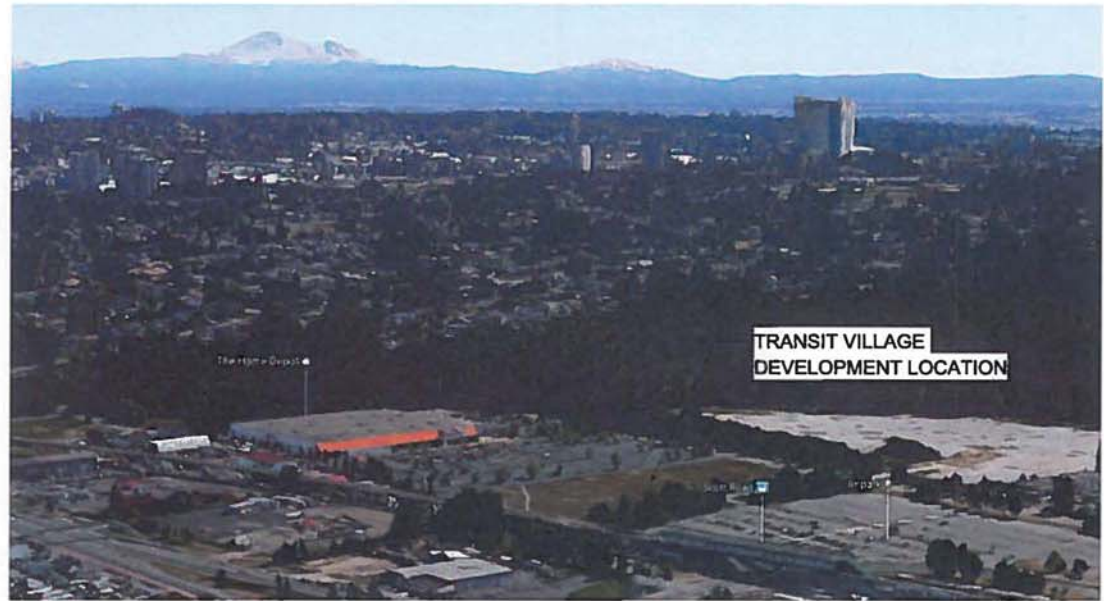
AERIAL SITE PERSPECTIVE - LOOKING NORTH/EAST



SCOTT RD SKYTRAIN



HOME DEPOT

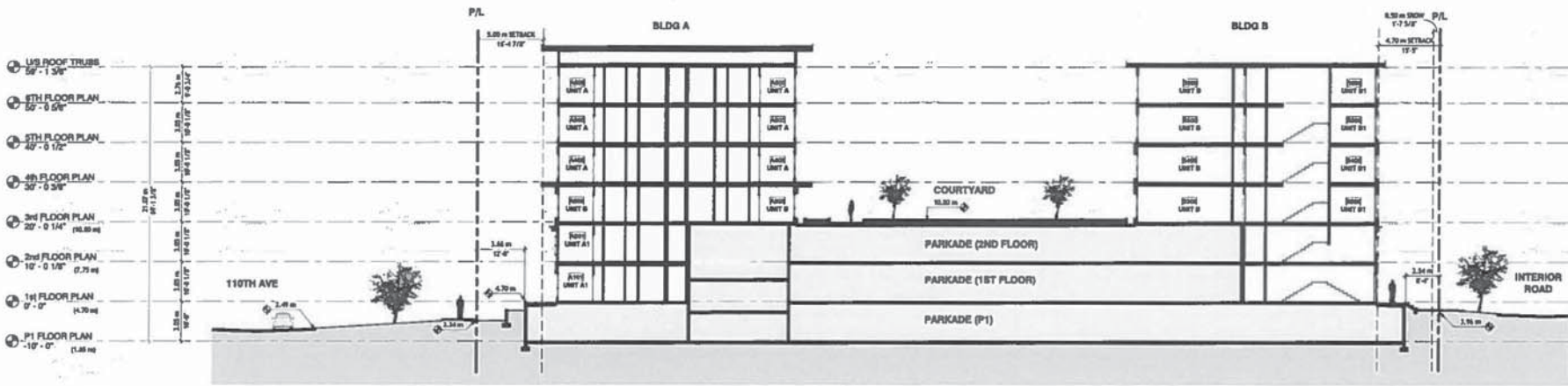


AERIAL VIEW LOOKING S/E



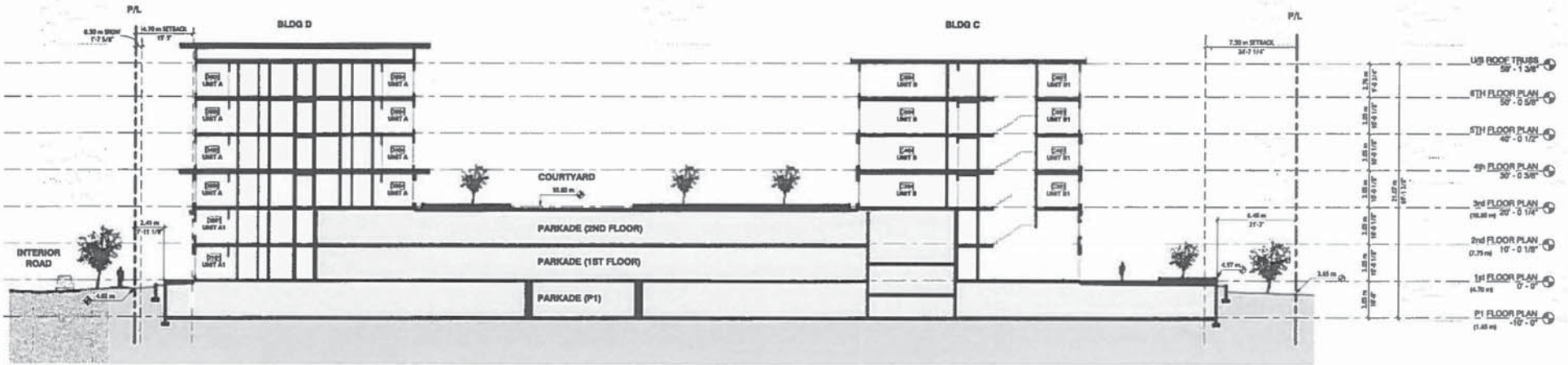
NOTE: SEE FLOOR PLANS FOR SETBACK LOCATIONS AND OTHER INFORMATION. DIMENSIONS NOT NOTED ON PLAN.





SITE SECTION SOUTH

1:150



SITE SECTION NORTH

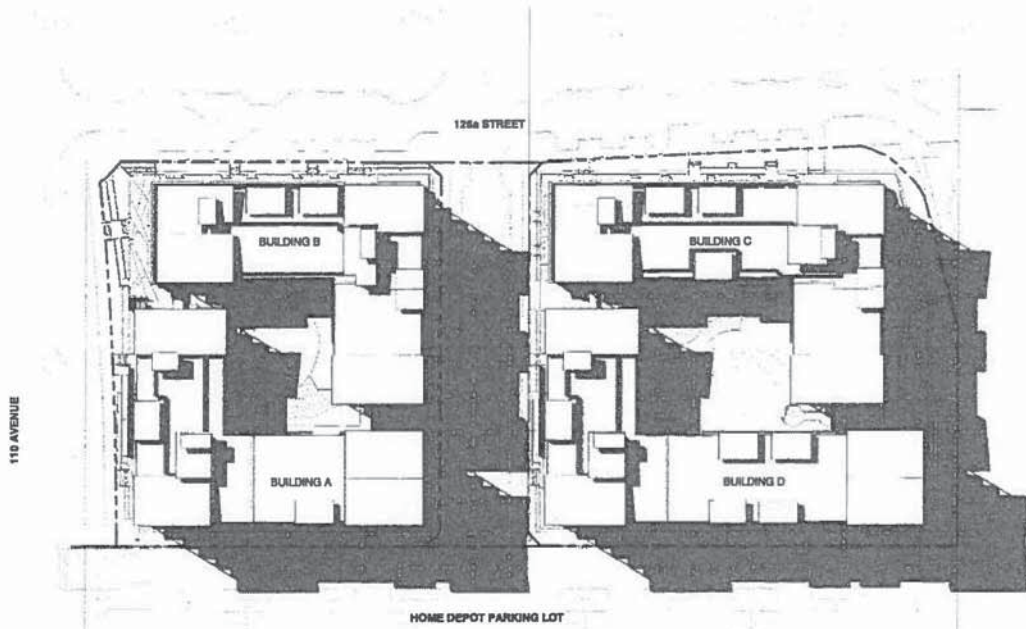
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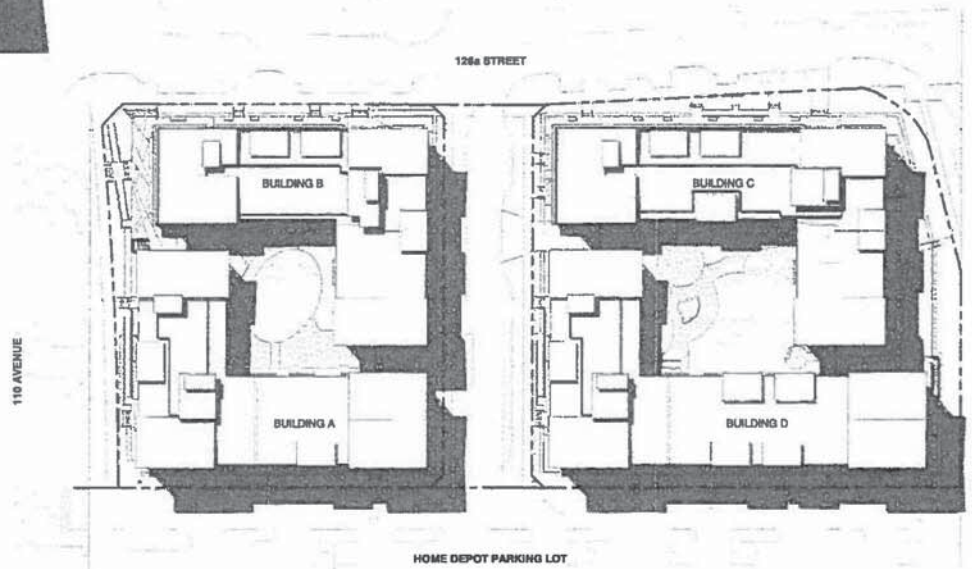
110 AVE STREETSCAPE
1" = 20'-0"



126A STREETSCAPE
1" = 20'-0"

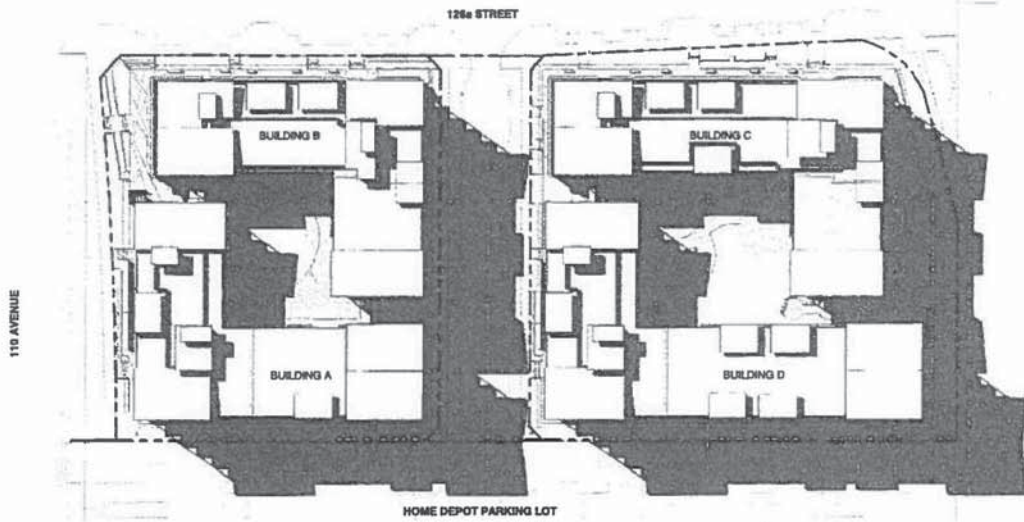


SHADOW STUDY - MARCH 21 - 3PM
1:500

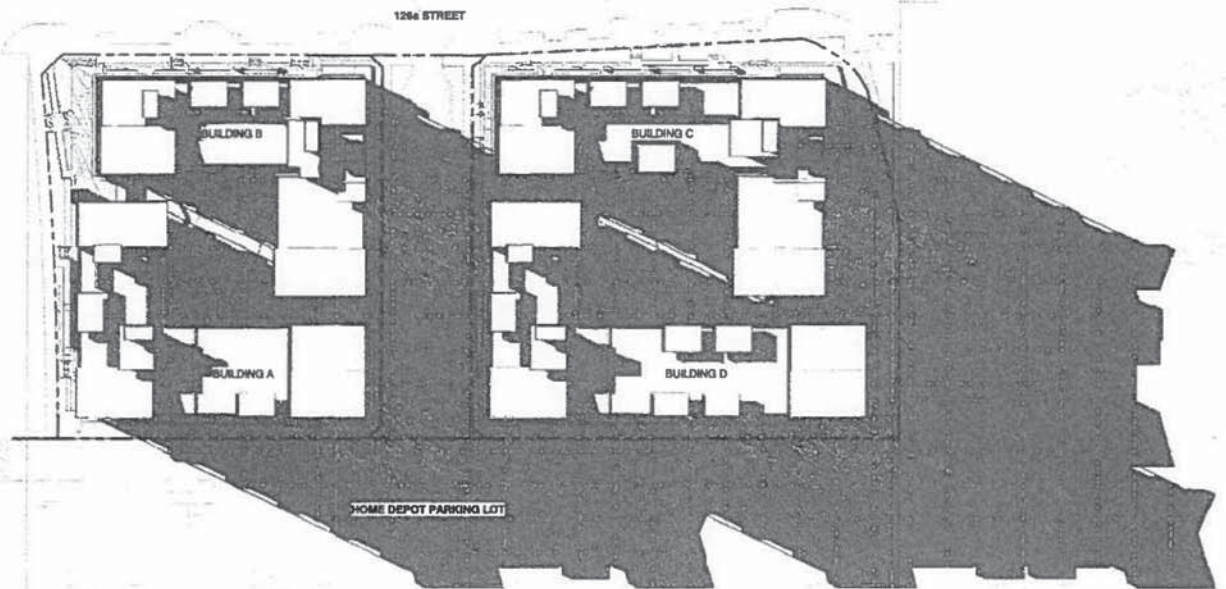


SHADOW STUDY - JUNE 21 - 3PM
1:500



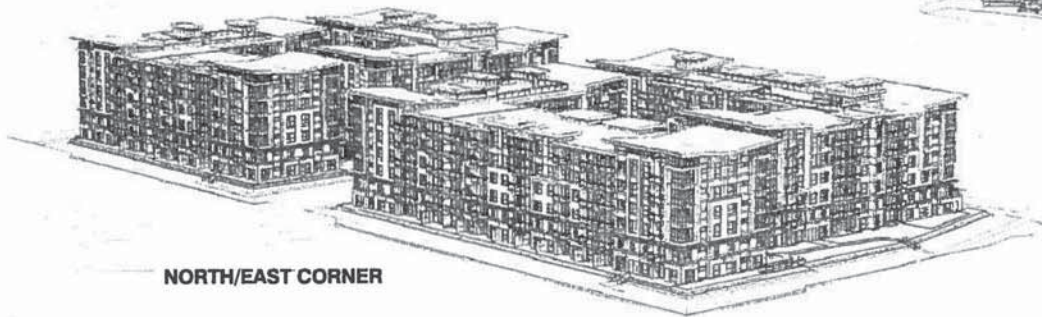


SHADOW STUDY - SEPTEMBER 21 - 3PM
1:500



SHADOW STUDY - DECEMBER 21 - 3PM
1:500





NORTH/EAST CORNER



SOUTH/EAST CORNER



SOUTH/WEST CORNER



NORTH/WEST CORNER



COMMERCIAL

1:50



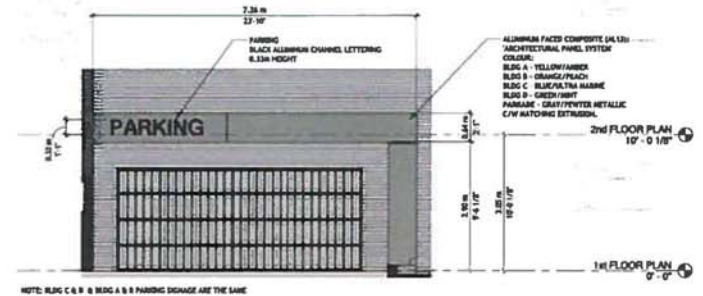
DEVELOPMENT

1:50



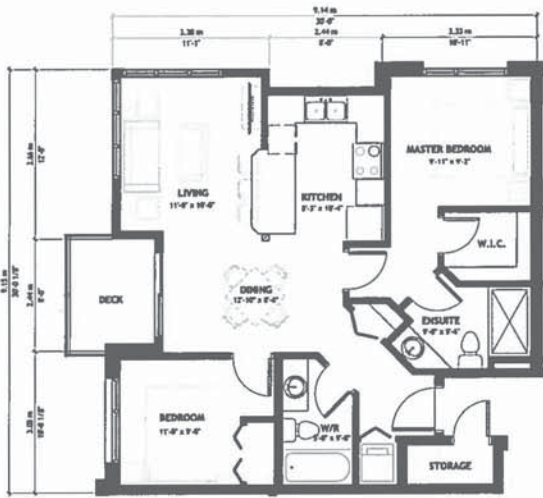
RESIDENTIAL BUILDING ENTRY

1:50

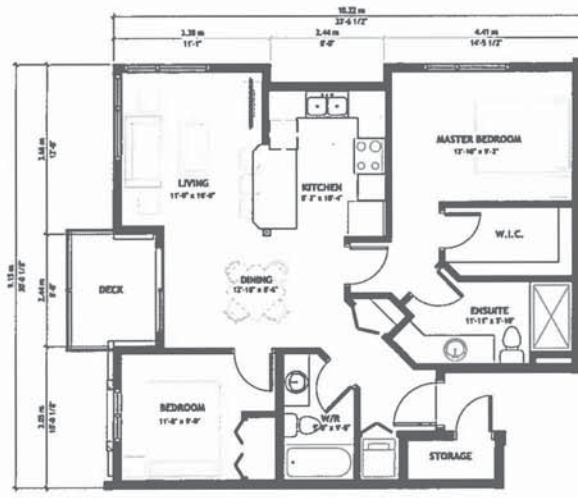


SIGNAGE - PARKING

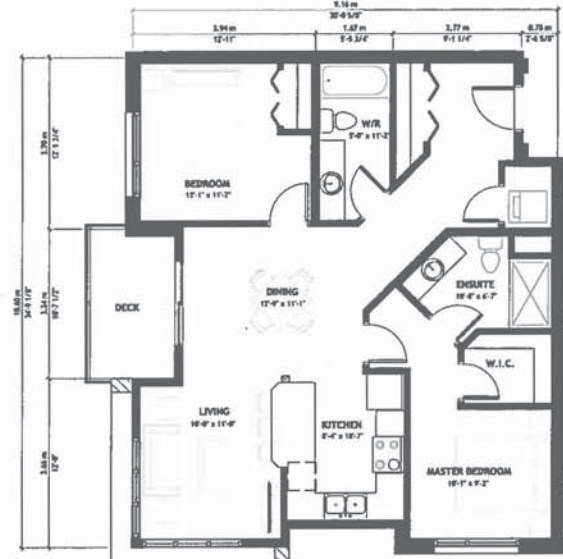
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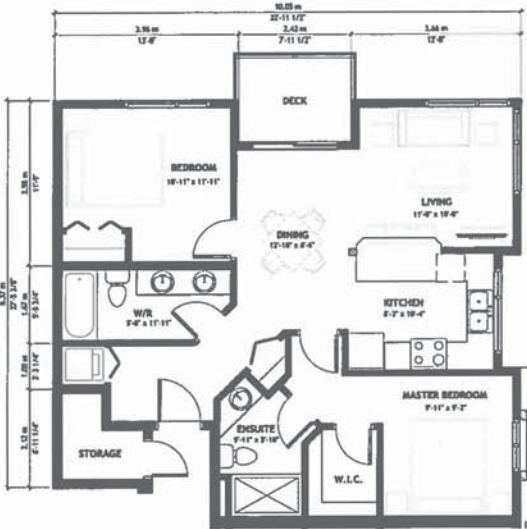
UNIT A 2 BED - 802 SF
 # OF UNITS = 70
 1/4" = 1'-0"



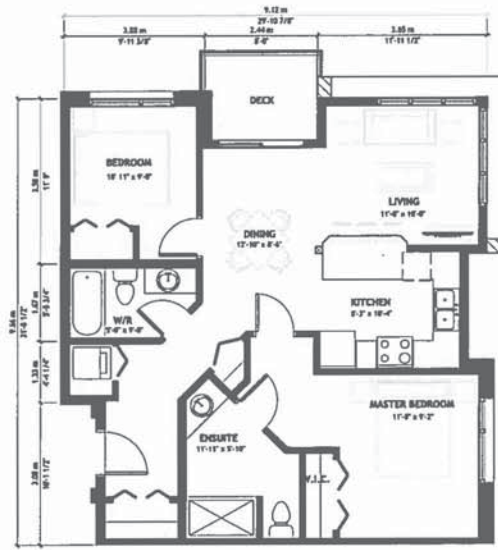
UNIT A1 2 BED - 808 SF
 # OF UNITS = 8
 1/4" = 1'-0"



UNIT A2 2 BED - 883 SF
 # OF UNITS = 10
 1/4" = 1'-0"



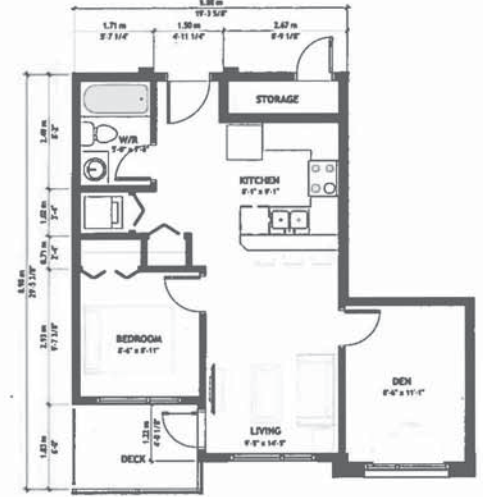
UNIT A3 2 BED - 871 SF
 # OF UNITS = 2
 1/4" = 1'-0"



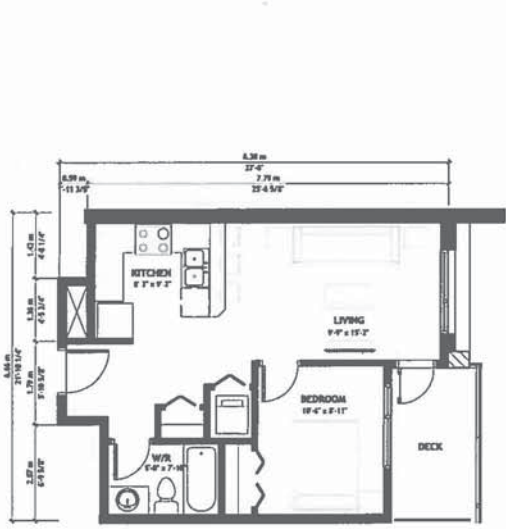
UNIT A4 2 BED - 890 SF
 # OF UNITS = 10
 1/4" = 1'-0"



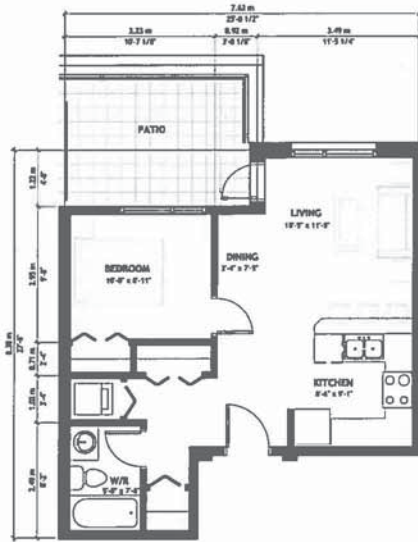
UNIT B 1 BED - 498 SF
 # OF UNITS = 256
 1/4" = 1'-0"



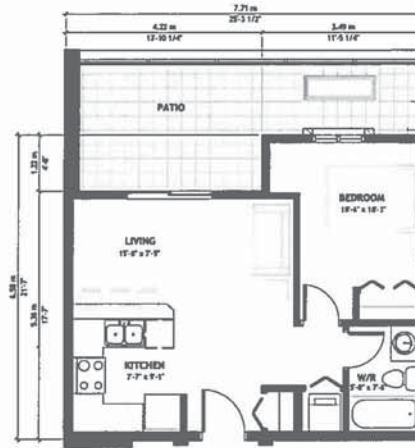
UNIT B1 1 BED & DEN (JR 2 BED) - 583 SF
 # OF UNITS = 27
 1/4" = 1'-0"



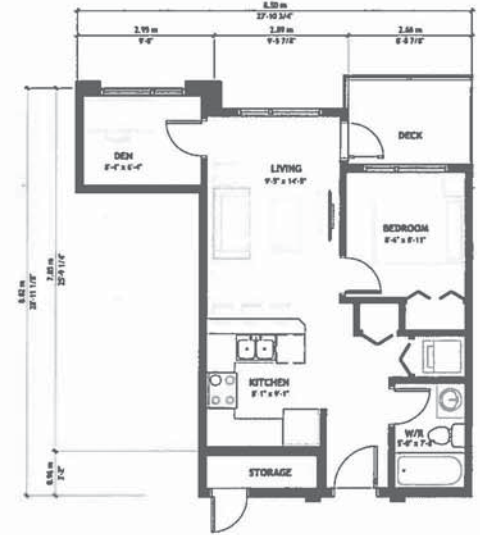
UNIT B2 1 BED - 519 SF
OF UNITS = 12
1/4" = 1'-0"



UNIT B3 1 BED - 546 SF
OF UNITS = 8
1/4" = 1'-0"



UNIT B5 1 BED - 488 SF
OF UNITS = 1
1/4" = 1'-0"



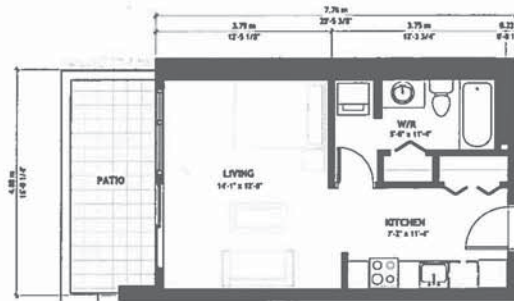
UNIT B6 1 BED & DEN - 636 SF
OF UNITS = 8
1/4" = 1'-0"



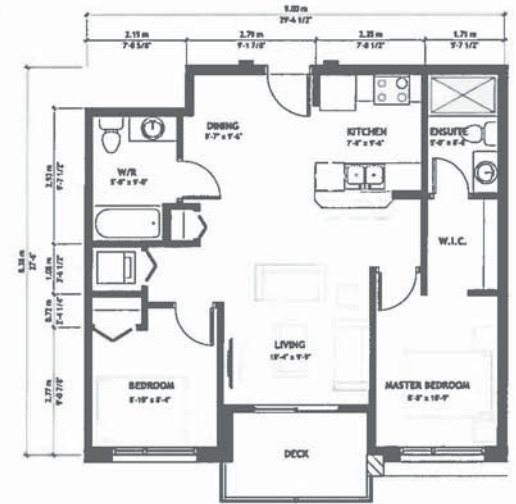
UNIT C STUDIO - 379 SF
OF UNITS = 26
1/4" = 1'-0"



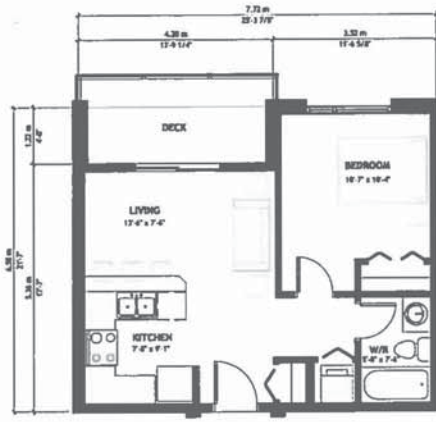
UNIT C1 STUDIO - 367 SF
OF UNITS = 24
1/4" = 1'-0"



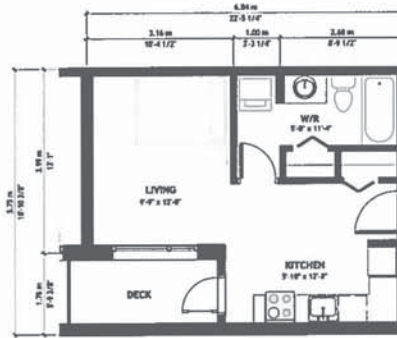
UNIT C2 STUDIO - 405 SF
OF UNITS = 8
1/4" = 1'-0"



UNIT E 2 BED - 786 SF
OF UNITS = 28
1/4" = 1'-0"



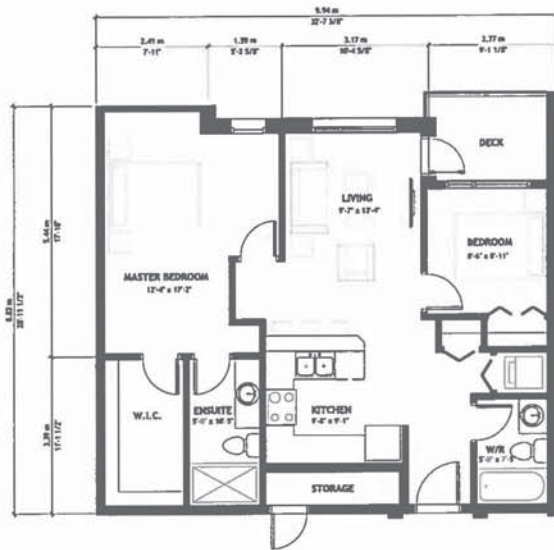
UNIT B4 1 BED - 481 SF
 # OF UNITS = 5
 1/4" = 1'-0"



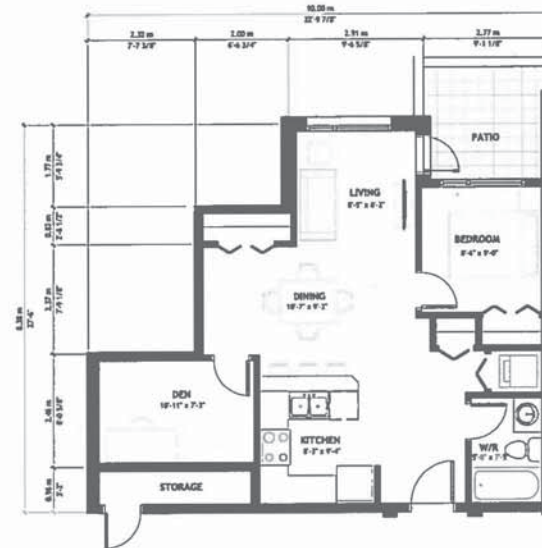
UNIT C3 STUDIO - 375 SF
 # OF UNITS = 3
 1/4" = 1'-0"



UNIT C4 STUDIO - 387 SF
 # OF UNITS = 1
 1/4" = 1'-0"

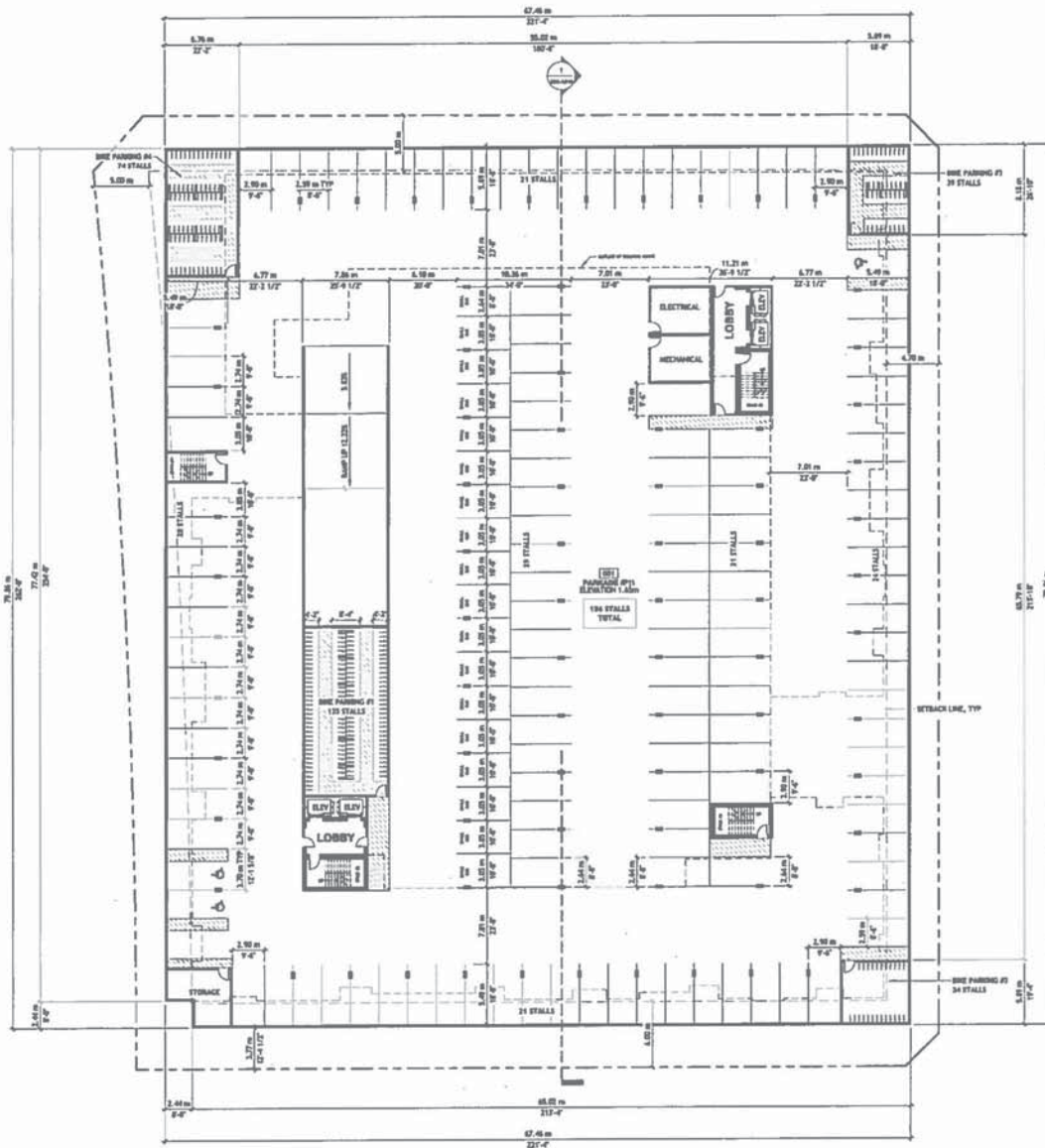


UNIT F 2 BED - 844 SF
 # OF UNITS = 6
 1/4" = 1'-0"



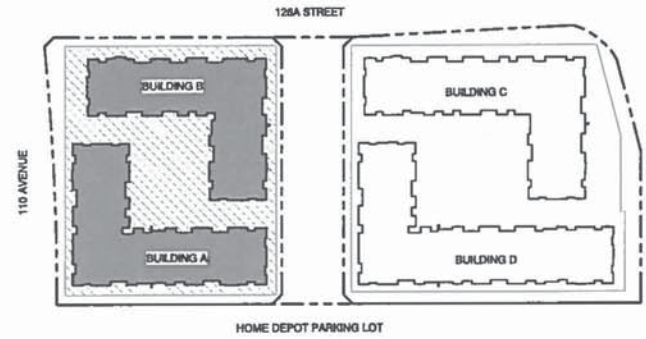
UNIT G 1 BED & DEN - 871 SF
 # OF UNITS = 2
 1/4" = 1'-0"

BUILDING A & B



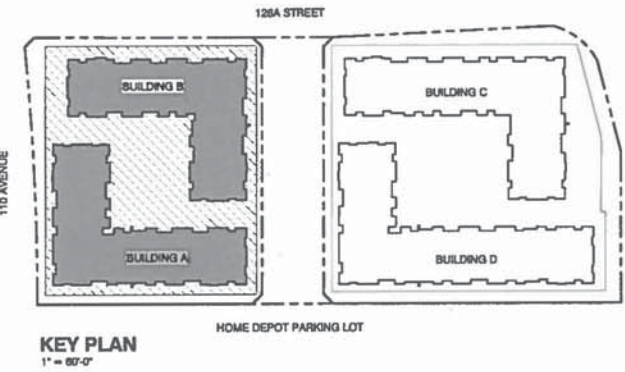
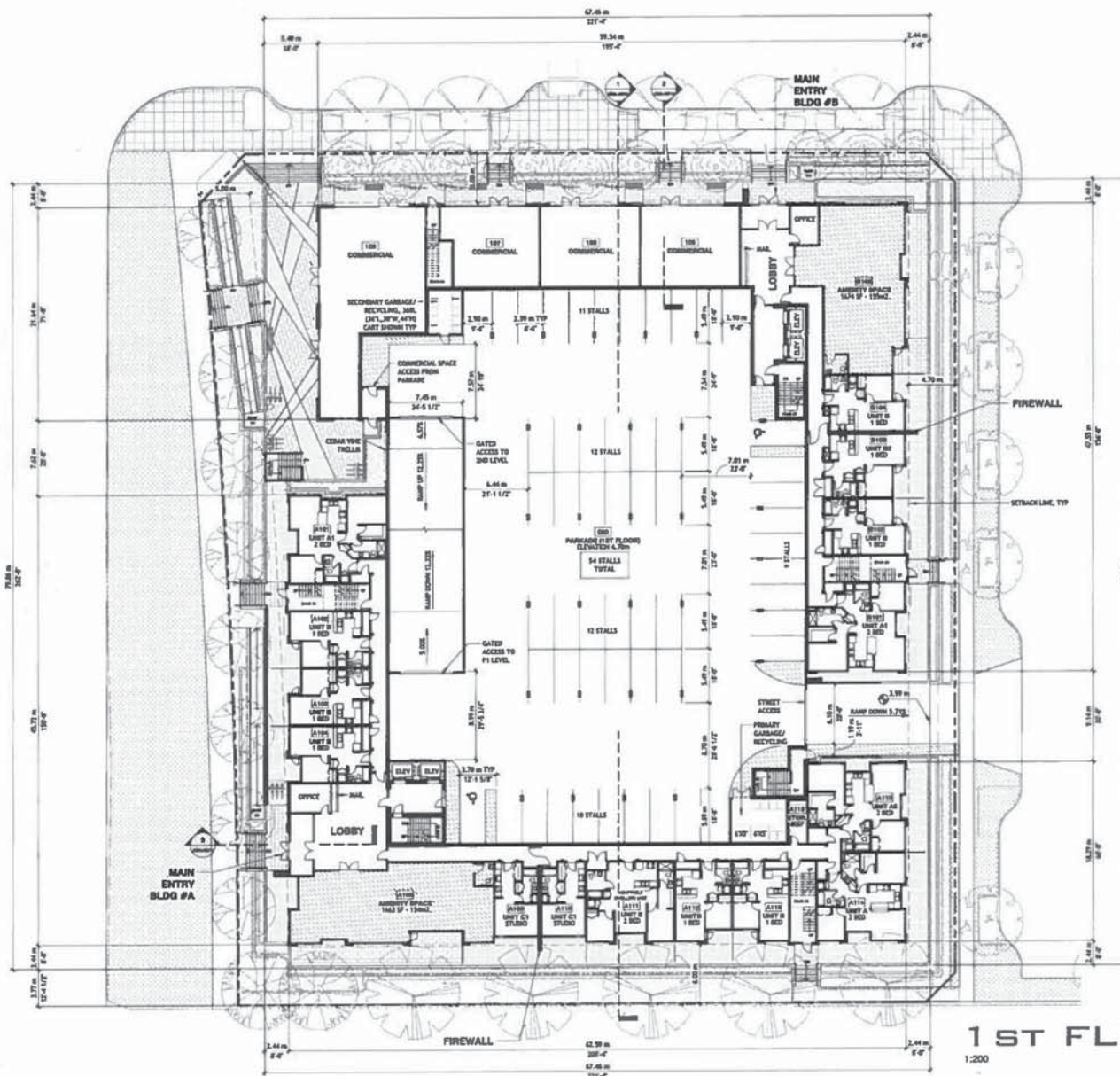
P1 FLOOR PLAN

1:200



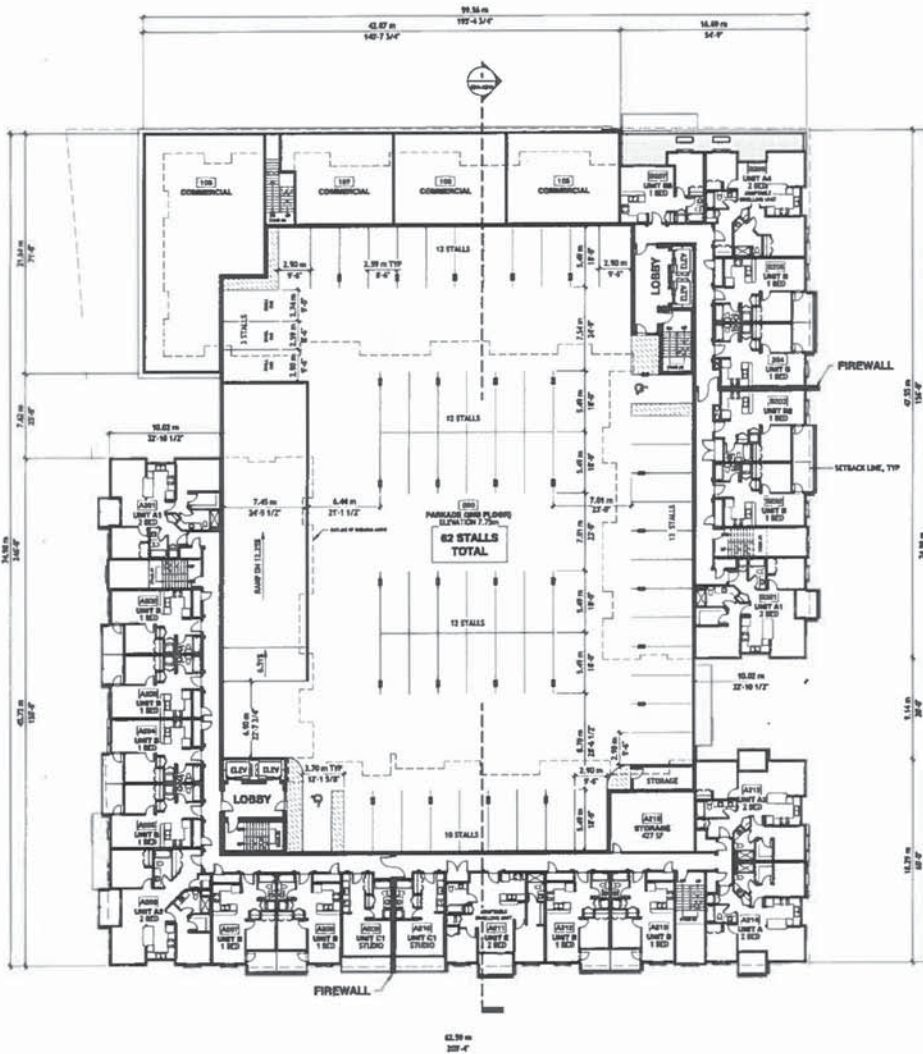
KEY PLAN
1" = 80'-0"





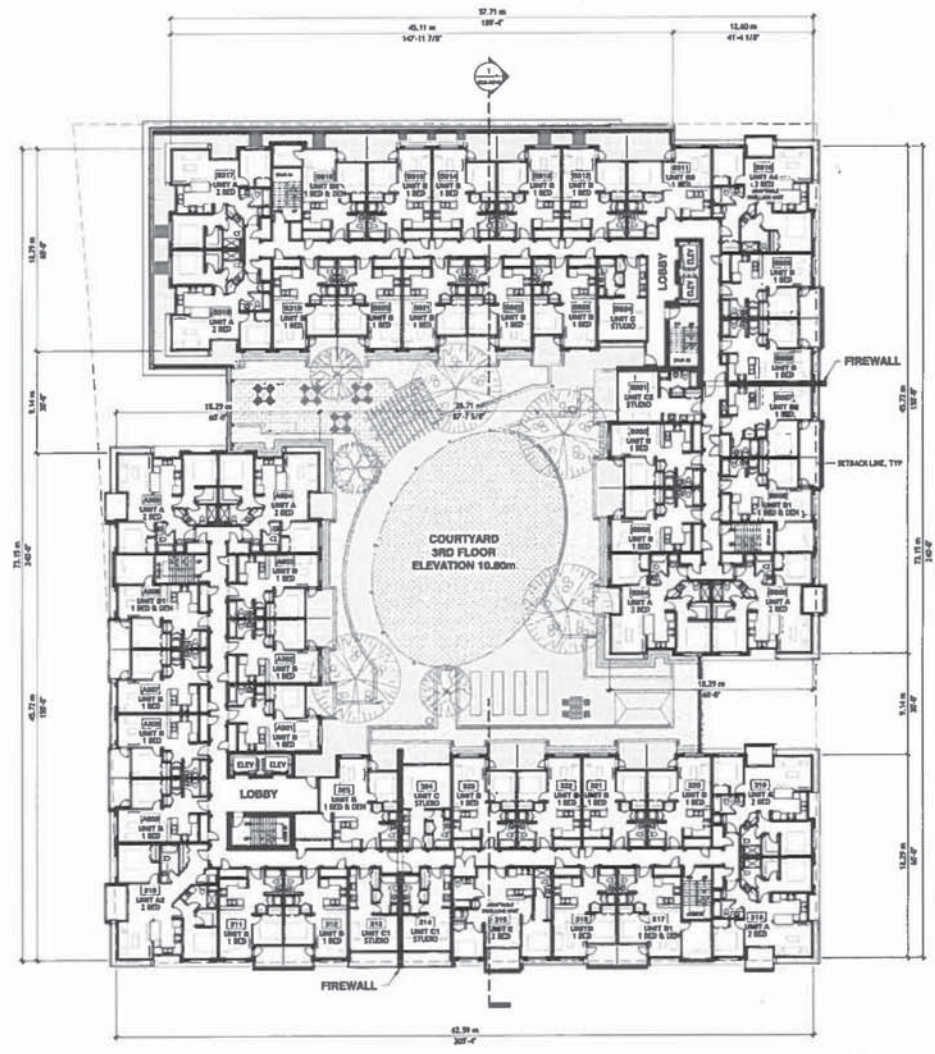
1st FLOOR PLAN
1:200





2ND FLOOR PLAN

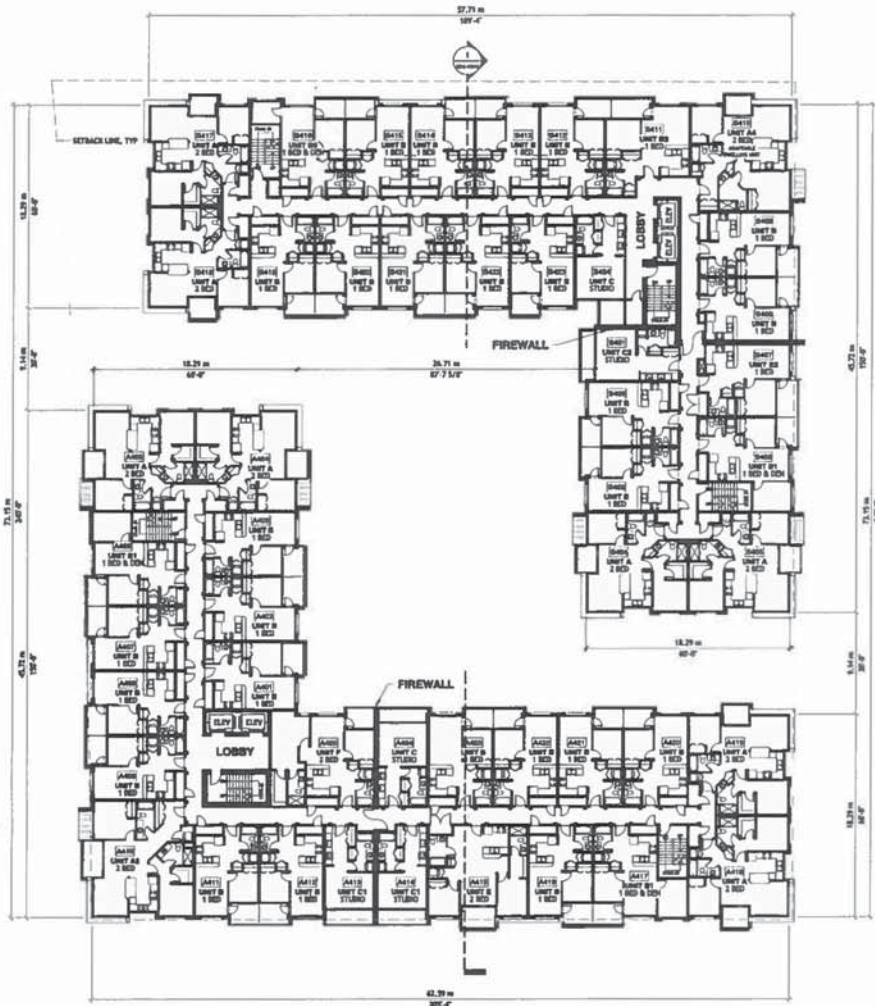
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3RD FLOOR PLAN

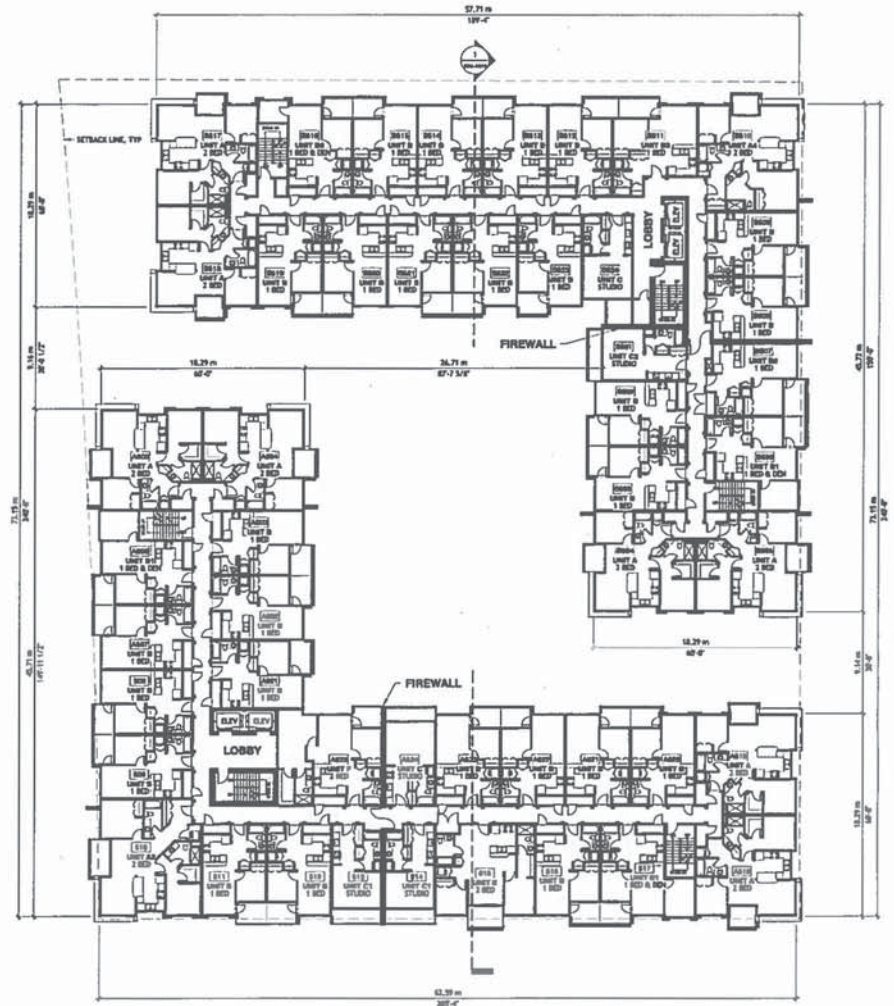
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4TH FLOOR PLAN

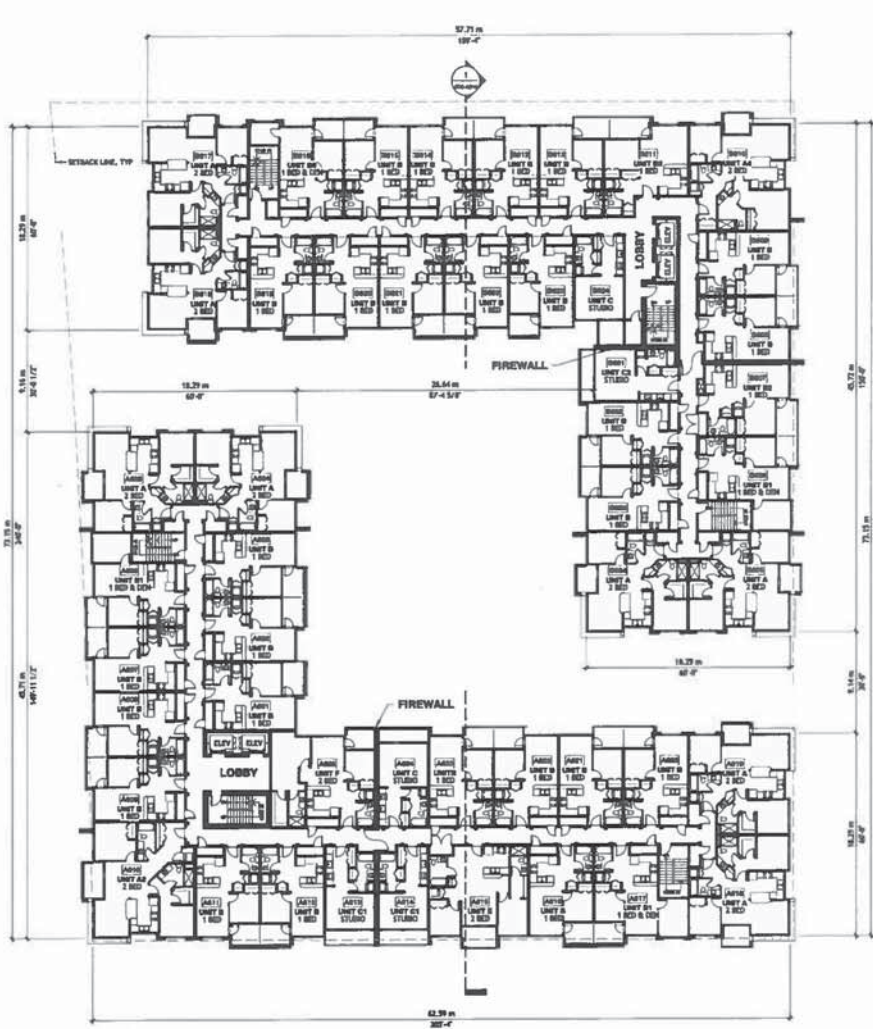
1:200



5TH FLOOR PLAN

1:200





6TH FLOOR PLAN
1:200



ROOF PLAN
1:200





NORTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"

MATERIAL LEGEND	
1	CORNY BOARD SMOOTH PANEL, BRING ON/YEAR TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: NIGHT GRAY
2	CORNY BOARD SMOOTH PANEL, BRING ON/YEAR TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: SLATE GRAY
3	CORNY BOARD SMOOTH PANEL, BRING ON/YEAR TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: CUSTON, WITCHING HOUR 2130-30
4	CORNY BOARD SMOOTH PANEL, BRING ON/YEAR TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: ARCTIC WHITE
5	CORNY BOARD SMOOTH PANEL, BRING ON/YEAR TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: NIGHT GRAY
6	CORNY BOARD CORNELL HORIZONTAL LAP BOARD 6" EXPOSURE: - JAMES HARDIE, COLOUR: SLATE GRAY
7	CONCRETE BRICK (HORIZONTAL, 7 1/2" COURSE) 3 1/2" SPACE) COLOUR: GALVANIZED
8	CONCRETE BRICK (HORIZONTAL, 7 1/2" COURSE) 3 1/2" SPACE) TEXTURE: COLOUR: MEDIUM GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
9	CONCRETE BRICK (HORIZONTAL, 7 1/2" COURSE) 3 1/2" SPACE) TEXTURE: COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (HORIZONTAL) - LONGBOARD PRIVACY SCREEN SYSTEM - COLOUR: LIGHT CHERRY
11	ALUMINUM FIBER COMPOSITE (ALIT) - ARCHITECTURAL PANEL SYSTEM, COLOUR: BLUE ALTA MARINE GRAYS-ORANGE PEACH/YELLOW-AMBER/GRAY-PUTER METALLIC (SEE ELEVATIONS) C/W MATCHING EXTRUSION
12	EPS (SHAPABLE) STUCCO COATING: - SYSTEM, COLOUR: BLUE-GREEN-ORANGE/YELLOW/GRAY/WHITE COLOUR MATCH TO CORRESPONDING ALIT & HORIZONTAL ELEVATIONS
13	ALUMINUM SLOTT/CLANNING 6" CHANNEL/HORIZONTAL - LONGBOARD, COLOUR: LIGHT CHERRY
14	WINDOW SILL: - COLOUR: BLACK EXT. / WHITE INT.
15	BLIND PATIO DOOR SILL: - COLOUR: BLACK EXT. / WHITE INT.
16	ALUMINUM/SLAS BALCONY RAILING: - COLOUR: CLEAR ANODIZED
17	HARVE TRIM (SHOOTS): - JAMES HARDIE, COLOUR: CUSTON, WITCHING HOUR 2130-30
18	HARVE FACIA BOARD (SHOOTS): - JAMES HARDIE, COLOUR: CUSTON, WITCHING HOUR & ARCTIC WHITE
19	METAL PLANNING: - SYSTEM, COLOUR: SLATE GRAY
20	WOOD CORNICE (PARTIAL): - BELLAIR MOORE, COLOUR: CUSTON, WITCHING HOUR 2130-30
21	STEEL/GLASS COMMERCIAL ENTRANCE CANOPY - COLOUR (STEEL): GALVANIZED
22	STEEL TRILLER/ALUMINUM SLAT PRIVACY SCREEN: - COLOUR (STEEL): BLACK, LONGBOARD PRIVACY SCREEN SYSTEM, COLOUR (ALUMINUM SLAT): LIGHT CHERRY
23	EXTERIOR ALUMINUM GUARD/RAILING: - COLOUR: BLACK
24	CONCRETE WALL: - COLOUR: CLEAR SCALEX
25	REVEAL: - SYSTEM, COLOUR: CLEAR ANODIZED
26	EXTERIOR METAL DOOR: - BELLAIR MOORE, COLOUR: WITCHING HOUR 2130-30 COLOUR: BLACK @ COMMERCIAL (SEE ELEVATIONS)
27	CURTAIN WALL: - SYSTEM: T&L SYSTEM 1 COLOUR: BLACK ANODIZED, C/W GRAY CHANNEL PANEL
28	COMMERCIAL SIGNAGE: - ILLUMINATED CHANNEL LETTER SIGNAGE



SOUTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

MATERIAL LEGEND	
1	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: HONEY GRAY)
2	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: SLATE GRAY)
3	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: CUSTOM, WATCHING HOUR 2130-30)
4	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: ARCTIC WHITE)
5	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: HONEYGRAY)
6	CORINTH BOARD SMOOTH PANEL SIDING (PVC/LAMINATE TRIM ALUM. REVEALS: JAMES HARDIE, COLOUR: SLATE GRAY)
7	CORUGATED METAL: - VERTICAL, HORIZONTAL, 7'6" CORRUGATED 3 1/2" SPACE) COLOUR: GALVALUME
8	CONCRETE BRICK (RANDOMLY MIXED) - TRITAF, COLOUR: MEDIUM GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
9	CONCRETE BRICK (RANDOMLY MIXED) - TRITAF, COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (HORIZONTAL) - LONGBOARD (PRIVACY SCREEN SYSTEM) COLOUR: LIGHT CHERRY
11	ALUMINUM FACED COMPOSITE (VERTICAL) - ARCHITECTURAL PANEL SYSTEM, COLOUR: BLUE ULTRA MARINE / GREEN-HART (ORANGE PEACH / YELLOW-AMBER / GRAY-PEWTER METALLIC (EX ELEVATIONS) / C/W MATCHING EXTRUSION
12	SPR (DAMPENABLE STUCCO COATING) - WHITE, COLOUR: BLUE-GREEN / ORANGE / YELLOW / GRAY / WHITE COLOUR MATCH TO CORRESPONDING AL13 & FRAME/EDGE ELEVATIONS
13	ALUMINUM SOFFIT / CLADDING (9" CHANNEL / HORIZONTAL) - LONGBOARD, COLOUR: LIGHT CHERRY
14	WINDOW PANEL - COLOUR: BLACK EXT. / WHITE INT.
15	SLIDING PATIO DOOR PANEL - COLOUR: BLACK EXT. / WHITE INT.
16	ALUMINUM / GLASS BALCONY RAILING - COLOUR: CLEAR ANODIZED
17	HARVE TRIM (CORNER) - JAMES HARDIE, COLOUR: CUSTOM, WATCHING HOUR 2130-30
18	HARVE PANEL BOARD (CORNER) - JAMES HARDIE, COLOUR: CUSTOM, WATCHING HOUR & ARCTIC WHITE
19	METAL FLASHING: - WHITE, COLOUR: SLATE SLIP
20	WOOD CORNER (CORNER) - SOLIDAMM BOARD, COLOUR: CUSTOM, WATCHING HOUR 2130-30
21	STEEL / GLASS COMMERCIAL ENTRANCE CANOPY - COLOUR (STEEL): GALVALUME
22	STEEL TIE-BACK / ALUMINUM SLAT PRIVACY SCREEN: - COLOUR (STEEL): BLACK, LONGBOARD PRIVACY SCREEN SYSTEM, COLOUR (ALUMINUM SLAT): LIGHT CHERRY
23	EXTERIOR ALUMINUM CURTAIN / RAILING: - COLOUR: BLACK
24	CONCRETE WALL: - COLOUR: CLEAR SEALER
25	REVEAL: - WATCHING HOUR, COLOUR: CLEAR ANODIZED
26	EXTERIOR METAL DOOR: - SOLIDAMM BOARD, COLOUR: WATCHING HOUR 2130-30 COLOUR: BLACK @ COMMERCIAL (EX ELEVATIONS)
27	CURTAIN WALL: - HORIZONTAL, LAMINATE SYSTEM & COLOUR: BLACK ANODIZED, C/W GRAY SPANDREL PANEL
28	COMMERCIAL SIGNAGE: - ILLUMINATED CHANNEL LETTER SIGNAGE



COURTYARD NORTH ELEVATION

3/32" = 1'-0"



COURTYARD WEST ELEVATION

3/32" = 1'-0"

MATERIAL LEGEND	
11	CENTRY BOARD SMOOTH PANEL, BRUSH ON/EASY TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: NIGHT GRAY
12	CENTRY BOARD SMOOTH PANEL, BRUSH ON/EASY TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: SLATE GRAY
13	CENTRY BOARD SMOOTH PANEL, BRUSH ON/EASY TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: CLAYTON, WITCHING HOUR 2130-30
14	CENTRY BOARD SMOOTH PANEL, BRUSH ON/EASY TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: ARCTIC WHITE
15	CENTRY BOARD SMOOTH PANEL, BRUSH ON/EASY TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: NIGHT GRAY
16	CENTRY BOARD CEDARWELL HORIZONTAL LAP SOGNO 1/4" OPERABLE: - JAMES HARDIE, COLOUR: SLATE GRAY
17	CORRUGATED METAL: - VICKROY, DIMENSIONAL, 7/16" CORRUGATED 2 1/8" SPACE 1 COLOUR: GALVANNEED
18	CONCRETE BRICK/SMOOTH/BRUSHED: - TRESTAP, COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH - METAR COLOUR: LIGHT GRAY
19	CONCRETE BRICK/SMOOTH/BRUSHED: - TRESTAP, COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH - METAR COLOUR: LIGHT GRAY
20	ALUMINUM SLAT (HIDROGRAND): - LONGBOARD PRIVACY SCREEN SYSTEM - COLOUR: LIGHT CHERRY
21	ALUMINUM FACED CONCRETE (ALU): - ARCHITECTURAL PANEL SYSTEM, COLOUR: BLUE ULTRA MARINE/ GREEN-HART/FOREAGE-PEACH/YELLOW-AMBER/GRAY-PEWTER METALLIC DUE ELEVATIONS: C/W WATCHING ENTRANCE
22	EPY (SHIMPOBLE STEEL) COATING: - BRVET, COLOUR: BLUE/CHERRY/AMBER/YELLOW/GRAY/WHITE COLOUR PATCH TO CORRESPONDING ALU & HANDBRACE ELEVATIONS
23	ALUMINUM SIPPY (CLADDING 1/2" CHANNEL/HIDROGRAND): - LONGBOARD, COLOUR: LIGHT CHERRY
24	WINDOW FINYL: - COLOUR: BLACK EXT. / WHITE INT.
25	SLIDING PATIO DOOR FINYL: - COLOUR: BLACK EXT. / WHITE INT.
26	ALUMINUM/PLASS SLEAZY RAILING: - COLOUR: CLEAR ANODIZED
27	HARDIE TRIM (SMOOTH): - JAMES HARDIE, COLOUR: CUSTOM, WITCHING HOUR 2130-30
28	HARDIE FACIA BOARD (SMOOTH): - JAMES HARDIE, COLOUR: CUSTOM, WITCHING HOUR & ARCTIC WHITE
29	METAL FLASING: - SENTRY, COLOUR: SLATE EXT
30	WOOD GRINCE (PANTER): - SOLLAHAR HODDE, COLOUR: CUSTOM, WITCHING HOUR 2130-30
31	STEEL/PLASS COMMERCIAL ENTRANCE CANOPY: - COLOUR (STEEL): GALVANNEED
32	STEEL TRILLS/ALUMINUM SLAT PRIVACY SCREEN: - COLOUR (STEEL): BLACK, LONGBOARD PRIVACY SCREEN SYSTEM, - COLOUR (ALUMINUM SLAT): LIGHT CHERRY
33	EXTERIOR ALUMINUM CLASH/RAILING: - COLOUR: BLACK
34	CONCRETE WALL: - COLOUR: CLEAR SEALER
35	REVEAL: - SENTRY, COLOUR: CLEAR ANODIZED
36	EXTERIOR METAL DOOR: - SOLLAHAR HODDE, COLOUR: WITCHING HOUR 2130-30 - COLOUR: BLACK @ COMMERCIAL (DUE ELEVATIONS)
37	CURTAIN WALL: - HANDBRACE, 1/800 BT SYSTEM 1 - COLOUR: BLACK ANODIZED, C/W GRAY SPANIEL PANEL
38	COMMERCIAL SIGNAGE: - ILLUMINATED CHANNEL LETTER SIGNAGE



COURTYARD SOUTH ELEVATION

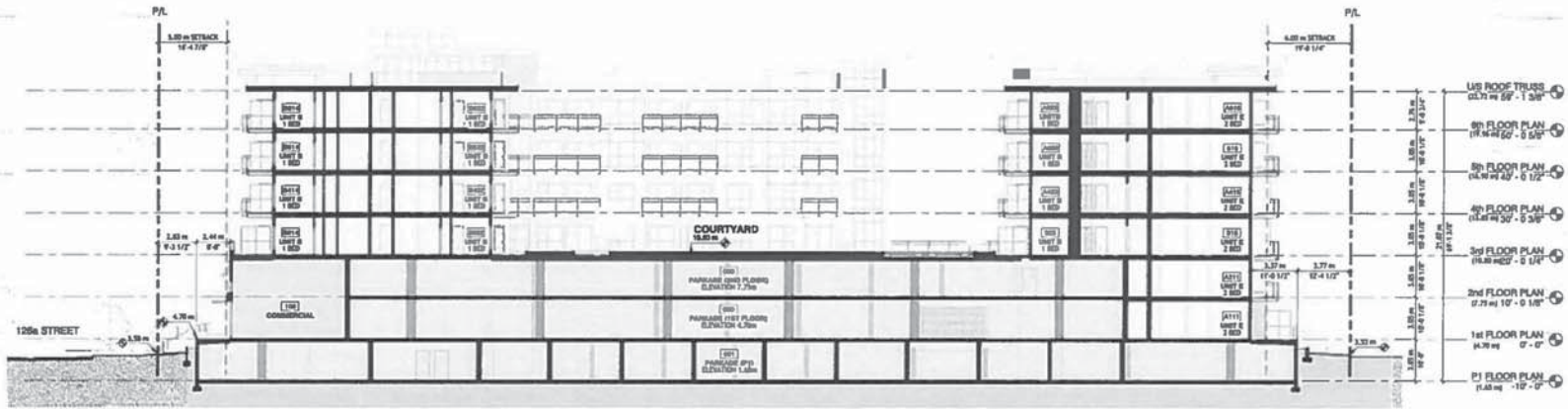
3/32" = 1'-0"



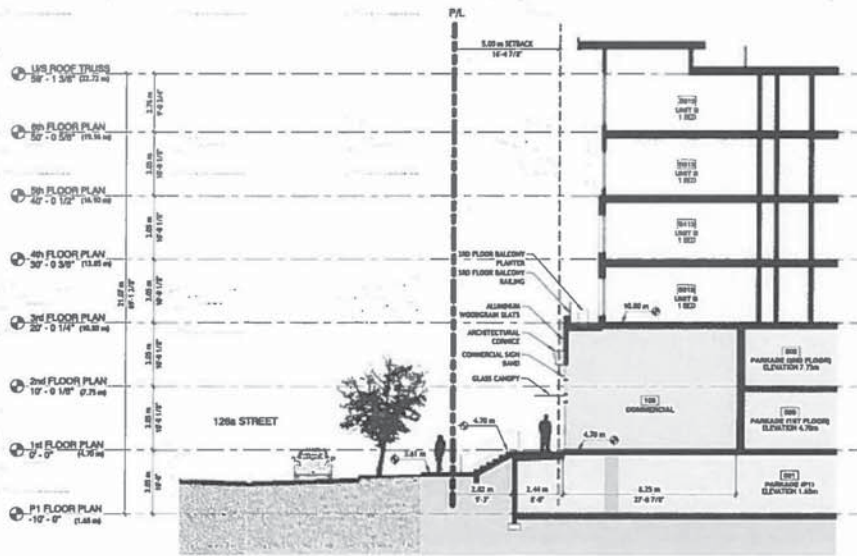
COURTYARD EAST ELEVATION

3/32" = 1'-0"

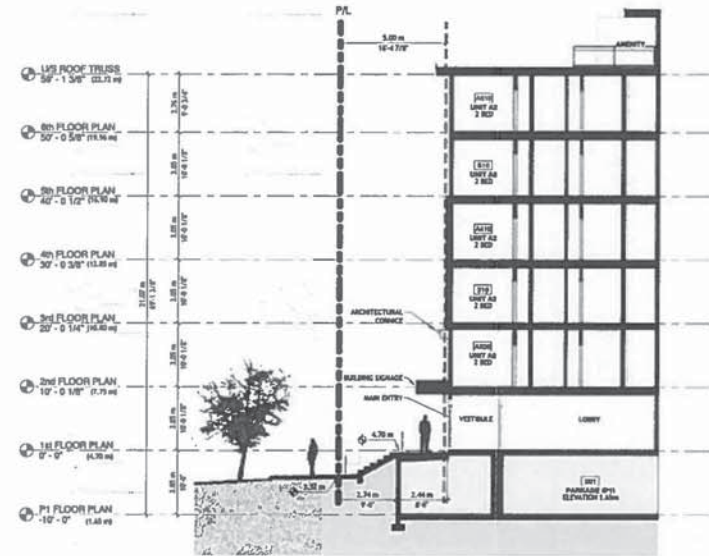
MATERIAL LEGEND	
1	CORRYT BOARD SMOOTH PANEL SERRS (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: NIGHT GRAY
2	CORRYT BOARD SMOOTH PANEL SERRS (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: SLATE GRAY
3	CORRYT BOARD SMOOTH PANEL SERRS (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: CUSTOM, WITTING HOUR 2139-B
4	CORRYT BOARD SMOOTH PANEL SERRS (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: ARCTIC WHITE
5	CORRYT BOARD SMOOTH PANEL SERRS (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: MINORIT BLACK
6	CORRYT BOARD CEILING HORIZONTAL LAP SERRS (P/1 EXPOSED) - JAMES FABRIC, COLOUR: SLATE GRAY
7	CORRUGATED METAL - VENEET, SPHERICAL, 1/2" CORRUGATED 1 1/2" SPACE COLOUR: GALVANNEED
8	CONCRETE BRICK (P/1 EAST TRIM ALIN. REVEALS) - TRITAC, COLOUR: MEDIUM GRAY, TEXTURE: SANDY POINT IN COLOUR: LIGHT GRAY
9	CONCRETE BRICK (P/1 EAST TRIM ALIN. REVEALS) - TRITAC, COLOUR: SAND CHARCOAL GRAY, TEXTURE: SMOOTH POINT IN COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (P/1 EAST TRIM ALIN. REVEALS) - LONGVIEW PRIVACY SCREEN SYSTEM COLOUR: LIGHT CHERRY
11	ALUMINUM SLAT (P/1 EAST TRIM ALIN. REVEALS) - SACHETRAL, PANEL SYSTEM, COLOUR: BLUE-ALTRA MARINE / GREEN-ART/BRIDGE PLACON/YELLOW-AMBER/GRAY-PORTER METALIC (SEE ELEVATIONS) (P/1 EAST TRIM ALIN. REVEALS) COLOUR MATCH TO CORRESPONDING AL1 & HANNESEZ ELEVATIONS
12	ALUMINUM SLAT (P/1 EAST TRIM ALIN. REVEALS) - LONGVIEW PRIVACY SCREEN SYSTEM COLOUR: LIGHT CHERRY
13	WOODEN VINYL COLOUR: BLACK EXT. / WHITE INT.
14	SLIDING PATIO DOOR VINYL COLOUR: BLACK EXT. / WHITE INT.
15	ALUMINUM/GLASS BALCONY RAILING COLOUR: CLEAR ANODIZED
16	HANNESEZ TRIM (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: CUSTOM, WITTING HOUR 2139-B
17	HANNESEZ FACIA BOARD (P/1 EAST TRIM ALIN. REVEALS) - JAMES FABRIC, COLOUR: CUSTOM, WITTING HOUR 2139-B
18	METAL PLATING - SERRS, COLOUR: SLATE GRAY
19	WOOD CORNICE (P/1 EAST TRIM ALIN. REVEALS) - BERLAIN ANODE, COLOUR: CUSTOM, WITTING HOUR 2139-B
20	STEEL/GLASS COMMERCIAL ENTRANCE CANOPY COLOUR (STEEL): GALVANNEED
21	STEEL TRUSS/ALUMINUM SLAT PRIVACY SCREEN COLOUR (STEEL): BLACK, LONGVIEW PRIVACY SCREEN SYSTEM, COLOUR (ALUMINUM SLAT): LIGHT CHERRY
22	EXTERIOR ALUMINUM CORNER/SEALING COLOUR: SLATE GRAY
23	CONCRETE WALL COLOUR: CLEAR SEALER
24	REVEAL - SERRS, COLOUR: CLEAR ANODIZED
25	EXTERIOR METAL DOOR - BERLAIN ANODE, COLOUR: WITTING HOUR 2139-B COLOUR: BLACK (P/1 EAST TRIM ALIN. REVEALS)
26	CURTAIN WALL - SERRS, TRIM (P/1 EAST TRIM ALIN. REVEALS) COLOUR: BLACK ANODIZED, (P/1 EAST TRIM ALIN. REVEALS)
27	COMMERCIAL SIGNAGE - ILLUMINATED CHANNEL LETTER SIGNAGE



1 BUILDING SECTION
1:150



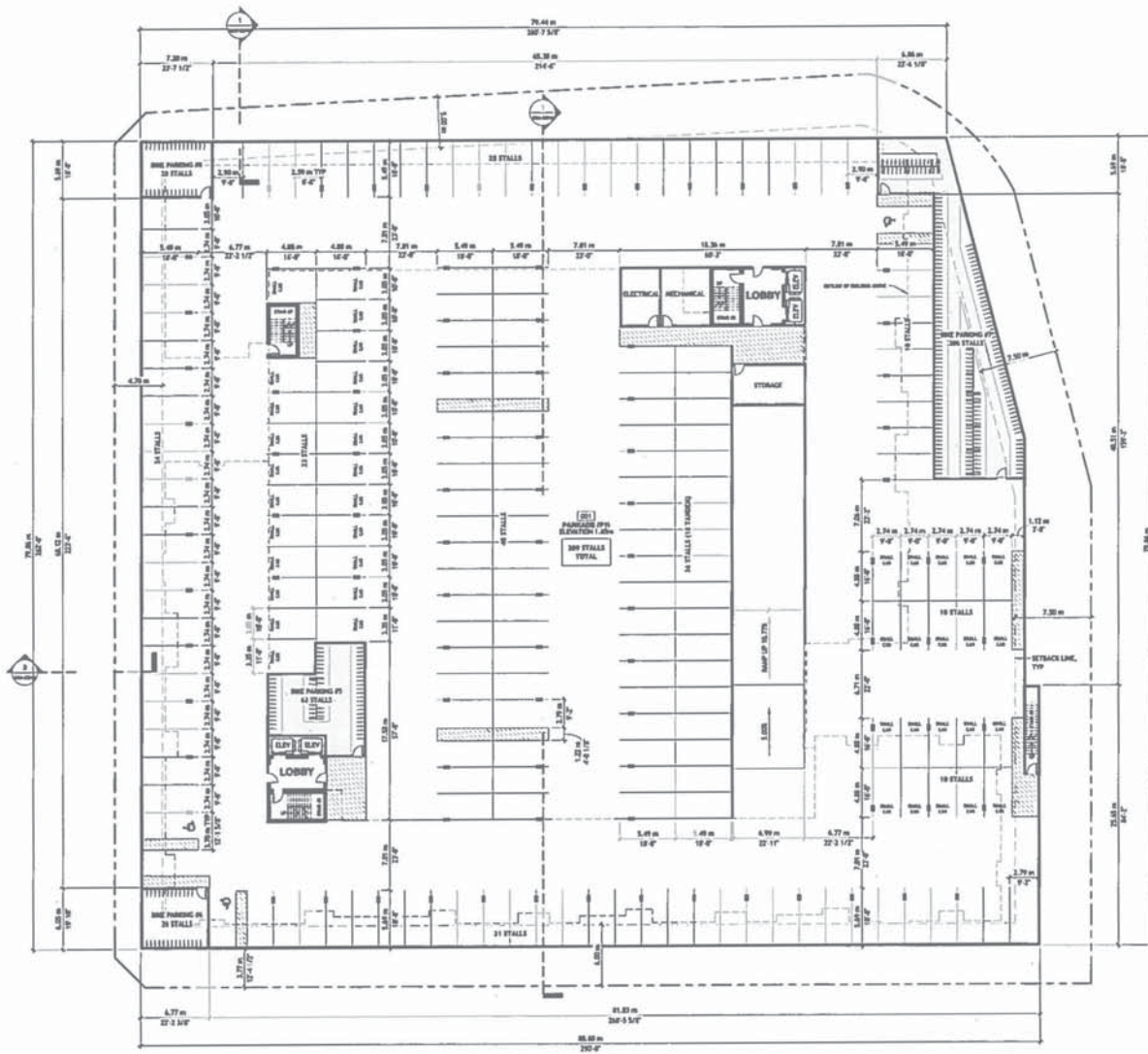
2 COMMERCIAL SECTION
1:100



3 MAIN ENTRY SECTION
1:100

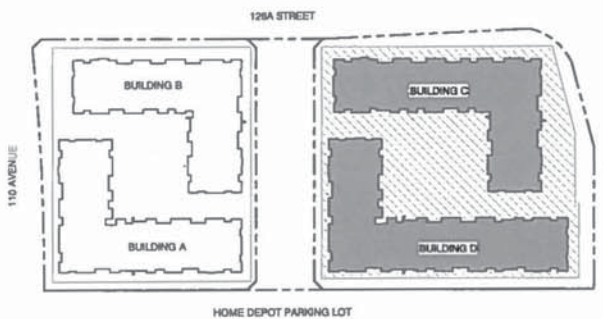


BUILDING C & D



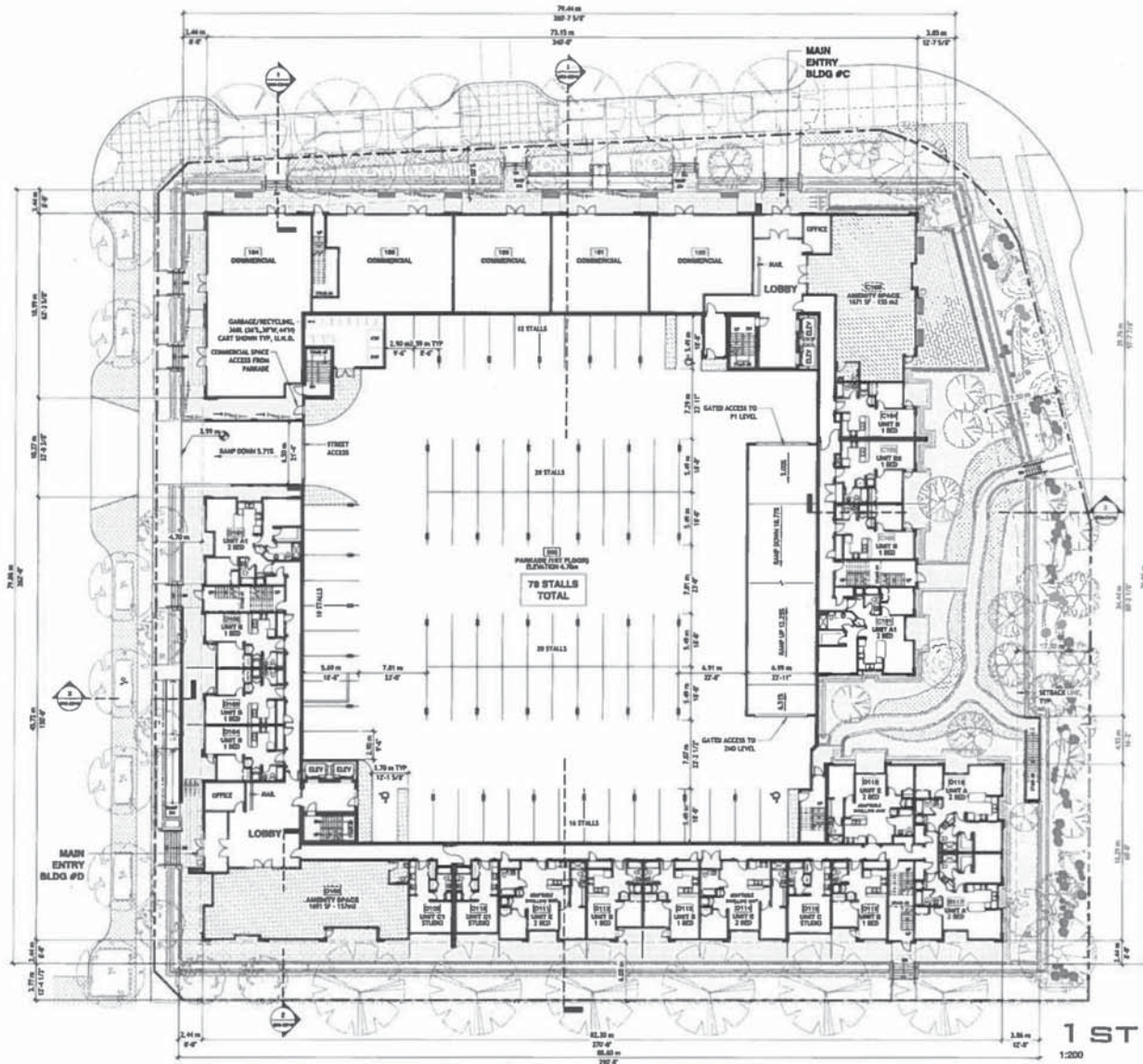
P1 FLOOR PLAN

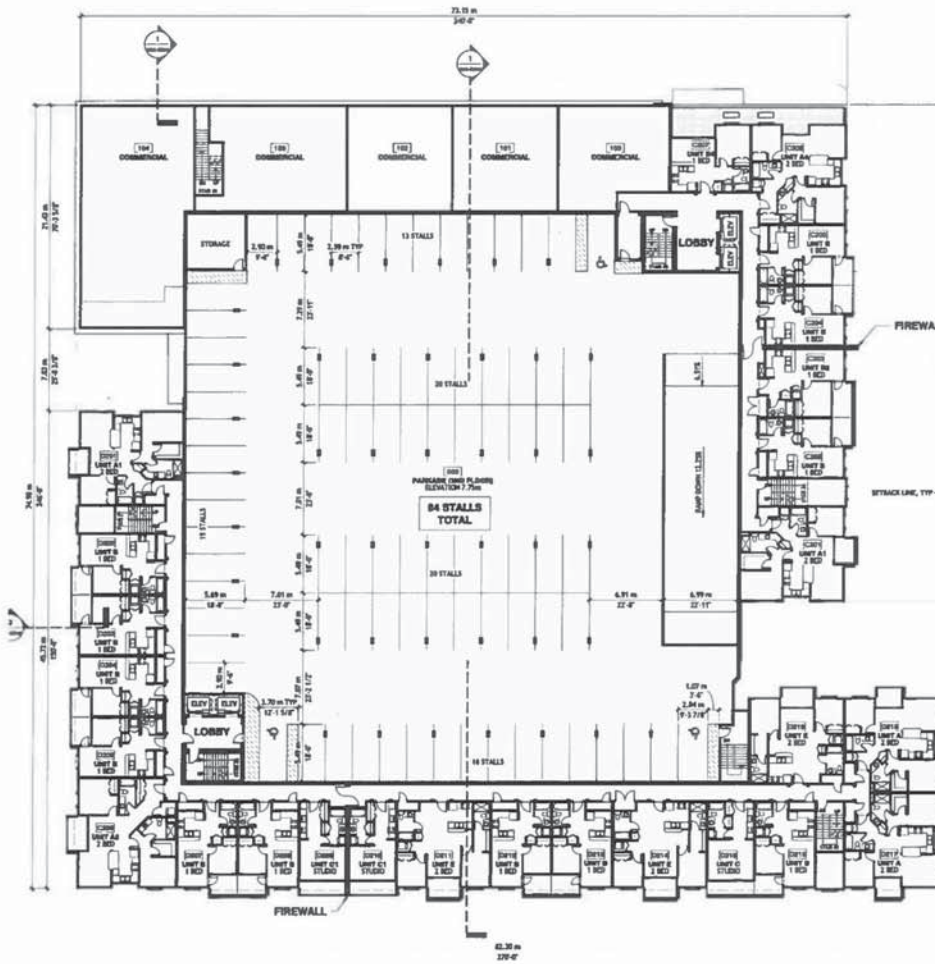
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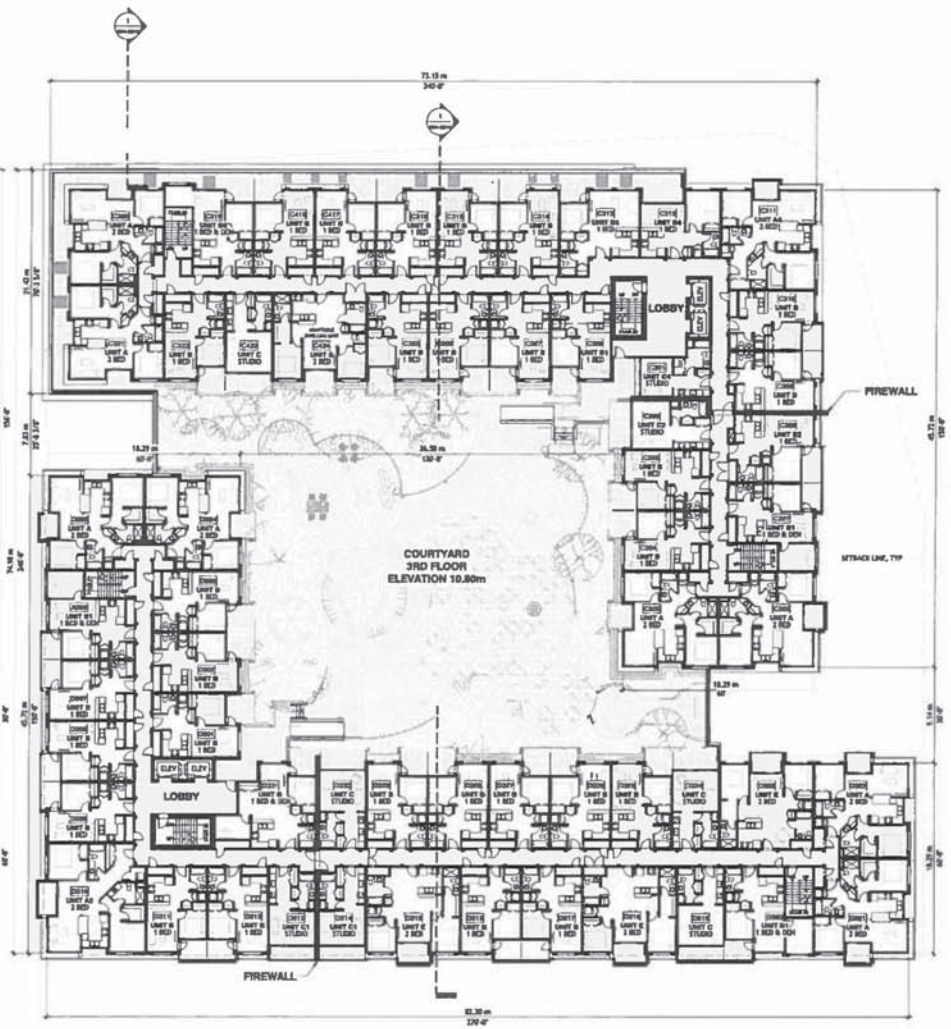
KEY PLAN
1" = 80'-0"





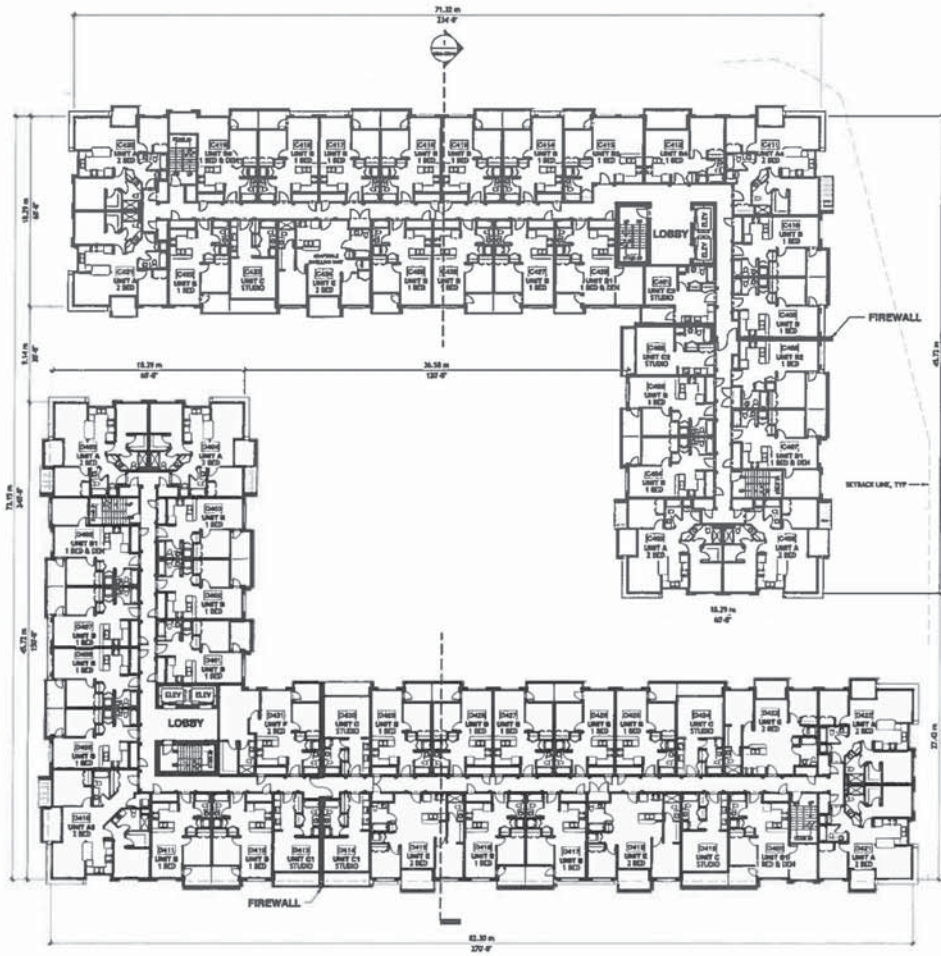


2ND FLOOR PLAN
1:200

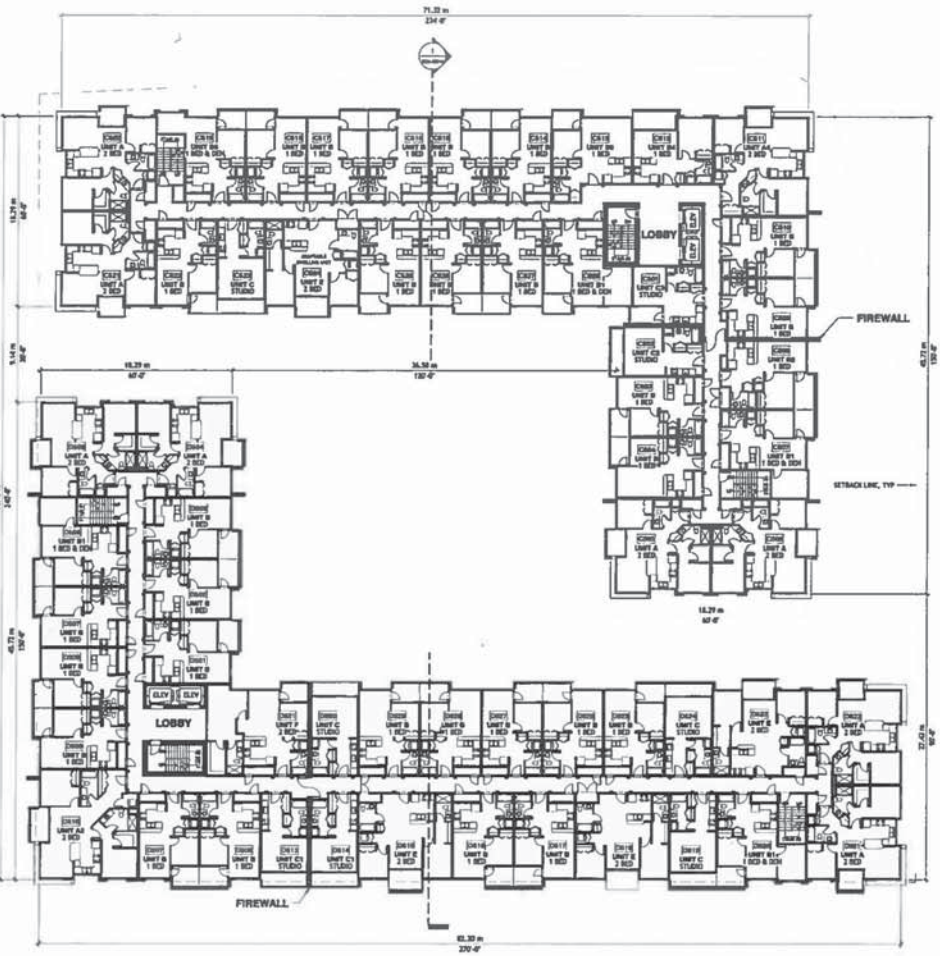


3RD FLOOR PLAN
1:200



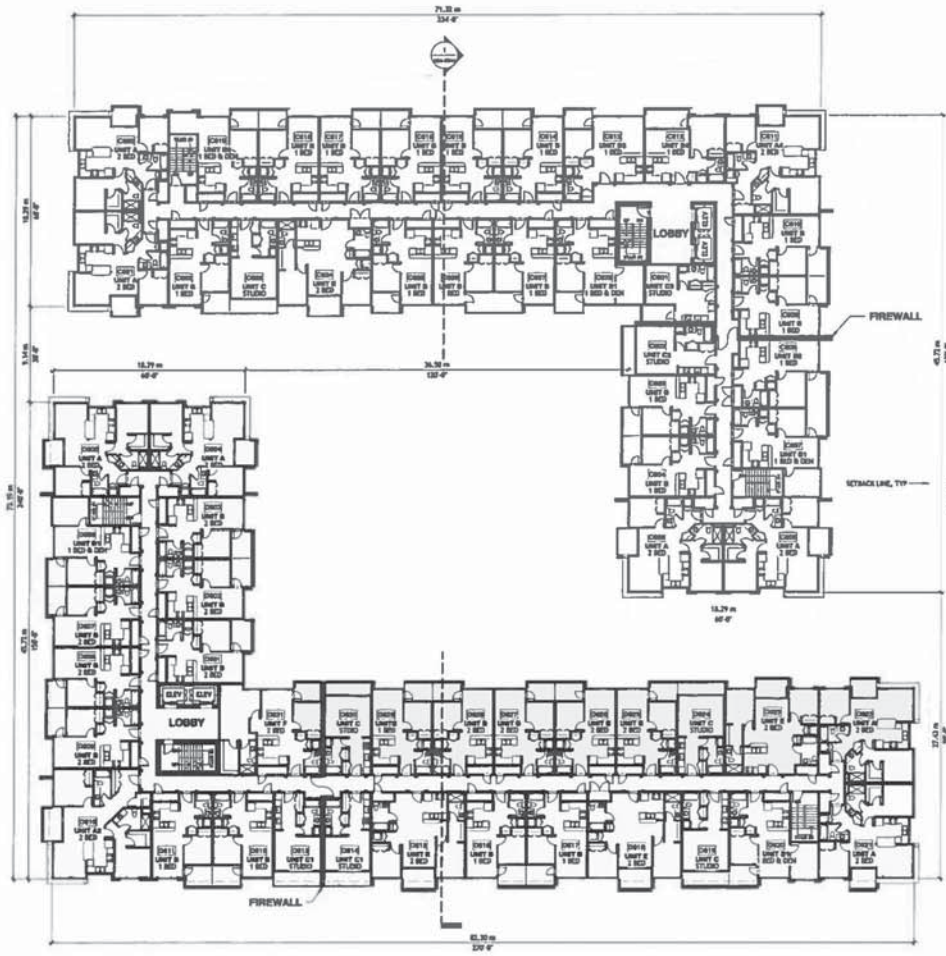


4TH FLOOR PLAN
1:200

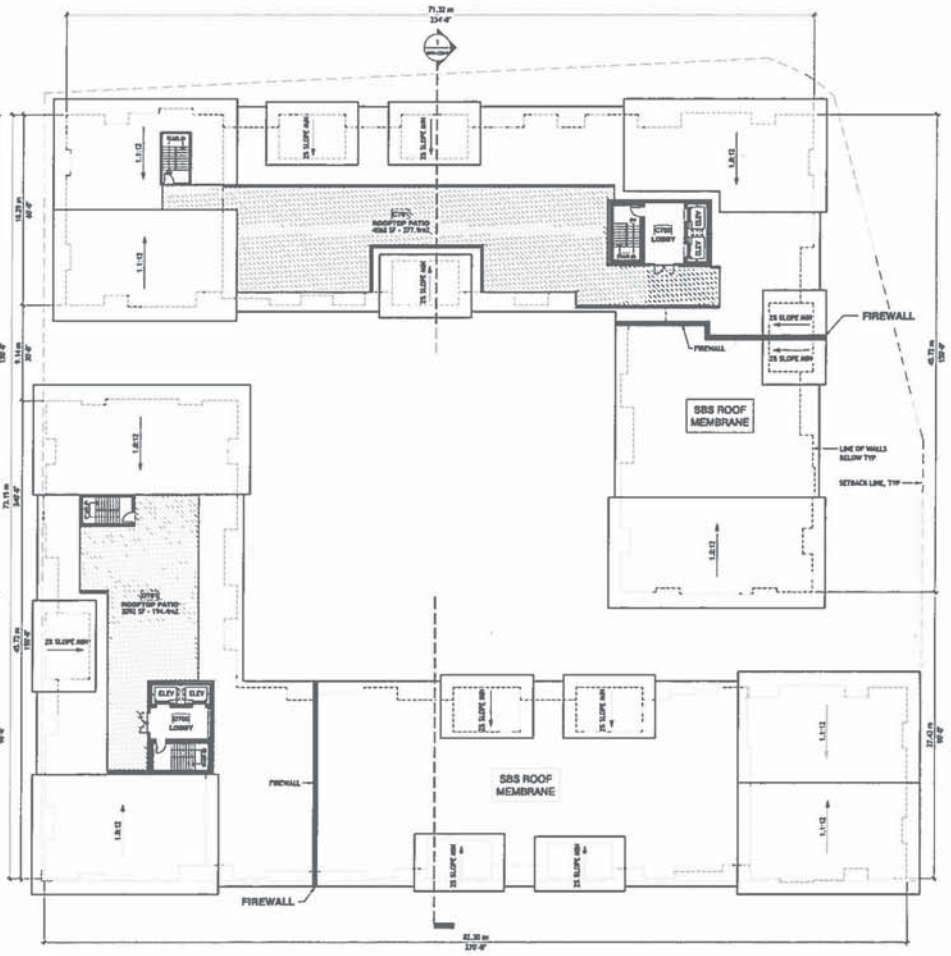


5TH FLOOR PLAN
1:200





6TH FLOOR PLAN
1:200



ROOF PLAN
1:200





SOUTH ELEVATION

3/2" = 1'-0"



EAST ELEVATION

3/2" = 1'-0"

MATERIAL LEGEND	
1	CORINTH BOARD SMOOTH PANEL, BRUSH FINISH TWIN ALUM. REVEALS: JAMES HARDIE, COLOUR: LIGHT GRAY
2	CORINTH BOARD SMOOTH PANEL, BRUSH FINISH TWIN ALUM. REVEALS: JAMES HARDIE, COLOUR: SLATE GRAY
3	CORINTH BOARD SMOOTH PANEL, BRUSH FINISH TWIN ALUM. REVEALS: JAMES HARDIE, COLOUR: CUSTOM, WITCHING HOUR 2130-38
4	CORINTH BOARD SMOOTH PANEL, BRUSH FINISH TWIN ALUM. REVEALS: JAMES HARDIE, COLOUR: ANCTIC WHITE
5	CORINTH BOARD SMOOTH PANEL, BRUSH FINISH TWIN ALUM. REVEALS: JAMES HARDIE, COLOUR: BERRIGT BLACK
6	CORINTH BOARD CERAMIC HORIZONTAL LAP BRUSH (2" EXPOSED): JAMES HARDIE, COLOUR: SLATE GRAY
7	EXTRUDED METAL: "NOSE" - SUBSTITUTED, TYP CORRUGATED 3 1/2" SPACE, COLOUR: GALVANNEE
8	CONCRETE BRICK (400x200x100) BRUSH: "TRITAF", COLOUR: MEDIUM GRAY, TEXTURE: SANDY MORTAR COLOUR: LIGHT GRAY
9	CONCRETE BRICK (400x200x100) BRUSH: "TRITAF", COLOUR: DARK CHARCOAL GRAY, TEXTURE: SANDY MORTAR COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (WOODGRAIN): LONGHART (PINKY SCREEN FITTING) COLOUR: LIGHT CHERRY
11	ALUMINUM FACED COMPOSITE (ALTO): ARCHITECTURAL PANEL SYSTEM, COLOUR: BLUE ULTRA HAZEL / GREEN-BLUE / ORANGE-PEACH / YELLOW-AMBER / GRAY-PEWTER METALLIC (SEE ELEVATIONS) C/P MATCHING SYSTEM
12	SPR. SHAPABLE STEELS COATING: "DRIFT", COLOUR: BLUE / GREEN / ORANGE / YELLOW / GRAY / WHITE COLOUR MATCH TO CORRESPONDING ALU & HARDWARE ELEVATIONS
13	ALUMINUM SOFTTE COATING (2" CHANNEL / WOODGRAIN): LONGHART, COLOUR: LIGHT CHERRY
14	WINDOW VINYL: COLOUR: BLACK GY. / WHITE INT.
15	BLINDING PATIO DOOR VINYL: COLOUR: BLACK GY. / WHITE INT.
16	ALUMINUM-VELOD BALCONY RAILING: COLOUR: SLATE GRAY
17	HARVE TRIM (SHOOTH): JAMES HARDIE, COLOUR: CUSTOM, WITCHING HOUR 2130-38
18	HARVE FACIA BOARD (SHOOTH): JAMES HARDIE, COLOUR: CUSTOM, WITCHING HOUR & ANCTIC WHITE
19	METAL FINISHING: "TORTEX", COLOUR: SLATE GY
20	WOOD CORNICE (SHOOTH): "BENJAMIN MOORE", COLOUR: CUSTOM, WITCHING HOUR 2130-38
21	STEEL / SLATE COMMERCIAL ENTRANCE CANOPY COLOUR: (STEEL) GALVANNEE
22	STEEL TRUSS / ALUMINUM SLAT (PINKY SCREEN): COLOUR: (STEEL) BLACK, LONGHART (PINKY SCREEN SYSTEM, COLOUR: (ALUMINUM SLAT) LIGHT CHERRY
23	EXTERIOR ALUMINUM GLASS / RAILING: COLOUR: SLATE GRAY
24	CONCRETE PILL: COLOUR: CLEAR SEALER
25	REVEAL: "EASYTRIM", COLOUR: CLEAR ANODIZED
26	EXTERIOR METAL DOOR: "BENJAMIN MOORE", COLOUR: WITCHING HOUR 2130-38 COLOUR: BLACK & COMMERCIAL (SEE ELEVATIONS)
27	CURTAIN WALL: "HARNED", HANG UP SYSTEM 1 COLOUR: BLACK ANODIZED, C/P GRAY SPANNING PANEL
28	COMMERCIAL SIGNAGE: ILLUMINATED CHANNEL LETTER SIGNAGE



COURTYARD NORTH ELEVATION
3/32" = 1'-0"



COURTYARD WEST ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND	
1	CERAMIC BOARD SMOOTH PANEL, BRUSH FINISH TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: NIGHT GRAY
2	CERAMIC BOARD SMOOTH PANEL, BRUSH FINISH TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: SLATE GRAY
3	CERAMIC BOARD SMOOTH PANEL, BRUSH FINISH TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: CLAYTON, WITTING HEAR 2130-38
4	CERAMIC BOARD SMOOTH PANEL, BRUSH FINISH TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: ARCTIC WHITE
5	CERAMIC BOARD SMOOTH PANEL, BRUSH FINISH TRIM ALUM. REVEALS: - JAMES HARDIE, COLOUR: HORIZONT BLACK
6	CERAMIC BOARD CERAMIC HORIZONTAL LIP BRUSH 1" EXPOSED: - JAMES HARDIE, COLOUR: SLATE GRAY
7	CORRUGATED METAL: - WESTYK, INDUSTRIAL, 7/16" CORRUGATED 3 1/2" SPACE - COLOUR: GALVANNEAL
8	CONCRETE BRICKWORK (300x150x75mm): - TREAT, COLOUR: MEDIUM GRAY, TEXTURE: SMOOTH - METAL COLOUR: LIGHT GRAY
9	CONCRETE BRICKWORK (300x150x75mm): - TREAT, COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH - METAL COLOUR: LIGHT GRAY
10	ALUMINUM SLAT FINISH: - LONGHAWY FINANCY SCREEN SYSTEM - COLOUR: LIGHT CHERRY
11	ALUMINUM FACED COMPOSITE SLATS: - RECTANGULAR PANEL SYSTEM, COLOUR: VEGE ULTRA MARINE/ - GREEN-BERRY/CRANE PEACH/YELLOW-JAMES/GRAY-POWER METALLIC - SEE ELEVATIONS FOR MATCHING EXTRUSION
12	EPX COMPACTIBLE STUCCO COATING: - WESTYK, COLOUR: BLUE-ORCHID/CRANE/YELLOW/GRAY/WHITE - COLOUR MATCH TO CORRESPONDING ALI & HARRIS ELEVATIONS
13	ALUMINUM SOFFIT/CLADDING OF CHANNEL/HORIZONTAL: - LONGHAWY, COLOUR: LIGHT CHERRY
14	WOODEN PANEL: - COLOUR: BLACK EXT. / WHITE INT.
15	SLIDING PATIO DOOR WHTL: - COLOUR: BLACK EXT. / WHITE INT.
16	ALUMINUM/GLASS BALCONY RAILING: - COLOUR: CLEAR ANODIZED
17	HARDE TRIM (WOOD): - JAMES HARDIE, COLOUR: CLAYTON, WITTING HEAR 2130-38
18	HARDE FACIA BOARD (WOOD): - JAMES HARDIE, COLOUR: CLAYTON, WITTING HEAR & ARCTIC WHITE
19	METAL FLASHING: - WESTYK, COLOUR: SLATE SLIP
20	WOOD CORNER (WOOD): - JOURNAL HOUSE, COLOUR: CLAYTON, WITTING HEAR 2130-38
21	STEEL/GLASS COMMERCIAL ENTRANCE CANOPY - COLOUR: STEEL / GALVANNEAL
22	STEEL TRELLIS/ALUMINUM SLAT FINANCY SCREEN: - COLOUR: STEEL / BLACK, LONGHAWY FINANCY SCREEN SYSTEM, - COLOUR: JALUMINUM SLAT, LIGHT CHERRY
23	EXTERIOR ALUMINUM CLADDING: - COLOUR: BLACK
24	CONCRETE WALL: - COLOUR: CLEAR BRUSH
25	REVEAL: - WESTYK, COLOUR: CLEAR ANODIZED
26	EXTERIOR METAL DOOR: - JOURNAL HOUSE, COLOUR: WITTING HEAR 2130-38 - COLOUR: BLACK & COMMERCIAL (SEE ELEVATIONS)
27	CURTAIN WALL: - HANOVER, 1400 1/2 SYSTEM 1 - COLOUR: BLACK ANODIZED, CPW GRAY SPANISH PANEL
28	COMMERCIAL SIGNAGE: - ALUMINATED CORNER LETTER SIGNAGE



COURTYARD SOUTH ELEVATION

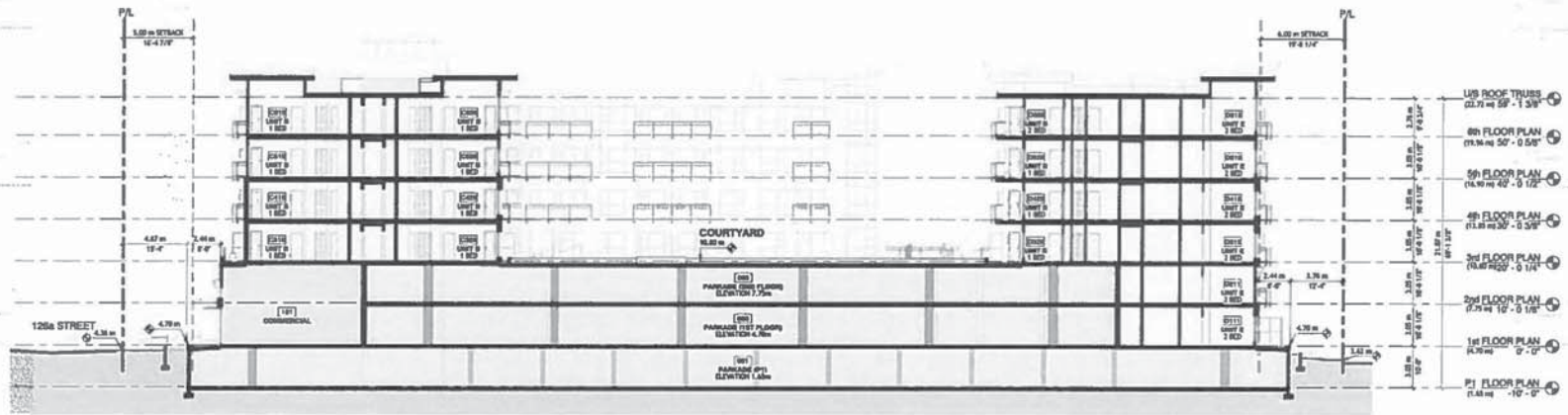
3/32" = 1'-0"



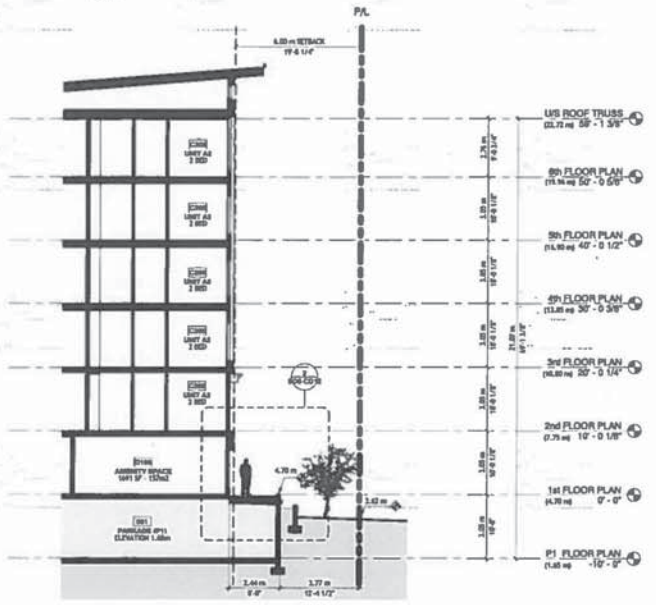
COURTYARD EAST ELEVATION

3/32" = 1'-0"

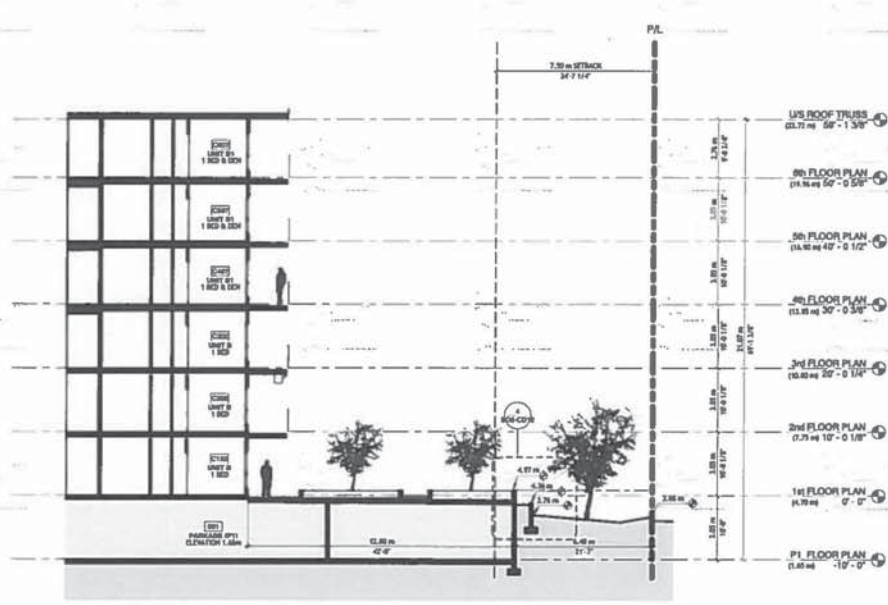
MATERIAL LEGEND	
1	CEMENT BOARD SMOOTH PANEL, FINISH: (P/CLAY TRIM ALUM. REVEALS: JAMES HARRIS, COLOUR: NIGHT GRAY)
2	CEMENT BOARD SMOOTH PANEL, FINISH: (P/CLAY TRIM ALUM. REVEALS: JAMES HARRIS, COLOUR: SLATE GRAY)
3	CEMENT BOARD SMOOTH PANEL, FINISH: (P/CLAY TRIM ALUM. REVEALS: JAMES HARRIS, COLOUR: CUSTAL, WITCHING HOUR 2130 38)
4	CEMENT BOARD SMOOTH PANEL, FINISH: (P/CLAY TRIM ALUM. REVEALS: JAMES HARRIS, COLOUR: ARCTIC WHITE)
5	CEMENT BOARD SMOOTH PANEL, FINISH: (P/CLAY TRIM ALUM. REVEALS: JAMES HARRIS, COLOUR: BURNOUT BLACK)
6	CEMENT BOARD CEMANEL, HORIZONTAL LAP FINISH (P/ ENVELOPE): JAMES HARRIS, COLOUR: SLATE GRAY
7	CONCRETE METAL: "RECTIC" - HORIZONTAL, 7/16" CORRUGATED 3 1/4" SPACE) COLOUR: SALTWATER
8	CONCRETE BRICK (MASONRY) FINISH: "TRITAC" COLOUR: MEDIUM GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
9	CONCRETE BRICK (MASONRY) FINISH: "TRITAC" COLOUR: DARK CONCRETE GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (WOODGRAIN): LONGSHORE FINISH SCREEN SYSTEM COLOUR: LIGHT CHERRY
11	ALUMINUM FACED COMPOSITE (IN FIB): ARCHITECTURAL FINISH SYSTEM, COLOUR: SLATE GRAY / ARCTIC WHITE / BURNOUT BLACK / WITCHING HOUR 2130 38 / C/W MATCHING EXTENSION
12	SPR. GANPERSIBLE STUCCO COATING: "TRITAC" COLOUR: BURNOUT BLACK / WITCHING HOUR 2130 38 / C/W MATCHING EXTENSION
13	ALUMINUM SLOTTED CLADDING (P/ CHANNEL / WOODGRAIN) "LONGSHORE" COLOUR: LIGHT CHERRY
14	WINDOW SILL: COLOUR: BLACK EXT. / WHITE INT.
15	SLIDING PATIO DOOR SILL: COLOUR: BLACK EXT. / WHITE INT.
16	ALUMINUM GLASS BALCONY RAILING: COLOUR: CLEAR ANODIZED
17	HARSH TRIM SMOOTH: JAMES HARRIS, COLOUR: CUSTAL, WITCHING HOUR 2130 38
18	HARSH FACED BOARD SMOOTH: JAMES HARRIS, COLOUR: CUSTAL, WITCHING HOUR 8 ARCTIC WHITE
19	METAL FLASHING: "TRITAC" COLOUR: SLATE GRAY
20	WOOD CORNICE (PAINTED): "WOODGRAIN" COLOUR: CUSTAL, WITCHING HOUR 2130 38
21	STEEL/GLASS COMMERCIAL ENTRANCE CANOPY: COLOUR (STEEL): SALTWATER
22	TITEL TRIM (ALUMINUM SLAT FINISH SCREEN): COLOUR (STEEL): BLACK, LONGSHORE FINISH SCREEN SYSTEM, COLOUR (ALUMINUM SLAT): LIGHT CHERRY
23	EXTERIOR ALUMINUM GUARD/RAILING: COLOUR: BLACK
24	CONCRETE WALL: COLOUR: CLEAR SEALER
25	REVEAL: SALTWATER, COLOUR: CLEAR ANODIZED
26	EXTERIOR METAL SILL: "WOODGRAIN" COLOUR: WITCHING HOUR 2130 38 COLOUR: BLACK & COMMERCIAL (SEE ELEVATIONS)
27	CURTAIN WALL: "SALTWATER" LAMB BY SYSTEM 1 COLOUR: BLACK ANODIZED, C/W GRAY SPANNING PANEL
28	COMMERCIAL SIGNAGE: EMBOSSMENT CHANNEL LETTER BRONZE



1 BUILDING SECTION
1:150

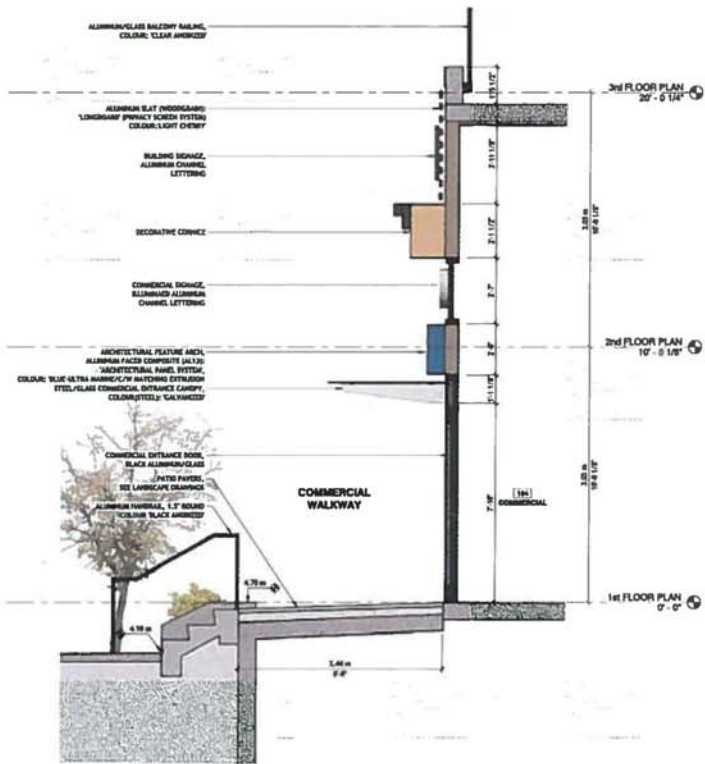


2 AMENITY SECTION
1:100



3 RESIDENTIAL SECTION
1:100

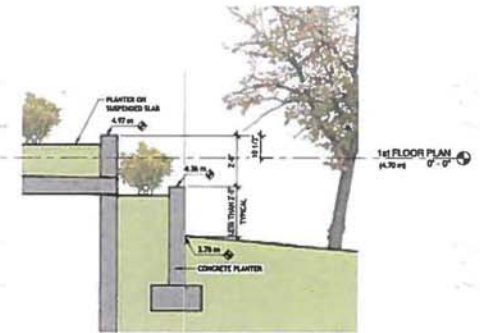




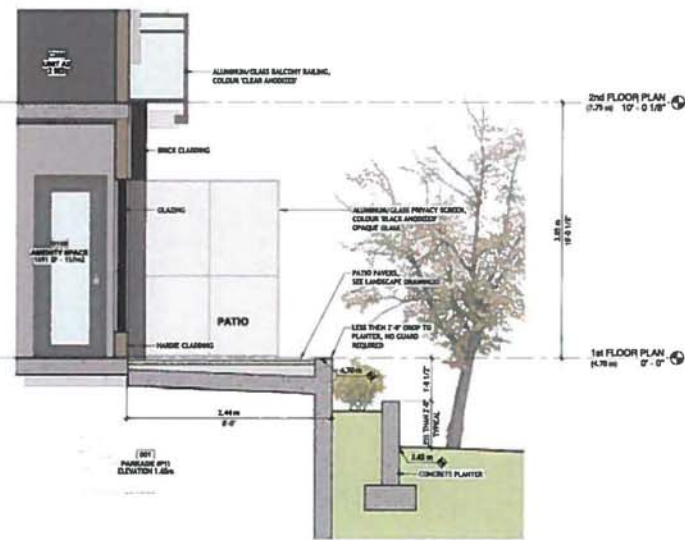
1 PODIUM SECTION @ COMMERCIAL STAIR
1:25



3 PODIUM @ RAMP/GUARD
1:50



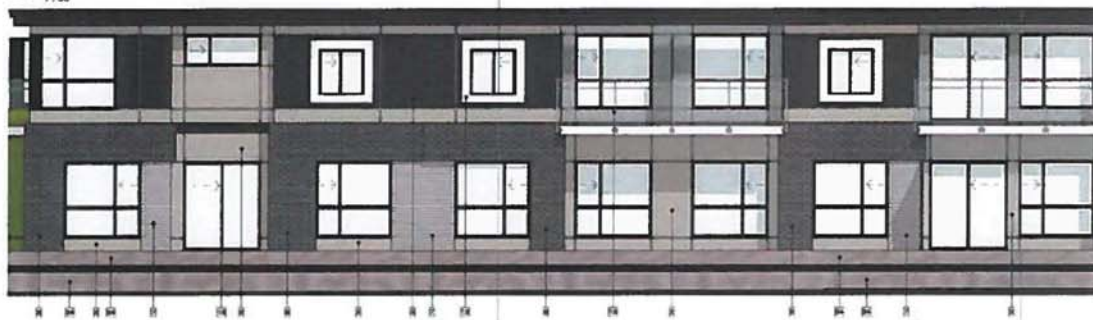
4 PODIUM SECTION @ PLANTER
1:25



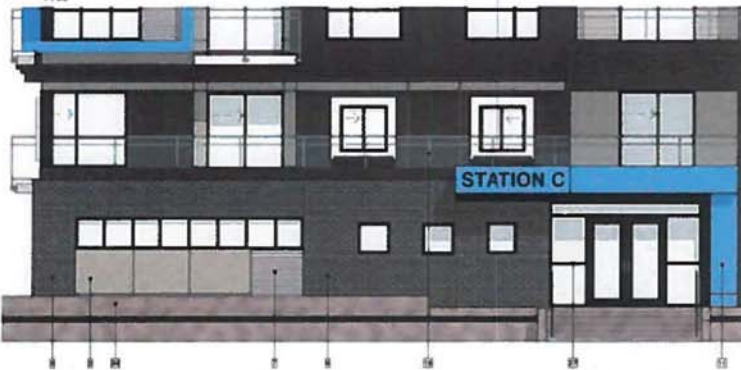
2 PODIUM SECTION @ AMENITY & UNIT PATIO
1:25



4 ENLARGED SOUTH ENTRY
1:50



3 ENLARGED AMENITY & UNIT PATIO
1:50



1 ENLARGED NORTH ENTRY
1:50



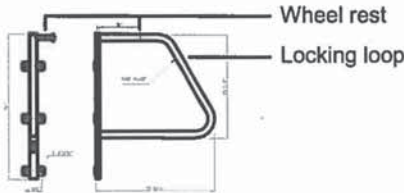
2 ENLARGED COMMERCIAL
1:50

MATERIAL LEGEND	
01	CEMENT BOARD SMOOTH PANEL SOING (P/VEAST TRIM ALUM. REVEALS) - JAMES HARDIE, COLOUR: NIGHT GRAY
02	CEMENT BOARD SMOOTH PANEL SOING (P/VEAST TRIM ALUM. REVEALS) - JAMES HARDIE, COLOUR: SLATE GRAY
03	CEMENT BOARD SMOOTH PANEL SOING (P/VEAST TRIM ALUM. REVEALS) - JAMES HARDIE, COLOUR: CUSTOM, SWITCHING HOUR 2109-30
04	CEMENT BOARD SMOOTH PANEL SOING (P/VEAST TRIM ALUM. REVEALS) - JAMES HARDIE, COLOUR: ANCTIC WHITE
05	CEMENT BOARD SMOOTH PANEL SOING (P/VEAST TRIM ALUM. REVEALS) - JAMES HARDIE, COLOUR: BRIGHT BLACK
06	CEMENT BOARD CEASHELL HORIZONTAL LAP SOING (P/ COPIROSD) - JAMES HARDIE, COLOUR: SLATE GRAY
07	CORRUGATED METAL - VENEET, DIMENSIONAL: 1/4" CORRUGATED 1 5/8" SPACE 1 COLOUR: GALVANNEZ
08	CONCRETE BRICK (P/VEAST TRIM ALUM. REVEALS) - TRITAF, COLOUR: MORMAN GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
09	CONCRETE BRICK (P/VEAST TRIM ALUM. REVEALS) - TRITAF, COLOUR: DARK CHARCOAL GRAY, TEXTURE: SMOOTH MORTAR COLOUR: LIGHT GRAY
10	ALUMINUM SLAT (WOODGRAIN) - LONGBOARD (PRIVACY SCREEN SYSTEM) COLOUR: LIGHT CHERRY
11	ALUMINUM FACIA COMPOSITE (SL 17) - STRUCTURAL PANEL, PROFILE, COLOUR: BLUE-ULTRA SHIMMER/ GREEN-IMPT/ORANGE-PLACO/YELLOW-AMBER/GRAY-PEWTER METALLIC (SEE ELEVATIONS C/FW WINDOWS EXTENSION)
12	SPY (SHIMMER) SLAT (WOODGRAIN) - TRITAF, COLOUR: BLUE/RED/ORANGE/YELLOW/GRAY/WHITE COLOUR MATCH TO CORRESPONDING AL 13 & PARALLEL ELEVATIONS
13	ALUMINUM SLOTT (CLAMING (P/ CHANNEL/WOODGRAIN) - LONGBOARD, COLOUR: LIGHT CHERRY
14	WOOD GRAY - COLOUR: BLACK EXT. / WHITE INT.
15	SLING (P/TO DOOR WHIL) - COLOUR: BLACK EXT. / WHITE INT.
16	ALUMINUM/SLAT BALCONY RAILING - COLOUR: CLEAR ANODIZED
17	HARDI TRIM (WOODGRAIN) - JAMES HARDIE, COLOUR: CUSTOM, SWITCHING HOUR 2109-30
18	HARDI FACIA BOARD (WOODGRAIN) - JAMES HARDIE, COLOUR: CUSTOM, SWITCHING HOUR & ANCTIC WHITE
19	METAL PLATING - SMOOTH, COLOUR: SLATE GRAY
20	WOOD GRAY (WOODGRAIN) - SOLJAHN HONEY, COLOUR: CUSTOM, SWITCHING HOUR 2109-30
21	STEEL/PALAS COMMERCIAL ENTRANCE CANOPY - COLOUR: STEEL, GALVANNEZ
22	SPY (SHIMMER) SLAT (WOODGRAIN) - COLOUR: STEEL, BLACK, LONGBOARD (PRIVACY SCREEN SYSTEM, COLOUR (ALUMINUM SLAT): LIGHT CHERRY
23	EXTENSION ALUMINUM SLAT (WOODGRAIN) - COLOUR: BLACK
24	CONCRETE WALL COLOUR: CLEAR SEALER
25	REVEAL - SMOOTH, COLOUR: CLEAR ANODIZED
26	EXTENSION METAL DOOR - SOLJAHN HONEY, COLOUR: SWITCHING HOUR 2109-30 COLOUR: BLACK @ COMMERCIAL (SEE ELEVATIONS)
27	CURTAIN WALL - SUNBREX, LAMB (P/ SYSTEM 1) COLOUR: BLACK ANODIZED, C/FW GRAY (PARALLEL PANEL)
28	COMMERCIAL SIGNAGE - ILLUMINATED CHANNEL LETTER SIGNAGE

Urban High Density Vertical Rack

Single Unit Details

In addition to the following configurations, each rack is available individually to allow completely custom configurations.



Aisle Widths

High traffic (at least)	70" [175 cm]
Recommended	60" [150 cm]
Minimum	48" [125 cm]

Handlebar Clearance

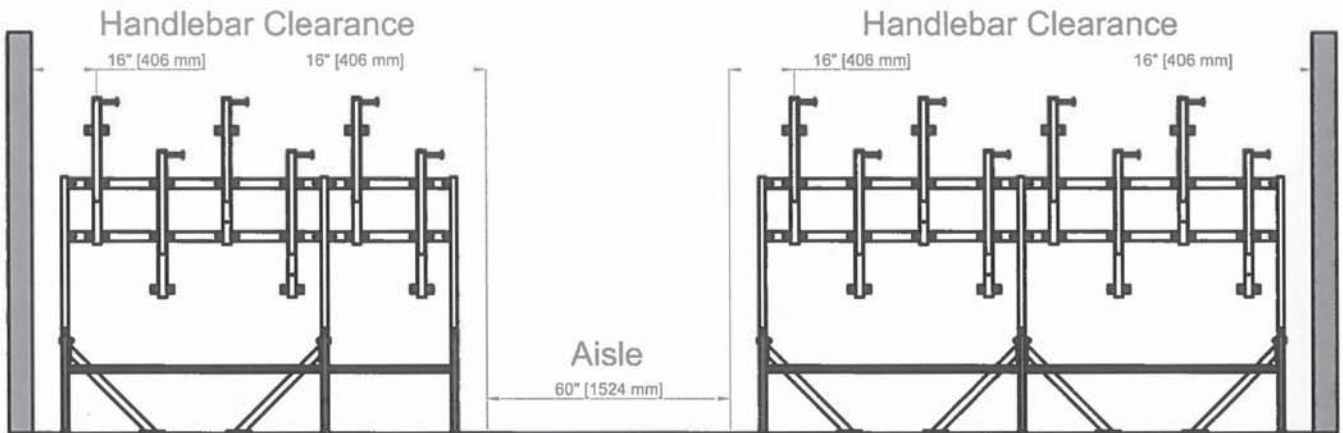
At all times, a minimum of 16" [40 cm] must be left on each side of the structure, calculated from the center of the last and first bicycle parking place.

Joining Bicycle Racks

Standalone models segments can be joined by a single post at each end to preserve 16" [40 cm] between each bicycle parking space.

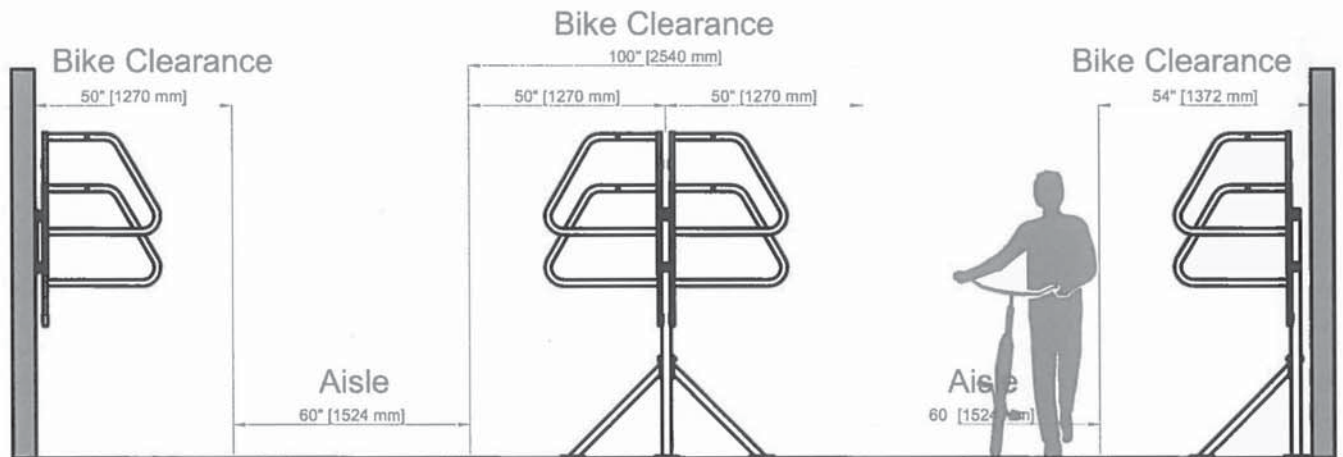
Wall Clearance

Wall clearance from the wall for single-sided standalone structures is a minimum of 4" [10 cm], calculated from the center of the post closest to the wall.



Two sets can be connected using the same post.

Two sets can be connected using the same post.

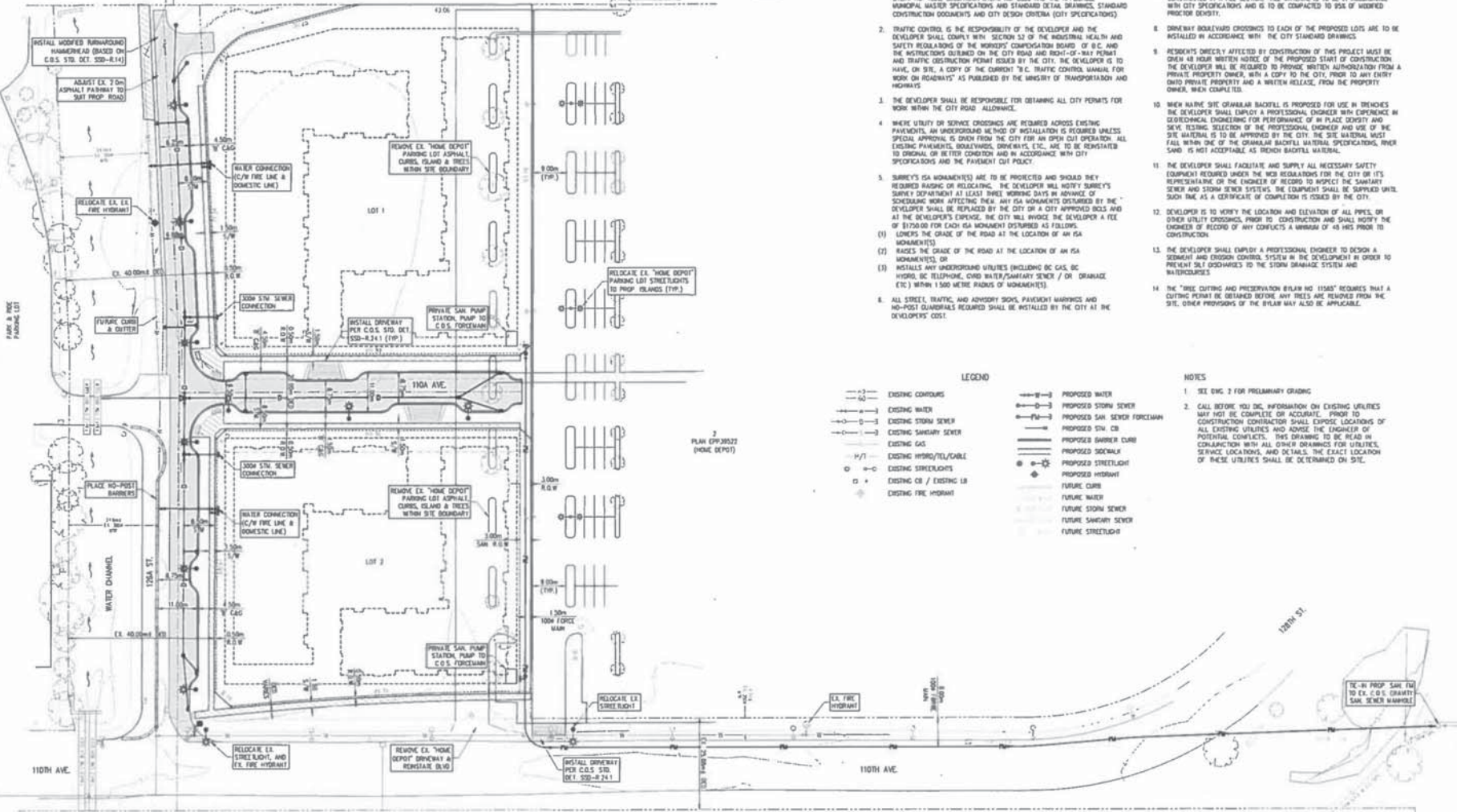


Notes:

1. Available finishes: powder coated, galvanized, stainless steel.
2. Installation must be completed in accordance with specifications.
3. All dimensions are considered true and reflect our specifications.
4. Do not scale DWG drawings.
5. The drawings are not for construction purposes and are for information purposes only. All information contained herein was current at the time of development but must be reviewed and confirmed by Urban Racks to be considered accurate.
6. For more product and company information please visit www.urbanracks.com

Urban High Density Vertical Rack	URBAN RACKS INNOVATIVE BICYCLE PARKING
Model: UB-1900	
Copyright © 2014 Urban Bicycle Parking Systems Inc. All rights reserved.	

PG. 3
PLAN 87533



CITY GENERAL NOTES

- CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF SURREY HIGHWAYS BYLAW NO. 4862, SUBDIVISION BYLAW NO. 8830 AND THE APPLICABLE MUNICIPAL WATER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, STANDARD CONSTRUCTION DOCUMENTS AND CITY DESIGN CRITERIA (CITY SPECIFICATIONS).
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE DEVELOPER AND THE DEVELOPER SHALL COMPLY WITH SECTION 32 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF THE "WORKERS" COMPENSATION BOARD OF B.C. AND THE REGULATIONS OUTLINED ON THE CITY ROAD AND ROAD-TO-ROAD PERMIT AND TRAFFIC OBSTRUCTION PERMIT ISSUED BY THE CITY. THE DEVELOPER IS TO HAVE, ON SITE, A COPY OF THE CURRENT "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION AND HIGHWAYS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORK WITHIN THE CITY ROAD ALLOWANCE.
- WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENTS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, BOLLARDS, DRIVEWAYS, ETC., ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
- SURREY'S ISA MONUMENT(S) ARE TO BE PROTECTED AND SHOULD THEY BE REQUIRED RASING OR RELOCATING, THE DEVELOPER WILL NOTIFY SURREY'S SURVEY DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM. ANY ISA MONUMENTS DISTURBED BY THE DEVELOPER SHALL BE REPLACED BY THE CITY OR A CITY APPROVED BODILY AND AT THE DEVELOPER'S EXPENSE. THE CITY WILL INVOICE THE DEVELOPER A FEE OF \$1750.00 FOR EACH ISA MONUMENT DISTURBED AS FOLLOWS:
 - LOWERS THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S)
 - RAISES THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S) OR
 - INSTALLS ANY UNDERGROUND UTILITIES (INCLUDING BC GAS, BC HYDRO, BC TELEPHONE, CORD WARE/SANITARY SEWER / OR DRAINAGE ETC.) WITHIN 1500 METRE RADIUS OF MONUMENT(S).
- ALL STREET, TRAFFIC, AND ADVERTISING SIGNS, PAVEMENT MARKINGS AND NO-POST GUARDRAILS REQUIRED SHALL BE INSTALLED BY THE CITY AT THE DEVELOPER'S COST.
- WHERE REPAIRING OF EXISTING DITCHES IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A TRENCH SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 95% OF NOMINATED PROCTOR DENSITY.
- DRAINAGE BOLLARDS CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOUR WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. THE DEVELOPER WILL BE REQUIRED TO PROVIDE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE, FROM THE PROPERTY OWNER, WHEN COMPLETED.
- WHEN HAIRY SITE OR HAZARDOUS BACILLI IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOLOGICAL ENGINEERING FOR PERFORMANCE OF AN FLUKE, DENSITY AND SWEET TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL IS TO BE APPROVED BY THE CITY. THE SITE MATERIAL MUST FALL WITHIN ONE OF THE OR HAZARDOUS BACILLI MATERIAL SPECIFICATIONS, IF NOT ACCEPTABLE AS HAZARDOUS BACILLI MATERIAL.
- THE DEVELOPER SHALL FACILITATE AND SUPPLY ALL NECESSARY SAFETY EQUIPMENT REQUIRED UNDER THE MCH REGULATIONS FOR THE CITY OR ITS REPRESENTATIVE OR THE ENGINEER OF RECORD TO PROTECT THE SANITARY SEWER AND STORM SEWER SYSTEMS. THE EQUIPMENT SHALL BE SUPPLIED UNTIL SUCH TIME AS A CERTIFICATE OF COMPLETION IS ISSUED BY THE CITY.
- DEVELOPER IS TO NOTIFY THE LOCATION AND ELEVATION OF ALL PIPES OR OTHER UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS A MINIMUM OF 48 HRS PRIOR TO CONSTRUCTION.
- THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER TO DESIGN A BERMEND AND EROSION CONTROL SYSTEM IN THE DEVELOPER'S AREA IN ORDER TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM AND WATERCOURSES.
- THE "BCE CUTTING AND PRESERVATION BYLAW NO. 11085" REQUIRES THAT A CUTTING PERMIT BE OBTAINED BEFORE ANY TREE IS REMOVED ON THE SITE. OTHER PROVISIONS OF THE BYLAW MAY ALSO BE APPLICABLE.

LEGEND

- EXISTING CONTOURS
- EXISTING WATER
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING GAS
- EXISTING HYDRO/TEL/CABLE
- EXISTING STREETLIGHTS
- EXISTING CE / EXISTING LB
- EXISTING FIRE HYDRANT
- PROPOSED WATER
- PROPOSED STORM SEWER
- PROPOSED SAN SEWER FORCEMAIN
- PROPOSED SW, CE
- PROPOSED GUMMER CURB
- PROPOSED DRAINAGE
- PROPOSED STREETLIGHT
- PROPOSED HYDRANT
- FUTURE CURB
- FUTURE WATER
- FUTURE STORM SEWER
- FUTURE SANITARY SEWER
- FUTURE STREETLIGHT

NOTES

- SEE ENG 2 FOR PRELIMINARY GRADING
- CALL BEFORE YOU DIG INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.

No. 8 6	DATE 2014/11/24 2017/04/07	REASON LAND DEVELOPMENT APPLICATION REVISED TO C.O.S. COMMENTS	ENG. C.K. C.K.	LEGAL DESCRIPTION LOT 1, SECTION 17, BLOCK 3, H RANGE 24, NEW WESTMINSTER DISTRICT, PLAN DP93937	GRAPHIC SCALE SCALE: 1:500	ENGINEER THE LOCATION 1082	DESIGN BY: B.C.	CLIENT/DEVELOPER WESTSTONE GROUP #100 - 10090 152nd STREET SURREY, BC V3R 5A9 TEL: 604-998-1950	PROJECT TRANSIT VILLAGE 12681 110th AVENUE SURREY, B.C.	DRAWING NAME	REVISION No. 1	CITY OF SURREY	
							TRACED					PROJECT	TRC. SERVICING KEYPLAN
BENCHMARK DATA: ELEVATIONS ARE GICD/C (1928 CVD-2005) DERIVED FROM CITY OF SURREY CONTROL MONUMENT BENCHMARK LOCATED AT THE INTERSECTION OF 120th STREET AND 110th AVENUE. ELEVATION = 5.438m				CHECK BEFORE YOU DIG INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR UTILITIES, SERVICE LOCATIONS AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE.				DATE: APR. 7, 2017		DRAWING No.		SHEET 1 OF 2	



320-8088 FREDERIKSON COURT
SURREY, BC V3V 3H8
Tel: (604)279-0800 Fax: (604)279-0629

Transit Village Mixed Use

Issued for Development Permit

Contact Information

van der Zalm + associates Inc.
 2501 1st Avenue S.W. #1000
 Suite 1, 20177 87th Avenue
 Langley, British Columbia, V1M 4B8
 t: 604 882 0024 f: 604 882 0042
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 andrew@vzinc.ca
 v: 604 882 0024 x23
 Alternate contacts (press only)
 Mark van der Zalm
 Principal, Landmark Architects
 mark@vzinc.ca
 v: 604 882 0024 x22

Other Key Contacts:

West Stone Group
 Project Contact
 300-10000 152 Street
 Surrey, BC V2R 6J8
 p: 604 456 1958

Kystrone Architecture & Planning Ltd.
 Project Contact
 110-2861 Garden Street
 Abbotsford, BC V2T 4T1
 p: 604 850 0577

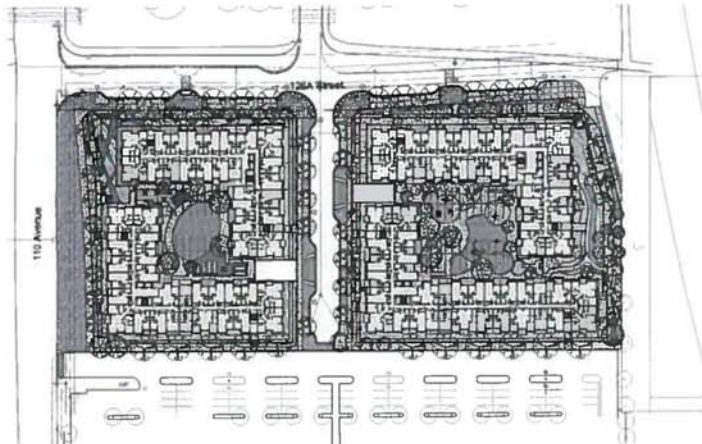
Legal Address and Description:

Lot 1 Section 17 Range 2W Plan CPP38522 JAWD

Sheet List Table

L-01	COVER PAGE
L-02	TREE MANAGEMENT PLAN
L-03	OVERALL SITE PLAN
L-04	SITE PLAN - SOUTH WEST
L-05	SITE PLAN - SOUTH EAST
L-06	SITE PLAN - CENTRAL WEST
L-07	SITE PLAN - CENTRAL EAST
L-08	SITE PLAN - NORTH WEST
L-09	SITE PLAN - NORTH EAST
L-10	SITE PLAN - 111 STREET
L-11	BUILDING A & B COURTYARD
L-12	BUILDING C & D COURTYARD
L-13	LEVEL 3 TERRACES
L-14	SECTIONS

LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS



1 SITE PLAN OVERVIEW
 Scale: 1:750



2 LOCATION MAP
 N.T.S.



No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	July 11, 2017
3	AD	Issued for ADP	Jan 30, 2018
4	AD	Issued for Development Permit	Nov 28, 2018
5	AD	Issued for Review	Oct 26, 2018

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date

Project:
TRANSIT VILLAGE MIXED USE

Location:
 12561 - 110 Avenue
 Surrey, BC

Drawn:
 AC

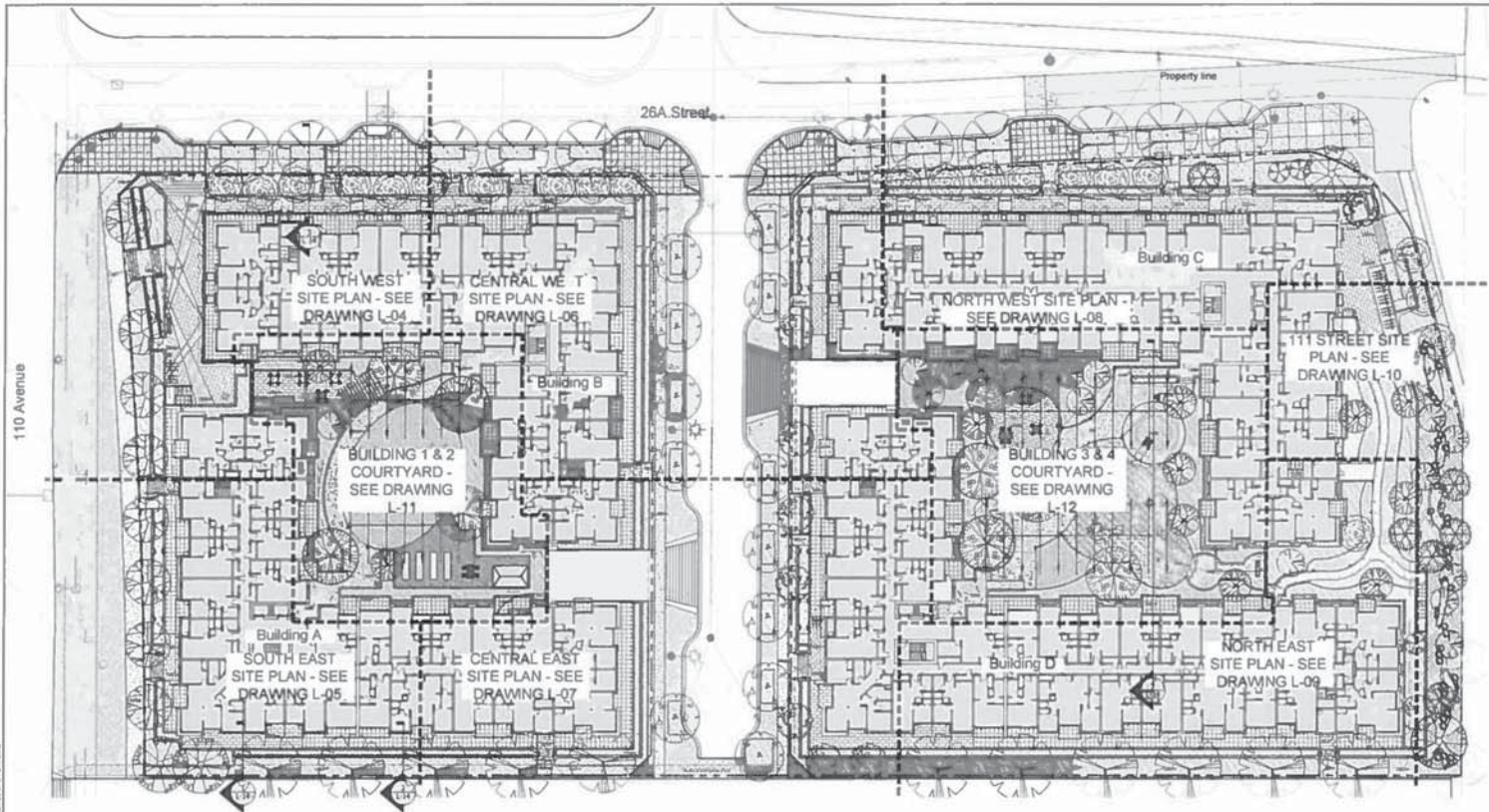
Checked:
 BH

Approved:
 MKVZ

Original Sheet Size:
 34"x54"

Scale:
 AS SHOWN

Drawing Title: **COVER PAGE**
 VIZZ Project #: **DP2016-43**
 Drawing #: **L-01**



TREE LEGEND

Acer palmatum 'Bloodgood'	Acer platanoides 'Crimson King'	Cercis canadensis	Ginkgo biloba	Magnolia x 'Daybreak'	Melanocorypha glauca 'Gold Rush'	Pinus serotina 'Vanderwolf's Pyramid'
Pinus nigra	Prunus x yedoensis 'Akebono'	Quercus robur	Syringa japonica 'Snowwave'	Taxus heterophylla	Existing Tree	

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend 13	13	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	B&B, 6cm Cal., 1.2m old	Per Plan
See Legend 8	8	Acer platanoides 'Crimson King'	Nonpareil Scarlet Shantung Maple	B&B, 6cm Cal., 1.8m old	Per Plan
See Legend 12	2	Cercis canadensis	Eastern Redbud	B&B, 6cm Cal., 1.2m old	Per Plan
See Legend 11	11	Ginkgo biloba	Japanese Tree	B&B, 6cm Cal., 1.8m old	Per Plan
See Legend 13	13	Magnolia x 'Daybreak'	Daybreak Magnolia	B&B, 6cm Cal., 1.2m old	Per Plan
See Legend 3	3	Melanocorypha glauca 'Gold Rush'	Gold Rush Dawn Redwood	B&B, 3.0m Ht., Single Leader	Per Plan
See Legend 15	15	Pinus serotina 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	B&B, 3.0m Ht., Single Leader	Per Plan
See Legend 6	6	Pinus nigra	Austrian Black Pine	B&B, 3.0m Ht., Single Leader	Per Plan
See Legend 9	9	Prunus x yedoensis 'Akebono'	Yoshino Cherry	B&B, 6cm Cal., 1.2m old	Per Plan
See Legend 11	11	Quercus robur	English oak	B&B, 6cm Cal., 1.8m old	Per Plan
See Legend 10	10	Syringa japonica 'Snowwave'	Snowwave Japanese Snowball	B&B, 6cm Cal., 1.2m old	Per Plan
See Legend 4	4	Taxus heterophylla	Western Hemlock	B&B, 3.0m Ht., Single Leader	Per Plan

Tree quantities are for the entire site including ground level and roof top amenity areas.

van der Zahn + associates inc.
 1101 St. Lawrence Street
 Suite 1000
 Toronto, ON M5A 1A6
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 Fax: 416-593-8889
 www.vdzahn.com



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	May 17, 2017
3	AD	Issued for ADP	June 20, 2017
4	AD	Issued for Development Permit	Nov. 28, 2018
5	AD	Issued for Review	Oct. 28, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12661 - 110 Avenue
 Surrey, BC

Drawn: [Signature]
 AD

Checked: [Signature]
 DT

Approved: [Signature]
 MKCZ

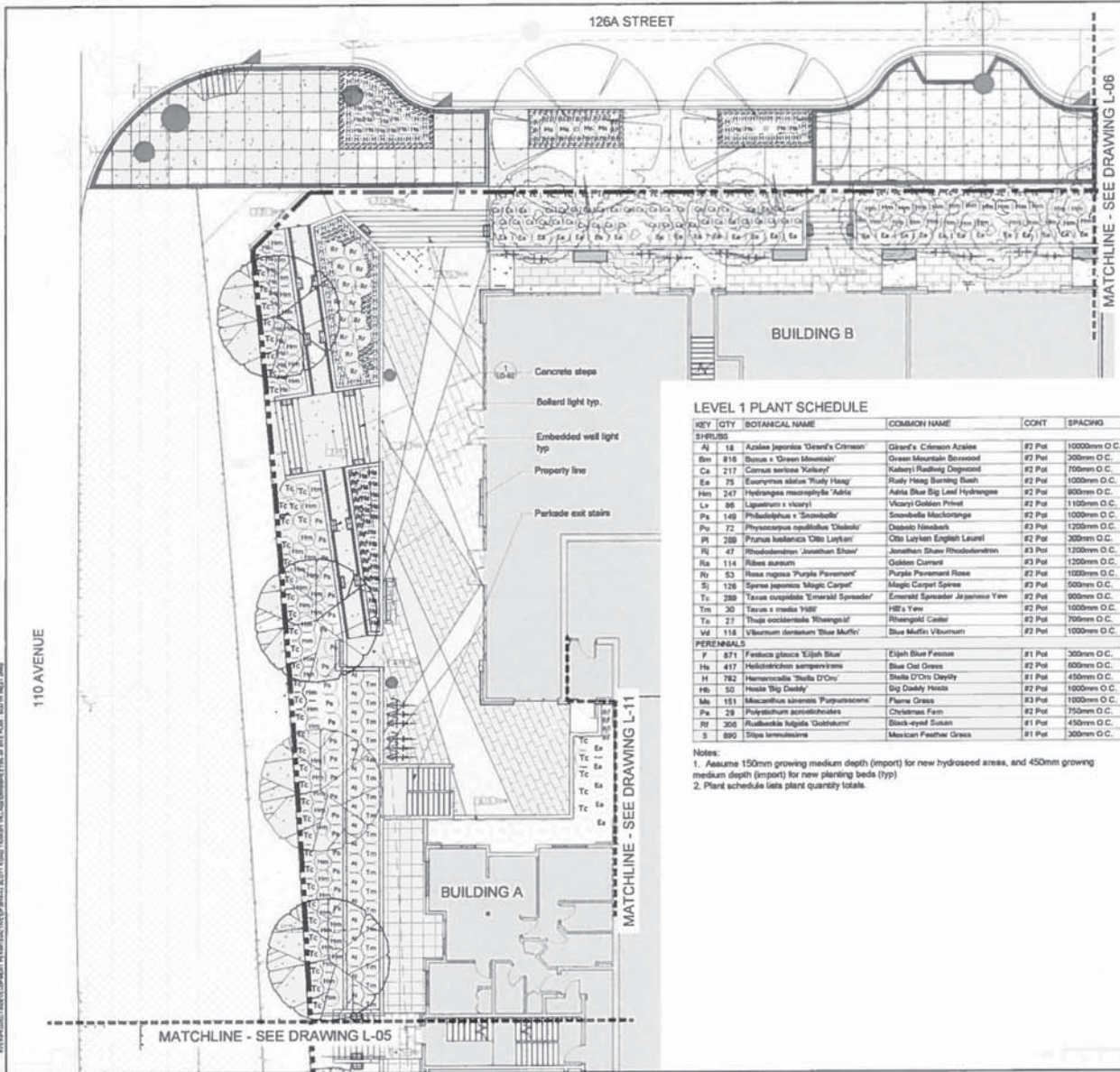
Scale: Original Sheet Size 14"x36"

Note: 1. CONSULT THE LOCAL MUNICIPALITY AND ALL APPLICABLE REGULATIONS AND BY-LAWS FOR THE MOST CURRENT REGULATIONS AND REQUIREMENTS. 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY AND ALL APPLICABLE REGULATIONS AND BY-LAWS. 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY AND ALL APPLICABLE REGULATIONS AND BY-LAWS. 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY AND ALL APPLICABLE REGULATIONS AND BY-LAWS.

Drawing Title: **OVERALL SITE PLAN**

PROJECT NO: **DP2016-43**

Drawing #: **L-03**



LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Symbol]	1,2 LD-01	CONCRETE SLAB
[Symbol]	1,2 LD-01	INTEGRAL COLOURED CONCRETE BANDS
[Symbol]	1,2 LD-01	CONCRETE PAVING
[Symbol]	3 LD-01	HYDRAPRESSED SLABS
[Symbol]	5 LD-01	CRUSHED GRANITE
[Symbol]	5 LD-01	WOOD FIBRE SAFETY SURFACE
[Symbol]	6 LD-01	RUBBER SAFETY SURFACE
[Symbol]	4 LD-01	DRIP STRIP
[Symbol]	2 LD-02	GUARD RAIL
[Symbol]		HARDPAV
[Symbol]	1 LD-05	METAL FENCE
[Symbol]		ROCK
[Symbol]		SHRUB PLANTING
[Symbol]	4 LD-03	BIKE RACK
[Symbol]	5 LD-03	BENCH
[Symbol]	6 LD-03	WASTE RECEPTACLE
[Symbol]	7 LD-03	BOARDS
[Symbol]	7 LD-03	MOVABLE PLANTER
[Symbol]	1,2 LD-04	LIGHTING

LEVEL 1 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	COHT	SPACING
SHRUBS					
AJ	18	<i>Aspidistra japonica 'Queen's Crown'</i>	Queen's Crown Aspidistra	#2 Plat	1000mm O.C.
Bm	818	<i>Buxus x Green Mountain</i>	Green Mountain Boxwood	#2 Plat	300mm O.C.
Ca	217	<i>Camus sericeus 'Kelsey'</i>	Kelsey Redwing Dogwood	#2 Plat	700mm O.C.
Es	75	<i>Euryonymus alatus 'Rudy Haag'</i>	Rudy Haag Burning Bush	#2 Plat	1000mm O.C.
Hm	247	<i>Hydrangea macrophylla 'Able'</i>	Able Blue Big Leaf Hydrangea	#2 Plat	800mm O.C.
Lv	86	<i>Ligularia x 'Venus'</i>	Venus' Golden Pines	#2 Plat	1100mm O.C.
Pa	149	<i>Philadelphus x 'Snowball'</i>	Snowball Mockorange	#2 Plat	1000mm O.C.
Po	72	<i>Physocarpus opulifolius 'Diabolo'</i>	Diabolo Ninebark	#3 Plat	1200mm O.C.
Pl	288	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	#2 Plat	200mm O.C.
Rj	47	<i>Rhododendron 'Jonathan Shaw'</i>	Jonathan Shaw Rhododendron	#3 Plat	1200mm O.C.
Rb	114	<i>Ribes aurum</i>	Golden Currant	#3 Plat	1200mm O.C.
Rp	53	<i>Rosa rugosa 'Purple Pavement'</i>	Purple Pavement Rose	#2 Plat	1000mm O.C.
Sj	128	<i>Spiraea japonica 'Magik Carpet'</i>	Magik Carpet Spirea	#3 Plat	600mm O.C.
Tj	288	<i>Taxus cuspidata 'Emerald Spreader'</i>	Emerald Spreader Japanese Yew	#2 Plat	900mm O.C.
Tr	30	<i>Taxus s. media 'Yule'</i>	Yule's Yew	#2 Plat	1000mm O.C.
Vb	23	<i>Viburnum bodinieri 'Winegold'</i>	Winegold Callicotyle	#2 Plat	700mm O.C.
Vv	118	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Viburnum	#2 Plat	1000mm O.C.
PERENNIALS					
F	871	<i>Festuca glauca 'Elijah Blue'</i>	Elijah Blue Fescue	#1 Plat	300mm O.C.
Hs	417	<i>Helianthus scaberrimus</i>	Blue Oct Grass	#2 Plat	600mm O.C.
Hd	782	<i>Hemerocallis 'Stella D'Oro'</i>	Stella D'Oro Daylily	#1 Plat	450mm O.C.
Hb	50	<i>Hebe 'Big Daddy'</i>	Big Daddy Hebe	#2 Plat	1000mm O.C.
Mt	151	<i>Miscanthus sinensis 'Purpureus'</i>	Purple Crane	#3 Plat	1000mm O.C.
Pa	29	<i>Polystichum acrostichoides</i>	Christmas Fern	#2 Plat	750mm O.C.
Rf	306	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-eyed Susan	#1 Plat	450mm O.C.
S	890	<i>Silene aemula</i>	Mexican Feather Grass	#1 Plat	300mm O.C.

Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseed areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.

van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 1100 West Broadway, Suite 200, Vancouver, BC V6H 4G6
 Tel: 604-681-1111 Fax: 604-681-1112
 www.vdz.com



No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	May 11, 2017
3	AD	Issued for ADP	Jan 25, 2017
4	AD	Issued for Development Permit	Nov 28, 2016
5	AD	Issued for Review	Oct 28, 2016

REVISIONS TABLE FOR DRAWINGS

Project: TRANSIT VILLAGE MIXED USE

Location: 12661 - 110 Avenue, Surrey, BC

Drawn: AD, Stamp: [Signature]

Checked: BH

Approved: MVZ, Original Sheet Size: 34"x44"

Scale: 1:100

Drawing Title: SITE PLAN - SOUTH WEST
 H.L.L. ARCH
 VZJ Project #: DP2016-43
 Drawing #: L-04

LANDSCAPE LEGEND

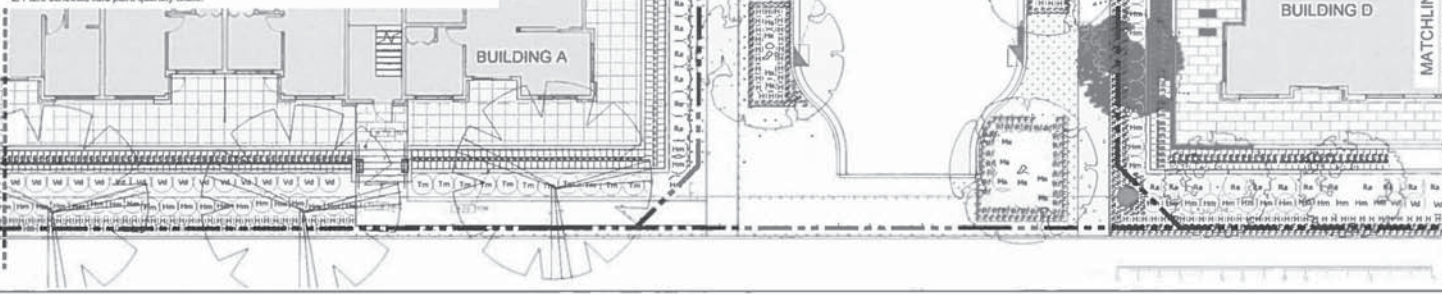
KEY	REF.	DESCRIPTION	HANDRAIL
	1	METAL FENCE	
	1,2 LD-01	CONCRETE SLAB	
	1,2 LD-01	INTERNAL COLOURED CONCRETE SAND Colour: <i>White</i>	
	1,2 LD-01	CONCRETE PAVING SAND/SLAT FINISH	
	3 LD-01	HYDRAECCRETE SLABS Pattern: <i>Manhattan</i>	
	5 LD-01	CAUSED GRANITE Pattern: <i>Manhattan</i>	
	5 LD-01	WOOD FIBRE SAFETY SURFACE	
	6 LD-01	RUBBER SAFETY SURFACE	
	4 LD-01	DRIP STRIP	
	2 LD-02	GUARD RAIL	
	1 LD-03	WOOD PLANTING	
	4 LD-03	BREXKICK	
	5 LD-03	BENCH	
	6 LD-03	WASTE RECEPTACLE	
	7 LD-01	BOULDER	
	7 LD-03	MOVIABLE PLANTER	
	1,2 LD-04	LIGHTING	

LEVEL 1 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
SHRUBS					
Aj	16	<i>Azalea japonica 'Glen's Crimson'</i>	Glen's Crimson Azalea	#2 Pot	1000mm O.C.
Bm	816	<i>Buxus s 'Green Mountain'</i>	Green Mountain Boxwood	#2 Pot	300mm O.C.
Ca	217	<i>Camelia sasanqua 'Kelsey'</i>	Kelsey Redwing Dogwood	#2 Pot	700mm O.C.
Ea	75	<i>Eucalyptus albens 'Rusty Hoop'</i>	Rusty Hoop Burning Bush	#2 Pot	1000mm O.C.
Hm	247	<i>Hydrangea macrophylla 'Aubri'</i>	Aubri Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
Lv	86	<i>Ligustrum s vicaryi</i>	Vicary's Golden Privet	#2 Pot	1100mm O.C.
Pa	148	<i>Philadelphus s 'Sourwood'</i>	Sourwood Mockorange	#2 Pot	1000mm O.C.
Pa	72	<i>Physocarpus opulifolius 'Diaboli'</i>	Diaboli Ninebark	#2 Pot	1200mm O.C.
Pl	280	<i>Prunus laurocerasus 'Oto Layan'</i>	Oto Layan English Laurel	#2 Pot	300mm O.C.
Rl	47	<i>Rhododendron 'Jonathan Shaw'</i>	Jonathan Shaw Rhododendron	#2 Pot	1200mm O.C.
Ra	114	<i>Ribes aurum</i>	Golden Currant	#2 Pot	1200mm O.C.
Rb	53	<i>Rosa rugosa 'Purple Panorama'</i>	Purple Panorama Rose	#2 Pot	1000mm O.C.
Sj	128	<i>Spiraea japonica 'Vagabond'</i>	Vagabond Spirea	#2 Pot	500mm O.C.
Tc	280	<i>Taxus cuspidata 'Emerald Spreader'</i>	Emerald Spreader Japanese Yew	#2 Pot	600mm O.C.
Tm	30	<i>Taxus s media 'Holl'</i>	Holl's Yew	#2 Pot	1000mm O.C.
Ta	27	<i>Thuja occidentalis 'Plumgold'</i>	Plumgold Cedar	#2 Pot	700mm O.C.
Vd	116	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Viburnum	#2 Pot	1000mm O.C.
PERENNIALS					
F	871	<i>Festuca glauca 'Elijah Blue'</i>	Elijah Blue Fescue	#1 Pot	300mm O.C.
Hs	417	<i>Helianthus scaberrimus</i>	Blue Owl Grass	#2 Pot	600mm O.C.
H	782	<i>Hemerocallis 'Stella D'Oro'</i>	Stella D'Oro Daylily	#1 Pot	450mm O.C.
Hb	50	<i>Hebe s Big Dandy'</i>	Big Dandy Hebe	#2 Pot	300mm O.C.
Ma	151	<i>Malvastrum coccineum 'Purgatorium'</i>	Flame Grass	#2 Pot	1000mm O.C.
Pa	29	<i>Polystichum acrostichoides</i>	Christmas Fern	#2 Pot	750mm O.C.
Rl	306	<i>Rubus coccineus 'Cockburn'</i>	Black-eyed Susan	#1 Pot	450mm O.C.
S	890	<i>Sida tinctoria</i>	Mexican Feather Grass	#1 Pot	300mm O.C.

- Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseed areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.

MATCHLINE - SEE DRAWING L-05



van der Zahn + associates inc.
 Planning & Development • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1 2017-10th Avenue • 4th Floor West
 Victoria, British Columbia • V8W 2R2
 Tel: 250-383-1111 • Fax: 250-383-1112



REVISIONS TABLE FOR DRAWINGS

No.	Description	Date
1	Issued for Development Permit	April 1, 2017
2	Issued for Review	May 31, 2017
3	Issued for ASP	June 30, 2017
4	Issued for Development Permit	Nov. 30, 2018
5	Issued for Review	Oct. 30, 2018

REVISIONS TABLE FOR SHEET

No.	Description	Date
1	Issue	

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12561 - 110 Avenue
 Surrey, BC

Drawn AD	Stamp
Checked BH	
Approved MVC	Original Sheet Size 34"x42"

Scale:
 1:100

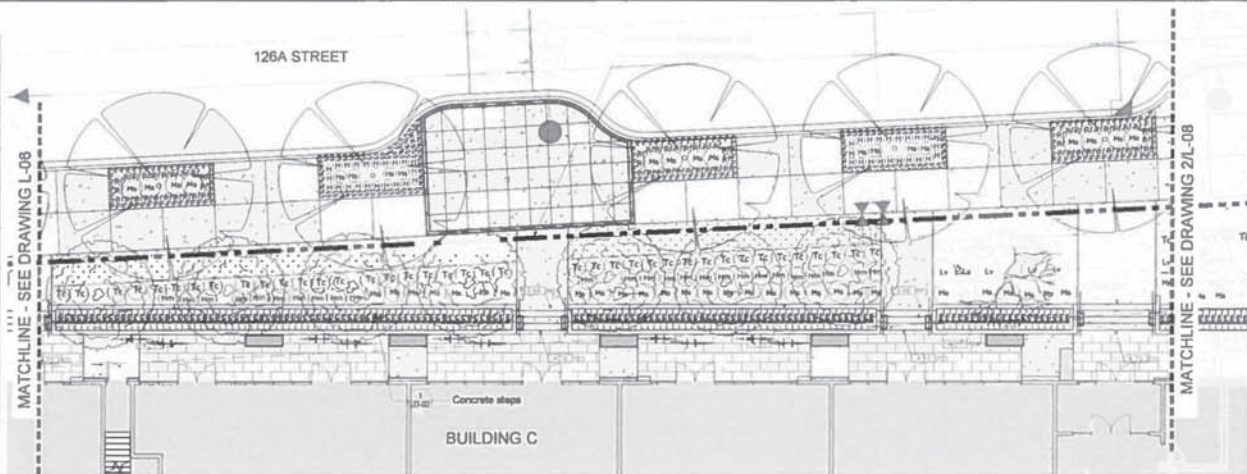
Notes:
 1. This drawing shall be used in accordance with the conditions of the contract and the provisions of the applicable laws and regulations.
 2. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities.
 3. The client is responsible for providing all necessary information and data for the design and construction of the project.

Drawing Title: **SITE PLAN - CENTRAL EAST**
 VCE Project #: **DP2016-43**

Drawing #: **L-07**

LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
	1,2 LD-01	CONCRETE SLAB
	1,2 LD-01	INTEGRAL COLOURED CONCRETE BANDS
	1,2 LD-01	CONCRETE PAVING SANDBLAST FINISH
	3 LD-01	HYDRATED SLAB
	5 LD-01	CRUSHED GRANITE
	5 LD-01	WOOD FIBER SAFETY SURFACE
	6 LD-01	RUBBER SAFETY SURFACE
	4 LD-01	GRP STRIP
	2 LD-02	GUARD RAIL
	2 LD-02	WINGRAIL
	1 LD-05	METAL FENCE
		SOIL
		SHRUB PLANTING
	4 LD-03	BIKE RACK
	5 LD-03	BENCH
	6 LD-03	WASTE RECEPTACLE
	7 LD-03	BOLDBLCK
	7 LD-03	MOVABLE PLANTER
	1,2 LD-04	LIGHTING



1 126A STREET SITE PLAN
Scale 1:100

LEVEL 1 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
SHRUBS					
Aj	18	Azalea japonica 'Green's Citron'	Green's Citron Azalea	#2 Plat	1000mm O.C.
Bm	818	Bacopa 'Green Mountain'	Green Mountain Bacopa	#2 Plat	300mm O.C.
Ca	217	Cornus sericea 'Kelsey'	Kelsey Redwing Dogwood	#2 Plat	700mm O.C.
Ea	75	Eucryphia alata 'Waddy King'	Waddy King Burning Bush	#2 Plat	1000mm O.C.
Hm	247	Hydrangea macrophylla 'Katie'	Katie Blue Big Leaf Hydrangea	#2 Plat	900mm O.C.
Lv	88	Ligustrum 'victory'	Victory Golden Privet	#2 Plat	1100mm O.C.
Pa	140	Philadelphus 'Snowflake'	Snowflake Mockorange	#2 Plat	1000mm O.C.
Pa	72	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	#3 Plat	1200mm O.C.
Pl	268	Prunus laetifolia 'Otto Luyken'	Otto Luyken English Laurel	#2 Plat	300mm O.C.
Rj	47	Rhododendron 'Jonathan Shaw'	Jonathan Shaw Rhododendron	#3 Plat	1200mm O.C.
Ra	114	Ribes aurum	Golden Currant	#3 Plat	1200mm O.C.
Rr	53	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Plat	1000mm O.C.
Sj	128	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#3 Plat	500mm O.C.
Tc	280	Taxus saginata 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Plat	900mm O.C.
Tm	30	Taxus media 'NFB'	NFB Yew	#2 Plat	1800mm O.C.
Tp	27	Thuja occidentalis 'Whisper'	Whisper Cedar	#2 Plat	700mm O.C.
Vd	118	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	#2 Plat	1000mm O.C.
PERENNIALS					
F	871	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Plat	300mm O.C.
Hg	417	Hakonechloa purpurea	Blue Owl Grass	#2 Plat	600mm O.C.
H	782	Hemerocallis 'Stella O'Day'	Stella O'Day Daylily	#1 Plat	450mm O.C.
Hb	50	Helle 'Big Daddy'	Big Daddy Hosta	#2 Plat	1000mm O.C.
Ma	151	Miscanthus sinensis 'Purpureascens'	Flame Grass	#3 Plat	1000mm O.C.
Pa	29	Polystichum acrostichoides	Christmas Fern	#2 Plat	750mm O.C.
R	208	Rubus idaeus 'Goldkust'	Black-eyed Susan	#1 Plat	450mm O.C.
S	890	Stipa tenuissima	Mexican Feather Grass	#1 Plat	300mm O.C.

Notes:
1. Assume 150mm growing medium depth (import) for new hydroseeded areas, and 400mm growing medium depth (import) for new planting beds (typ)
2. Plant schedule sets plant quantity totals.



2 126A STREET - 111 AVENUE SITE PLAN
Scale 1:100



REVISIONS TABLE FOR DRAWINGS

No	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	May 23, 2017
3	AD	Issued for ADP	June 22, 2017
4	AD	Issued for Development Permit	July 28, 2018
5	AD	Issued for Review	July 28, 2018

Project:
TRANSIT VILLAGE MIXED USE

Location:
12561 - 110 Avenue
Surrey, BC

Drawn: Stamp
AD

Checked: BH

Approved: Original Sheet Size 34"x36"

Scale: 1:100

Drawing Title: **SITE PLAN - NORTH WEST**
 Drawing #: **DP2016-43**
 VICE Project #: **L-08**

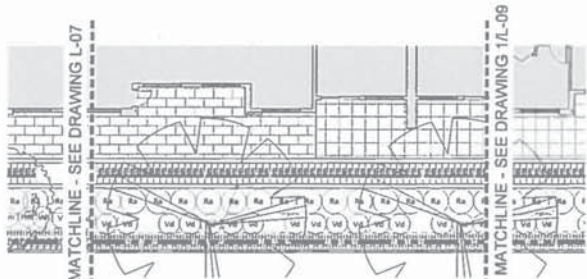
LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	1.2 LD-01	CONCRETE SLAB
[Pattern]	1.2 LD-01	HYDRATED CEMENTED CONCRETE BANDS
[Pattern]	1.2 LD-01	CONCRETE PAVING SANDBLAST FINISH
[Pattern]	3 LD-01	HYDRA-PRESSED SLABS
[Pattern]	5 LD-01	CRUSHED GRANITE
[Pattern]	5 LD-01	WOOD FIBER SAFETY SURFACE
[Pattern]	5 LD-01	RUBBER SAFETY SURFACE
[Pattern]	4 LD-01	DRIP EXTR
[Pattern]	2 LD-02	GUARD RAIL
[Pattern]	1 LD-05	HANDRAIL
[Pattern]	1 LD-05	METAL FENCE
[Pattern]	1 LD-05	ROD
[Pattern]	4 LD-03	BIKE RACK
[Pattern]	5 LD-03	BENCH
[Pattern]	6 LD-03	WASTE RECEPTACLE
[Pattern]	7 LD-01	BOULDERS
[Pattern]	7 LD-03	MOVABLE PLANTER
[Pattern]	1.2 LD-04	LIGHTING

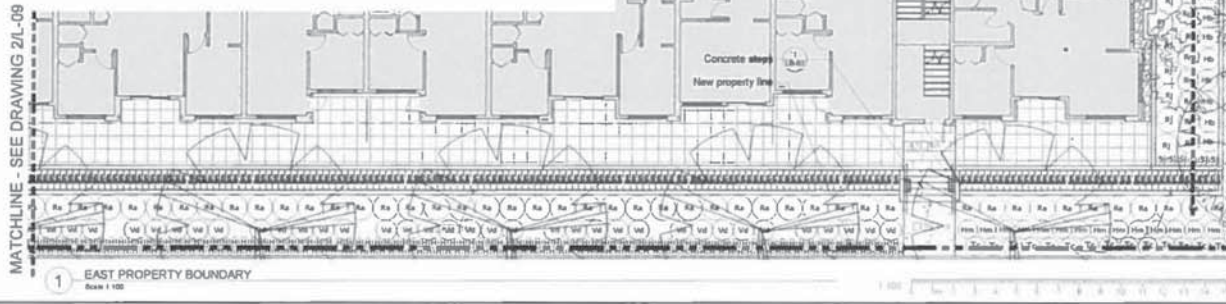
LEVEL 1 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
AJ	18	Azalea japonica 'Green's Crosses'	Green's Crosses Azalea	#2 Pot	1000mm O.C.
Bm	816	Bacopa s 'Green Mountain'	Green Mountain Bacopa	#2 Pot	300mm O.C.
Cs	217	Cornus sericea 'Yellow'	Yellow Redwing Dogwood	#2 Pot	700mm O.C.
Es	15	Euonymus alatus 'Widy Hang'	Widy Hang Burning Bush	#2 Pot	1500mm O.C.
Hm	247	Hydrangea macrophylla 'Able'	Able Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
Lv	86	Ligularia s vicarya'	Vicarya Golden Priest	#2 Pot	1100mm O.C.
Ps	149	Philadelphus s 'Snowball'	Snowball Mockorange	#2 Pot	1000mm O.C.
Pl	72	Physocarpus opulifolius 'Diabolo'	Diabolo Russian	#2 Pot	1200mm O.C.
Pl	268	Prunus laurocerasus 'Obo Luyken'	Obo Luyken English Laurel	#2 Pot	360mm O.C.
Rj	47	Rhododendron 'Jonathan Snow'	Jonathan Snow Rhododendron	#3 Pot	1200mm O.C.
Ra	114	Ribes aurum	Golden Currant	#3 Pot	1200mm O.C.
Ru	53	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm O.C.
Sj	126	Syringa japonica 'Mighty Carpet'	Mighty Carpet Syring	#2 Pot	1000mm O.C.
Tc	789	Taxus cuspidata 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Pot	900mm O.C.
Trn	30	Taxus s media 'N&P'	N&P's Yew	#2 Pot	1000mm O.C.
Ta	27	Thuja occidentalis 'Whaling'	Whaling Cedar	#2 Pot	700mm O.C.
Va	118	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	#2 Pot	1000mm O.C.
PERENNIALS					
F	871	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	300mm O.C.
Hn	417	Helictotrichon sempervirens	Blue Owl Grass	#2 Pot	600mm O.C.
H	782	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm O.C.
Hb	50	Helleborus 'Big Dolly'	Big Dolly Helleborus	#2 Pot	1000mm O.C.
Lm	151	Limonium sinuatum 'Pragmatisant'	Primo Grass	#2 Pot	1000mm O.C.
Pa	38	Polystichum amabile	Chickens Feet	#2 Pot	750mm O.C.
Rt	309	Rubiacina vulgaris 'Goldkorn'	Black-eyed Susan	#1 Pot	450mm O.C.
S	890	Sida tenuifolia	Mexican Feather Grass	#1 Pot	300mm O.C.

Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseeded areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.



2 EAST PROPERTY BOUNDARY
Scale 1:100



1 EAST PROPERTY BOUNDARY
Scale 1:100

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 2017-2018
 1251-1253
 1251-1253



REVISIONS TABLE FOR DRAWINGS

No	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	May 21, 2017
3	AD	Issued for ADP	Jun 29, 2017
4	AD	Issued for Development Permit	Nov 20, 2018
5	AD	Issued for Review	Oct 28, 2018
6	AD	Issued for Review	Oct 28, 2018

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12661 - 110 Avenue
 Surrey, BC

Drawn: [Signature]
 AD

Checked: [Signature]
 SH

Approved: [Signature]
 MVZ

Scale:
 1:100

Drawing Title: **SITE PLAN - NORTH EAST**

Project # **DP2016-43**

Drawing # **L-09**

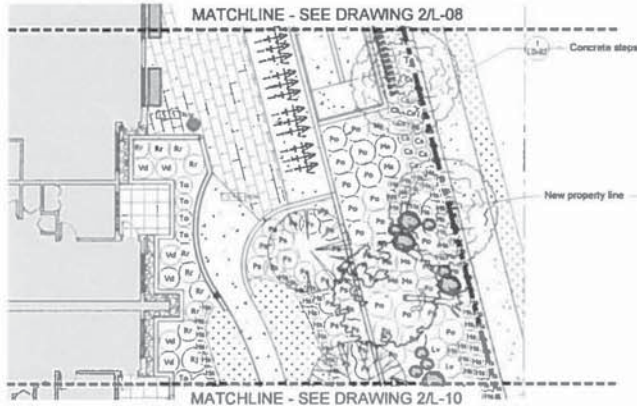
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	1,2 LD-01	CONCRETE SLAB
	1,2 LD-01	HYDROSEAL COLOURED CONCRETE SANDS
	1,2 LD-01	CONCRETE PAVING SANDBLAST FINISH
	3 LD-01	HYDROSEEDED LAWN
		CRUSHED GRANITE
	5 LD-01	WOOD FENCE SAFETY SURFACE
	6 LD-01	RUBBER SAFETY SURFACE
	4 LD-01	DRIP STRIP
	2 LD-02	GUARD RAIL
		HARDSCAPE
	1 LD-05	METAL FENCE
		BOG
		SHRUB PLANTING
	4 LD-03	BIKE RACK
	5 LD-03	BENCH
	6 LD-03	WASTE RECEPTACLE
	7 LD-01	BOULDERS
	7 LD-03	MOVEABLE PLANTER
	1,2 LD-04	LIGHTING

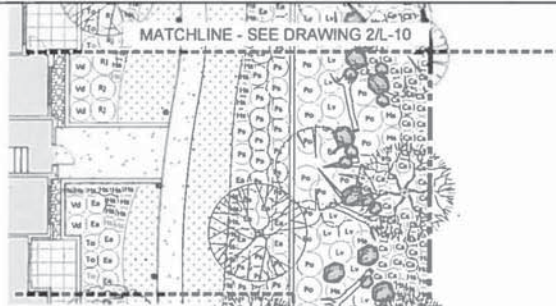
LEVEL 1 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	COHT	SPACING
SHRUBS					
A	18	<i>Ardisia japonica</i> 'Orian's Crown'	Orian's Crown Ardisia	#2 Pot	1000mm O.C.
Bm	818	<i>Buxus</i> s 'Green Mountain'	Green Mountain Boxwood	#2 Pot	300mm O.C.
Ca	217	<i>Cornus sericea</i> 'Kaleyd'	Kaleyd Redtwig Dogwood	#2 Pot	700mm O.C.
Er	75	<i>Eurythymus alatus</i> 'Rusty Hoag'	Rusty Hoag Burning Bush	#2 Pot	1000mm O.C.
Hm	247	<i>Hydrangea macrophylla</i> 'Able'	Able Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
Lv	56	<i>Ligustrum</i> s 'Vivary'	Vivary Golden Privet	#2 Pot	1100mm O.C.
Pa	149	<i>Philadelphus</i> s 'Sensational'	Sensational Mockorange	#2 Pot	1000mm O.C.
Po	72	<i>Physocarpus opulifolius</i> 'Diabolo'	Diabolo Ninebark	#3 Pot	1700mm O.C.
Pl	269	<i>Prunus besseyana</i> 'Olio Luyken'	Olio Luyken English Laurel	#2 Pot	300mm O.C.
Rl	47	<i>Rhododendron</i> 'Jonathan Shaw'	Jonathan Shaw Rhododendron	#3 Pot	1200mm O.C.
Ra	114	<i>Ribes aurum</i>	Golden Currant	#3 Pot	1000mm O.C.
Rz	53	<i>Rosa rugosa</i> 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm O.C.
Si	126	<i>Spirea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	#3 Pot	500mm O.C.
Ts	289	<i>Taxus canadensis</i> 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Pot	900mm O.C.
Tm	30	<i>Taxus s media</i> 'Yaki'	Yaki's Yew	#2 Pot	1000mm O.C.
Ts	27	<i>Thuja occidentalis</i> 'Bluewinged'	Bluewinged Cedar	#2 Pot	700mm O.C.
Vl	118	<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Viburnum	#2 Pot	1000mm O.C.
PERENNIALS					
F	871	<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	300mm O.C.
Hs	417	<i>Hedychium coronarium</i>	Blue Citrus Grass	#2 Pot	600mm O.C.
H	762	<i>Hemerocallis</i> 'Stella O'Dea'	Stella O'Dea Daylily	#1 Pot	450mm O.C.
Hb	50	<i>Hosta</i> 'Big Daddy'	Big Daddy Hosta	#2 Pot	1000mm O.C.
Ma	151	<i>Miscanthus sinensis</i> 'Purpureascens'	Flame Grass	#3 Pot	1000mm O.C.
Pa	29	<i>Polystichum acrostichoides</i>	Christmas Fern	#2 Pot	750mm O.C.
Rf	305	<i>Rubus spectabilis</i> 'Goldflame'	Black-eyed Susan	#1 Pot	450mm O.C.
S	590	<i>Stipa tenuifolia</i>	Manzan Feather Grass	#1 Pot	300mm O.C.

- Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseed areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.



2 BUILDING 3 AMENITY AREA
Scale 1:100



Parkade steps, refer to Architects drawings

1 111 STREET GROUND LEVEL
Scale 1:100



van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 2000 - 1000 10th Avenue • 1st Floor West Tower
 Surrey, British Columbia • V3R 2Y4



No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	May 31, 2017
3	AD	Issued for ADP	June 20, 2017
4	AD	Issued for Development Permit	Nov. 28, 2016
5	AD	Issued for Review	Oct. 28, 2016

REVISIONS TABLE FOR DRAWINGS
 If Equivocal: The drawing and design are the property of van der Zalm + Associates Inc. and shall not be reproduced or used for other projects without permission.

REVISIONS TABLE FOR SHEET

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12651 - 110 Avenue
 Surrey, BC

Drawn: AD
 Checked: SH
 Approved: MVDZ
 Stamp: [Signature]

Original Sheet Size: 24"x36"

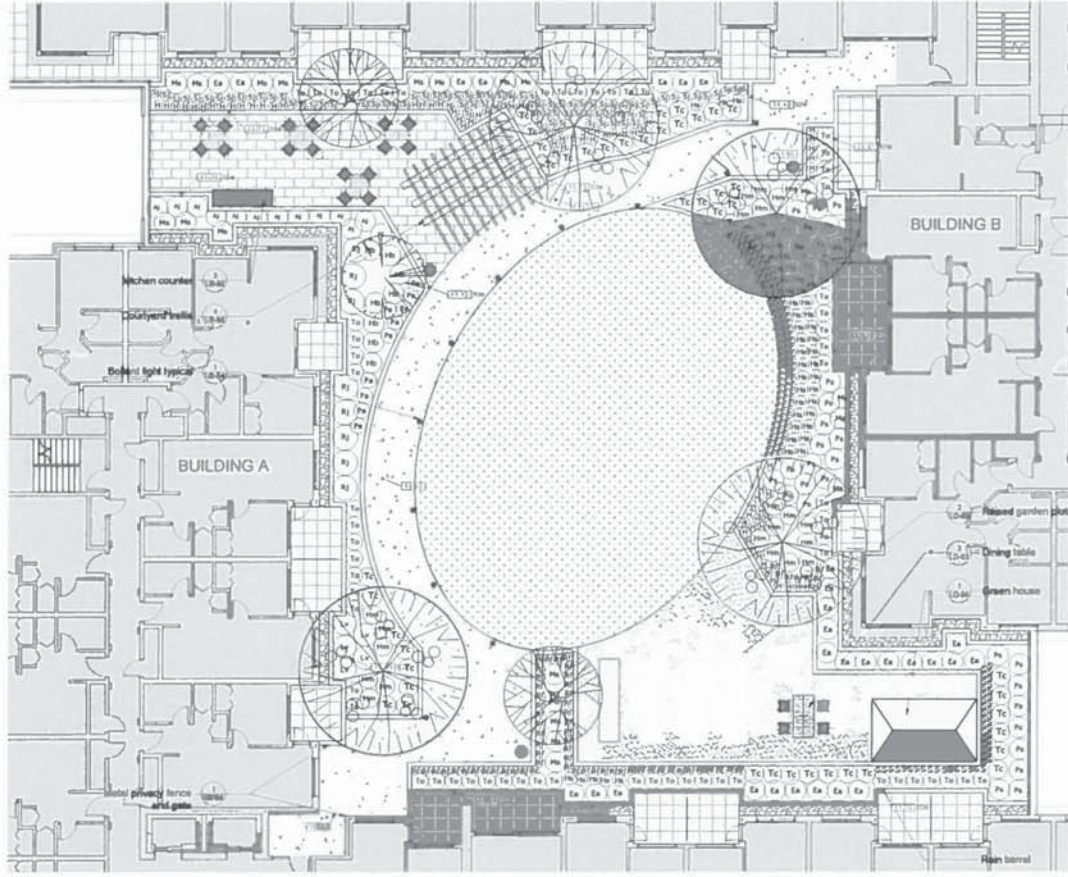
Scale: 1:100

Notes:
 1. This drawing is the property of van der Zalm + Associates Inc. and shall not be reproduced or used for other projects without permission.

Drawing Title: SITE PLAN - 111 STREET

Project #: DP2016-43

Drawing #: L-10



OVERALL PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
SHRUBS					
AJ	20	<i>Adiantum japonicum</i> 'Glen's Crimson'	Giant's Crimson Azalea	#2 Pot	1000mm O.C.
EA	91	<i>Euonymus alatus</i> 'Platy Heng'	Platy Heng Burning Bush	#2 Pot	1000mm O.C.
HA	38	<i>Hydrangea macrophylla</i> 'Admiral'	Admiral Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
LV	43	<i>Ligustrum sinense</i>	Heavy Golden Privet	#2 Pot	1100mm O.C.
PA	54	<i>Philadelphus v. 'Snowball'</i>	Snowball Mockorange	#2 Pot	1000mm O.C.
RJ	48	<i>Rhododendron 'Jonathan Shaw'</i>	Jonathan Shaw Rhododendron	#3 Pot	1200mm O.C.
SJ	141	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	#2 Pot	500mm O.C.
TC	174	<i>Taxus cuspidata</i> 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Pot	900mm O.C.
TS	158	<i>Thuja occidentalis</i> 'Thurgenii'	Thurgenii Cedar	#2 Pot	750mm O.C.

PERENNIALS

F	474	<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	300mm O.C.
HO	123	<i>Helleborus viridis</i>	Blue Owl Grass	#2 Pot	900mm O.C.
HO	167	<i>Hemerocallis 'Stella D'oro'</i>	Stella D'oro Daylily	#1 Pot	450mm O.C.
HO	55	<i>Hosta 'Big Daddy'</i>	Big Daddy Hosta	#2 Pot	1000mm O.C.
MA	68	<i>Miscanthus sinensis</i> 'Purpureus'	Plume Grass	#3 Pot	1000mm O.C.
PA	19	<i>Polyatum acrostichoides</i>	Christmas Fern	#2 Pot	750mm O.C.
RS	72	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed Susan	#1 Pot	450mm O.C.
S	412	<i>Saxifraga ternstroemii</i>	Marble Façade Grass	#1 Pot	300mm O.C.

Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseeded areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	1,2 LD-01	CONCRETE SLAB
[Symbol]	1,2 LD-01	HYDRAL COLOURED CONCRETE BANDS
[Symbol]	1,2 LD-01	CONCRETE FINISH SANDBLAST FINISH
[Symbol]	3 LD-01	HYDRORESSED SLABS
[Symbol]	5 LD-01	CRUSHED GRANITE
[Symbol]	5 LD-01	WOOD FIBER SAFETY SURFACE
[Symbol]	6 LD-01	RUBBER SAFETY SURFACE
[Symbol]	4 LD-01	GRIP STRIP
[Symbol]	2 LD-02	GUARD RAIL
[Symbol]	1 LD-02	HANDRAIL
[Symbol]	1 LD-05	METAL FENCE
[Symbol]	1 LD-05	ROG
[Symbol]	1 LD-05	SHRUB PLANTING
[Symbol]	4 LD-03	BIRD RACK
[Symbol]	5 LD-03	BENCH
[Symbol]	6 LD-03	WASTE RECEPTACLE
[Symbol]	7 LD-01	BOLLARDS
[Symbol]	7 LD-03	MOVEABLE PLANTER
[Symbol]	1,2 LD-04	LIGHTING

van der Zalm + associates inc.
 27 Park & Hamilton • Old Bowness
 Urban Design • Landscape Architecture
 June 1, 2017 17h 00:00 • 17h 00:00
 17h 00:00 • 17h 00:00



No.	By	Description	Date
1	AD	Issued for Development Permit	April 1, 2017
2	AD	Issued for Review	May 31, 2017
3	AD	Issued for ADP	July 20, 2017
4	AD	Issued for Development Permit	Nov 20, 2018
5	AD	Issued for Review	Oct 28, 2018

REVISIONS TABLE FOR DRAWINGS

A revision may be made to any drawing or schedule of work at any time, provided that the revision is approved by the client and the project manager.

REVISIONS TABLE FOR SHEET

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12661 - 110 Avenue
 Surrey, BC

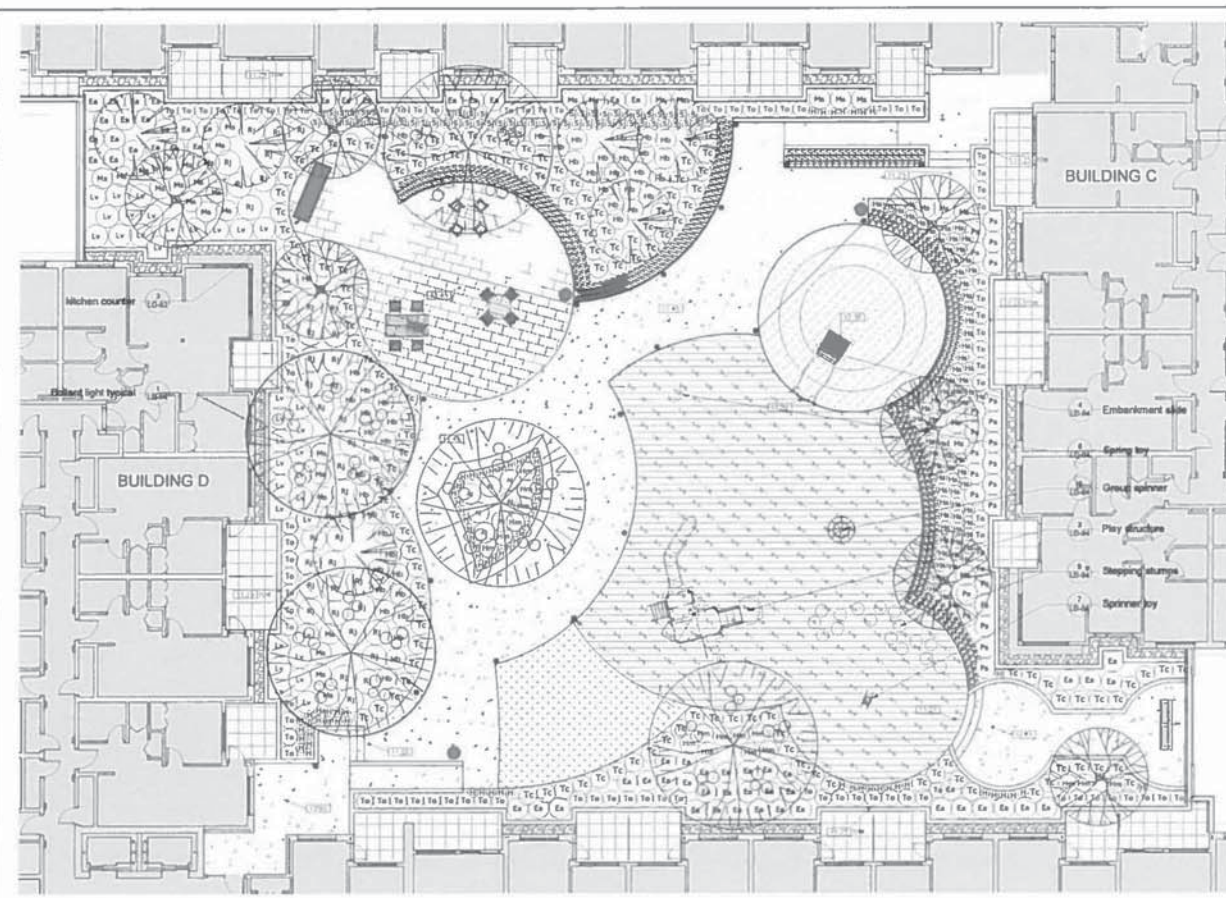
Drawn	Stamp
AD	[Stamp]

Checked by: [Signature]
 Approved by: [Signature]
 MVDZ
 Scale: 1:100

Drawing Title: **BUILDING A & B COURTYARD**
 VICE Project #: **DP2016-43**
 Drawing #: **L-11**

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LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	1,2 LD-01	CONCRETE SLAB
[Pattern]	1,2 LD-01	HYDRAL COLOURED CONCRETE SANDS
[Pattern]	1,2 LD-01	CONCRETE PAVING SANDBLAST FINISH
[Pattern]	3 LD-01	HYDRAPRESSED SLABS Colour Hydroabrasion
[Pattern]	5 LD-01	CRUSHED GRANITE Pattern Colour Hydroabrasion
[Pattern]	5 LD-01	WOOD FIBER SAFETY SURFACE
[Pattern]	6 LD-01	RUBBER SAFETY SURFACE
[Pattern]	4 LD-01	DRIP STRIP
[Pattern]	2 LD-02	GUARD RAIL
[Pattern]		HANDRAIL
[Pattern]	1 LD-05	METAL FENCE
[Pattern]		SOO
[Pattern]		SHRUB PLANTING
[Pattern]	4 LD-03	BIKE RACK
[Pattern]	5 LD-03	BENCH
[Pattern]	6 LD-01	WASTE RECEPTACLE
[Pattern]	7 LD-01	BOLLARD
[Pattern]	7 LD-03	MOVABLE PLANTER
[Pattern]	1,2 LD-04	LIGHTING

OVERALL PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
SHRUBS					
AJ	30	<i>Azalea japonica</i> 'Giant's Crinon'	Giant's Crinon Azalea	#2 Pot	1000mm O.C.
Es	81	<i>Euonymus alatus</i> 'Ruby King'	Ruby King Burning Bush	#2 Pot	1000mm O.C.
Hn	38	<i>Hydrangea macrophylla</i> 'Adira'	Adira Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
Lv	43	<i>Ligustrum</i> ssp. 'vicaryi'	Vicary's Garden Privet	#2 Pot	1100mm O.C.
Ps	54	<i>Philadelphus</i> ssp. 'Snowball'	Snowball Mockorange	#2 Pot	1000mm O.C.
RJ	48	<i>Rhododendron</i> 'Jonathan Shaw'	Jonathan Shaw Rhododendron	#2 Pot	1200mm O.C.
Rj	141	<i>Spirea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	#2 Pot	900mm O.C.
Tc	114	<i>Taxus canadensis</i> 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Pot	900mm O.C.
To	155	<i>Thuja occidentalis</i> 'Rheingold'	Rheingold Cedar	#2 Pot	700mm O.C.

PERENNIALS

F	474	<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	300mm O.C.
Hc	123	<i>Holcristroch complanata</i>	Blue Oat Grass	#2 Pot	800mm O.C.
H	187	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm O.C.
Hb	58	<i>Haste</i> 'Big Daddy'	Big Daddy Hosta	#2 Pot	1000mm O.C.
Ma	86	<i>Miscanthus sinensis</i> 'Purpureascens'	Flame Grass	#2 Pot	1000mm O.C.
Pa	10	<i>Pedicularis canadensis</i>	Chickweed Fern	#2 Pot	150mm O.C.
Rr	72	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed Susan	#1 Pot	450mm O.C.
S	412	<i>Sida tenuifolia</i>	Mexican Feather Grass	#1 Pot	300mm O.C.

Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseeded areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.

von der Zelen + associates inc.
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 Urban Design • Landscape Architecture
 1000 West Columbia Street
 Vancouver, BC V6C 3K7
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.vdz.ca



No.	By	Description	Date
1	AD	Issued for Development Permit	April 6, 2017
2	AD	Issued for Review	June 30, 2017
3	AD	Issued for ADP	June 30, 2017
4	AD	Issued for Development Permit	Nov 28, 2018
5	AD	Issued for Review	Oct 28, 2018

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12561 - 110 Avenue
 Surrey, BC

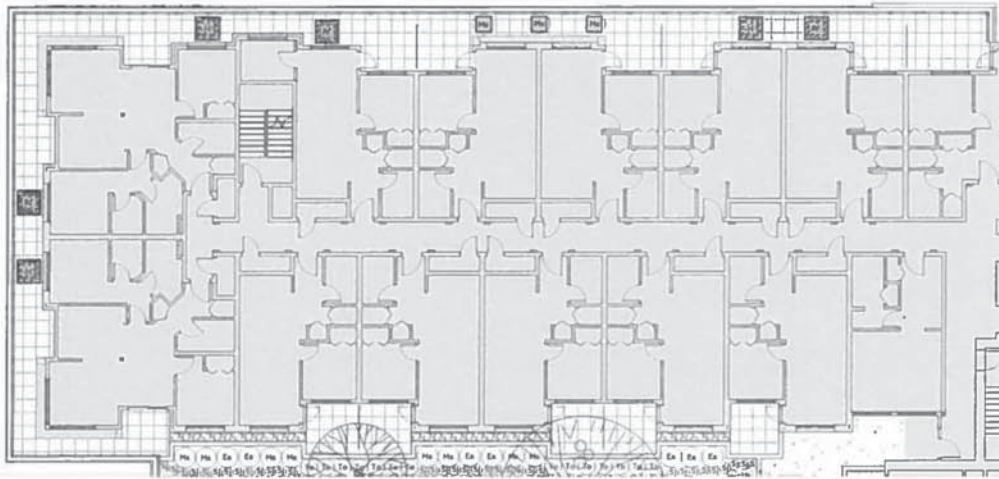
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AD	[Stamp]

Scale:
 1:100

Drawing Title: BUILDING C & D COURTYARD

VIZ Project ID: DP2016-43

Drawing #: L-12

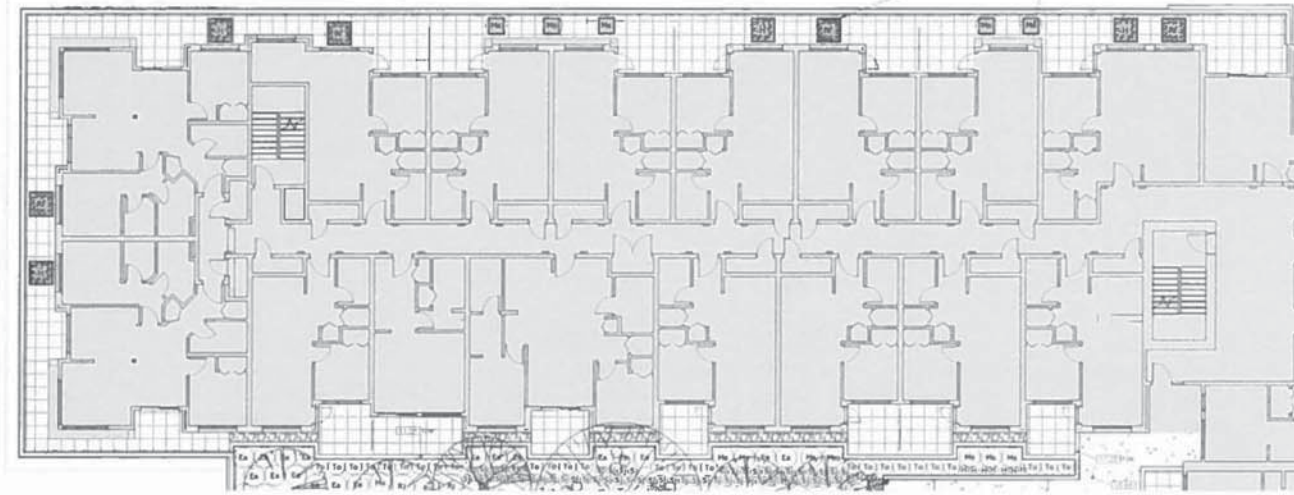


1 BUILDING B - LEVEL 3 TERRACE
Scale 1:100

OVERALL PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
SHRUBS					
A1	20	Azalea japonica 'Giant's Crimson'	Giant's Crimson Azalea	#2 Pot	1000mm O.C.
Ex	81	Euonymus alatus 'Ruby Hoop'	Ruby Hoop Burning Bush	#2 Pot	1000mm O.C.
Hy	28	Hydrangea macrophylla 'Alice'	Alice Blue Big Leaf Hydrangea	#2 Pot	900mm O.C.
Lr	43	Ligustrum x vicaryi	Vicary Dalton Privet	#2 Pot	1100mm O.C.
Pa	54	Philadelphus x 'Snowbelle'	Snowbelle Muckorange	#2 Pot	1000mm O.C.
RJ	46	Rhododendron 'Jonathan Shaw'	Jonathan Shaw Rhododendron	#3 Pot	1200mm O.C.
Si	141	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#2 Pot	900mm O.C.
To	174	Taxus cuspidata 'Emerald Spreader'	Emerald Spreader Japanese Yew	#2 Pot	900mm O.C.
Tu	156	Thuja occidentalis 'Whisper'	Whisper Cedar	#2 Pot	700mm O.C.
PERENNIALS					
F	474	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Pot	300mm O.C.
Ha	123	Helleborus scaberrimus	Blue Owl Hellebore	#2 Pot	800mm O.C.
Hi	187	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm O.C.
Hb	55	Hosta 'Big Daddy'	Big Daddy Hosta	#2 Pot	1000mm O.C.
Ma	68	Macranthus chinensis 'Purplewings'	Flame Grass	#3 Pot	1000mm O.C.
Pa	10	Polystichum acrostichoides	Christmas Fern	#2 Pot	750mm O.C.
Rf	72	Rudbeckia fulgida 'Goldbeam'	Black-eyed Susan	#1 Pot	450mm O.C.
S	412	Sida sarmentosa	Mexican Feather Grass	#1 Pot	300mm O.C.

- Notes:
 1. Assume 150mm growing medium depth (import) for new hydroseed areas, and 45mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.



2 BUILDING C - LEVEL 3 TERRACE
Scale 1:100

van der Zalm + associates inc.
 1000 West Beaver Creek Road, Suite 100
 Richmond, BC V6X 3K9
 Tel: 604-273-1111
 Fax: 604-273-1112
 www.vdz.com



REVISIONS TABLE FOR DRAWINGS

No	By	Description	Date
1	AD	Issued for Development Permit	April 3, 2017
2	AD	Issued for Review	June 30, 2017
3	AD	Issued for ADP	July 20, 2017
4	AD	Issued for Development Permit	Nov 28, 2018
5	AD	Issued for Review	Oct 28, 2018

REVISIONS TABLE FOR SHEET

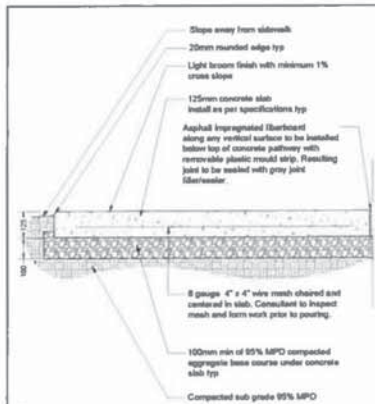
No	By	Description	Date
1	AD	Issued for Development Permit	April 3, 2017

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12651 - 110 Avenue
 Surrey, BC

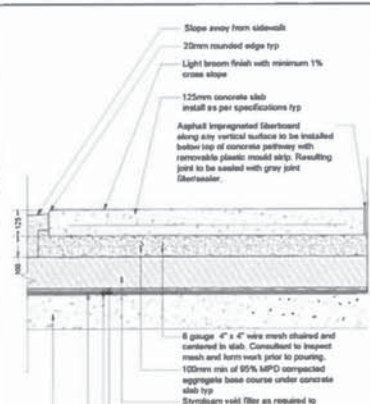
Drawn: AD
 Checked: SH
 Approved: MVLZ
 Scale: 1:100

Drawing Title: LEVEL 3 TERRACES
 VCE Project #: DP2016-43
 Drawing #: L-13



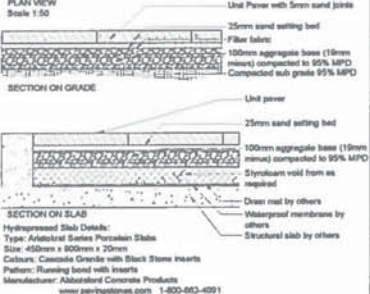
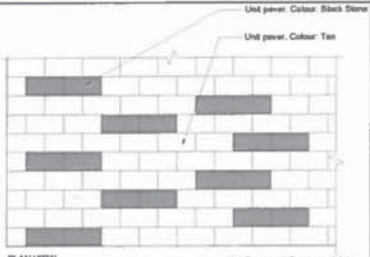
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures as per manufacturers specifications.
 2. Horizontal spacings at 1500mm o.c. unless shown otherwise. Refer to plans.
 3. Center expansion on 150mm smooth finish or to match existing concrete pathway.

1 CONCRETE PAVING ON GRADE
Scale 1:10

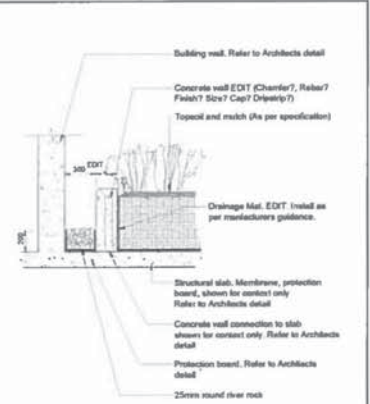


- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures as per manufacturers specifications.
 2. Horizontal spacings at 1500mm o.c. unless shown otherwise. Refer to plans.
 3. Center expansion on 150mm smooth finish or to match existing concrete pathway.

2 CONCRETE PAVING ON SLAB
Scale 1:10

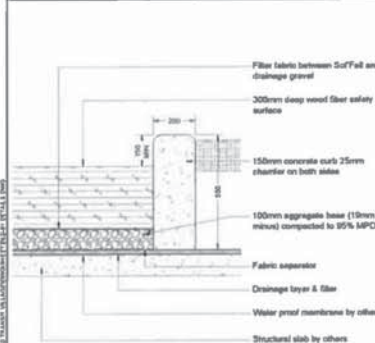


3 HYDRAPRESSED SLAB
Scale 1:10



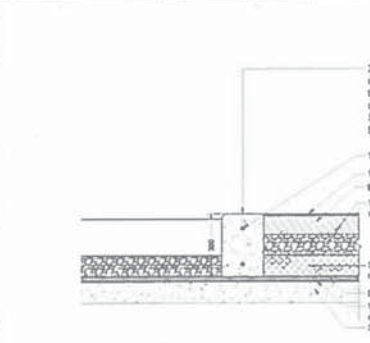
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures as per manufacturers specifications.
 2. Horizontal spacings at 1500mm o.c. unless shown otherwise. Refer to plans.
 3. Center expansion on 150mm smooth finish or to match existing concrete pathway.

4 DRIP STRIP ON SLAB
Scale 1:20



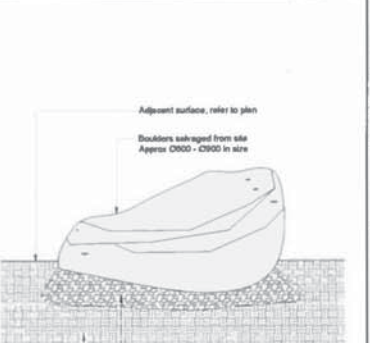
- Notes:
1. Contractor to install engineered wood fiber play surface, fiber fabric and drainage system as per manufacturers specifications.
 2. Provide Additional Depth as Required in Accordance of Toy Heights and Manufacturers Specifications.

5 WOOD FIBER SAFETY SURFACE
Scale 1:10



- Notes:
1. Slope to meet grade required for hill slide.

6 RUBBER SAFETY SURFACE
Scale 1:10



- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures as per manufacturers specifications.
 2. Horizontal spacings at 1500mm o.c. unless shown otherwise. Refer to plans.
 3. Center expansion on 150mm smooth finish or to match existing concrete pathway.

7 LANDSCAPE BOULDER
Scale 1:20

van der Zahn + associates inc.
John S. van der Zahn - Lead Designer
Lynne, Brent, Colleen
100-1000
1-800-888-1000
info@vdz.com



No.	By	Description	Date
1	AD	Issued for Development Permit	April 1, 2017
2	AD	Issued for Review	May 11, 2017
3	AD	Issued for ADP	Jan 30, 2017
4	AD	Issued for Development Permit	Nov 20, 2016
5	AD	Issued for Review	Oct 26, 2016

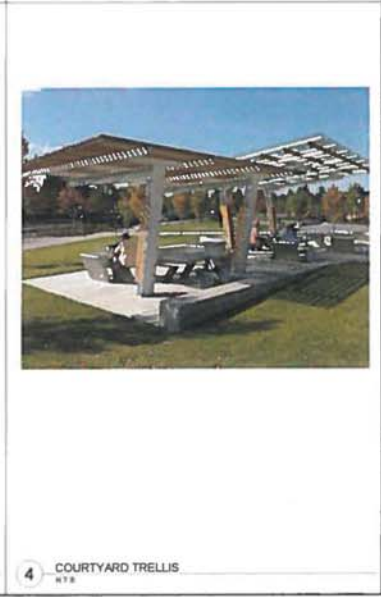
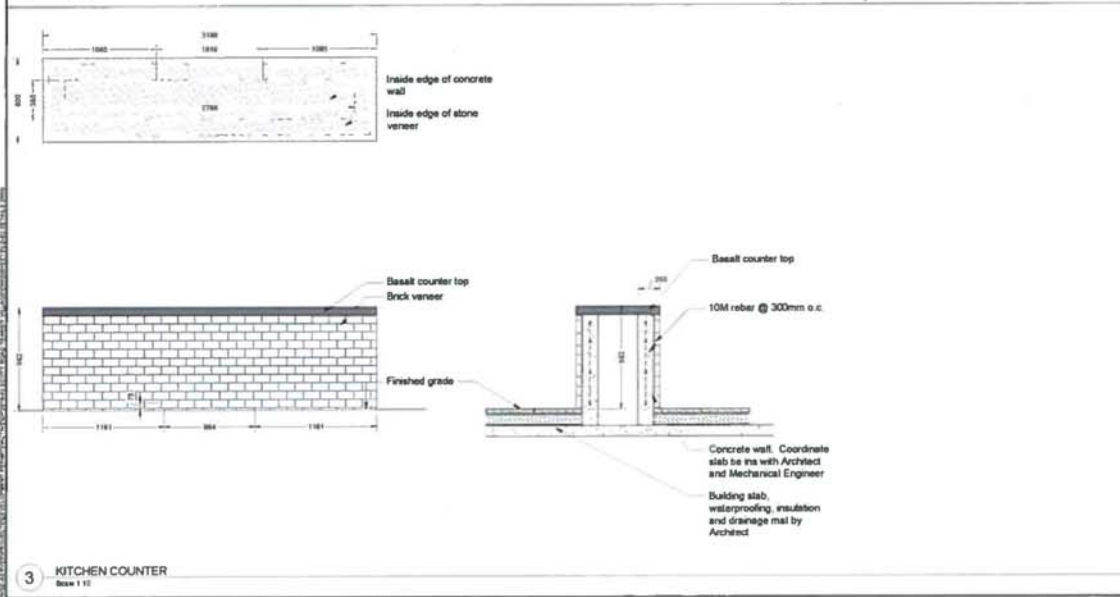
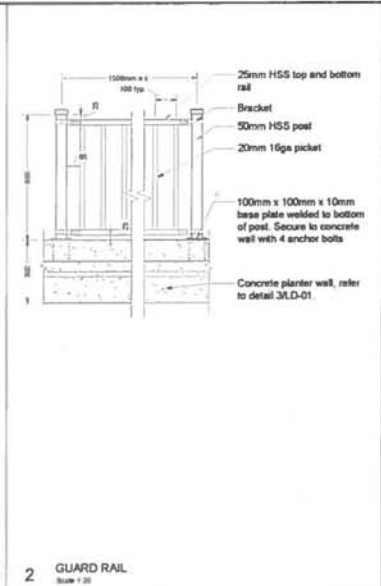
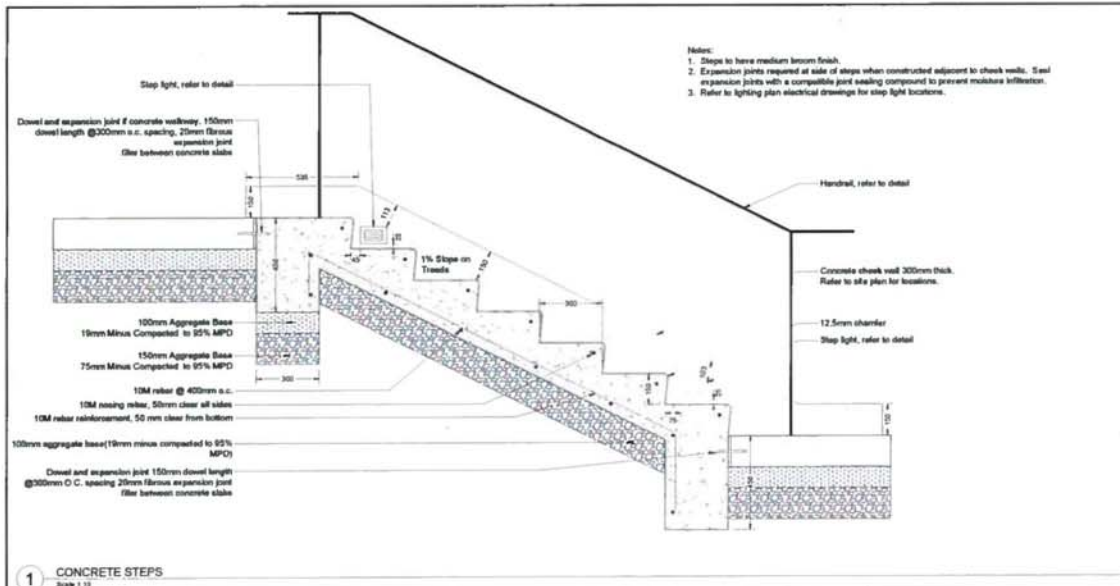
No.	By	Description	Date
1	AD	REVISIONS TABLE FOR DRAWINGS	
2	AD	REVISIONS TABLE FOR SHEET	

Project:
TRANSIT VILLAGE MIXED USE

Location:
12561 - 110 Avenue
Surrey, BC

Drawn AD	Stamp
Checked MVIC	
Approved MVIC	Original Sheet Size 34" x 48"
Scale	
AD SHOWN	

Drawing Title: DETAILS
 VIZZ Project #: DP2016-43
 Drawing #: LD-01



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www.vonzderzelen.com



Rev	Description	Date
4	Issued for Development Permit	April 1, 2017
4	Issued for Review	May 31, 2017
3	Issued for ACP	June 28, 2017
2	Issued for Development Permit	Nov. 28, 2016
1	Issued for Review	Oct. 28, 2016

Drawn By: AD
Checked: MV/CZ
Approved: MV/CZ

Project: TRANSIT VILLAGE MIXED USE
Location: 12561 - 110 Avenue, Surrey, BC

Scale: AS SHOWN

Original Sheet Size: 24"x36"

Drawing Title: **DETAILS**
 UCC Project #: **DP2016-43**
 Drawing #: **LD-02**



1 GREENHOUSE
N.T.S.



2 GARDEN PLOTS
N.T.S.



3 DINING TABLE
N.T.S.



BIKE RACK
Type: Tubero 2 (TOSRDP-36)
Size: 180cm x 270cm x 960cm
Colour: Black
Powdercoat: Gargol lustrat silver
Manufacturer: Washburne S&S Furnishings
www.washburne.com 604-828-0478

4 BIKE RACK
N.T.S.



BENCH
Type: MLB919-68H
Size: 1770mm x 960mm x 797mm
Colour: Black
Manufacturer: MagIn
www.magin.com 1-800-716-5508

5 BENCH
N.T.S.



TRASH RECEPTACLE
Type: MLMR209-32
Size: 610mm x 737mm
Colour: Black
Manufacturer: MagIn
www.magin.com 1-800-716-5508

6 WASTE RECEPTACLE
N.T.S.



GROUND LEVEL PLANTER BOX
Type: Rubberford (PLTR-24)
Size: 610cm x 1820cm x 540cm
Colour: Sol Gray
Powdercoat: Gargol lustrat silver
Manufacturer: Washburne S&S Furnishings
www.washburne.com 604-828-0478

7 MOVABLE PLANTER
N.T.S.

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No.	By	Description	Date
4	AD	Issued for Development Permit	April 4, 2017
4	AD	Issued for Review	May 11, 2017
3	AD	Issued for ADP	Jan 20, 2017
2	AD	Issued for Development Permit	Nov 23, 2016
1	AD	Issued for Review	Oct 28, 2016

REVISIONS TABLE FOR DRAWINGS

It is acknowledged that the drawings are subject to the approval of the City of Surrey and the approval of the relevant authorities.

REVISIONS TABLE FOR SHEET

Project:
TRANSIT VILLAGE MIXED USE

Location:
12661 - 110 Avenue
Surrey, BC

Drawn AD	Stamp
Checked MAYZ	Original Sheet Size 34"x43"
Approved MYOZ	
Scale AS SHOWN	<p>THIS DRAWING IS THE PROPERTY OF VAN DER ZAHN + ASSOCIATES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VAN DER ZAHN + ASSOCIATES INC.</p>

Drawing Title
DETAILS

Project #
DP2016-43

Drawing #
LD-03



1 BOLLARD LIGHT
NTS



2 WALL LIGHT
NTS



3 PLAY STRUCTURE
NTS



4 HILL SLIDE
NTS



5 STEPPING STUMPS
NTS



6 GROUP SPINNER
NTS



7 SPINNER TOY
NTS



8 SPRING TOY
NTS



No.	By	Description	Date
1	AD	Issued for Development Permit	April 4, 2017
2	AD	Issued for Review	Mar 31, 2017
3	AD	Issued for ADP	Jan 20, 2017
4	AD	Issued for Development Permit	Nov 28, 2016
5	AD	Issued for Review	Oct 28, 2016

REVISIONS TABLE FOR DRAWINGS
If a drawing is revised, the drawing shall indicate the number of revisions and the date of revision. All revisions shall be made in accordance with the approved revision table.

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
TRANSIT VILLAGE MIXED USE

Location:
12561 - 110 Avenue
Surrey, BC

Drawn: Stamp
AD

Checked: MVDZ

Approved: MVDZ
Original Sheet Size: 24"x36"

Scale:
AS SHOWN

Drawing Title:
DETAILS

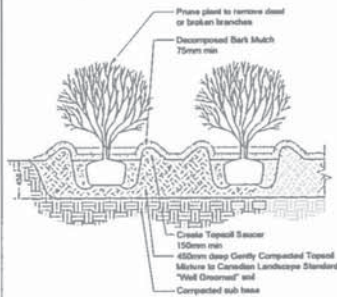
VZJ Project #:
DP2016-43

Drawing #:
LD-04



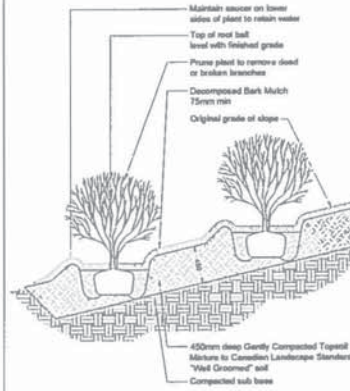
TERRACE PLANTER BOX:
 Type: Sarcia
 Size 1: 762mm x 762mm x 762mm
 Size 2: 1143mm x 1143mm x 762mm
 Colour: Silver
 Manufacturer: Landscape Forms
 www.landscapeforms.com 1-800-430-4200

1 TERRACE PLANTER POTS
 N.T.S.



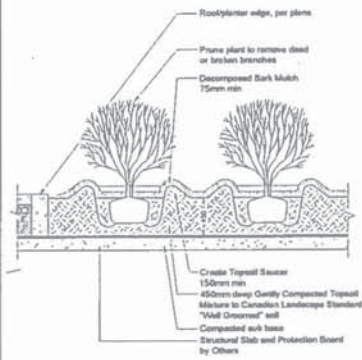
- NOTES:**
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil sausage diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

2 SHRUB PLANTING
 Scale 1:25



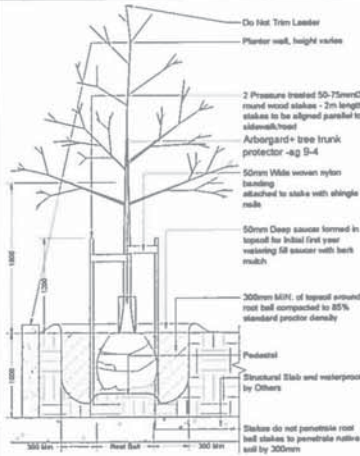
- NOTES:**
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil sausage diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

3 SHRUB PLANTING ON SLOPE
 Scale 1:25



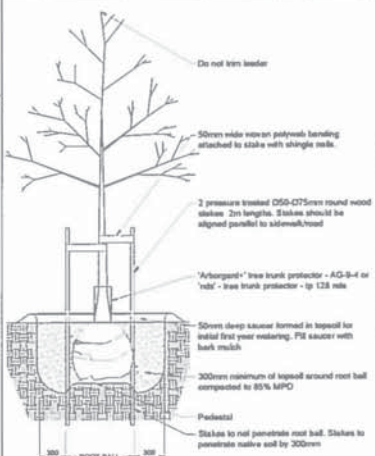
- NOTES:**
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil sausage diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

4 SHRUB PLANTING ON SLAB
 Scale 1:25



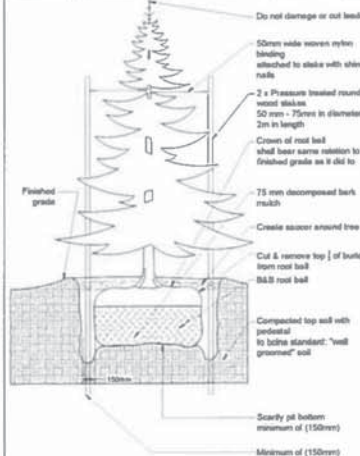
- NOTES:**
1. Backfill/topsoil to be loosened and dropped in the bottom of the planting hole, all string, twine, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stems.

5 TREE PLANTING ON SLAB
 Scale 1:25



- Notes:**
1. Backfill/topsoil to be loosened and dropped in the bottom of the planting hole, all string, twine, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stems.

6 DECIDUOUS TREE PLANTING
 Scale 1:25



- Notes:**
1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation.
 3. Remove base rings and stakes two years after installation.
 4. Provide drainage for planting pit in impermeable soil.

7 CONIFEROUS TREE PLANTING
 Scale 1:25



No.	By	Description	Date
4	AD	Issued for Development Permit	April 4, 2017
3	AD	Issued for Review	April 21, 2017
2	AD	Issued for ADP	June 30, 2016
1	AD	Issued for Development Permit	June 30, 2016
1	AD	Issued for Review	October 28, 2016

REVISIONS TABLE FOR DRAWINGS

Project: TRANSIT VILLAGE MIXED USE

Location: 12581 - 110 Avenue Surrey, BC

Drawn	Stamp
AD	
Checked	
MVZ	
Approved	Original Sheet Size 34"x36"
MVZ	
Scale	
AS BKHAN	

Drawing Title: DETAILS
 VIZ Project #: DP2016-43
 Drawing #: LD-05

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 2, 2017** PROJECT FILE: **7816-0685-00**

RE: **Engineering Requirements, Location: 12661 110 Avenue**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate as road the entire portion of By-law road as shown on Plan 70829 (Parcel One of Parcel A PID 002-893-894);
- dedicate between 5.0-metres to 10.0-metre along 110 Avenue to the 30-metre arterial road;
- dedicate varying width at the northern end of 126A Street to accommodate the curvature of the road, to connect to 111 Avenue to the east;
- dedicate 20.0-metres for 110A Avenue;
- dedicate corner cuts; and
- register 0.5-metre statutory right-of-way along all road frontages.

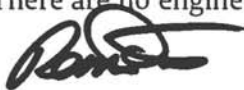
Works and Services

- construct east side of 126A Street full frontage to the through local road standard;
- construct temporary turnaround at north end of 126A Street;
- install traffic signal at 110 Avenue and 126A Street intersection;
- construct 110A Avenue to the 20.0-metre through local road standard;
- construct storm mains to service the development and provide storm water mitigation features;
- construct watermain along 110 Avenue; and
- construct sanitary force main along all frontages.
- provide each lot with storm, sanitary and water service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit



Rémi Dubé, P.Eng.
Development Services Manager



Monday, March 06, 2017
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 16-0685-00

SUMMARY

The proposed 514 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	13
Secondary Students:	5

September 2018 Enrolment/School Capacity

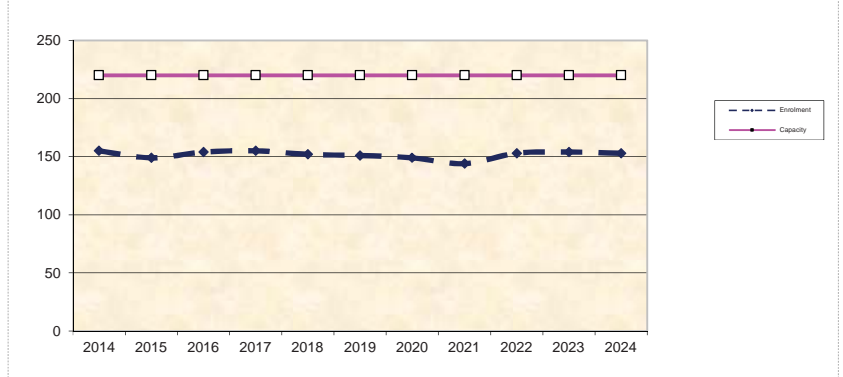
Bridgeview Elementary	
Enrolment (K/1-7):	21 K + 133
Capacity (K/1-7):	20 K + 200
Kwantlen Park Secondary	
Enrolment (8-12):	1531
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

School Enrolment Projections and Planning Update:

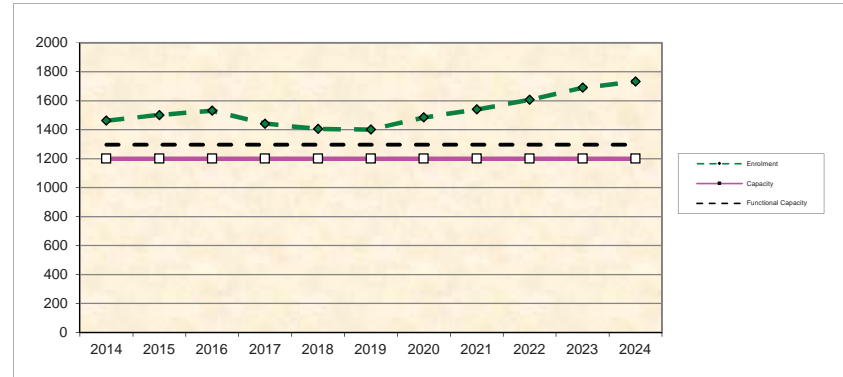
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Bridgeview Elementary or Kwantlen Park Secondary. Bridgeview Elementary school capacity has been adjusted for the implementation of full day Kindergarten and inclusion of a "Strongstart" program for preschool children and their parents. The District is considering enrolment move options from Kwantlen Park to another secondary school site, to eliminate projected overcrowding at Kwantlen Park Secondary School. The proposed development will not have an impact on these projections.

Bridgeview Elementary



Kwantlen Park Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



van der Zalm + associates inc.

Table 1: Summary of Tree Preservation by Tree Species

<u>Tree Species</u>	<u>Existing</u>	<u>Remove</u>	<u>Retain</u>
<u>Alder and Cottonwood</u>			
<u>Alder</u>	<u>0</u>		<u>0</u>
<u>Cottonwood</u>	<u>0</u>		<u>0</u>
<u>Deciduous Trees</u> <u>(excluding Alder and Cottonwood Trees)</u>			
Red Oak	<u>5</u>	<u>5</u>	
Pin Oak	<u>5</u>	<u>5</u>	
Japanese Maple	<u>3</u>	<u>3</u>	
Littleleaf Linden	<u>1</u>	<u>1</u>	
<u>Coniferous Trees</u>			
<u>Douglas fir</u>	<u>0</u>	<u>0</u>	
<u>Yellow Cedar</u>	<u>0</u>	<u>0</u>	
<u>Red Cedar</u>	<u>0</u>	<u>0</u>	
<u>Cedar hedge</u>	<u>0</u>	<u>0</u>	
<u>Spruce</u>	<u>0</u>	<u>0</u>	
<u>Total</u> <u>(excluding Alder and Cottonwood Trees)</u>	<u>14</u>	<u>14</u>	
<u>Additional Trees in the proposed</u> <u>Open Space / Riparian Area</u>			
<u>Total Replacement Trees Proposed</u> <u>(excluding Boulevard Street Trees)</u>			<u>28</u>
<u>Total Retained and Replacement</u> <u>Trees</u>			<u>28</u>



van der Zalm + associates inc.

Surrey Project

No:


Address: 12661 – 110 Ave, Surrey, B.C.

Registered

Arborist: Kelly Koome

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	14
Protected Trees to be Removed	14
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement - Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 14 X two (2) = 28	28
Replacement Trees Proposed	28
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement - Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

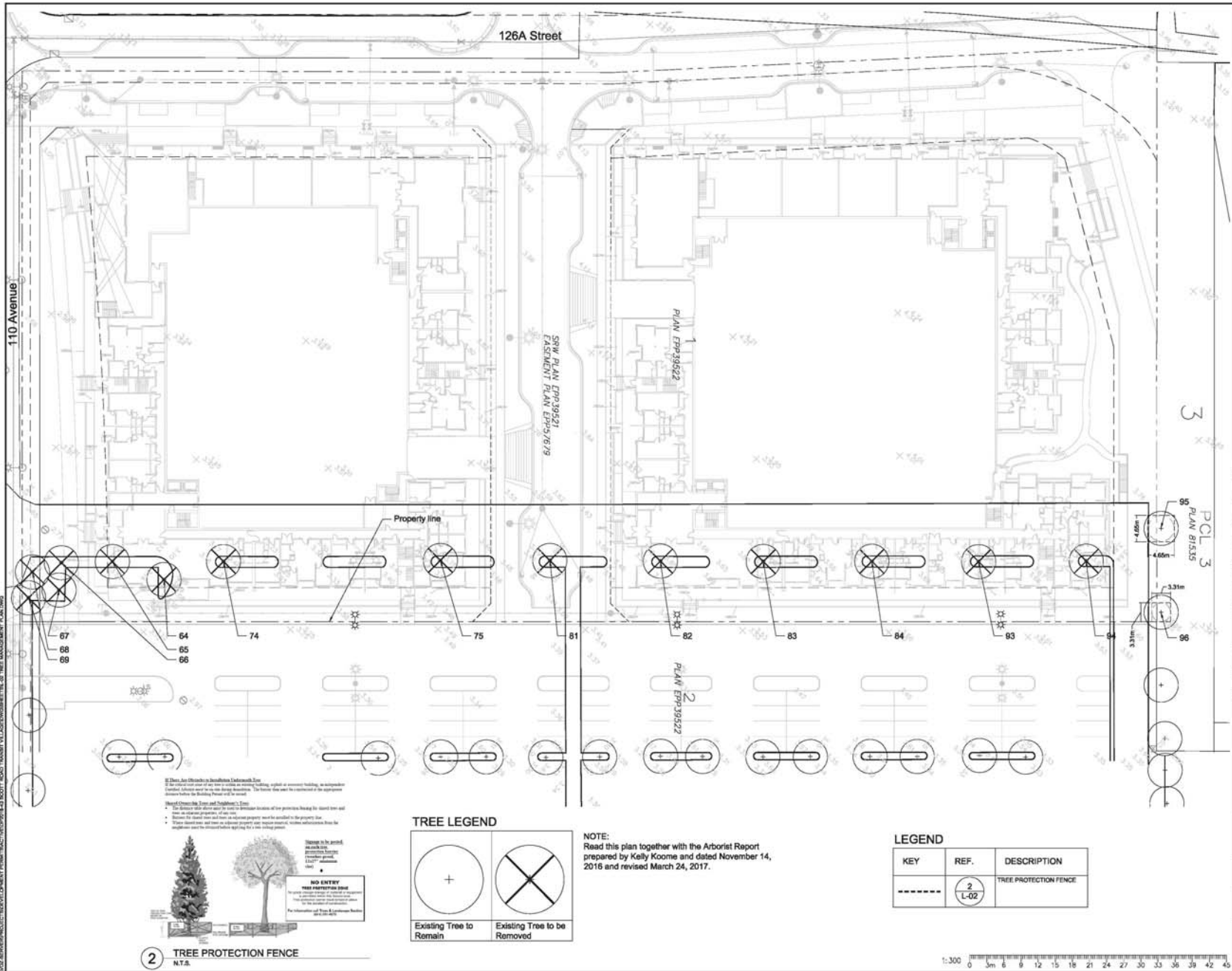
Summary, report and plan prepared and submitted by:



(Signature of
Arborist)

March 24, 2016

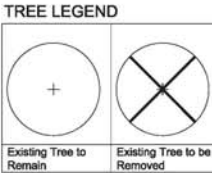
Date



All Sites Are Considered as Significant Landmarks Sites
 • All trees on the site are to be protected, unless otherwise indicated. All trees to be removed shall be identified on the site plan. The location of trees to be removed shall be indicated on the site plan by a circle with a cross through it.
Identify Existing Trees and Significant Sites
 • The location of all trees and significant sites shall be identified on the site plan. The location of trees to be removed shall be identified on the site plan by a circle with a cross through it.
 • The location of all trees and significant sites shall be identified on the site plan. The location of trees to be removed shall be identified on the site plan by a circle with a cross through it.



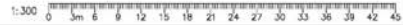
2 TREE PROTECTION FENCE
 N.T.S.



NOTE:
 Read this plan together with the Arborist Report prepared by Kelly Koomo and dated November 14, 2016 and revised March 24, 2017.

LEGEND

KEY	REF.	DESCRIPTION
---	2	TREE PROTECTION FENCE



van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 2077 8th Avenue • P 604 662 2224
 Calgary, Alberta Canada • F 604 662 0462
 T 403 243 1111 • info@vzai.ca



REVISIONS TABLE FOR DRAWINGS

No.	By:	Description	Date
3	AD	Issued for ADP	Jan 20, 2017
2	AD	Issued for Development Plans	Nov 25, 2016
1	AD	Issued for Review	Oct 26, 2016

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
1	AD	Issued for Review	Mar 27, 2017

Project:
 TRANSIT VILLAGE MIXED USE

Location:
 12661 - 110 Avenue
 Surrey, BC

Drawn: AD
Checked: SH
Approved: MVDZ
Scale: 1:300

Stamp:
 Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY ACCORDINGLY TO THE CONSULTANT REVIEW PROCEDURES. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE DECISIONS OF THE CONSULTANT. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. ALL DIMENSIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE CONSULTANT'S DESIGN. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. ALL DIMENSIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE CONSULTANT'S DESIGN.

Drawing Title: **TREE MANAGEMENT PLAN**

VOZ Project #: **DP2016-43**

Drawing #: **L-02**



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, FEBRUARY 9, 2017
Time: 5:02 pm

Present:

Chair – D. Nelson
J. Leger
A. Scott
D. Staples
D. Tyacke
M. Younger

Guests:

E. Poxleiter, Keystone Architecture
L. Wykpis, Keystone Architecture
M. Van der Zalm, Van der Zalm + Assoc. Ltd.
V. Jeon, Weststone Group
R. Jenkins, Weststone Group
C. Sethi, Tien Sher Homes
R. Bernstein, Chris Dikeakos Architects
Jeff Shen, Chris Dikeakos Architects
D. Chernoff, Durante Kruek Ltd.

Staff Present:

M. Rondeau, Acting City Architect,
Planning & Development
L. Luaifoa, Legislative Services

The Acting City Architect introduced the newest member Julien Leger to the Panel.

The accessibility representative was not able to attend the meeting and his comments have been added to the minutes.

A. RECEIPT OF MINUTES

It was

Moved by D. Staples
Seconded by A. Scott
That the minutes of the Advisory Design

Panel meeting of January 26, 2017 be received.

Carried

B. NEW SUBMISSIONS

1. 5:00 PM

File No.:

7916-0685-00

New or Resubmit:

New

Last Submission Date:

N/A

Description:

OCP/NCP Amendment, Rezoning and detailed DP – 4 mixed-use buildings containing approximately 514 residential dwelling units and 1,102 sm of ground floor commercial with partial below and above grade parking on 2 city blocks.

Address:

12661-110 Avenue in Bridgeview

Developer:

Victor Jeon/Ryan Jenkins, Weststone Group

Architect:

Eric Poxleitner, Keystone Architecture

Landscape Architect:

Mark Van der Zalm, Van der Zalm + Assoc. Inc.

Planner:

Donald Nip

Urban Design Planner:

Mary Beth Rondeau

The **Acting City Architect** provided the following comments:

- The proposed transit oriented development (TOD) at the Scott Road Station is similar to the previous proposal and supported on this site.
- Staff has no issues with use, form, height and density and is seeking suggestions on how to manage the street interface with the floor level of commercial and sidewalk.

The **Project Architect** presented an overview of the site plan, building plans, streetscapes and elevations. The following was highlighted:

- The site is challenging due to the flood plain and geotechnical and requires piling to support the building.
- The building is fully rental with on-site management.
- The urban contemporary appearance of the development is designed to reflect a transit station environment. A lot of grey tones will be used with brick along the base. Hardie Panel with metal panel is used around some of the featured areas.
- Each building has its own entrance highlighted with aluminum panels that have been warmed up by bright colours. Each building has accent colours to help define each one separately.

The **Landscape Architect** presented an overview of the Landscape, Sustainability and CPTED plans and highlighted the following:

- The access ramps are integrated on an angle to minimize the impact on the streetscape.
- The central open space amenity for each building offer different opportunities. The south building space is more of a play area and the other amenity space provides a design for more of a social area.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

OCP/NCP Amendment, Rezoning and detailed DP – 4 mixed-use buildings containing approximately 514 residential dwelling units and 1,102 sm of ground floor commercial with partial below and above grade parking on 2 city blocks.

File No. 7916-0685-00

It was

Moved by A. Scott

Seconded by D. Staples

That the Advisory Design Panel (ADP)

recommends A - that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

The Design Panel supports the project in general and has no issues with Use, Form or Density of the project.

Site

- The site is well utilized considering the challenge of the flood plain.
- The overlook to the adjacent Home Depot parking lot was a concern. This should be buffered with landscaping and consideration should be given to removing the walkway to increase the landscape buffer.

(It was determined that maintaining the walkway would be preferable.)

Building Form and Character

- Recommend enhancement of commercial articulation. Suggest bringing colours down into the commercial area.
- Consider differentiation of materials and colours of retail at the 2 buildings.

(Please see revised elevation drawings. Individual building colors were brought down to accentuate the commercial entries in addition to similar finishes/materials on the architectural elements.)

- The building could be higher which may create opportunities to form.

(The soil conditions and density constraints will not permit higher than 6 storeys.)

- Recommend re-work of some of the units:
 - “C” units to improve livability and related to the firewall.
 - Concern with Building A west corner and Building D east corner being in the shade all day long. Recommend setting back the ends of the building to allow the sun to enter a bit more.
 - Recommend corner units in Buildings B and C learn from Buildings A and

(All referenced units were amended to include additional window areas and “pulling back” of the firewall to increase exposure to courtyard areas and decrease shadowed areas.)

- Recommend the living room and kitchen in Unit A 115 be flipped to allow the patio to face the common roadway instead of the driveway entrance.

(Implemented.)

- Concern about garbage/recycling could be closer to commercial.

(Both building parkades now include an additional garbage room immediately adjacent to the commercial spaces.)

- Recommend patio access from the 3rd floor units to the courtyard outdoor amenity space.

(Due to security and CPTED, it is best not to implement this.)

Landscaping

- Recommend the use of larger growing street trees around the perimeter.

(The perimeter/street tree species have been modified to be a larger species.)

- Recommend stepping slab edges down to help eliminate the retaining wall to reduce the apparent height of the walls.

(We were unable to implement this due to the adverse sloping effect of the public realm in addition to height constraints immediately underneath.)

CPTED

- CPTED has been generally well addressed.

Accessibility

- Recommend disabled parking spaces and numbers is according to the building code.

(Implemented.)

- Recommend 5% of units be disabled.

(We have provided 3 disabled units per building (2.3%))

- Recommend power doors at all entrances.

(We will implement this as part of our electrical design.)

- Recommend elevator call button panels to be placed horizontally.

(We will implement this once we have awarded an elevator contractor.)

- Recommend washrooms are disabled accessible in amenity space.
- Recommend the outdoor pathways in the amenity space outdoors be disabled accessible.

(Implemented.)

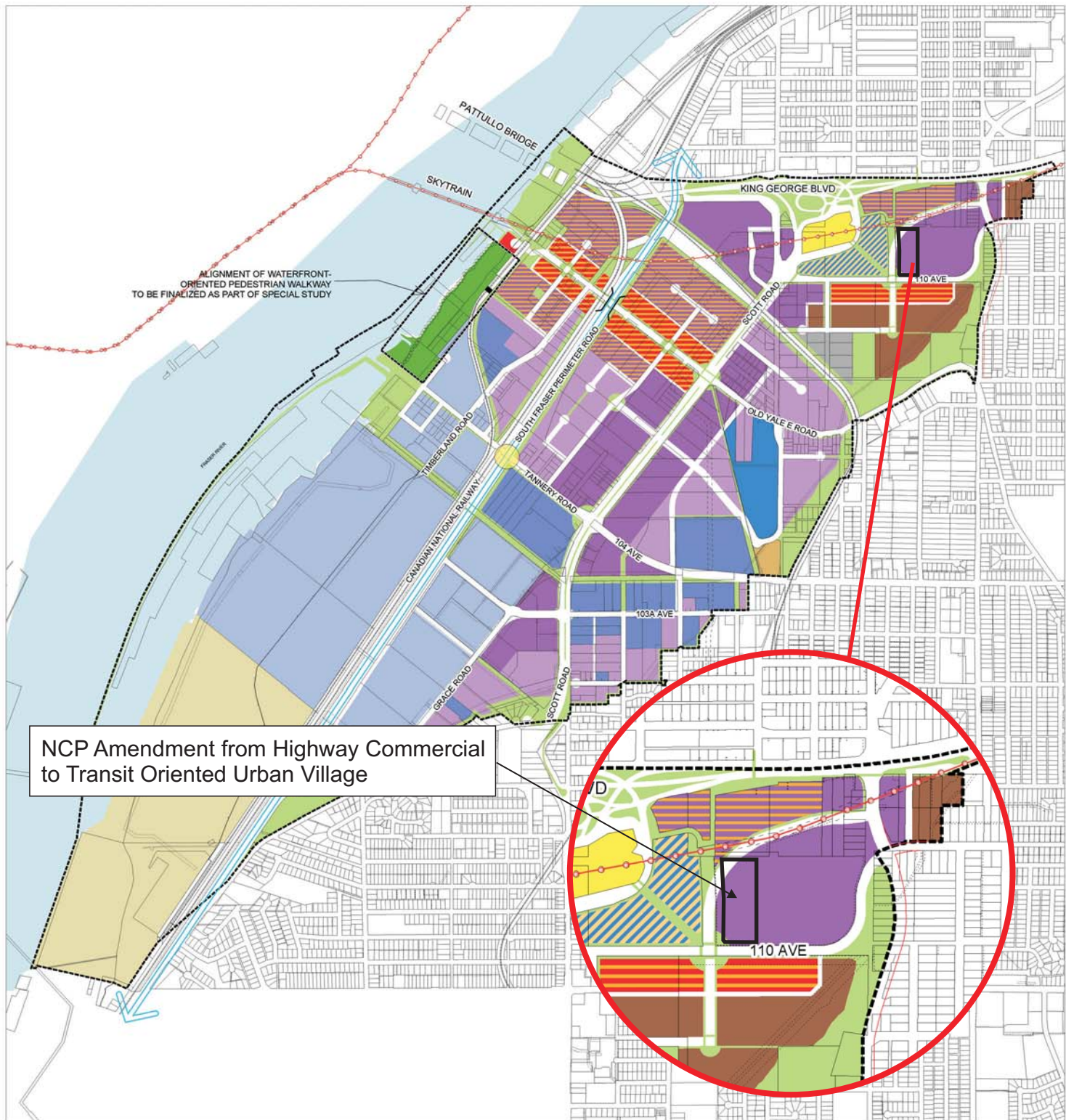
Sustainability

- Recommend use of Energy Recovery Ventilators for all suite ventilation.

(We will consider this at the mechanical design phase but have concerns with cost implications. We will be meeting the ASHRAE 90.1 criteria.)

- Recommend storm collection and rain water collection for re-use from the courtyard areas.

(We have implemented a rain collection system attached to the greenhouse at bldg. A/B courtyard.)



SOUTH WESTMINSTER PLAN

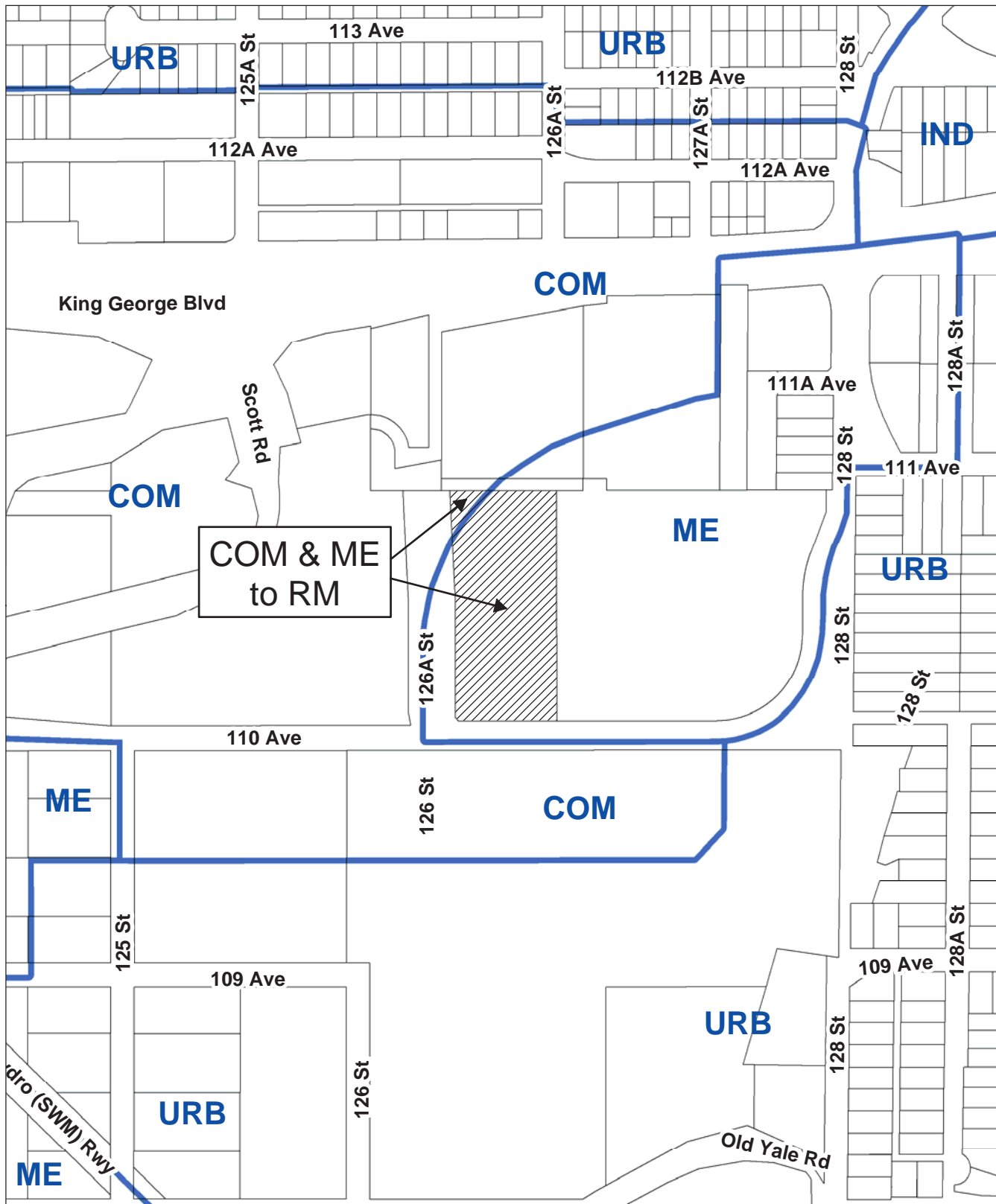
CITY OF SURREY
 PLANNING AND DEVELOPMENT DEPARTMENT

APPROVED BY COUNCIL RESOLUTION R03 - 3189, DECEMBER 8/2003



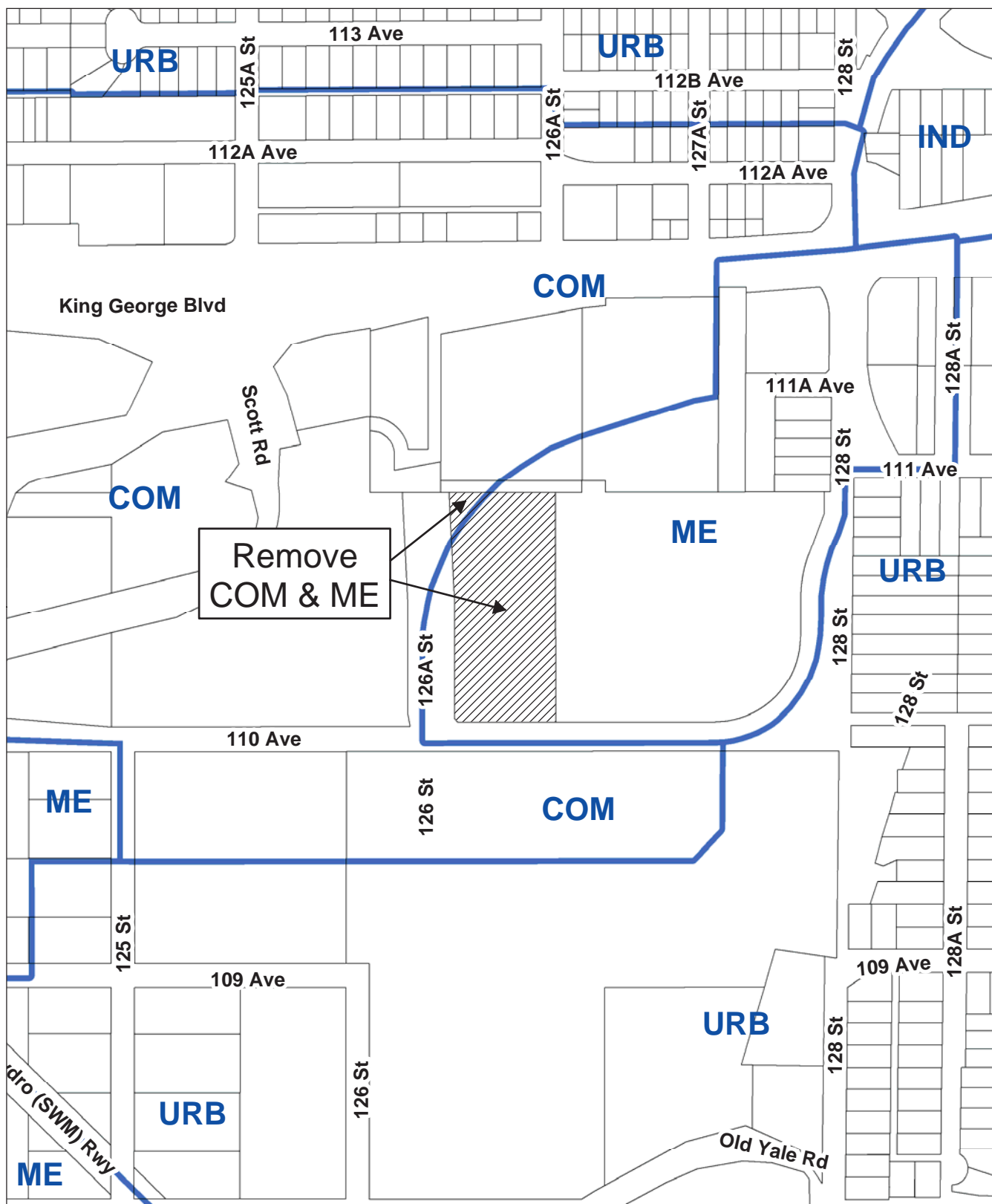
Legend

- | | | |
|--|--------------------------------|--------------------------------|
| SkyTrain | Business Residential Park | Retail Residential |
| Overpass | Commercial | Schools |
| Waterfront Oriented Pedestrian Walkway | Highway Commercial | Institutional |
| Special Study Area | Light Impact Industrial | Skytrain |
| Interchange | Light Industrial Business Park | Transit Oriented Urban Village |
| South Fraser Perimeter Road | Low Density Townhouses | Public Open Space and Park |
| Business Park | Multiple Residential | Waterfront Strip |
| | Port Related Industrial | Overpass |



OCP Amendment 7916-0685-00
Proposed amendment from Commercial & Mixed
Employment to Multiple Residential in Figure 3:
General Land Use Designations





OCP Amendment 7916-0685-00

Proposed amendment by removing
Commercial & Mixed Employment designations
in Figure 42: Major Employment Areas



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD) (BY-LAW NO. 11076)
 (SURREY ZONING BY-LAW, 1979, NO. 5942, AMENDMENT BY-LAW,
 1993, NO. 11076)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 029-684-994
 Lot 1 Section 17 Block 5 North Range 2 West New Westminster District Plan EPP39522

12661 – 110 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, multiple unit residential buildings, ground-oriented multiple unit residential buildings*, and related *amenity spaces, along with ancillary commercial uses*, which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Adam Fulkerson, B.C.L.S. on the 24th day of April, 2017.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses provided such uses are part of a *comprehensive design*:

1. *Multiple unit residential buildings and ground-oriented multiple unit residential buildings*, provided these uses do not constitute a singular use on the lot.
2. The following uses are permitted, provided that any one of these uses, or a combination thereof, are ancillary to a use permitted under Section B.1 of this Zone:
 - (a) *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*;
 - (b) *Personal service uses* excluding *body rub parlours*;
 - (c) *General service uses* excluding *funeral parlours* and *drive-through banks*;
 - (d) *Eating establishments* excluding *drive-through restaurants*;
 - (e) *Neighbourhood pubs*;
 - (f) *Liquor stores*;
 - (g) *Office uses* excluding *social escort services* and *methadone clinics*;
 - (h) *Indoor recreational facilities*;
 - (i) *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
 - (j) *Child care centres*; and
 - (k) *Community services*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the maximum *floor area ratio* shall be increased as follows:
 - (a) Block A: The *floor area ratio* shall not exceed 2.5; and

(b) Block B: The *floor area ratio* shall not exceed 2.3

3. Notwithstanding an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of all the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section D.2.
4. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 85%, excluding air space parcels which shall have a maximum *lot coverage* of 100%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

1. Block A

Use	Setback	<i>Front Yard</i> (West)	<i>Rear Yard</i> (East)	<i>Side Yard on Flanking Street</i> (North)	<i>Side Yard on Flanking Street</i> (South)
<i>Principal Buildings and Accessory Buildings and Structures</i>		5.0 m. [16.5 ft.]	6.0 m. [20 ft.]	4.7 m. [15.5 ft.]	5.0 m. [16.5 ft.]
<i>Principal Buildings and Accessory Buildings and Structures Within Air Space Parcels</i>		0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block B

Use	Setback	<i>Front Yard (West)</i>	<i>Rear Yard (East)</i>	<i>Side Yard on Flanking Street (North)</i>	<i>Side Yard on Flanking Street (South)</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		5.0 m. [16.5 ft.]	6.0 m. [20 ft.]	7.5 m. [25 ft.]	4.7 m. [15.5 ft.]
<i>Principal Buildings and Accessory Buildings and Structures Within Air Space Parcels</i>		0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No.12000, as amended, decks, architectural features and roof overhangs may encroach 1.5 metre [4.5 ft.] into the required *setbacks*.
4. Notwithstanding Sub-section E.17(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than three risers may encroach into the required *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 24 metres [80 ft].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey By-law, 1993, No. 12000, as amended.
2. Notwithstanding Section H.1 of this Zone, the minimum number of *parking spaces* for the *multiple unit residential* and *ground-oriented multiple unit residential* uses for the *Lands* shall be in accordance with the following rates:

Use	Required Parking Spaces
<i>Dwelling Units: 1 bedroom or less</i>	<i>1.0 parking spaces per dwelling unit</i>
<i>Dwelling Units: 2 bedrooms</i>	<i>1.2 parking spaces per dwelling unit</i>
Residential Visitors	<i>0.1 parking space per dwelling unit</i>

3. All required residential *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
4. A minimum of 92% or at least 272 of the required bicycle spaces for Block A and a minimum of 92% or at least 323 of the required bicycle spaces for Block B, must be located in *secure bicycle parking areas* within the *buildings*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within the *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* that are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,000 square metres [1.5 acres]	60 metres [200 ft.]	60 metres [200 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone for the residential portion and the C-5 Zone for the commercial portion.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building Permits* shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building Permits* shall be subject to Surrey Development Cost Charge By-law, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-5 Zone for the commercial portion and the RM-70 Zone for the residential portion.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.

10. Development Permits may be required in accordance with the *Surrey Official Community Plan* By-law, 2013, No. 18020, as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

**SURVEY PLAN TO ACCOMPANY CITY
OF SURREY REZONING BYLAW
No. _____ OF LOT 1 SEC 17 BLK
5 N R 2 W NWD PLAN EPP39522**

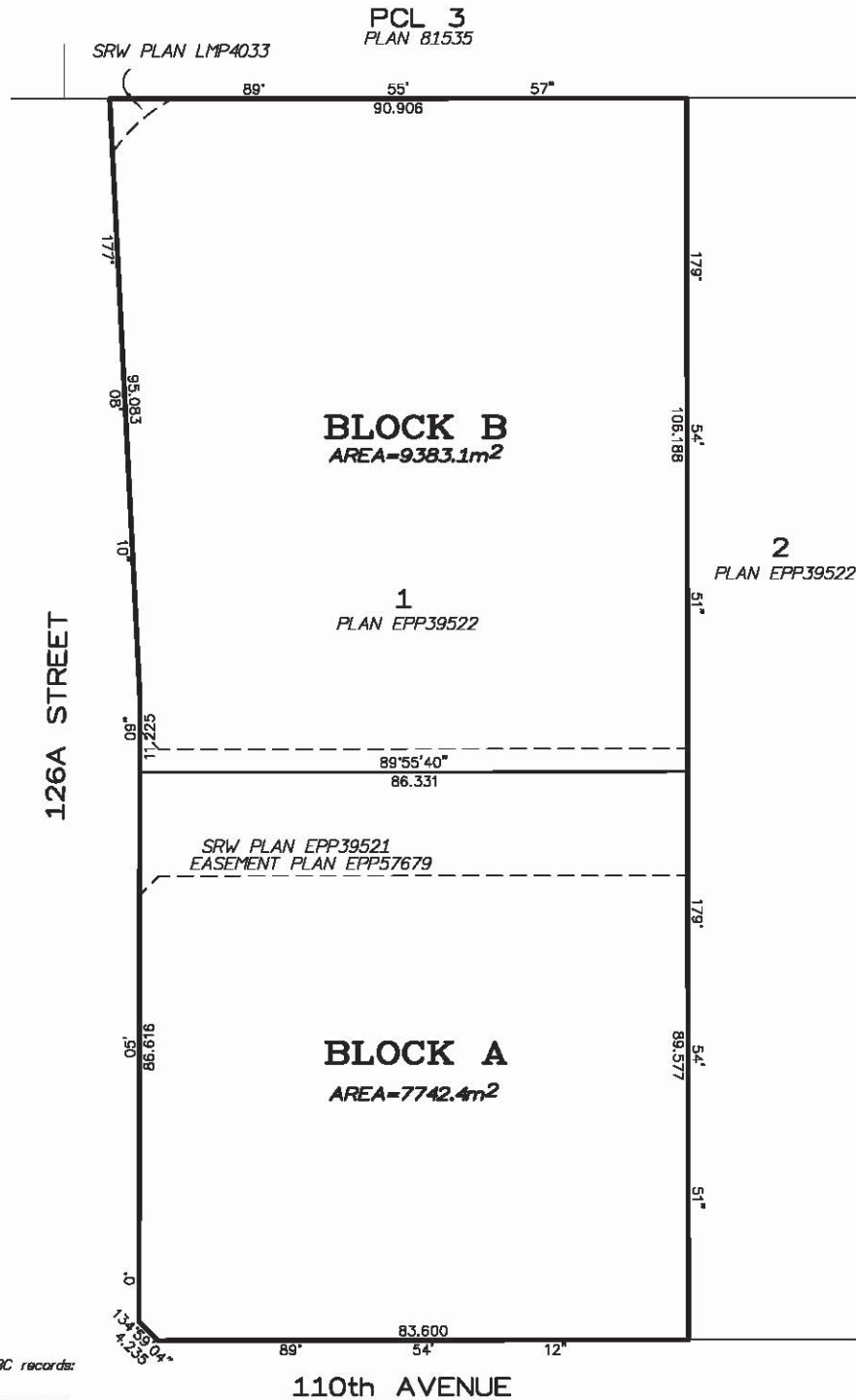
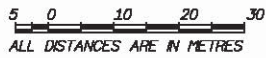
B.C.G.S. 926.026
FOR REZONING PURPOSES

BOOK OF
REFERENCE

ZONE	AREA
BLOCK A	9383.1m ²
BLOCK B	7742.4m ²



SCALE 1 : 750



This plan is based on the following
Land Title and Survey Authority of BC records:
PLAN EPP39522
Grid bearings are derived from Plan EPP39522.

CERTIFIED CORRECT
DATED THIS 24TH DAY OF APRIL, 2017.

_____ B.C.L.S.
M. Adam Fulkerson

