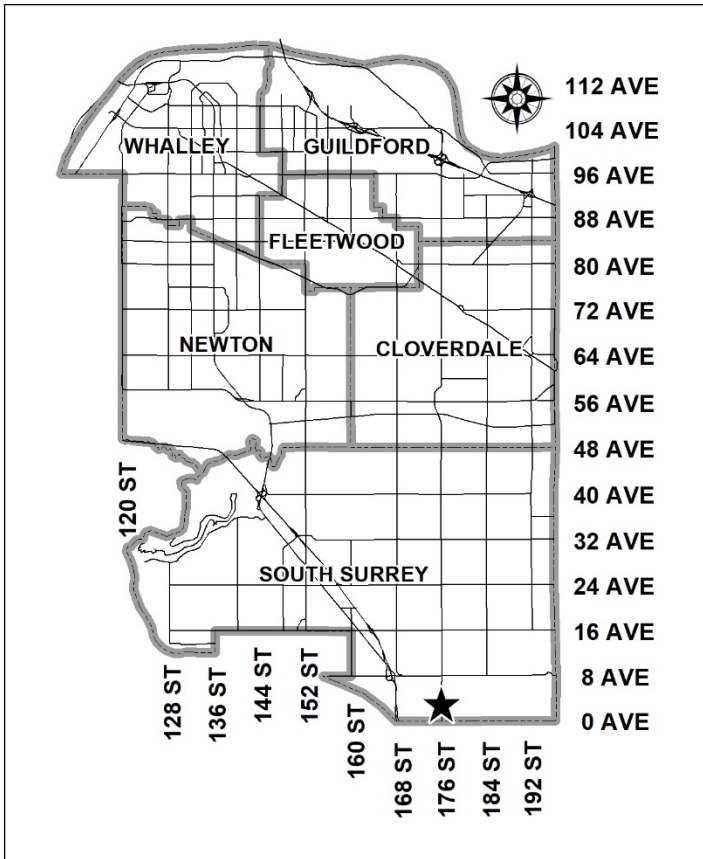


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7916-0679-00

Planning Report Date: June 28, 2021



PROPOSAL:

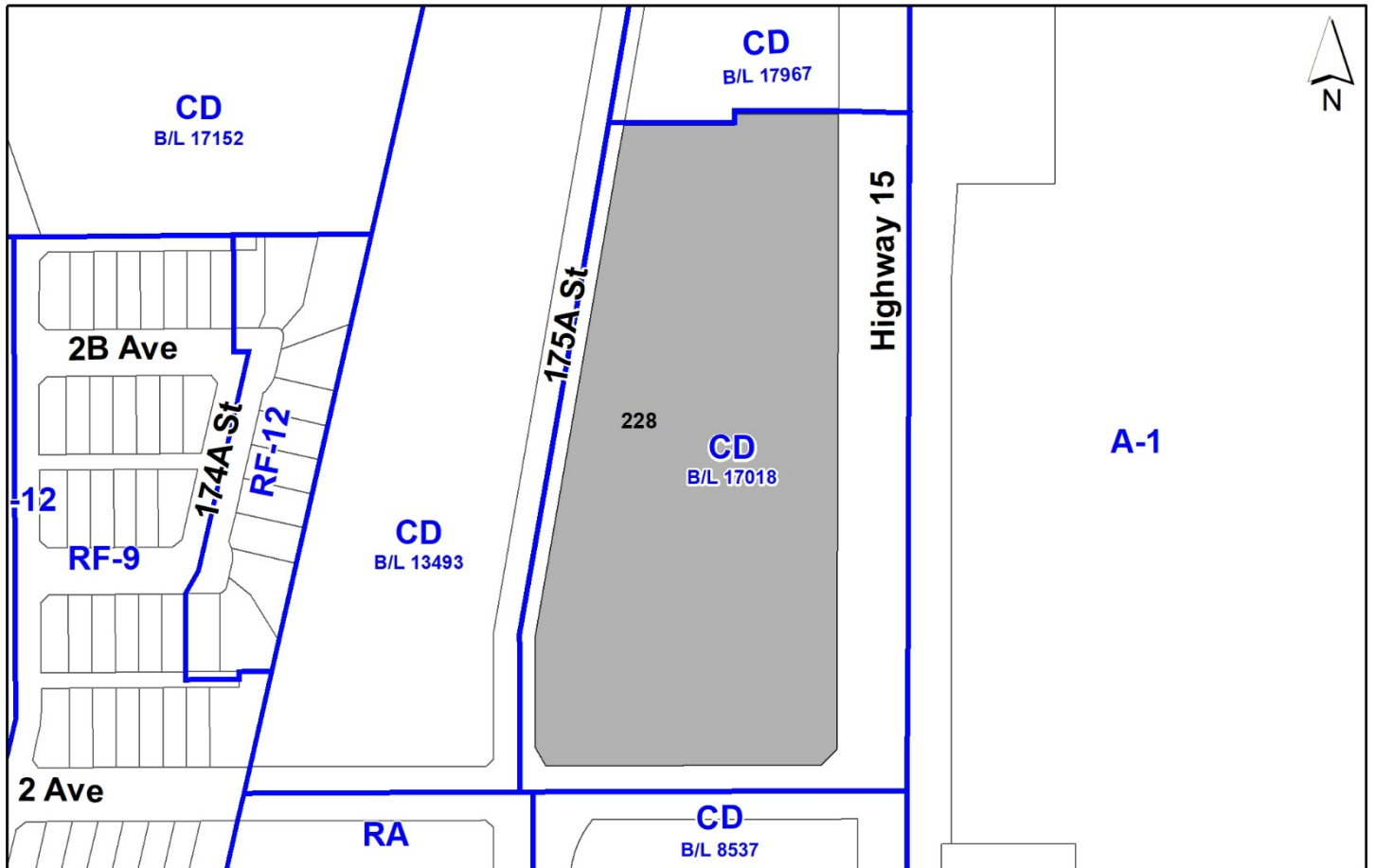
- **OCP Amendment** from Mixed Employment and Commercial to Multiple Residential and Commercial
- **Rezoning** from CD (By-law No. 17018) to CD
- **Development Permit**

to permit the development of a mixed-use development consisting of 39 townhouse units, 77 apartment units and a care facility comprised of 86 senior assisted living units and 96 care rooms, with some a commercial/office building.

LOCATION: 228 - 175A Street

ZONING: CD (By-law No. 17018)

OCP DESIGNATION: Mixed Employment and Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Refer the application to Metro Vancouver upon Council granting Third Reading for consideration of an amendment to the Metro Vancouver Regional Growth Strategy (RGS) designation for a portion of the site, from "Mixed Employment" to "General Urban", making the entire site "General Urban".
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Mixed Employment and Commercial to Multiple Residential and Commercial.
- Proposing an amendment to the Regional Growth Strategy (RGS) for a portion of the site from Mixed Employment to General Urban.

RATIONALE OF RECOMMENDATION

- At the April 24, 2017, Regular Council- Land Use meeting, Council considered a Stage 1 Planning Report for a proposal for an Official Community Plan (OCP) amendment, Regional Growth Strategy (RGS) amendment and to Rezone the site to CD Zone for townhouses, apartments, care facility and a commercial/retail building. Staff was seeking direction on the proposed land use given the departure that this proposal had from existing City policies identified in the Official Community Plan (OCP) and Employment Lands Strategy (2008). Additional information was subsequently provided to Council for this at the September 11, 2017, Regular Council – Land Use meeting (Appendix IX).
- At the September 11, 2017, Regular Council – Land Use meeting, Council subsequently referred the application back to staff to bring forward a report and the proposed bylaws for Council's consideration so that the project could be reviewed in the context of the Official Community Plan:

That staff bring forward a report and proposed bylaws for Council's consideration so that Council can assess the project in the context of the Official Community Plan.

- Since that time staff have worked with the applicant to resolve the issues that Council noted in addition to other site planning considerations. The proposal is now being presented for Council's consideration and for by-law introduction.

- The proposal partially complies the Mixed Employment and Commercial designations in the Official Community Plan (OCP). The proposed amendments include the expansion of the Commercial designation from approximately 4% of the site to 10.9% of the site, with the remainder of the site proposed to be redesignated to Multiple Residential. The proposed amendments will provide housing opportunities, while still providing employment opportunities through the care facility and commercial/office building that are proposed.
- The proposal partially complies with the Mixed Employment and General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS). There is a small northern portion of the site that is already designated General Urban. This proposal includes the redesignation of the remainder of the site so that the entire site would be designated General Urban.
- Amendments from the Mixed Employment designation to the General Urban designation of the RGS are to be referred from the affected municipal government to Metro Vancouver and are classified as a "Type III Minor Amendment". These amendments require an affirmative majority (50%+1) weighted vote of the Metro Vancouver Board but do not require a regional Public Hearing. This step would occur subsequent to Council holding a Public Hearing and granting Third Reading to the proposed development, should the proposal ultimately be supported.
- The proposed density and building form are appropriate for this part of South Surrey.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant has demonstrated community support for the proposal.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density and Official Community Plan (OCP) amendments.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign is high quality and is of an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Mixed Employment and Commercial to Multiple Residential (Blocks A, B and C) and Commercial (Block D) and a date for Public Hearing be set.
2. A By-law be introduced to amend the OCP Figure 42: Major Employment Areas for the subject site by removing the Mixed Employment designation and adjusting the boundary of the Commercial designation for the subject site and a date for Public Hearing be set.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. Council authorize staff to refer the application to Metro Vancouver for consideration of the following upon the application receiving Third Reading: to amend the Metro Vancouver Regional Growth Strategy (RGS) designation for the portion of the site that is designated Mixed Employment to General Urban, resulting in the whole site being designated General Urban.
5. A By-law be introduced to rezone a portion of the subject site as shown as Block A and B on the attached Survey Plan (Appendix I) from "Comprehensive Development Zone (CD)" (By-law No. 17018) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
6. A By-law be introduced to rezone a portion of the subject site as shown as Block C and D on the attached Survey Plan (Appendix I) from "Comprehensive Development Zone (CD)" (By-law No. 17018) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
7. Council authorize staff to draft Development Permit No. 7916-0679-00 generally in accordance with the attached drawings (Appendix I).
8. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) Approval from Metro Vancouver for a Regional Growth Strategy (RGS) amendment for the portion of the site that is designated Mixed Employment to General Urban, resulting in the whole site being designated General Urban;

- (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (i) registration of access easements to ensure access to the proposed shared parking and amenity facilities within the development;
- (j) submission of an acoustical report for the units adjacent to Highway 15 (176 Street) and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture, should public art ultimately not be provided on site; and
- (l) registration of a Section 219 Restrictive Covenant advising future homeowners of the potential farm operations of the adjacent agricultural lands.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant land	Mixed Employment and Commercial	CD (By-law No. 17018)
North:	Commercial development	Commercial	CD (By-law No.
East (Across Hwy 15):	Farmland within the Agricultural Land Reserve (ALR).	Agricultural	A-1
South (Across 2 Avenue):	Commercial development with application for mixed-use development (No. 7919-0349-00)	Commercial	CD (By-law No.
West (Across 175A Street):	Townhouses	Urban	CD (By-law No.

Context & Background

- The site is currently zoned CD (By-law No. 17018), with the majority of the site designated Mixed Employment (approximately 96%) with a smaller portion designated Commercial (approximately 4%) in the Official Community Plan (OCP). The majority of the site is designated Mixed Employment (approximately 96%) with a small portion designated General Urban (approximately 4%) in the Regional Growth Strategy (RGS).
- The site is located between the Douglas NCP and Agricultural Land Reserve (ALR) lands located east of Highway No.15.
- There have been several previous development proposals over the years, from hotel, to business park and commercial shopping centre, but nothing was ever built on the site.
- At the April 24, 2017, Regular Council – Land Use Meeting Council considered a Stage 1 Planning Report, seeking guidance on the proposed land use given the departure that was being proposed from policies identified in the Official Community Plan (OCP).
- At the time of the April 24, 2017, Planning Report, the proposal included development of residential uses in the form of approximately 60 townhouse units, 182 apartment units and 80 memory care rooms, with some ancillary commercial and educational uses.
- A subsequent Planning Report was considered by Council at the Regular Council – Land Use meeting of September 11, 2017 (Appendix IX), further detailing employment opportunities that would result from the proposal.
- Council, at its Regular Land Use meeting of July 24, 2017, passed the following motion (RES. R17-2293):

That staff provide a report at the September 11, 2017, Regular Council - Land Use meeting regarding File No. 7916-0679 located at 228 175A Street to review the potential employment opportunities for the proposed development on this property.

- Council, at its Regular Land Use meeting of September 11, 2017, subsequently passed the following motion (RES. R17-2524):

That staff bring forward a report and proposed bylaws for Council's consideration so that Council can assess the project in the context of the Official Community Plan.

- Since the Regular Council – Land Use meeting of September 11, 2017, the applicant has held an additional Public Information Meeting in 2019, has consulted with the Ministry of Transportation for road network requirements, and has worked with staff to refine the design of the proposal.
- The site consists of one large property, currently vacant and with no trees. The site is relatively flat, sloping gently up from north to south.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing an amendment to the Official Community Plan (OCP) from "Mixed Employment" and "Commercial" to "Multiple Residential" and "Commercial", an amendment to the Regional Growth Strategy (RGS) for the portion of the site that is designated "Mixed Employment" to "General Urban", rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17018) to two new "Comprehensive Development (CD) Zones", and a Development Permit for Form & Character to allow for a mixed-use development with 39 townhouse units, 77 apartment units, a care facility (86 assisted living units + 96 care units) and 1890 square metres of commercial/office space.
- The proposed "Comprehensive Development (CD) Zone" will be based on the "Multiple Residential 30 Zone (RM-30)", "Multiple Residential 70 Zone (RM-70)", "Community Commercial Zone (C-8)" and "Special Care Housing 2 Zone (RMS-2)".
- The proposed development will have 39 townhouse units, 77 apartment units, care facility 182 beds and 1890 square metres of commercial/office space. The site is proposed to be subdivided into two lots: one lot with townhouses and apartments (Lot 1/West), and one lot with care facility and commercial/office building (Lot 2/East). The western lot (Lot 1) is proposed with a Floor Area Ratio (FAR) of 1.0, and the eastern lot (Lot 2), with an FAR of 1.5.
- A total of 355 parking spaces are proposed, consisting of townhouse parking as double garages attached to each unit (78 spaces), 22 surface visitor parking spaces (along the internal road) and 255 underground spaces. The underground and surface visitor spaces are to be shared between proposed Lots 1 and 2.
- The 39 townhouses are proposed along the western portion of the site, in two rows with an access road between these, with 22 units facing 175A Street, and 17 units internal to the site. An indoor amenity building is proposed adjacent the interior road. All units are proposed with double garages, and all units have 3 bedrooms on the upper floor and living area and one bedroom on the main floor, to facilitate aging in place.
- The 77 apartments are proposed on the southwest portion of the site, with vehicular access through the underground parkade at the northwest corner of the building. Pedestrian access is provided through a main lobby centered on the building and which is accessible from both 2 Avenue to the south and the internal road to the north. There are also emergency exits on both the east and west ends of the building. This apartment building is proposed to be a 5-storey building and will include a partial sixth storey. Of the 77 units, 1 is proposed as a studio, 36 as 1-bedroom units and 40 as 2-bedroom units.
- A 5-storey care facility is proposed at the southeast portion of the site, comprised of 86 assisted living units, and 96 care units. The two uses would share the ground floor with ancillary uses, amenity spaces and lobby. Care units are proposed on the southern portion of the building, with a large outdoor amenity space separating the care units from the assisted living units on the second floor. Care units are all studio units, and the assisted living units consist of 15 studio units, 43 1-bedroom units and 28 2-bedroom units.

- The commercial/office building proposes pedestrian access along Highway 15 on the eastern portion of the building, with the lobby and access to the parkade located on the western portion of the building. The ground floor is comprised of 5 retail units, which range from 43 square metres to 92 square metres. The second, third and fourth floors are each divided into 5 separate units, and the fifth floor is one combined unit of 186 square metres.
- The applicant has entered into a partnership with the Seyem' Qwantlen Business Group of the Kwantlen First Nation and also with Kwantlen Polytechnic University (KPU) to provide the following:
 - a First Nations-themed arts and culture café, similar to the Lelem café in Fort Langley; and
 - to provide student placement and apprenticeship opportunities in the proposed memory care and post-secondary teaching facility.

		Proposed			
Lot Area					
Gross Site Area:	2.549 hectares				
Road Dedication:	0.126 hectares				
Undevelopable Area:	n/a				
Net Site Area:	2.423 hectares				
Number of Lots:	2				
Building Height:	8.5 metres to 21 metres				
Unit Density:	89 uph / 36 upa (Lot 1)				
Floor Area Ratio (FAR):	1.0 (Lot 1) 1.5 (Lot 2)				
Floor Area					
Residential:	12,654 square metres (Lot 1)				
Institutional (Care Facility)	15,434 square metres (Lot 2)				
Commercial:	1,890 square metres (Lot 2)				
Total:	29,587 square metres				
Residential Units:					
	Townhouses	Apartments	Assisted Living	Care Units	
Studio:	-	1	15	96	
1-Bedroom:	-	36	43	-	
2-Bedroom:	-	40	28	-	
3-Bedroom:	39	-	-	-	
Total:	39	77	86	96	
Total	298 units				

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:	<p>The School District has advised that there will be approximately 46 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>22 Elementary students at Douglas Elementary School 11 Secondary students at Earl Marriott Secondary School</p> <p>(Appendix III)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by:</p> <ul style="list-style-type: none"> • Summer 2023 for Block A (townhouses) • Summer 2024 for Block B (apartments)
Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	<p>Preliminary approval granted for 1 year on June 01, 2021, subject to:</p> <ul style="list-style-type: none"> • 5 metres of dedication along Hwy No. 15, as well as a 6x6 metres corner cut at 2 Avenue • No access from Hwy No. 15 or 2 Avenue • Building setback of 3 metres
Surrey Fire Department:	No concerns.
Metro Vancouver:	<p>The applicant is proposing an amendment to the Regional Growth Strategy (RGS) designation on a portion of the site, from Mixed Employment to General Urban.</p> <p>The proposed RGS amendment would require an affirmative majority (50%+1) weighted vote of the Metro Vancouver Board but would not require a regional public hearing.</p>
Agricultural and Food Policy Advisory Committee (AFPAC):	The proposal was considered at the at AFPAC meeting on January 14, 2020. No concerns were raised by the committee.
Advisory Design Panel:	The proposal was considered at the ADP meeting on March 12, 2020, and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The proposal includes 2 vehicular accesses on 175A Street, as well as a shared access easement to the development to the north.
- The proposal includes an internal road that connects the two access points, as well as the easement to the north and another internal road between the two rows of townhouses.
- Two entrances to the underground parkade are provided, one on the south side of the site, close to the apartment building, and one on the northeast portion of the site, between the care facility and the commercial/office building.
- A Traffic Impact Study was completed in 2019 by the applicant and approved by both the City of Surrey and the Ministry of Transportation.
- The site is located approximately 400 metres north of the Pacific Border Crossing.
- A Traffic Impact Study ("TIS") was completed in 2019 by the applicant and approved by both the City of Surrey and the Ministry of Transportation. Based on the TIS, the site is anticipated to generate approximately 57 trips in the morning peak hour (equating to approximately 1 vehicle per minute) and 95 trips in the afternoon peak hour (equating to approximately 1-2 vehicles per minute). A TIS was required to be completed by the applicant due to the site's proximity to Ministry of Transportation infrastructure (Highway 15); however, the site-generated traffic is less than the City's typical threshold of 100 trips generated in the peak hour for a TIS submission requirement and as such, traffic impacts are considered to be minimal.
- Based on the findings and recommendations of the TIS, all surrounding intersections were forecasted to operate at acceptable levels of service, and no other improvements to the road network were identified beyond the City's standard site frontage requirements.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The majority of the site is designated Mixed Employment (approximately 96% of the site) in the Regional Growth Strategy (RGS) with the remainder of the site designated General Urban (approximately 4% of the site). The applicant is proposing an amendment to the RGS to designate the entire site as General Urban.

- The proposed RGS amendment would require an affirmative majority (50%+1) weighted vote of the Metro Vancouver Board but would not require a regional public hearing. If Council grants Third Reading to this proposal, then a referral will be made to the Metro Vancouver Board for this aspect of the proposal.

Official Community Plan

Land Use Designation

- The majority of the site is designated Mixed Employment (approximately 96% of the site) in the Official Community Plan (OCP) with the remainder designated Commercial (approximately 4% of the site).
- The proposal includes an amendment to the OCP to redesignate the site to Commercial (approximately 10.9% of the site) and Multiple Residential (approximately 89.1% of the site).

Amendment Rationale

- Residential uses are not permitted within the Mixed Employment designation and thus the proposal necessitates an amendment to facilitate what is proposed.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report. This would be applicable to Blocks A and B (Lot 1), that have a residential component.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.
- The proposed amendment will still provide opportunity for employment within proposed Lot 2 and the commercial/office building and the proposed care facility. The proposed residential uses will help support the existing commercial business in the area, as well as provide a transition to existing residential uses to the west.
- In 2017, at Council's direction, the applicant retained Lumina Services Inc., a consulting firm that specializes in conducting feasibility studies for seniors' housing and health care developments throughout Western Canada. Lumina Services Inc. indicates that the proposed development is expected to provide approximately 136 permanent jobs on the subject site, including approximately 104 positions associated with the seniors' care component, and approximately 32 positions associated with the proposed Lelam Café and proposed retail stores.
- In addition, the applicant advises that the proposed development has the potential to provide more than 100 placements for Faculty of Health students from Kwantlen Polytechnic University (KPU) each year. KPU advises that finding clinical placements for their Health students is challenging and having a site where they could find consistent placements for their students to engage with seniors at all levels of health would be very beneficial.

Themes/Policies

The following OCP policies are being met through the subject application (staff comments are provided in italics):

- B1.32 Ensure individual developments integrate and coordinate building orientation, circulation systems and landscaping elements with adjacent sites.
- B4.7 Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm.

(The proposal incorporates an access easement to facilitate circulation with the existing commercial development to the north. Peripheral buildings are all oriented towards the streets.)

- B6.4 Ensure new development responds to the existing character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(After consultation, the applicant has proposed the western portion of the apartment building at 5 storeys, with a partial sixth storey to the east, to mitigate massing impacts to existing residents to the west.

The majority of the built form interface proposed along 175A Street consists of 2-storey townhouses, similar to the context to the west.)

- B6.6 Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces by:
 - Locating buildings so that they directly face public streets;
 - Placing street-facing retail uses on the ground floor; and
 - Providing doors, windows, and "active" building faces along public streets.
 - Providing a seamless connection from streets and public areas to buildings by designing and constructing the ground floor of buildings to meet adjacent grades and sidewalk levels
 - Avoiding locating parking lots or driveways between buildings and public streets
 - Avoiding blank facades and providing 'eyes on the street' by placing active uses within parts of the building that front onto streets and public spaces.

(The proposed development has residential units facing west and south street frontages, and retail units facing Highway No. 15 on the northeast portion of the site. The driveways connect to internal drive aisles, leaving the public realm interface with buildings and active uses.)

- B6.18 Where there is underground parking, ensure it is safe and accessible.
- B6.20 Incorporate Crime Prevention Through Environmental Design (CPTED) principles and guidelines into the design and review of development projects.

(The proposed development has underground parking that is safe and accessible. Internal connections and spaces between buildings are adequately designed with CPTED principles.)

- C1.2 Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

(The proposed development is of a sufficient density to utilize existing infrastructure systems efficiently.)

- D4.7 Support building designs that allow for mixed use, combining work and living spaces to reduce the need to travel for employment purposes.

(The proposal includes a residential component on Lot 1, and an employment component on Lot 2.)

- E 1.1 Ensure a sufficient supply of employment lands in Surrey, including designated industrial lands, to meet the current and future needs of the local and regional economy.
- E 1.5 Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare.
- E 1.13 Prohibit the conversion of industrial, business park or mixed-employment lands to residential or other non-employment uses.
- E 2.2 Promote economic development to achieve and maintain a balanced ratio of one job for every member of Surrey's labour force.

(The applicant has demonstrated that the Care Facility and Commercial/Office building will provide employment opportunities, with the addition of medical staff, administration staff, housekeeping, and support staff. The care facility alone is expected to provide over 130 jobs, in addition to the jobs expected in the retail and office building.)

- E2.9 Continue partnering with and supporting the efforts of local post-secondary education institutions to expand and ensure that an adequate number of seats and relevant programs are available to meet the needs of students and the local economy.

(A partnership is proposed between the developer, Faculty of Health students from Kwantlen Polytechnic University (KPU) and Seyem' Qwantlen Business Group of the Kwantlen First Nation.)

- F7.3 Integrate the arts into the physical development and evolution of Surrey to create a highly-desired urban environment with an enhanced Sense of Place.
- F7.8 Promote art and excellence in design throughout the city by encouraging public art placements at locations visible to the public.

(The applicant is considering providing the public art on site. The applicant would be required to "top up" the public art budget relative to the \$200,000.00 minimum budget that is required for public art to be located on the site.)

The Kwantlen First Nation will be developing the public art program for the project. The art program will be subject to City review prior to issuance of Development Permit. It is intended that some of the public art will be situated on the site in locations that naturally assist in wayfinding.)

CD By-law

- The applicant proposes to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 17018) to two separate "Comprehensive Development Zones (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the proposed residential and commercial development on the subject site. The proposed CD By-laws identify the uses, densities and setbacks proposed.
- The CD By-law will have provisions based on the "Multiple Residential 30 Zone (RM-30)", "Multiple Residential 70 Zone (RM-70)", "Community Commercial Zone (C-8)" and the "Special Care Housing 2 Zone (RMS-2)".
- Two separate CD By-laws are being proposed: one for Blocks A and B, with residential uses, and one for Blocks C and D, with care facility and commercial/office uses. For ease of reference, four tables are provided below, one for each Block.

Block A

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone and the proposed CD By-law (Block A) is illustrated in the following table:

Zoning	RM-30 Zone (Part 22)	Proposed CD Zone
Unit Density:	75 dwellings per hectare	40 units per hectare
Floor Area Ratio:	1.0	0.9
Lot Coverage:	45%	56%
Yards and Setbacks	Front Yard: 4.5 metres Rear Yard: 6.0 metres Side Yard: 6.0 metres Side Yard on Flanking Street: 4.5 metres	East Yard: 2.75 metres North Yard: 0.7 metres South Yard: 7.5 metres West Yard (175A St): 4.5 metres
Principal Building Height:	13 metres	11.5 metres

Permitted Uses:	(a) Ground-oriented multiple unit residential buildings. (b) Child care centres, provided such centres: i. Do not constitute a singular use on the lot, and ii. Do not exceed a total area of 3.0 square metres per dwelling unit on the lot.	(a) Ground-oriented multiple unit residential buildings. (b) Child care centres, provided such centres: i. Do not constitute a singular use in this Block, and ii. Do not exceed a total area of 3.0 square metres per dwelling unit in this Block.
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Indoor Amenity:	3 m ² per unit (117 m ² for 39 units)	The proposed 135 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	3 m ² per unit (117 m ² for 39 units)	The proposed 423 m ² meets the Zoning By-law requirement.

Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential Ground-Oriented:	78	78
Residential Visitor:	8	8 (provided on Lot 2)
Total:	86	86
Tandem (%):	Not permitted	n/a
Bicycle Parking		
Residential Visitor:	6	6

- The same land uses, parking and amenity spaces are being required, as standard under the RM-30 Zone, with the exception that visitor parking will be provided on the adjacent Lot 2, through easement agreements for access and parking.
- The building setbacks have been changed to reflect the proposed lot lines, and to provide a more urban interface. Along 175A Street, the front yard setback has been maintained in accordance with the requirements identified in the RM-30 Zone at 4.5 metres. All the other setbacks are internal to the development, as Block A is surrounded by Block B (apartments) to the south (7.5 metres), Block C (care facility) to the east (2.75 metres) and Block D (commercial/office) to the north (0.7 metres).
- The Floor Area Ratio is proposed at 0.9 FAR, which is less than the 1.0 permitted under the RM-30 Zone. The unit density is also reduced from 75 units per hectare to 40 units per hectare to accommodate a more appropriate building interface with the existing townhouses to the west. Tandem parking has been prohibited, to reflect larger units and to fit better within the context.
- The proposed building height of 11.5 metres, reflects the two-storey form that is proposed, which is less than the permitted 13 metres in the RM-30 Zone. The floorplans also provide only one set of stairs in each unit, reflecting the applicant's desire to make the units senior friendly, with less stairs and a master bedroom on the main floor.

Block B

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law (Block B) is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	n/a	n/a
Floor Area Ratio:	1.50	2.1
Lot Coverage:	33%	40%
Yards and Setbacks	7.5 metres	North/East Yard: 7.5 metres South Yard: 4.5 metres West Yard (175A St): 4.5 metres
Principal Building Height:	50 metres	22 metres
Permitted Uses:	(a) Multiple unit residential buildings and/or ground oriented multiple unit residential buildings. (b) Child care centres, provided such centres: i. Do not constitute a singular use on the lot, and ii. Do not exceed a total area of 3.0 square metres per dwelling unit on the lot.	(a) Multiple unit residential buildings and/or ground oriented multiple unit residential buildings. (b) Child care centres, provided such centres: i. Do not constitute a singular use in this Block, and ii. Do not exceed a total area of 3.0 square metres per dwelling unit in this Block.
Indoor Amenity:	3 m ² per unit (231 m ² for 77 units)	The proposed 162 m ² + 82 m ² shared on Lot 2 (Block C) meets the Zoning By-law requirement. CD By-law requires at least 65% of the indoor amenity space required for Block B be provided on Block B.
Outdoor Amenity:	3 m ² per unit (231 m ² for 77 units)	The proposed 407 m ² meets the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential Ground-Oriented:	2 per unit X 12=24	1.35 per unit x 77 = 104
Residential:	1.3 per unit X 30 (studio and 1-bedroom) = 39 1.5 per unit X 35 (2-bedroom) = 53	
Residential Visitor:	0.2 X 77 = 15	
Total:	131	104

Bicycle Parking		
Residential Secure Parking:	92	92
Residential Visitor:	6	6

- The land uses are consistent with what is permitted under the RM-70 Zone.
- The proposed setbacks reflect the proposal and provide a more urban interface. Along 175A Street, the front/west yard setback would be 7.5 metres under the RM-70 Zone but are reduced to 4.5 metres. The North and East setbacks have remained 7.5 metres, and the southern setback, along 2 Ave, has been reduced to 4.5 metres.
- The Floor Area Ratio is proposed at 2.1 FAR, which is more than the 1.50 FAR that is permitted under the RM-70 Zone. The overall density of Lot 1 however is 1.0 (Blocks A and B combined), with the density having been increased on Block B and reduced on Block A. The combined density of 1.0 FAR is less than the 1.5 FAR permitted in the proposed Multiple Residential OCP designation and the RM-70 Zone, and consistent with the overall density of the RM-30 Zone. Tandem parking has been prohibited, and the underground parkade and visitor parking will be shared with Lot 2. Lot coverage has been increased from 33% to 40% to reflect the building footprint that is proposed.
- The proposed building height of 22 metres, reflects the applicants' proposal for a five-storey building (partial sixth storey), which is less than the maximum 50 metre building height permitted under the RM-70 Zone.
- For amenity spaces, all the required outdoor amenity space for Block B is provided on Block B, on the rooftop, but the indoor amenity space is proposed to be shared with Block C, on Lot 2. A total of 162 square metres of the 231 square metres provided, with an additional 82 square metres shared on Block C (lot 2).
- The proposed CD By-law requires at least 65% of the indoor amenity space required for Block B be provided on Block B. This will ensure residents have easy on-site access to the majority of the required amenity, while still benefitting from increased amenities by sharing some space with the care facility.
- Resident parking is being provided with shared access easement through the parkade with Lot 2. There are two accesses provided to the parkade, one on Block B, and one on Block D. Visitor parking is to be shared between all Blocks, both at the surface and underground levels. As the units are being targeted to seniors, the parking requirements has been reduced to an overall 1.35 spaces per unit, and visitor parking spaces are being shared with the care facility and commercial/office building.

- The applicant is proposing to provide a total of 341 parking spaces on-site, with parking to be provided for the proposed uses as follows:
 - The townhouses, medical office and retail uses are proposed to be parked as per the Zoning Bylaw requirements;
 - Apartment uses are proposed to be parked at a rate of 1.35 stalls per dwelling unit, in consideration of demonstrated reduced parking demand for anticipated independent living uses;
 - Assisted living units are proposed to be parked at a rate of 0.55 stalls per sleeping unit, based on data from regional parking studies on similar care facilities; and
 - Care units are proposed to be parked at a rate of 0.4 stalls per sleeping unit, based on data from regional parking studies on similar care facilities.
- With the exception of the townhouses residential parking, all other parking will be shared through easements, which further supports the proposed reductions through differing temporal peak parking demands. Based on demonstrated reduced parking demand from regional parking studies on similar facilities, staff are supportive of the proposed parking arrangement and rates.

Block C

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RMS-2 Zone and the proposed CD By-law (Block C) are illustrated in the following table:

Zoning	RMS-2 Zone (Part 29)	Proposed CD Zone
Unit Density:	n/a	n/a
Floor Area Ratio:	1.0	1.8
Lot Coverage:	45%	50%
Yards and Setbacks	7.5 metres	North/West Yard: 0.30 metre South Yard (2 Avenue): 4.5 metres East Yard (Hwy No. 15): 3.0 metres
Principal Building Height:	13 metres	22 metres

Permitted Uses:	<p>1. Care facilities.</p> <p>2. One dwelling unit per lot provided that the dwelling unit is:</p> <p>(a) Contained within the principal building; and</p> <p>(b) Occupied by the owner or the owner's employee for the operation of the care facility.</p> <p>3. Accessory uses including the following:</p> <p>(a) Personal service uses, limited to barbershops and hair salons;</p> <p>(b) Child care centres;</p> <p>(c) Office uses limited to physical and mental health services on an out-patient basis, medical and dental offices, health clinics and counselling services, but excluding methadone clinics;</p> <p>(d) Eating establishment provided that the seating capacity shall not exceed 35 and the said eating establishment is not licensed by the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, as amended; and</p> <p>(e) Convenience store.</p>	<p>(a) Care facilities.</p> <p>(b) Accessory uses including the following:</p> <p>i. Personal service uses, limited to barbershops and hair salons;</p> <p>ii. Child care centres;</p> <p>iii. Office uses limited to physical and mental health services on an outpatient basis, medical and dental offices, health clinics and counselling services, but excluding methadone clinics;</p> <p>iv. Eating establishment provided that the seating capacity shall not exceed 35 and the said eating establishment is not licensed by the Liquor Control and Licensing Act, R.S.B.C. 1996, chapter 267, as amended; and</p> <p>v. Convenience store.</p>
Indoor/Outdoor Amenity:	Regulated by Fraser Health through the Community Care and Assisted Living Act.	
Parking (Part 5)	Required	Proposed
Number of Stalls		
Assisted living:	0.55 per unit x 86= 47	47
Care units:	0.4 per unit x 96= 38	38
TOTAL:	85	85
Bicycle Parking		
Residential Secure Parking:	112	112
Residential Visitor:	6	6

- The same land uses are proposed from the RMS-2 Zone, except for the care taker dwelling unit, which has been removed.

- The building setbacks are proposed to reflect the proposed lot lines, and to provide a more urban interface. Along 2 Avenue, the setback is reduced to 4.5 metres, 1 metre to the north, 0.30 metres to the west within internal lot/Block lines and 3.0 metres along Highway No. 15.
- The Floor Area Ratio is proposed at 1.8 FAR, increased from the 1.0 of the RMS-2 Zone. The overall density of Lot 2 is 1.50, with the density increased on Block C (to 1.8 FAR) and reduced on Block D (to 0.7 FAR).
- Lot coverage has been increased from 45% to 50% to reflect the building footprint that is proposed.
- Underground parkade and visitor parking will be shared with Lot 1, and within both Blocks on lot 2. Overall, there are 22 parking spaces provided as surface parking, along the western internal lane, fronting the care facility. There are an additional 241 underground parking spaces, for a total of 263 parking spaces to be shared between all Blocks, and the additional 78 townhouse residential parking spaces (total 341 spaces provided on the entire site).
- The proposed building height of 22 metres, is increased from the 13 metres permitted in RMS-2 Zone, and reflects the proposed five storey building form, and allows for two separate wings for the assisted living (north) and the full care units (south) on the third, fourth and fifth floors.
- Amenity spaces are not required by the Zoning By-law, as care facilities are regulated by Fraser Health through the Community Care and Assisted Living Act.

Block D

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-8 Zone and the proposed CD By-law (Block D) is illustrated in the following table:

Zoning	C-8 Zone (Part 36)	Proposed CD Zone
Unit Density:	n/a	n/a
Floor Area Ratio:	0.80	0.7
Lot Coverage:	50%	15%
Yards and Setbacks	7.5 metres	North/West Yard: 10 metres South Yard: 15 metres East Yard (Hwy No.15): 3.0 metres
Principal Building Height:	12 metres	22 metres

<p>Permitted Uses:</p>	<ol style="list-style-type: none"> 1. Retail stores excluding the following: <ol style="list-style-type: none"> (a) adult entertainment stores; and (b) secondhand stores and pawnshops. 2. Personal service uses excluding body rub parlours. 3. General service uses excluding funeral parlours and drive-through banks. 4. Beverage container return centres provided that: <ol style="list-style-type: none"> (a) the use is confined to an enclosed building or a part of an enclosed building; and (b) the beverage container return centre does not exceed a gross floor area of 418 sq. metres. 5. Eating establishments excluding drive-through restaurants. 6. Neighbourhood pubs. 7. Liquor store. 8. Office uses excluding the following: <ol style="list-style-type: none"> i. social escort services ii. methadone clinics iii. marijuana dispensaries 9. Parking facilities. 10. Automotive service uses of vehicles less than 5,000 kilograms G.V.W., provided that such use is associated with a use permitted under Section B.1 of this Zone. 11. Indoor recreational facilities. 12. Entertainment uses excluding arcades and adult entertainment stores. 13. Assembly halls. 14. Community services. 15. Child care centres. 16. One dwelling unit per 	<ol style="list-style-type: none"> (a) Retail stores excluding the following: <ol style="list-style-type: none"> i. Adult entertainment stores; and ii. Secondhand stores and pawnshops. (b) Personal service uses excluding body rub parlours; (c) General service uses excluding funeral parlours and drive-through banks; (d) Eating establishments excluding drive-through restaurants; (e) Office uses excluding the following: <ol style="list-style-type: none"> i. Social escort services ii. methadone clinics iii. marijuana dispensaries (f) Indoor recreational facilities; (g) Entertainment uses excluding arcades and adult entertainment stores; (h) Community services; (i) Child care centres; (j) Adult educational institution; and (k) Cultural Uses.
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	lot provided that the dwelling unit is: (a) Contained within the principal building; and (b) Occupied by the owner or the owner's employee, for the protection of the businesses permitted on the lot.	
	17. Cultural Uses	
Parking (Part 5)	Required	Proposed
Number of Stalls		
Medical Offices:	3.5 per 100 square metres X 1,498 square metres= 53	53
Retail:	3 per square metres X 392 square metres = 12	12
Total:	65	65
Bicycle Parking		
Residential Secure Parking:	0	6
Residential Visitor:	0	5

- Most of the proposed uses are the same as those that are permitted under the C-8 Zone, with the addition of an Adult educational institution. This is intended to support the partnership with Kwantlen Polytechnic University (KPU). Additionally, a number of uses have been removed as they are not considered as appropriate at this location, or due to a lack of parking to support these:
 - Beverage container return centres;
 - Neighbourhood pubs;
 - Liquor store;
 - Parking facilities;
 - Automotive service uses;
 - Assembly Halls; and
 - Dwelling unit for caretaker.
- The building setbacks are proposed to reflect the proposed lot lines, and to provide a more urban interface. Along Highway No. 15, the setback has been reduced to 3.0 metres to reflect a more urban interface, and setbacks have been increased to 15 metres on the south yard, and 10 metres on the north and west setbacks. It should be noted that the south and west yards are internal setbacks and thus would interface with future tenants of this development.
- The proposed Floor Area Ratio for Block D is 0.7 FAR, which is less than the 0.8 FAR identified in the C-8 Zone. The gross density of Lot 2 is 1.50 (inclusive of both Blocks C & D), which is reflective of an increased density on Block C, and a reduced density on Block D. The overall density for Lot 2 at 1.5 FAR complies with the proposed OCP designation of Multiple Residential and Commercial for the site.

- Lot coverage has been reduced from 50% to 15% to reflect the building footprint that is proposed.
- The underground parking structure and visitor parking are proposed to be shared within Lot 1, and within both Blocks on Lot 2. The only parking not being shared will be the residential parking for the townhouses, which are provided within each building envelope.
- The proposed building height of 22 metres, is higher than the 12 metres that is permitted under the C-8 Zone but reflects the proposed five storey building form. This height is consistent with the building height of the proposed care facility on Block C.
- The applicant is interested in facilitating a small-scale drug store on the site. Drug stores are permitted as retail uses, but as there is an existing drug store on the site to the north at 376 175A Street, a variance will be required to facilitate this use which is considered through the CD Zone. Under Part 4 General Provisions, of the Zoning By-law, Section E.28, the minimum separation distance between drug stores or small-scale drug stores or methadone dispensaries is reduced from 400 metres to 10 metres on the subject site.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than is permitted under the sites OCP designation. This would be applicable to Blocks A and B (Lot 1) only where residential uses are proposed (townhouse and apartment building). Lot 2, consisting of commercial and institutional uses is exempt from Tier 2 contribution.
- The applicant will be required to provide a Tier 2 contribution consistent with approved City policies prior to Final Adoption should the proposal be supported by Council. The contribution will be payable at the rates and in accordance with the practices that are in affect at the time the project is considered for Final Adoption of the associated By-laws.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As the subject application was instream on April 10, 2018, the contribution does not apply.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- The applicant also has the option to provide public art on-site, depending on the construction value, and on the value of public art. The Kwantlen First Nation will be developing the public art program for the project. The art program will be subject to City review prior to issuance of the Development Permit. It is intended that some of the public art will be situated on the site in locations that naturally assist in wayfinding.
- Should the application receive preliminary approval, the applicant will engage with the City's Public Art program to initiate the process. Should the public art ultimately not be proposed on site, then a Restrictive Covenant would be required.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 17, 2017, April 01, 2019, and June 04, 2021, and three Development Proposal Signs were installed on February 23, 2017, and updated on April 05, 2019.
- In April 2019, staff received a letter signed by several owners at Douglas Point Townhouses, which are located to the west, across 175A Street. Letters were submitted by the Strata, from each unit, expressing concerns over the number of units, noise, and building height.
- In April 2019, staff also received support from businesses directly adjacent the site to the north, supporting the addition of more residents and customers to the area.
- The subject development application was reviewed by Little Campbell Watershed Society (LCWSS). The LCWSS had no significant concerns, given that 100% infiltration is to be achieved on the site, and with the provision of employment opportunities through the proposed care facility, and with the increased amount of planting and landscaping that is proposed on the site.
- Regarding the most recent pre-notification letters sent in June 2021, staff has received four emails, three with concerns and one with support from a business looking to relocate to the proposed commercial building. The concerns raised in the other three emails are:

- Noise and timelines

(Staff provided additional information regarding timelines)

- Amendment from Mixed Employment to Multiple Residential, and departure from policies
- Traffic and changes to the neighbourhood

(Staff provided additional information regarding Council's previous direction for the subject application and for the rationale provided in this report)

Public Information Meeting

The applicant held two Public Information Meetings (PIM), one on March 22, 2017, and another one on September 12, 2019.

The 2017 PIM was addressed in the original Planning Report from April 24, 2017 (Appendix IX, includes both reports from April 24, 2017, and Additional Planning comments from September 11, 2017), so this report will focus on the second meeting, held on September 12, 2019. The meeting was held on a Thursday, from 5 pm to 7 pm at the Hazelmere Golf Club in South Surrey. Approximately 20-25 persons attended with 20 people signing the attendance sheet. This was reduced from the 2017 PIM, which had 50-60 persons attending, and 30 signing the attendance sheet.

At the time of the 2019 PIM, the proposal included 43 townhouses, 81-unit independent living apartment building, and a care facility with 86 assisted living units and 91 care units, and a commercial/office building was proposed with 1,497 square metres of medical office space and 398 square metres of commercial space.

The application has since been revised their proposal to include 39 townhouses, 77 apartments, 86 assisted living and 96 care units. The medical office and commercial building is quite similar, currently proposed at 391 square metres of commercial/retail and 1,498 square metres of medical offices. As no significant concerns were raised, and changes to the proposal were minimal, no additional PIMs were requested of the applicant.

Comments provided included:

- Five people expressed support for the proposal;
- One person expressed concern over traffic, and would like to see no parking allowed on 2 Avenue and 175A Street;
- One person expressed concern over traffic, density, and height, but was not "against" the project;
- One nearby resident called to express support and regretted not attending; and
- Residents noted a medical/professional building would be a welcome addition to the area.

(The applicant has addressed most of the concerns raised, particularly regarding built form interface. Most of the frontage proposed at five storeys has been positioned away from residents, along 2 Avenue and Highway No. 15, with some interface at the corner of 2 Avenue and 175A Street. The majority of the interface along 175A Street are two-storey townhouses. The partial sixth storey on the apartment building is located on the eastern portion of the building, adjacent the proposed care home and away from existing townhouse residents on 175A Street.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.

- The applicant has worked with staff to improve amenity spaces and circulation between buildings, and address building height concerns and transitions, while achieving a target unit count.
- The site is divided into 4 uses: townhouses (Block A) along the west portion of the site, apartments (Block B) at the southwest corner, the care facility (Block C) on the southeast corner, and a commercial/office building on the northeast corner (Block D).
- Two entry points from 175A Street will connect pedestrians, cyclists and vehicular access to the site and will also provide firefighting access. Numerous clear and distinct east to west pedestrian connections are provided for access from the existing northern and western communities. The main floor retail glazing on the commercial building is transparent for the portions facing Highway No. 15 and the internal road and offer an opportunity for socialization on the northeast public plaza. It also serves as a prominent pedestrian connection from the 176 Street (Highway 15) public sidewalk to this site and the retail neighbours to the north.
- The majority of the main floor space of the assisted living and care buildings face the highway and the east internal road and are designated for amenities and social activities. Plentiful glazing is used to activate the street-facing facades along Highway No. 15, where vehicle queuing occurs, and pedestrian activity is less frequent. Windows and frequent entries engage the east internal road and contributes to the site's CPTED strategies.
- Two rooftop gardens, provided at the condo and assisted living / care buildings, provide semi-private spaces for residents, caregivers and visitors. Additional ground level outdoor amenity spaces are provided throughout the site. The project aims to integrate the many different users of the various buildings in order to create a harmonized and mutually beneficial experience for all.

Block A (Townhouses)

- The 2 storey, 39-unit townhomes portion of the project is respectful in scale to the existing gated townhome development across 175A street. The proposed concept of eight clusters of Townhomes provides permeability throughout the site which is not intended to be gated. Townhome front doors will face both 175A street and the internal road.
- All units are proposed with 4 bedrooms, which includes a master on the main floor. Units range in size between 160 square metres and 165 square metres.
- The townhome expression is contemporary modern Nordic and contextually appropriate in design and materiality for its simplistic forms with a strong residential typology. Adjacent units are mirrored but still varied and differentiated through material choice and roof and balcony articulation. This creates individual identity of each unit through subtle differences.

Amenity Spaces - Block A (Townhouses)

- A total of 135 square metres of indoor amenity space is provided, exceeding the 117 square metres that is required. This space is provided at the south portion of the townhouse site, adjacent to a large outdoor amenity space of 423 square metres which also exceeds the minimum 117 square metres that is required.
- The townhome amenity space is open on three sides and located directly adjacent the outdoor amenity space. The building features a large canopy and a glazed overhead door that unites the outdoor garden and indoor spaces. The design features elements that complement the other building on site such as the fin expression of the canopy and the use of brick.

Block B (Apartments)

- The proposed 77-unit five and a half storey apartment building is stepped back after the fourth storey of the southwest corner to be sensitive to the immediate townhome community across 175A Street. It is again stepped back at the uppermost storey mid-block, to further transition the scale. Along the 2 Avenue frontage, the building massing is visually divided up into smaller portions according to the silhouette of the stepping building height. The building exterior modulates its vertical expression with rectilinear frames that begin at the ground plain vertically and then turn horizontally to envelope each distinct massing component. The overall appearance is an assembly of related silhouettes at varying scales. The staggered balconies (that act as shading devices) and privacy screens on the south and north building elevations further articulate and apply a human scale.
- The silhouette framing elements are replicated at a smaller 2-storey scale at the ground level to identify the primary entrances of the building and individual unit patios off the street, which provides a frequent rhythm of activity at street level. The main entry canopies are visible both from the internal road and 2nd Avenue. The corridor on levels 2 to 5 are feature windows to invite natural light. Bathrooms are designed to adaptable levels for ease of movement and potential assistance with bathing.
- Units range in size from a 43-square-metre studio, to 72-square-metre 2-bedroom units. There is only one studio, located on the ground floor, and all other floors are a mix of one-bedroom (total of 36 units) and two-bedroom units (total of 40 units).

Amenity Spaces - Block B (Apartments)

- For indoor amenity space, a total of 162 square metres are provided in the building, of the required 231 square metres. For the remainder, the amenity spaces will be shared with the care facility, to also promote integration between the two sites.
- For outdoor amenity space, a total of 407 square metres is provided, which exceeds the required 231 square metres. A rooftop amenity space with washrooms and high glass wind protection provides comfortable outdoor gardening and social space for active seniors.

Block C (Care Facility)

- The care facility building provides both assisted living and care units. The two buildings are connected at the podium base with a shared commercial kitchen and dining areas. The entire main floor is assigned with amenity and administration functions with visibility on all sides.
- At level 2, the building splits apart the two residential typologies to provide a shared rooftop amenity area overlooking the agricultural lands to the east. As this outdoor area receives morning and afternoon sunlight, it becomes an important interaction gathering space for seniors, staff, families, and caregivers. Both buildings have level 5 stepbacks.
- The assisted living portion of the building has units ranging from 37 square metres to 77 square metres, with a total of 15 studio units, 43 one-bedroom units and 28 two-bedroom units.
- The full care portion of the building has units ranging in size from 28 square metres to 49 square metres.
- The care building recognizes the importance of the 2 Avenue and Highway No. 15 corner by anchoring with a simple soft-curved and wood cladding façade that is framed in with a fascia band that begins at the ground and wraps the first 4. Vertical red coloured accents at the south west and north east corners distinguish this portion of the building massing from the assisted living portion, divided by the shared rooftop amenity.
- The assisted living building also features framing and vertical elements that shares a similar language with the care building yet is distinct in its own execution using an alternate application of colour and materials. Recesses in plan provide the opportunity, along with the frames, to change material and modulate the long building elevation. Roof line variation is achieved through varied roof projections over usable and non-usable terraces.
- Both main entries are provided off the eastern internal road with a large canopy structure that is useful for seniors pick up and drop off at grade.

Amenity Spaces - Block C (Care Facility)

- For the care facility (full care and assisted living), no indoor amenity space is required in the Zoning By-law, as it is regulated by Fraser Health, depending on the programming offered. The following programming is proposed: Expansive dining area with commercial kitchen, Multipurpose rooms, Fitness Studio, Arts & Craft room, Family room, Hair salon, Podiatric room, Library / Computer room, Music room, Pool table room, Bistro, Private dining, Meeting / flex rooms, Seniors Daycare / flexible community space, Gallery, Home support.
- For outdoor amenity, there is a landscaped rooftop garden provided at level 2 that offers crucial outdoor space for exercise, gardening and social activities. Additional supervised and secure outdoor space is provided at levels 3 & 4 of the care building that will serve memory care patients.

Block D (Commercial/Office)

- The main floor is designed for small retail, exemplified with its use of pilasters to define each shopfront. Extensive glazing provides full transparency into these units and is doorway connected to both the highway and the northern outdoor plaza / green area.
- The base of the building features continuous weather protection above the shopfront and maximum glazing, contrasted with the solid appearing brick pilasters. Upper levels are designed for medial and associated use offices that will service the community. The building is designed to be contemporary with a mix of modern and traditional materials capped with an integrated mono pitched roof that flows down the south elevation and staggered windows.
- The inspiration of the building paneling colour accents is taken from the changing colour of the agricultural fields to the east of the site, while dark brick ties the materiality to the assisted and care building facing the highway, but in a different colour variation.

Landscaping

- For seniors, walking is regarded as one of the best activities to strengthen the body and improve mental health. In the Weave project, walking opportunities have been maximized by adding safe connecting pathways between buildings and paved pedestrian crossings. Also, the experience of the walking system has been enriched by various methods; planted mounds and curving pathways give the walking experience of mystery and discovery. Pedestrians' views keep changing and new scenery. In planting design, bright color combinations, fragrance and abundant spatial experiences are especially focused to enrich all senses.
- A huckleberry maze is added between the care facility building and the condominium, which not only enhances elders' walking experience, but also provides a natural play opportunity for visiting children. It is located beside two play equipment to enhance kid's play opportunities. Seating covered by trellis and a picnic table are added near driveway entrances, building entrances, site entry walkway entrances from streets and along care facility building frontage which provides seniors or guests the opportunity to rest and socialize.
- Along Highway No. 15, the building elevation is intended as a primary frontage. A commercial sidewalk interface with minimum 4 metre setback to the street has been designed. Two rows of trees act as a visual buffer from street. Inground 2 metres by 4 metres planters running parallel to Highway No. 15 with 4 metres length walk-through between ensure physical accessibility. Seating and bike racks added in walk-through areas diversify the public area's programs. The northern outdoor area is treated as a public plaza with lighting and seating, which connects the internal walking system to the street frontage.
- Along the interfaces of townhouse, the entries are separated from the road with a grade transition, with Zenwall wall, shrub plantings and a sidewalk. All the retaining walls are kept lower than 0.6 metres and at least 1 metre apart. These plantings would provide screening along the lower edge of the building and provide a green transition to the public.

- Beside different walking experiences and plenty of seating opportunities, various programs are proposed on roof amenity areas to enrich senior's everyday life. On the senior care building's roof, table tennis, shuffleboard, a community garden, BBQ & picnic area, a fire pit, and lounge seating are proposed. On the apartment buildings roof the following is proposed: golf putting, a community garden, BBQ & picnic area, lounge seating and a fire pit.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Red Japanese Maple, Columnar Armstrong Maple, Columnar Bowhall Maple, Pyramidal European Hornbeam, Katsura Tree, Forest Pansy Redbud, Pink Flowering Dogwood, Dawyck Gold Beech, Kobus Magnolia (white), Serbian Spruce, Amanogawa Flowering Cherry, Kwanzan Flowering Cherry, Green Pillar Pink Ak, and a variety of shrubs and grasses.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include refinements to the public realm interface including service locations, and patio enclosures.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- There are no trees on the site, on the adjacent property in the vicinity of the site or any boulevard trees surrounding the site.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Red Japanese Maple, Columnar Armstrong Maple, Columnar Bowhall Maple, Pyramidal European Hornbeam, Katsura Tree, Forest Pansy Redbud, Pink Flowering Dogwood, Dawyck Gold Beech, Kobus Magnolia (white), Serbian Spruce, Amanogawa Flowering Cherry, Kwanzan Flowering Cherry, Green Pillar Pink Ak, and a variety of shrubs and grasses.
- In summary, no trees currently exist on the site and a total of 203 new trees are proposed to be planted.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Proposed Block Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Agricultural and Food Security Advisory Committee Minutes
- Appendix V. OCP Redesignation Map
- Appendix VI. OCP Figure 42 Redesignation Map
- Appendix VII. RGS Redesignation Map
- Appendix VIII. ADP Comments and Response
- Appendix IX. Additional Planning Comments No. 7916-0679, dated September 11, 2017

approved by Shawn Low

Jean Lamontagne
General Manager
Planning and Development

LFM/cm

SUBDIVISION PLAN OF LOT 2, SECTION 32, BLOCK 1 NORTH, RANGE 1 EAST, NEW WESTMINSTER DISTRICT, PLAN EPP41457

PLAN EPP _____

City of Surrey B.C.G.S. 92G.007



SCALE - 1 : 750

All distances are in metres

This intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1:750

Integrated Survey Area No. 1
City of Surrey, NAD83 (CSRS) 4.0.0.BC.1.MVRD

This plan shows horizontal ground level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9996054. The average combined factor has been determined based on Geodetic Control Monument (GCM) 84H0576 and 84H0577.

Grid Bearings are derived from geodetic control monuments 84H0576 and 84H0577 and are referred to the central meridian of UTM zone 10.

The UTM coordinates and estimated absolute accuracy achieved have been derived from the Masport published coordinates and standard deviations for geodetic control monuments 84H0576 and 84H0577.

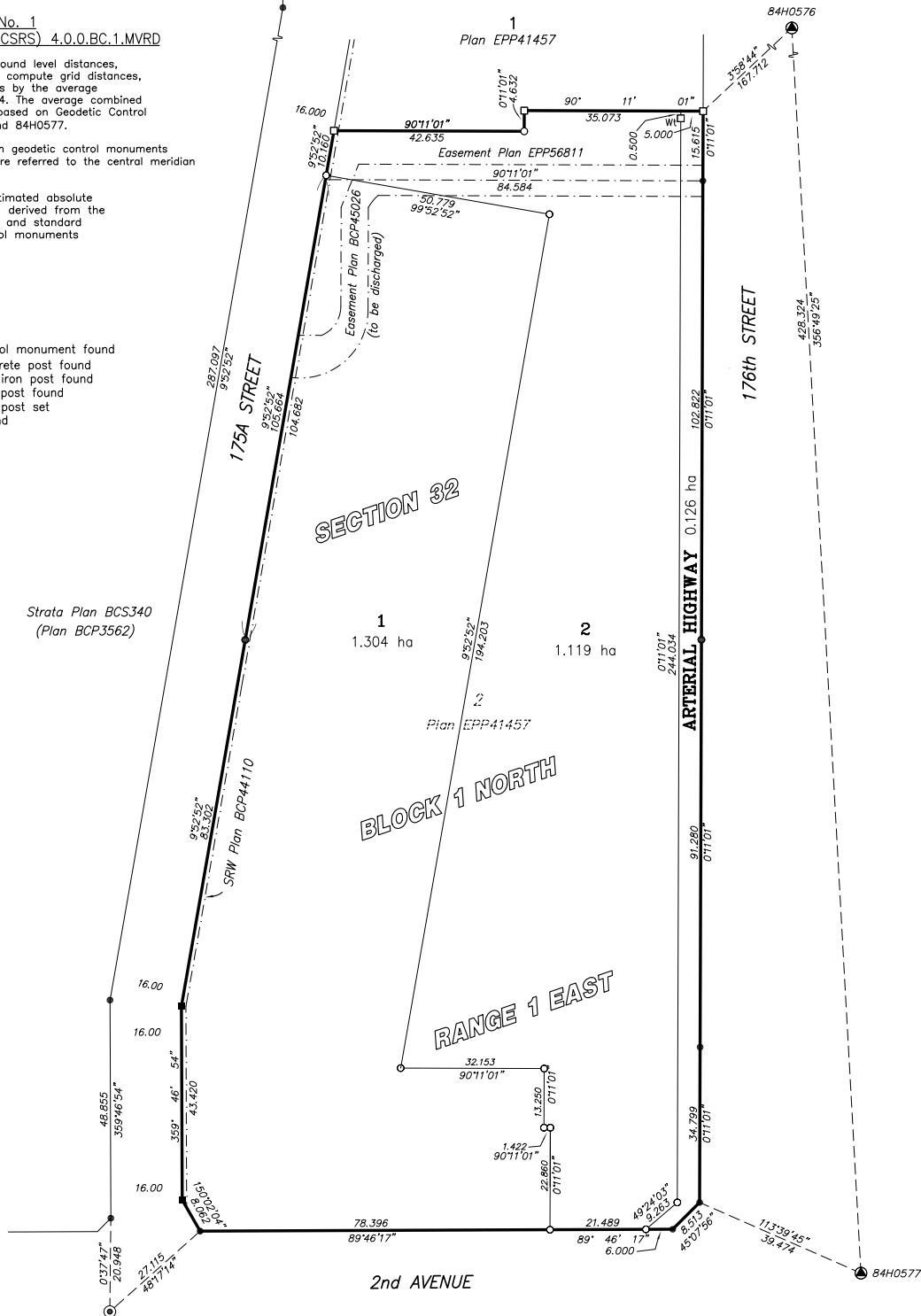
LEGEND:

- Denotes geodetic control monument found
- ⊙ Denotes standard concrete post found
- ⊙ Denotes non-standard iron post found
- ⊙ Denotes standard iron post found
- Denotes standard iron post set
- Denotes lead plug found



Strata Plan BCS340
(Plan BCP3562)

PRELIMINARY



GCM	UTM Northing	UTM Easting	POINT Combined Factor
84H0576	5,428,535.519	519,343.905	0.9996058
84H0577	5,428,108.015	519,367.630	0.9996050

ESTIMATED ABSOLUTE ACCUARY IS 0.02 METRES.

This plan dedicates arterial highway as authorized by the Minister of Transportation and Infrastructure.

This plan lies with the jurisdiction of the Approving Officer for the City of Surrey

This plan lies within the Metro Vancouver Regional District

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234, 18525 - 53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 4999-SUB3

The field survey represented by this plan was completed on the ___th day of February, 2021.
Kenneth W. Schuurman, BCLS 800

PROJECT INFORMATION / ZONING DATA

PROJECT DESCRIPTION / USE	MIXED USE DEVELOPMENT INCLUDING TOWNHOMES, SENIORS INDEPENDENT UNITS, CARE FACILITY, RETAIL/COMMERCIAL OFFICES & AMENITIES INCLUDING ONE LEVEL OF UNDERGROUND PARKING						
LEGAL DESCRIPTION	SUBDIVISION PLAN OF LOT 1, PLAN B2146387 AND LOT 1, PLAN B2146205, BOTH OF SECTION 32, BLOCK 1 NORTH, RANGE 1 EAST, NEW WESTMINSTER DISTRICT						
CIVIC ADDRESS PRESENT	328 175A STREET, SURREY, B.C.						
CIVIC ADDRESS FUTURE	TBD						
TOTAL LOT AREA	274,299	SF	25,483	SM	6.36	ACRES	PROVIDED BY SURVEY DATED FEBRUARY 2021
	EAST PORTION	120,448	SF	11,190	SM		PROVIDED BY SURVEY DATED FEBRUARY 2021
	WEST PORTION	140,361	SF	13,049	SM		PROVIDED BY SURVEY DATED FEBRUARY 2021
	NEW LOT AREA POST MOTI DEDICATION	260,809	SF	24,230	SM	5.99	ACRES
LOT SIZE (APPROXIMATE FRONTAGE)							
	NORTH		388.3		87.3		IRREGULAR
	EAST		802.2		244.3		
	SOUTH		401.8		129.5		
	WEST		795.7		242.5		
DEP / AREA DESIGN GUIDELINES							
ZONING - PRESENT							
ZONING - FUTURE							
APPLICATION TYPE	PROPOSED SITE SPECIFIC CD 1. SUB-DIVISION 2. OCCUPANCY 3. RE-ZONING 4. DEVELOPMENT PERMIT 5. BUILDING PERMIT						

	REQUIRED / ALLOWED			PROPOSED			PROPOSED MINOR VARIANCES	NOTES
	FAI	SF	SM	FAI	SF	SM		
DENSITY / FBR / OFA / OVERALL SITE / OVERALL SITE								
	EAST PORTION	1.8	180,672	16784	1.90	181,902	16,815	
	WEST PORTION	1.8	210,542	19660	0.97	136,214	12,054	REFER TO AREA CALCULATION SUMMARY
LOT COVERAGE					42.8%			EXCLUDING BUILDING PROJECTIONS, CANOPIES & BALCONIES PER UNIT REQUIREMENT
	AMENITY REQUIREMENTS - 38 TOWNHOMES x 77 CONDO x 116	116	37,20	33		4,087	380	
	INDOOR 3.0 SM PER DWELLING UNIT		3,746	348		18,501	1,736	
	OUTDOOR 3.0 SM PER DWELLING UNIT		3,746	348				BASED ON GRADE 2ND FLOOR & ROOFTOPS. REFER TO LANDSCAPE FOR OUTDOOR AMENITY
BUILDING HEIGHT (FEET/ETG)						130.07	36.65	43.567 (38.4) TOWNHOMES; 130.07 (7.36) CONDOS - TOP OF ELEVATOR 116.847 (38.3) ASSISTED LIVING & CARE BUILDINGS - TOP OF ELEVATOR 118.587 (38.14) (88.746)
NUMBER OF STOREY				2 TO 6				
RETRACED	FEET	METRES		FEET	METRES			SET BACK FROM NEW PROPERTY LINE POST MOTI DEDICATION
	EAST / 175TH STREET	0.84	3.05	0.84	3.05			
	SOUTH / 2ND AB	14.76	4.30	14.76	4.30			
	WEST / 175TH STREET	14.76	4.30	14.76	4.30			
	NORTH	32.61	10.50	32.61	10.50			
PARKING	# UNITS	AREA (SM)	REQUIRED	PROPOSED				
TOWNHOMES (2 PER TOWNHOME WITHIN DWELLING UNIT)	30		76					2 STALLS PER UNIT ARE PROVIDED ON GRADE WITHIN UNIT AREAL PROVIDED ON GRADE
VISITORS (0.3 PER TOWNHOME UNIT)	30		8					
SENIORS CONDO (1.36 PER UNIT ASSUMED INCLUDING VISITORS)	77		104	104	WEST PT			
CARE BUILDING (0.40 PER UNIT ASSUMED)	90		30					
NEIGH ASSISD BLDG (0.50 PER UNIT ASSUMED)	86		48	48				
MEDICAL OFFICE (0.5 PER 100 sq)		1,404	53	53				IF NOT MED OFFICE, 3.5 STALLS PER 100sq. AREA INCLUDES STAIRWAYS
COMMERCIAL/RETAIL (0.3 PER 100 sq)		302	12	12				AREA INCLUDES STAIR
TOTAL			342	342				
SUB-TOTAL TOWNHOMES			86	86				
SUB-TOTAL EXCLUDING TOWNHOMES			256	256	EAST PT			
SUB-TOTAL EXCLUDING TOWNHOMES & SENIORS CONDOS			152	152				
UNDERGROUND				306				
ADDITIONAL ON-GRADE STREET				14				ON PT
STANDARD STALL				192				ADDITIONAL ON-GRADE PARKING (EXC TOWNHOUSE VISITOR)
MAX. SMALL STALL ALLOWED (20%)			51	51				
DISABILITY STALL (1%)			3	3				UNDERGROUND PARKING BREAKDOWN OF STANDARD, SMALL CAR & DISABILITY STALLS
SUB-TOTAL				396				
TOTAL				396				UNDERGROUND (1 TOWNHOME GARAGE + TOWNHOME GUEST + ADDITIONAL ON-GRADE STALLS)
OFF STREET LOADING / UNLOADING								
TOWNHOME S	30				N/A			
SENIORS CONDO	77				PROVIDED			INTERNAL ROAD SOUTH
CARE FACILITY	90				PROVIDED			INTERNAL ROAD EAST
NEIGH ASSISD BUILDING	86				PROVIDED			
OFFICE		1,404			N/A			
COMMERCIAL/RETAIL		302			N/A			LOAD FROM INTERNAL ROAD EAST
BICYCLE STORAGE - PART 5 - 5 REQUIRED BICYCLE SPACES	# UNITS/AREA	VISITOR REQUIRED	VISITOR PROVIDED	REQUIRED RATIO	SECURED REQUIRED	SECURED PROVIDED		
TOWNHOME S	30	6	6	0	0	0		
SENIORS CONDO	77	6	6	1.30/UNIT	92	92		
CARE FACILITY	7,400 SM	6	6	0.1100SM	8	8		
NEIGH ASSISD BUILDING	86	6	6	1.30/UNIT	104	104		BASED ON HOSPITAL USE REQUIREMENTS
COMMERCIAL/RETAIL & OFFICE (OUTSIDE CITY CENTRE RATIO)	1,806 SM	0	0	0	0	0		BASED ON RESIDENTIAL USE REQUIREMENTS
TOTAL		24	30		204	308		
STORAGE LOCKERS						180		

ALL AREAS AND CALCULATIONS ARE PRELIMINARY & APPROXIMATE.



NO. OF SHEETS	DATE
NO. OF SHEETS	12 MAR 2024

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PROJECT NO. 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

PROJECT STATISTICS

A005

DATE: SEPT 2018
 SCALE: 1:1000

UNIT SUMMARY - ASSISTED LIVING BUILDING

UNIT TYPE	AREA (SF)	LEVEL					BLDG SUB-TOTAL	BATH TYPE	KITCHEN TYPE	BALCONY TYPE*	SUB-TOTAL	%	NOTE
		1	2	3	4	5							
STUDIO													
A1	402	0	2	4	4	0				10			
A2	415	0	0	0	0	1				1			
A3	472	0	1	1	1	0				3			
A4	402	0	1	0	0	0				1			
SUB-TOTAL	0	4	5	5	1	15				15	17.4%		
1 BEDROOM													
B1	544	0	1	9	9	0				19			
B2	608	0	0	0	0	5				5			
B3	493	0	0	0	0	1				1			
B4	595	0	0	0	0	1				1			
B5	623	0	1	1	1	0				3			
B6	518	0	0	2	2	0				4			
B7	544	0	8	0	0	0				8			
B8	518	0	2	0	0	0				2			
SUB-TOTAL	0	12	12	12	7	43				43	50.0%		
2 BEDROOM													
D1	679	0	2	2	2	0				6			
D2	719	0	0	0	0	2				2			
D3	680	0	0	0	0	1				1			
D4	826	0	0	0	0	2				2			
D5	729	0	1	1	1	0				3			
D6	830	0	0	0	0	1				1			
D7	705	0	0	0	0	1				1			
D8	666	0	1	1	1	0				3			
D9	754	0	0	1	1	0				2			
D10	676	0	1	1	1	0				3			
D11	654	0	1	1	1	0				3			
D12	754	0	1	0	0	0				1			
SUB-TOTAL	0	7	7	7	7	28				28	32.6%		
TOTAL	0	23	24	24	15	86				86	100%		

NOTE: ALL CALCULATIONS ARE APPROXIMATE. *BALCONY TYPES: N - NONE, B - BALCONY, T - ROOF TERRACE, J - JULIET

UNIT SUMMARY - CARE BUILDING

UNIT TYPE	AREA (SF)	LEVEL					BLDG SUB-TOTAL	BATH TYPE	KITCHEN TYPE	BALCONY TYPE*	SUB-TOTAL	%	NOTE
		1	2	3	4	5							
1 BEDROOM													
A1	390	0	16	16	16	0				48			
A2	300	0	0	0	0	17				17			
A3	480	0	0	0	0	1				1			
A4	390	0	0	0	0	1				1			
A5	444	0	1	1	1	0				3			
A6	NA	0	0	0	0	0				0		DELETED	
A7	312	0	2	2	2	0				6			
A8	351	0	2	2	2	0				6			
A9	441	0	1	1	1	0				3			
A10	442	0	1	1	1	0				3			
A11	528	0	0	0	0	1				1			
A12	390	0	1	1	1	1				4			
A13	350	0	1	1	1	0				3			
SUB-TOTAL	0	25	25	25	21	96				96	100.0%		
TOTAL	0	25	25	25	21	96				96	100%		

UNIT SUMMARY - SENIOR RESIDENTIAL CONDOMINIUM BUILDING

UNIT TYPE	AREA (SF)	LEVEL					BLDG SUB-TOTAL	BATH TYPE	KITCHEN TYPE	BALCONY TYPE*	SUB-TOTAL	%	NOTE
		1	2	3	4	5							
STUDIO													
A1	465	1	0	0	0	0				1			
SUB-TOTAL	1	0	0	0	0	0				1	1.3%		
1 BEDROOM													
B1	507	4	7	7	7	4				29			
SUB-TOTAL	4	7	7	7	4	36				36	46.8%		
2 BEDROOM													
C1	790	5	7	7	7	3				26			
C2	752	2	1	1	1	1				5			
SUB-TOTAL	7	8	8	8	3	46				46	51.9%		
TOTAL	12	15	15	15	7	77				77	100%		

NOTE: ALL CALCULATIONS ARE APPROXIMATE. *BALCONY TYPES: N - NONE, B - BALCONY, T - ROOF TERRACE

UNIT SUMMARY - TOWN HOUSE BUILDINGS

UNIT TYPE	LEVEL 1 (SF)	LEVEL 2 (SF)	C+H+B (SF)	D (GARAGE) (SF)	E+C+D (SF)	UNIT COUNT	NOTE
THA							
A1	1349	798	2147	430	1717	4	
SUB-TOTAL	1349	798	2147	430	1717	4	
THB							
A1	1349	798	2147	430	1717	6	
SUB-TOTAL	1349	798	2147	430	1717	6	
THC							
A1	1349	798	2147	430	1717	6	
SUB-TOTAL	1349	798	2147	430	1717	6	
THD							
A1	1349	798	2147	430	1717	6	
SUB-TOTAL	1349	798	2147	430	1717	6	
THE							
B1	1267	943	2210	430	1780	4	
SUB-TOTAL	1267	943	2210	430	1780	4	
THF							
B1	1267	943	2210	430	1780	6	
SUB-TOTAL	1267	943	2210	430	1780	6	
THG							
B1	1267	943	2210	430	1780	4	
SUB-TOTAL	1267	943	2210	430	1780	4	
THH							
B1	1267	943	2210	430	1780	3	
SUB-TOTAL	1267	943	2210	430	1780	3	
TOTAL						39	

NOTE: ALL CALCULATIONS ARE APPROXIMATE.

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PROJECIT

NO. DESCRIPTION DATE
 BLDG FOR APP. 15 MAR 2018

CLIENT

IOM

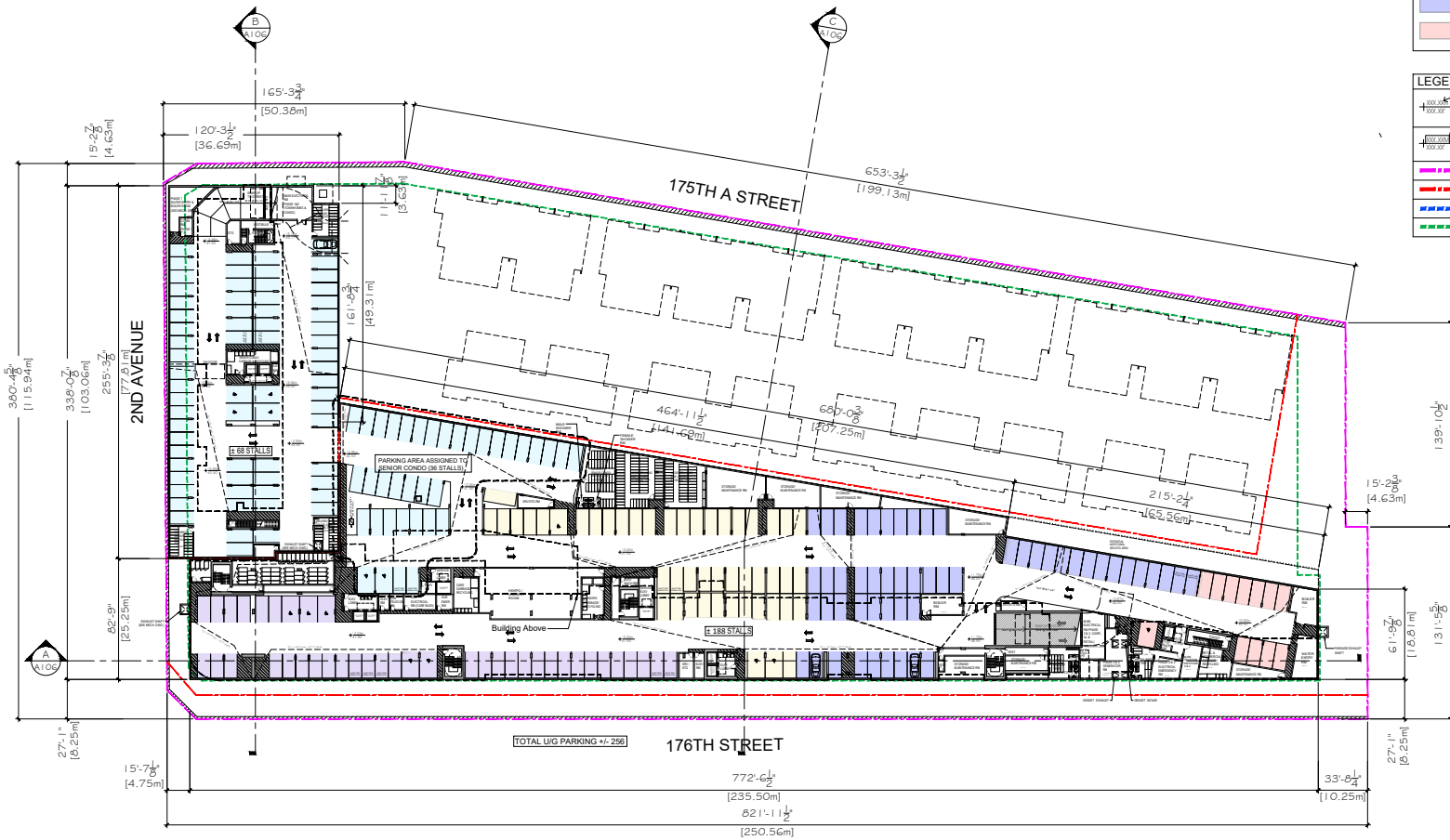
PROJECT NO. 17425

PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE

A007

DATE OCT 2018



PARKING STALL LEGEND

	SENIORS CONDO: 104 STALLS
	CARE FACILITY: 39 STALLS
	SENIOR ASSISTED LIVING: 48 STALLS
	MEDICAL OFFICE: 53 STALLS
	COMMERCIAL / RETAIL: 12 STALLS

LEGEND

	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS.
	VALUE IN FEET
	DESIGN ELEVATION IN METERS
	VALUE IN FEET
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PHASING LINE
	SETBACK LINE

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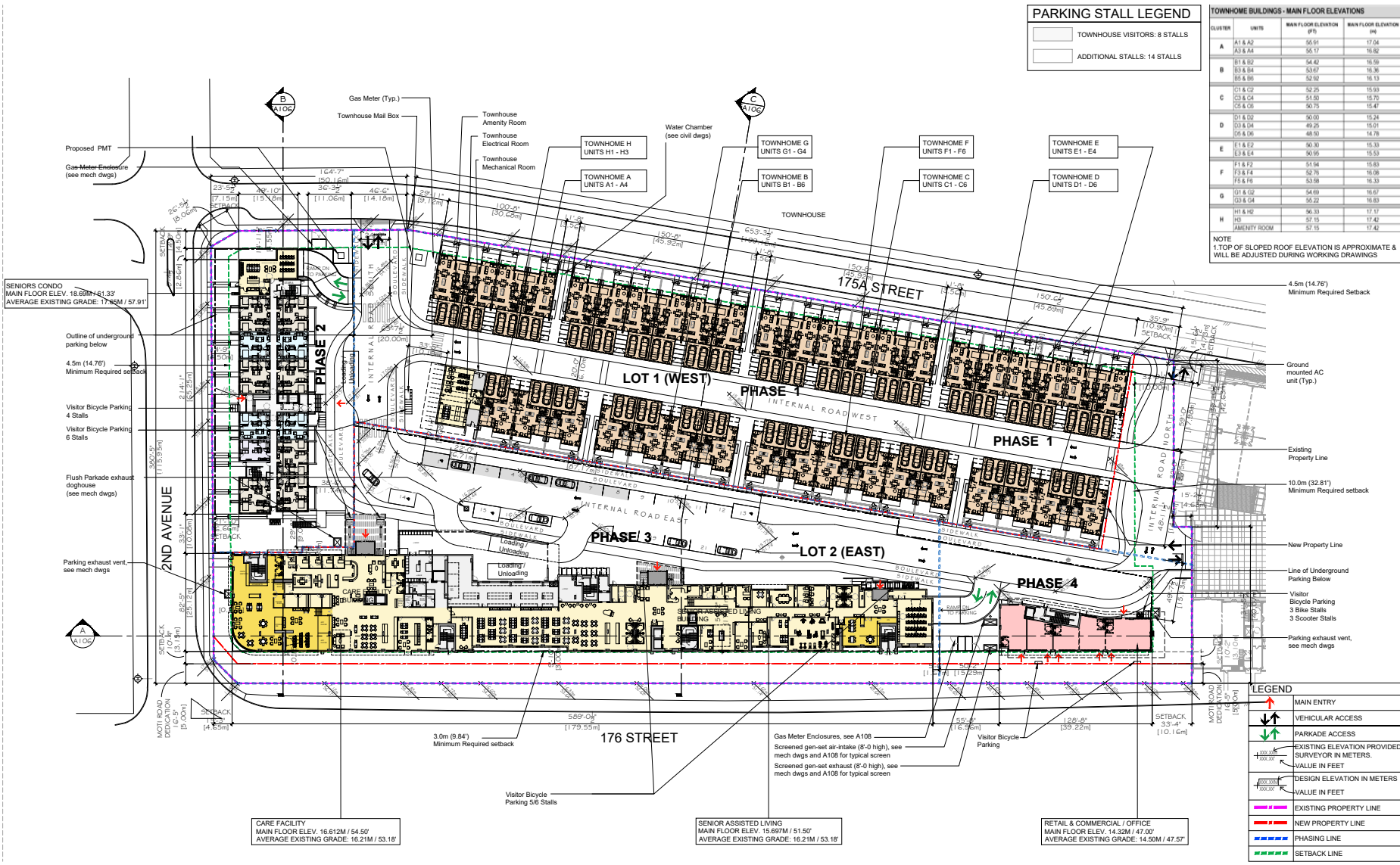
228-175A STREET, SUITE 100, SURREY, BC V3R 4K6
 TEL: 604-591-8544 FAX: 604-591-8546
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PROJECT NO. 17425
 PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC

U/G PARKING PLAN

A100

DATE: SEPT 2018
 SCALE: 1/32"=1'-0"



PARKING STALL LEGEND

	TOWNHOUSE VISITORS: 8 STALLS
	ADDITIONAL STALLS: 14 STALLS

TOWNHOME BUILDINGS - MAIN FLOOR ELEVATIONS

CLUSTER	UNITS	MAIN FLOOR ELEVATION @PS	MAIN FLOOR ELEVATION @E
A	A1 & A2	56.91	17.04
	A3 & A4	56.17	16.82
	A5 & A6	54.42	16.59
B	B1 & B2	53.87	16.36
	B3 & B4	52.92	16.13
	B5 & B6	52.25	15.93
C	C1 & C2	51.50	15.70
	C3 & C4	50.75	15.47
	C5 & C6	49.25	15.01
D	D1 & D2	48.50	14.78
	D3 & D4	46.30	14.33
	D5 & D6	46.56	14.53
E	E1 & E2	51.94	15.63
	E3 & E4	52.76	15.68
	E5 & E6	53.98	16.33
F	F1 & F2	54.89	16.47
	F3 & F4	55.22	16.63
	F5 & F6	56.33	17.17
G	G1 & G2	57.15	17.42
	G3 & G4	57.15	17.42
	G5 & G6	57.15	17.42
H	H1 & H2	57.15	17.42
	H3 & H4	57.15	17.42
	H5 & H6	57.15	17.42

NOTE: 1. TOP OF SLOPED ROOF ELEVATION IS APPROXIMATE & WILL BE ADJUSTED DURING WORKING DRAWINGS

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 SEP 2018

PROXY SHEET

NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 SEP 2018

IOM

PROJECT NO: 17425
 PROJECT: Mixed Use Development 228 175A Street Surrey, BC
 DRAWING TITLE: SITE / MAIN LEVEL

A101

DATE: 21 SEPT 2018
 SCALE: 1/32"=1'-0"

LEGEND

	MAIN ENTRY
	VEHICULAR ACCESS
	PARKADE ACCESS
	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS
	VALUE IN FEET
	DESIGN ELEVATION IN METERS
	VALUE IN FEET
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PHASING LINE
	SETBACK LINE

SENIORS CONDO
 MAIN FLOOR ELEV. 18.69M / 61.33'
 AVERAGE EXISTING GRADE: 17.65M / 57.91'

Outline of underground parking below
 4.5m (14.76') Minimum Required setback

Visitor Bicycle Parking 4 Stalls
 Visitor Bicycle Parking 6 Stalls

Flush Parkade exhaust doghouse (see mech dwgs)

Parking exhaust vent see mech dwgs

CARE FACILITY
 MAIN FLOOR ELEV. 16.612M / 54.50'
 AVERAGE EXISTING GRADE: 16.21M / 53.18'

SENIOR ASSISTED LIVING
 MAIN FLOOR ELEV. 15.897M / 51.95'
 AVERAGE EXISTING GRADE: 16.21M / 53.18'

RETAIL & COMMERCIAL / OFFICE
 MAIN FLOOR ELEV. 14.32M / 47.00'
 AVERAGE EXISTING GRADE: 14.50M / 47.57'

Gas Meter Enclosures, see A108
 Screened gen-set air-intake (8'-0 high), see mech dwgs and A108 for typical screen
 Screened gen-set exhaust (8'-0 high), see mech dwgs and A108 for typical screen

4.5m (14.76') Minimum Required Setback

Ground mounted AC unit (Typ.)

10.0m (32.81') Minimum Required setback

Line of Underground Parking Below

Visitor Bicycle Parking 3 Bike Stalls 3 Scooter Stalls

Parking exhaust vent see mech dwgs

3.0m (9.84') Minimum Required setback



LEGEND	
\pm 000.00'	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, VALUE IN FEET
\pm 000.00'	DESIGN ELEVATION IN METERS, VALUE IN FEET
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PHASING LINE
	SETBACK LINE

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 ARCHITECTURAL, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE

PROJECT NO. 17425
 PROJECT TITLE Mixed Use Development 228 175A Street Surrey, BC
 DRAWING TITLE LEVEL 3&4

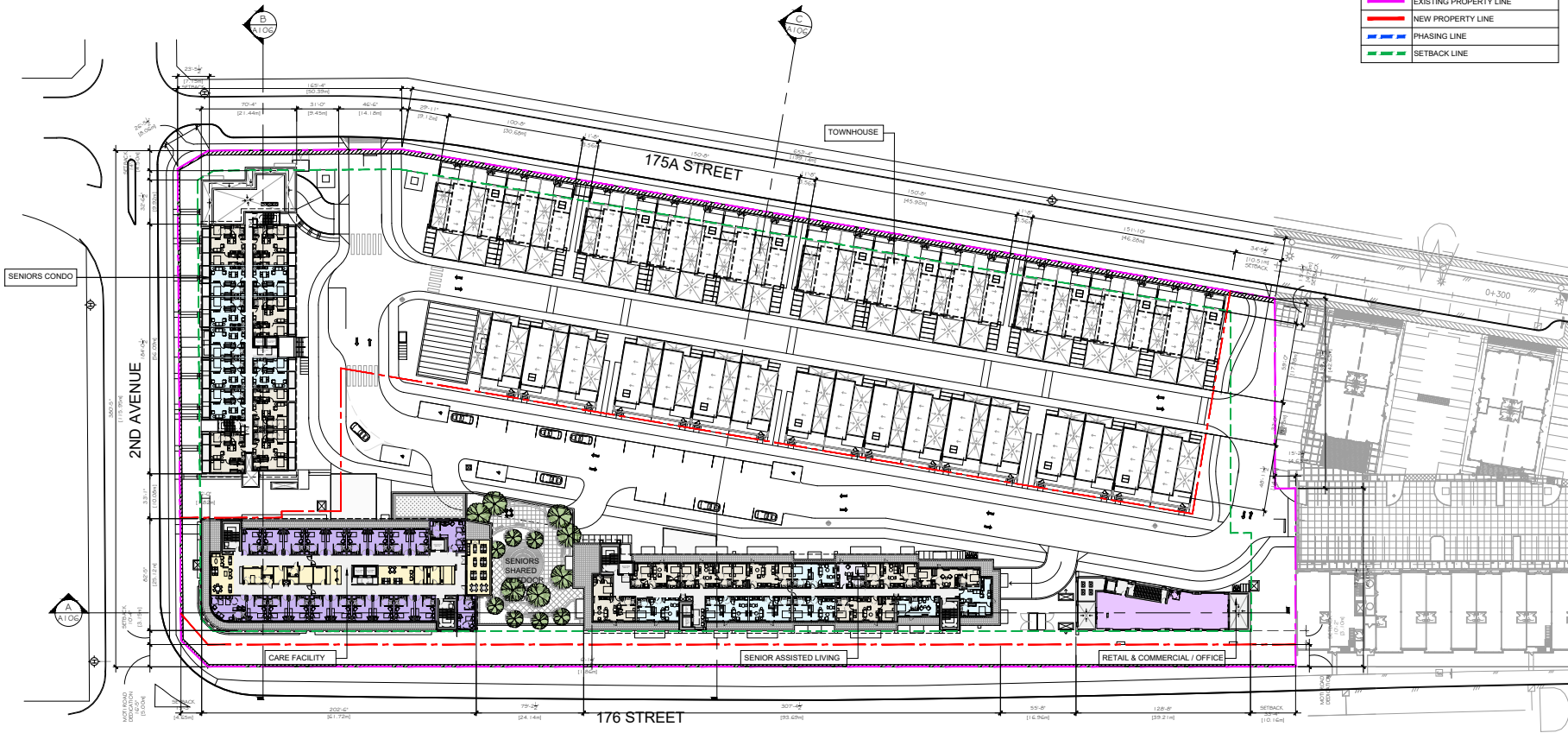
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DATE 25 JAN 2017
 SCALE 1/32"=1'-0"

PROJECT NO. 17425
 PROJECT TITLE Mixed Use Development 228 175A Street Surrey, BC
 DRAWING TITLE LEVEL 3&4

A103

DATE 25 JAN 2017
 SCALE 1/32"=1'-0"



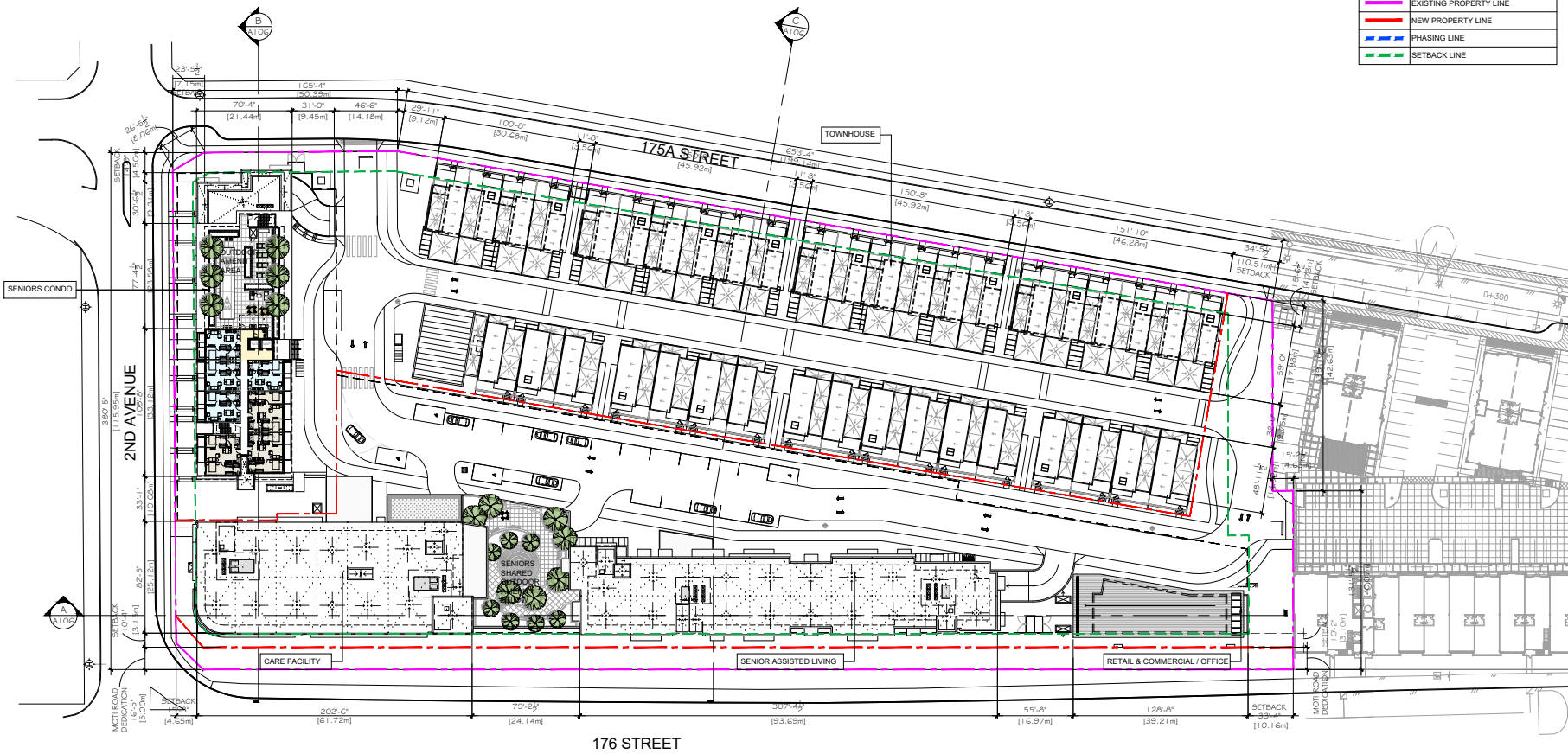
LEGEND	
$\pm 100.00'$	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, VALUE IN FEET
$\pm 100.00'$	DESIGN ELEVATION IN METERS, VALUE IN FEET
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PHASING LINE
	SETBACK LINE

bfa studio architects
 ARCHITECTURAL, INTERIOR DESIGN, AND VISUALIZATION

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PROJECT NO. 17425
 PROJECT DESCRIPTION Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE LEVEL 5

DRAWING NO. A104
 DATE 25 JAN 2017
 SCALE 1/32"=1'-0"



LEGEND	
$\pm 000.00'$	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, VALUE IN FEET
$\pm 000.00'$	DESIGN ELEVATION IN METERS, VALUE IN FEET
$\pm 000.00'$	EXISTING PROPERTY LINE
—	NEW PROPERTY LINE
—	PHASING LINE
—	SETBACK LINE

bfa studio architects
 ARCHITECTURAL, INTERIOR DESIGN & VISUALIZATION

PROJECT INFORMATION:
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NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 MAR 2017

DESIGNER: IOM

PROJECT NO: 17425

PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC

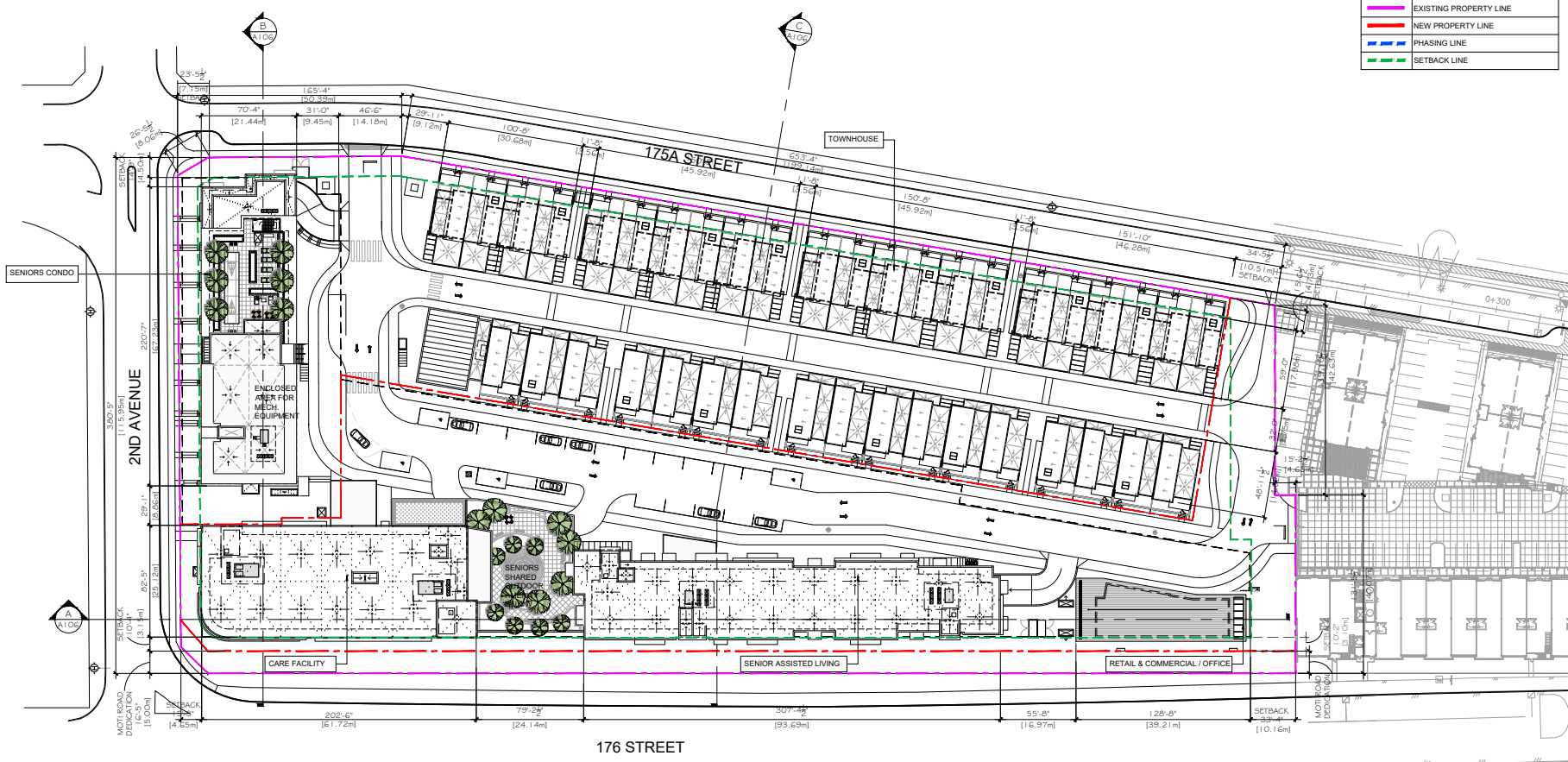
DRAWING TITLE: LEVEL 6

DATE: _____

DRAWING NO: _____

A105

DATE: 25 JAN 2017
 SCALE: 1/32"=1'-0"



LEGEND

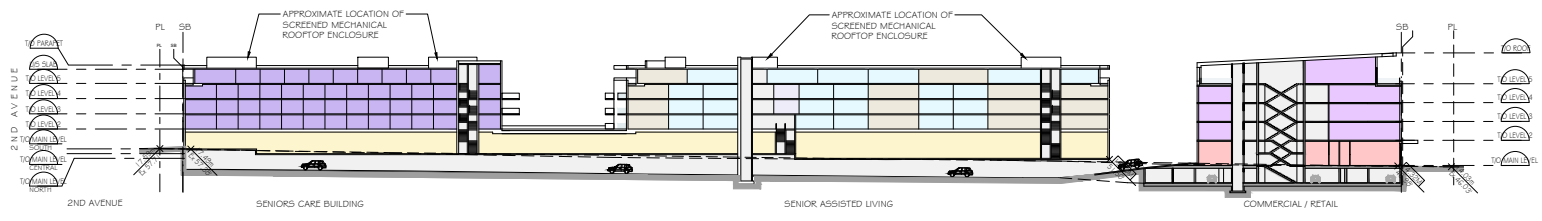
$\pm 100.00'$ $\pm 30.48m$	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, VALUE IN FEET
$\pm 100.00'$ $\pm 30.48m$	DESIGN ELEVATION IN METERS, VALUE IN FEET
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PHASING LINE
	SETBACK LINE

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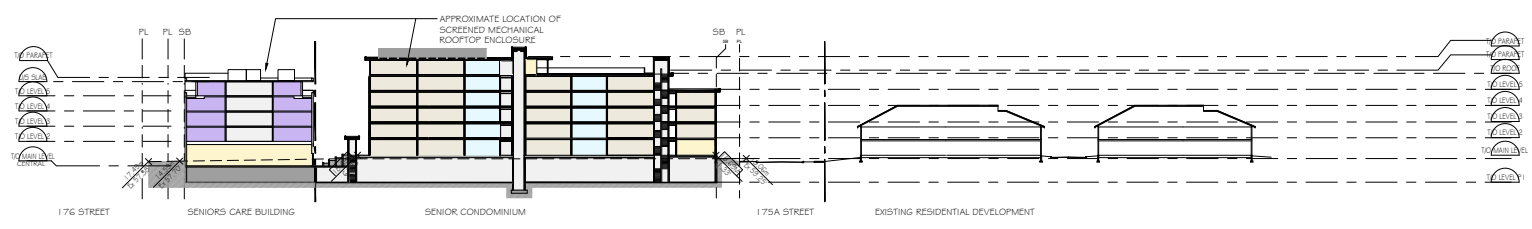
PROJECT NO. 17425
 PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE: LEVEL 6

IOM

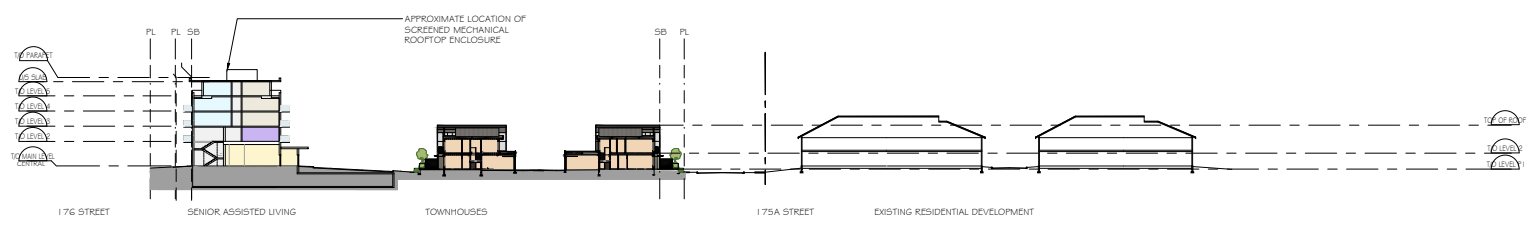
DRAWING NO. A106
 DATE: 25 JAN 2017
 SCALE: 1/32"=1'-0"



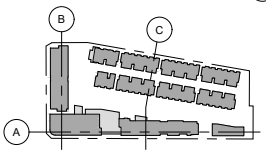
A SOUTH-NORTH SECTION
1/32"=1'-0"



B WEST-EAST SECTION
1/32"=1'-0"



C WEST-EAST SECTION
1/32"=1'-0"



KEY PLAN

LEGEND	
$\frac{100.00}{100.00}$	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, VALUE IN FEET
$\frac{100.00}{100.00}$	DESIGN ELEVATION IN METERS, VALUE IN FEET

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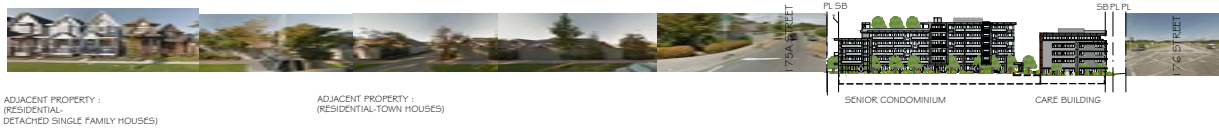
PROJECT NO. 17425
PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
DRAWING TITLE OVERALL SECTIONS
DATE 21 SEPT 2018
DRAWING NO. A107



1 EAST ELEVATION / STREETScape ALONG 176TH STREET



2 WEST ELEVATION / STREETScape ALONG 175TH STREET



3 SOUTH ELEVATION / STREETScape ALONG 2ND AVE.



4 NORTH ELEVATION (OVERALL) STREETScape ALONG INTERNAL ROAD NORTH



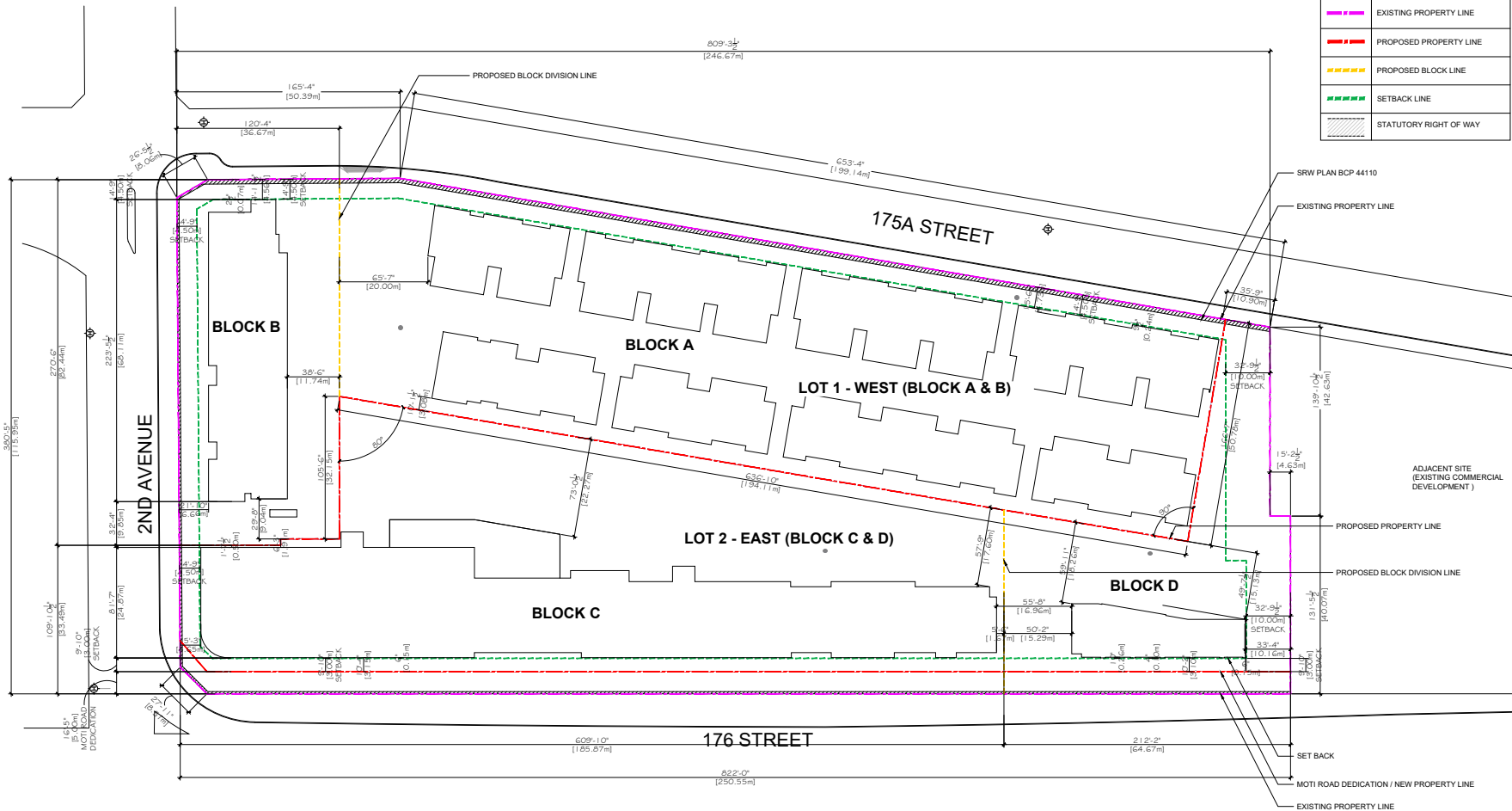
5 STREETScape ALONG INTERNAL ROAD EAST

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PROJECT NO. 17425
 PREPARED BY: IOM
 PROJECT TITLE: Mixed Use Development 228 175A Street Surrey, BC
 DRAWING TITLE: STREETScape ELEVATIONS
 DRAWING NO. A108
 DATE: SEPT 2018
 SCALE: 1/84"=1'-0"

IOM

PROJECT NO. 17425
 PREPARED BY: IOM
 PROJECT TITLE: Mixed Use Development 228 175A Street Surrey, BC
 DRAWING TITLE: STREETScape ELEVATIONS
 DRAWING NO. A108
 DATE: SEPT 2018
 SCALE: 1/84"=1'-0"



LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED BLOCK LINE
	SETBACK LINE
	STATUTORY RIGHT OF WAY

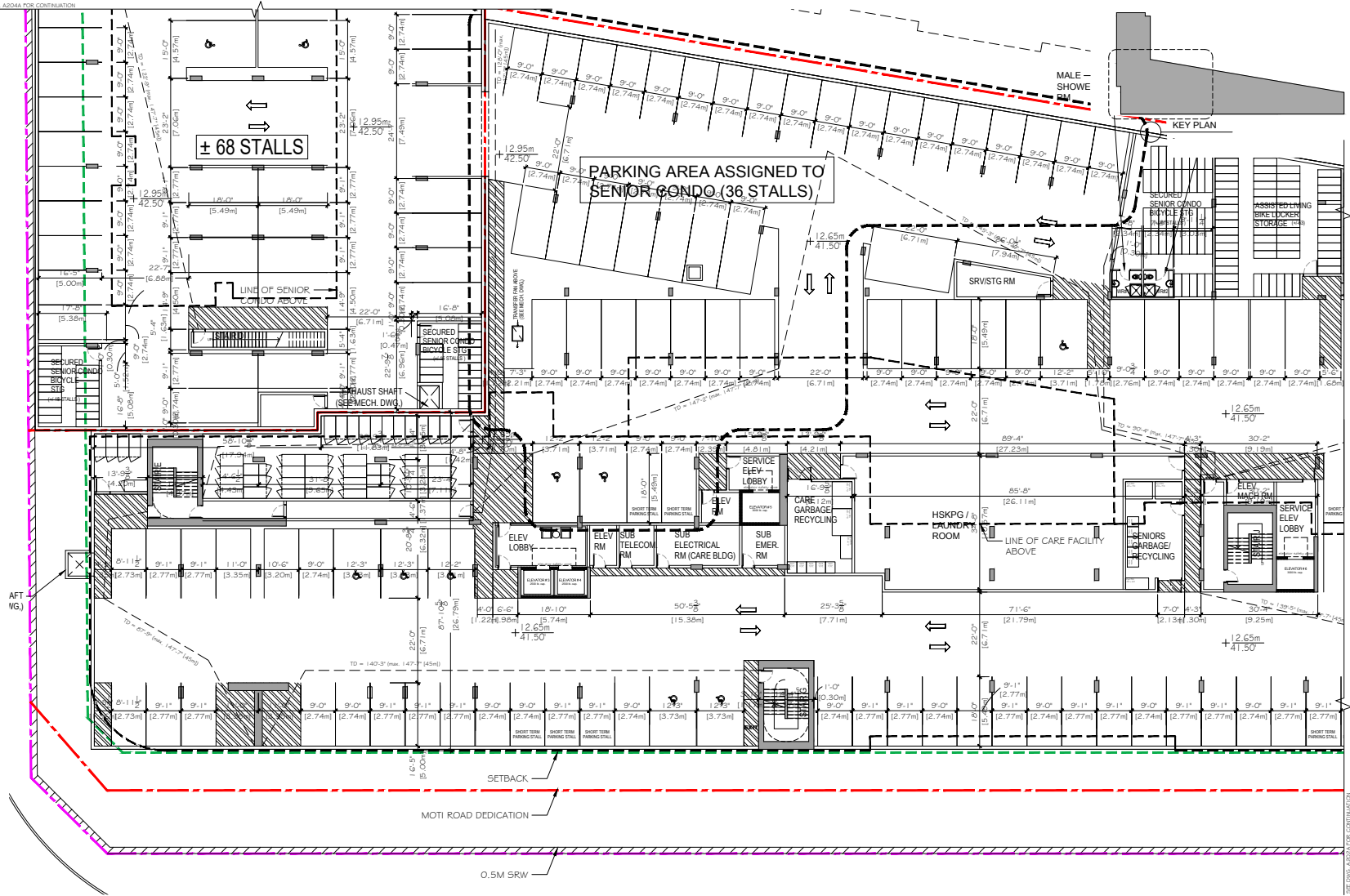
bfa studio architects
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PROJECT NO. 17425
PROJECT Mixed Use Development 228 175A Street Surrey, BC
DRAWING TITLE BASE SITE PLAN

A111

DATE: 21 SEPT 2018
 SCALE: 1/32"=1'-0"

SEE DWG. A202A FOR CONTINUATION



1 FLORR PLAN - LEVEL P1 (SOUTH)

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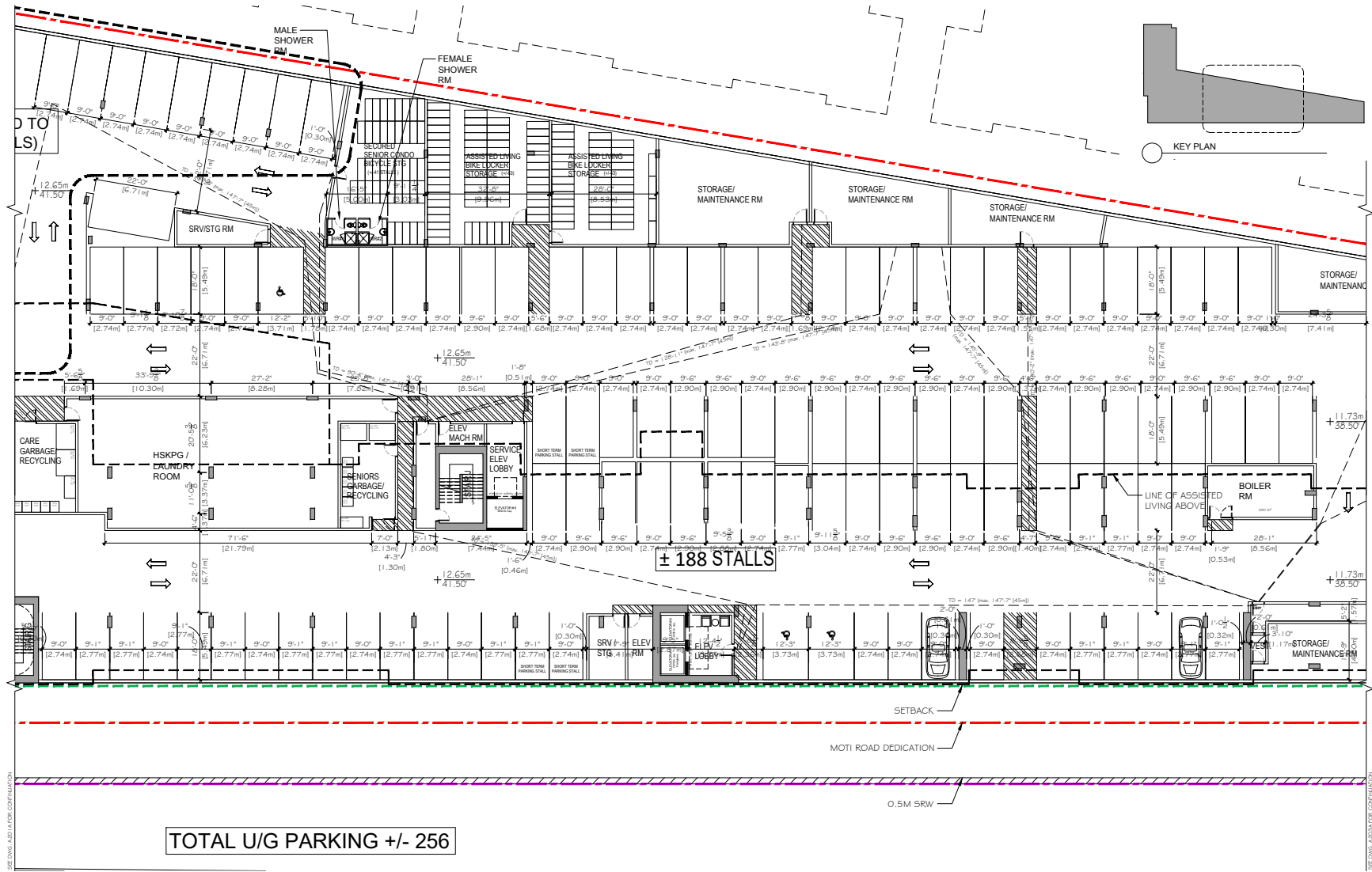
IOM

PROJECT NO. 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE: P1 PARKING PLAN (SOUTH)

DRAWING NO. A202A

DATE: OCT 2018
 SCALE: 3/32" = 1'-0"



TOTAL U/G PARKING +/- 256

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NO. DESCRIPTION DATE
 ISSUED FOR A/P 12 MAR 2020

DATE: 12 MAR 2020

PROJECT NO. 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

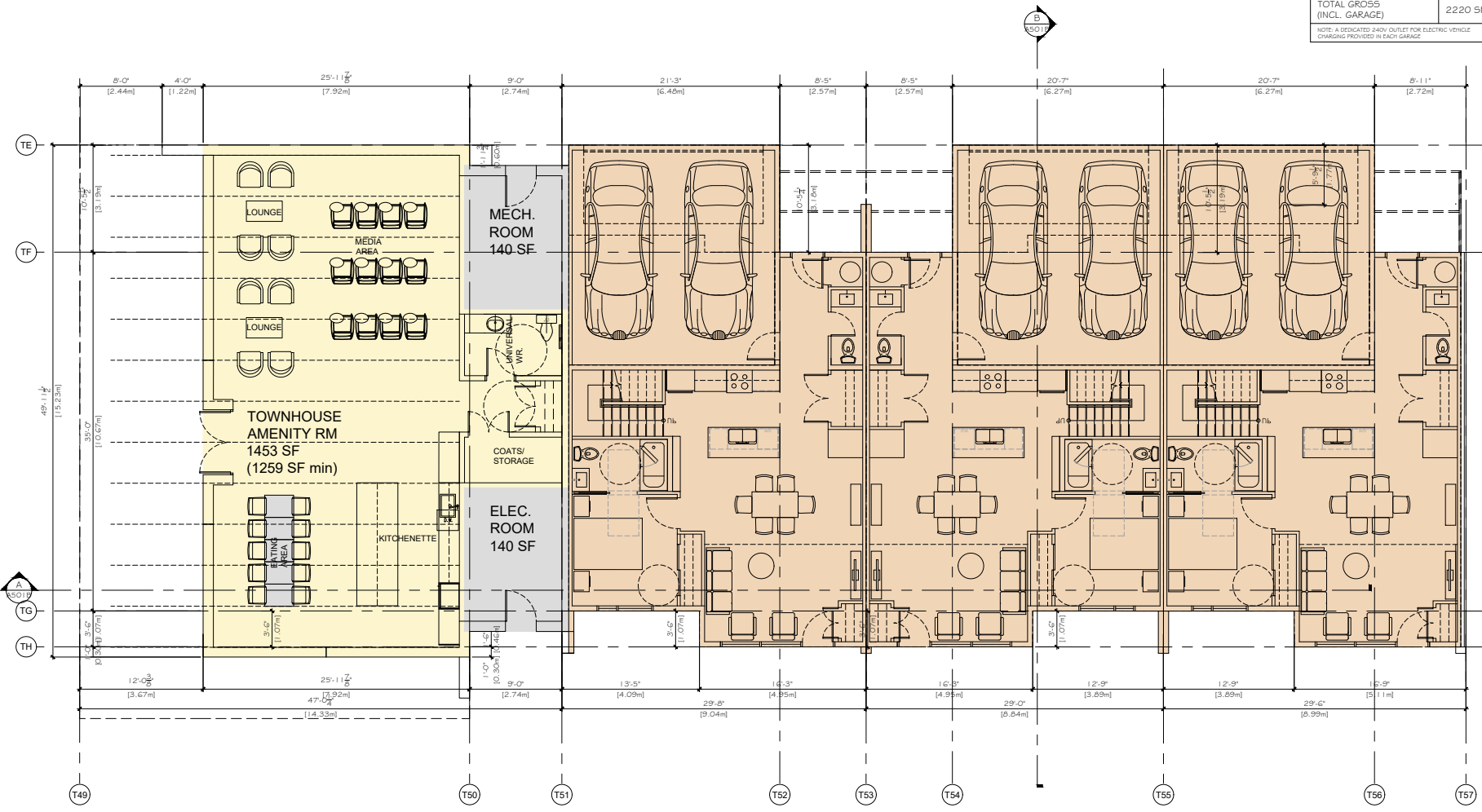
PLAN - P1 (MIDDLE)

SCALE: 3/32" = 1'-0"

A203A

UNIT B TOWNHOUSE UNIT AREA CHART	
LEVEL 1	850 SF
LEVEL 2	934 SF
GARAGE	43C SF
TOTAL GROSS (EXCL. GARAGE)	1784 SF
TOTAL GROSS (INCL. GARAGE)	2220 SF

NOTE: A DEDICATED SAUVY OUTLET FOR ELECTRIC VEHICLE CHARGING PROVIDED IN EACH GARAGE.



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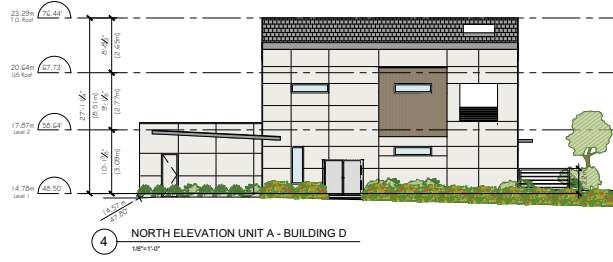
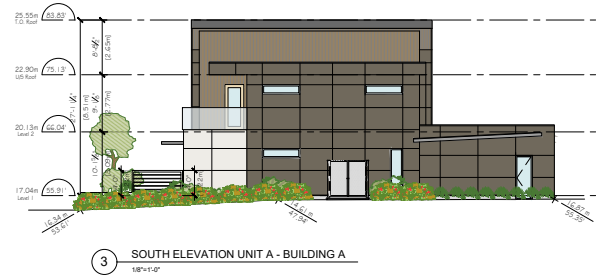
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PROJECT NO. 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

TOWNHOMES - UNIT B MAIN FLOOR PLAN

A204B

DATE: SEPT 2018
 SCALE: 1/4" = 1'-0"



ELEVATION NOTES:

1 GRADES AND FLOOR ELEVATIONS Varies FOR EACH TOWNHOME BUILDING. GEODESIC GRADES OF THE ABOVE ELEVATIONS ARE SPECIFIC TO FRONT AND REAR OF BUILDING B.

2 REFER TO LANDSCAPE DRAWINGS FOR FENCING AND PRIVACY SCREEN DETAILS.



ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH
11	CEMENTITIOUS CLADDING PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRECESS TRIM COLOUR: SAN GIOTTI	8	SAFETY GLASS BALCONY GUARD POST: BLACK ANODIZED ALUMINUM GLASS: CLEAR	16	STOREFRONT WINDOW DOOR; REFER TO WINDOW SCHEDULE FRAME: ANODIZED ALUMINUM - BLACK GLASS: DOUBLE GLAZED - CLEAR
12	CEMENTITIOUS CLADDING PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRECESS TRIM COLOUR: RICH ESPRESSO	9	METAL BALCONY GUARD FRAME: ALUMINUM POWDER COATED BLACK	17	ENTRY DOOR FRAME: WOOD COLOUR: WOOD
2	CEMENTITIOUS CLADDING - VERTICAL SIDING SYSTEM: WOODSTONE COLOUR: RIVER ROCK	10	NON-COMBUSTIBLE SOFFIT W/ PERFORATED STRIP VENT DARK CHERRY	18	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH DARK ZINC
3	CEMENTITIOUS CLADDING PASCIA PANEL SYSTEM: JAMES HARDIE COLOUR: RICH ESPRESSO	11	FRESHFINISHED METAL FLASHING COLOUR TO MATCH ADJACENT WALL	19	NON-COMBUSTIBLE SOFFIT W/ PERFORATED STRIP VENT COLOUR TO MATCH LW LIGHT ASH
4	WINE WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING REFER TO WINDOW SCHEDULE	12	METAL CANOPY BLACK	20	ARCHITECTURAL EXPANDED METAL MESH TO MATCH: APEX PISA
5	METAL GARAGE DOOR EDGE BLACK	13	ASPHALT SHINGLES BLACK	21	HIGH ALBEDO VALLEIGHIGH RSI ROOFING SPRINGLES TO MATCH ENDOCOTT - MANGANESE IRONSPOT
6	WOODEN ENTRY DOOR REFER TO DOOR # WINDOW SCHEDULE	14	STANDARD FACE BRICK 4"X1 1/2" PATTERN: STAGGED BOND	22	ALUMINUM CLADDING SYSTEM SYSTEM: NEO LUMBER COLOUR: TO MATCH LW LIGHT ASH
7	ALUMINUM FRAME DOOR W GLAZING UNIT REFER TO DOOR # WINDOW SCHEDULE	15	EXPOSED CONCRETE ELASTOMERIC COATING - COLOR: GRAY		

NOTE: 1. ALL REVEAL TRIM & CURBS COLOUR TO MATCH ADJACENT FACADE MATERIAL.

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PROJECT INFORMATION

NO. DESCRIPTION DATE
 PROJECT NO. 17425 12 MAR 2018

CLIENT

IOM

PROJECT NO. 17425

PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE

TOWNHOMES -
 UNIT A ELEVATIONS

DATE

DRAWING NO. REVISION

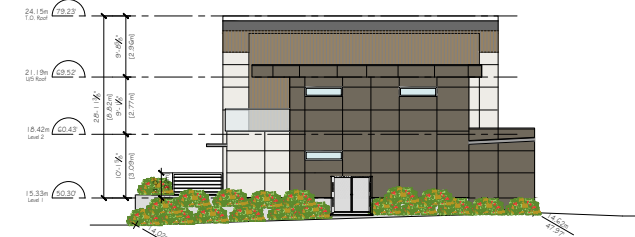
A400B

DATE OCT 2018
 SCALE
 DRAWN

1/8"=1'-0"



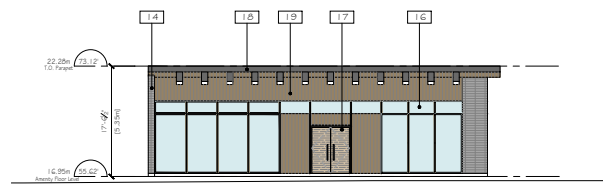
1 FRONT ELEVATION UNIT B - BUILDING H
1/8"=1'-0"



3 SIDE ELEVATION UNIT B - BUILDING E
1/8"=1'-0"



2 BACK ELEVATION UNIT B - BUILDING H
1/8"=1'-0"



4 FRONT ELEVATION AMENITY ROOM - BUILDING H
1/8"=1'-0"



ELEVATION KEYNOTE LEGEND

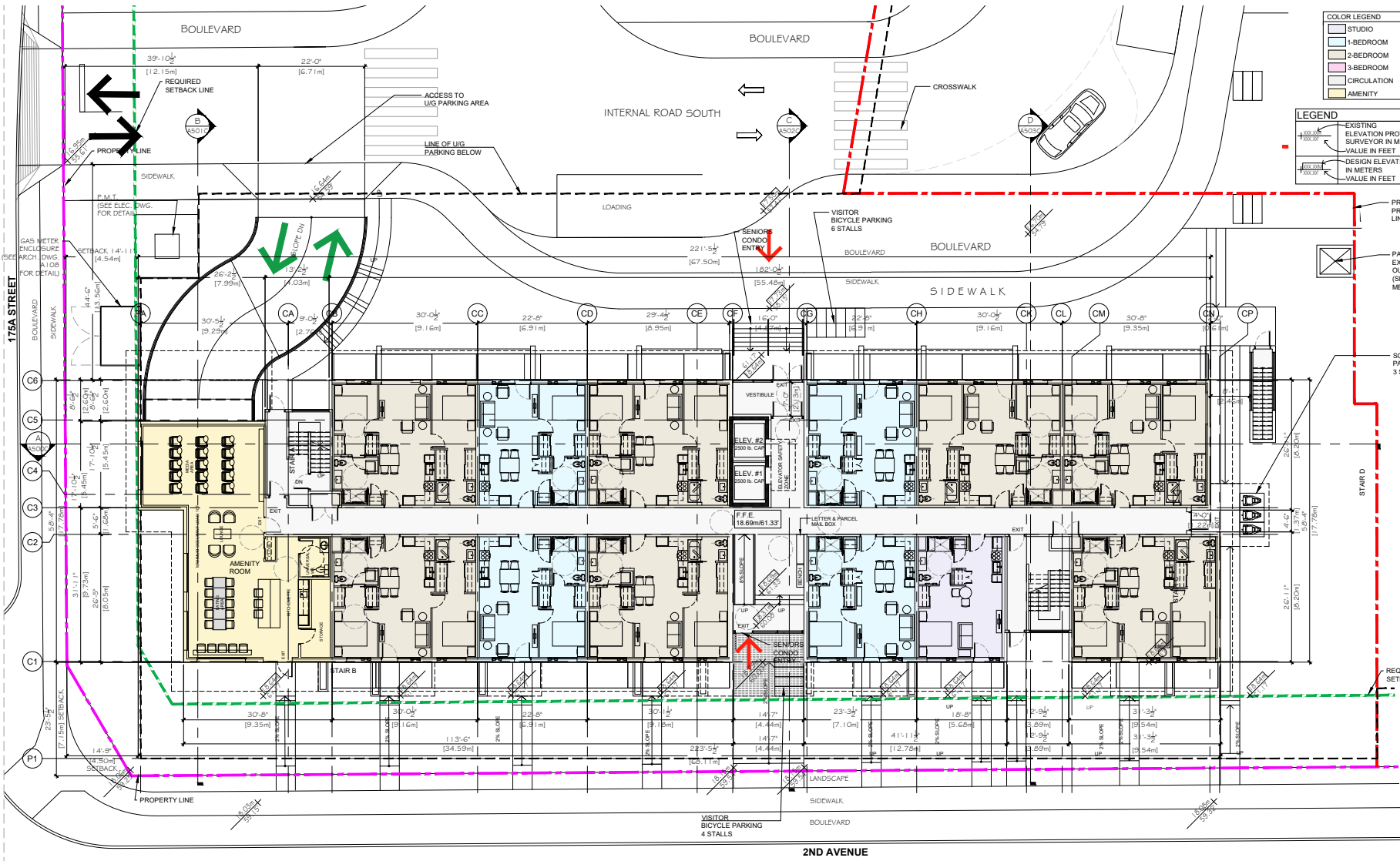
ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
11	CEMENTITIOUS CLADDING PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM W/ACCESS TRIM COLOUR: SAIL (S011)	8	SAFETY GLASS BALCONY GUARD	16	STOREFRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE
12	CEMENTITIOUS CLADDING PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM W/ACCESS TRIM COLOUR: RICH ESPRESSO	9	METAL BALCONY GUARD	17	ENTRY DOOR
13	CEMENTITIOUS CLADDING - VERTICAL SLING SYSTEM: WOODTONE COLOUR: RIVER ROCK	10	NON-COMBUSTIBLE SOFFIT W/ PERFORATED STRIP VENT	18	ALUMINUM CLADDING PANEL SYSTEM
14	CEMENTITIOUS CLADDING PASCIA PANEL SYSTEM: JAMES HARDIE COLOUR: RICH ESPRESSO	11	PREZINCHED METAL FLASHING	19	NON-COMBUSTIBLE SOFFIT W/ PERFORATED STRIP VENT
15	WALL WINDOW FRAME W/ WOODEN OR TRIPLE GLAZING REFER TO WINDOW SCHEDULE	12	METAL CANDORY	20	ARCHITECTURAL EXPANDED METAL MESH
16	METAL GARAGE DOOR	13	ASPHALT SHINGLES	21	HIGH ALBEDO VALLEHIGH RSI ROOFING SHINGLES
17	WOODEN ENTRY DOOR	14	STANDARD FACE BRICK-4X1 1/2" PATTERN: STACKED BOND	22	ALUMINUM CLADDING SYSTEM
18	ALUMINUM FRAME DOOR W GLAZING UNIT	15	EXPOSED CONCRETE		

NOTE: 1. ALL REVEAL, TRIM & CURBS COLOUR TO MATCH ADJACENT FACADE MATERIAL.

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PROJECT INFORMATION
 NO. 17425
 CLIENT IOM
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE TOWNHOMES - UNIT A ELEVATIONS
 DRAWING NO. A401B
 DATE OCT 2018
 1/8"=1'-0"



COLOR LEGEND

[Light Blue Box]	STUDIO
[Light Green Box]	1-BEDROOM
[Light Yellow Box]	2-BEDROOM
[Light Purple Box]	3-BEDROOM
[Light Grey Box]	CIRCULATION
[Light Orange Box]	AMENITY

LEGEND

[Red Dashed Line]	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS
[Green Dashed Line]	EXISTING ELEVATION PROVIDED SURVEYOR IN FEET
[Black Dashed Line]	DESIGN ELEVATION IN METERS
[Black Dashed Line]	DESIGN ELEVATION IN FEET

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12 MAR 2020
2	ISSUED FOR PERMIT	12 MAR 2020
3	ISSUED FOR PERMIT	12 MAR 2020
4	ISSUED FOR PERMIT	12 MAR 2020
5	ISSUED FOR PERMIT	12 MAR 2020
6	ISSUED FOR PERMIT	12 MAR 2020
7	ISSUED FOR PERMIT	12 MAR 2020
8	ISSUED FOR PERMIT	12 MAR 2020
9	ISSUED FOR PERMIT	12 MAR 2020
10	ISSUED FOR PERMIT	12 MAR 2020
11	ISSUED FOR PERMIT	12 MAR 2020
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20	ISSUED FOR PERMIT	12 MAR 2020



IOM

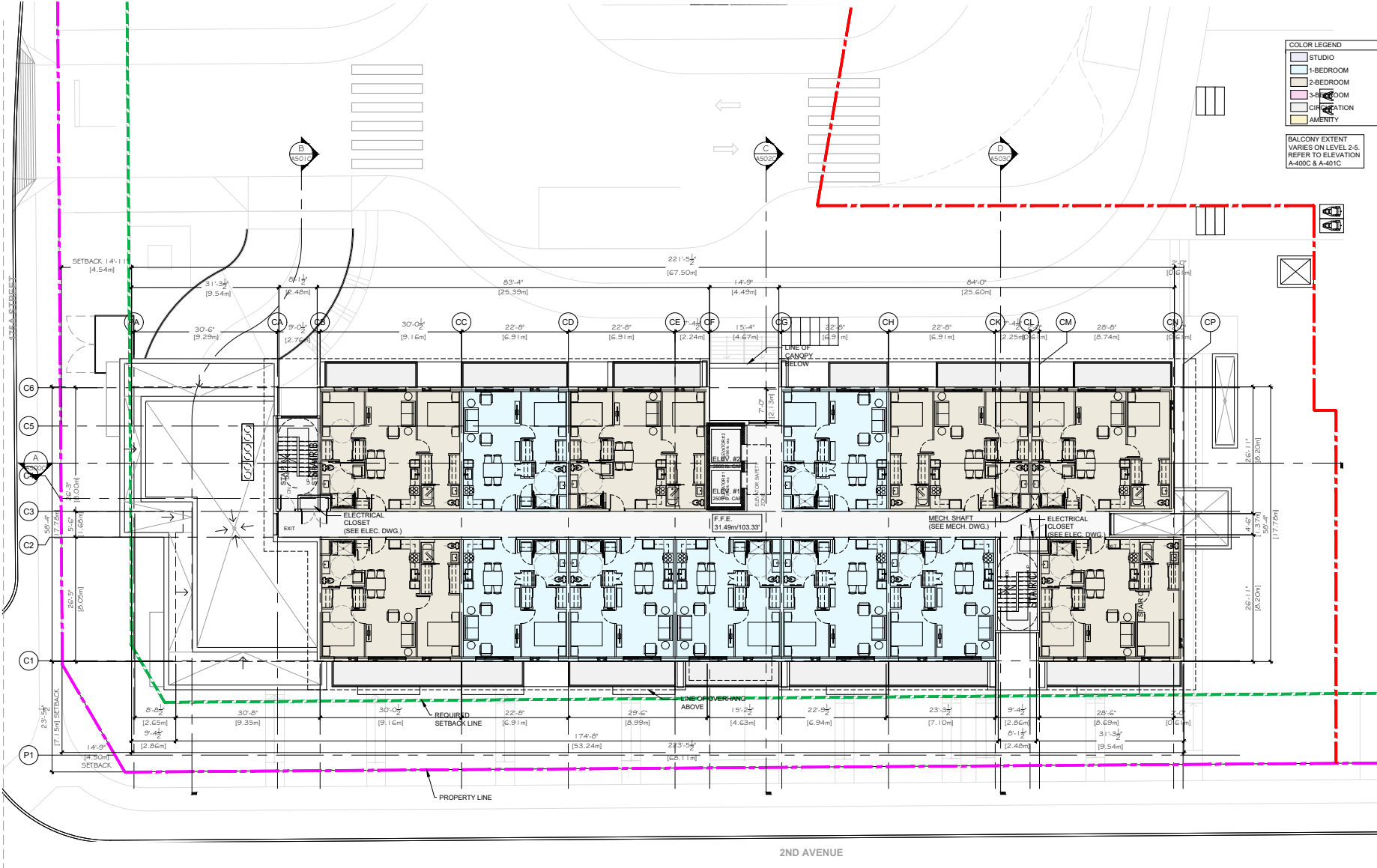
PROJECT NO: 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

SENIORS CONDO -
 MAIN FLOOR PLAN

A201C

DATE: SEPT 2018
 SCALE: 1/8" = 1'-0"

2ND AVENUE



COLOR LEGEND

- STUDIO
- 1-BEDROOM
- 2-BEDROOM
- 3-BEDROOM
- CIRCULATION
- AMENITY

BALCONY EXTENT VARIES ON LEVEL 2-5 REFER TO ELEVATION A-400C & A-401C

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/04/2018

PROJECT INFORMATION

CLIENT: IOM

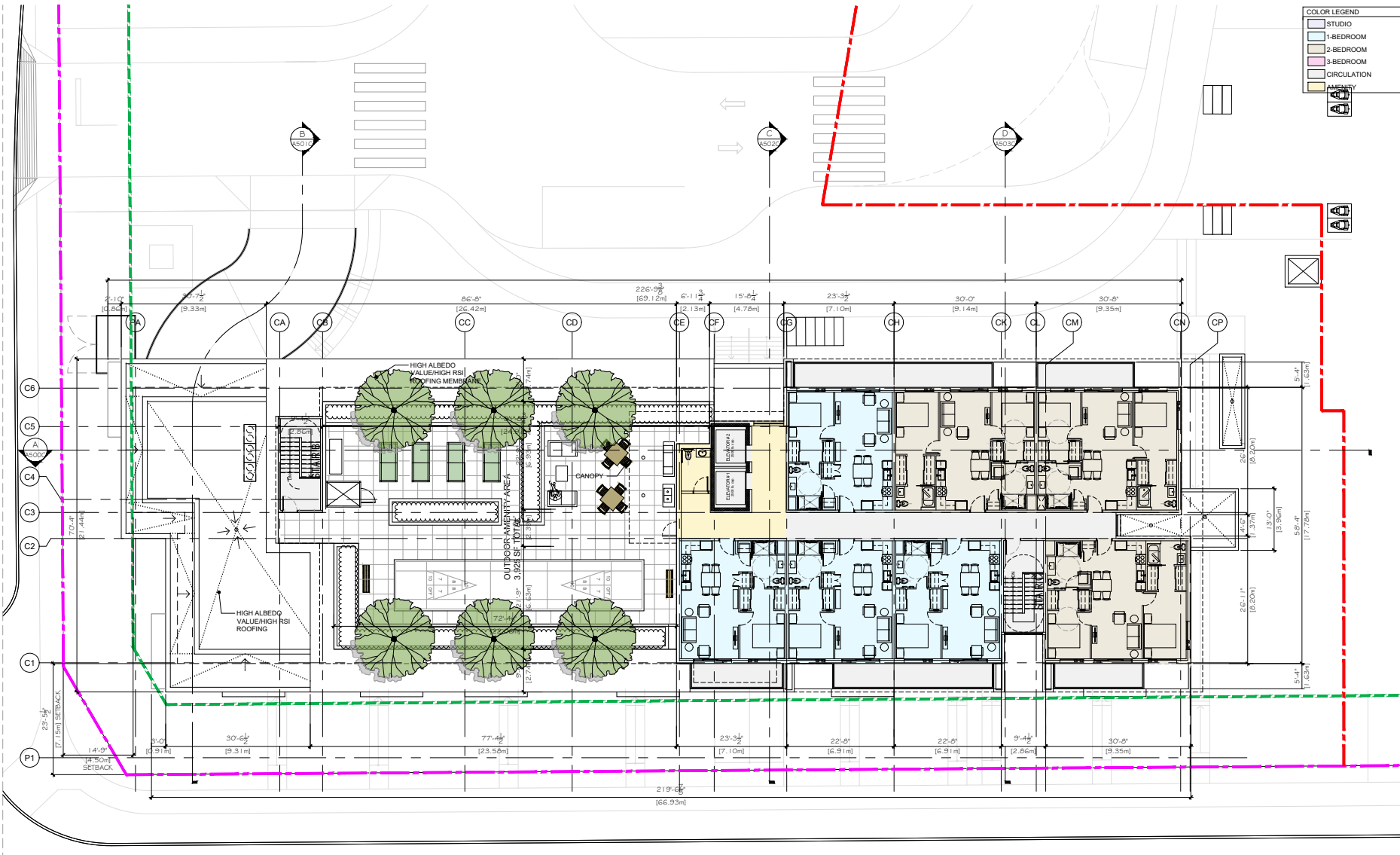
PROJECT NO: 17425

PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE: SENIORS CONDO - LEVEL 5 FLOOR PLAN

DATE: SEPT 2018

1/8" = 1'-0"



COLOR LEGEND

- STUDIO
- 1-BEDROOM
- 2-BEDROOM
- 3-BEDROOM
- CIRCULATION
- AMENITY

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REVISIONS

NO.	DESCRIPTION	DATE
01	ISSUED FOR ACP	12 MAR 2018

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



IOM

PROJECT NO. 17425
 Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE
 SENIORS CONDO -
 LEVEL 6 FLOOR PLAN

DRAWING NO. A204C

DATE: SEPT 2018
 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION / 2ND AVE.
1/8" = 1'-0"



ITEM	COLOR / FINISH	ITEM	COLOR / FINISH
1.1	CEMENTITIOUS CLADDING - PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRECESS COLOR: LIGHT MIST	5.2	GLASS / METAL BALCONY GUARD COLOR: TO MATCH LUX LIGHT ASH
1.2	CEMENTITIOUS CLADDING - PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRECESS TRIM COLOR: SLATE GREY	6	NON-COMBUSTIBLE SOPFIT W/ PERFORATED STRIP VENT COLOR: TO MATCH COLOR OF ADJACENT GLAZING
2.1	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOR: TO MATCH DARK ZINC	7	SPANDREL GLASS FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS
2.2	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: C/ HORIZONTAL V-GROOVE PANEL COLOR: TO MATCH LUX LIGHT ASH	8	SAFETY GLASS PRIVACY SCREEN TO MATCH: APEX PISA
3	WHL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING FRAME: WOOD COLOR: WOOD	9	ARCHITECTURAL EXPANDED METAL MESH ALUMINUM POWDER COATED BLACK
4.1	ENTRY DOOR AT GROUND LEVEL FRAME: TO MATCH FLY GEM - WHITE GLASS: CLEAR	10	METAL CANOPY ALUMINUM POWDER COATED BLACK
4.2	ENTRY DOOR AT MAIN ACCESS FRAME: TO MATCH FLY GEM - WHITE GLASS: DOUBLE GLAZED - CLEAR	11	ENGINEERED WOOD COLOR: EXTERIOR TYPE NATURAL TRANSPARENT STAIN
4.3	VMM PATIO DOOR FRAME: TO MATCH FLY GEM - WHITE GLASS: DOUBLE GLAZED - CLEAR	12	EXPOSED CONCRETE WALL W/ REVEAL COLOR: GRAY ELASTOMERIC COATING
4.4	METAL DOOR FRAME: TO MATCH FLY GEM - WHITE GLASS: DOUBLE GLAZED - CLEAR	13	HIGH ABEDD VALLEIGH RSI ROOFING
5.1	SAFETY GLASS BALCONY GUARD FRONT: BLACK ANODIZED ALUMINUM GLASS: CLEAR		

NOTE: 1. ALL REVEAL, TRIM & CLIPS. COLOR TO MATCH ADJACENT FACADE MATERIAL.

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PROJECT NO. 17425
PROJECT NAME Mixed Use Development 228 175A Street Surrey, BC
DRAWING TITLE SENIORS CONDO - ELEVATIONS
DATE SEPT 2018
SCALE 1/8" = 1'-0"

IOM



ELEVATION KEYNOTE LEGEND					
ITEM	DESCRIPTION	COLOUR / FINISH	ITEM	DESCRIPTION	COLOUR / FINISH
1.1	CONDITIONS CLADDING - PANEL	SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM W/RECESS COLOUR: LIGHT MIST	5.2	GLASS / METAL BALCONY GUARD	ALUMINUM POWDER COATED COLOUR: TO MATCH LUX LIGHT ASH
1.2	CONDITIONS CLADDING - PANEL	SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM W/RECESS TRIM COLOUR: SLATE GRAY	6	NON-COMBUSTIBLE SOPFIT W/ PERFORATED STRIP VENT	COLOUR: TO MATCH LUX LIGHT ASH
2.1	ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: FRAME COLOUR: TO MATCH DARK ZINC	7	SPANDREL GLASS	COLOUR: TO MATCH COLOUR OF ADJACENT GLAZING
2.2	ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: C/ HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX LIGHT ASH	8	SAFETY GLASS PRIVACY SCREEN	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TINTED TRANSPARENT GLASS
3	W/MS WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING	FRAME: TO MATCH PVC GEN - WHITE GLASS: CLEAR	9	ARCHITECTURAL EXPANDED METAL MESH	TO MATCH: ARCH/PSA
4.1	ENTRY DOOR AT GROUND LEVEL	FRAME: WOOD CELLULOSE: WOOD	10	METAL CANOPY	ALUMINUM POWDER COATED BLACK
4.2	ENTRY DOOR AT MAIN ACCESS	FRAME: TO MATCH PVC GEN - WHITE GLASS: DOUBLE GLAZED - CLEAR	11	ENGINEERED WOOD	COLOUR: EXTERIOR TYPE NATURAL TRANSPARENT STAIN
4.3	W/MS PATIO DOOR	FRAME: TO MATCH PVC GEN - WHITE GLASS: DOUBLE GLAZED - CLEAR	12	EXPOSED CONCRETE WALL W/ REVEAL	COLOUR: GRAY (Elastomeric Coating)
4.4	METAL DOOR	COLOUR: TO MATCH ADJACENT WALL	13	HIGH ABREXO VALLEY/RSI ROOFING	
5.1	SAFETY GLASS BALCONY GUARD	ROOF: BLACK ANODIZED ALUMINUM GLASS: CLEAR			

NOTE: 1. ALL REVEAL TRIM & CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL.

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PROJECT INFORMATION

NO. DESCRIPTION DATE
 1042020201 12 SEP 2020

CLIENT

IOM

PROJECT NO. 17425

PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC

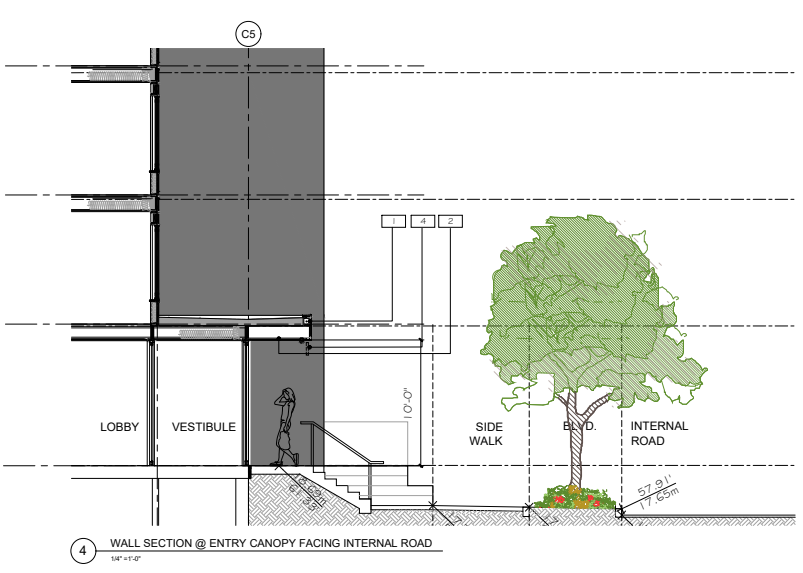
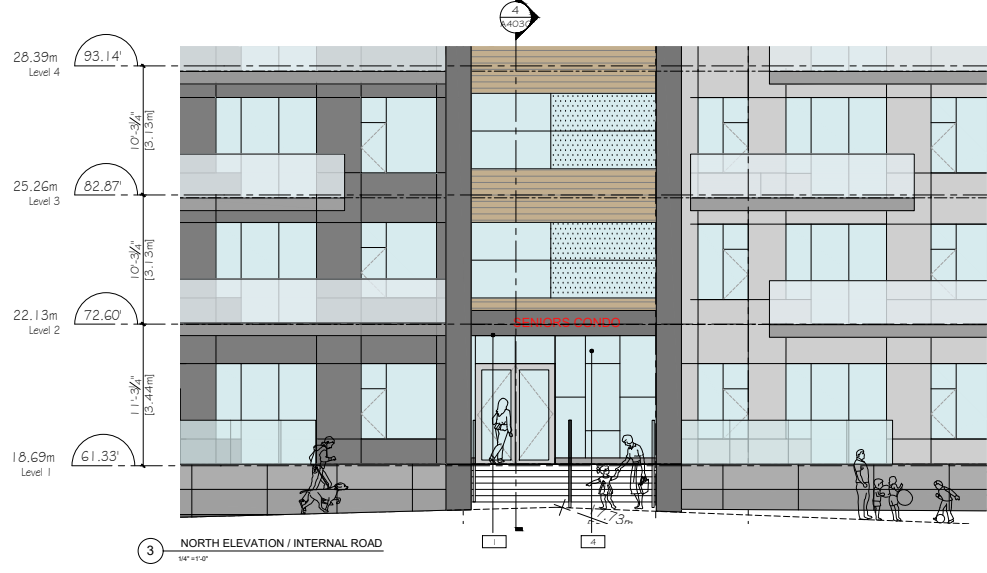
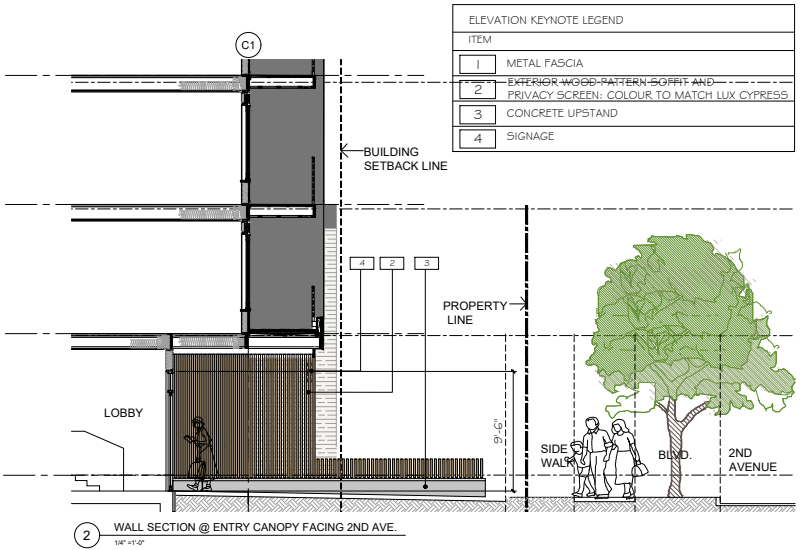
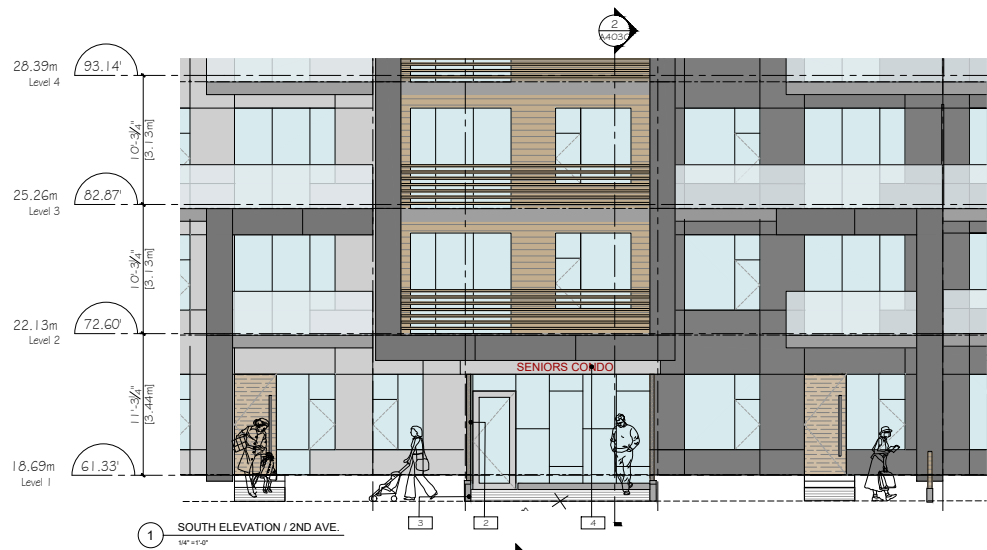
DRAWING TITLE
SENIORS CONDO - ELEVATIONS

DATE

DRAWING NO. 1042020201

A402C

DATE: 12 SEP 2018
 DRAWN: [Name]
 CHECKED: [Name]
 1/8"=1'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NO. 17425

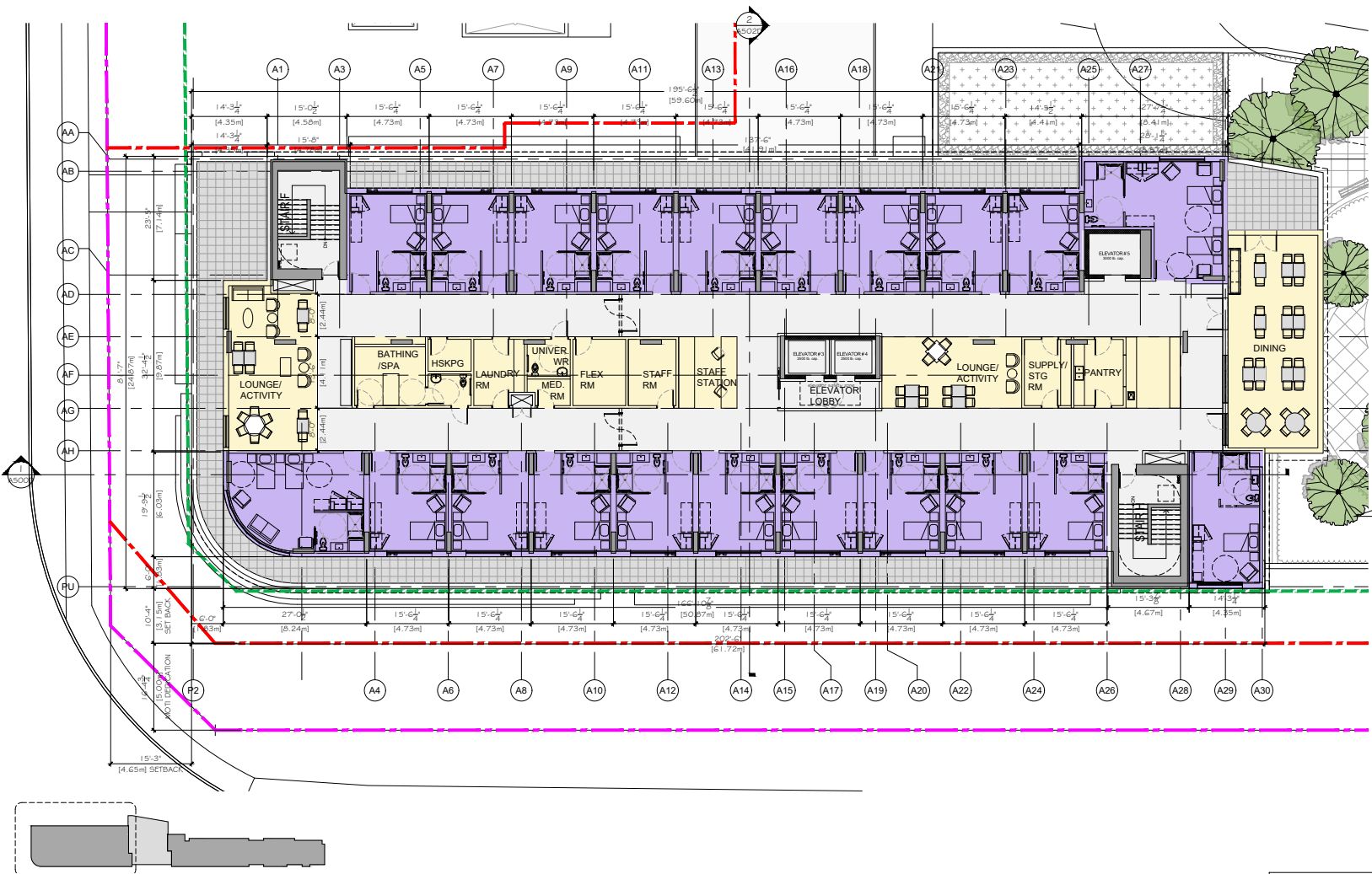
PROJECT Mixed Use Development
228 175A Street
Surrey, BC

DRAWING TITLE SENIORS CONDO -
ENTRY CANOPIES

DATE JUL 2019

SCALE 1/4" = 1'-0"

A504C



COLOR LEGEND

[Red]	RETAIL
[Purple]	COMMERCIAL / OFFICE
[Orange]	TOWNHOUSE
[Light Blue]	STUDIO
[Light Green]	1-BEDROOM
[Light Yellow]	2-BEDROOM
[Light Purple]	3-BEDROOM
[Light Grey]	CIRCULATION
[Light Blue-Gray]	AMENITY
[Light Green]	CARE UNITS

bfa studio architects
 ARCHITECTS, INTERIORS, LANDSCAPE ARCHITECTS

PROJECT: 228-175A STREET
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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 MAR 2018



IOM

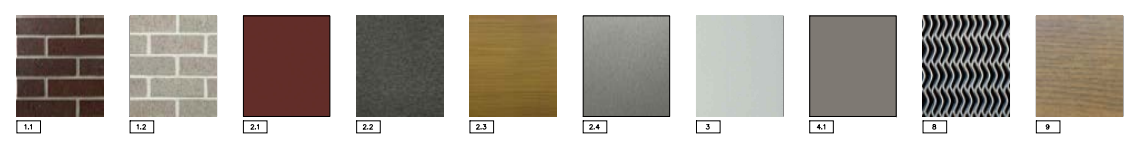
PROJECT NO. 17425
 PREPARED BY
 Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE
 CARE FACILITY -
 LEVEL 5 FLOOR PLAN

DATE: SEPT 2018
 SCALE: 1/8" = 1'-0"

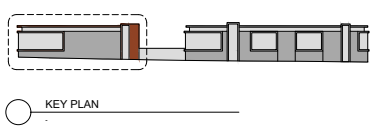
NOTE:
 EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND
 BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICALLY UPDATED
 AND FULLY CONFORM TO BAP ACOUSTICS ACOUSTICAL REPORT.

REFER TO A201E FOR ASSISTED LIVING LEVELS FLOOR PLAN (SOUTH)



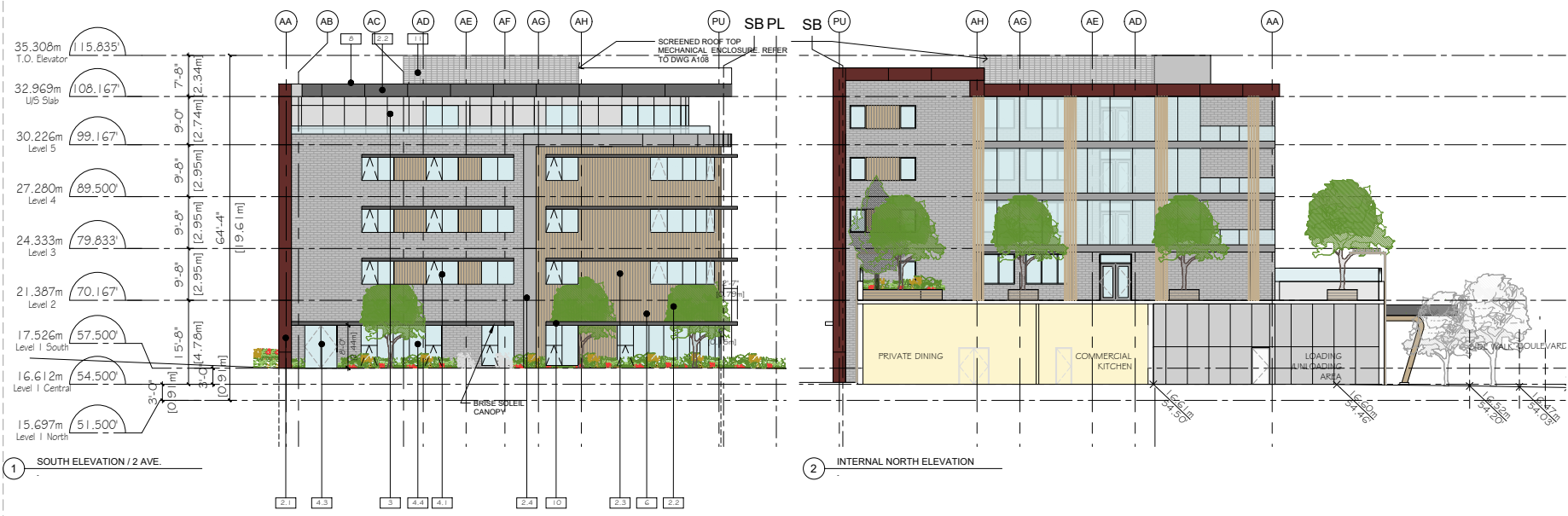
ITEM	COLOUR / FINISH
1.1	STANDARD FACE BRICK - 4 1/2" PATTERN: TSD
1.2	STANDARD FACE BRICK - 4 1/2" PATTERN: TSD
2.1	ALUMINUM CLADDING PANEL SYSTEM
2.2	ALUMINUM CLADDING PANEL SYSTEM
2.3	ALUMINUM CLADDING PANEL SYSTEM
2.4	ALUMINUM CLADDING PANEL SYSTEM
3	CONTINUOUS CLADDING - PANEL
4.1	W/VI WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING. REFER TO WINDOW SCHEDULE
4.2	ALUMINUM FRAME DOOR W/ GLAZING UNIT. REFER TO WINDOW SCHEDULE
4.3	MAIN LEVEL ENTRY DOORS
4.4	STOREFRONT WINDOW DOOR. REFER TO WINDOW SCHEDULE
5.1	SAFETY GLASS BALCONY GUARD
5.2	SAFETY GLASS PRIVACY SCREEN
6	EXTERIOR WOOD PATTERN / SOFFIT
7	SPANDREL GLASS
8	ARCHITECTURAL EXPANDED METAL MESH
9	ENGINEERED WOOD
10	BRISE SOLEIL CANOPY
11	HIGH RISE VALLEY HIGH SRI ROOFING

NOTE: 1. ALL REVEAL TRIM & CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL
2. EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICALLY UPDATED AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.



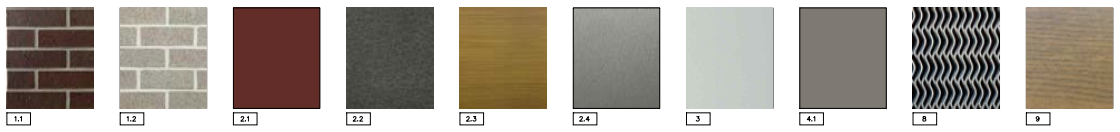
1 EAST ELEVATION / 176TH STREET.

KEY PLAN



1 SOUTH ELEVATION / 2 AVE.

2 INTERNAL NORTH ELEVATION



ITEM	COLOUR / FINISH
1.1 STANDARD FACE BRICK - 491 2" PATTERN: TBD	TO MATCH ENDICOTT BORDEN
1.2 STANDARD FACE BRICK - 491 2" PATTERN: TBD	TO MATCH NATURAL MATERIALS PEWTER
2.1 ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: PANEL COLOUR: TO MATCH LUX COLONIAL RED
2.2 ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: PANEL COLOUR: TO MATCH LUX DARK ZINC
2.3 ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: OF HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX LIGHT ASH
2.4 ALUMINUM CLADDING PANEL SYSTEM	SYSTEM: OF HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX HEARTWOOD ZINC
3 CONTINUOUS CLADDING - PANEL	SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRRCSEZ TRIM COLOUR: LIGHT MIST
4.1 VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING. REFER TO WINDOW SCHEDULE	FRAME: TO MATCH FLY GEM - BECZ GLASS: DOUBLE GLAZED - CLEAR
4.2 ALUMINUM FRAME DOOR W/ GLAZING UNIT. REFER TO WINDOW SCHEDULE	FRAME: ANODIZED ALUMINUM - CLEAR OR MATCH 4.1 GLASS: DOUBLE GLAZED - CLEAR
4.3 MAIN LEVEL ENTRY DOORS	FRAME: ANODIZED ALUMINUM - TO MATCH STARLINE KENDALL CHARCOAL GLASS: DOUBLE GLAZED - CLEAR
4.4 STOREFRONT WINDOW DOOR. REFER TO WINDOW SCHEDULE	FRAME: ANODIZED ALUMINUM - TO MATCH STARLINE KENDALL CHARCOAL GLASS: DOUBLE GLAZED - CLEAR
5.1 SAFETY GLASS BALCONY GUARD	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED GLASS
5.2 SAFETY GLASS PRIVACY SCREEN	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS
6 EXTERIOR WOOD PATTERN SOFFIT	COLOUR: TO MATCH LUX CYPRESS
7 SPANDREL GLASS	COLOUR: TO MATCH COLOUR OF ADJACENT GLAZING
8 ARCHITECTURAL EXPANDED METAL MESH	TO MATCH: APEX PISA
9 ENGINEERED WOOD	COLOUR: EXTERIOR TYPE NATURAL TRANSPARENT STAIN
10 BRISE SOLEL CANOPY	COLOUR: ALUMINUM TO MATCH WINDOW FRAMES
11 HIGH ABEDO VALLEHIGH SRI ROOFING	

NOTE: 1. ALL REVEAL TRIM & CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL.
2. EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICALLY UPDATED AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.

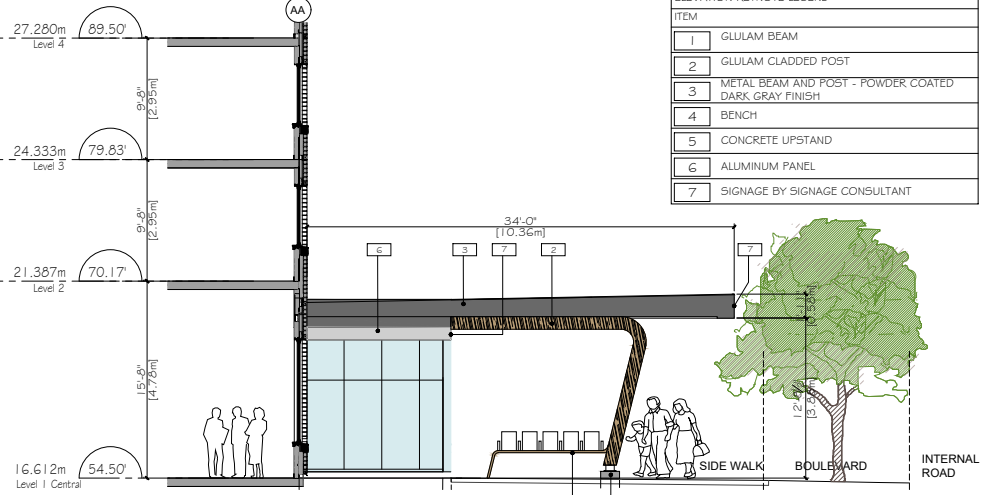
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 www.bfastudio.com info@bfastudio.com

PROJECT NO. 17425
 CLIENT IOM
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE CARE FACILITY - ELEVATIONS
 DATE OCT 2018
 SCALE 1/8"=1'-0"

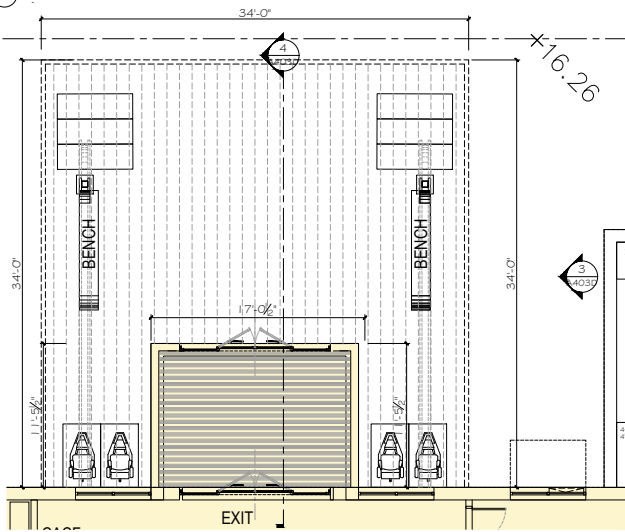


2 FRONT (WEST) ELEVATION

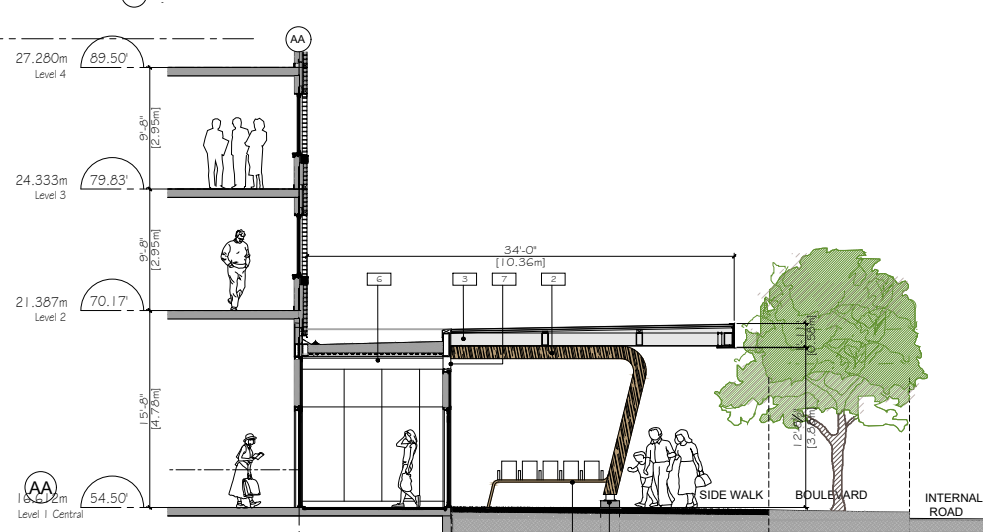


3 SIDE ELEVATION

ELEVATION KEYNOTE LEGEND	
ITEM	
1	GLULAM BEAM
2	GLULAM CLADDED POST
3	METAL BEAM AND POST - POWDER COATED DARK GRAY FINISH
4	BENCH
5	CONCRETE UPSTAND
6	ALUMINUM PANEL
7	SIGNAGE BY SIGNAGE CONSULTANT



1 PARTIAL MAIN LEVEL FLOOR PLAN



4 WALL SECTION

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IOM

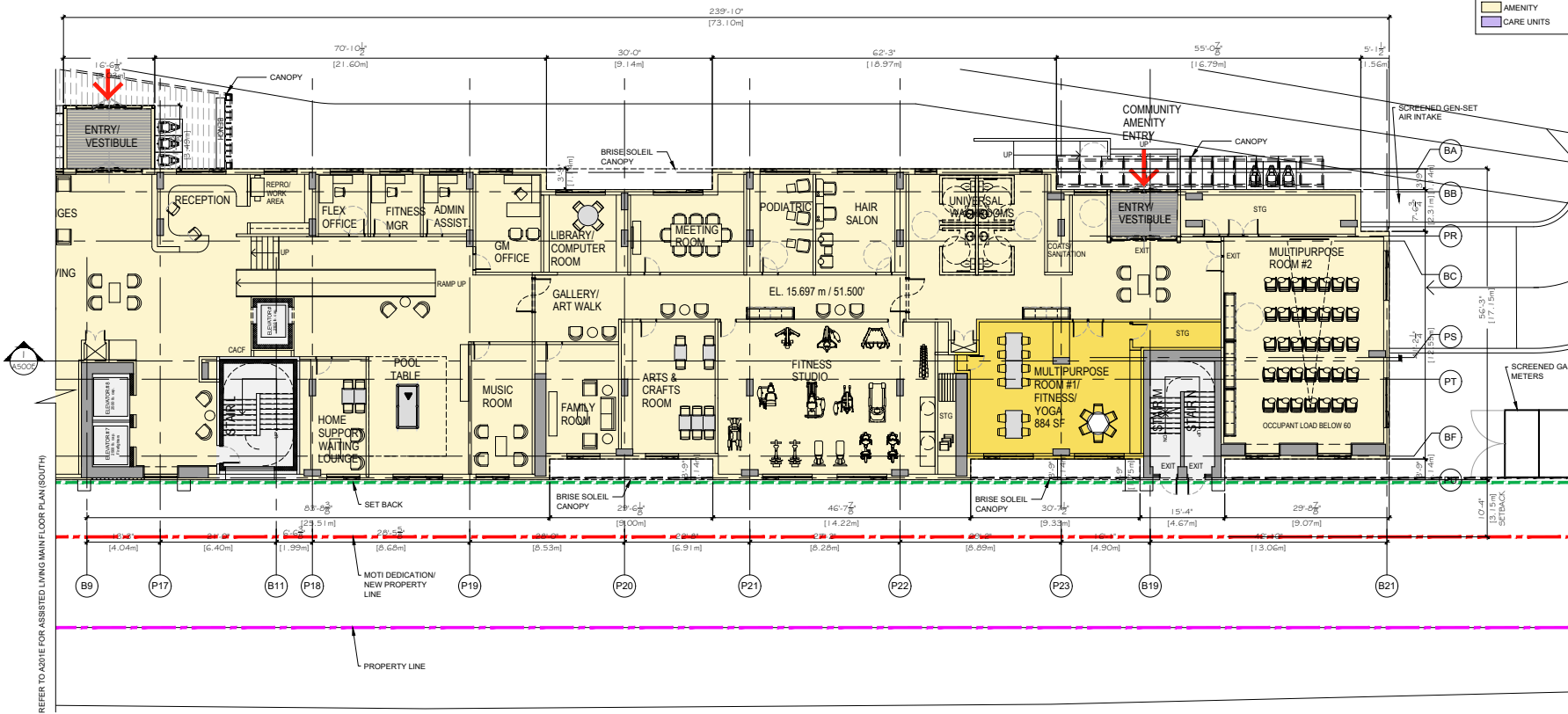
PROJECT NO. 17425
 PRESENT Mixed Use Development 228 175A Street Surrey, BC

DRAWING TITLE CARE FACILITY - ENTRY CANOPY

DATE

DRAWING NO. A403D

DATE JUL 2019
 SCALE 1/4"=1'-0"



COLOR LEGEND

[Pink]	RETAIL
[Light Blue]	COMMERCIAL / OFFICE
[Light Green]	TOWNHOUSE
[Light Purple]	STUDIO
[Light Yellow]	1-BEDROOM
[Light Orange]	2-BEDROOM
[Light Green]	3-BEDROOM
[Light Blue]	CIRCULATION
[Light Yellow]	AMENITY
[Light Purple]	CARE UNITS

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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 MAR 2018

CLIENT

IOM

PROJECT NO. 17425

Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE

ASSISTED LIVING -
 MAIN FLOOR PLAN (NORTH)

DATE

NOV 2017

PROJECT NO.

17425

PROJECT NO.

17425

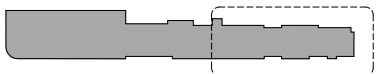
DATE

SEPT 2018

SCALE

1/8" = 1'-0"

REFER TO A202E FOR ASSISTED LIVING MAIN FLOOR PLAN (SOUTH)



KEY PLAN

COLOR LEGEND

[Pink]	RETAIL
[Light Blue]	COMMERCIAL / OFFICE
[Light Green]	TOWNHOUSE
[Light Purple]	STUDIO
[Light Yellow]	1-BEDROOM
[Light Blue-Gray]	2-BEDROOM
[Light Green-Gray]	3-BEDROOM
[Light Gray]	CIRCULATION
[Light Yellow-Gray]	AMENITY
[Light Purple-Gray]	CARE UNITS

bfa studio architects
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 FAX: 604 682 4080
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 INFO@BFASTUDIO.COM

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILD FOR ACP	12 MAR 2020

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING AND PROPOSED WORK. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

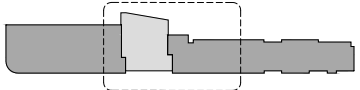
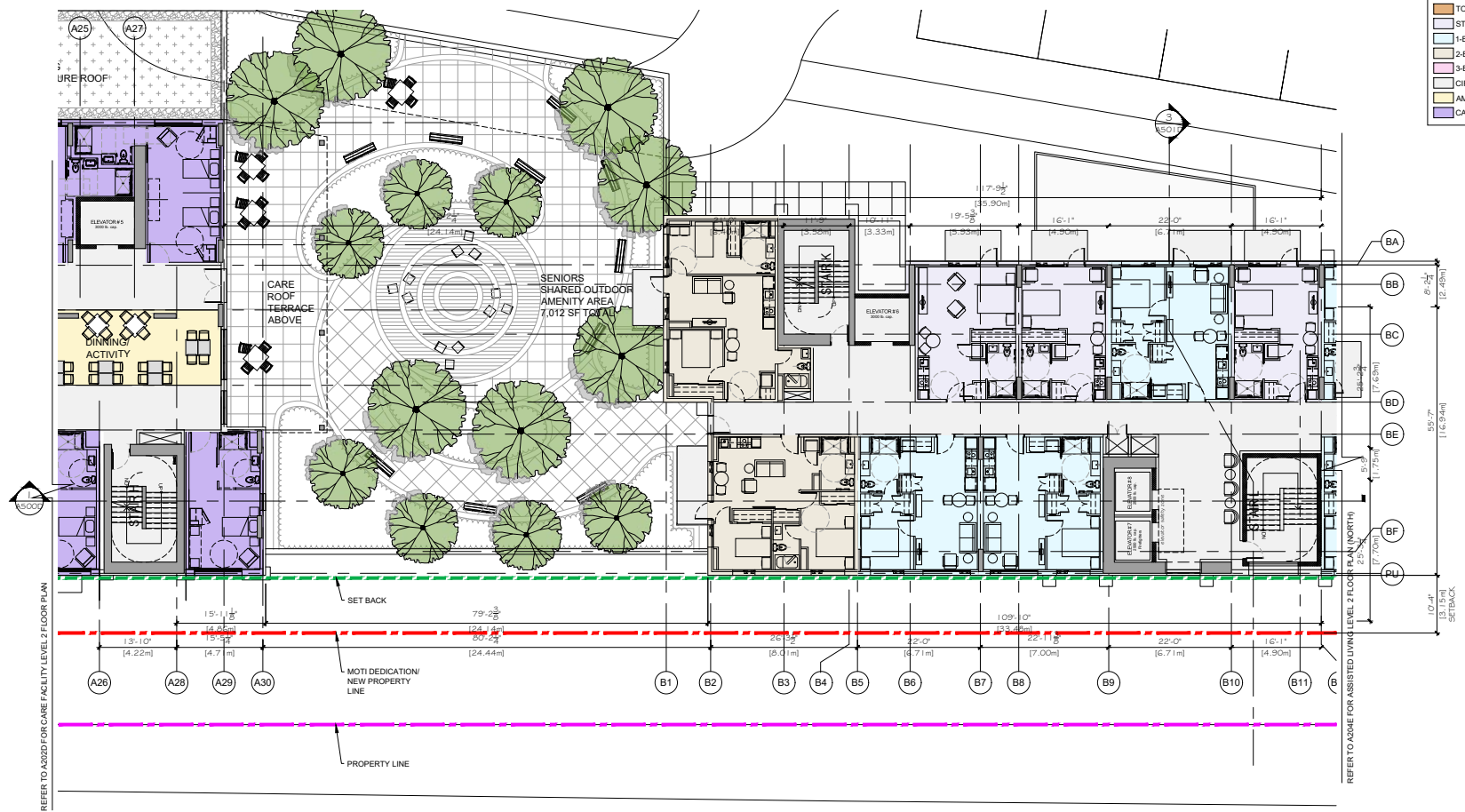


IOM

PROJECT NO. 17425
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE ASSISTED LIVING -
 LEVEL 2 FLOOR PLAN
 (SOUTH)

DRAWING NO. A203E
 DATE SEPT 2018
 SCALE 1/8" = 1'-0"

NOTE:
 EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND
 BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICALLY UPDATED
 AND FULLY CONFORM TO BAP ACOUSTICS ACOUSTICAL REPORT.

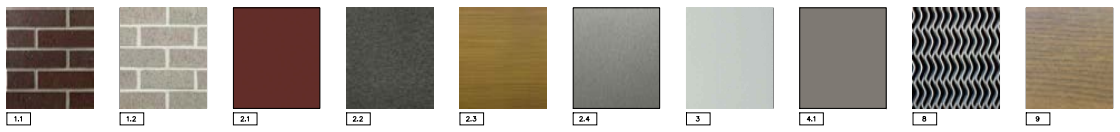


KEY PLAN



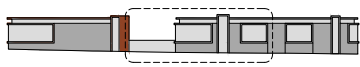
1 EAST ELEVATION / 176TH STREET, (SOUTH)

NOTE:
EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICAL UPDATES AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.



ITEM	COLOUR / FINISH
1.1	STANDARD FACE BRICK - 491 2" FASTEN: TSD TO MATCH ENDICOTT BORDEN
1.2	STANDARD FACE BRICK - 491 2" FASTEN: TSD TO MATCH NATURAL MATERIALS PEWTER
2.1	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH LUX COLONIAL RED
2.2	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH LUX DARK ZINC
2.3	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: OF HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX HEARTHOLD ZINC
2.4	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: OF HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX HEARTHOLD ZINC
3	COUNTERTOP CLADDING - PANEL SYSTEM: JAMES HARDIE - REVEAL PANEL SYSTEM WIRCESS TRIM COLOUR: LIGHT MIST
4.1	WIND WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING. REFER TO WINDOW SCHEDULE FRAME: ANODIZED ALUMINUM - CLEAR OR MATCH 4.1 GLASS: DOUBLE GLAZED - CLEAR
4.2	ALUMINUM FRAME DOOR W/ GLAZING UNIT. REFER TO WINDOW SCHEDULE FRAME: ANODIZED ALUMINUM - TO MATCH STARLINE KENDALL CHARCOAL GLASS: DOUBLE GLAZED - CLEAR
4.3	MAIN LEVEL ENTRY DOORS
4.4	STOREFRONT WINDOW DOOR. REFER TO WINDOW SCHEDULE
5.1	SAFETY GLASS BALCONY GUARD FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED GLASS
5.2	SAFETY GLASS PRIVACY SCREEN FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS
6	EXTERIOR WOOD PATTERN SOFFIT COLOUR: TO MATCH LUX CYPRESS
7	SPANDREL GLASS COLOUR: TO MATCH COLOUR OF ADJACENT GLAZING
8	ARCHITECTURAL EXPANDED METAL MESH TO MATCH: APEX PISA
9	ENGINEERED WOOD COLOUR: EXTERIOR TYPE NATURAL TRANSPARENT STAIN
10	BRISE SOLEL CANOPY COLOUR: ALUMINUM TO MATCH WINDOW FRAMES
11	HIGH ABEDO VALUHIGH SRI ROOFING

NOTE: 1. ALL REVEAL, TRIM & CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL.
2. EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICAL UPDATES AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.



KEY PLAN

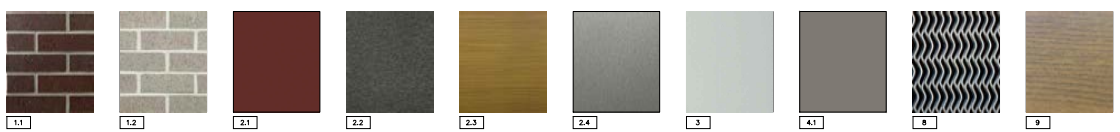
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PROJECT NO. 17425
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE ASSISTED LIVING - ELEVATIONS
 DATE OCT 2018
 SCALE 1/8"=1'-0"



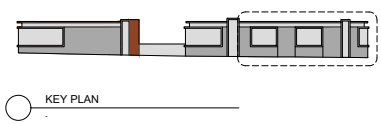
2 EAST ELEVATION / 176TH STREET, (NORTH)

NOTE:
EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICAL UPDATES AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.



ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
1.1	STANDARD FACE BRICK - 4X1 2" PATTERN, TSD	4.4	STOREFRONT WINDOW DOOR, REFER TO WINDOW SCHEDULE
1.2	STANDARD FACE BRICK - 4X1 2" PATTERN, TSD	5.1	SAFETY GLASS BALCONY GUARD
2.1	ALUMINUM CLADDING PANEL SYSTEM	5.2	SAFETY GLASS PRIVACY SCREEN
2.2	ALUMINUM CLADDING PANEL SYSTEM	6	EXTERIOR WOOD PATTERN SOFFIT
2.3	ALUMINUM CLADDING PANEL SYSTEM	7	SPANDREL GLASS
2.4	ALUMINUM CLADDING PANEL SYSTEM	8	ARCHITECTURAL EXPANDED METAL MESH
3	CONVENTIONAL GLAZING - PANEL	9	ENGINEERED WOOD
4.1	WIND WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING, REFER TO WINDOW SCHEDULE	10	BRISE SOLEIL CANOPY
4.2	ALUMINUM FRAME DOOR W/ GLAZING UNIT, REFER TO WINDOW SCHEDULE	11	HIGH ABEDD VALDREIGH SRI ROOFING
4.3	MAIN LEVEL ENTRY DOORS		

NOTE:
1. ALL REVEAL, ITEM 4 CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL.
2. EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICAL UPDATES AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.



KEY PLAN

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REVISIONS

NO.	DESCRIPTION	DATE
1	PERMITTED FOR ACP	12 09 2023

CLIENT

IOM

PROJECT NO. 17425

PROJECT Mixed Use Development 228 175A Street Surrey, BC

DRAWING TITLE ASSISTED LIVING - ELEVATIONS

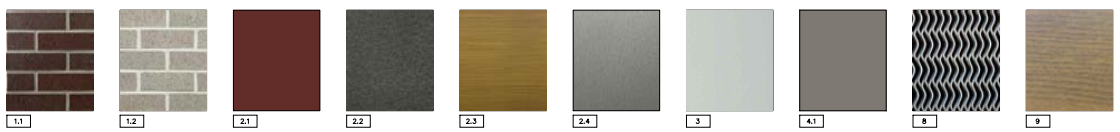
DATE 09 2023

DRAWING NO. A401E

SCALE 1/8"=1'-0"

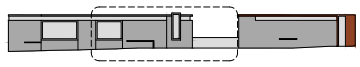


2 WEST ELEVATION / INTERNAL ROAD (SOUTH)



ELEVATION KEYNOTE LEGEND		
ITEM	COLOUR /FINISH	
1.1	STANDARD FACE BRICK - 4X1 2" PATTERN: TSD	TO MATCH ENDCOTT BORDEN
1.2	STANDARD FACE BRICK - 4X1 2" PATTERN: TSD	TO MATCH MUTUAL MATERIALS PEWEE
2.1	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH LUX COLONIAL RED	
2.2	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH LUX DARK ZINC	
2.3	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: C/ HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX LIGHT GREY	
2.4	ALUMINUM CLADDING PANEL SYSTEM SYSTEM: C/ HORIZONTAL V-GROOVE PANEL COLOUR: TO MATCH LUX WEATHERED ZINC	
3	CEMENTITIOUS CLADDING - PANEL SYSTEM: JAMES HARDIE - KENVA PANEL SYSTEM W/RECESS TRIM COLOUR: LIGHT MIST	
4.1	VIEW WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING. REFER TO WINDOW SCHEDULE	FRAME: ANODIZED ALUMINUM - CLEAR OR MATCH 4.1 GLASS: DOUBLE GLAZED - CLEAR
4.2	ALUMINUM FRAME DOOR W/ GLAZING UNIT. REFER TO WINDOW SCHEDULE	FRAME: ANODIZED ALUMINUM - CLEAR OR MATCH 4.1 GLASS: DOUBLE GLAZED - CLEAR
4.3	MAIN LEVEL ENTRY DOORS	FRAME: ANODIZED ALUMINUM - TO MATCH STARLINE KENDALL CHARCOAL GLASS: DOUBLE GLAZED - CLEAR
4.4	STOREFRONT WINDOW DOOR. REFER TO WINDOW SCHEDULE	FRAME: ANODIZED ALUMINUM - TO MATCH STARLINE KENDALL CHARCOAL GLASS: DOUBLE GLAZED - CLEAR
5.1	SAFETY GLASS BALCONY GUARD	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED GLASS
5.2	SAFETY GLASS PRIVACY SCREEN	FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS
6	EXTERIOR WOOD PATTERN SOFFIT	COLOUR: TO MATCH LUX CYPRESS
7	SPANDREL GLASS	COLOUR: TO MATCH COLOUR OF ADJACENT GLAZING
8	ARCHITECTURAL EXPANDED METAL MESH	TO MATCH: APEX PISA
9	ENGINEERED WOOD	COLOUR: EXTERIOR TYPE NATURAL TRANSPARENT STAIN
10	BRISE SOLID VALLEYING	COLOUR: ALUMINUM TO MATCH WINDOW FRAMES
11	HIGH RIBBED VALDIGHIGH SRI ROOFING	

NOTE: 1. ALL REVEAL, TRIM & CLIPS COLOUR TO MATCH ADJACENT FACADE MATERIAL.
2. EXTERIOR WALLS AND GLAZING OF ALL BEDROOM WINDOWS AND BALCONY DOORS FACING 176 STREET MUST BE ACOUSTICALLY UPDATES AND FULLY CONFORM TO BAF ACOUSTICS ACOUSTICAL REPORT.

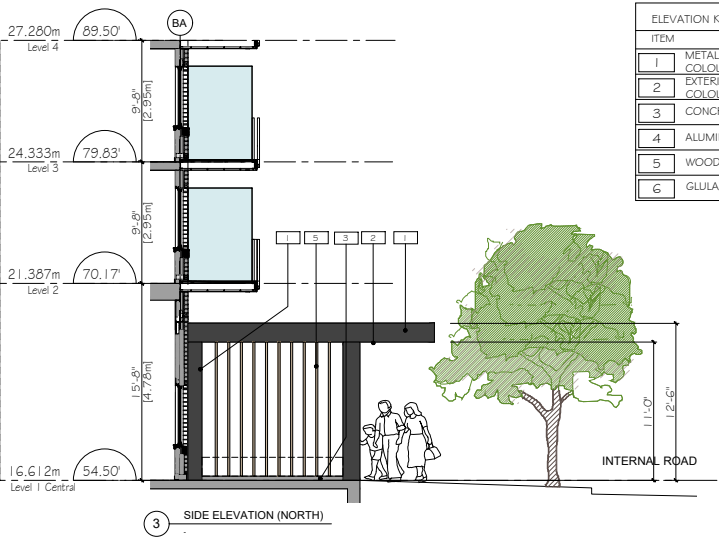


KEY PLAN

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PROJECT NO. 17425
 CLIENT IOM
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC
 DRAWING TITLE ASSISTED LIVING - ELEVATIONS
 DATE OCT 2018
 SCALE 1/8"=1'-0"

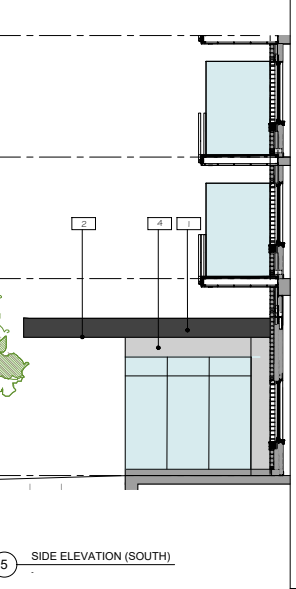
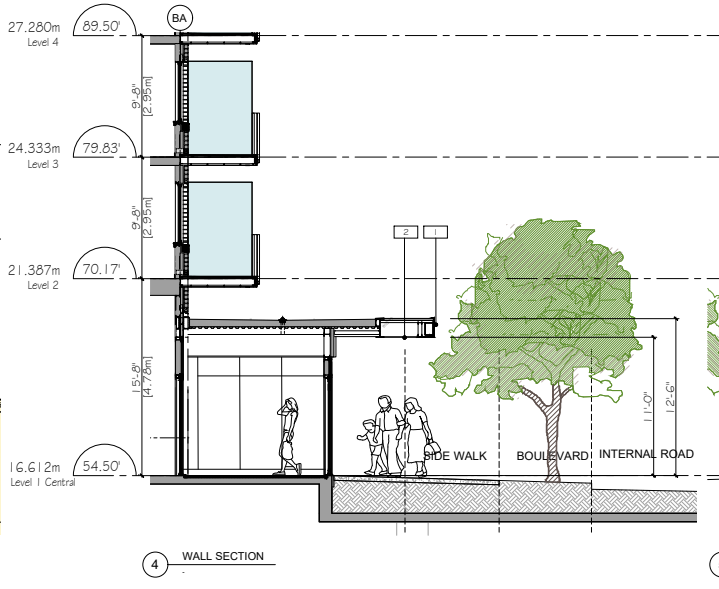
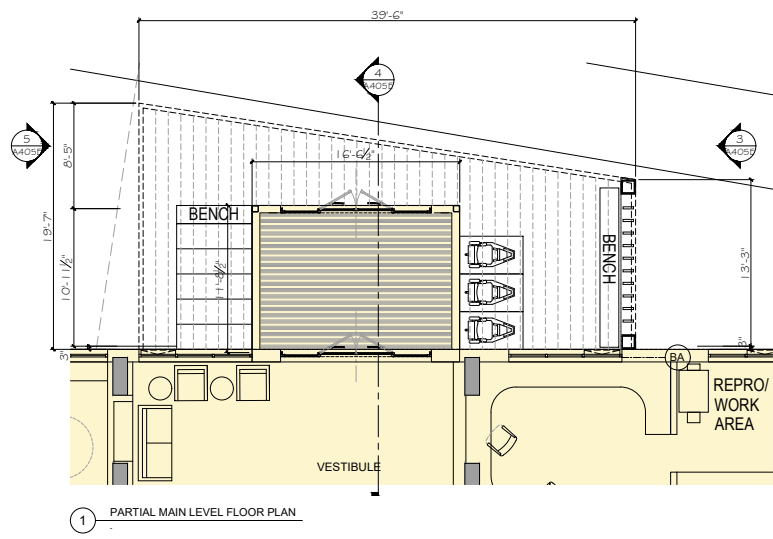


ELEVATION KEYNOTE LEGEND	
ITEM	
1	METAL BEAM AND POST: COLOUR TO MATCH LUX DARK ZINC
2	EXTERIOR WOOD PATTERN SOFFIT COLOUR TO MATCH LUX CYPRESS
3	CONCRETE UPSTAND
4	ALUMINUM PANEL
5	WOOD SLATS
6	GLULAM CLADDED COLUMN

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PROJECT INFORMATION
 NO. 24-0237-0000 DATE
 PROJECT NO. 17425
 12 MAY 2020

COMPLETION BY CONTRACT
 IOM ASSISTED LIVING - ENTRY CANOPY
 228 175A STREET SURREY, BC
 12 MAY 2020



IOM

PROJECT NO. 17425

PROJECT Mixed Use Development
228 175A Street
Surrey, BC

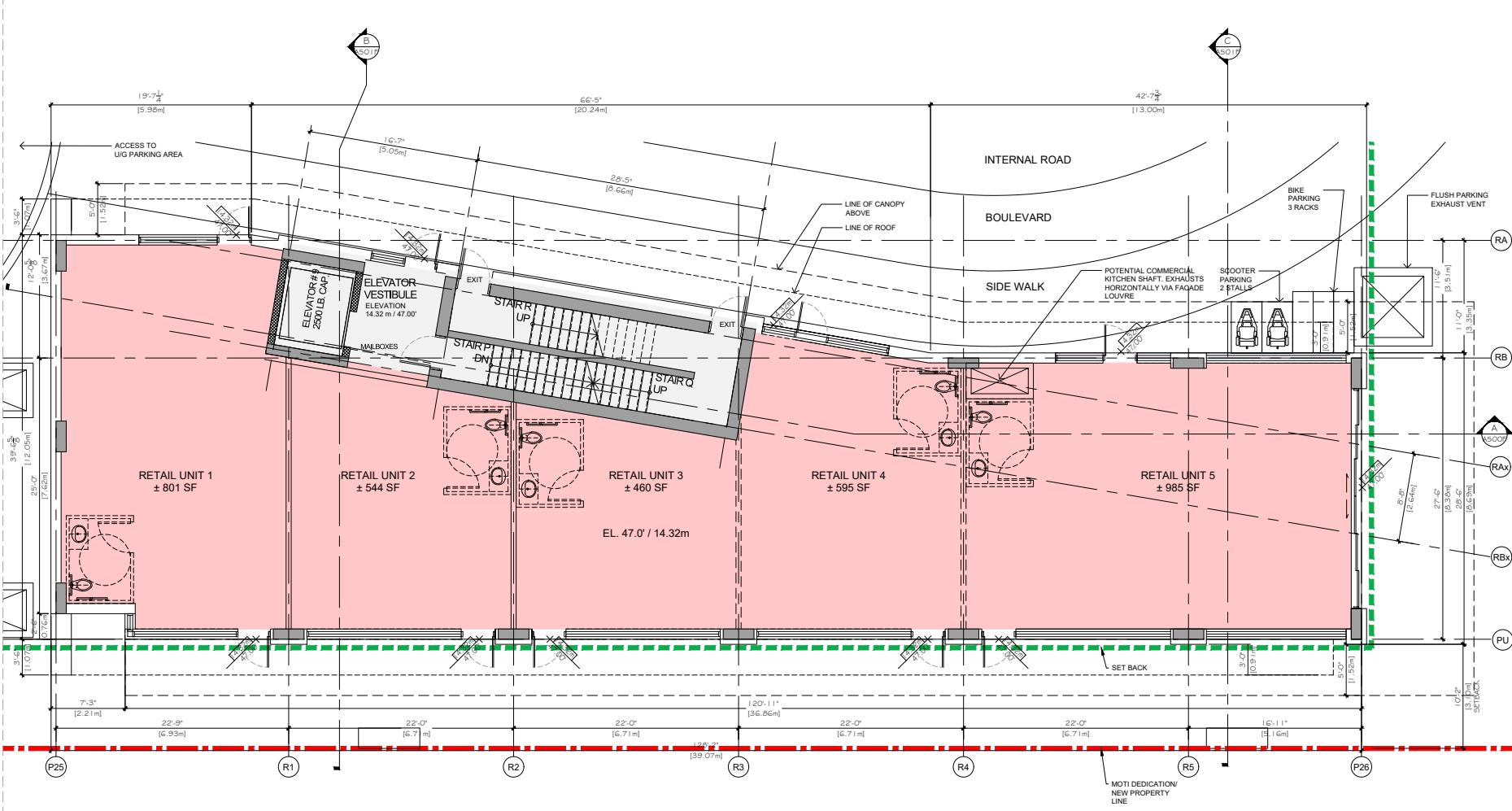
DRAWING TITLE
ASSISTED LIVING
- ENTRY CANOPY

DATE

DRAWING NO. REV. 000001

A405E

DATE JUL 2019
SCALE 1/4"=1'-0"



NO.	DESCRIPTION	DATE
1	ISSUED FOR ACP	12 MAR 2018



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IOM

PROJECT NO. 17425
 PRESENTED BY
 Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE
 RETAIL & COMMERCIAL / OFFICE - MAIN FLOOR PLAN

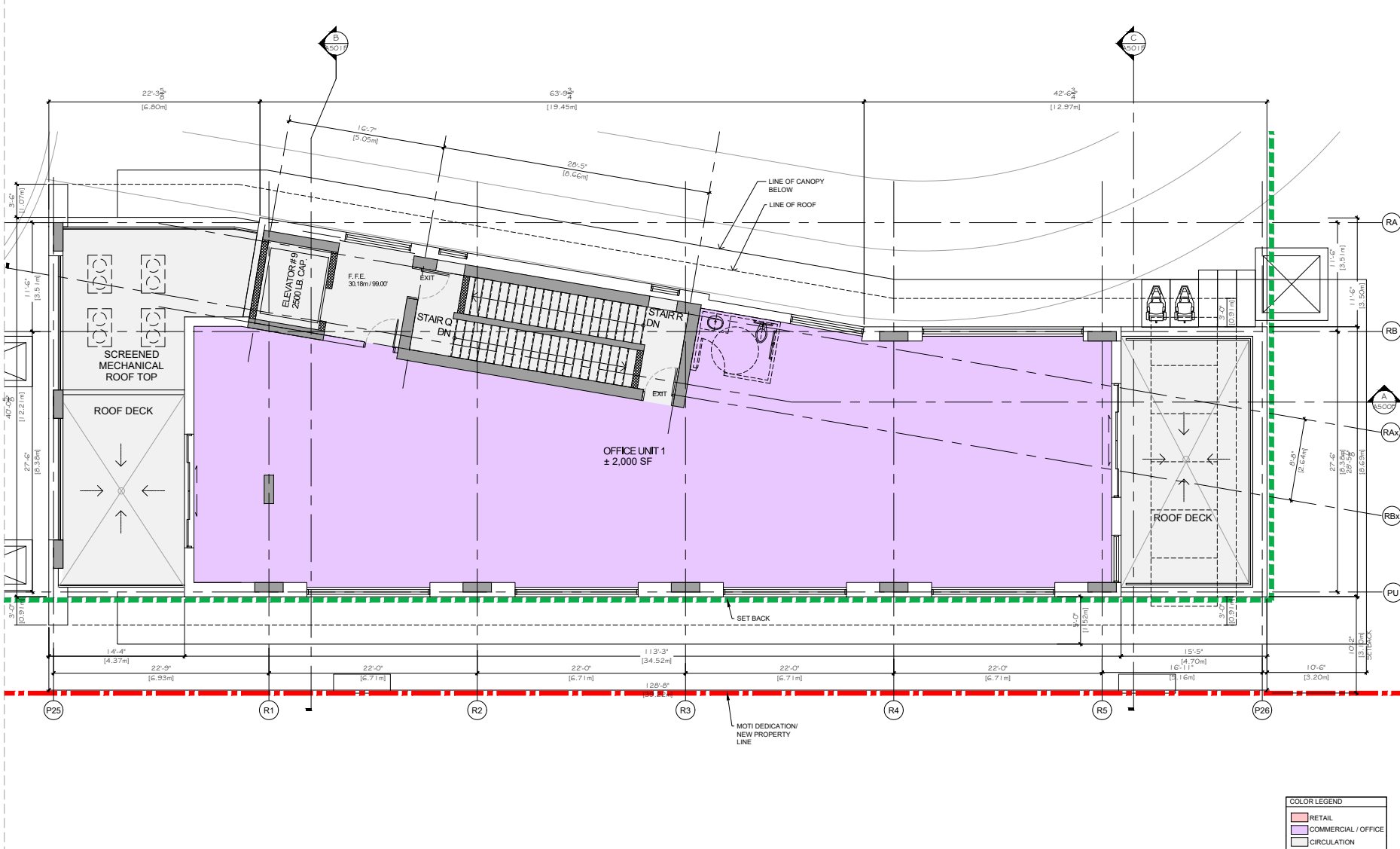
DRAWING NO. REV. NO.

A201F

DATE: 21 SEPT 2018
 SCALE: 1/4" = 1'-0"

COLOR LEGEND	
	RETAIL
	COMMERCIAL / OFFICE
	CIRCULATION

LEGEND	
	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS, -VALUE IN FEET
	DESIGN ELEVATION IN METERS, -VALUE IN FEET



bfa studio architects
 ARCHITECTS, INTERIORS, DESIGN, CONSTRUCTION ADMINISTRATION

600 - 305 Burrard Street Vancouver, BC V6C 2G8
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 www.bfa-studio.com info@bfa-studio.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR AIP	12 MAR 2018

DATE: 21 SEPT 2018
 SCALE: 1/4" = 1'-0"

IOM

PROJECT NO: 17425
 PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC

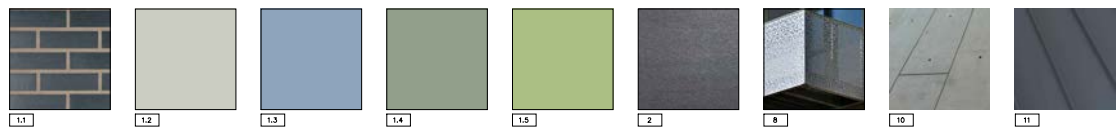
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DATE: 21 SEPT 2018
 SCALE: 1/4" = 1'-0"

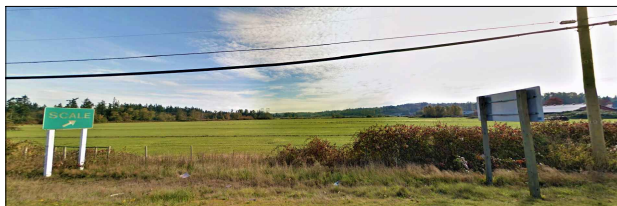
A204F

COLOR LEGEND

[Pink Box]	RETAIL
[Purple Box]	COMMERCIAL / OFFICE
[White Box]	CIRCULATION



COLOUR PALETTE INSPIRATION:
VIEW EAST FROM SITE OF ADJACENT RURAL LAND



ELEVATION KEYNOTE LEGEND	
ITEM	COLOUR / FINISH
1.1	STANDARD FACE BRICK - 4" x 1 1/2" PATTERNS: SPACED BOND TO MATCH ENDICOTT - MANGANESE BROWN
1.2	HPL CLADDING PANEL TO MATCH TRESPA METCON - PASTEL GREY
1.3	HPL CLADDING PANEL TO MATCH TRESPA METCON - PONDOR BLUE
1.4	HPL CLADDING PANEL TO MATCH TRESPA METCON - CACTUS GREEN
1.5	HPL CLADDING PANEL TO MATCH TRESPA METCON - SPRING GREEN
2	ALUMINUM FASCIA CLADDING PANEL SYSTEM SYSTEM: PANEL COLOUR: TO MATCH LUX BRUSHED CARBON
3	LOUVERS ANODIZED ALUMINUM - BLACK COLOUR: TO MATCH FASCIA
4	NON-COMBUSTIBLE SOFFIT w/ PERFORATED STRIP VENT COLOUR: TO MATCH FASCIA
5	STOREFRONT WINDOW DOOR: REFER TO WINDOW SCHEDULE FRAME: ANODIZED ALUMINUM - BLACK GLASS: DOUBLE GLAZED - CLEAR
6	ALUMINUM FRAME DOOR & WINDOW: REFER TO WINDOW SCHEDULE FRAME: ANODIZED ALUMINUM GLASS: DOUBLE GLAZED - CLEAR
7	SIGNAGE BY TENANT
8	PERFORATED METAL BALCONY GUARD TO MATCH MANICOLORS (C340)
9	PREFINISHED METAL FLASHING COLOUR: TO MATCH ADJACENT WALL
10	EXPOSED CONCRETE ELASTOMERIC COATING - COLOR: GRAY
11	STANDING SEAM METAL ROOF - HIGH ALBEDO / HIGH SRI COLOUR: TO MATCH LUX BRUSHED CARBON

NOTE: 1: ALL REVERSAL, TRIM & CURBS: COLOUR TO MATCH ADJACENT FACADE MATERIAL.

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 600-228-Broad Street
 Vancouver, BC V6C 2S8
 T: 604-682-8944
 F: 604-682-8980
 info@bestarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	12-06-2018

SUPPORTING MATERIALS

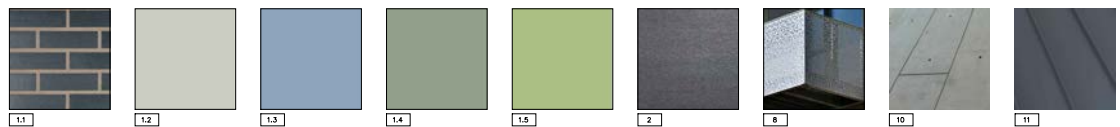
DATE: **OCT 2018**
 SCALE: **1/8"=1'-0"**

IOM

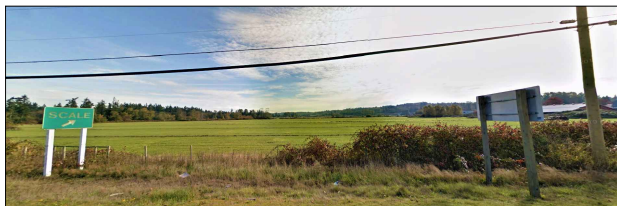
PROJECT NO: 17425
 PROJECT: Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE: RETAIL & COMMERCIAL / OFFICE - ELEVATIONS

DATE: **OCT 2018**
 SCALE: **1/8"=1'-0"**



COLOUR PALETTE INSPIRATION:
VIEW OF RURAL LAND ADJACENT TO THE SITE



ELEVATION KEYNOTE LEGEND		ELEVATION KEYNOTE LEGEND	
ITEM	COLOUR / FINISH	ITEM	COLOUR / FINISH
1.1	STANDARD FACE BRICK, 4"X12" PATTERNS: SPACED BAND	6	ALUMINUM FRAME DOOR & WINDOW; REFER TO WINDOW SCHEDULE
1.2	HPL CLADDING PANEL	7	SIGNAGE BY TENANT
1.3	HPL CLADDING PANEL	8	PERFORATED METAL BALCONY GUARD
1.4	HPL CLADDING PANEL	9	PRE-FINISHED METAL FLASHING
1.5	HPL CLADDING PANEL	10	EXPOSED CONCRETE
2	ALUMINUM FASCIA CLADDING PANEL SYSTEM	11	STANDING SEAM METAL ROOF - HIGH ALBEDO / HIGH SRI
3	LOUVERS		
4	NON-COMBUSTIBLE SOFFIT W/ PERFORATED STRIP VENT		
5	STOREFRONT WINDOW DOOR; REFER TO WINDOW SCHEDULE		

NOTE: 1: ALL REVEAL, TRIM & CURBS: COLOUR TO MATCH ADJACENT FACADE MATERIAL.

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 600-255-Broad Street
 Vancouver, BC, V6C 2S8
 www.bfaarchitects.com

REVISIONS
 NO. DESCRIPTION DATE

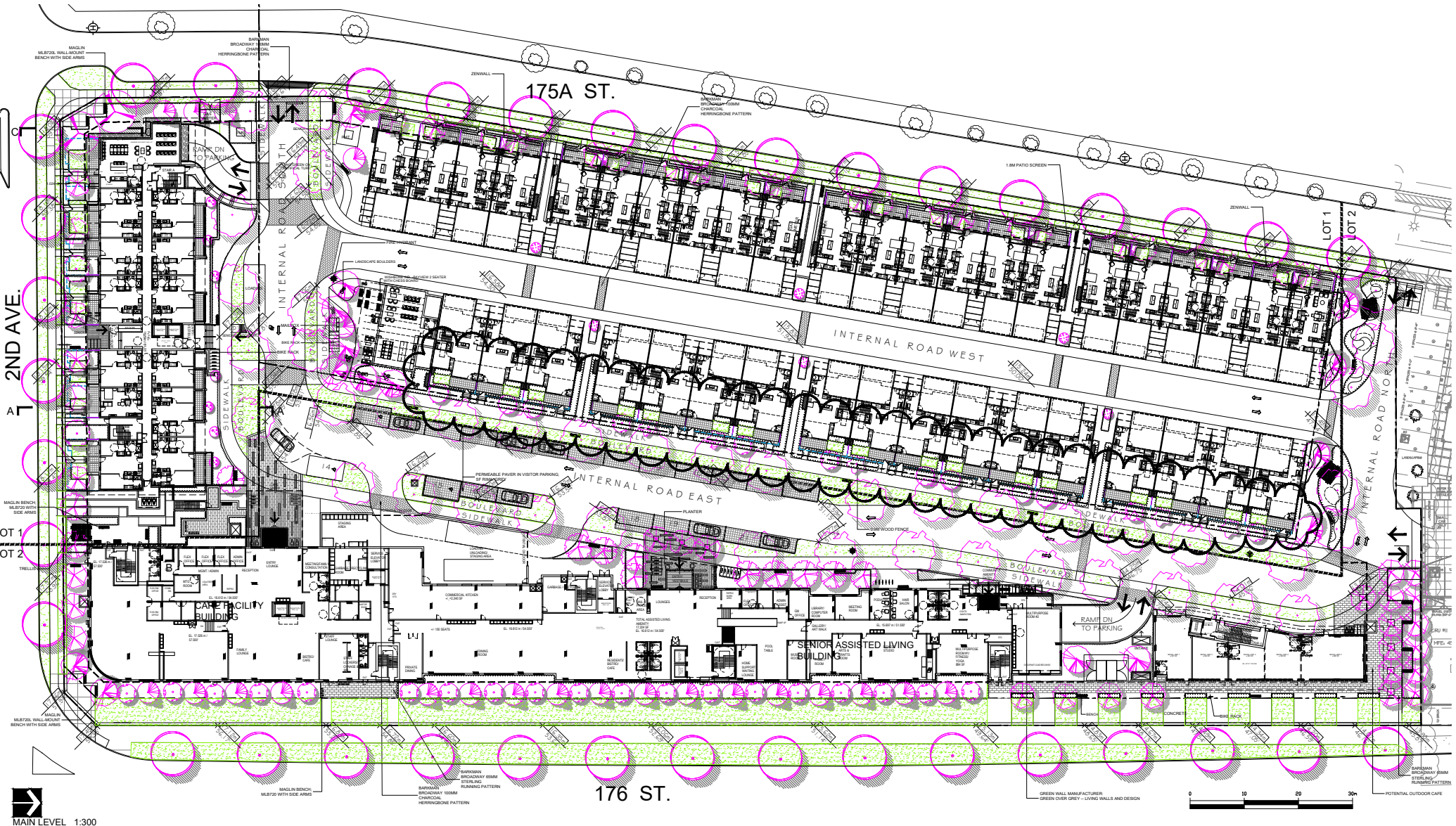
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IOM

PROJECT NO. 17425
 PROJECT Mixed Use Development
 228 175A Street
 Surrey, BC

DRAWING TITLE
 RETAIL & COMMERCIAL /
 OFFICE - ELEVATIONS

DATE
 OCT 2018
 1/8"=1'-0"



MAIN LEVEL 1:300

pmg
 LANDSCAPE ARCHITECTS
 Suite C100 - 4185 58th Creek Drive
 Burnaby, British Columbia, V5C 6G9
 p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
12	22 APR 09	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 05	NEW SITE PLAN	MM
10	2021/JAN/23	NEW SITE PLAN	YS
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3	2017/FEB/27	SECTIONS	YS
2	2016/OCT/07	NEW SITE PLAN	YS
1	2016/MAY/24	NEW SITE PLAN	YS
15	21 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
 228 - 175A STREET
 SURREY, BC

SEAL:

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 2018.FEB.15

SCALE: 1:300

DRAWN: YR

DESIGN: YR

CHKD: MCV

DRAWING NUMBER:

L1

PMG PROJECT NUMBER:

18001-15.ZIP

OF 23

18-001

PLANT SCHEDULE				GROUND LEVEL	PMG PROJECT NUMBER: 18001
KEY	QTY	BOTANICAL NAME	COMMON NAME		PLANTED SIZE / REMARKS
5	ACER GRISELUM	PAPERBARK MAPLE	6CM CAL. 1.8M STD; B&B		
3	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; B&B; UPRIGHT FORM		
10	ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	6CM CAL.; 2M STD; B&B		
9	ACER RUBRUM 'BOWHALL'	COLUMNAR BOWHALL MAPLE	6CM CAL.; 2M STD; B&B		
2	CARPINUS BETULUS 'FRANS FONTAINE'	PYRAMIDAL EUROPEAN HORNBREAM	5CM CAL; B&B		
43	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	8CM CAL.; 1.8M STD; B&B		
4	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL.; 1.5M STD; B&B		
24	CORNUS FLORIDA 'RUBRA'	PINK FLOWERING DOGWOOD	6CM CAL.; 2M STD; B&B		
34	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	6CM CAL.; 2M STD; B&B		
12	MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	5CM CAL.; 1.8M STD;		
22	PICEA OMORIKA	SERBIAN SPRUCE	2.5M HT; B&B		
7	PRUNUS SERRULATA 'AMANOGAWA'	AMANOGAWA FLOWERING CHERRY	6CM CAL.; 1.5M STD; B&B		
15	PRUNUS SERRULATA 'KWANZAN'	KWANZAN FLOWERING CHERRY	6CM CAL.; 1.5M STD; B&B		
6	QUERCUS PALLISTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6CM CAL.; 1.8M STD; B&B		
		STREET TREES			

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

PLANT SCHEDULE				GROUND FLOOR	PMG PROJECT NUMBER: 18-001
KEY	QTY	BOTANICAL NAME	COMMON NAME		PLANTED SIZE / REMARKS
27	BERBERIS THUNBERGII 'ROYAL BURGUNDY'	'ROYAL BURGUNDY' BARBERRY	#3 POT; 40CM		
70	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM		
240	CHOISYA TERNATA	MEXICAN MOCK ORANGE	#3 POT; 50CM		
193	HEBE PINGUIFOLIA 'SUTHERLANDII'	SUTHERLAND HEBE	#2 POT; 40CM		
513	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM		
372	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA; LIMEGREEN-PINK	#3 POT; 80CM		
459	LANCERA PILEATA	BOX HONEYSUCKLE	#3 POT; 50CM		
116	NANDINA DOMESTICA 'MOONBAY'	DWARF HEAVENLY BAMBOO	#3 POT; 50CM		
328	OSMANTHUS DELAVAYI	FALSE HOLLY	#3 POT; 50CM		
109	PRUNUS LAUROCEARUSIS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT; 50CM		
40	RHOODODENDRON 'CAPISTRANO'	HYBRID RHOODODENDRON; PALE YELLOW	#3 POT; 50CM		
244	ROSA MEIDELAND 'BONICA'	MEIDLAND ROSE; PINK	#2 POT; 40CM		
58	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM		
141	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#3 POT; 40CM		
109	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	1.0M B&B		
41	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM		
108	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM		
57	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT		
281	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT		
56	FESTUCA MAIREI	ATLAS FESCUE	#1 POT		
845	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT		
861	LUZULA NIVEA	SNOWY WOOD RUSH	#1 POT		
207	EUPHORBIA CHARACIAS SSP. WULFENII	CHARACIAS SPURGE	15CM POT		
377	HEUCHERA x BRZOIDES 'PLUM PUDDING'	CORAL BELLS; PURPLE AND SILVER	15CM POT		
286	LAVENDULA ANGSTROFFIIA	ENGLISH LAVENDER	15CM POT; #1 POT		
120	PEROVSKIA ATRIPLEXIFOLIA	DWARF RUSSIAN SAGE	15CM POT		
13	RUDEBECKIA FULGIDA VAR SULLIVANTII 'GOLDSTURMROBECKIA; YELLOW		15CM POT		
52	TIARELLA CORDIFOLIA 'CROW FEATHER'	FOAMFLOWER	15CM POT		
274	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM		

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14	21 JUN 09	MUNK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
12	22 APR 09	NEW SITE CALCULATIONS	MM
11	21 MAR 05	NEW SITE PLAN	MM
10	2022/JAN/22	NEW SITE PLAN	YB
9	2020/MAR/07	CITY COMMENTS	YB
8	2020/MAR/09	NEW SITE PLAN	YB
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6	2020/FEB/28	NEW SITE PLAN & COMMENTS	YB
5	2019/MAY/21	NEW SITE PLAN & COMMENTS	YB
4	2019/MAR/20	NEW SITE PLAN & ROW	YB
3	2018/FEB/27	SECTIONS	YB
2	2018/OCT/07	NEW SITE PLAN	YB
1	2018/MAY/24	NEW SITE PLAN	YB
	15 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

LANDSCAPE
PLANT LISTS

DATE: 2018.FEB.15

SCALE:

DRAWN: YR

DESIGN:

CHKD: MCV

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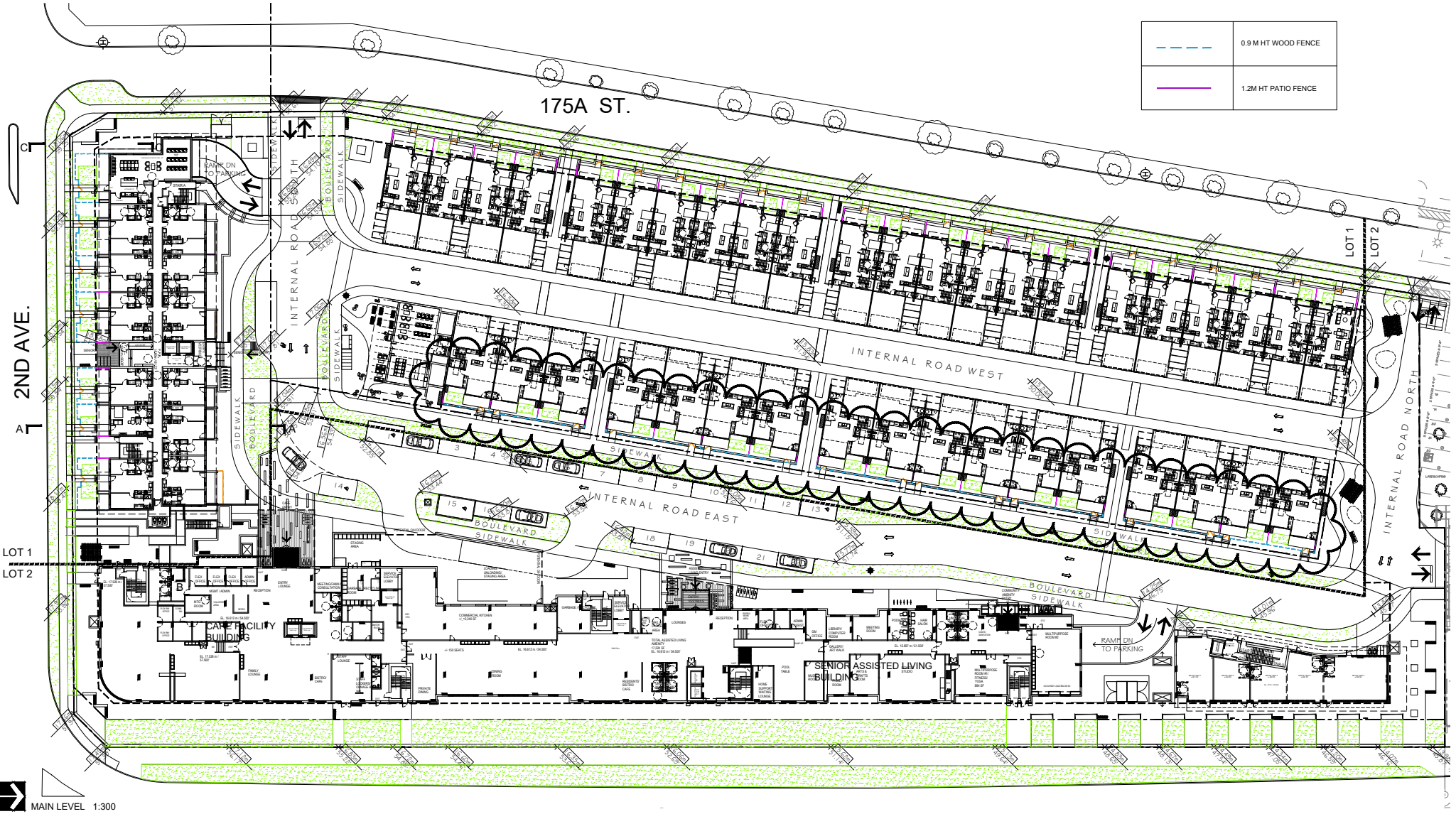
L2

18001-15.ZIP

OF 23

PMG PROJECT NUMBER:

18-001



	0.9 M HT WOOD FENCE
	1.2M HT PATIO FENCE

MAIN LEVEL 1:300



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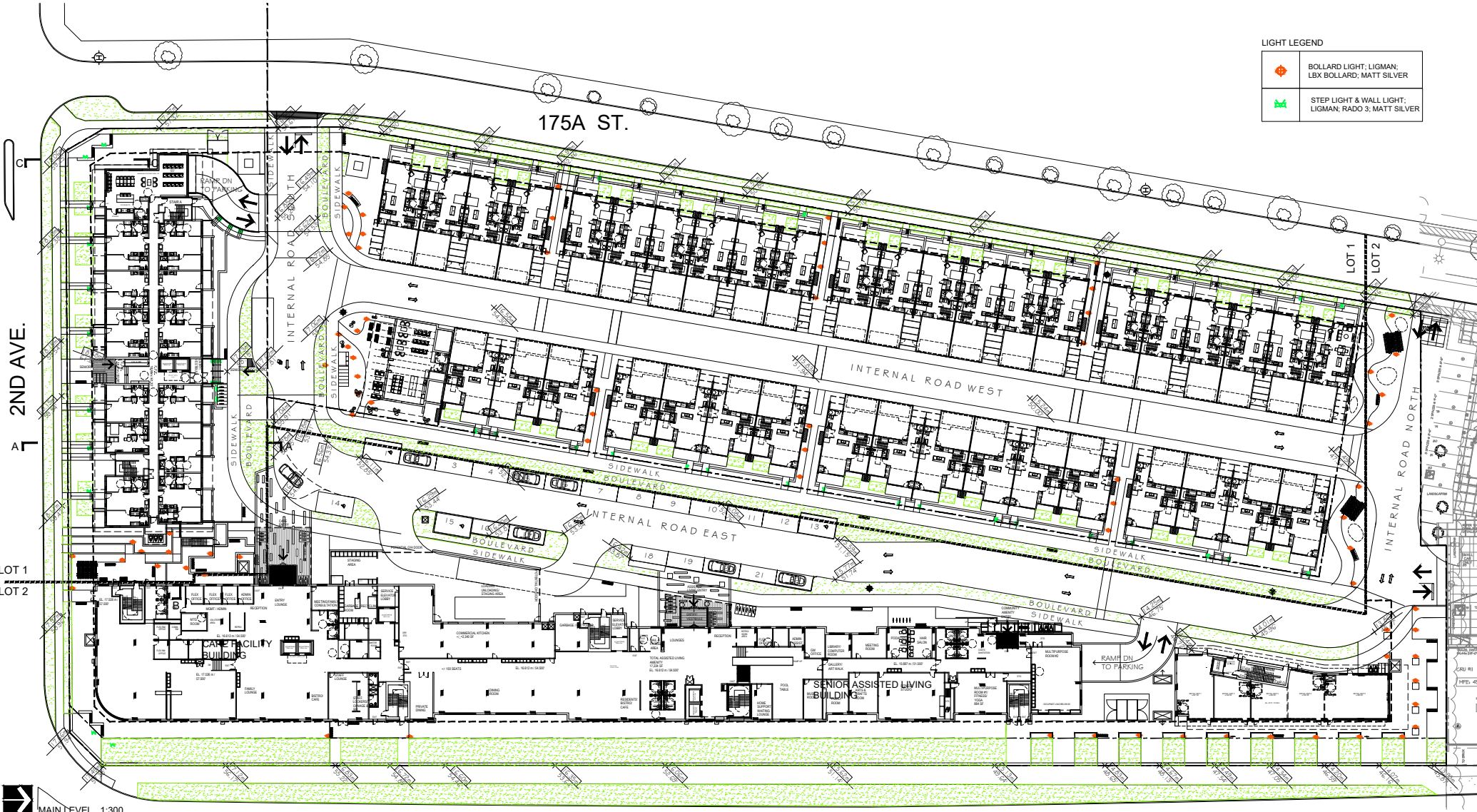
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13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
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4	2018/MAR/20	NEW SITE PLAN & ROW	YS
3	2018/FEB/27	SECTIONS	YS
2	2018/OCT/07	NEW SITE PLAN	YS
1	2018/MAY/24	NEW SITE PLAN	YS
15	21 JUN 21	NEW PROPERTY LINE	MM

CLIENT: _____
PROJECT: **WEAVE SENIORS HOUSING**
228 - 175A STREET
SURREY, BC
SEAL: _____

DRAWING TITLE: **FENCE PLAN**
DATE: 2018.FEB.15
SCALE: 1:300
DRAWN: YR
DESIGN: YR
CHKD: MCV
DRAWING NUMBER: **L3**
PMG PROJECT NUMBER: _____
18001-15.ZIP
18-001

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LIGHT LEGEND	
	BOLLARD LIGHT; LIGMAN; LBX BOLLARD; MATT SILVER
	STEP LIGHT & WALL LIGHT; LIGMAN; RADO 3; MATT SILVER



MAIN LEVEL 1:300



NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS SUPPORTED	MM
12	12 APR 09	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 05	NEW SITE PLAN	MM
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6	2018/NOV/28	NEW SITE PLAN & COMMENTS	YS
5	2018/MAY/21	NEW SITE PLAN & COMMENTS	YS
4	2018/MAR/20	NEW SITE PLAN & ROW	YS
3	2017/FEB/27	SECTIONS	YS
2	2016/OCT/07	NEW SITE PLAN	YS
1	2016/MAY/24	NEW SITE PLAN	YS
15	21 JUN 21	NEW PROPERTY LINE	MM

CLIENT: _____

PROJECT: **WEAVE SENIORS HOUSING**
228 - 175A STREET
SURREY, BC

DATE: _____

SEAL: _____

DRAWING TITLE: **LIGHTING PLAN**

DATE: 2018.FEB.15

SCALE: 1:300

DRAWN: YR

DESIGN: _____

CHKD: MCV

DRAWING NUMBER: _____

DATE: 2018.FEB.15

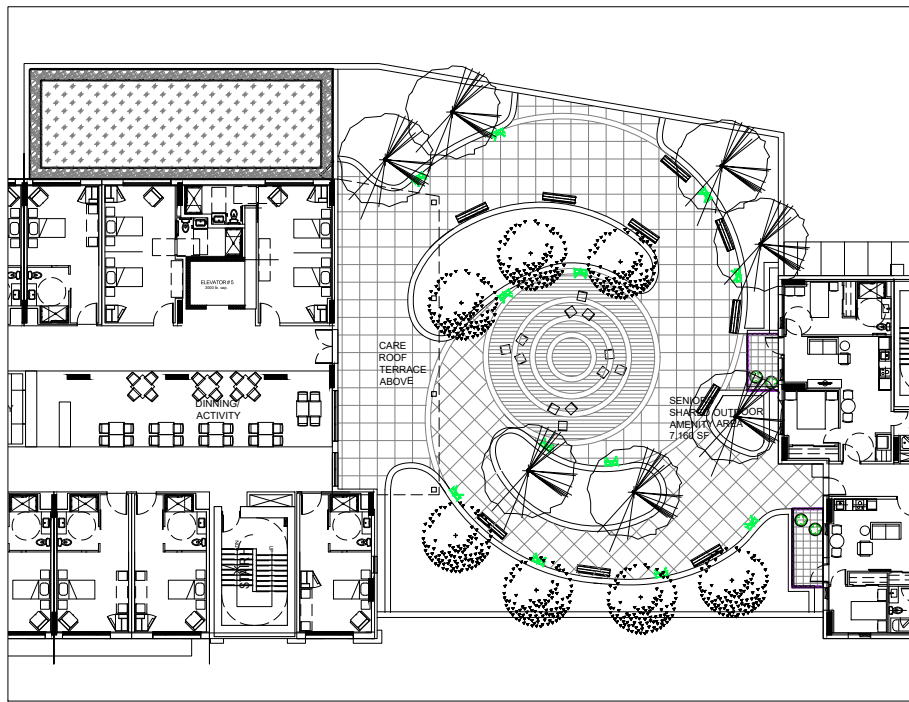
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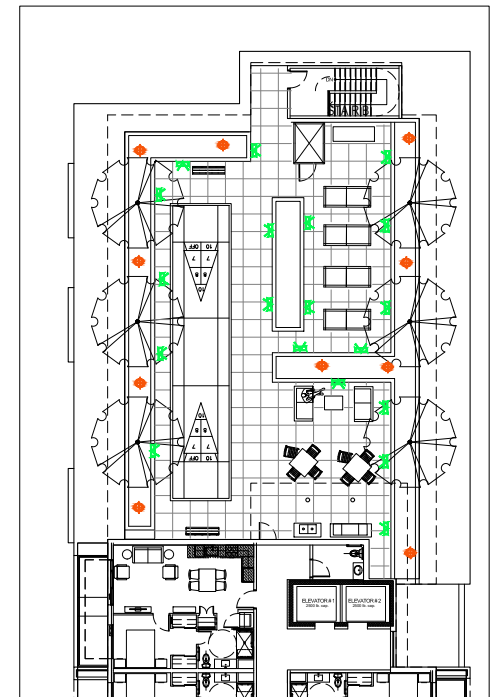
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SENIOR CARE BUILDING LEVEL 2 1:125

LIGHT LEGEND

	BOLLARD LIGHT: LIGMAN, LBX BOLLARD, MATT SILVER
	STEP LIGHT & WALL LIGHT: LIGMAN, RADO 3, MATT SILVER



CONDO ROOF 1:125



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13	22 MAR 20	AMENITY CALCULATIONS/UPDATED	MM	
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3	2018/FEV/27	SECTIONS	YR	
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1	2018/MAY/24	NEW SITE PLAN	YR	
	15	21 JUN 21	NEW PROPERTY LINE	MM
NO.	DATE	REVISION DESCRIPTION	DR.	

PROJECT:

WEAVE SENIORS HOUSING

228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

LIGHTING
PLAN

DATE: 2018.FEB.15

SCALE: 1:125

DRAWN: YR

DESIGN: YR

CHKD: MCV

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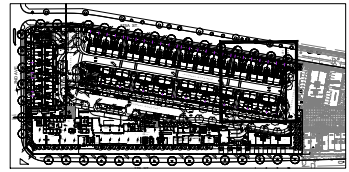
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PMG PROJECT NUMBER:

18001-15.ZIP

OF 23

18-001



MAIN LEVEL 1:125



CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
12	12 APR 09	NEW SITE PLAN/COMMENTS	MM
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9	2020/JAN/20	CITY COMMENTS	YR
8	2020/MAR/09	NEW SITE PLAN	YR
7	2020/JAN/23	NEW SITE PLAN	YR
6	2018/NOV/28	NEW SITE PLAN & COMMENTS	YR
5	2018/MAY/21	NEW SITE PLAN & COMMENTS	YR
4	2018/MAY/20	NEW SITE PLAN & ROW	YR
3	2017/FEB/27	SECTIONS	MM
2	2016/OCT/07	NEW SITE PLAN	YR
1	2016/MAY/24	NEW SITE PLAN	YR
	15 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

SHRUB PLAN

DATE: 2018 FEB 15
SCALE: 1:125
DRAWN: YR
DESIGN: YR
CHKD: MCV

DRAWING NUMBER:

L6

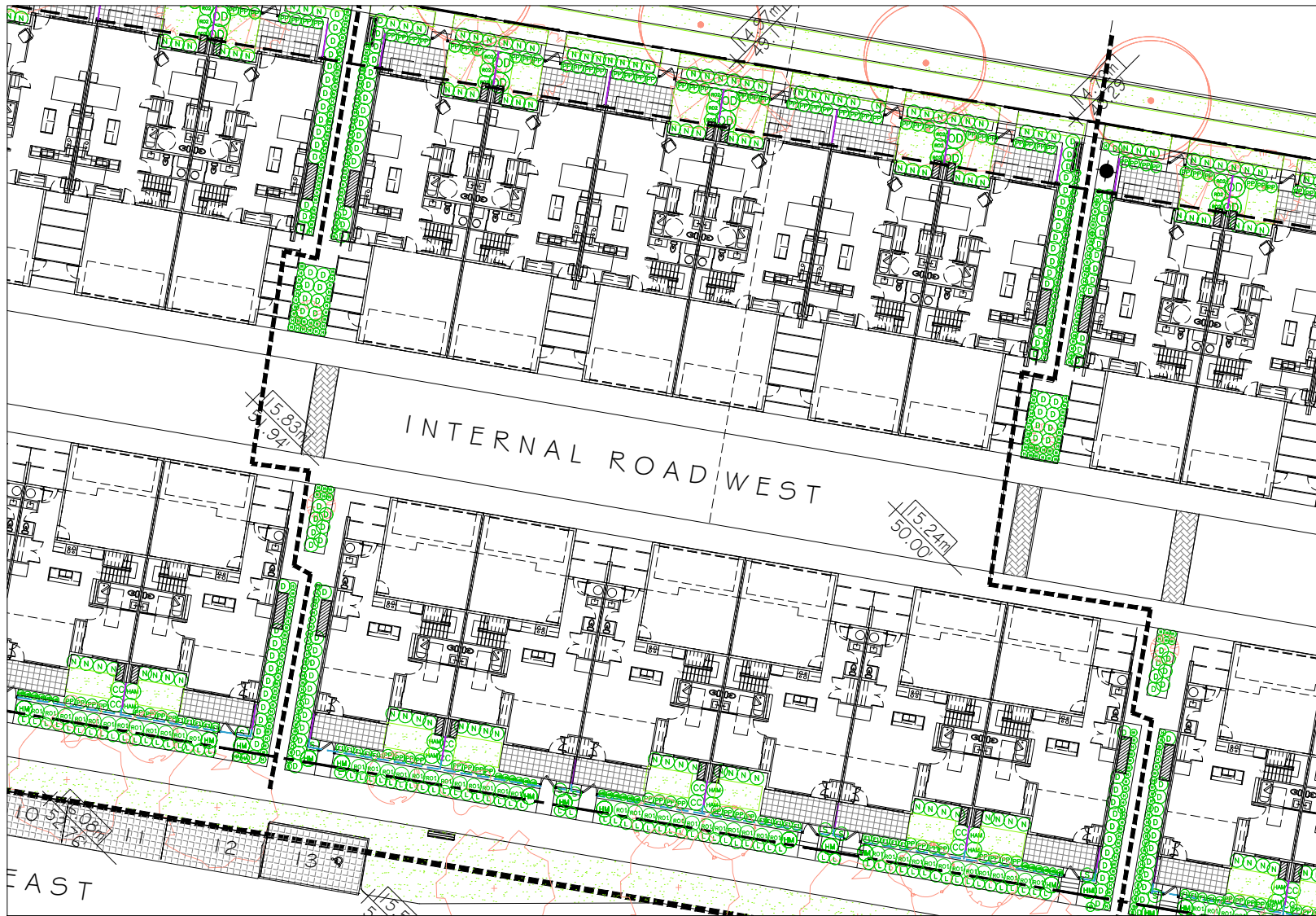
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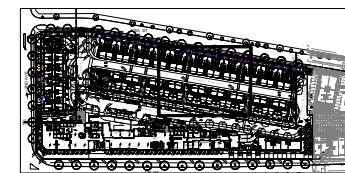
OF 23

18-001

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MAIN LEVEL 1:125



KEY PLAN



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12	22 APR 09	NEW SITE PLAN/COMMENTS	MM
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7	2020/JAN/23	NEW SITE PLAN	YS
6	2018/NOV/28	NEW SITE PLAN & COMMENTS	YS
5	2018/MAY/21	NEW SITE PLAN & COMMENTS	YS
4	2018/MAR/20	NEW SITE PLAN & ROW	YS
3	2018/FEB/27	SECTIONS	YS
2	2018/OCT/07	NEW SITE PLAN	YS
1	2018/MAY/24	NEW SITE PLAN	YS
15	21 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

SHRUB PLAN

DATE: 2018.FEB.15

SCALE: 1:125

DRAWN: YR

DESIGN: YR

CHKD: MCV

DRAWING NUMBER:

PMG PROJECT NUMBER:

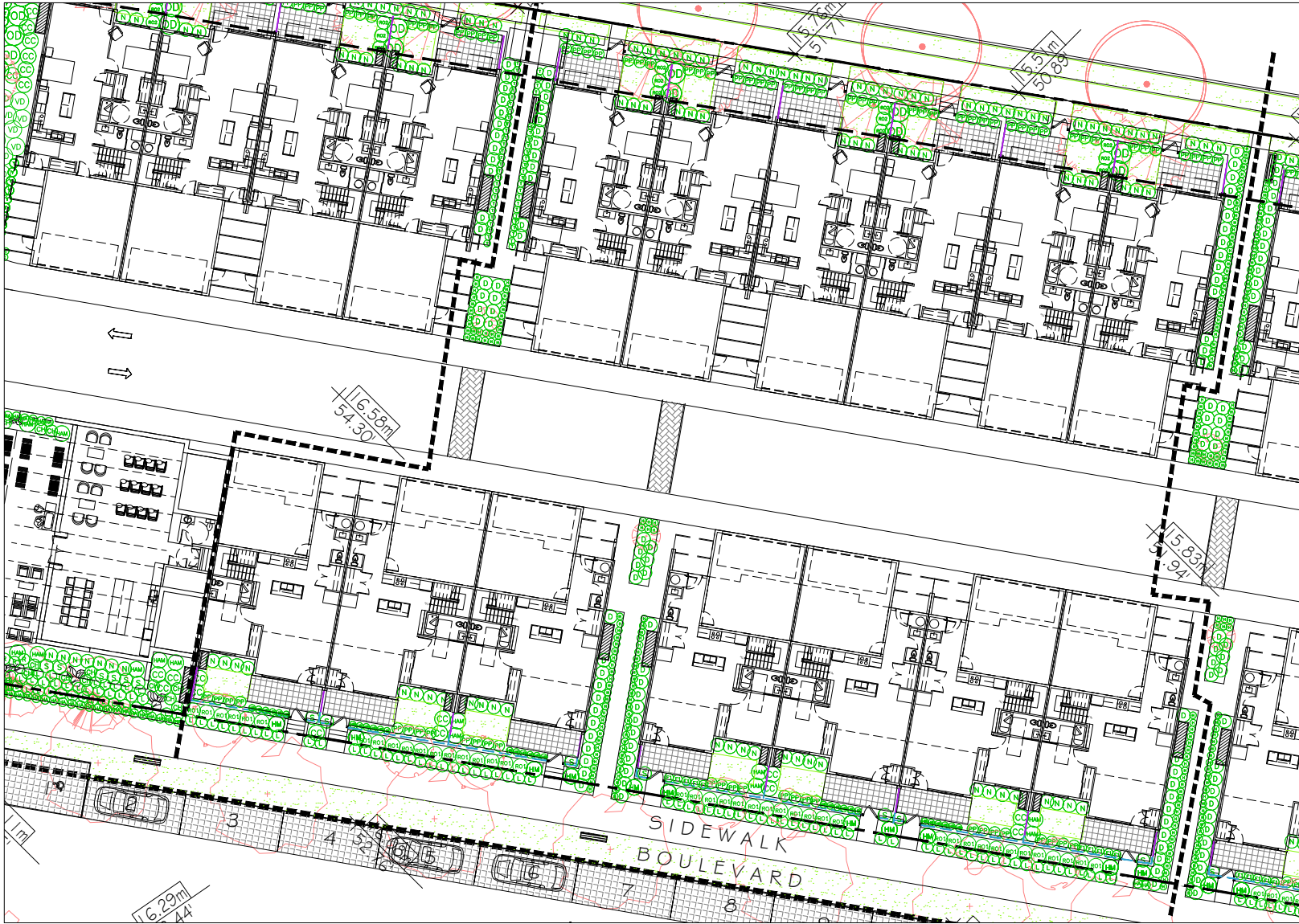
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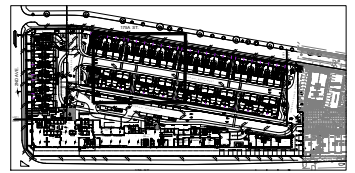
L7

OF 23

18-001



MAIN LEVEL 1:125



KEY PLAN



pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS SUPPORTED	MM
12	22 APR 09	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 05	NEW SITE PLAN	MM
10	2021/JAN/23	NEW SITE PLAN	YS
9	2020/MAY/07	CITY COMMENTS	YS
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5	2018/MAY/21	NEW SITE PLAN & COMMENTS	YS
4	2018/MAY/20	NEW SITE PLAN & ROW	YS
3	2018/FEB/27	SECTIONS	YS
2	2018/OCT/07	NEW SITE PLAN	YS
1	2018/MAY/24	NEW SITE PLAN	YS
	15 21 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

**SHRUB
PLAN**

DATE: 2018 FEB 15

SCALE: 1:125

DRAWN: YR

DESIGN: YR

CHKD: MCY

DRAWING NUMBER:

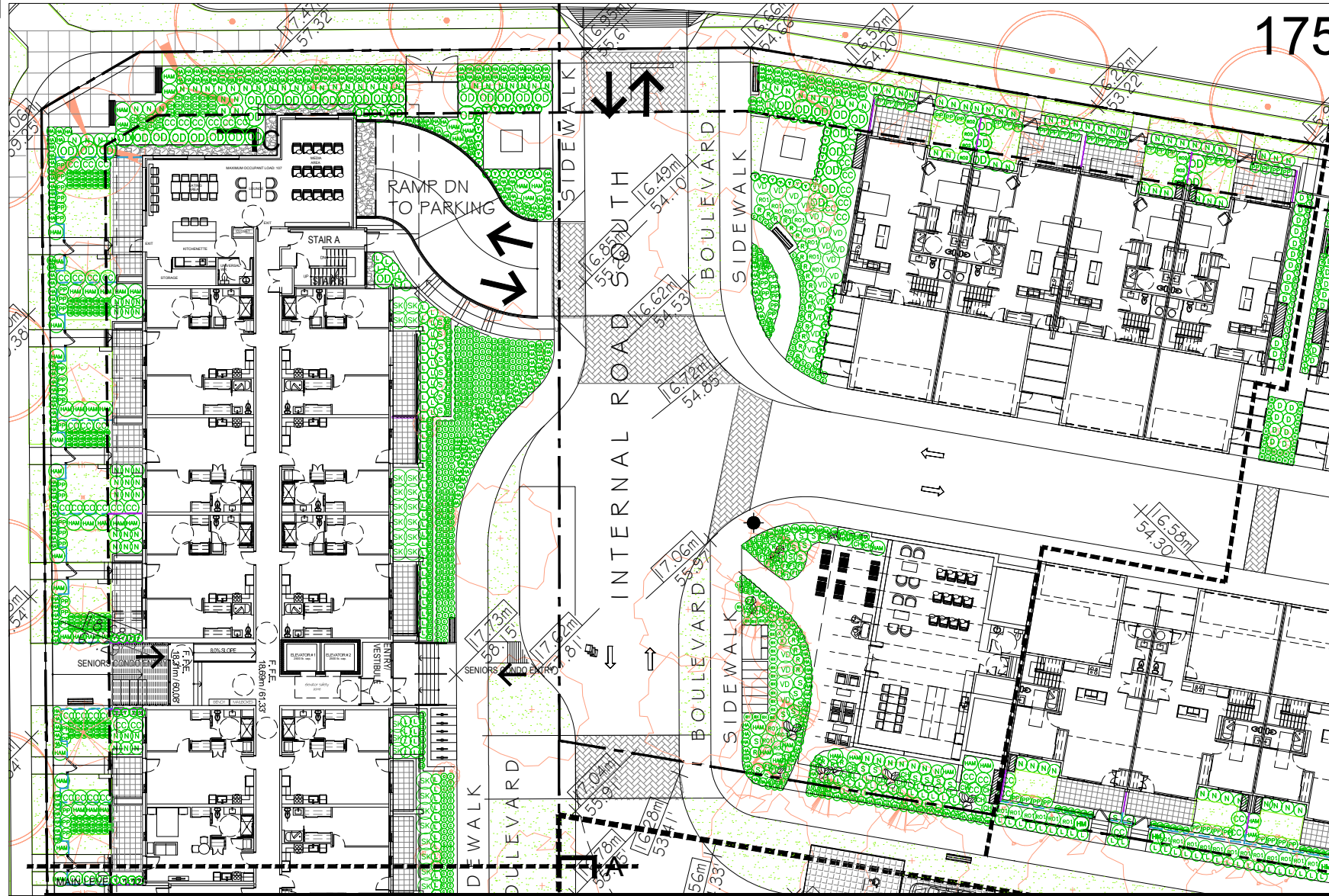
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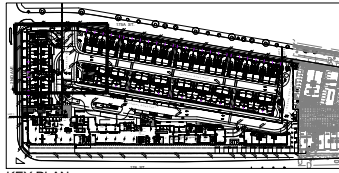
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175



KEY PLAN 18001-15.ZIP

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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MULK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
12	12 APR 09	NEW SITE PLAN COMMENTS	MM
11	21 MAR 09	NEW SITE PLAN	MM
10	2021/JAN/22	NEW SITE PLAN	YR
9	2020/MAR/07	CITY COMMENTS	YR
8	2020/MAR/09	NEW SITE PLAN	YR
7	2020/JAN/23	NEW SITE PLAN	YR
6	2018/NOV/28	NEW SITE PLAN & COMMENTS	YR
5	2018/MAY/21	NEW SITE PLAN & COMMENTS	YR
4	2018/MAR/20	NEW SITE PLAN & ROW	YR
3	2018/FEB/27	SECTIONS	YR
2	2018/OCT/07	NEW SITE PLAN	YR
1	2018/MAY/24	NEW SITE PLAN	YR
15	21 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

SHRUB PLAN

DATE: 2018 FEB 15
SCALE: 1:125
DRAWN: YR
DESIGN: YR
CHKD: MCY

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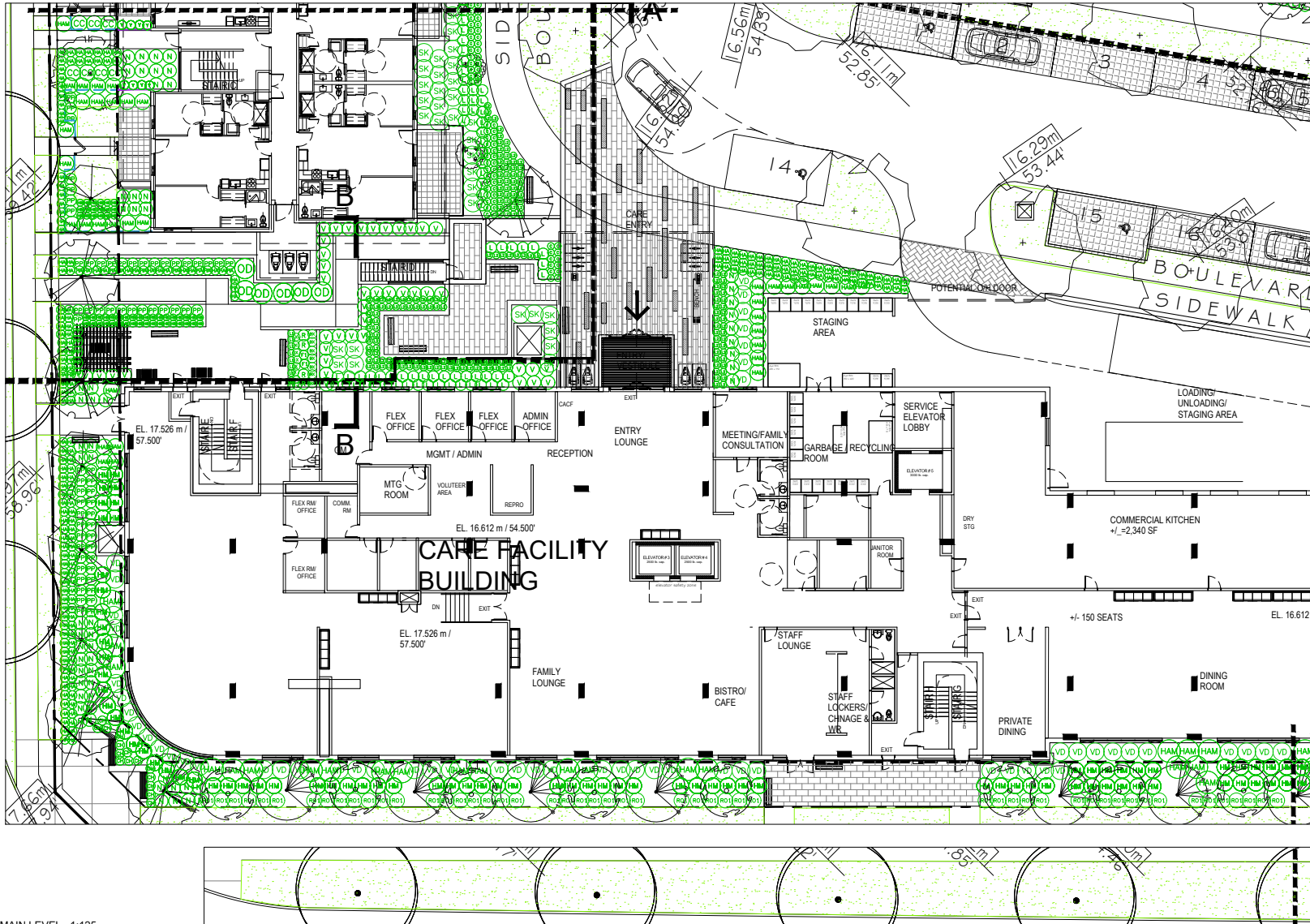
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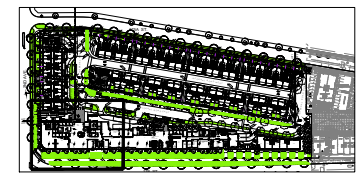
OF 23

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MAIN LEVEL 1:125



KEY PLAN

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ARCHITECTS
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p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 19	AMENITY CALCULATIONS UPDATED	MM
12	21 APR 09	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 09	NEW SITE PLAN	MM
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9	2020/APR/07	CITY COMMENTS	YR
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4	2019/MAR/20	NEW SITE PLAN & ROW	YR
3	2018/DEC/27	SECTIONS	YR
2	2018/OCT/07	NEW SITE PLAN	YR
1	2018/MAY/24	NEW SITE PLAN	YR
15	21 JUN 21	NEW PROPERTY LINE	MM

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

**SHRUB
PLAN**

DATE: 2018.FEB.15
SCALE: 1:125
DRAWN: YR
DESIGN: YR
CHKD: MCV

DRAWING NUMBER:

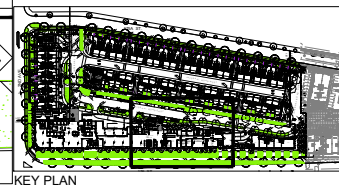
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OF 23

PMG PROJECT NUMBER:

18-001

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MAIN LEVEL 1:125

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NO.	DATE	REVISION DESCRIPTION	DR.
1	2018/MAY/24	NEW SITE PLAN	MM
2	2018/OCT/07	NEW SITE PLAN	MM
3	2018/MAY/21	NEW SITE PLAN & COMMENTS	MM
4	2018/MAY/21	NEW SITE PLAN & COMMENTS	MM
5	2018/MAY/21	NEW SITE PLAN & COMMENTS	MM
6	2018/MAY/21	NEW SITE PLAN & COMMENTS	MM
7	2020/JAN/23	NEW SITE PLAN	MM
8	2020/FEB/28	NEW SITE PLAN & COMMENTS	MM
9	2020/JAN/22	NEW SITE PLAN	MM
10	2021/JAN/22	NEW SITE PLAN	MM
11	21/MAR/21	NEW SITE PLANS	MM
12	21/JUN/21	AMENITY CALCULATIONS SUPPORTED	MM
13	21/JUN/21	MULK COMMENTS	MM

CLIENT: _____

PROJECT: **WEAVE SENIORS HOUSING**
 228 - 175A STREET
 SURREY, BC

SEAL: _____

DATE: 2018.FEB.15

SCALE: 1:125

DRAWN: YR

DESIGN: MCV

CHKD: MCV

DRAWING NUMBER: **L11**

PMG PROJECT NUMBER: _____

DRAWING TITLE: **SHRUB PLAN**

DATE: 2018.FEB.15

SCALE: 1:125

DRAWN: YR

DESIGN: MCV

CHKD: MCV

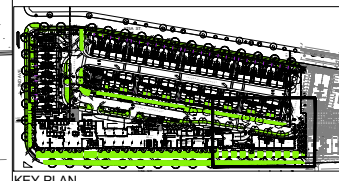
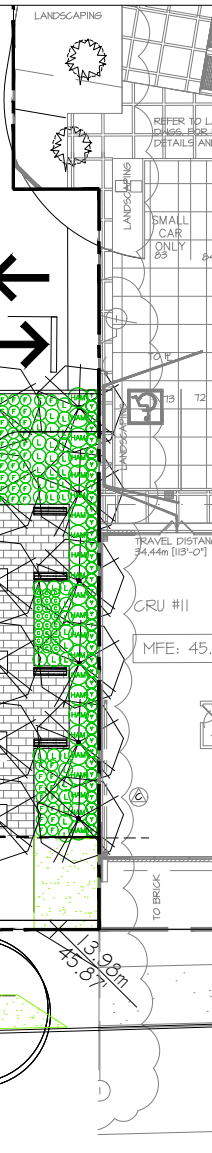
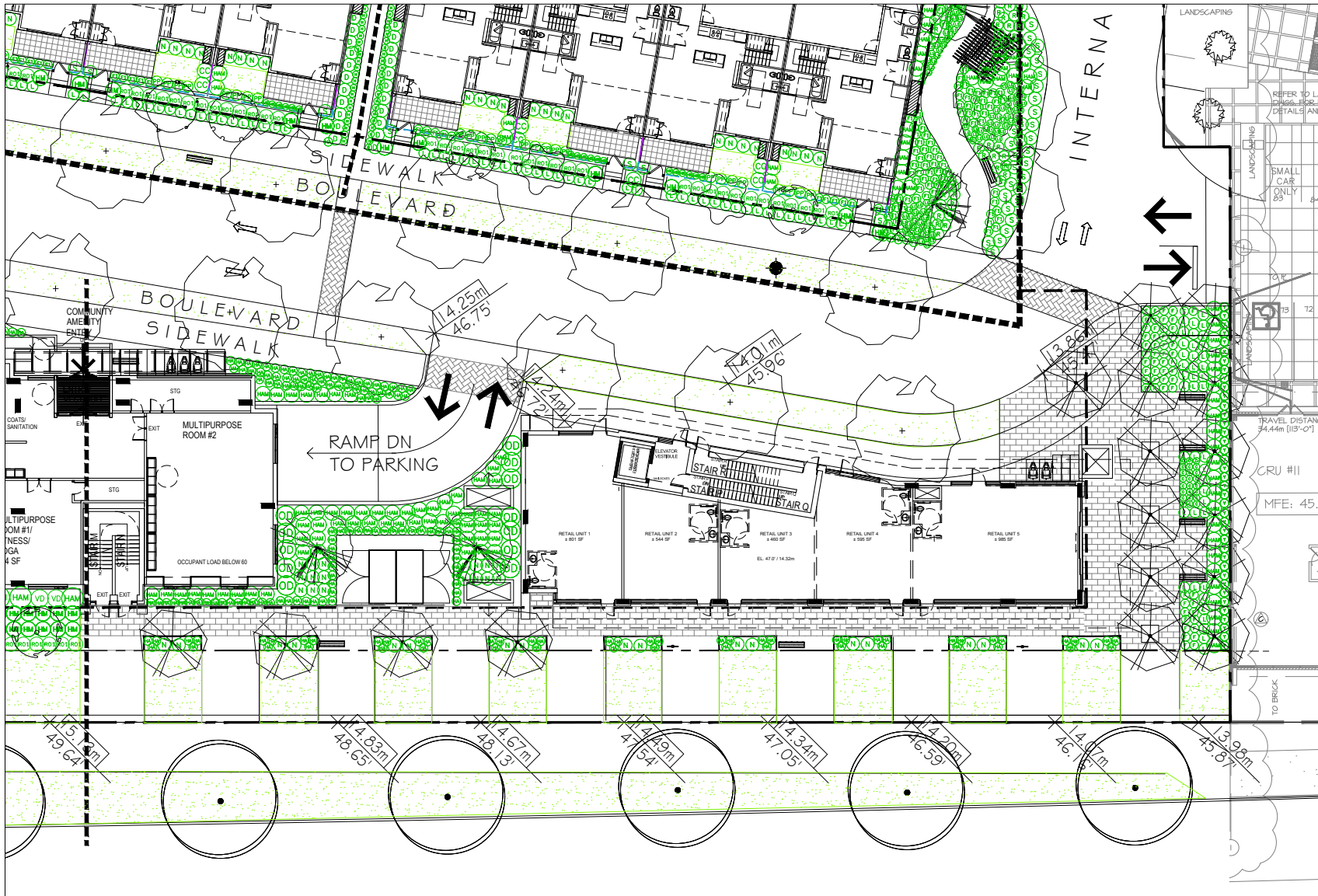
DRAWING NUMBER: **L11**

PMG PROJECT NUMBER: _____

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18-001

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MAIN LEVEL 1:125

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p: 604 294-0011 ; f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	21 JUN 09	MARK COMMENTS	MM
13	21 MAY 10	AMENITY CALCULATIONS UPDATED	MM
12	12 APR 09	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 05	NEW SITE PLAN	MM
10	2021/JAN/23	NEW SITE PLAN	YS
9	2020/JAN/20	CITY COMMENTS	YS
8	2020/MAR/09	NEW SITE PLAN	YS
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6	2020/FEB/28	NEW SITE PLAN & COMMENTS	YS
5	2019/MAY/21	NEW SITE PLAN & COMMENTS	YS
4	2019/MAR/20	NEW SITE PLAN & ROW	YS
3	2019/FEB/27	SECTIONS	YS
2	2018/OCT/07	NEW SITE PLAN	YS
1	2018/MAY/24	NEW SITE PLAN	YS
15	21 JUN 21	NEW PROPERTY LINE	MM

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

SHRUB PLAN

DATE: 2018.FEB.15
SCALE: 1:125
DRAWN: YR
DESIGN: YR
CHKD: MCV

DRAWING NUMBER:

L12

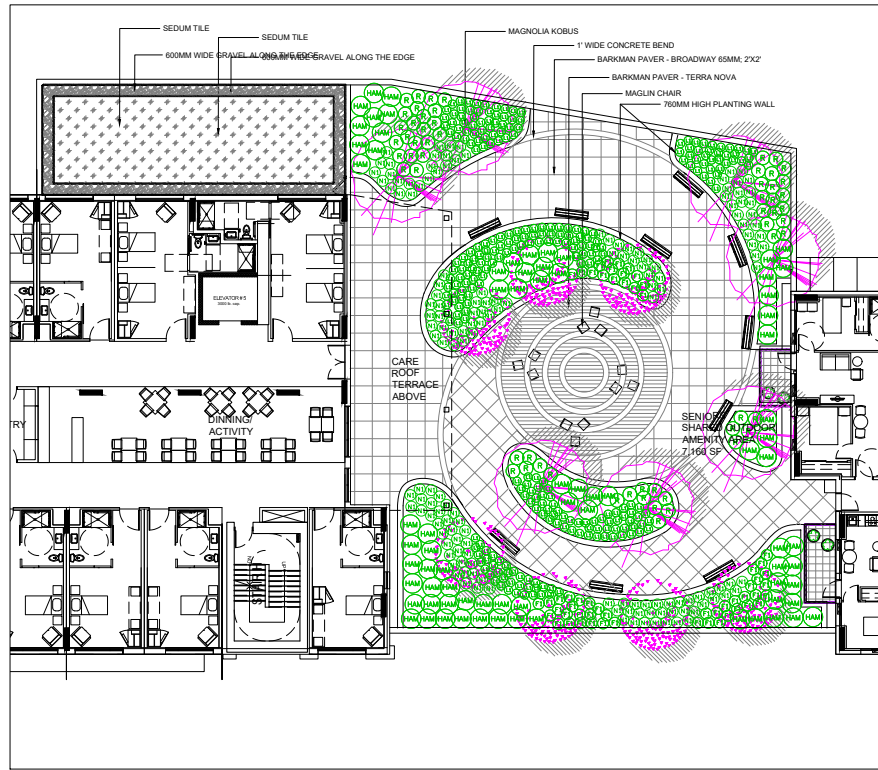
PMG PROJECT NUMBER:

18001-15.ZIP

OF 23

18-001

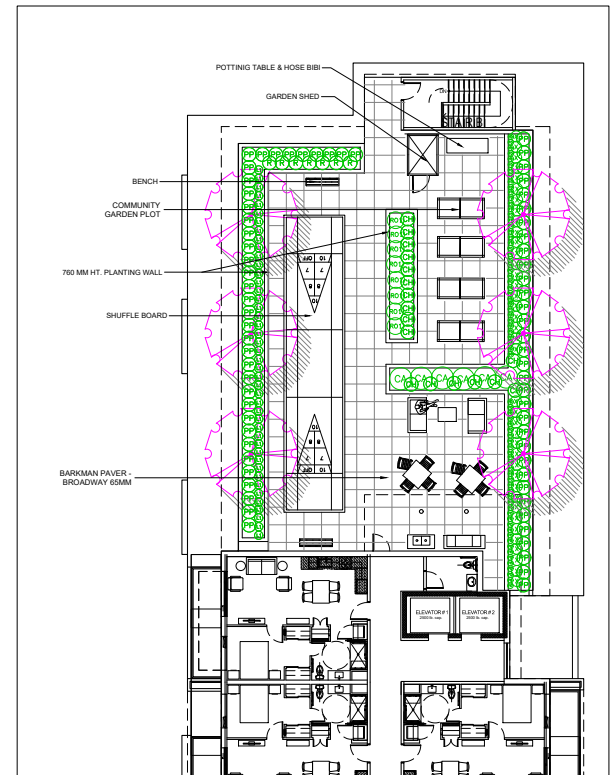
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SENIOR CARE BUILDING LEVEL 2 1:125

PLANT SCHEDULE		CONDO ROOF	PMG PROJECT NUMBER: 18-001	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
6		MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	5CM CAL., 1.8M STD.
6		CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUEBEARD	#2 POT; 40CM
70		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT; 50CM
8		ROSA MEIDELAND 'BONICA'	MEIDLAND ROSE; PINK	#2 POT; 40CM
17		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
74		FESTUCA CINEREA 'ELIJAH BLUE'	ELIJAH BLUE GRASS	#1 POT
44		LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	15CM POT; #1 POT
7		PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT
39		RUBISCOVIA FILIGIDA VAR SULLIVANTII 'GOLDSTURM'	RUBISCOVIA; YELLOW	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



CONDO ROOF 1:125

PLANT SCHEDULE		CONDO ROOF	PMG PROJECT NUMBER: 18-001	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
6		MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	5CM CAL., 1.8M STD.
6		CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUEBEARD	#2 POT; 40CM
70		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT; 50CM
8		ROSA MEIDELAND 'BONICA'	MEIDLAND ROSE; PINK	#2 POT; 40CM
17		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
74		FESTUCA CINEREA 'ELIJAH BLUE'	ELIJAH BLUE GRASS	#1 POT
44		LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	15CM POT; #1 POT
7		PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	15CM POT
39		RUBISCOVIA FILIGIDA VAR SULLIVANTII 'GOLDSTURM'	RUBISCOVIA; YELLOW	15CM POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



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CLIENT:

14	21.JAN.20	MEET COMMENTS	MM
13	21.MAR.20	AMENITY CALCULATIONS UPDATED	MM
12	21.APR.20	NEW SITE PLAN COMMENTS	MM
11	21.MAR.20	NEW SITE PLAN	MM
10	20.DEC.20	NEW SITE PLAN	YR
9	20.OCT.20	CITY COMMENTS	YR
8	20.OCT.20	NEW SITE PLAN	YR
7	20.OCT.20	NEW SITE PLAN	YR
6	20.NOV.20	NEW SITE PLAN & COMMENTS	YR
5	20.NOV.20	NEW SITE PLAN & COMMENTS	YR
4	20.NOV.20	NEW SITE PLAN & COMMENTS	YR
3	20.NOV.20	SECTIONS	YR
2	20.OCT.20	NEW SITE PLAN	YR
1	20.NOV.20	NEW SITE PLAN	YR
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

WEAVE SENIORS HOUSING

228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 2018.FEB.15

SCALE: 1:125

DRAWN: YR

DESIGN: YR

CHECK: MCY

DRAWING NUMBER:

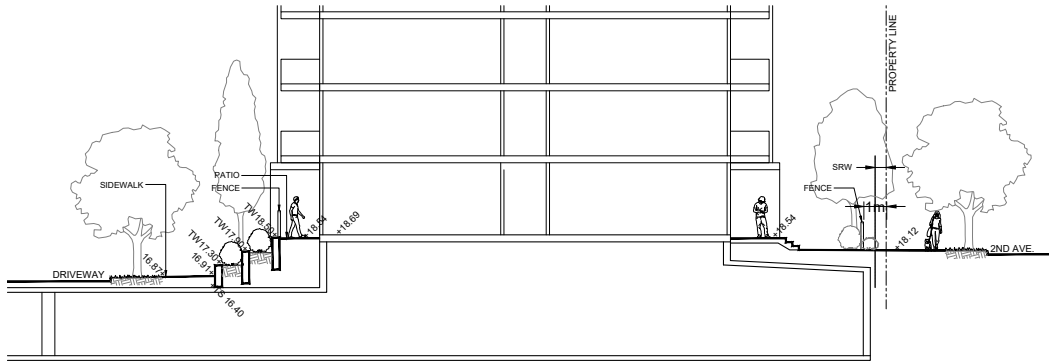
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OF 23

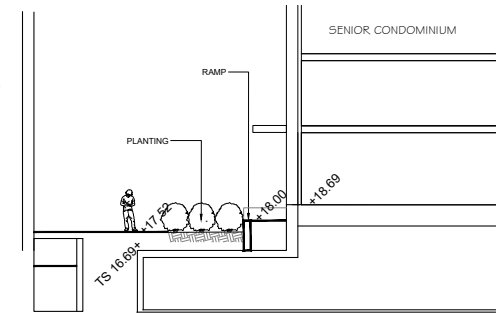
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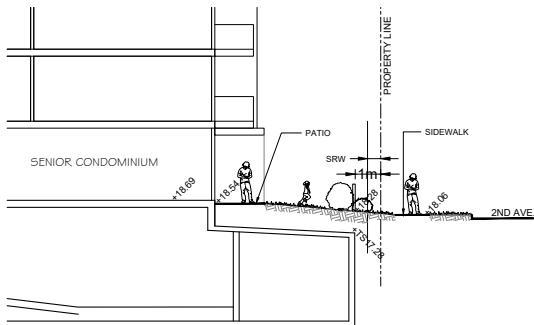
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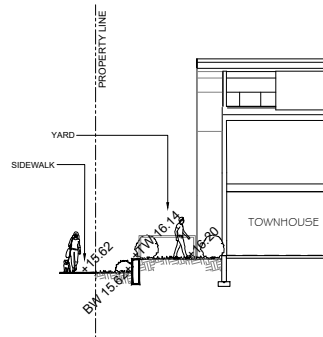
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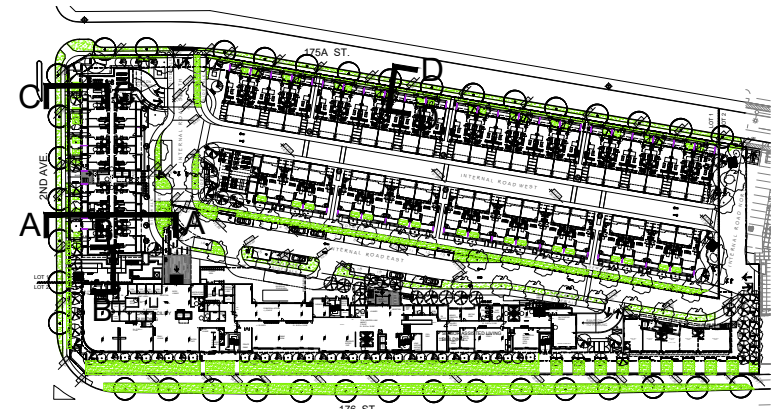
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C-C SECTION 1:100

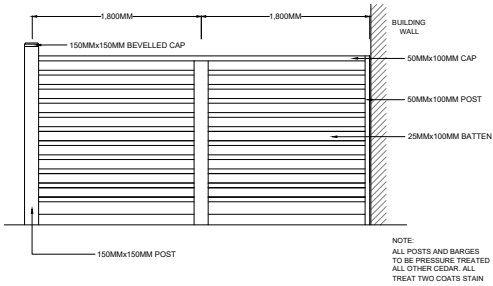


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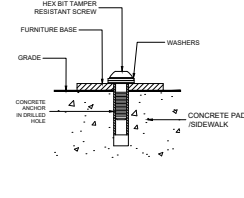


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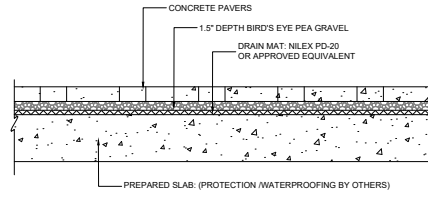
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5	2008/MAY/05	NEW SITE PLAN & COMMENTS	YR
4	2008/MAR/02	NEW SITE PLAN & ROW	YR
3	2008/FEB/07	SECTIONS	YR
2	2008/DEC/07	NEW SITE PLAN	YR
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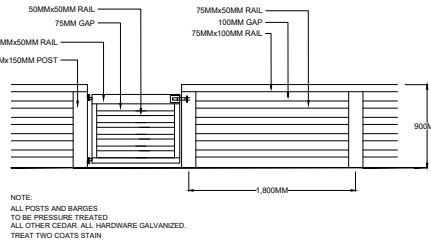
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SCALE 1:25



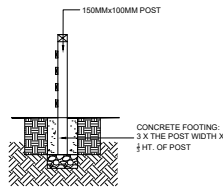
4 SITE FURNITURE MOUNTING
SCALE 1:10



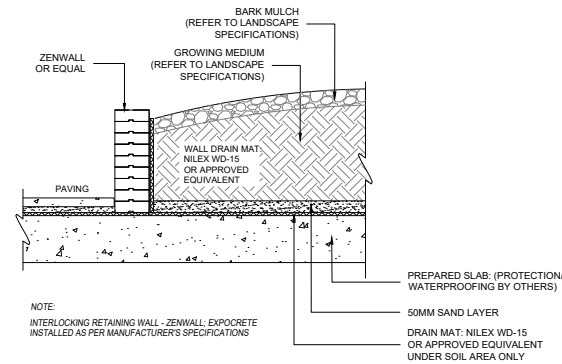
6 PAVERS ON SLAB
SCALE 1:10



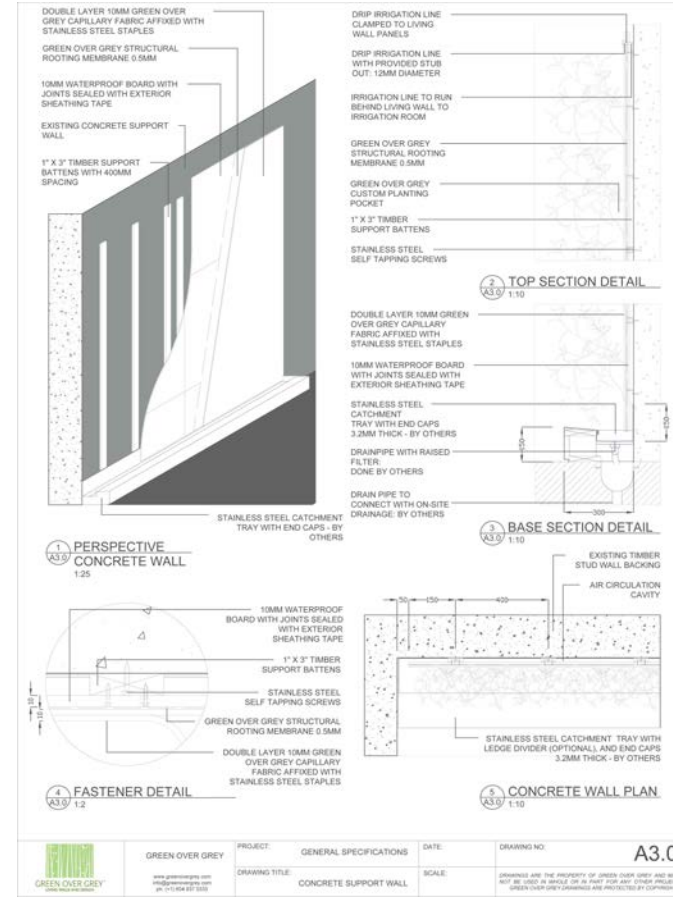
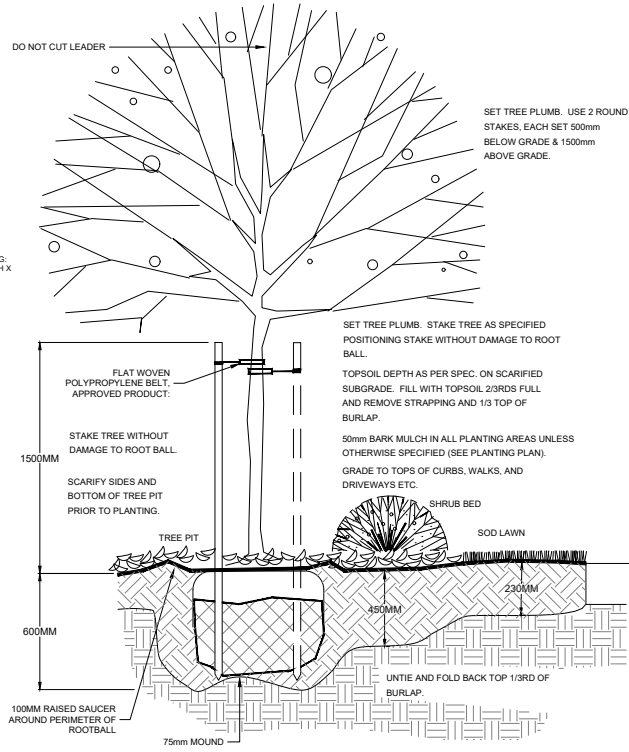
2 0.9 M WOOD FENCE
SCALE 1:25



3 ZENWALL ON SLAB
SCALE 1:10



5 PLANTING DETAILS
1:10



	GREEN OVER GREY	PROJECT:	GENERAL SPECIFICATIONS	DATE:	DRAWING NO:
	www.greenovergrey.com info@greenovergrey.com (604) 294-0222	DRAWING TITLE:	CONCRETE SUPPORT WALL	SCALE:	A3.0

DESIGNER AND THE PROPERTY OF GREEN OVER GREY AND MAY NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT UNLESS UNDER WRITTEN AGREEMENT AND APPROVED BY CONTRACTOR.

7 GREEN WALL DETAILS
1:10



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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
12	21.APR.20	NEW SITE PLAN/COMMENTS	MM
11	21.MAR.20	NEW SITE PLAN	MM
10	20.DEC.20	NEW SITE PLAN	YR
9	20.OCT.20	CITY COMMENTS	YR
8	20.OCT.20	NEW SITE PLAN	YR
7	20.OCT.20	NEW SITE PLAN	YR
6	20.NOV.20	NEW SITE PLAN & COMMENTS	YR
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4	20.NOV.20	NEW SITE PLAN & DRAW	YR
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2	20.OCT.20	NEW SITE PLAN	YR
1	20.NOV.20	NEW SITE PLAN	YR
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

WEAVE SENIORS HOUSING

**228 - 175A STREET
SURREY, BC**

SEAL:

DRAWING TITLE:

DETAILS

DATE:

2018.FEB.15

SCALE:

DRAWN: YR

DESIGN: YR

CHKD: MCY

DRAWING NUMBER:

L21

PMG PROJECT NUMBER:

18001-12.ZIP

OF 22

18-001



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WISHBONE INDUSTRIES: BAYVIEW 2 SEATER TABLE WITH CHESS BOARD
TEXTURED SILVER FRAME WITH SAND SLATS



Wishbone 2 Seater Bayview Games and Coffee Table at the Venetian in Kelowna BC



MAGLIN
MLB720 BENCH WITH SIDE ARMS



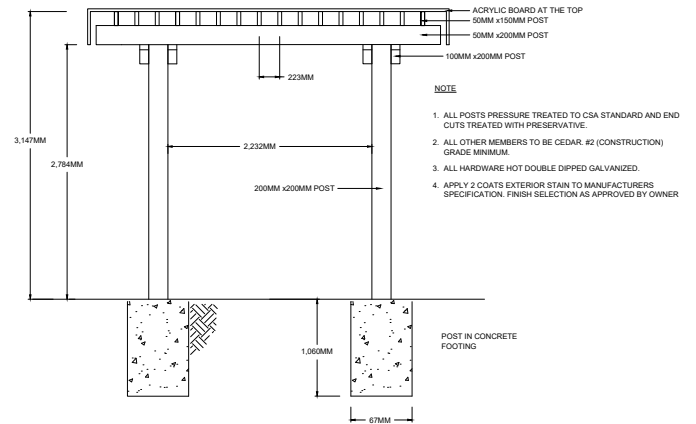
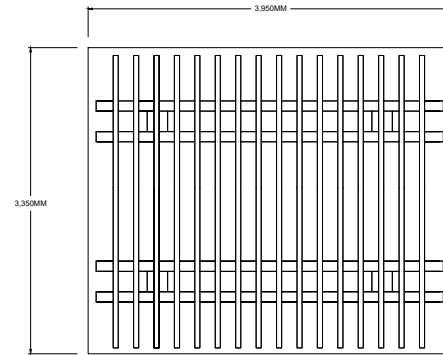
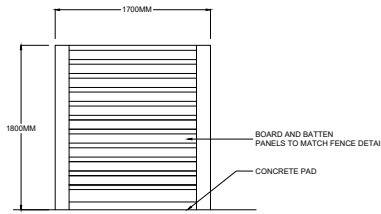
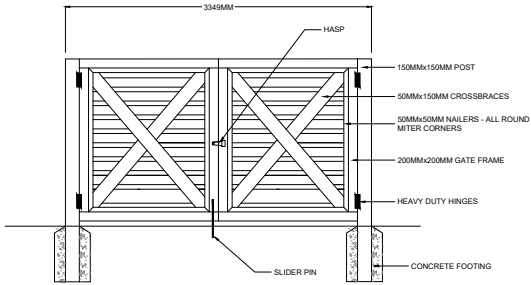
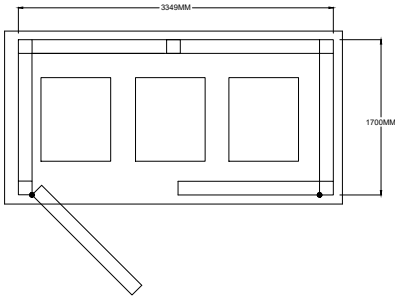
MAGLIN
MLB720L WALL-MOUNT BENCH WITH SIDE ARMS



BOLLARD LIGHT;
LIGMAN;
LBX BOLLARD;
MATT SILVER



STEP LIGHT & WALL LIGHT;
LIGMAN; RADO 3; MATT SILVER



8 GARBAGE ENCLOSURE
SCALE 1:25

9 PEDESTRIAN TRELLIS
SCALE 1:25



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 5G8
p: 604 294-0011 | f: 604 294-0022

CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
14	23 JUN 20	FINAL COMMENTS	MM
13	21 MAR 20	ANALYSIS CALCULATIONS UPDATED	MM
12	21 APR 20	NEW SITE PLAN/COMMENTS	MM
11	21 MAR 20	NEW SITE PLAN	MM
10	2020/JAN/22	NEW SITE PLAN	YR
9	2020/APR/27	CFY COMMENTS	YR
8	2020/MAR/09	NEW SITE PLAN	YR
7	2020/JAN/23	NEW SITE PLAN	YR
6	2019/MAY/28	NEW SITE PLAN & COMMENTS	YR
5	2019/MAY/21	NEW SITE PLAN & COMMENTS	YR
4	2018/MAR/20	NEW SITE PLAN & ROW	YR
3	2018/FEB/27	SECTIONS	YR
2	2018/OCT/07	NEW SITE PLAN	YR
1	2018/MAY/24	NEW SITE PLAN	YR

PROJECT:

WEAVE SENIORS HOUSING
228 - 175A STREET
SURREY, BC

SEAL:

DRAWING TITLE:

DETAILS

DATE: 2018.FEB.15

SCALE:

DRAWN: YR

DESIGN: YR

CHKD: MCV

DRAWING NUMBER:

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PMG PROJECT NUMBER:

L22

OF 23

18-001

18001-14.ZIP

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **June 08, 2021** PROJECT FILE: **7816-0679-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 228 175A St**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- No dedication required on 2nd Ave, or 175A Street; and
- Referral to MOTI for review and approval is required.

Works and Services

- Reconstruct the two letdowns along the north side of 2 Avenue to current standard;
 - Existing driveway letdown approximately 45 m south of the north property line is required to be removed.
- Construct storm, sanitary, and water service connections to service the site;
- Sanitary Capacity at Peace Portal SS to be confirmed during detailed review stage; and
- Little Campbell River Integrated Stormwater Scoping Study requirements are to be implemented to mitigate post-development runoff.

A Servicing Agreement is required prior to Rezone/Subdivision. A processing fee of \$54,983.25 is required.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Engineer
M51



June 3, 2021

Planning

School Enrolment Projections and Planning Update:
 As of November 2020, the existing Hall's Prairie Elementary moved into the new Douglas Elementary located within the Douglas NCP. The school will have sufficient room to support new enrolment growth over the next 5 years.
 To relieve the pressure at Earl Marriot, a new 1500 capacity high school, Grandview Heights Secondary, located on 26th Ave next to the existing Pacific Heights Elementary is in construction; and is targeted to open for September 2021. Douglas elementary school will continue to feed Earl Marriot Secondary school.

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0679 00 Revised June 2021

SUMMARY

The proposed 39 townhouse units and 77 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	22
Secondary Students:	11

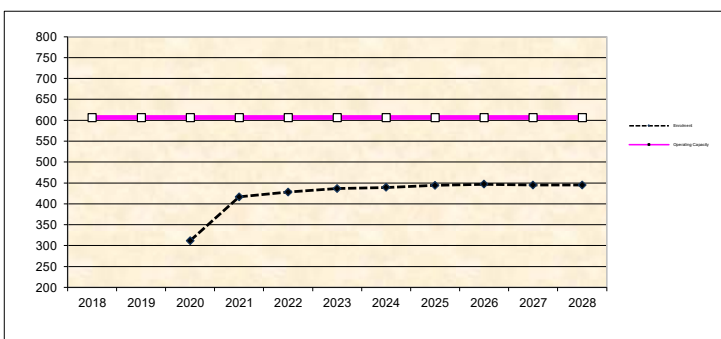
September 2020 Enrolment/School Capacity

Douglas Elementary	
Enrolment (K/1-7):	56 K + 256
Operating Capacity (K/1-7)	95 K + 512
Earl Marriot Secondary	
Enrolment (8-12):	1882
Capacity (8-12):	1500

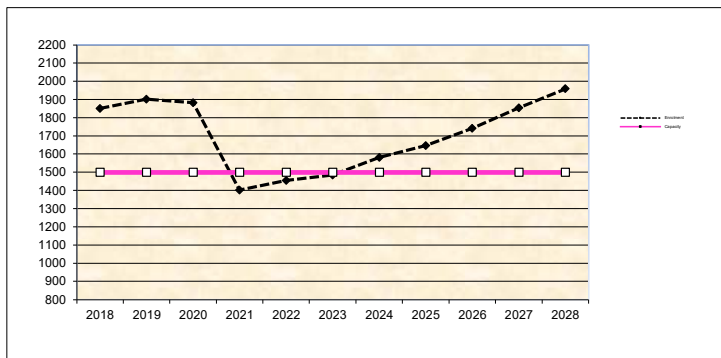
Projected population of school-age children for this development:	46
--	----

Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

Douglas Elementary



Earl Marriot Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



Agriculture and Food Policy Advisory Committee Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
TUESDAY, JANUARY 14, 2020
Time: 6:00 p.m.
File: 0540-20

Present:

Councillor Hundial, Chair
M. Bose, Vice-Chair
B. Sandhu
D. Arnold
J. Gibeau
J. Werring
M. Hilmer
P. Harrison
S. VanKeulen
S. Rai

Agency Representative:

N. Mori, Ministry of Agriculture

Regrets:

R. Brar

Staff Present:

B. Daly, Planning Technician
C. Baron, Drainage Manager
C. Stewart, Senior Planner
J. Nguyen, Planning Technician
L. Moraes, Planner
N. Chan, Manager, Trees and Landscapes
S. Morris, Assistant Fire Chief
C. Eagles, Administrative Assistant

A. ADOPTIONS**1. Adoption of the Agenda**

It was Moved by M. Bose
Seconded by P. Harrison
That the Agriculture and Food Policy
Advisory Committee adopt the agenda.
Carried

2. Adoption of the Minutes

It was Moved by J. Werring
Seconded by D. Arnold
That the Agriculture and Food Policy
Advisory Committee adopt the November 5, 2019 AFPAC minutes, as presented.
Carried

B. DELEGATIONS**1. Emergency Preparedness**

Shelley Morris, Assistant Fire Chief, Emergency Planning & Community
Engagement

Staff provided an overview on the City of Surrey's Emergency Program and highlighted the following information:

- Staff outlined potential opportunities for critical infrastructure operations in the Agricultural community to support response and recovery efforts in the event of a disaster.

It was Moved by D. Arnold
 Seconded by S. VanKeulen
 That the Agriculture and Food Policy
 Advisory Committee recommend to the General Manager of Planning and
 Development that Development Application 7918-0010-00 be forwarded without
 comments to the *Agricultural Land Commission* to assess the proposed house size.
Defeated
 With M. Bose, B. Sandhu, M. Hilmer, S. Rai,
 J. Werring, P. Harrison, and J. Gibeau
 opposed.

D. OUTSTANDING BUSINESS

1. Farm Tour Discussion

Members agreed on participants to form a subcommittee to plan the Farm Tour.

E. ITEMS REFERRED BY COUNCIL

This section has no items to consider.

F. CORRESPONDENCE

This section has no items to consider.

G. INFORMATION ITEMS

1. Proposed Rezoning to Cemetery Zone

Luciana Moraes, Planner

File: 7918-0018-00

The following memorandum is being provided to the Committee for information only. The application complies with the Agricultural designation in the OCP and is outside of the ALR. A Development Permit for Farm Protection is not required. No recommendation is required.

The applicant is proposing to rezone the property from General Agriculture Zone (A-1) to Cemetery Zone (PC). The proposed zoning is consistent with the Agriculture designation on the OCP. All existing buildings on the site are proposed to be removed and at least 3 metres of screen planting along all property lines is required.

2. Proposed Development

Luciana Moraes, Planner

File: 7916-0679-00

The following memorandum is being provided to the Committee for information only. The application proposes a multi-unit senior complex, a care facility with assisted living and memory care, and a commercial building. The proposal is outside of the Agricultural Land Reserve and is 45 metres from the ALR boundary, with highway 15 located between the property and the ALR boundary.

The applicant is proposing a 43-townhouse unit to be located along the west portion of the site, and 81 apartments on the southwest portion of the site, both for seniors independent living. The units are proposed to be market units secured through a Housing Agreement (55+). The application also proposes 86 assisted living units and 94 memory care units in the same building which is to be located along the east portion of the site, with a commercial building to the northwest portion of the site, close to the existing development to the north.

The applicant's proposal includes a Regional Growth Strategy amendment from Mixed Employment to General Urban, an OCP amendment from Commercial and Mixed Employment to Commercial and Multiple Residential, and to Rezone the site from CD Zone (Bylaw No. 17018) to CD Zone and a Development Permit for Form and Character.

H. INTEGRITY OF THE AGRICULTURE LAND

I. OTHER BUSINESS

1. Environmental Sustainability Advisory Committee (ESAC) Update

No update was provided.

2. Farm Markets

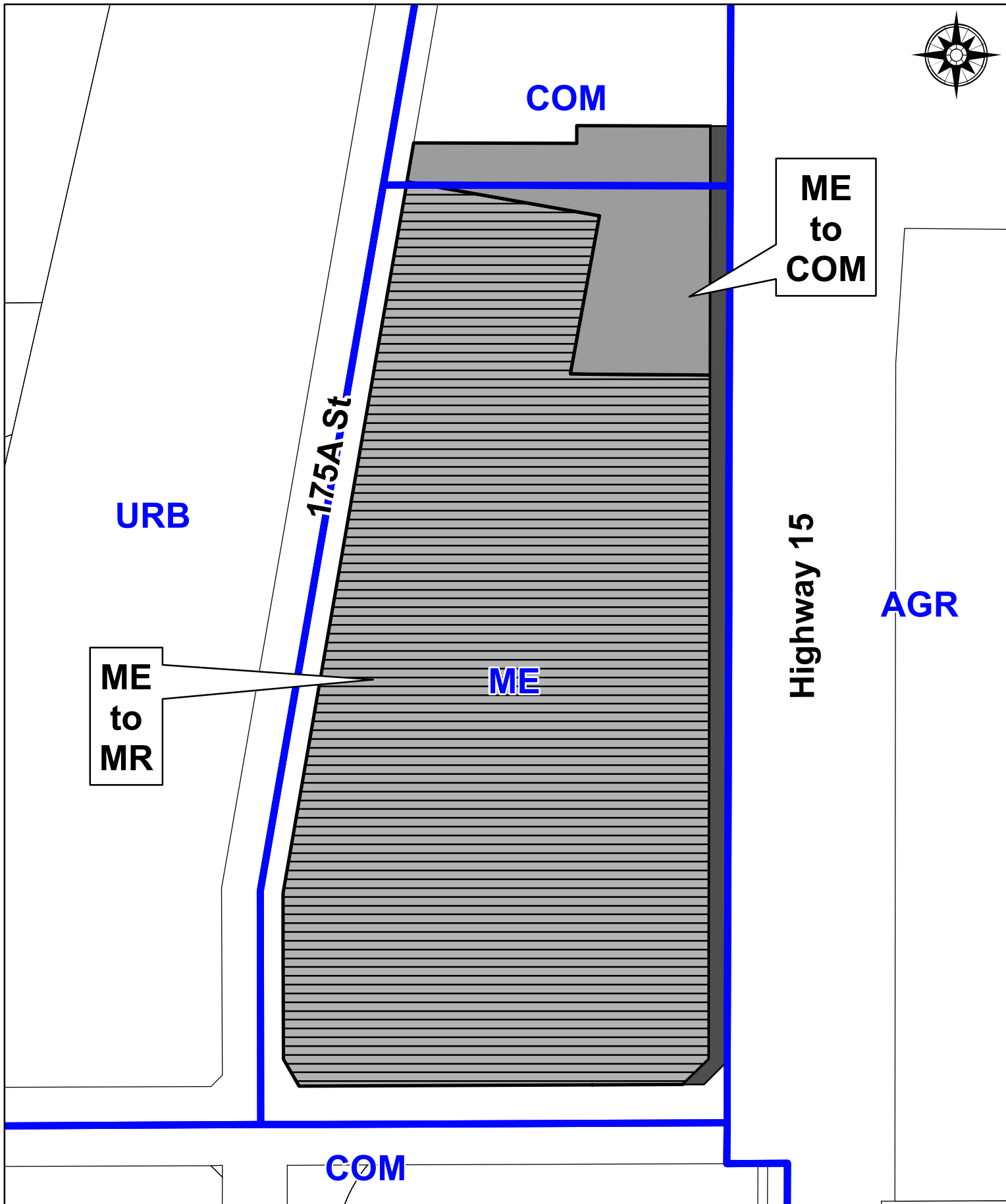
The Committee discussed farm markets and if standards are met, a definition of farm markets, and if there is enforcement on non-complying farm markets.

The Committee requested if staff could obtain an inventory on existing farm markets and bring non-conforming farm markets into compliance. Staff noted that retail sales for ALR properties in the Zoning Bylaws are consistent with the Agricultural Land Commission Act and Regulations.

M. Hilmer left the meeting at 8:27 p.m.

J. NEXT MEETING

The next meeting of the Agriculture and Food Policy Advisory Committee will be held on Tuesday, February 4, 2020, at 6:00 p.m. in 2E Community Room B.





COM

Delete "Mixed Employment" designation

Adjust boundary from ME to COM

URB

17.5A St

Highway 15

AGR

ME

COM





General Urban

From "Mixed Employment"
to "General Urban"

175A St

General Urban

Mixed Employment

Highway 15

Agricultural



City of Surrey

FINAL DRAFT + without dwgs

08 April 2020

Planning & Development Department

13450 – 104 Avenue, Surrey, BC Canada V3T 1V8

Attention: Ms. Moraes, Planner

Reference: Application 16-0679

File Number: 7916-0679-00

IOM - Proposed Mixed-Use Seniors Residential & Commercial Development.

Weave Seniors Campus

228-175 A Street, Surrey, BC

Dear Ms. Moraes:

Please refer to attached architectural drawings, dated 08 April 2020 including landscape and civil drawings with major revisions and improvements responding to ADP Minutes dated 2020.03.12. Below is an itemized reply to the latest comments:

- The Panel noted that substantial items were brought forward and the majority would like to see the project again.
[BFA - Our records indicate that only 2 members of the panel indicated they would like to see the project again at ADP and not majority \(only 2 panel members were opposed\). We appreciate a correction to City's minutes in consideration of accuracy.](#)

Key Points:

- Consider reconfiguring the site to create a court yard.
[BFA - Buildings are fronting adjacent streets and are configured in consultation with the planning department and based on existing and future anticipation of the adjacent buildings in the immediate context. Refer to A101-105](#)

- Provide additional breaks in the massing along 176 Street.
BFA – Three pedestrian access points into the project are already provided along 176 Street. Additionally, redesign improvements of the corner at 176 Street and 2 Avenue and enclosing the north facing terraces of the care building results in the facade facing the highway becoming further modulated. Refer to A201D, A400D-A404D, A600D, A201E-A202E, A400E-A406E & A600E
- Consider being more deliberate on the west façade expression between pacific highway and internal roads.
BFA - All facades have been carefully designed, redesigned and further improved. Major redesign and improvements of the care and assisted living building canopies. Loading bay elevations improved through incorporation of green wall, trellis and art wall. Refer to A201D, A400D-A404D, A600D, A201E-A202E, A400E-A406E & A600E
- Consider highlighting entrances using colour.
BFA - Both care and assisted living entries & canopies are redesigned. Redesign is sensitive in regards to orientation and flow and is animated through the inclusion of bench seating and landscape pots. Signage design will be colourful and will act as part of each building's identity. Refer to A201D, A403D, A600D, A201E-A202E, A405E & A600E
PMG - The landscape (paving, seating, planting...) of both care and assisted living entries is redesigned.
- Consider further articulation of corner brick building.
BFA - The corner of the care building is redesigned and improved including further articulation of south facing shading elements, window locations and fin/material proportion. Refer to A201D-A205D, A400D-A402D & A600D.
- Improve the privacy of the ground floor along Pacific Highway.
PMG – Along pacific Highway, landscape planting buffer is added next to the building, except leaving retail units open.
- Consider weather protection for pedestrians at grade.
PMG - There are five trellises, with acrylic board on top, along the pedestrian circulation in total.

- Reconsider structure of canopy, such as additional seating.
BFA - Both care and assisted living entries & canopies are redesigned. Redesign is sensitive in regards to orientation and flow and is animated through the inclusion of bench seating and landscape pots. Refer to A201D, A401D, A403D, A600D, A201E, A403E, A405E & A600E
- Consider optimizing sun access to terrace and at-grade landscape features.
PMG - For the roof of senior living building, the trees along the west edge are removed; For the roof of condo building, the trees along south edge are removed.
- Consider a more deliberate greenspace at grade.
More deliberate greenspace at grade have been considered. Park facilities are available in the adjacent neighbour.
- Recommend a greenspace upgrade to increase garden plots.
PMG - The number of garden plots is increased to 12 (see condo roof plan)
- Reconsider the challenging ramp slopes.
BFA - All ramps & slopes are designed to applicable BCBC 2018 standards. Refer to A101, A201C, A201D, A201E, A202E, A201F
- Consider using the rooftop for a walking loop.
2nd floor rooftop will allow for walking loop.
- Recommend including a dog run.
Recommendation considered. Park facilities are available in the adjacent area.
- Recommend a transfer space beside the toilet in restrooms for accessibility.
BFA - Transfer space is provided for the care building. All other restrooms meet BCBC 2018 requirements for adaptable design units.
- Recommend the condo parking and storage be built on the related condo lot.
BFA - Due to existing site constraints, subdivision and layout providing 100% of condo parking and storage below condo building is extremely difficult without major disruption to other project elements. Maximum number of stalls and storage provided below condo building. Remaining required stall and storage provided in adjacent portion of parkade. Refer to A100, A101&

A201A-A204A

IOM + COS – Response required regarding legality

Site

- Consider flipping the development and orientation of office building.
BFA – The current design and orientation of the Office building maximises eastern views of adjacent agricultural land, rather than rooftop and private outdoor spaces of townhome units. In addition the solar gain on the eastern façade is less than western façade making the current orientation better for offices. Flipping the orientation would require a more solid elevational expression in order to mitigate against excessive solar gains. Refer to A201F-A205F, A400F-A401F & A600F
- Consider opening up west edge to allow for more access to afternoon sun.
Planters have been adjusted to allow for more access to afternoon sun.
- Recommend more ground level outdoor space.
Recommendation considered.
- Reconsider structure of canopy, such as additional seating.
BFA - Refer to both care and assisted building canopies for improvements including additional seating. Refer to A101, A201D, A401D, A403D, A600D, A201E, A403E, A405E & A600E
- Consider creating separation of walkway from building windows.
PMG – A 3.5m wide planting buffer is added to separate walkway from building windows.
- Consider a gate to enclose the service area access to eliminate the potential of people hiding, which could surprise a passer-by.
BFA - Note that gates are already provided to common service area. Refer to A201D & A201E-A202E
- Recommend the parcel/mail lobby meet Canada post standards
BFA - All Mail areas in all lobby areas meet Canada Post standard

Form and Character

- Consider further breaks in the massing along 176 Street.
BFA – Three large breaks in massing are provided along 176 Street. Façade is further modulated through building recesses & projection, materiality and sensitive glazing locations. Varied roof line further breaks up massing. Design of southern corner of care building improved to further break up massing. Refer to A107, A400D-A402D, A600D, A400E-A404E, A600E
- The elevations are long, consider reveal breaks in building.
BFA - Refer to above reply
- Consider landmarks to assist seniors navigating the various buildings.
BFA - Every building has its own distinctive character. In addition, care and assisted building entrance canopies are completely redesigned to act as landmarks to further address this comment. Refer to A400C-A402C, A504C, A600C, A400D-A403D, A600D, A400E-A406E, A600E, A400F-A401F & A600F.
- Consider a design element on the corner of 176 Street.
BFA – The corner of the care building at the intersection of 176 Street and 2 Ave. has been redesigned. Windows and brise soleil added and extent / proportion of architectural fin changed. Materiality further refined. Refer to A107, A402D, A600D & A404E
PMG - 3 cherry trees, low free-standing wall with benches on the top and special paving highlight the corner area.
- Consider a design feature at roofline at corner of 176 street.
BFA - Refer to above reply. Corner design improved. Roof line element not suitable for this architectural vocabulary. Roofline broken up at north east corner of care building. Refer to A107, A402D, A600D & A404E
- Recommend roof top amenity.
BFA - Two major rooftop amenities are already provided and have been enhanced through improved landscape design. In addition, new terrace amenity/dining areas are provided to the care building level 3-5 to free up space in the central building area for improvements to staging area and to provide future adaptable area for pandemic issues related to seniors. Refer to A204C, A203D-A204D, A600D, A203E & A600E

- Consider further highlighting the entry or identify a meeting space.
BFA - Care and assisted building canopies are completely redesigned. Redesign incorporates seating and makes each space welcoming and suitable for greetings and small meetings. Refer to A101, A201D, A401D, A403D, A600D, A201E, A403E, A405E & A600E
- Consider internal street into condo building.
BFA - We need further clarification on intent of this comment and are not sure if another street will be beneficial to the project
- Reconsider loading zone at surface as it creates a blank wall. Consider further design development such as the addition of public art.
BFA - Loading zones have been designed at surface level for optimal operation and safety. Long façade of loading zone redesigned and animated through the incorporation of trellis, green wall and landscape design. Public art is also being considered by IOM and Kwantlen First Nation. Refer to A201D, A401D, A600D, A201E, A403E & A404E
- Consider enhancing character and expression on north elevation.
BFA - We assume this comment is related to the office building; this elevation is carefully designed with transparency at grade adjacent to the pedestrian walkway. Refer to A400F
- Consider alternate colour for buildings.
BFA - Each building already designed with its own colour and distinct character. Refer to material board and elevation & perspective drawings.
- Consider exterior fireplace on western edge.
BFA - This is a welcome comment and is incorporated.
PMG - A fire pit is added on Condo's roof (see condo roof plan)
- Increase amount of glazing in the offices on second floor and the main level.
BFA - There no office space on the main floor. We are increasing the office glazing on levels 2 to 4. Refer to A201F-A204F, A400F-A401F & A600F

- Recommend laminating windows along 176 Street to assist with noise attenuation.
BFA - Noise attenuation measures have been carefully considered and supported by an acoustic report prepared by the project acoustical consultant and goes well beyond acoustic performance achieved through the use of laminating glass. Refer to Environmental Noise Study prepared by BAP Acoustics
- Ensure the condo parking is secure, on the same lot, with bicycle parking included.
BFA - Condo parking is secured by an overhead door. Required number of parking for the condo building does not allow it to happen on the same lot. Additional required condo parking provided in adjacent portion of parkade. Refer to A100-A101 & A201A-A204A
- Ensure that related condo parking and storage is located on related condo lot.
BFA – Refer to above response

Landscape

- The Panel supports the amount of trees.
Thank you.
- Consider a more deliberate greenspace at grade.
Considered.
- Encourage meaningful soft-scaping for seniors to get together that is not next to a road.
Seating areas have been integrated around the site adjacent to walkways for ease of access. Spaces permit: people watching and watching of movement around the site.
- Consider larger community garden space.
Community garden space have been increased.
- Recommend more plots for garden as 8 plots seems sparse.
Garden spots have been increased to 12 plots.

- Recommend sheltered areas on walkways for those using walkers.
Trellis sheltered areas have been provided along the walkways.
- Consider adding seating within the canopy over main entry.
Additional seating have been added under the entry canopy.
- There is a shaded exterior patio on the western edge, consider shifting patio on west edge to gain afternoon sunlight.
Planters have been opened up to allow more light.
- Recommend benches with arm and back rests.
Benches will have arms and back rests.
- Recommend a dog run.
Recommendation considered; however, there are park facilities in the adjacent neighbourhood.

CPTED

- No specific issues were identified.
BFA - Noted

Sustainability

- Consider pushing sustainability targets further.
BFA - Sustainability requirements will meet BCBC 2018 including STEP requirements.

Accessibility

- Recommend reducing 8% slope in condo building.
BFA - Provided slope on south entry meets BCBC slope requirements.
Additional barrier free entry provided at east end of level 1. Refer to A201C
- Recommend accessible access at senior's condo entry.
BFA - Refer to above comment.

- Recommend ramp access out of condo building onto internal road.
BFA - Already considered the long ramp will compromise main floor unit private gardens. Will consider again
- Consider accessible way in the loading and drop off area.
BFA - Accessible drop off area exits in 2 locations. Loading and unloading accessibility is not a requirement. Another drop off and pick up accessible point location is provided in the underground parkade. Refer to A100, A101, A201A-A204A, A201D & A201E.
- Recommend a ramp in the Assisted Living Building.
BFA - A ramp is already provided, in addition to an accessible lift. Refer to A201E & A202E.
- Recommend additional accessible stalls.
BFA - Will review to provide.
- Recommend accessible parking stalls adjacent to elevator lobbies, in order residents are crossing drive aisles.
BFA - Accessible stalls are already in proximity to elevator lobbies, however a few stalls have been relocated to further improve. Refer to A100 & A201A-A204A
- Consider transfer space beside toiler in restrooms.
BFA - Transfer space is provided for the care building. All other restrooms meet BCBC 2018 requirements for adaptable design units.

Thank you for your contribution and assistance to date, please contact us if you need any further information.

Respectfully,

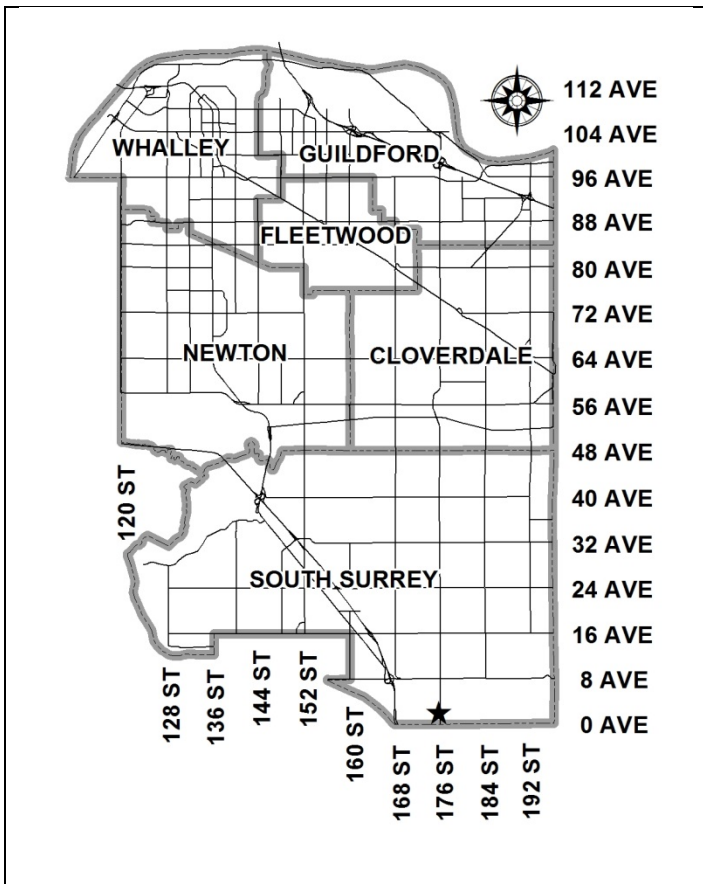
Helen Avini Besharat,
Architect AIBC MRAIC RID LEED BD+C

CC:
IOM: Mr. Henry Yong and Mr. Brent Tedford
Landscape: Ms. Mary Chan-Yip
Civil: Mr. Steve O'Connell

City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7916-0679-00

Planning Report Date: September 11, 2017



PROPOSAL:

- **OCF Amendment** from Mixed Employment and Commercial to Multiple Residential
- **Rezoning** from CD (By-law No. 17018) to CD

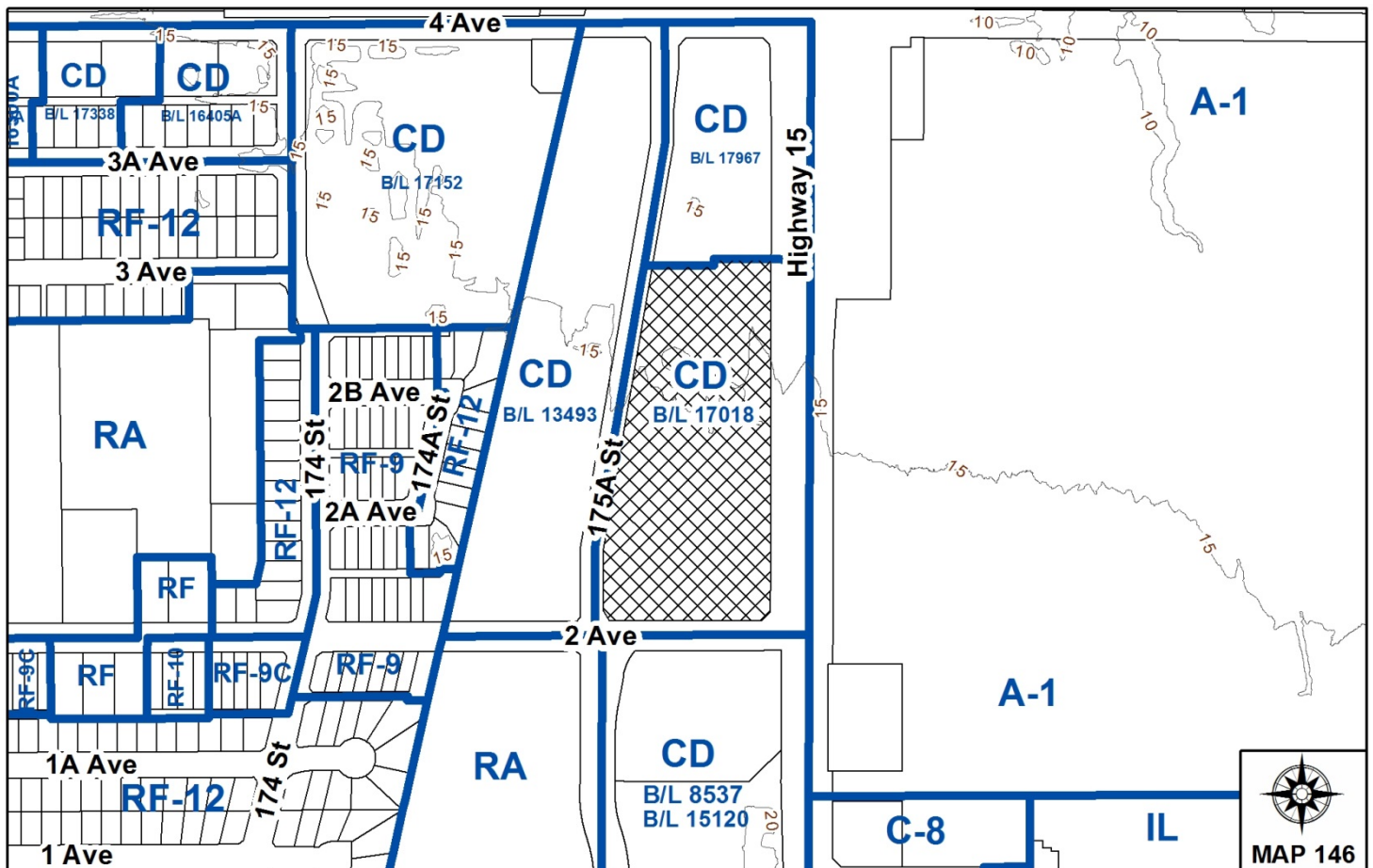
to permit the development of residential uses in the form of approximately 60 townhouse units, 182 apartment units and 80 memory care rooms, with some ancillary commercial and educational uses.

LOCATION: 228 - 175A Street

OWNER: 1103806 B.C. Ltd.
 1103798 B.C. Ltd.

ZONING: CD (By-law No. 17018)

OCF DESIGNATION: Mixed Employment and Commercial



RECOMMENDATION SUMMARY

- That this report be received as information.

RATIONALE OF RECOMMENDATION

- At the Regular Council – Land Use meeting of July 24, 2017, Council requested:

That staff provide a report at the September 11, 2017 Regular Council - Land Use meeting regarding File No. 7916-0679-00 located at 228 175A Street to review the potential employment opportunities for the proposed development on this property.

RECOMMENDATION

The Planning & Development Department recommends that Council receive this report as information as per Council's request at the Regular Council – Land Use meeting of July 24, 2017.

DEVELOPMENT CONSIDERATIONS

Background

- The applicant is proposing an Official Community Plan (OCP) amendment from Mixed Employment and Commercial to Urban and rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17018) to a new CD Zone to permit the development of approximately 60 townhouse units, 182 seniors apartments, 80 memory care rooms, with some ancillary educational and commercial uses (Appendix II).
- The subject site is designated Mixed Employment in Metro Vancouver's Regional Growth Strategy (RGS). Residential development is not permitted in the Mixed Employment designation and if supported by Council, the proposed development would trigger an application to Metro Vancouver to amend the RGS designation from Mixed Employment to General Urban.
- The proposal was presented for Council's consideration at the Regular Council – Land Use meeting of April 24, 2017 and Council passed the following motion:

That Application 7916-0679-00 be referred back to staff to work with the applicant to develop a proposal that complies with the Official Community Plan (OCP) and the Metro Vancouver Regional Growth Strategy (RGS).

- Council, at its Regular Land Use meeting of July 24, 2017, subsequently passed the following motion:

That staff provide a report at the September 11, 2017 Regular Council - Land Use meeting regarding File No. 7916-0679-00 located at 228 175A Street to review the potential employment opportunities for the proposed development on this property.

Employment Opportunities

- The subject site's current Mixed Employment OCP designation (approximately 90-95% of the site is designated Mixed Employment, with only a small sliver of the site designated Commercial) is intended to "support a mix of industrial, commercial, business and office uses that are not suited for location within Town Centres or commercial centres".
- The site's CD Zone (By-law No. 17018) permits a number of industrial, commercial and business and office uses, including:
 - Light impact industry including wholesale and retail sales of products;
 - Warehouse uses;
 - Distribution centres;
 - Automotive service uses;

- Office uses;
 - Tourist accommodation;
 - General service uses;
 - Retail stores; and
 - Child care centres.
- The applicant's proposal for approximately 60 townhouse units, 182 seniors apartments, 80 memory care rooms, with some ancillary educational and commercial uses is a departure from current City policies, and Metro Vancouver's Regional Growth Strategy; however, the proposed development is anticipated to provide some employment opportunities.
 - The applicant retained Lumina Services Inc., a consulting firm that specializes in conducting feasibility studies for seniors' housing and health care developments throughout Western Canada. Lumina Services Inc. indicates that the proposed development is expected to provide approximately 136 permanent jobs on the subject site, including approximately 104 positions associated with the seniors' care component, and approximately 32 positions associated with the proposed Lelam Café and proposed retail stores.
 - The following table illustrates the types and numbers of jobs that Lumina Services Inc. envisions would be provided on the site in terms of the seniors' care component of the proposal:

Administration & Shared Services	Independent Living (142 units)	Assisted Living (40 units)	Memory Care (80 units)
General Manager (1 position)	Lifestyle Coordinator (1 position)	Professional Nurse (3 positions)	Professional Nurse (5 positions)
Hospitality Manager (1)	Sales Associate/Resident Services (2)	Resident Care Attendant (10)	Dementia Care Worker (20)
Health & Wellness Manager (1)	Recreation Therapist (3)	Recreation Therapist (1)	Recreation Therapist (2)
Sales Manager (1)	Food Services Workers (9)	Housekeeping/Dining Room/Laundry (5)	Housekeeping/Dining Room/Laundry (12)
Office Manager (1)	Housekeeping (4)	Dietician (1)	Occupational Therapist (1)
Bookkeeper (1)	Laundry Services Worker (1)		Dietician (share with assisted living)
Payroll/Benefits Administrator (1)	Bus Driver (1)		Music Therapist (1)
HR Coordinator (1)	Concierge (2)		Therapist Assistant (2)
Chef and Kitchen Staff (6)			
Building Maintenance (1)			
Front Reception (3)			
18 total positions	23 total positions	20 total positions	43 total positions

- In addition, the applicant advises that the proposed development has the potential to provide more than 100 placements for Faculty of Health students from Kwantlen Polytechnic University (KPU) each year. KPU advises that finding clinical placements for their Health students is challenging and having a site where they could find consistent placements for their students to engage with seniors at all levels of health would be very beneficial.
- The 136 estimated permanent on-site jobs equates to approximately 53 jobs per hectare (22 jobs per acre) on the subject site. As a comparison, the average employment density in the adjacent Pacific Highway border crossing area is approximately 44 jobs per hectare (18 jobs per acre). The average employment density in the developed portions of the Campbell Heights Business Park is approximately 56 jobs per hectare (23 jobs per acre), which includes lower employment uses like storage facilities and higher employment uses such as office uses. The subject proposal is therefore considered higher in terms of average employment yield when compared with the adjacent Pacific Highway border crossing area and is similar to the average employment yield in the Campbell Heights Business Park.

Summary

The above employment information is provided as per Council's request at the Regular Council – Land Use meeting of July 24, 2017.

If Council feels that there is merit in considering the application, Council may direct staff to work with the applicant to review the details (ie. site plan, density, parking, massing, height, architecture, uses etc.) of the proposal and once all issues are resolved, bring the project back to Council for Council's consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Proposed Site Plan and Rendering
Appendix III.	April 24, 2017 Planning Report

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/da

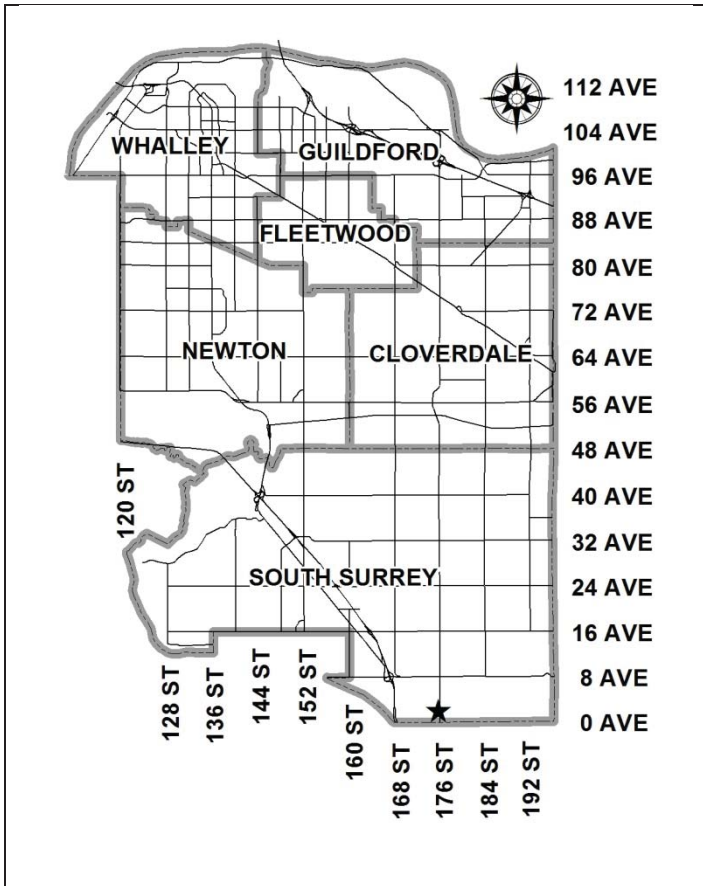
APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION



City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0679-00

Planning Report Date: April 24, 2017



PROPOSAL:

- **OCP Amendment** from Mixed Employment and Commercial to Multiple Residential
- **Rezoning** from CD (By-law No. 17018) to CD

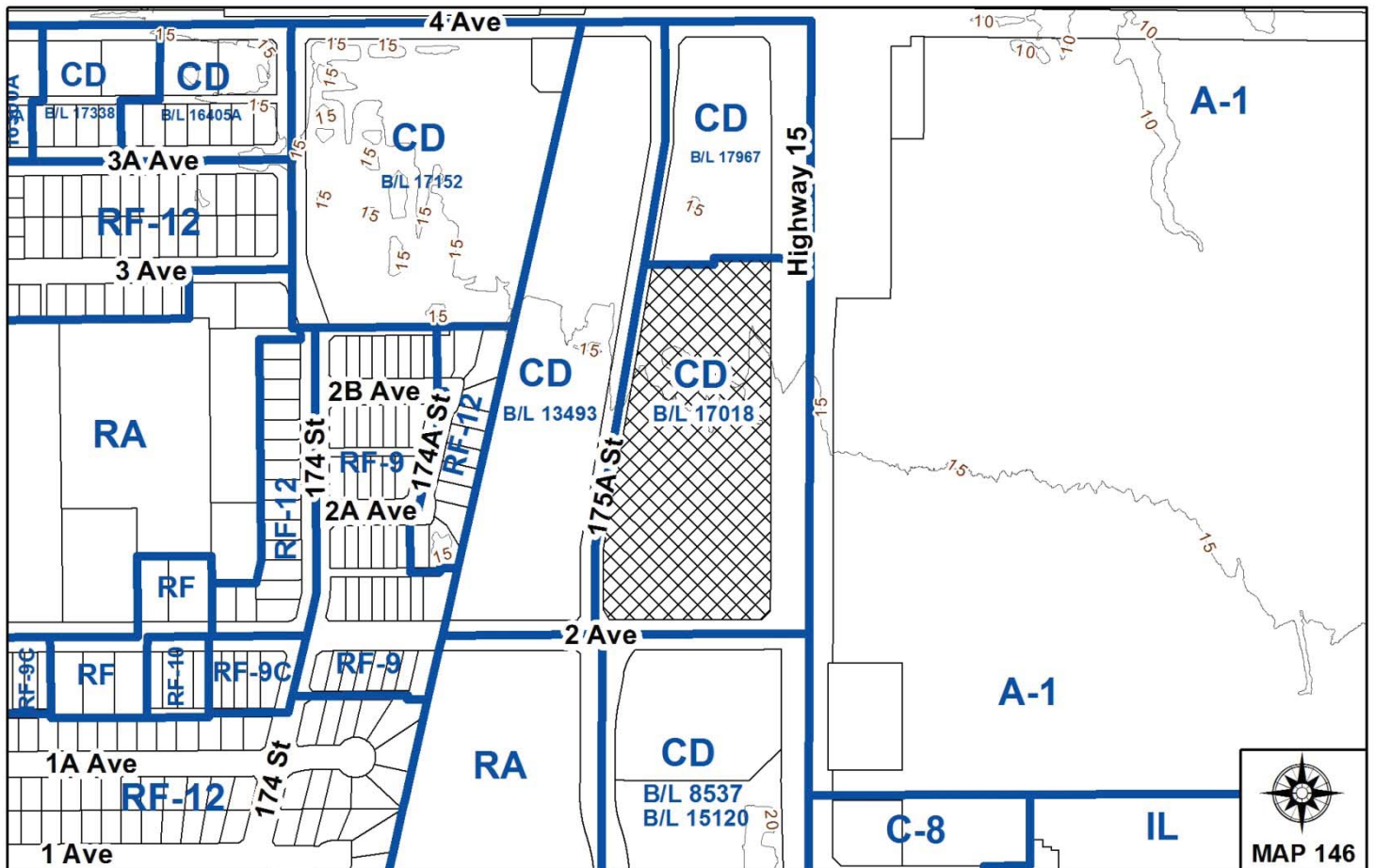
to permit the development of residential uses in the form of approximately 60 townhouse units, 182 apartment units and 80 memory care rooms, with some ancillary commercial and educational uses.

LOCATION: 228 - 175A Street

OWNER: 1103806 B.C. Ltd.
 1103798 B.C. Ltd.

ZONING: CD (By-law No. 17018)

OCP DESIGNATION: Mixed Employment and Commercial



RECOMMENDATION SUMMARY

- The Planning & Development Department recommends that the application be referred back to staff to work with the applicant to develop a proposal that complies with the Official Community Plan (OCP) and the Metro Vancouver Regional Growth Strategy (RGS).

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal does not comply with City of Surrey policies and plans, nor with Metro Vancouver's Regional Growth Strategy (RGS).

RATIONALE OF RECOMMENDATION

- The site is designated Mixed Employment and Commercial under the Official Community Plan (OCP) and Mixed Employment under Metro Vancouver's Regional Growth Strategy (RGS). The development as proposed does not comply with the site's OCP designation or RGS designation, both of which preclude residential uses.
- Although some employment uses are proposed, the proposed development is a significant departure from existing City and Metro Vancouver plans and policies, and will result in an overall reduction in the supply of employment lands in the City. This does not support Surrey's goal of achieving a higher job to resident ratio.
- The proposed development would locate residential uses in closer proximity to border crossing facilities and activities. While certain mitigation measures can be implemented, the future residents in this development, if approved, may be subjected to nuisances associated with the truck and vehicle traffic (i.e. noise, vehicle queuing, exhaust fumes, etc.).
- The proposed development, if approved, could put pressure on other lands designated Mixed Employment or Commercial in Surrey to be converted to residential uses. It should be noted that a Development Application was recently received on a nearby 2.2-hectare (5.5-acre) site located to the southwest at 151 – 175A Street. This Development Application, No. 7917-0146-00, is in the initial stages of review, and is proposing similar amendments to the OCP and to the Metro RGS as is proposed with the subject application. Together, both the subject site and the site at 151 – 175A Street form much of the available employment lands in the Douglas area.

RECOMMENDATION

The Planning & Development Department recommends that this application be referred back to staff to work with the applicant to develop a proposal that complies with the Official Community Plan (OCP) and the Metro Vancouver Regional Growth Strategy (RGS).

If, however, Council feels that there is merit in considering the application, Council may direct staff to work with the applicant to review the details (ie. site plan, density, massing, height, architecture, uses etc.) of the proposal and once all issues are resolved, bring the project back to Council for Council's consideration.

REFERRALS

Engineering:	The Engineering Department has no specific concerns with the proposed development. If the application proceeds to the detailed planning stage, detailed Engineering Comments will be provided to ensure necessary infrastructure is provided to service the site.
School District:	If the application proceeds to the detailed planning stage, detailed School District Comments will be provided. The applicant is proposing an adult-oriented residential complex which is unlikely to generate many students.
Parks, Recreation & Culture:	If the application proceeds to the detailed planning stage, detailed Parks Comments will be provided.
Agriculture and Food Security Advisory Committee (AFSAC):	The site is within the Farm Protection Development Permit area, and if the application proceeds to the detailed planning stage, the project will be referred to AFSAC for comment.
Ministry of Transportation & Infrastructure (MOTI):	If the application proceeds to the detailed planning stage, MOTI will require that a Traffic Impact Assessment (TIA) be completed by the applicant and will also comment on access points to the site. A Safety Audit of the intersections at Highway No. 15 (176 Street) and 2 Avenue and 4 Avenue will be required as part of the TIA. In addition, MOTI will review any sound attenuation measures proposed by the applicant.
Metro Vancouver:	The applicant is proposing an amendment to the Regional Growth Strategy (RGS) designation on a portion of the site, from Mixed Employment to General Urban. The proposed RGS amendment would require an affirmative majority (50%+1) weighted vote of the Metro Vancouver Board but would not require a regional public hearing.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel.

Adjacent Area:

Direction	Existing Use	OCP	Existing Zone
North:	Commercial development.	Commercial	CD (By-law No. 17967)
East (Across Highway No. 15):	Farmland within the Agricultural Land Reserve (ALR).	Agricultural	A-1
South (Across 2 Avenue):	Commercial development.	Commercial	CD (By-law Nos. 8537 & 15120)
West (Across 175A Street):	Townhouses.	Urban	CD (By-law No. 13493)

JUSTIFICATION FOR PLAN AMENDMENT

- The applicant is proposing an Official Community Plan (OCP) amendment from Mixed Employment and Commercial to Urban and a Metro Vancouver Regional Growth Strategy (RGS) amendment from Mixed Employment to General Urban to allow for the proposed residential development.
- The applicant has provided a rationale in support of their proposed OCP amendment and RGS amendment (attached as Appendix V). Key points from the applicant's rationale include:
 - The applicant has entered into a partnership with the Seyem' Qwantlen Business Group of the Kwantlen First Nation and also with Kwantlen Polytechnic University (KPU);
 - The applicant is proposing to provide employment opportunities on the site within the proposed care facility, commercial space and educational space;
 - The applicant is proposing to provide a First Nations-themed arts and culture café, similar to the Lelem café in Fort Langley;
 - The three partners are proposing to provide student placement and apprenticeship opportunities in the proposed memory care and post-secondary teaching facility;
 - The proposed development will provide a graduated program of care, progressing from adult-oriented living, through assisted living to full congregate or memory-loss care; and
 - In support of the aging in place concept, the applicant is proposing that the townhouse portion of the site have a housing agreement registered on title to limit ownership to residents who are 55+ years of age.

DEVELOPMENT CONSIDERATIONS

Site Description

- The subject site consists of a 2.5-hectare (6.3-acre) parcel located at 228 – 175A Street, near the Pacific Highway No.15 (176 Street) border crossing. The property is vacant. The parcel is zoned "Comprehensive Development Zone (CD)" (By-law No. 17018) and is split-designated Mixed Employment (approximately 95% of the site) and Commercial (approximately 5% of the site) under the Official Community Plan (OCP). The property is designated Mixed Employment under Metro Vancouver's Regional Growth Strategy (RGS).

Proposed Development

- The applicant is proposing an OCP amendment from Mixed Employment and Commercial to Urban and rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17018) to a new CD Zone to permit the development of approximately 60 townhouse units, 182 seniors apartments, 80 memory care rooms, with some ancillary educational and commercial uses (Appendix II).
- The applicant is proposing a townhouse form of development on the western portion of the site along 175A Street and a large 6-storey building containing seniors apartments, memory care units and educational and commercial space on the eastern portion of the site along Highway No. 15 (176 Street).
- In terms of the subject application, only the proposed OCP amendment and rezoning, and not the Development Permit, are being presented for Council's consideration. Given the significant departure from the City's and Metro Vancouver's plans and policies that the proposal entails, it was deemed appropriate to consult Council on the larger land use issue before proceeding further to detailed development planning of the site, which typically is done through the Development Permit application.

Site Context in Douglas

- When the Douglas Neighbourhood Concept Plan (NCP) was developed, the eastern boundary of the NCP was established as delineation between the Douglas residential neighbourhood and the industrial/commercial uses around the Pacific Highway border crossing area. In fact, the overall orientation of the Douglas NCP is away from this industrial/commercial area at the border crossing.
- The proposed development will locate residential uses further east, in close proximity to border crossing facilities and activities. While certain mitigation measures can be implemented, the future residents in this development, if approved, may be subjected to nuisances associated with the truck and vehicle traffic (i.e. noise, vehicle queuing, exhaust fumes, etc.).
- A number of years ago, an application was made to re-designate the ALR land east of 176 Street between 2 Avenue and 4 Avenue from Agricultural to Industrial Business Park. The City was not supportive of the proposal because of the availability of sites in the area that are currently designated industrial/business uses. The removal of a portion of the Mixed Employment and Commercial designated lands would reduce the amount of employment

land that is available in the area, which may increase pressure on agricultural land to develop for alternate uses in the vicinity of the Douglas border crossing.

- This impact from loss of employment lands may be further heightened given the proposal at 151 – 175A Street under Development Application No. 7917-0146-00 where a similar use is proposed. Together both of these sites form much of the available employment lands in the area.

Policy Considerations

- In considering the proposal to redesignate the subject site from Mixed Employment and Commercial to Urban in the OCP to allow for the proposed residential land use, there are a number of City and Metro Vancouver policies that need to be considered. These are discussed in detail below.

Surrey OCP (2014)

- The protection of employment lands is a key objective of the City of Surrey. Surrey's OCP contains policies that are designed to "prohibit the conversion of industrial, business park or mixed-employment lands to residential or other non-employment uses". These policies seek to "encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare".
- Preserving lands designated Mixed Employment for employment uses is a goal of the City which is highlighted in the OCP and under the Employment Lands Strategy. Retention of these lands for employment uses helps Surrey achieve a higher job to resident ratio, which is intended to create a more complete city where residents can both live and work within the city. Residential uses are specifically not permitted in the Mixed Employment designation.
- The City has a number of areas designated Mixed Employment or Industrial where inquiries have been made to amend the OCP and RGS to allow for residential uses. To date Surrey has not forwarded any proposed RGS amendments of this nature, with support, to Metro Vancouver.
- If the proposed application is supported, the current Mixed Employment, Industrial or Commercial designations in other areas of Surrey may come under pressure to be amended to allow non-employment uses. In particular, a development application has recently been submitted on the 2.2-hectare (5.5-acres) site to the southwest of the subject site at 151 - 175A Street (Development Application No. 7917-0146-00). This application proposes an OCP amendment from Mixed Employment and Commercial to Urban and to amend the site's RGS designation from Mixed Employment to General Urban, to permit approximately 23 duplex units, 40 assisted living units, 64 independent living units, 150 complex care units and 1,885 square metres (20,300 sq.ft.) of commercial space. This application is in the initial stage of review.

Surrey Employment Lands Strategy (2008)

- Surrey's *Employment Lands Strategy*, adopted by Council in 2008, outlines the City's commitment to maintaining employment lands for employment uses, as summarized in the excerpts below:

- "conversion from an employment use to a non-employment use is only supported where development will align with the City's objectives to create thriving, transit oriented, mixed-use centres and corridors"; and
- "the City acknowledges port lands and key transportation corridors as contributors to local economic well-being and is committed to protecting employment lands in these areas".

Metro Vancouver

- The subject site is designated Mixed Employment in Metro Vancouver's Regional Growth Strategy (RGS). Areas designated Mixed Employment in the RGS are "intended for industrial, commercial and other employment related uses to help meet the needs of the regional economy. Residential uses are not intended in 'Mixed Employment' areas."
- The proposed development would trigger an application to Metro Vancouver to amend the RGS designation from Mixed Employment to General Urban.
- Amendments from the Mixed Employment designation to the General Urban designation of the RGS are to be referred from the affected municipal government and are classified as a "Type III Minor Amendment", and require an affirmative majority (50%+1) weighted vote of the Metro Vancouver Board but would not require a regional public hearing. This step would occur subsequent to Council holding a Public Hearing and granting Third Reading to the proposed development.

PRE-NOTIFICATION

Pre-notification letters were sent on February 7, 2017, and 3 development proposal signs were installed on the subject site. To date staff have received 4 phone calls and 4 emails/letters regarding the proposal. Three (3) of the respondents were generally in favour of the proposed development although two of them expressed concerns about increased traffic and the height of the proposed 6-storey building.

Five (5) of the respondents were not in favour of the proposed development and also indicated concerns about increased traffic in the area and access to the subject site through the residential area and also about the height of the proposed 6-storey building.

The applicant held a Public Information (PIM) meeting on March 22, 2017 at the Pacific Inn & Resort Conference Centre from 6:30 pm to 8:30 pm. Approximately 50-60 persons attended with 30 people signing the attendance sheet. Comments provided include:

- Access to the site is problematic with some residents not wanting 175A Street to be used to access the site;
- There is no public transit in Douglas which means there is a reliance on private vehicles. It is anticipated that the subject proposal will add to this and will increase local traffic;
- The proposed 6-storey building is too high, and does not fit within the Douglas

neighbourhood context;

- Residents were concerned about this proposal causing an increase of on-street parking on 175A Street; and
- The applicant should more fully develop their care program into a graduated program of care, progressing from adult-oriented living, through assisted living to full congregate or memory-loss care.

(Given the subject site's proximity to the Douglas border crossing and to the location of Highway No. 15, access to the site will be limited to 175A Street. A Traffic Impact Assessment will be required if the proposal proceeds to the detailed planning stage and will be required to include discussion of the provision of on-street parking on 175A Street. Staff discussed the concerns raised about the height of the proposed 6-storey building with the applicant, but the applicant wanted the proposal brought forward with the 6-storey building.)

ANALYSIS

- The applicant's proposal brings forward a project with unique partnership between the developer, Kwantlen First Nation and Kwantlen Polytechnic University (KPU). The site has been vacant for many years and the applicant has assembled a team and a proposal that provides an opportunity to increase housing options for seniors, and particularly those who need full-time care.
- The proposal contains a diverse mix of uses with commercial, educational, care facility, and residential uses proposed. The proposed development would provide employment opportunities.
- While the proposal has its merits, there are several key concerns with the proposed use:
 - There is no public transit in Douglas and there are limited other services located nearby that would support a "senior's campus of care" development in this location;
 - The proposed development reduces the supply of employment lands in Surrey, which does not support Surrey's goal of achieving a higher job to resident ratio;
 - The proposed development, if approved, could put pressure on other "Mixed Employment" or "Industrial" lands in Surrey to be converted to residential uses, including the 2.2-hectare (5.5-acres) site to the southwest at 151 – 175A Street; and
 - The proposed development would place residential uses closer to border crossing facilities and activities. While certain mitigation measures can be implemented, the future residents in this development, if approved, may be subjected to nuisances associated with the truck and vehicle traffic (i.e. noise, vehicle queuing, exhaust fumes, etc.). This would likely generate complaints from the future residents on a regular basis.

RECOMMENDATION

Staff understands the applicant's proposal to develop the site for primarily residential use which also includes a commercial and educational component which would provide some employment on the site. However, in light of the broader and longer term plan of the City, staff is not supportive of proposed residential development at this location.

Staff recommend that the application be referred back to staff to work with the applicant to develop a proposal that complies with the Official Community Plan (OCP) and the Metro Vancouver Regional Growth Strategy (RGS).

If, however, Council feels that there is merit to the application, Council may direct staff to work with the applicant to review the details (ie. site plan, density, massing, height, architecture, uses etc.) of the proposal and once all issues are resolved, bring the project back to Council for Council's consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary
Appendix II.	Proposed Site Plan
Appendix III.	OCP Redesignation Map
Appendix IV.	Metro Vancouver Regional Growth Strategy (RGS) Map
Appendix V.	Applicant's Rationale

Original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/da

**APPENDICES
AVAILABLE
UPON REQUEST**