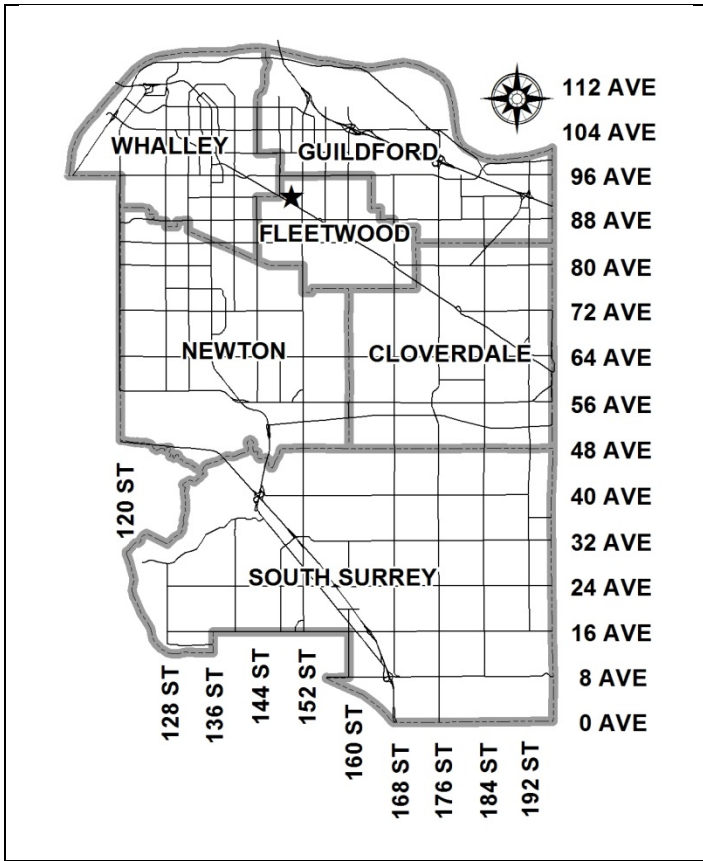


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0673-00

Planning Report Date: March 12, 2018



PROPOSAL:

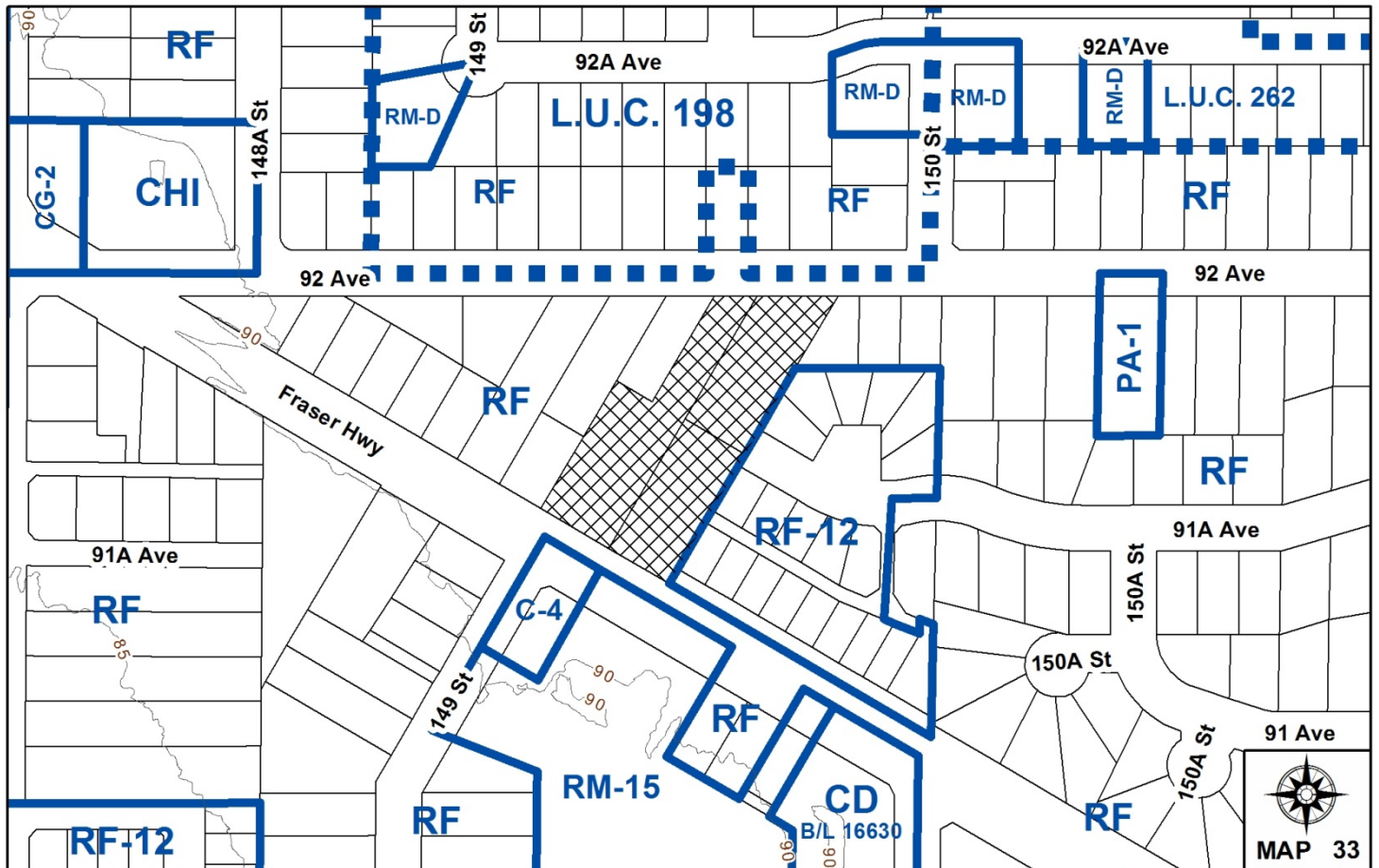
- **Rezoning** from RF to RF-13 and CD (based on RF-13)
- **Development Variance Permit**

to allow subdivision into 14 single family small lots

LOCATION: 14919 - Fraser Highway
 14939 - Fraser Highway
 14974 - 92 Avenue
 (14976 - 92 Avenue)

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to relax the lot depth requirements of the RF-13 Zone for proposed Lots 7 to 14.
- Seeking to waive Part 7 Special Building Setbacks of the Surrey Zoning By-law, 1993, No. 12000, for proposed Lots 11 to 14.

RATIONALE OF RECOMMENDATION

- Complies with the Urban Designation in the Official Community Plan and will facilitate development that is compatible with the existing adjacent single family small lots to the east.
- The applicant has demonstrated functional building envelopes and required off-street parking on lots with reduced depth.
- The waived Special Building Setbacks will allow for functional building envelopes and will also help to create a seamless transition with adjacent properties to the east on Fraser Highway.
- Staff have evaluated the implications of eliminating the Special Setback requirements on the ultimate rapid transit design in the context of the existing recently developed RF-12 lots to the east, which were created prior to the 42 metre (138 ft.) cross-section requirement coming into effect. Through that analysis, it was determined that rapid transit infrastructure can be accommodated within the reduced road allowance along this section of Fraser Highway.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the portions of the properties at 14919 - Fraser Highway and 14974 - 92 Avenue shown as Blocks A and B on the attached Survey Plan (Appendix II) from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. a By-law be introduced to rezone the property at 14939 - Fraser Highway, along with the portions of 14919 - Fraser Highway and 14974 - 92 Avenue shown as Block C and D on the attached Survey Plan (Appendix II) from "Single Family Residential Zone (RF)" to "Single Family Residential (13) Zone (RF-13)" and a date be set for Public Hearing.
3. Council approve Development Variance Permit No. 7916-0673-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) To reduce the minimum lot depth of the RF-13 Zone for Type II lots from 24 metres (79 ft.) to 22.5 metres (74 ft.) for proposed Lots 7 to 14.
 - (b) Seeking to waive Part 7 Special Building Setbacks of the Surrey Zoning By-law, 1993, No. 12000, for proposed Lots 11 to 14.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout and lot grading plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

5 Elementary students at Berkshire Park Elementary School
 2 Secondary students at Johnston Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2018.

Parks, Recreation & Culture: Parks has some concerns about the pressure this project will place on existing parks, recreation and cultural facilities in the neighbourhood.

The applicant has agreed to a contribution of \$5,500 which represents a payment of \$500 per new lot being created. Parks is agreeable to this contribution to address their concerns.

SITE CHARACTERISTICS

Existing Land Use: Oversized RF lots occupied by a single family dwelling, which will be removed.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 92 Avenue):	Single family dwellings	Urban	RF
East:	Single family dwellings	Urban	RF and RF-12
South (Across Fraser Highway):	Multi-family development (townhomes) and a vacant commercial property.	Urban	RM-15 and C-4
West:	Single family dwellings	Urban	RF

DEVELOPMENT CONSIDERATIONS

- The subject property is located in Fleetwood, east of the intersection of Fraser Highway and 148 Street. The property is designated Urban in the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- A single family dwelling is located on a portion of the northeast property, which will be removed as part of the current development application.
- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on RF-13) and "Single Family Residential (13) Zone (RF-13)" (see Survey Block Plan in Appendix II) in order to permit the development of 14 single family small lots.
- A Development Variance Permit (DVP) is requested to reduce the minimum lot depth of the RF-13 Zone for Type II lots from 24 metres (79 ft.) to 22.5 metres (74 ft.) for proposed Lots 7 to 14, and to waive the Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000 for proposed Lots 11 to 14.
- Proposed Lot 10 has a unique orientation and point of vehicular access. The applicant's Design Consultant has provided an analysis for proposed Lot 10, and has confirmed that although the lot cannot accommodate a house with a maximum floor area ratio, the lot can accommodate a reasonably-size home with a functional floor plan without variances. (Appendix VI).

Comprehensive Development (CD) Zone

- The applicant is proposing to rezone the north portion of the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" based on "Single Family Residential (13) Zone (RF-13)", in order to allow subdivision into six (6) single family small lots.
- The proposed CD By-law is generally based on the RF-13 Zone with modifications to address reduced front and rear yard setbacks on corner lots, reduced lot depth, reduced lot width, and reduced lot areas to accommodate an efficient lot layout in this highly constrained portion of the subject site.
- It is noted that the City's road concept plan identifies a vehicular connection between 91A Avenue and 92 Avenue with a variable location. Staff worked with the applicant to achieve the bulk of this connection on the subject site without adversely impacting lot yield, resulting in lots modestly smaller in area than the RF-13 requirements. This necessitated the need for a CD Zone.
- The CD Zone is based on RF-13 and also includes provisions that are found in the RF-12 Zone that regulate the parcels to the east on 91A Avenue.
- The applicant's Design Consultant has provided an analysis for the proposed CD lots, and has confirmed that these lots can accommodate a reasonably-size home with a functional floor plan and required off-street parking without variances.

- The following table provides a comparison of the RF-13 Zone and the proposed CD Zone:

	RF-13 Zone	Proposed CD By-law
Subdivision (Lot Size)	<p><u>Type I:</u> <i>Interior Lots</i></p> <ul style="list-style-type: none"> Lot area: 336 m² [3,617 ft²] Lot width: 12 m [40 ft.] Lot depth: 28 m [92 ft.] <p><i>Corner Lots</i></p> <ul style="list-style-type: none"> Lot area: 380 m² [4,066 ft²] Lot width: 14 m [46 ft.] Lot depth: 28 m [92 ft.] <p><u>Type II:</u> <i>Interior Lots</i></p> <ul style="list-style-type: none"> Lot area: 336 m² [3,617 ft²] Lot width: 13.4m [44 ft.] Lot depth: 24 m [79 ft.] <p><i>Corner Lots</i></p> <ul style="list-style-type: none"> Lot area: 380 m² [4,066 ft²] Lot width: 15.4 m [51 ft.] Lot depth: 24 m [79 ft.] 	<p>Removed differentiation of Type I and Type II Lots.</p> <p><i>Interior Lots</i></p> <ul style="list-style-type: none"> Lot area: 336 m² [3,617 ft²] Lot width: 12 m [40 ft.] Lot depth: 24 m [79 ft.] <p><i>Corner Lots</i></p> <ul style="list-style-type: none"> Lot area: 344 m² [3,703 ft²] Lot width: 14 m [46 ft.] Lot depth: 22 m [72 ft.]
Yards and Setbacks	<ul style="list-style-type: none"> Front Yard – 6.0 m [20 ft.] Rear Yard - 7.5 m [25 ft.] Side Yard – 1.2 m [4 ft.] Side Yard on Flanking Street – 2.4 m [8 ft.] * Front Yard reduction to 4.0 m [13 ft.] for 50% of the building and up to 2.0 m [6.5 ft.] to a porch. * Rear Yard reduction to 6.0 m [20 ft.] for 50% of the building and 4.5 m [15 ft.] to a deck. 	<ul style="list-style-type: none"> Differentiates between Interior Lots and Corner Lots. Front Yard - 6.0 m [20 ft.] Rear Yard – 5.5 m [18 ft.] (for corner lots only) Side Yard – 1.2 m [4 ft.] Side Yard on Flanking Street – 2.0 m [6.5 ft.] * Front Yard reduction to 3.5 m [11.5 ft.] for 50% of the building and up to 2.0 m [6.5 ft.] to a porch (for corner lots only). * Rear Yard reduction to 4.0 m [13 ft.] to a deck (for corner lots only).

Neighbourhood Character Study Building Scheme

- Mike Tynan of Tynan Consulting Ltd. has prepared a Neighbourhood Character Study and Building Scheme. The character statement involved reviewing a number of existing homes in the neighbourhood and considering the standards of new construction in order to establish suitable design guidelines for the proposed residential lots. A summary of the design guidelines is attached (Appendix V).

Lot Grading

- Preliminary lot grading plans were prepared and submitted by Citiwest Consulting Ltd. and the plans have been reviewed by staff and are generally acceptable.
- Basements are proposed for each of the 14 lots. Final confirmation on whether in-ground basements are achievable will be determined once final Engineering drawings have been reviewed and accepted by the City's Engineering Department.

PRE-NOTIFICATION

In accordance with Council policy, a Development Proposal Sign was installed on the site and Pre-notification letters were sent on February 2, 2017 to inform adjacent property owners about the proposed development. As a result, staff received two (2) emails and one (1) letter. The respondents expressed the following concern:

- The conceptual alignment of 91A Avenue, west of the site, will negatively impact the future development potential of the respondents' properties.

(City staff worked with the applicant to align 91A Avenue with a connection to 92 Avenue mitigating any impacts on the future development potential of the adjacent lots.)

- The proposed connection between 91A Avenue and 92 Avenue will result in an overflow of cars from the new homes onto 92 Avenue and will make the area's traffic and parking situation worse.

(The proposed connection between 91A Avenue and 92 Avenue is included in the City's concept plan for the area. This connection will enable better vehicular and pedestrian connectivity in the area. Each proposed home will be required to provide a minimum of 3 off-street parking spaces per dwelling as per the Zoning Bylaw's requirements.)

- The Surrey White Rock Committee of HUB Cycling submitted a letter indicating non-support for the application based on the current site plan. HUB "insists that a cyclist/pedestrian right-of-way be part of the development to connect 92 Avenue with Fraser Highway at 149 Street." HUB also states that if a right-of-way were to be provided, it could be part of a potential Neighbourhood Bike Route on 149/150 street stretching from a future greenway near 80 Avenue to 100 Avenue.

(City staff note that there is no dedicated safe crossing of Fraser Highway at this location and as such, the warrants for a cyclist/pedestrian right-of-way at this location are considered limited. However, there may be potential to achieve a walkway connection between 92 Avenue and Fraser Highway when the properties to the west redevelop should a need be identified at that time with the anticipated development of rapid transit. Further, it is also noted that there is a Bike Route on 148 Street which has bicycle lanes. This Bike Route runs along 148 Street from 84 Avenue in the south to 111A Avenue in the north.)

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	18	18	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Acacia, False	1	1	0
Cherry	1	1	0
Maple, Bigleaf	2	2	0
Poplar, Lombardy	1	1	0
Coniferous Trees			
Cedar, Western Red	19	18	1
Douglas Fir	9	9	0
Spruce, Norway	2	1	1
Total (excluding Alder and Cottonwood Trees)	35	33	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		13	
Total Retained and Replacement Trees		15	
Contribution to the Green City Fund		\$28,400	

- The Arborist Assessment states that there are a total of thirty-five (35) protected trees on the site, excluding Alder and Cottonwood trees. Eighteen (18) existing trees, approximately 34 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 2 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 84 replacement trees on the site. Since only 13 replacement trees can be accommodated on the site, the deficit of 71 replacement trees will require a cash-in-lieu payment of \$28,400, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- In addition to the replacement trees, boulevard street trees will be planted on Fraser Highway, 91A Avenue, and 92 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 15 trees are proposed to be retained or replaced on the site with a contribution of \$28,400 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 18, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is within an Urban Infill Area and the application is consistent with the City's Official Community Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The permitted gross density for this area is 25 lots per hectare. This application proposes 11.62 lots per hectare. • The proposed development includes a mix of single family lot sizes. • The proposed development will permit the development of secondary suites.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development incorporates a number of Low Impact Development Standards and will be serviced by the City's composting, recycling and organic waste pickup services.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed development will be connected to off-site pedestrian and multiuse paths.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • N/A
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The proposed development was advertised to the surrounding community through Development Proposal signage, pre-notification letters. If approved by Council, a Public Hearing will be required.

BY-LAW VARIANCE AND JUSTIFICATION

- Requested Variance:
 - Seeking to relax the minimum lot depth of the RF-13 Zone for Type II lots from 24 metres (79 ft.) to 22.5 metres (74 ft.) for proposed Lots 7 to 14.

Applicant's Reasons:

- The property is constrained by the existing development pattern to the east. Approving a variance to the lot depth requirements will allow for a similar development pattern as was approved for the lots to the east.

Staff Comments:

- The properties to the east were approved as RF-12 lots which allow for a minimum lot depth of 22 metres (72 ft.). Granting this variance will allow for continuation of the existing development pattern.
- The applicant's Design Consultant confirmed that these lots can accommodate reasonably-size homes with functional floor plans and with room for porches.
- Staff support the requested variance.
- Requested Variance:
 - Seeking to waive Part 7 Special Building Setbacks of the Surrey Zoning By-law, 1993, No. 12000, for proposed Lots 11 to 14.

Applicant's Reasons:

- The applicants contend that the Special Building Setback requirements will result in an undevelopable parcel as well as an inconsistent streetscape with the properties to the northwest and southeast.

Staff Comments:

- Part 7 Special Building Setbacks of the Zoning By-law No. 12000 is intended to protect for future widening of major roads by requiring the building setbacks to be the sum of one-half of the ultimate road right-of-way and the setback as specified in the zone. The ultimate road allowance for Fraser Highway, an arterial road in this location is 42 metres (138 ft.). Although the City's Engineering Department is not seeking the full road dedication for the ultimate width of Fraser Highway as part of the subject application, and has no intentions of widening Fraser Highway to its ultimate standard at this location in the foreseeable future, the setback is still applicable.
- Staff have evaluated the implications of eliminating the Special Setback requirements on the ultimate rapid transit design in the context of the existing recently developed RF-12 lots to the east which were created prior to the 42 metre (138 ft.) cross-section requirement coming into effect. Through that analysis, it was determined that rapid transit infrastructure can be accommodated within the reduced road allowance along this section of Fraser Highway.

- To achieve a consistent streetscape within this block of Fraser Highway, a variance to waive the Special Building Setback requirements is acceptable and will help to create a seamless transition with adjacent properties to the east on Fraser Highway.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Block Plan
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Building Feasibility Analysis
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	Development Variance Permit No. 7916-0673-00
Appendix IX.	Proposed CD Bylaw

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Proposed Zoning: RF / RF-13

Requires Project Data	Proposed	
GROSS SITE AREA		
Acres	1.8127 acres	
Hectares	0.7335 hectares	
NUMBER OF LOTS		
Existing	3	
Proposed	8 RF-13 / 6 CD (Based on RF-13)	
SIZE OF LOTS	RF-13	CD (Based on RF-13)
Range of lot widths (metres)	14.3 m – 16.4 m	12.0 m -15.3 m
Range of lot areas (square metres)	370 m ² – 426 m ²	336 m ² – 410 m ²
DENSITY		
Lots/Hectare & Lots/Acre (Gross)	19.08 lots/hectare, 7.72 lots/acre	
Lots/Hectare & Lots/Acre (Net)	30.41 lots/hectare, 12.31 lots/acre	
SITE COVERAGE (in % of gross site area)		
Maximum Coverage of Principal & Accessory Building	50%	
Estimated Road, Lane & Driveway Coverage	37%	
Total Site Coverage	87%	
	Required	
PARKLAND		
5% money in lieu	YES	
TREE SURVEY/ASSESSMENT	YES	
MODEL BUILDING SCHEME	YES	
HERITAGE SITE Retention	NO	
FRASER HEALTH Approval	NO	
DEV. VARIANCE PERMIT required		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	YES	



- NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS
 2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEYS

No.	Date	Revision	Dr	Ch
2	18/03/08	UPDATED TURNAROUND	JT	JT
1	18/01/26	ROAD WIDENED TO 8.5m	TWO	RJ

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com



10374488C LTD.
 12636-67B AVENUE, SURREY, BC, V3W 1Z2 PH:604-782-7474
PRELIMINARY LOT LAYOUT
 SUBDIVISION AT 14919/14939 FRASER HWY. & 14974-92 AVE, SURREY, BC

Scale:	1:1000	Mun. Proj. No.	7916-0673-00	Dwg. No.	A1
Drawn:	EK	Mun. Dwg. No.			
Designed:	RJ	Job No.	16-3400	Of	
P.W. P.U.		Date	NOV /17	Revision	2

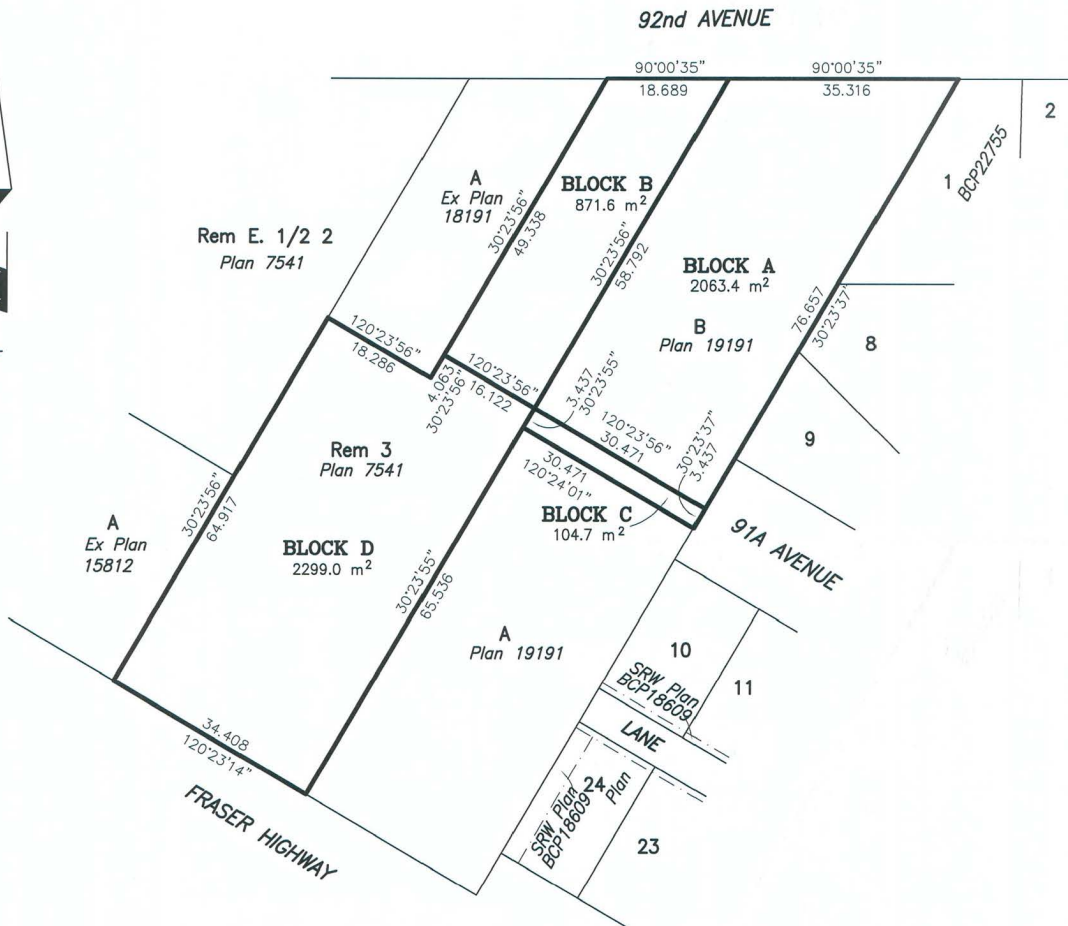
APPENDIX II

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW
NO. _____ OF LOT "B", PLAN 19191 AND LOT 3 EXCEPT:
PARCEL "A" (EXPLANATORY PLAN 13191); PLAN 7541; BOTH OF
SECTION 34, TOWNSHIP 2, NEW WESTMINSTER DISTRICT**

City of Surrey B.C.G.S. 92G.016



SCALE - 1 : 750
All distances are in metres



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
File: 6510-ZONING



Certified correct to survey dated
this 28th day of February, 2018.

Sean Costello, B.C.L.S.

This plan lies within the Greater Vancouver Regional District

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Revised March 7, 2018
~~November 17, 2017~~** PROJECT FILE: **7816-0673-00**

RE: **Engineering Requirements
Location: 14919 Fraser Highway**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 7.52 m along Fraser Highway toward Arterial Road allowance.
- Dedicated 18.0 m along 91A Avenue toward Local Road (ultimate 18.0 m) allowance.
- Dedicate 6.0 m toward Lane allowance.
- Register 0.5 m statutory right-of-way (SRW) on 91A Avenue and Fraser Highway.
- Register SRW for temporary lane turnaround.
- Register a Restrictive Covenant (RC) on Lots 11 through 14 for lane access only (no access onto Fraser Highway).
- Registration of a no-build RC may be required for temporary turnarounds on 91A Avenue and Lane, requirements to be determined through detailed design.
- Register 5.0 m SRW for temporary drainage mains.
- Register an RC for pumped storm connections.
- Register an RC for pumped sanitary connections.
- Register an RC for on-site stormwater mitigation according to Bear Creek Integrated Stormwater Management Plan.

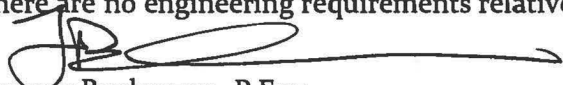
Works and Services

- Grade property line along Fraser Highway (Arterial) to +/-300 mm of road centerline elevation.
- Construct the south side of 92 Avenue to Local Road standard.
- Construct 91A Avenue to Local Road standard.
- Construct the Lane to City standard.
- Construct a low pressure system sanitary main on 91A Avenue to service lots 4-9.
- Construct drainage and water systems to service the development.
- Provide cash-in-lieu for temporary turnaround and drainage main removal.
- Provide a water, storm, and sanitary service connection to each lot.

A Servicing Agreement is required prior to rezoning and subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.


Tommy Buchmann, P.Eng.
Development Engineer
MB

NOTE: Detailed Land Development Engineering Review available on file



February 28, 2018
 Planning

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

New housing would help fill surplus capacity at Berkshire Park Elementary and at Johnston Heights Secondary. There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school.

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0673 00

SUMMARY

The proposed 14 single family lots are estimated to have the following impact on the following schools:

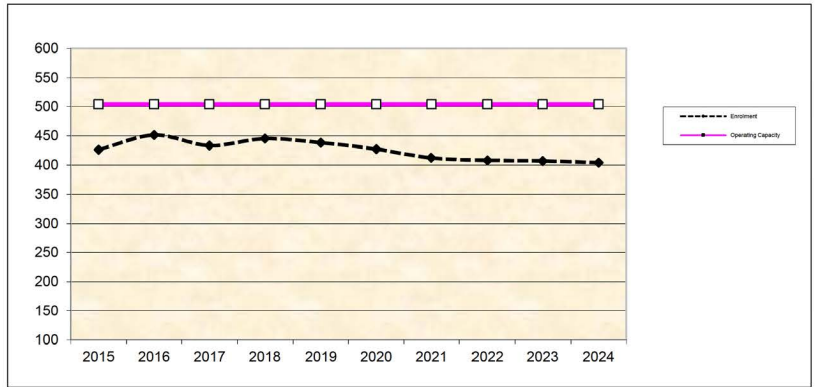
Projected # of students for this development:

Elementary Students:	5
Secondary Students:	2

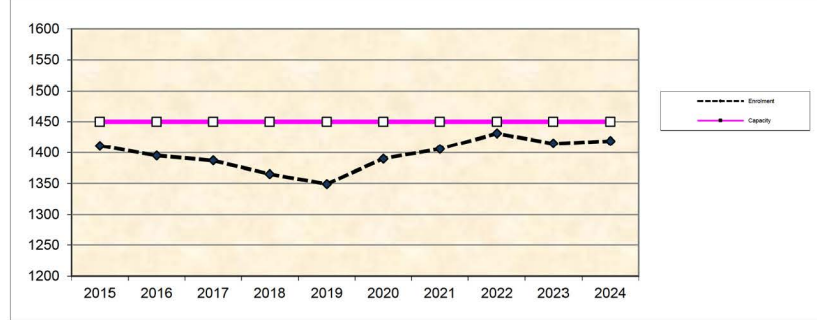
September 2017 Enrolment/School Capacity

Berkshire Park Elementary	
Enrolment (K/1-7):	44 K + 389
Operating Capacity (K/1-7)	38 K + 466
Johnston Heights Secondary	
Enrolment (8-12):	1387
Capacity (8-12):	1450

Berkshire Park Elementary



Johnston Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 16-0673-00
Project Location: 14919 / 14939 Fraser Hwy, and 14974 / 14976 - 92 Avenue
Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is bordered on the north side by 92 Avenue (14900 block), a street containing a variety of homes from the late 1970's and early 1980's, all of which can be classified as "Old Urban" or "West Coast Traditional" style. Most of the homes are high mass Basement Entry or Cathedral Entry homes or Split Level homes with mid-scale massing. Most have low slope (4:12 or 5:12 pitch) roofs with an asphalt shingle surface, and most are clad in cedar. None of the homes are objectionable, and most are well maintained, but none provide adequate architectural or landscaping context for a year 2017 RF-13 zone development.

East of the subject site is a 24 lot development (20 RF-12 lots and 4 RF lots), identified as Surrey project 03-0338-00. These homes are all 2800 sq.ft. "Neo-Traditional" style Two-Storey type homes with mid-scale massing characteristics. Most of these homes have a 1½ storey high front entrance portico. Roof slopes range from 7:12 to 12:12, and all of these homes have a shake profile asphalt shingle roof surface. Homes are clad in vinyl or stucco, or a combination. Wood battens over fibre cement board is a common finish in gable ends, with only a few homes featuring wall shingles. Brick and stone have been used modestly. Although these homes provide the best architectural reference in the area and have lots of a similar size to those proposed at the subject site, massing designs and finishing standards have evolved since these homes were constructed, and therefore it is better to use the new standards than emulate specific components of these homes.

South of the subject site along the Fraser Highway are numerous zonings including RF, RM-15 (93-0165-00 and 95-0042-00), and RM-30 (new application 17-0074-00). The townhouses are not contextually relevant to the subject site, and the single family dwellings are dated (1970's) Basement Entry and Cathedral Entry type homes with box-like massing designs, low slope roofs, and modest trim and detailing components.

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** There are a few homes in this area that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in RF-13 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt

standards commonly found in post year 2016 RF-13 zoned subdivisions, rather than to emulate the aforesaid context homes.

- 2) **Style Character** : There are a mix of old urban and modern urban styles in this neighbourhood, including "West Coast Traditional", "Old Urban" and "Neo-Traditional". Preferred styles for this site include "Neo-Traditional", "Neo-Heritage", and compatible styles that provide a style bridge between old urban and modern urban, which could include compatible forms of "West Coast Contemporary". Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types** : There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs** : Massing designs should meet new standards for RF-13 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design** : Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding** : A wide range of cladding materials have been used in this area, including Vinyl, cedar, stucco, fibre cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2016 developments.
- 7) **Roof surface** : This is area in which most homes have asphalt shingle roofs. It is expected that most new homes will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended. Where required by the BC Building Code for lower slope applications membrane roofing products can be permitted subject to consultant approval. Small decorative metal roofs should also be permitted.
- 8) **Roof Slope** : The recommendation is to set the minimum roof slope at 6:12. Steeper slopes will be encouraged, especially on street facing roof projections. However, a relatively low 6:12 slope may be required to meet maximum height as specified in the RF-13 bylaw. A provision is also recommended to allow slopes less than 6:12 where it is determined by the consultant that the design is of such high architectural integrity that the roof slope reduction can be justified, or that lower slopes are needed on feature projections or at the front entrance veranda to ensure adequate depth upper floor windows can be installed without interference with the roof structure below.

Streetscape:

North of the site, along 92 Avenue, there are a variety of "Old Urban" and "West Coast Traditional" style Basement Entry, Cathedral Entry, and Split Level homes from the 1970's and 1980's, most high mass due to floor above floor construction. Most have low slope (4:12 - 5:12) roof with an asphalt shingle surface, and most are clad in cedar. East of the site is a 13 year old project containing 2800 sq.ft "Neo-Traditional" Two-Storey homes typical for that era. Most of the homes have desirable mid-scale massing characteristics and a 1 ½ storey front entrance. Roof slopes range from 7:12 to 12:12, and roofs are surfaced with asphalt shingles. Homes are clad in vinyl or stucco (or both), with modest masonry accents. West of the site are townhomes and old urban homes on RF lots.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Traditional", "Heritage", "Neo-Traditional", "Neo-Heritage", compatible forms of "West Coast Contemporary", or other compatible styles as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2016's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are only a few homes in this area that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2016) RF13 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2016 RF13 zoned subdivisions, rather than to specifically emulate the aforesaid two context homes.

Exterior Materials/Colours:

Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. Primary colours are not recommended for this development, except on trim and in subdued tones. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

Roof Pitch:

Minimum 6:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.

Roof Materials/Colours: Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black only. Membrane roofs permitted where required by B.C. Building Code. Metal feature roofs permitted.

In-ground basements: In-ground basements are subject to determination that service invert locations are sufficiently below grade to permit a minimum 50 percent in-ground basement to be achieved. If achievable, basements will appear underground from the front.

Treatment of Corner Lots: Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.

Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 17 shrubs of a minimum 3 gallon pot size. Corner lots shall have an additional 8 shrubs of a minimum 3 gallon pot size, planted in the flanking street sideyard. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete, or coloured concrete in dark earth tones or medium to dark grey only. Broom finish concrete is permitted only where the driveway directly connects the lane to the garage slab at the rear side of the dwelling.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. **Date:** October 3, 2017

Reviewed and Approved by:  **Date:** October 3, 2017



Tree Preservation Summary

Surrey Project No: 16-0673-00

Address: 14919 / 14939 Fraser Highway & 14974 - 92 Avenue, Surrey, BC

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	53
Protected Trees to be Removed	51
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 18 X one (1) = 18 - All other Trees Requiring 2 to 1 Replacement Ratio 33 X two (2) = 66	84
Replacement Trees Proposed	13
Replacement Trees in Deficit	71
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	NA
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.


Signature of Arborist: 	Date: February 9, 2018
--	------------------------









Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	18	18	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Acacia, False	1	1	0
Cherry	1	1	0
Maple, Bigleaf	2	2	0
Poplar, Lombardy	1	1	0
Coniferous Trees			
Cedar, Western Red	19	18	1
Douglas-fir	9	9	0
Spruce, Norway	2	1	1
Total (excluding Alder and Cottonwood Trees)	35	33	2
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		13	
Total Retained and Replacement Trees		15	





LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  NON BY-LAW TREE
-  MINIMUM NO DISTURBANCE ZONE
-  1.5M EXCAVATION OFFSET
-  FILL GREATER THAN 0.5m



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV24/16	MK	LOT LAYOUT	6	AUG08/17	MK	REVISED LOT LAYOUT
2	MAY09/17	MK	LOT LAYOUT	7	SEPT11/17	MK	REVISED LOT LAYOUT/GRADING PLAN
3	MAY23/17	MK	GRADING PLAN	8	NOV20/17	MK	REVISED GRADING PLAN
4	MAY23/17	MK	SERVICING PLAN	9	FEB08/16	MK	REVISED LOT LAYOUT/GRADING PLAN
5	JUN22/17	MK	UPDATED SURVEY				

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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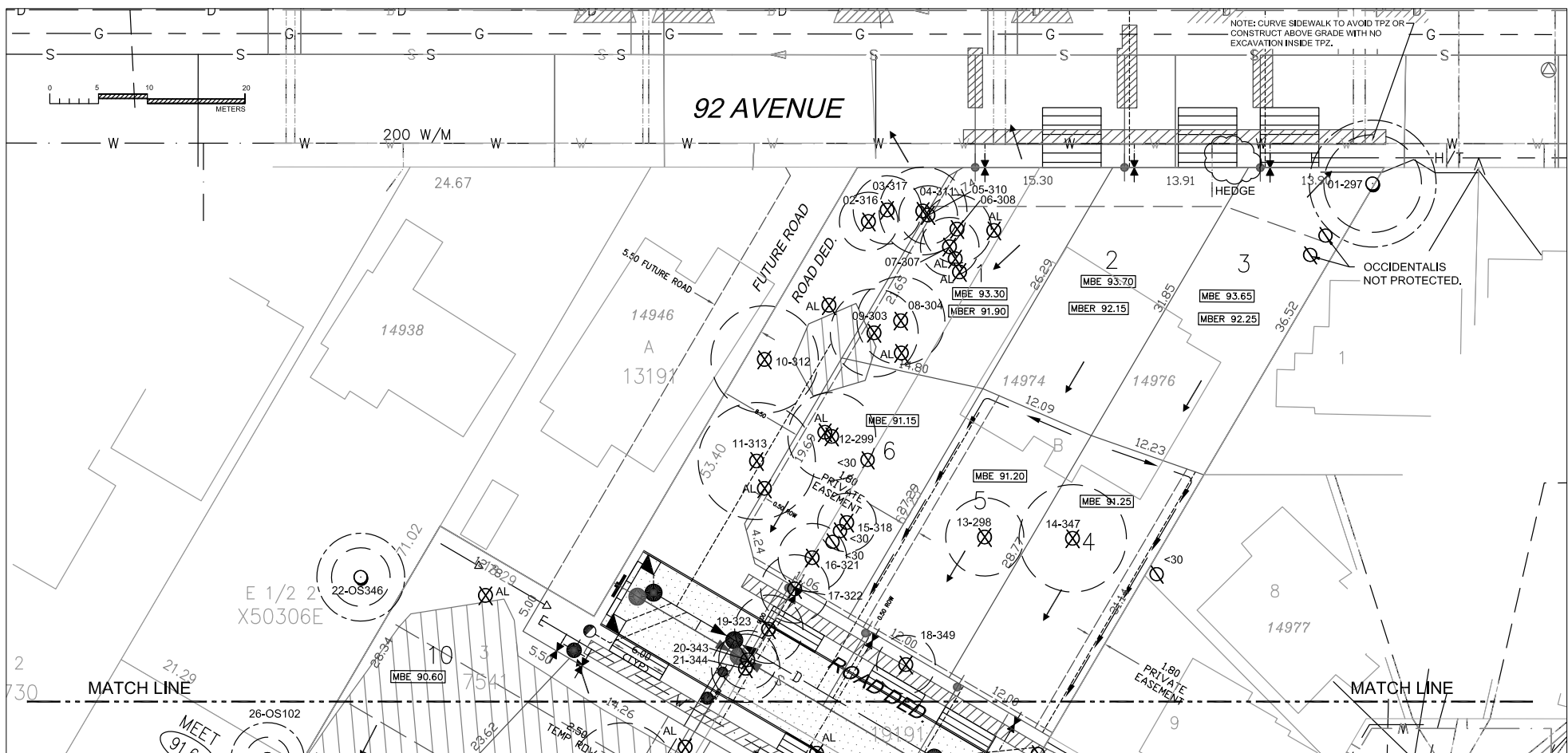
PROJECT TITLE
**14919 14939
 FRASER HWY &
 14974 14976
 92 AVENUE
 SURREY, B.C.**

SHEET TITLE
**KEYPLAN - TREE REMOVAL
 AND PRESERVATION PLAN**

CLIENT

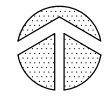
DRAWN MK
 SCALE AS SHOWN
 DATE MARCH 9, 2016

KEY
 SHEET 1 OF 5



LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		1.5M EXCAVATION OFFSET
	NON BY-LAW TREE		FILL GREATER THAN 0.5m



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV24/16	MK	LOT LAYOUT	6	AUG08/17	MK	REVISED LOT LAYOUT
2	MAY05/17	MK	LOT LAYOUT	7	SEPT11/17	MK	REVISED LOT LAYOUT/GRADING PLAN
3	MAY23/17	MK	GRADING PLAN	8	NOV20/17	MK	REVISED GRADING PLAN
4	MAY23/17	MK	SERVICING PLAN	9	FEB09/16	MK	REVISED LOT LAYOUT/GRADING PLAN
5	JUN22/17	MK	UPDATED SURVEY				

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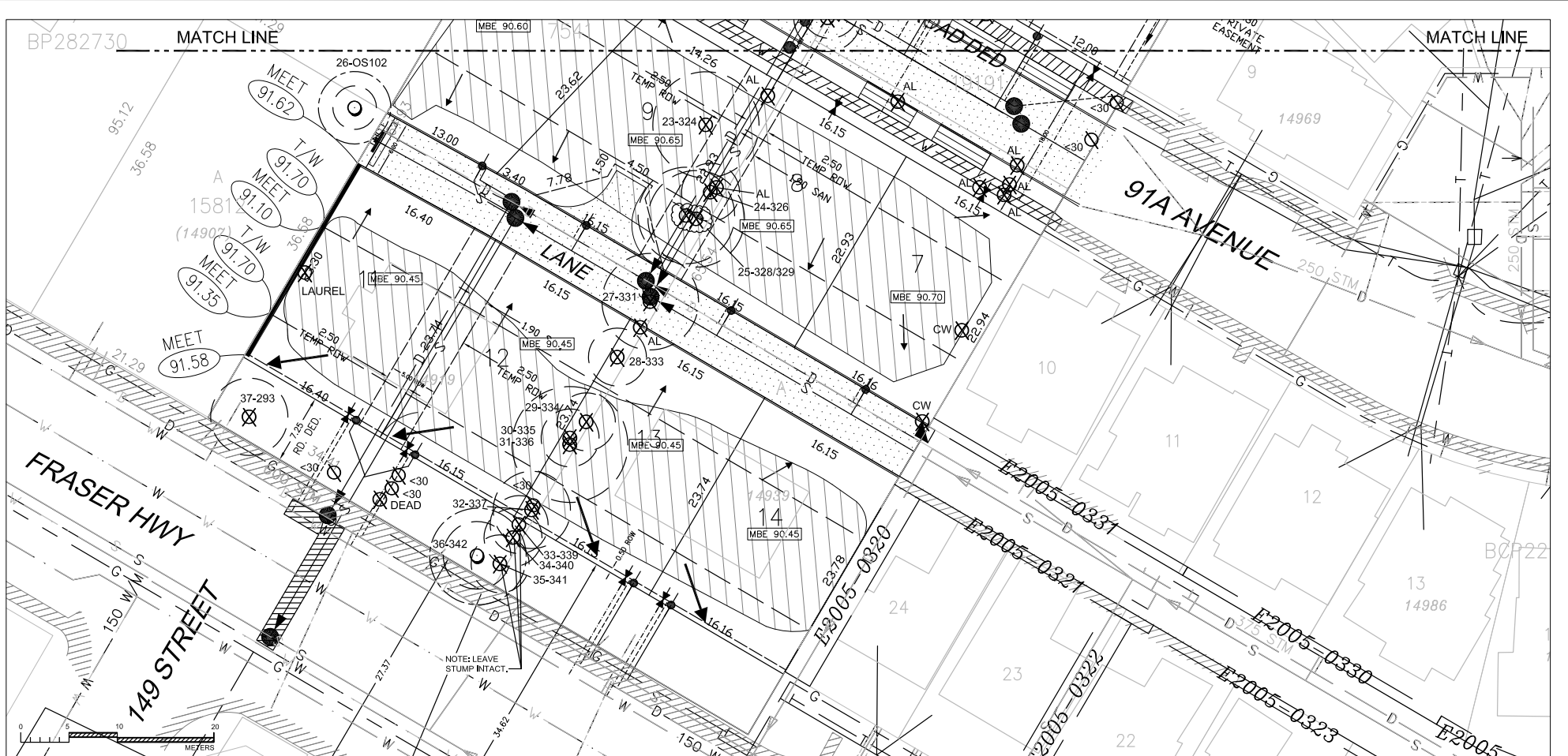
PROJECT TITLE
 14919 14939
 FRASER HWY &
 14974 14976
 92 AVENUE
 SURREY, B.C.

SHEET TITLE
 T1 - TREE REMOVAL AND PRESERVATION PLAN-NORTH

CLIENT

DRAWN MK
SCALE AS SHOWN
DATE MARCH 9, 2016

T-1A
 SHEET 2 OF 5



LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		1.5M EXCAVATION OFFSET
	NON BY-LAW TREE		FILL GREATER THAN 0.5m

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV24/16	MK	LOT LAYOUT	6	AUG08/17	MK	REVISED LOT LAYOUT
2	MAY05/17	MK	LOT LAYOUT	7	SEPT11/17	MK	REVISED LOT LAYOUT/GRADING PLAN
3	MAY23/17	MK	GRADING PLAN	8	NOV20/17	MK	REVISED GRADING PLAN
4	MAY23/17	MK	SERVICING PLAN	9	FEB08/16	MK	REVISED LOT LAYOUT/GRADING PLAN
5	JUN22/17	MK	UPDATED SURVEY				

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PROJECT TITLE
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 FRASER HWY &
 14974 14976
 92 AVENUE
 SURREY, B.C.

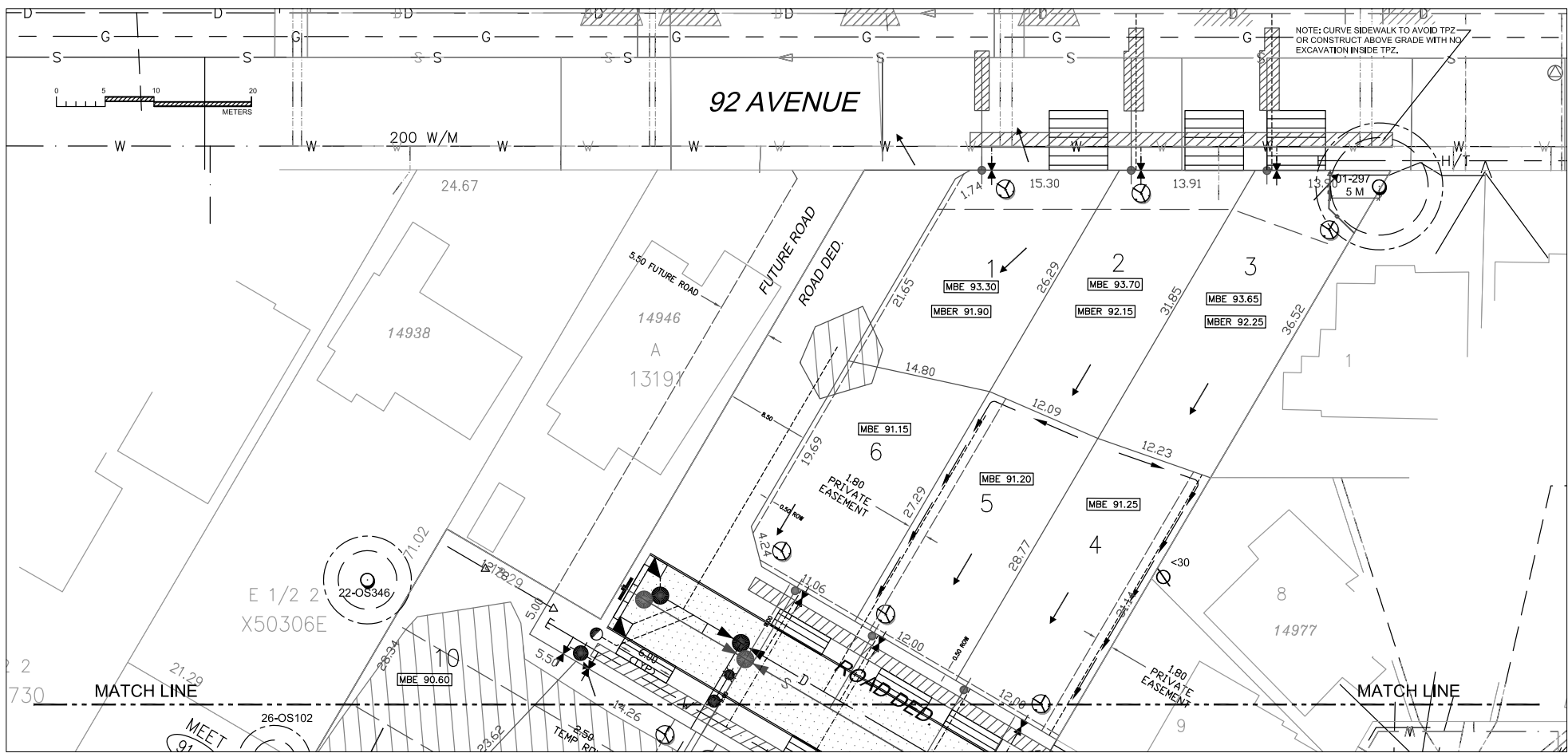
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 T1 - TREE REMOVAL AND
 PRESERVATION PLAN-SOUTH

CLIENT







DRAWN MK
SCALE AS SHOWN

DATE MARCH 9, 2016

T-1B
 SHEET 3 OF 5



LEGEND

-  TREE TO BE RETAINED
-  REPLACEMENT TREE (5cm. DIA CAL, 3.0m HT)
-  TREE PROTECTION FENCING
-  MINIMUM NO DISTURBANCE ZONE
-  1.5M EXCAVATION OFFSET
-  FILL GREATER THAN 0.5m

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV24/16	MK	LOT LAYOUT	6	AUG08/17	MK	REVISED LOT LAYOUT
2	MAY05/17	MK	LOT LAYOUT	7	SEPT11/17	MK	REVISED LOT LAYOUT/GRADING PLAN
3	MAY23/17	MK	GRADING PLAN	8	NOV20/17	MK	REVISED GRADING PLAN
4	MAY23/17	MK	SERVICING PLAN	9	FEB08/18	MK	REVISED LOT LAYOUT/GRADING PLAN
5	JUN22/17	MK	UPDATED SURVEY				

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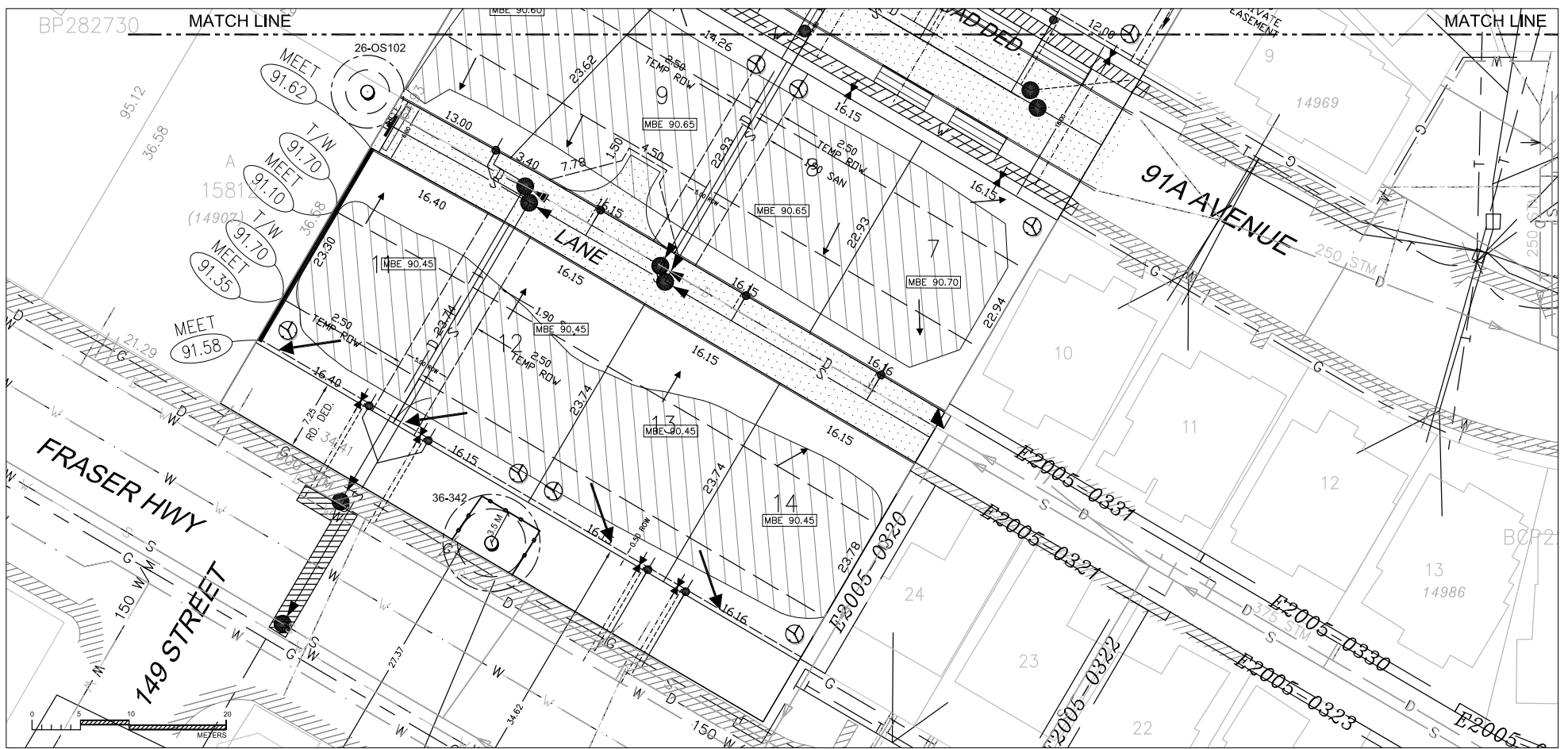
SHEET TITLE
 T2 - TREE PROTECTION PLAN
 NORTH

CLIENT







DATE
 MARCH 9, 2016

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 SCALE AS SHOWN

T-2A
 SHEET 4 OF 5



LEGEND

-  TREE TO BE RETAINED
-  REPLACEMENT TREE (5cm. DIA CAL, 3.0m HT)
-  TREE PROTECTION FENCING
-  MINIMUM NO DISTURBANCE ZONE
-  1.5M EXCAVATION OFFSET
-  FILL GREATER THAN 0.5m

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	NOV24/16	MK	LOT LAYOUT	6	AUG09/17	MK	REVISED LOT LAYOUT
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 SURREY, B.C.

SHEET TITLE
 T2 - TREE PROTECTION PLAN
 SOUTH

CLIENT

DRAWN MK
 SCALE AS SHOWN
 DATE MARCH 9, 2016

T-2B
 SHEET 5 OF 5

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0673-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-235-055

Lot 3 Except: Parcel "A" (Explanatory Plan 13191); Section 34 Township 2 New Westminster District Plan 7541

14919 - Fraser Highway

Parcel Identifier: 010-479-741

Lot "A" Section 34 Township 2 New Westminster District Plan 19191

14939 - Fraser Highway

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Part 16B, Single Family Residential (13) Zone (RF-13), Section K, Subdivision, the minimum Lot Depth for Type II Interior Lots is reduced from 24 metres (79 ft.) to 22.5 metres (74 ft.) for proposed Lots 7 to 14; and
- (b) In Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000, all requirements are waived for proposed Lots 11 to 14.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



- NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE AND ONLY BASED ON MASTER PLANS.
 2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEYS.

No	Date	Revision	Dr	Ch
1	18/01/26	ROAD WIDENED TO 8.5m	TWO	RJ

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citwest.com



1037448BC LTD.
 12636-67B AVENUE, SURREY, BC, V3W 1Z2 PH:604-782-7474
PRELIMINARY LOT LAYOUT
 SUBDIVISION AT 14919/14939 FRASER HWY. & 14974-92 AVE, SURREY, BC

Scale: 1:1000	Mun. Proj. No: 7916-0673-00	Dwg. No. A1
Drawn: EK	Mun. Dwg. No.	
Designed: RJ	Job No. 16-3400	Of
P.W. P.U.	Date NOV /17	Revision 1
Approved:		

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SCHEDULE A
 1037448BC LTD.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 010-479-767

Lot "B" Section 34 Township 2 New Westminster District Plan 19191, as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Sean Costello, B.C.L.S. on the 28th day of February, 2018, containing 2063.4 square metres, called Block A.

Portion of 14974 / 14976 – 92 Avenue

Portion of Parcel Identifier: 011-235-055

Lot 3 Except: Parcel "A" (Explanatory Plan 13191) Section 34 Township 2 New Westminster District Plan 7541, as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Sean Costello, B.C.L.S. on the 28th day of February, 2018, containing 871.6 square metres, called Block B.

Portion of 14919 - Fraser Highway

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of single family housing on small *urban lots* at least 12.0 metres [40 ft.] wide.

B. Permitted Uses

Land and *structures* shall be used only for one *single family dwelling*, which may contain 1 *secondary suite*, on each *lot*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *unit density* shall not exceed 28 *dwelling units* per hectare [11.5 u.p.a.] and the dimensions of the lots created in a subdivision shall be in accordance with Section K.1 of this Zone.
2. (a) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definitions of this Surrey Zoning By-law, 1993, No. 12000, as amended, the following must be included in the calculation of *floor area ratio*:
 - i. Covered areas used for parking, unless the covered parking is located within the *basement*;
 - ii. Covered outdoor space with a height of 1.8 metres [6 ft.] or greater, except for a maximum of 10% of the maximum allowable floor area of which 10 square metres [108 sq. ft.] must be reserved for a front porch or veranda; and
 - iii. Floor area, including garages and covered parking with extended height exceeding 3.7 metres [12 feet], must be multiplied by 2, excluding:
 - (a) Staircases;
 - (b) 19 square metres [200 sq. ft.]; and
 - (c) Floor area directly below a sloped ceiling less than 4.6 metres [15 ft.] in height, provided the area has at least one wall 3.7 metres [12 ft.] or less in height.
- (b) For building construction within a lot:
 - i. The *floor area ratio* shall not exceed 0.72, provided that, of the resulting allowable floor area, 39 square metres [420 sq. ft.] shall be reserved for use only as a garage or carport, which may be reduced to 20 square metres [215 sq. ft.] for a single attached garage or carport and further provided that the garage meets the dimensional requirements of Section H.3 of this Zone;

- ii. The maximum floor area of a second storey of the *principal building* shall not exceed 80% of the floor area of the first storey including attached garage and that portion of any porch or veranda at the front that is covered by a roof. The reduced floor area of the second storey shall be accomplished by an offset at the second storey level from either the front or side walls only at the first storey level or a combination thereof; and
- iii. Notwithstanding Sub-section D.2(b)i of this Zone, the maximum *principal building* floor area, inclusive of a garage or carport, shall be 265 square metres [2,860 sq. ft.].

E. Lot Coverage

The *lot coverage* shall not exceed 50%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<u>For Interior Lots</u>					
<i>Principal Buildings</i>		6.0 m. ¹ [20 ft.]	7.5 m. ³ [25 ft.]	1.2 m. [4 ft.]	N/A
<i>Accessory Buildings and Structures</i>		-- ²	1.0 m. ⁴ [3 ft.]	0.0 m. [0 ft.]	N/A
<u>For Corner Lots</u>					
<i>Principal Buildings</i>		6.0 m. ^{1a} [20 ft.]	5.5 m. ^{3a} [18 ft.]	1.2 m. [4 ft.]	2.0 m. [6.5 ft.]
<i>Accessory Buildings and Structures</i>		-- ²	1.0 m. ⁴ [3 ft.]	0.0 m. [0 ft.]	6.0 m. [20 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- ¹ The *front yard setback* of the *principal building* on an *interior lot* may be reduced to a minimum of 4.0 metres [13 ft.] for up to 50% of the width of the front of the *principal building*, or for the entire first storey or part thereof of the *principal building*, or for a *principal building* not exceeding 5.0 metres [16 ft.] in *building height*, provided that the *front yard setback* of a garage or carport shall be a minimum of 6.0 metres [20 ft.]. The minimum 6.0 metres [20 ft.] and the permitted 4.0 metres [13 ft.] *front yard setbacks* may be further reduced to a minimum of 4.0 metres [13 ft.] and 2.0 metres [6 ft. 6 in.] respectively by an unenclosed and uninhabitable space such as a porch or veranda, provided that the said porch or veranda is covered from above and is an integral part of the *principal building*.
- ^{1a} The *front yard setback* of the *principal building* on a *corner lot* may be reduced to a minimum of 3.5 metres [11.5 ft.] for up to 50% of the width of the front of the *principal building*, or for the entire first storey or part thereof of the *principal building*, or for a *principal building* not exceeding 5.0 metres [16 ft.] in *building height*, provided that the *front yard setback* of a garage or carport shall be a minimum of 6.0 metres [20 ft.]. The minimum 6.0 metres [20 ft.] and the permitted 3.5 metres [11.5 ft.] *front yard setbacks* may be further reduced to a minimum of 3.5 metres [11.5 ft.] and 2.0 metres [6 ft. 6 in.] respectively by an unenclosed and uninhabitable space such as a porch or veranda, provided that the said porch or veranda is covered from above and is an integral part of the *principal building*.
- ² *Accessory buildings* and *structures* are not permitted within the *front yard setback*.
- ³ The minimum *rear yard setback* of the *principal building* on an *interior lot* may be reduced to 6.0 metres [20 ft.] for a maximum of 50% of the width of the rear of the *principal building*. The *rear yard setback* of the *principal building* may be further reduced to 4.5 metres [15 ft.] for a maximum of 50% of the width of the rear of the *principal building* at the first floor by an unenclosed *deck* with a maximum area of 14 square metres [150 sq. ft.] which may be covered by a sloped roof, and by stairways with more than 3 risers.
- ^{3a} The *rear yard setback* of the *principal building* on a *corner lot* may be further reduced to 4.0 metres [13 ft.] for a maximum of 50% of the width of the rear of the *principal building* at the first floor by an unenclosed *deck* with a maximum area of 14 square metres [150 sq. ft.] which may be covered by a sloped roof, and by stairways with more than 3 risers.
- ⁴ A minimum *separation* of 5 metres [16 ft.] is required between the *principal building* and *accessory buildings* and *structures* exceeding 3.0 m [10 ft.] in *building height*, including any detached garage or carport regardless of the *building height*. The minimum *separation* may be reduced to 3.0 metres [10 ft.] at the main floor level for stairs that consist of 3 risers or less and outdoor space such as a *deck* or patio that occupies a maximum of 14 square metres [150 sq. ft.] and may be covered by a sloped roof.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings:
 - (a) The *building height* shall not exceed 9.0 metres [31 ft.]; and
 - (b) The *building height* of any portion of a *principal building* with a roof slope of less than 1:4 shall not exceed 7.3 metres [24 ft.].
2. Accessory buildings and structures: The *building height* shall not exceed 3.0 metres [10 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5.0 metres [16 ft.].

H. Off-Street Parking

1. A minimum of 3 off-street *parking spaces* shall be provided, 2 of which may be in the *driveway*.
2. The width of a *driveway* on the *lot* shall not exceed 6.0 metres [20 ft.].
3. Notwithstanding the width of the *parking space* required for a single garage and a double garage in Section B.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, a single garage to accommodate only one *vehicle* or a double garage to accommodate two *vehicles* parked side by side in this Zone shall meet the following requirements:

(a) Single garage that accommodates one vehicle only:	The maximum width of a garage shall be 4.0 metres [13 ft.] measured between the interior faces of the side walls of the garage.
<hr/>	
(b) Double garage that accommodates two vehicles parked side by side:	The maximum width of a garage, measured between the interior faces of the side walls of the garage, shall be 6.3 metres [23 ft.] in width; provided that the garage door opening must accommodate a garage door that is a minimum width of 5.0 metres [16 ft.].

4. A double garage or carport to accommodate two *vehicles* parked side by side shall not be permitted on any *lot* less than 12.0 metres [39 ft.] wide pursuant to Section K.1.

5. A triple garage to accommodate three *vehicles* parked side by side is not permitted.
6. Outside parking of *vehicles* ancillary to a residential use shall be limited to a maximum of 3 cars or trucks.
7. Outside parking or storage of *campers*, boats, or *house trailers* is not permitted.
8. No parking is permitted on a *corner lot* within an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 6.0 metres [20 ft.] along the said *lot lines* from the point of intersection of the two *lot lines*.

I. Landscaping

1. All portions of the *lot* not covered by *buildings*, *structures*, and non-porous or paved areas shall be landscaped. This *landscaping* shall be maintained.
2. Non-porous or paved surfaces, including a *driveway*, shall not cover more than 30% of the *lot* area that is not occupied by the *principal* and *accessory buildings* or *structures*.
3. *Landscaping* in the *front yard* shall be as follows:
 - (a) Where the *driveway* is located in the *front yard*, a minimum of 75% of the required *front yard*, except the *driveway*, shall be landscaped, which shall not include any non-porous or paved surfaces; and
 - (b) Where the *driveway* is not located in the *front yard*, a minimum of 90% of the required *front yard*, except for a maximum 1.5 metres [5 ft.] wide entrance path and a maximum 1.0 metre [3 ft.] wide path leading to the *side yard*, shall be landscaped, which shall not include any non-porous or paved surfaces.

J. Special Regulations

1. Basement access and basement wells are permitted only between the *principal building* and the *rear lot line* and must not exceed a maximum area of 14 square metres [150 sq.ft.], including the stairs
2. A *secondary suite* shall:
 - (a) Not exceed 90 square metres [968 sq.ft.] in floor area; and
 - (b) Occupy less than 40% of the habitable floor area of the *building*.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

	Lot Size	Lot Width	Lot Depth
<i>Interior Lot</i>	336 sq.m. [3,617 sq. ft.]	12 metres [39 ft.]	24 metres [78 ft.]
<i>Corner Lot</i>	344 sq.m. [3,703 sq. ft.]	14 metres [46 ft.]	22 metres [72 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RF-13 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.

- 8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RF-13 Zone.
- 9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

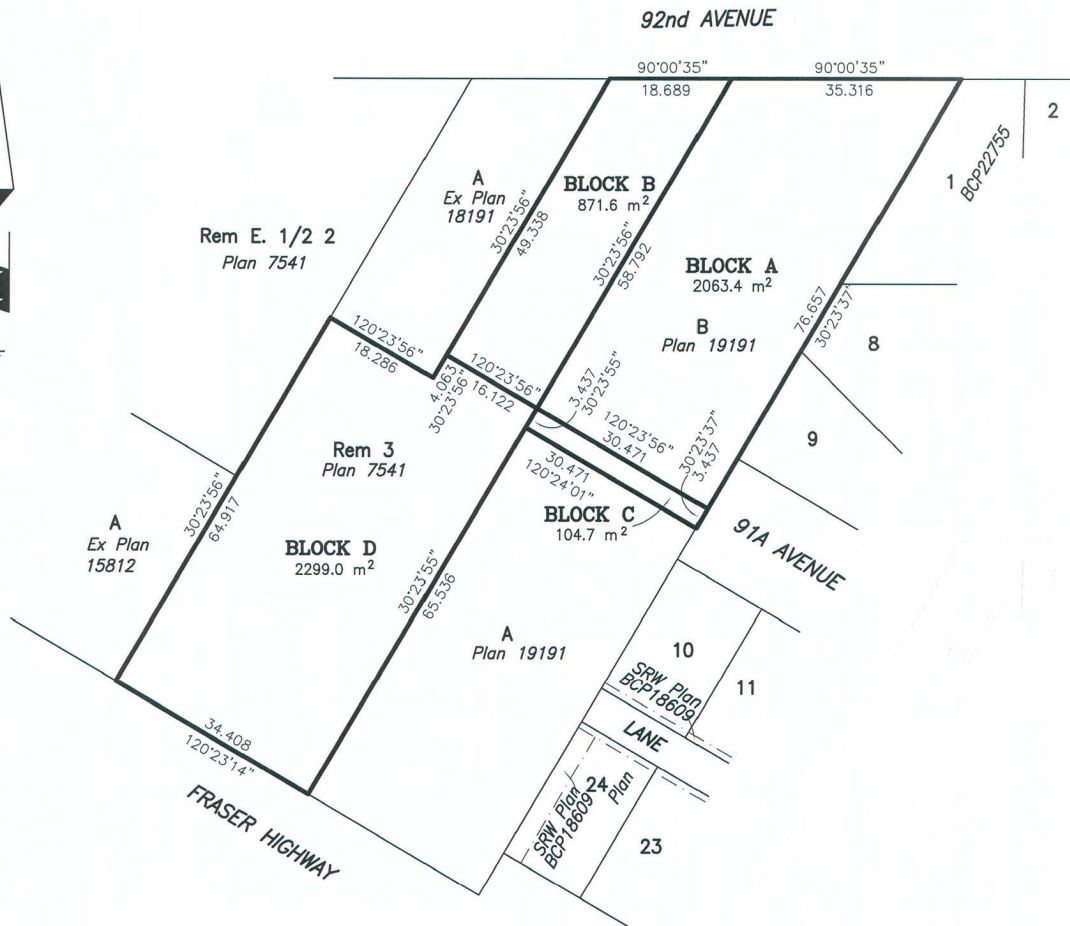
SCHEDULE A

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF LOT "B", PLAN 19191 AND LOT 3 EXCEPT: PARCEL "A" (EXPLANATORY PLAN 13191); PLAN 7541; BOTH OF SECTION 34, TOWNSHIP 2, NEW WESTMINSTER DISTRICT

City of Surrey B.C.G.S. 92G.016



SCALE - 1 : 750
All distances are in metres



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
File: 6510-ZONING



Certified correct to survey dated this 28th day of February, 2018.

Sean Costello, B.C.L.S.

This plan lies within the Greater Vancouver Regional District