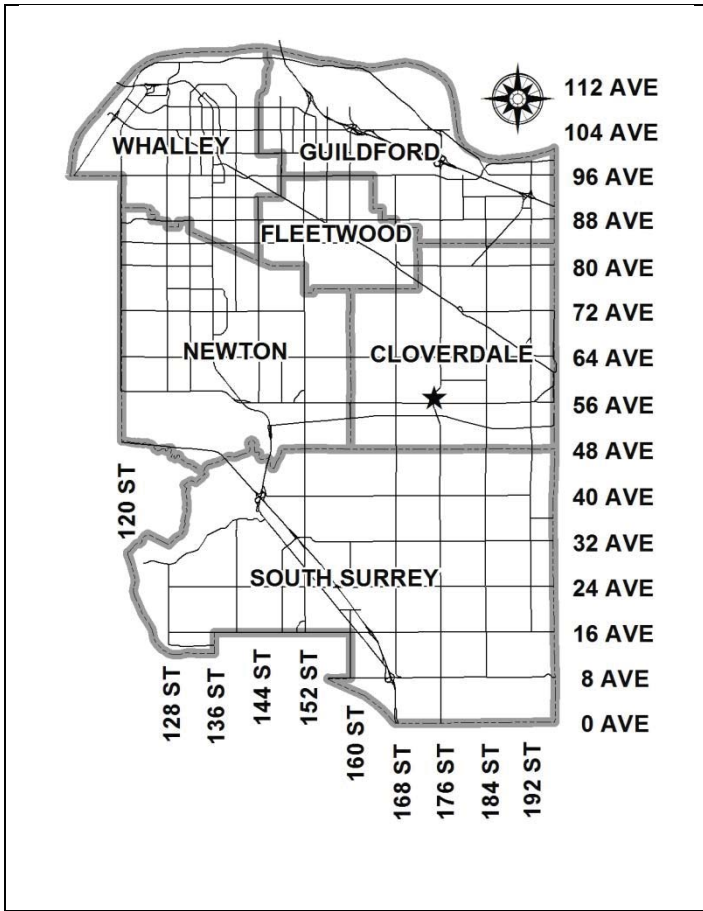


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0649-00

Planning Report Date: December 19, 2016

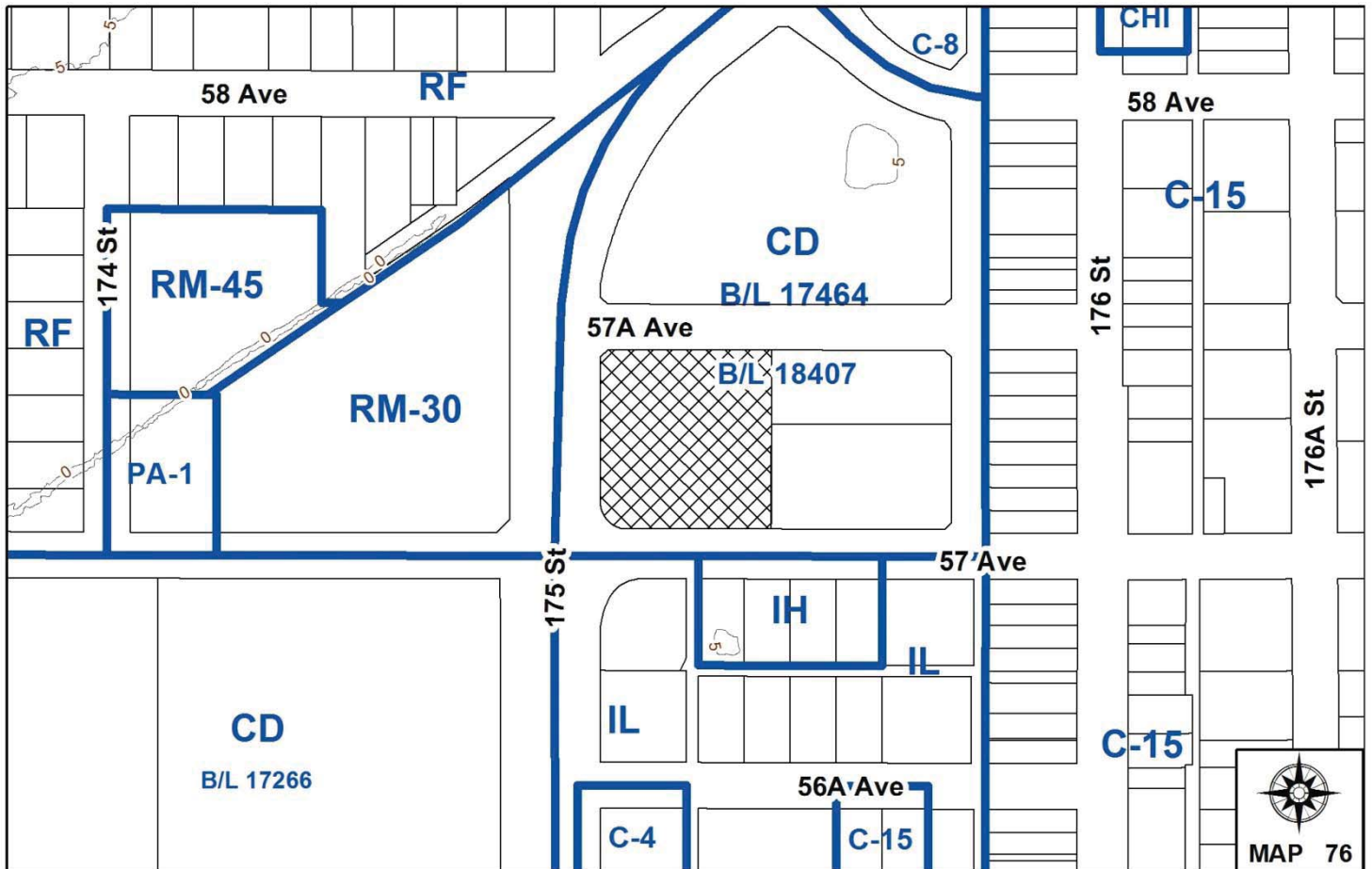


PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

to convert ground floor commercial space into eleven (11) residential units and to reconfigure surface parking spaces and landscaping for a mixed-use apartment building under construction.

LOCATION: 5738 – 175 Street
OWNER: Hawthorne Residences Inc.
ZONING: CD By-law No. 17464, as amended by By-law No. 18407
OCP DESIGNATION: Town Centre
TCP DESIGNATION: Residential/Commercial



RECOMMENDATION SUMMARY

- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- CD By-law No. 17464, as amended by By-law No. 18407 requires all residential parking to be provided as underground parking or within the building envelope. The applicant is proposing a variance to allow twelve (12) residential parking spaces to be located at grade in the surface parking lot.

RATIONALE OF RECOMMENDATION

- On February 22, 2016, Council approved and issued Development Permit No. 7914-0260-00 to allow the development of a 4-storey mixed-use building consisting of 86 dwelling units and 1,950 square metres (20,990 square feet) of ground floor commercial retail space on the subject site.
- In response to challenges with leasing the ground floor commercial retail space, the applicant, Townline Homes (Hawthorne Residences Inc.), is proposing to convert 1,018 square metres (10,959 sq. ft.) of ground floor commercial space into eleven (11) live/work residential units fronting 57A Avenue.
- Townline Homes intends to rent all 97 dwelling units, including the 11 proposed live/work units.
- The addition of eleven (11) residential purpose-built rental units in Cloverdale will increase the rental stock in the Cloverdale Town Centre and will provide an opportunity for a new live/work unit type within the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to further reduce the amount of required indoor amenity space from 291 square metres (3,132 square feet) to 73 square metres (791 square feet).
2. Council authorize staff to draft Development Permit No. 7916-0649-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7916-0649-00 (Appendix V) to vary the Off-Street Parking requirements of CD By-law No. 17464, as amended by By-law No. 18407 to allow twelve (12) residential parking spaces to be located at grade in the surface parking lot, and to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) modification of the existing Section 219 Restrictive Covenant (CA5541365) registered on title to reflect the proposed ninety-seven (97) rental dwelling units;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (d) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no further comment. The site was fully serviced under File No. 7910-0101-00.

School District: **Projected number of students from this development:**

6 Elementary students at Martha Currie School
3 Secondary students at Lord Tweedsmuir School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by November 2017.

SITE CHARACTERISTICS

Existing Land Use: The Bristol, 4-storey mixed-use apartment building under construction.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North (Across 57A Avenue):	Vacant lot under Application No. 7916-0106-00, proposing rezoning to permit the development of 112 townhouse units (Third Reading).	Residential/Commercial and Parks/Open Space	CD By-law No. 17464, as amended by By-law No. 18407
East:	17568 – 57A Avenue: Vacant lot under Application No. 7916-0106-00, proposing rezoning to permit the development of 112 townhouse units (Third Reading). 17567 – 57 Avenue: Existing one-storey building (Canadian Legion Branch No. 6).	Residential/Commercial	CD By-law No. 17464, as amended by By-law No. 18407
South (Across 57 Avenue):	Industrial machine rental shop, card lock gas station and Fire Hall No. 8.	Medium Density Residential and Institutional	IH and IL
West (Across Highway No. 15 / Cloverdale By-pass):	Townhouses and single family homes.	Townhouses and Medium Density Residential	RM-30 and RF

DEVELOPMENT CONSIDERATIONSBackground

- The 1.4-acre (5,844-square metre) subject site is located at 5738 - 175 Street in the Cloverdale Town Centre. The site is designated Town Centre in the Official Community Plan (OCP) and Residential/Commercial in the Cloverdale Town Centre Plan and is zoned "Comprehensive Development Zone (CD)" (By-law No. 17464, as amended by By-law No. 18407).
- On February 22, 2016, Council approved an amendment to the existing CD By-law No. 17464 to adjust the allowable locations for the existing Legion within the site by regulating the "neighbourhood pub" use and to adjust parking requirements. In addition, Council approved and issued Development Permit No. 7914-0260-00 to allow the development of a 4-storey mixed-use building consisting of 86 dwelling units and 1,950 square metres (20,990 square feet) of ground floor commercial space.

- The applicant has since begun construction of the approved project.
- The applicant indicated that to date there has been little interest from potential commercial tenants in leasing ground floor commercial retail space at this location. To address this concern, the applicant is proposing to convert 1,018 square metres (10,959 sq. ft.) of ground floor commercial space into eleven (11) live/work residential units fronting 57A Avenue.
- A new Development Permit as well as a Development Variance Permit are requested to accommodate this revised proposal.

Current Proposal

- The applicant is requesting a Development Permit to convert 1,018 square metres (10,959 sq. ft.) of ground floor commercial space into eleven (11) live/work residential units fronting 57A Avenue and to adjust the surface parking configuration and landscaping.
- The proposed amendment will allow the completion of the previously approved 4-storey mixed-use building with 97 dwelling units (previously 86 dwelling units) and 957 square metres (10,301 square feet) of ground floor commercial space (previously 1,950 square metres (20,990 square feet)).
- The floor area ratio (FAR) proposed for this development is 1.47, which complies with the maximum 2.0 FAR permitted under CD By-law No. 17464, as amended by By-law No. 18407.
- In addition, a Development Variance Permit is requested. The applicant is proposing a variance to allow twelve (12) residential parking spaces to be located at grade in the surface parking lot (see By-law Variance section).
- In accordance with the City's Public Art Policy No. R-21, the applicant was not required to provide a monetary contribution towards public art due to the residential component being rental. A Restrictive Covenant was placed on title to that effect, and referenced the 86 dwelling units. With 11 additional rental dwelling units proposed, the Restrictive Covenant will be required to be modified accordingly.

DESIGN PROPOSAL AND REVIEW

- The approved mixed-use building will remain four storeys in height with street-oriented commercial retail units on the ground floor fronting 57 Avenue and Highway No. 15. Eleven (11) additional residential units are proposed to front 57A Avenue, instead of the previously approved retail commercial space, resulting in a total of 97 dwelling units.
- The additional ground floor dwelling units range in size from 59 square metres (635 sq. ft.) to 132 square metres (1,416sq ft.) and are comprised of 5, 1-bedroom, 4, 2-bedroom units and 2, 3 bedroom units.
- The remaining commercial space is comprised of 7 commercial retail units (CRUs) for a total of 957 square metres (10,301 sq. ft.) of commercial space and will be oriented outward toward the public realm on 57 Avenue.

- Vehicular access remains unchanged from the north-south driveway along the east property line.
- The main pedestrian entrance to the residential portion of the building is also unchanged and remains adjacent the internal driveway along the building's eastern façade.
- The exterior form and character of the 4-storey mixed-use building as approved under Development Permit No. 7914-0260-00 remains unchanged despite the proposed conversion of commercial space to residential dwelling units.
- The 2.7-metre (9-ft.) commercial style window wall will be maintained along the residential portion to preserve the intended form and character and public realm experience.
- Each ground floor residential unit will have a separate individual entrance from the hard surfaced area around the periphery of the site.
- The ground floor residential units have also been designed to accommodate a potential live/work option with a small, den-style room at the front entry of each unit. This allows for a room to be located along the commercial style window wall and facilitate eyes on the street. The "living" portion of each residential unit is proposed to be raised up by 0.6 metre (2 ft.) and accessed by two risers.
- The raised portion will be separated by a pony wall to provide visual separation from the dwelling unit and the street-oriented room.
- The ground floor potential live/work option along 57A Avenue provides for an appropriate transition to the future townhouse development proposed to the north (Application No. 7916-106-00, currently at Third Reading).

Indoor and Outdoor Amenity Spaces

- Based on the current proposal for a total of 97 units, the applicant is required to provide 291 square metres (2,777 sq. ft.) of both indoor and outdoor amenity spaces. This is based on the standard 3.0 square metres (32 sq. ft.) per dwelling unit being required for both indoor and outdoor amenity spaces.
- The indoor amenity space approved by Council under Development Permit 7914-0260-00, totals 73 square metres (791 sq. ft.), which is 218 square metres (1,938 sq. ft.) less than the 291 square metres (2,745 sq. ft.) required for 86 dwelling units.
- The indoor amenity space is located on the building's second floor adjacent to the elevators and provides access to the outdoor amenity space also located on the second level. This indoor space has been identified as an exercise room with a washroom.
- However, in accordance with City Policy No. O-48, under the previous applications the applicant provided a monetary contribution of \$67,050 (\$51,450 based on \$1,050 per unit for 49 units, under File No. 7910-0101-00 and \$15,600 based on \$1,200 per unit for 13 units, under File No. 7914-0260-00), to address the shortfall in the required indoor amenity space.

- The current proposal will require the applicant to provide an additional monetary contribution for the further shortfall in indoor amenity space of \$20,550 (remaining outstanding balance). The applicant has agreed to provide this monetary contribution in accordance with the City policy, to address the shortfall in the required indoor amenity space.
- The outdoor amenity space approved under Development Permit No. 7914-0260-00 totals 60 square metres (646 sq. ft.), which is 231 square metres (2,486 sq. ft.) less than the 291 square metres (2,745 sq. ft.) required under the current proposal. The applicant previously provided a monetary contribution of \$39,600 (based on \$600 per unit for 66 units) in accordance with the City policy, to address the shortfall in the required outdoor amenity space at that time.
- The outdoor amenity space approved under Development Permit No. 7914-0260-00 is located directly adjacent the indoor amenity space on the second floor and is provided as an outdoor patio area with bench seating and landscaping.
- Under the current proposal, additional outdoor amenity area has been provided along the western portion of the site along Highway No. 15. An additional 74 square metres (797 sq. ft.) of outdoor amenity space has been added by programming previously unprogrammed outdoor space. The space includes a tree buffer that has been widened to allow for a double row of trees and an outdoor seating area with benches and an aluminum trellis feature.
- The additional outdoor amenity space proposed, addresses the outdoor amenity space requirement for the eleven (11) additional dwelling units proposed and as such no additional cash-in-lieu is required.

Parking

- In accordance with the existing CD By-law No. 17464, as amended by By-law No. 18407, 69 residential parking spaces are required for all 1-bedroom and smaller units, 66 spaces for all 2-bedroom and larger units and 19 visitor parking spaces, for a total of 154 parking spaces for the residential portion.
- The proposed development provides 123 residential parking spaces in the underground parking structure and proposes that the remaining 12 residential parking spaces and 19 visitor parking spaces be accommodated in the surface parking lot (see By-law Variance section).
- In accordance with the existing CD By-law No. 17464, as amended by By-law No. 18407, a minimum of 37 parking spaces are required solely for the commercial portion.
- The surface parking lot can accommodate 39 parking spaces for the commercial portion, in addition to the 12 residential and 19 visitor parking spaces.
- In order to meet the minimum parking requirements for the site, the applicant adjusted the parking spaces on the east portion of the site from a 45 degree orientation to a 90 degree orientation. This resulting in an additional 16 parking spaces from that originally approved under Development Permit No. 7914-0260-00.
- A rough-in for a gate for added security has been added to the entrance of the courtyard parking which now accommodates residential designated parking spaces.

Landscaping

- In keeping with the original design concept, ground floor residential frontages will be hard surfaced from the curb to the building face, which will foster a pleasant pedestrian experience for this neighbourhood.
- To provide separation and to delineate the space between the ground floor residential units, planters are proposed to extend from the building face toward the sidewalk.
- Three (3) ground floor units in the northwest corner of the building include a private outdoor yard in the form of paved patios and lawn area. These private yards will be enclosed by a 1.2 metre (4-ft.) high black aluminum fence with private entry gate.
- Along the eastern property line, planting beds have been added to provide a buffer between the internal drive aisle and the neighbouring Legion property to the east. The planting beds will allow for a 1.2-metre (4 ft.) tall evergreen hedge as well as the planting of trees.

Signage

- In anticipation of potential live/work tenants, the applicant has designed a blade sign prototype for ground floor residential units.
- The proposed blade sign prototype is 0.6 metre (2 ft.) high and 0.6 metres (2 ft.) wide, with an approximate 2.6-metre (8.5-ft.) vertical clearance between the ground and the underside of each proposed blade sign.
- The proposed sign area is less than the maximum permitted 3.0 square metres (32 sq. ft.) under the Sign By-law.
- The projecting blade signs are proposed to be mounted to the building façade.

PRE-NOTIFICATION

- According to Council policy, a Development Proposal Sign was installed on the site to inform the public about the proposed development. Staff did not receive any comments on this proposal.
- The applicant contacted the Coverdale Community Association, Cloverdale Business Improvement Association (BIA) and Cloverdale Chamber of Commerce. No concerns were raised.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary the Off-Street Parking requirements of CD By-law No. 17464, as amended by By-law No. 18407 to allow twelve (12) residential parking spaces to be located at grade in the surface parking lot.

Applicant's Reasons:

- The eleven (11) proposed ground floor live/work units require sixteen (16) parking spaces. Four (4) parking spaces can be accommodated in the underground parking structure, while twelve (12) can be accommodated in the surface parking lot.
- In order to meet the minimum parking requirements for the site, the applicant adjusted the surface parking lot spaces on the eastern portion of the site from a 45-degree orientation to a 90-degree orientation providing room for an additional 16 parking spaces from the originally approved Development Permit No. 7914-0260-00.
- These parking spaces at grade will be more convenient for ground floor tenants as well as their potential clients if the occupant was to utilize the live/work option.

Staff Comments:

- All parking proposed outside the building envelope will be well screened from the public realm with landscaping.
- The surface parking lot parking spaces will be convenient for the ground floor residential occupants as they will have direct access from their unit to the parking spaces in the courtyard.
- Staff support the variance as proposed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Development Variance Permit No. 7916-0649-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JLM/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Ross Moore
 Hawthorne Residences Inc.
 Address: 13575 Commerce Parkway, Unit 120
 Richmond, BC V6V 2L1

2. Properties involved in the Application
 - (a) Civic Address: 5738 - 175 Street

 - (b) Civic Address: 5738 - 175 Street
 Owner: Hawthorne Residences Inc.
 PID: 029-294-932
 Lot 1 Section 7 Township 8 New Westminster District Plan EPP24658

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0649-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with approval of the associated Development Permit No. 7916-0649-00.

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 17464, as amended
by By-law No. 18407

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		5,844.60 m ²
Road Widening area		
Undevelopable area		
Net Total		5,844.60 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	80%	41%
SETBACKS (in metres)		
Front (N)	0.5 m	2.1 m
Rear (S)	0 m	2.0 m
Side #1 (E)	7.5 m	23.40 m
Side #2 (W)	0 m	6.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	28 m	14.7 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		53
Two Bedroom		42
Three Bedroom +		2
Total		97
FLOOR AREA: Residential		7,629.38 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		957 m ²
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8,586.38

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	2.0	1.47
AMENITY SPACE (area in square metres)		
Indoor	291 m ²	73 m ²
Outdoor	291 m ²	134 m ²
PARKING (number of stalls)		
Commercial	37	39
Industrial		
Residential Bachelor + 1 Bedroom	69	69
2-Bed	63	63
3-Bed	3	3
Residential Visitors	19	19
Institutional		
Total Number of Parking Spaces	191	193
Number of accessible stalls	2	4
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROJECT INFORMATION

Civic Address:
5738-175 Street, Surrey, BC

Legal Address:
LOT 1 SECTION 7 TOWNSHIP 8 PLAN EPP24688 NWD

Parcel ID:
026-294-932

Applicant:
ZGF COTTER ARCHITECTS INC.

Current Zoning:
CD Comprehensive Development Zone (By-Law No. 17454)

Proposed Zoning:
CD Comprehensive Development Zone

TABLE OF CONTENTS

SURVEY Survey

ARCHITECTURAL
A-201 Cover Sheet
A-101 Site Plan
A-112 Level 1 Floor Plan
A-201 Building Elevations
A-302 Building Elevations
A-203 Building Elevations

PROJECT DIRECTORY

OWNER:
TL Housing Solutions Ltd.
120-13275 Commerce Parkway
Richmond, BC V6V 2L1
T(604) 276-8829; F(604) 270-0854
Contact: Darren Trester

SURVEY:
Core Group Consultants
#120 - 1980 Fraserston Court
Burnaby, BC V3J 5Y4
T(604) 299-0005; F(604) 299-0029

ARCHITECTURAL:
ZGF COTTER ARCHITECTS INC.
Suite 901 - 838 West Hastings Street
Vancouver, BC V6C 0A8
T(604) 272-1477; F(604) 272-1471
Contact: Rob Wheeler

LANDSCAPING:
Durante Kreuk Ltd.
#102 - 1837 W 8th Avenue
Vancouver, BC V6J 1N5
T(604) 684-6011; F(604) 684-0677
Contact: Alain Lamontagne

ELECTRICAL:
Nemetz & Associates Ltd.
2036 W 4th Avenue
Vancouver, BC V6J 1N3
T(604) 736-8562; F(604) 736-9805
Contact: Ovidiu Ciocanu

DEVELOPMENT DATA

LOT AREA:
Gross Total 5844.00 sqm
Net Total 5844.00 sqm

SETBACKS PROPOSED:
North Setback 9'-3" (1.7m)
South Setback 9'-3" (1.6m)
East Setback 77'-7" (23.5m)
West Setback 20'-7" (6.5m)

BUILDING HEIGHT PROPOSED: 14.7m (4 storey)

GFA: Residential 7629.38 sqm
GFA: CRU 957.00 sqm

DENSITY PROPOSED:
168 units per ha (gross)
FAR 1.31 (gross)

CRU PARKING CALCULATION

REQUIRED: 287 stalls
3 spaces every 1,076 s.f. (100 s.m.) of Office/Commercial

PROVIDED: 39 stalls
On-Site: 39 stalls (includes 2 H.C.)

RESIDENTIAL PARKING CALC.

BY-LAW REQUIREMENT:
RESIDENT STALLS (1.5 x 4.3 1bdm unit): 69.9
RESIDENT STALLS (1.5 x 4.2 2bdm unit): 63
RESIDENT STALLS (1.5 x 2 3bdm unit): 3
VISITOR STALLS (0.2 units x 97 units): 19.4
TOTAL: 154.3

PROVIDED:
RESIDENT STALLS: 135
VISITOR STALLS: (shared with CRU) 19
TOTAL: 154

Notes:
-27 small car provided (max 25% / 34 small car stalls allowed)
-4 H.C. spaces provided

BICYCLE CALCULATION

REQUIRED ON-SITE BICYCLE PARKING SPACES:
RESIDENTS (1.2 units x 97 units): 116.4
VISITORS (0.7 multiple unit residential bldg): 6
TOTAL: 122.4

PROVIDED ON-SITE BICYCLE PARKING SPACES:
RESIDENTS 114
VISITORS 6
TOTAL: 120

Unit Name	Current Area	Count	%	Total
28-A	666	12	12%	7732
28-B	498	6	6%	2808
28-C	518	6	6%	3108
28-D	352	8	8%	4496
28-E (Adaptable)	352	4	4%	2048
28-E	354	3	3%	1512
28-F	510	3	3%	1530
28-F	391	6	6%	3446
28-G	728	1	1%	728
28-H	659	1	1%	659
28-J	695	1	1%	695
28-K	657	1	1%	657
28-L	625	1	1%	625
28-A	676	12	12%	10512
28-B	486	6	6%	2976
28-C	512	6	6%	3172
28-D	359	8	8%	3674
28-E	351	6	6%	3066
28-F	84	2	2%	1628
28-G	102	1	1%	1022
28-H	119	1	1%	1119
28-J	104	1	1%	1046
28-K	90	1	1%	804
28-A	1418	1	1%	1418
28-B	1007	1	1%	1207
28-C	6	2	2%	Three Beds
Average Unit Size:	769	Total Units: 87	100%	72,061

T H E B R I S T O L
Residential/ Commercial Mixed use Development

5738-175 Street, Surrey, BC

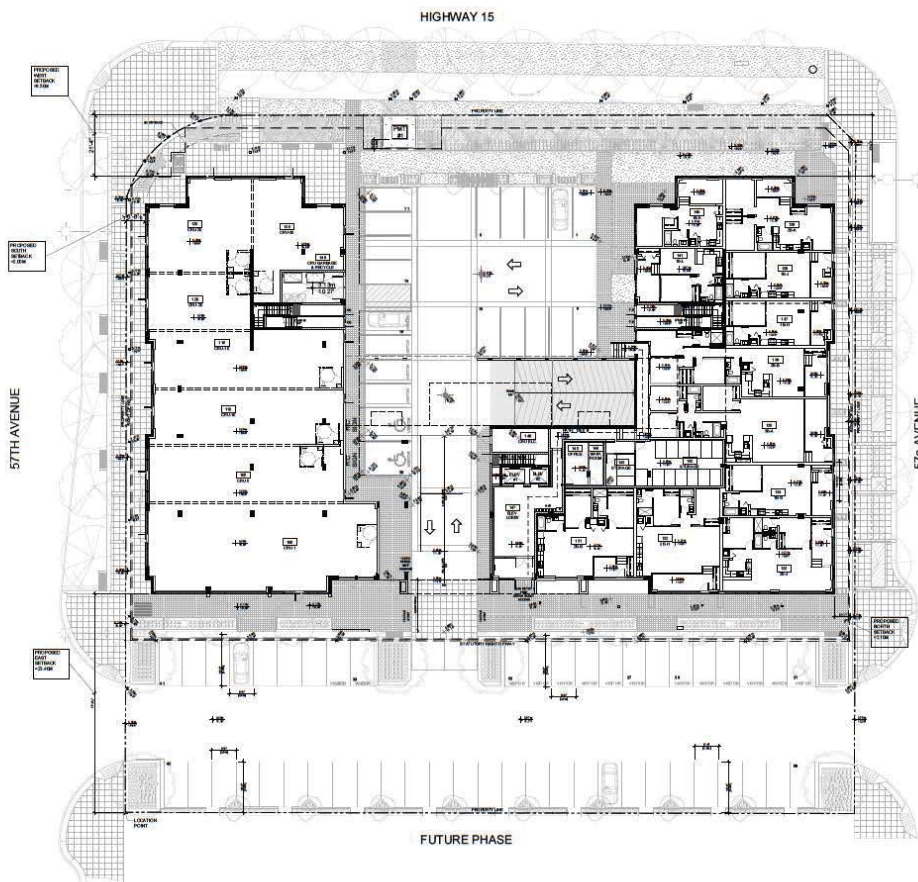


CONTEXT PLAN



Development Permit Variance
October 21, 2016

NOTES



NO.	DESCRIPTION

**ZGF
COTTER**
ARCHITECTS

905-659 West Hastings Street, Vancouver, BC V6C 0A6
781-1199 FAX 781-1198 2171-2172 1-800-468-3800
WWW.ZGFCOTTER.COM

THE BRISTOL
Residential/ Commercial
Mixed-Use Development
5738-175th Street, Surrey, BC

DATE
PREPARED BY
CHECKED BY
APPROVED BY

DATE	01/11/2011	SCALE	
PREPARED BY		CHECKED BY	
CHECKED BY		APPROVED BY	
APPROVED BY		DATE	01/11/2011

SITE PLAN



DRAWING NO.	A-101
-------------	-------



2 EAST ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- 1.1 BRICK TILES Midnight Black, I-XL, Interstate Brick
- 1.2 BRICK TILES Arctic White Matte, I-XL, Interstate Brick
- 1.3 CAST-IN-PLACE CONCRETE
elastomeric paint light gray
- 1.4 CAST-IN-PLACE CONCRETE
elastomeric paint to match '07 colonial red'
- 1.5 CAST-IN-PLACE CONCRETE
elastomeric paint to match 'hudson tart'
- 1.6 CAST-IN-PLACE CONCRETE
elastomeric paint to match 'iron gray'
- 1.7 SPLIT FACE CONCRETE BLOCK, light gray
- 1.8 CAST-IN-PLACE CONCRETE
elastomeric paint to match 'Arctic White'
- 2.1 HARDE PANEL (w/ easy trim) Arctic White, J. Hardie
- 2.2 HARDE PANEL (w/ easy trim) Iron Gray, J. Hardie
- 3.1 VINYL SIDING 08 castlemore, Kaykan
- 3.2 VINYL SIDING 07 colonial red, Kaykan
- 3.3 VINYL SIDING Tart, Kaykan
- 4.1 STOREFRONT aluminum clear/glass
- 4.2 VINYL DOORS & WINDOWS clear/glass
- 4.3 BALCONY RAILING aluminum painted gray
- 4.4 METAL PANEL (w/ LED strip light) dark gray
- 4.6 METAL LOUVER PANELS (color to match adjacent material)
- 4.7 BALCONY RAILING w/ GLASS PANEL aluminum painted gray
- 4.8 METAL PANEL, dark gray
- 4.9 STOREFRONT spandrel glass (white)
- 4.10 METAL DOOR (color to match adjacent material)
- 5.1 WOOD FASCIA / TRIM painted 'OC 117 simply white', Benjamin Moore
- 5.2 WOOD FASCIA / TRIM painted '1902 gummett gray', Benjamin Moore
- 5.3 ALUMINUM TRELLIS painted to match '1902 simply white', B. Moore
- 5.4 WOOD TRIM painted '2049-20 fresh day', Benjamin Moore
- 6.1 FABRIC CANOPY, color Black
- 6.2 EXTERIOR WALL LAMP
- 6.3 SIGNAGE
- 6.4 PANT
- 6.5 RESIDENTIAL PATIO GATE (Dark Gray)
- 6.6 MONUMENT SIGN
- 7.1 STUCCO, to match '07 colonial red'
- 7.2 STUCCO, to match '96 castlemore'
- 7.3 STUCCO, to match 'hudson tart'
- 7.4 STUCCO, to match 'light gray'
- 7.5 STUCCO, to match 'iron gray'

REVISIONS	
NO.	DESCRIPTION

**ZGF
COTTER**

901-839 West Hastings Street, Vancouver, BC V6C 0A6
10-100-020 (toll free) 1-877-475-2371 www.zgfcotter.com
www.zgfcotter.com

THE BRISTOL
Residential/ Commercial
Mixed-Use Development
5738-175th Street, Surrey, BC

DATE:
BY: TL Housing Solutions Ltd.

PROJECT INFORMATION	
NO.	DESCRIPTION

BUILDING ELEVATIONS

DRAWING TITLE	
NO.	DESCRIPTION



1 NORTH ELEVATION
1/8"=1'-0"

NOTES



2 WEST ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- 1.1 BRCK TILES Midnight Black; 1-XL, Interstate Brck
- 1.2 BRCK TILES Arctic White Matte; 1-XL, Interstate Brck
- 1.3 CAST-IN PLACE CONCRETE
electromec paint light gray
- 1.4 CAST-IN PLACE CONCRETE
electromec paint to match '17 colonial red
- 1.5 CAST-IN PLACE CONCRETE
electromec paint to match 'aluminum tan'
- 1.6 CAST-IN PLACE CONCRETE
electromec paint to match 'light gray'
- 1.7 SPLIT FACE CONCRETE BLOCK; light gray
- 1.8 CAST-IN PLACE CONCRETE
electromec paint to match Arctic White
- 2.1 HARDE PANEL (w/ wavy trim) Arctic White; J. Hardie
- 2.2 HARDE PANEL (w/ wavy trim) Iron Gray; J. Hardie
- 3.1 VINYL SIDING 88 castlemore Kaykan
- 3.2 VINYL SIDING 07 colonial red; Kaykan
- 3.3 VINYL SIDING Tan; Kaykan
- 4.1 STOREFRONT aluminum clear glass
- 4.2 VINYL DOORS & WINDOWS clear glass
- 4.3 BALCONY RAILING aluminum painted gray
- 4.4 METAL PANEL (w/ LED strip light); dark gray
- 4.5 METAL LOUVER PANELS (color to match adjacent material)
- 4.7 BALCONY RAILING OW GLASS PANEL; aluminum painted gray
- 4.8 METAL PANEL; dark gray
- 4.9 STOREFRONT spandrel glass (white)
- 4.10 METAL DOOR (color to match adjacent material)
- 5.1 WOOD FASCIA / TRIM
painted 'OC 117 simply white'; Benjamin Moore
- 5.2 WOOD FASCIA / TRIM
painted '1002 gummetal gray'; Benjamin Moore
- 5.3 ALUMINUM TRELLIS
painted to match '1002 simply white'; B. Moore
- 5.4 WOOD TRIM
painted '2065-20 fresh clay'; Benjamin Moore
- 6.1 FABRIC CANOPY; color Black
- 6.2 EXTERIOR WALL LAMP
- 6.3 SIGNAGE
- 6.4 RMT
- 6.5 RESIDENTIAL PATIO GATE (Dark Gray)
- 6.6 MONUMENT SIGN
- 7.1 STUCCO - to match '17 colonial red'
- 7.2 STUCCO - to match '56 castlemore'
- 7.3 STUCCO - to match 'aluminum tan'
- 7.4 STUCCO - to match 'light gray'
- 7.5 STUCCO - to match 'Iron gray'

NO.	DESCRIPTION	DATE



THE BRISTOL
Residential/ Commercial
Mixed-Use Development
5738-175th Street, Surrey, BC

by
TL Housing Solutions Ltd.

DATE	BY	SCALE

BUILDING ELEVATIONS



1 SOUTH ELEVATION
1/8"=1'-0"

NOTES:



2 INNER SOUTH ELEVATION
1/8"=1'-0"



1 INNER NORTH ELEVATION
1/8"=1'-0"

MATERIAL LEGEND

- 1.1 BRICK TILES Midnight Black 3xL, Interstate Brick
- 1.2 BRICK TILES Arctic White Matte, LXL, Interstate Brick
- 1.3 CAST-IN PLACE CONCRETE elastomeric paint light grey
- 1.4 CAST-IN PLACE CONCRETE elastomeric paint to match '07 colonial red'
- 1.5 CAST-IN PLACE CONCRETE elastomeric paint to match 'sakuma tan'
- 1.6 CAST-IN PLACE CONCRETE elastomeric paint to match 'Iron Gray'
- 1.7 SPLIT FACE CONCRETE BLOCK : light gray
- 1.8 CAST-IN PLACE CONCRETE elastomeric paint to match 'Arctic White'
- 2.1 HARDIE PANEL (w/ easy trim) Arctic White, J. Hardie
- 2.2 HARDIE PANEL (w/ easy trim) Iron Gray, J. Hardie
- 3.1 VINYL SIDING 86 castlesmore Kaykan
- 3.2 VINYL SIDING 07 colonial red Kaykan
- 3.3 VINYL SIDING Tan Kaykan
- 4.1 STOREFRONT aluminum clear glass
- 4.2 VINYL DOORS & WINDOWS clear glass
- 4.3 BALCONY RAILING aluminum painted gray
- 4.4 METAL PANEL (w/LED strip light), dark gray
- 4.5 METAL LOWER PANELS (color to match adjacent material)
- 4.6 BALCONY RAILING w/ GLASS PANEL aluminum painted gray
- 4.7 METAL PANEL : dark gray
- 4.8 STOREFRONT square glass (white)
- 4.9 METAL DOOR (color to match adjacent material)
- 5.1 WOOD FASCIA / TRIM painted 'OC 117 simply white', Benjamin Moore
- 5.2 WOOD FASCIA / TRIM painted '1602 gunmetal gray', Benjamin Moore
- 5.3 ALUMINUM TRELLIS painted to match '1602 simply white', B. Moore
- 5.4 WOOD TRIM painted '2093-20 fresh clay', Benjamin Moore
- 6.1 FABRIC CANOPY, color Black
- 6.2 EXTERIOR WALL LAMP
- 6.3 SIGNAGE
- 6.4 PMT
- 6.5 RESIDENTIAL PATIO GATE (Dark Gray)
- 6.6 MONUMENT SIGN
- 7.1 STUCCO : to match '07 colonial red'
- 7.2 STUCCO : to match '86 castlesmore'
- 7.3 STUCCO : to match 'sakuma tan'
- 7.4 STUCCO : to match 'light gray'
- 7.5 STUCCO : to match 'Iron gray'

NO.	DESCRIPTION	DATE



300-688 West Hastings Street, Vancouver, BC V6C 0A6
780-426-5077 Fax: 780-426-5078 Email: info@zgfco.com
www.zgfco.com

THE BRISTOL
Residential/ Commercial
Mixed-Use Development
5738-179th Street, Surrey, BC

Arch: TL Housing Solutions Ltd.

NO.	DESCRIPTION	DATE

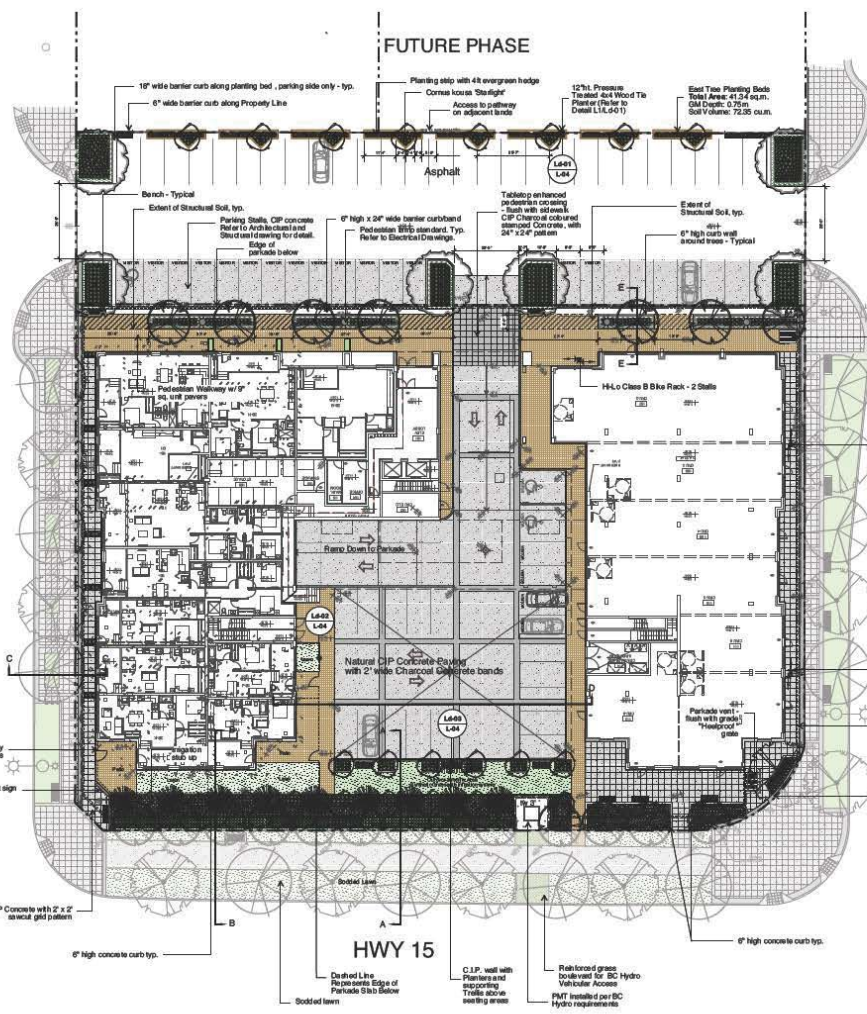
BUILDING ELEVATIONS

DRAWING NO: A-203

57a AVENUE

57TH AVENUE

FUTURE PHASE



MATERIALS LEGEND:

- CIP concrete Sidewalk (Off-Site Only)
Field: Natural colour with light broom finish pattern
Bands: Integral charcoal coloured concrete with stamp pattern
Drawings for details
- Asphalt Paving - Refer to Civil or Architectural Drawings for details
- 6" High Concrete Curb Paving
Type: Charcoal
Finish: Textada
- Hydrapressed Slabs (Abbotts Concrete)
Product #: 24" x 24" x 2"
Type: Charcoal
Finish: Textada
- Sodded Lawn
- Artificial Lawn
- CIP Concrete Paving at Driveway
2 ft. wide Bands
Finish: Light Broom
Colour: Cobblestone Davis #800
- Field:
Finish: Light Broom
Colour: Natural
- Refer to Architecture and Structural for details
- Trash & Recycling Receptacle - supplied by Anova: L1382 Rendezvous Receptacle.
Colour: Silver
Contact: 1-888-535-5005
Quantity: 2
- Continuous structural soil free trench, 5' wide as per City of Surrey specs (Off-Site Only)
- 6' long Bench on Concrete pad to Cloverdale Standard: Victor Stanley - Steelites RB Series
Product #: RB-28, Powdercoated
- Pedestrian lamp standard, Lumec DM650 c/w WCE base/arm and optional banner arms refer to out sheet detail.
- Irrigation stub-up through Archt. slab
Provide water and electricity to these locations
- C.I.P. concrete planter walls (Refer to Details Sheet for Wall Height)

Notes:

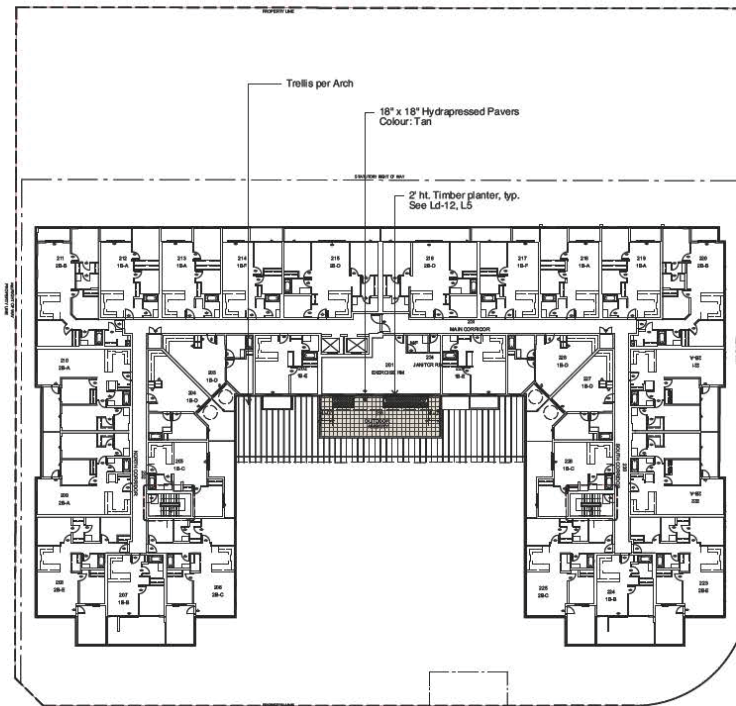
- *Hose tabs to be located at all patios 100sq. ft and over
- *All offsite landscape work completed pursuant to Servicing Agreement #7 810-010-1-00. ONLY planting remains to be completed per approved SA noted above.

North

16	04/22/2016	Issue for 3P Review
16	04/22/2016	Issue for Client Review
17	04/28/2016	Issue for Client Review
16	04/28/2016	Issue for Client Review
16	04/28/2016	Issue for Client Review
14	04/28/2016	Issue for Client Review
14	04/28/2016	Issue for Client Review
11	04/28/2016	Issue for Client Review
11	04/28/2016	Issue for Client Review
10	04/28/2016	Issue for Client Review
09	04/28/2016	Issue for Client Review
07	04/28/2016	Issue for Client Review
06	04/28/2016	Issue for Client Review
05	04/28/2016	Issue for Client Review
04	04/28/2016	Issue for Client Review
03	04/28/2016	Issue for Client Review
02	04/28/2016	Issue for Client Review
01	04/28/2016	Issue for Client Review

REFER TO SHEET L03 FOR COMPLETE PLANT LIST.
REFER TO SHEET L06 FOR STRUCTURAL SOIL SPECIFICATION

Drawn by: ALEN
 Checked by: PSK
 Date: August 18, 2014
 Scale: 1/8" = 1'-0"
 Drawing Title: LEVEL 1 LAYOUT AND PLANTING PLAN
 Project No.: 10110
 Sheet No.: L01 of 06



06	06/11/2016	Issued for P.P. Valence
05	Apr 08 2016	Issued for Construction Review
07	Feb 17 2016	Re-issued for CIP
06	SEP 08 2016	Client Design Review
05	FEB 08 2016	Revised for City Comments
04	JUN 13 2016	Issued for Development Permit
03	JAN 08 2016	Client Final Permit Layout
02	NOV 05 2014	ADP
01	AUG 05 2014	Issued for Development Permit
00	1 2014	Issue

Revisions:

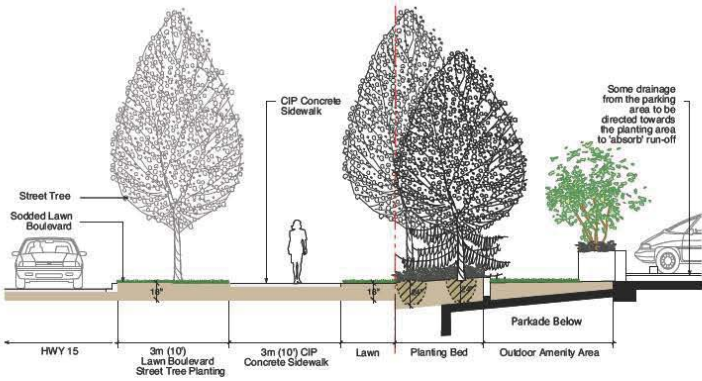


Project:
BRISTOL
 5738 - 176th Street
 Surrey BC

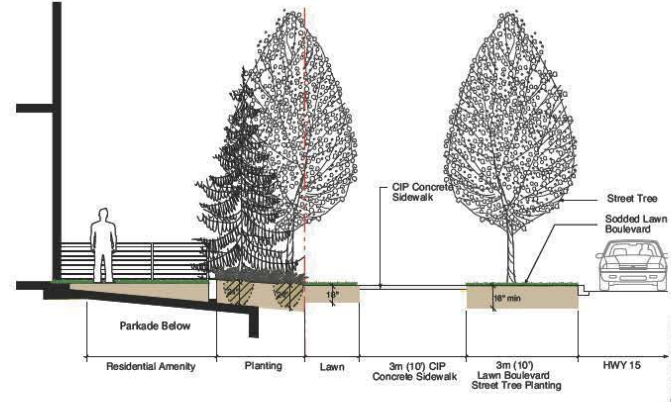
Drawn by: ALEN
 Checked by: PKK
 Date: August 18, 2014
 Scale: 1/8" = 1'-0"

Drawing Title:
LEVEL 2
LAYOUT AND PLANTING
PLAN

Project No.:
 10110
 Sheet No.:



SECTION A-A: HWY 15 Streetscape
Scale: 1/4"=1'-0"



SECTION B-B: HWY 15 Streetscape
Scale: 1/4"=1'-0"

08 Oct 2016 Issued for DP Valuation
 09 Apr 2016 Issued for Construction Review
 07 Feb 17 2016 Re-issued for CIP
 06 Sep 20 2016 Client Design Review
 05 Feb 20 2016 Referred for City Council
 04 Jan 13 2016 Issued for Development Permit
 03 Jun 09 2015 Client Paid Permit License
 02 Nov 02 2014 ADP
 01 Aug 28 2014 Issued for Development Permit
 Rev: 1 Issue



ON-SITE PLANT LIST

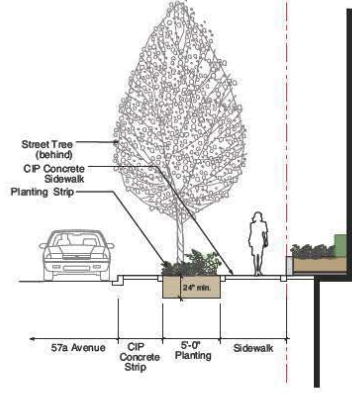
Symbol	Qty	Botanical Name	Common Name	Size/Comments
	8	<i>Cedripylum japonicum</i>	Katsura Tree	7m cal. 885 1.8m Std.
	2	<i>Cornus x Soddely White Wonder</i>	White Wonder Dogwood	5m cal. 885 1.8m Std.
	20	<i>Forsythia ovata</i>	Forsythia Ironwood	7m cal. 885 1.8m Std.
	20	<i>Picea canadensis</i>	Eastern Spruce	3m H. 885
	10	<i>Carpinus betulus 'Fastigiata'</i>	European Hornbeam	7m cal. 885 1.8m Std. Uniform
Shrubs				
	25	<i>Abies concolor</i>	White Fir	#1 pot
	25	<i>Quercus macrocarpa</i>	Large Leafed Oak	#1 pot
	25	<i>Malus baccata</i>	Crabapple	#1 pot
	25	<i>Yucca filamentosa</i>	Spiky Plant	#1 pot
	25	<i>Prunella vulgaris</i>	Blackberry	#1 pot
	25	<i>Salix purpurea</i>	Willow	#1 pot
	25	<i>Salix purpurea</i>	Willow	#1 pot
	25	<i>Salix purpurea</i>	Willow	#1 pot
	25	<i>Salix purpurea</i>	Willow	#1 pot
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	25	<i>Salix purpurea</i>	Willow	#1 pot
	25	<i>Salix purpurea</i>	Willow	#1 pot

OFF-SITE PLANT LIST

Symbol	Qty	Botanical Name	Common Name	Size/Comments
	10	<i>Ficus americana 'Autumn Applause'</i>	White Ash	7m cal. 885 1.8m Std. Uniform
	9	<i>Cornus bakula 'Fastigiata'</i>	European Hornbeam	7m cal. 885 1.8m Std. Uniform
	25	<i>Cornus kousa 'Starlight'</i>	Flowering Dogwood	Multi Stem
Shrubs				
	120	<i>Calceolaria</i>	Rose of Sharon	#1 pot
	120	<i>Calceolaria</i>	Rose of Sharon	#1 pot
	120	<i>Calceolaria</i>	Rose of Sharon	#1 pot
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	120	<i>Calceolaria</i>	Rose of Sharon	#1 pot
	120	<i>Calceolaria</i>	Rose of Sharon	#1 pot

Plant Notes:

- All materials used to construct the planters shall be installed in front of the B.C. Landscaping Barrier.
- Planters shall be constructed to meet the specifications for the B.C. Landscaping Barrier.
- For further details of the planters, please refer to the B.C. Landscaping Barrier.
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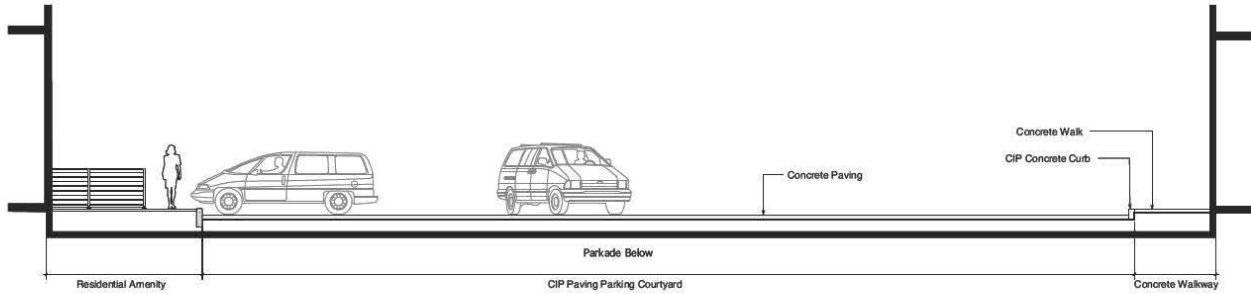
SECTION C-C: 57a Avenue Streetscape
Scale: 1/4"=1'-0"

Project:
**BRISTOL
 5738 - 178th Street
 Surrey BC**

Drawn by: ALEN
 Checked by: PKK
 Date: August 28, 2014
 Scale: As Noted

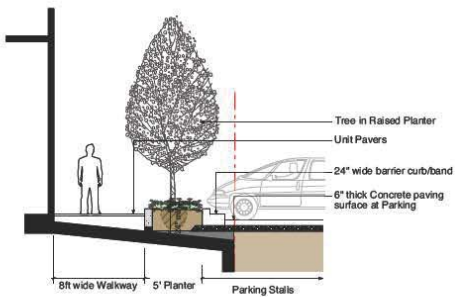
Drawing Title:
SECTION C

Project No.:
 10110
 Sheet No.:



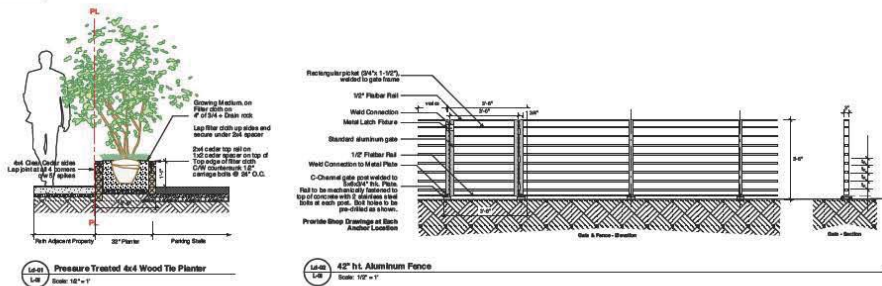
SECTION D-D: Parking Courtyard

Scale: 1/4"=1'-0"



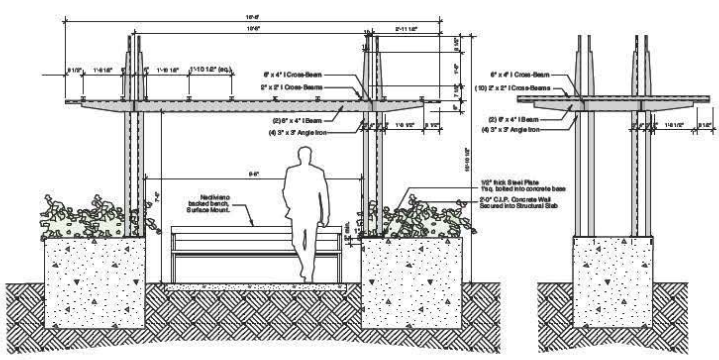
SECTION E-E: Angled Parking

Scale: 1/4"=1'-0"



LP-24
Pressure Treated 4x4 Wood Tie Planter
Scale: 1/2"=1'-1"

LP-25
42" Ht. Aluminum Fence
Scale: 1/2"=1'-1"



LP-26
Aluminum Trellis Mounted above C.I.P. Planter
Scale: 1/2"=1'-1"

08	08/11/2018	Issued for DP Valuation
09	Apr 08 2018	Issued for Construction Review
07	Feb 07 2018	Re-issued for CIP
06	SEP 08 2018	Client Design Review
05	NOV 28 2018	Revised for City Comments
04	JAN 13 2018	Issued for Development Permit
03	JUN 08 2018	Client Final Permit Layout
02	NOV 05 2014	ADP
01	AUG 28 2014	Issued for Development Permit
00	1	Issue

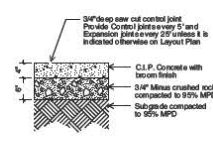


Project:
BRISTOL
5738 - 178th Street
Surrey BC

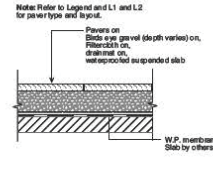
Drawn by: ALEN
Checked by: PSK
Date: August 28, 2014
Risk: As Noted

SECTIONS AND DETAILS

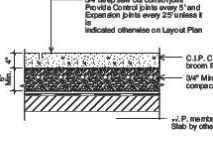
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Sheet No.:



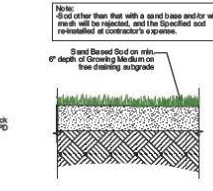
Ld-1 Concrete Paving on grade
Scale 1" = 1'-0"



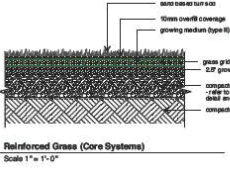
Ld-2 Hydrated Slabs on Slab
Scale 1" = 1'-0"



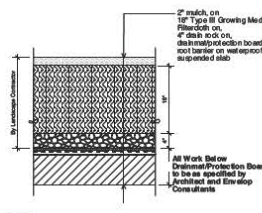
Ld-3 CIP Concrete on Slab
Scale 1" = 1'-0"



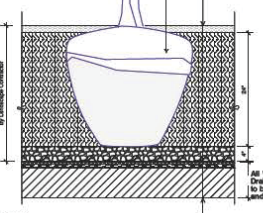
Ld-4 Sod on Grade
Scale 1" = 1'-0"



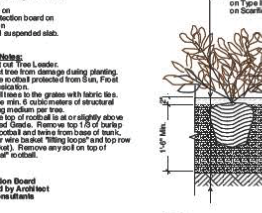
Ld-5 Reinforced Grass (Core Systems)
Scale 1" = 1'-0"



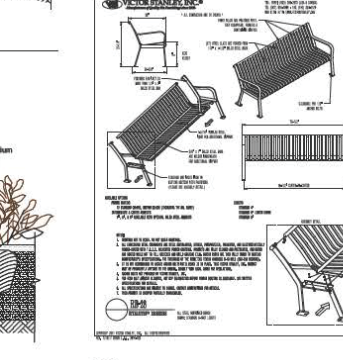
Ld-6 Shrub Planting on Slab
Scale 1" = 1'-0"



Ld-7 Typical Tree Planting on Slab
Scale 1" = 1'-0"



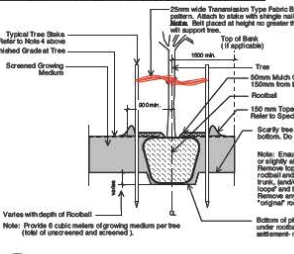
Ld-8 Shrub Planting on Grade
Scale 1" = 1'-0"



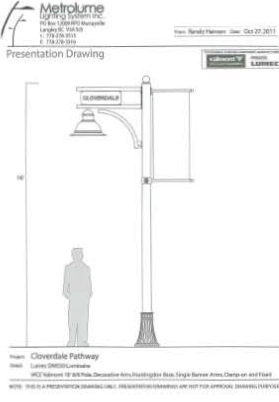
Ld-9 Victor Stanley Bench
Not to Scale

- General Notes:**
- Do not cut tree leader.
 - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
 - Ensure tree location does not conflict with Underground Services. "Call before digging".
 - All street trees to be located within 150cm of Curb line. Minimum depth of plate attachment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to stem/branch on tree at installation.
 - Provide min. 5 cubic meters of growing medium per tree.
 - Refer to Growing Medium Chart below for surface area depth of Growing Medium.

Depth of Growing Medium Total (mm)	Area (sq)	Volume 1 Size of Surface Square	Volume 2 Size of Surface Circle
400	11.31	3.3 M x 3.3 M	3.85 M Ø
600	8.20	2.8 M x 2.8 M	3.26 M Ø
750	6.67	2.6 M x 2.6 M	2.93 M Ø



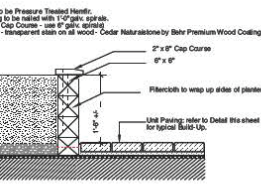
Ld-10 Typical Deciduous Tree Planting Detail
Scale: Not to Scale



Ld-11 Pedestrian Light
Scale: Not to Scale



Ld-12 9" x 9" Concrete Unit Pavers on Slab
Scale 1" = 1'-0"



Ld-13 Timber Planter
Scale 1" = 1'-0"

- Revisions:**
- | No. | Date | Revised by | Reason |
|-----|------------|------------|--------------------------------|
| 01 | 01/11/2018 | AL/N | Issued for RFP Release |
| 02 | 01/11/2018 | AL/N | Issued for Construction Review |
| 03 | 01/11/2018 | AL/N | Revised for CIP |
| 04 | 01/11/2018 | AL/N | Client Design Review |
| 05 | 01/11/2018 | AL/N | Revised for City Comments |
| 06 | 01/11/2018 | AL/N | Issued for Development Permit |
| 07 | 01/11/2018 | AL/N | Client Final Permit Approval |
| 08 | 01/11/2018 | AL/N | ADP |
| 09 | 01/11/2018 | AL/N | Issued for Development Permit |
| 10 | 01/11/2018 | AL/N | Final |



Project:
BRISTOL
5738 - 178th Street
Surrey BC

Drawn by: AL/N
Checked by: PKK
Date: August 16, 2014
Scale: As Noted

Drawing Title:
DETAILS

Project No.:
10110
Sheet No.:

PROJECTING SIGNAGE - OPTION A

Each tenant storefront at The Bristol must have one double sided blade sign which is intended to be seen by pedestrian traffic in and around the development.

All commercial retail units & live/work units housing a commercial use will have one existing black metal bracket with a 22" x 23" blade, which will be mounted to the building facade.

Tenants will be permitted to apply vinyl graphics on either face of the blade sign. Tenants are permitted to have a copy area no more than 50% of their fascia band area whilst maintaining a 1" clear margin around all edges. All blade signs will maintain a minimum 2.4m (8') clearance from grade to bottom of sign.

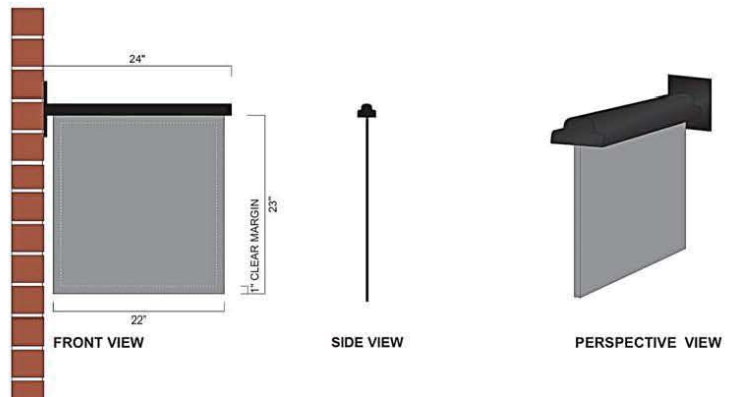
Blade signs must be constructed out of high quality, durable materials. The signs will be constructed and designed to suit the tenant's branding and should be in a complementary and contrasting colour to ensure good readability.

Graphic content will include company name, corporate logos and/or decorative graphics, but can NOT contain specific product or sale information, phone numbers or product graphics that are not part of the company logo.

Graphic content must be approved in writing by the Landlord and Property Manager prior to submission to the City of Surrey for sign permit.

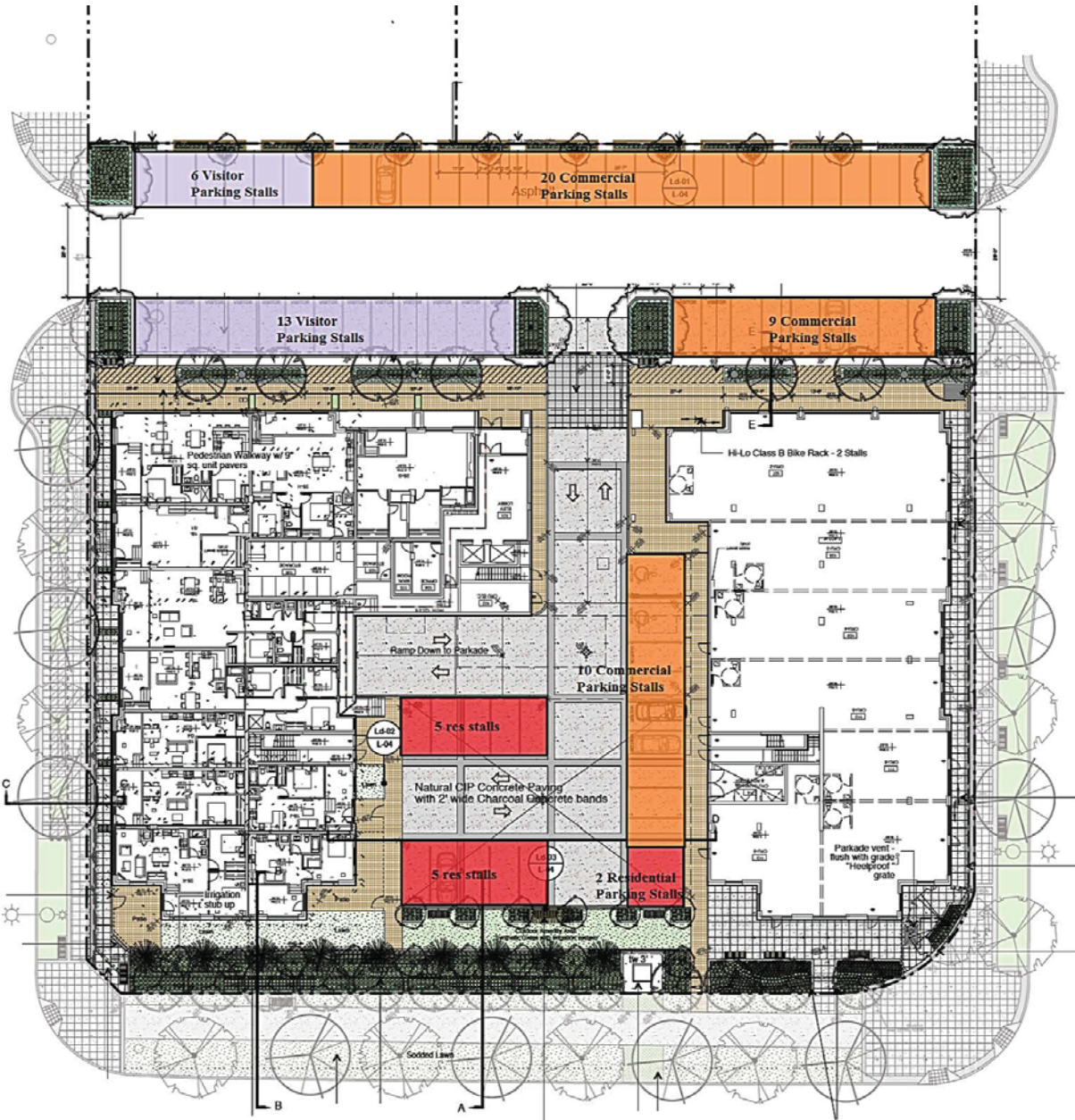


EXAMPLE PROJECTING SIGN ELEVATION



57a AVENUE

57TH AVENUE



Surface Parking Count:

Commercial - 39 stalls
Residential - 12 stalls
Visitor - 19 stalls

Parkade Count

Residential - 123 stalls



INTER-OFFICE MEMO

TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: December 9, 2016 **PROJECT FILE:** 7816-0649-00

RE: Engineering Requirements (Commercial/Industrial)
Location: 5738 175 Street

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit. The site was previously serviced under Surrey Projects 7810-0101-00 and 7814-0260-00.

Rémi Dubé, P.Eng.
Development Services Manager
CE4



Thursday, December 08, 2016
Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Martha Currie Elementary is near capacity and Lord Tweedsmuir is over capacity, on an extended day schedule and has 18 portables as of September 2016. The school district has received capital project approval for a new secondary school, Salish Secondary (scheduled to open 2018), that will relieve overcrowding at Lord Tweedsmuir Secondary and Clayton Heights Secondary.

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0649 00

SUMMARY

The proposed 97 lowrise units are estimated to have the following impact on the following schools:

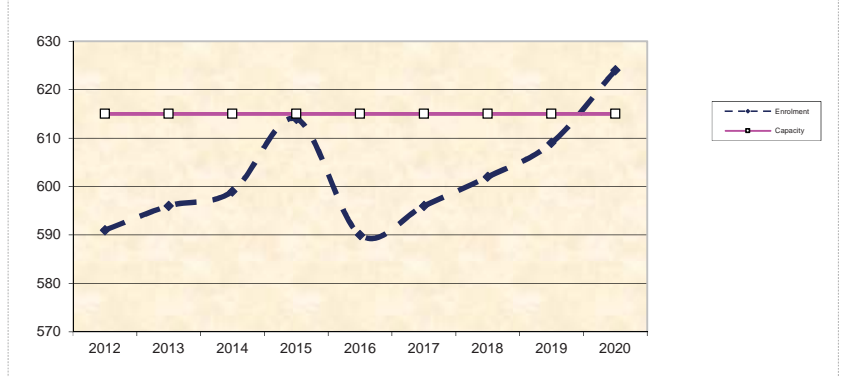
Projected # of students for this development:

Elementary Students:	6
Secondary Students:	3

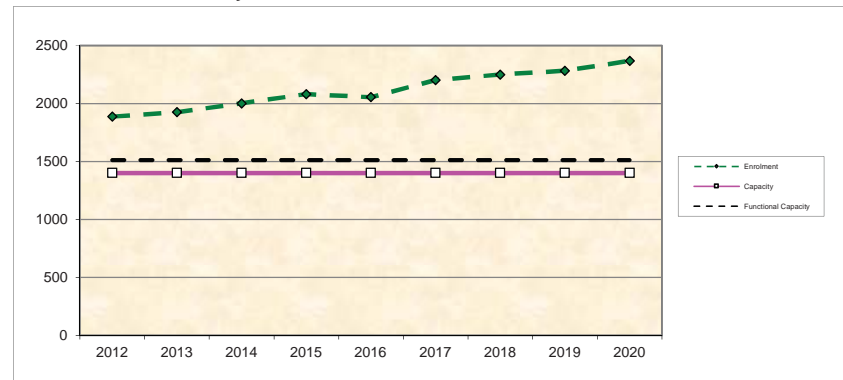
September 2016 Enrolment/School Capacity

Martha Currie Elementary	
Enrolment (K/1-7):	72 K + 518
Capacity (K/1-7):	40 K + 575
Lord Tweedsmuir Secondary	
Enrolment (8-12):	2055
Nominal Capacity (8-12):	1400
Functional Capacity*(8-12):	1512

Martha Currie Elementary



Lord Tweedsmuir Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0649-00

Issued To: HAWTHORNE RESIDENCES INC.

("the Owner")

Address of Owner: 120-13575 Commerce Parkway
Richmond, BC V6V 2L1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-294-932
Lot 1 Section 7 Township 8 New Westminster District Plan EPP24658

5738 - 175 Street

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to vary the Off-Street Parking requirements of CD By-law No. 17464, as amended by By-law No. 18407 to allow twelve (12) residential parking spaces to be located at grade in the surface parking lot.
4. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

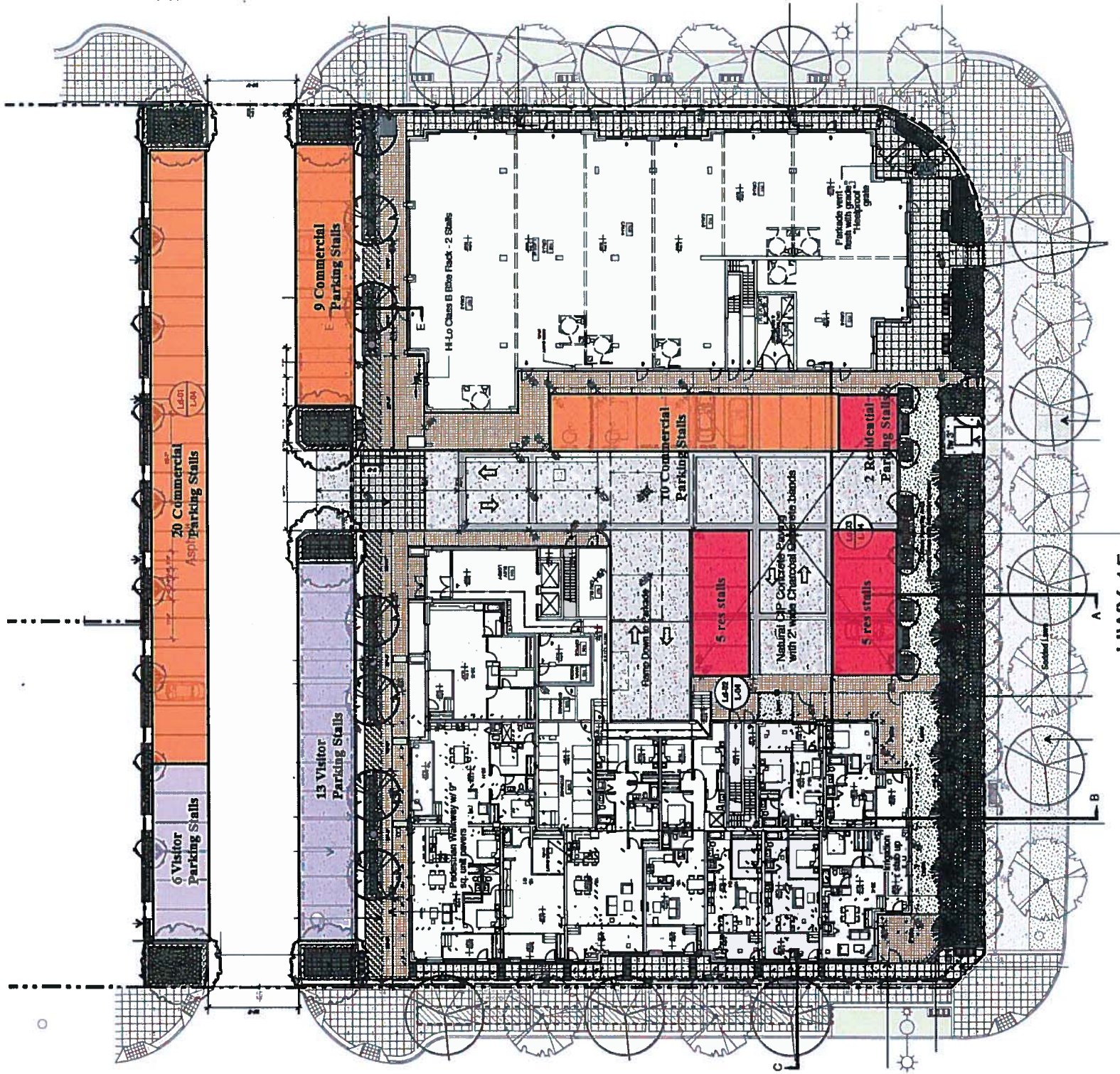
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

57TH AVENUE



57a AVENUE

Surface Parking Count:

Commercial - 39 stalls

Residential - 12 stalls

Visitor - 19 stalls

Parkade Count

Residential - 123 stalls

12 residential parking spaces located at grade in the surface parking lot;

