

City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7916-0623-00

Planning Report Date: December 4, 2017

PROPOSAL:

- **OCP Amendment** from Commercial to Urban
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

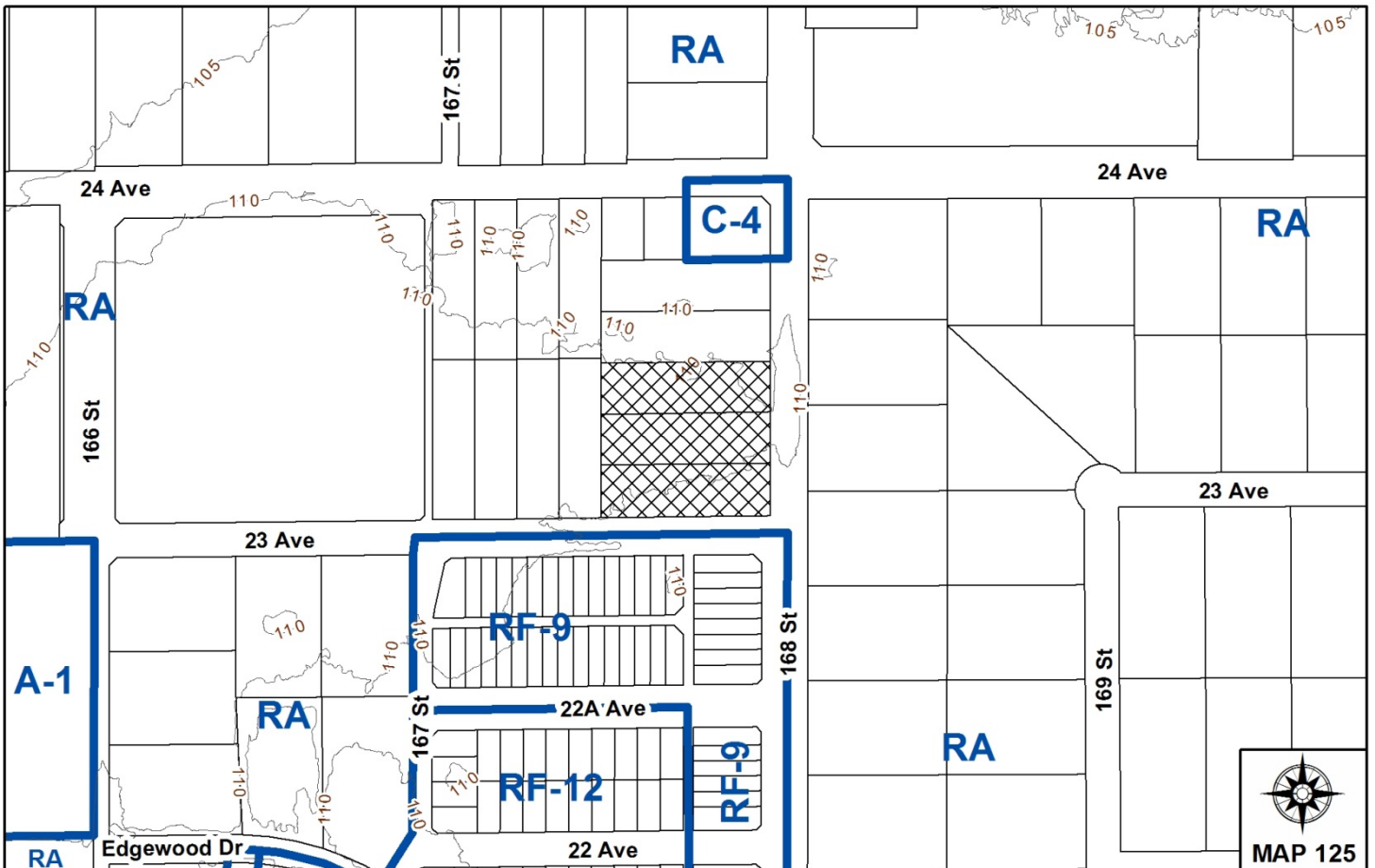
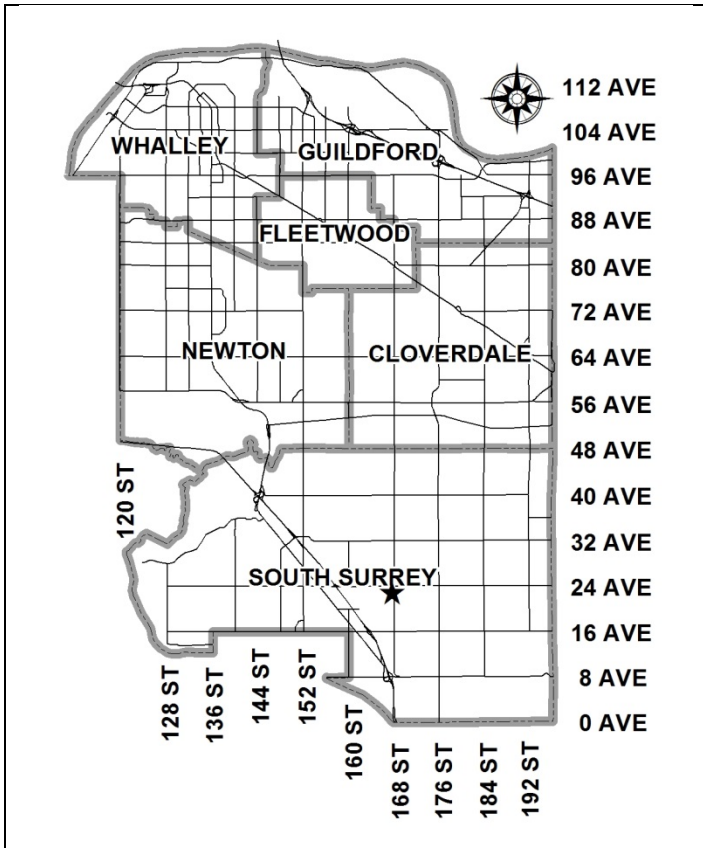
to permit the development of 40 townhouses.

LOCATION: 2315, 2331 and 2323 - 168 Street

ZONING: RA

OCP DESIGNATION: Commercial

NCP DESIGNATION: Special residential 15-25 upa, Buffer, and Drainage Corridor 5 m.



RECOMMENDATION SUMMARY

- File Rezoning By-law No. 19384.
- By-law Introduction and set date for Public Hearing for Rezoning.
- Reschedule the Public Hearing for OCP Amendment By-law No. 19383 to be held concurrently with the Public Hearing for the revised proposed Rezoning.
- Approval to reduce the required outdoor amenity space for the site.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The "Commercial" designation of the OCP only permits multi-unit residential when the ground-level uses are exclusively commercial. No commercial uses are proposed on the site. Therefore, an OCP amendment is required to change the designation from "Commercial" to "Urban".
- Seeking variances for proposed building setbacks.

RATIONALE OF RECOMMENDATION

- The proposed development complies with the "Special Residential 15-25 u.p.a." designation of the Sunnyside Heights NCP.
- The proposed density and building form are appropriate for this part of Sunnyside Heights.
- On October 2, 2017, a Planning Report was presented to Council that recommended an OCP Amendment from Commercial to Urban and rezoning the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (based on RM-30 and C-5), in order to permit development of 40 three-storey townhouse units, including 12 live-work units.
- At the Regular Council-Public Hearing Meeting on October 23, 2017, several delegations spoke in opposition of the proposed live-work units, citing concerns over parking, traffic congestion and expressing an overall desire to see the area remain residential. At the Regular Council-Public Hearing Meeting on November 6, 2017, Council referred the application back to staff to eliminate the live-work component from the proposal.

-
- The proposed CD By-law for the live-work units was based on the "Multiple Residential (30) Zone (RM-30)" and the "Neighbourhood Commercial Zone (C-5)". A CD Zone was required in order to incorporate the commercial uses permitted for the live-work units. With Council's direction to remove the live-work units from the development, the CD zone is no longer appropriate. Accordingly, the CD Zone (By-law 19384) is to be filed and a new By-law is proposed to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)".
 - The setback reductions previously incorporated into the CD Zone are now proposed as a Development Variance Permit. The west, north, and east setbacks remain the same as previously proposed under the CD Zone. The south yard setback has been increased to 4.5 metres (15 ft.) from 3 metres (10 ft.), as the previous setback was intended to recognize the commercial expression of the two live-work buildings fronting 23 Avenue.
 - The applicant proposes to reduce the area of the outdoor amenity space by 23 square metres (248 sq. ft.). The portion of the proposed outdoor amenity located in the northwest corner of the site is adjacent to several trees proposed to be retained. There is considerable open space proposed on site, however, the tree protection areas of the retained trees are typically not permitted to be included as part of the outdoor amenity space calculations. The applicant proposes to pay cash-in-lieu to address the shortfall in outdoor amenity space.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Rezoning By-law No. 19384.
2. Council reschedule the Public Hearing for OCP Amendment By-law No. 19383 to be held concurrently with the Public Hearing for the revised proposed Rezoning.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7916-0623-00 generally in accordance with the attached drawings (Appendix II).
5. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 120 square metres (1,292 sq. ft.) to 97 square metres (1,044 sq. ft.).
6. Council approve Development Variance Permit No. 7916-0623-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to increase the minimum east yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.8 metres (25.5 ft.) to the principal building face and reduce the minimum east yard setback of RM-30 Zone from 7.5 metres (25 ft.) to 7.3 metres (24 ft.) for projections for building 5;
 - (b) to reduce the minimum west yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.9 metres (13 ft.) for projections for buildings 1 and 6;
 - (c) to reduce the minimum south yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 4.2 metres (14 ft.) for projections for buildings 5 and 6; and
 - (d) to reduce the minimum north yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face of Building 2 and to 6.9 metres (23 ft.) to Building 4.
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey, arborist report, and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (g) submission of an acoustical report for the units adjacent to 168 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
- (k) the applicant adequately address the impact of reduced outdoor amenity space.

SITE CHARACTERISTICS

Existing Land Use: Single family dwellings on large lots.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Single family dwellings on large lots	Commercial/ Commercial-Residential 25-45 u.p.a.	RA
East (Across 168 Street):	Single family dwellings on large lots	Suburban-Urban Reserve	RA
South (Across 23 Avenue):	Small lot single family dwellings	Urban/ Medium Density Residential 10- 15 u.p.a. & Low Density Residential 6-10 u.p.a.	RF-9
West:	Single family dwellings on large lots	Commercial/ Special Residential 15-25 u.p.a.	RA

DISCUSSION

Background

- At the Regular Council – Land Use meeting of October 2, 2017, a Planning Report (Appendix IV) was presented to Council that recommended an OCP Amendment from Commercial to Urban and rezoning the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (based on RM-30 and C-5), in order to to permit development of 40 three-storey townhouse units, including 12 live-work units.
- At the Regular Council-Public Hearing Meeting on October 23, 2017, several delegations spoke in opposition of the proposed live-work units, citing concerns over parking, traffic congestion, and expressing an overall desire to see the area remain residential.
- In response, the applicant's representatives noted that the Sunnyside Heights NCP designation for the site encourages, but does not require live-work units in the area. Given the NCP requirements, staff had encouraged the applicant to include live-work units as part of the development proposal. However, the applicant's representative also noted that the applicant would be willing to move forward without the commercial component of the project, should Council give direction to do so.
- At the Regular Council-Public Hearing Meeting on November 6, 2017, Council referred the application back to staff to eliminate the live-work component from the proposal.

Revised Proposal

- The proposed CD By-law for the live-work units was based on the "Multiple Residential (30) Zone (RM-30)" and the "Neighbourhood Commercial Zone (C-5)". A CD Zone was required in order to incorporate the commercial uses permitted for the live-work units. With Council's direction to remove the live-work units from the development, the CD zone is no longer appropriate. Accordingly, the CD Zone (By-law 19384) is to be filed and a new By-law is proposed to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)".
- The setback reductions previously incorporated into the CD Zone are now proposed as a Development Variance Permit. The west, north, and east setbacks remain the same as previously proposed under the CD Zone. The south yard setback has been increased to 4.5 metres (15 ft.) from 3 metres (10 ft.), as the previous setback was intended to recognize the commercial expression of the two live-work buildings fronting 23 Avenue. With the removal of the live-work component, a setback consistent with the west and north yard setbacks of the development is more appropriate and also consistent with similar townhouse developments fronting local roads in Sunnyside Heights.

Special Residential Designation

- The subject properties are designated "Special Residential 15-25 upa" in the Sunnyside Heights Neighbourhood Concept Plan (Appendix VII).

- The intent of the Special Residential 15-25 upa areas is to provide a flexible option for commercial and residential development. This designation permits and encourages the development of a medium density dual use (residential and business) neighbourhood allowing a wide array of compatible businesses such as artists workshops / studios, craft stores, shops, and similar small-scale retail businesses, personal service uses, and consultants' offices, consistent with those permitted under the "Neighbourhood Commercial Zone (C-5)".
- This designation provides for a flexible development form permitting limited and voluntary retail or service commercial uses on the ground floor of a townhouse or single family dwelling. These commercial areas are intended to serve the local neighbourhood, while the commercial lands outside the NCP in Grandview Corners are expected to encompass a larger trade area.
- The Special Residential designation exists only in this area of the Sunnyside Heights NCP, located near the intersection of 168 Street and 24 Avenue. The NCP identifies three separate land consolidation areas to which the Special Residential designation applies, and the subject properties comprise one of these three areas (Appendix VIII).

Council Direction to Remove the Live-Work Uses

- Given Council's direction to remove the live-work component of the project, the CD Zone that includes the live-work uses must be filed and a new rezoning By-law is proposed to rezone the site to "Multiple Residential 30 Zone (RM-30)".
- The "Commercial" designation of the OCP only permits multi-unit residential when the ground-level uses are exclusively commercial. Since no commercial uses are proposed for the 40 townhouse on the site, an OCP amendment is required to change the designation from "Commercial" to "Urban".
- As noted above, the intent of the Special Residential designation is to provide a flexible option for commercial and residential development, and to permit and encourage the development of live-work uses. Given that the Special Residential designation does not explicitly require the commercial component, the revised proposal for 100% townhouses does not require an amendment to the NCP. Indeed, there is merit in maintaining this designation in the NCP in order to achieve some live-work development on the remaining two land consolidation areas in this neighbourhood. The following explains in more detail the benefits of having live-work located within the neighbourhood.

Achieving Live-Work in Future Developments

- The live-work units permitted by the Special Residential designation of the Sunnyside Heights NCP are intended to provide a suitable transition from the mixed use commercial-residential development anticipated at the corner of 168 Street and 24 Avenue. The live-work uses also serve to animate the surrounding neighbourhood by providing pedestrian activity along the street.

- Live-work units have been successfully achieved in several other areas of the city. Under Development Application No. 7905-0359-00 located at 18819-188 Street, ten (10) live-work units were developed. Six (6) live-work units were achieved at 14925-60 Avenue under Development Application Nos. 7910-0219-00 and 7913-0145-00. Street level images of these two examples are shown in Appendix IX and illustrate an attractive pedestrian streetscape that is also envisioned in this neighbourhood.
- The compatibility of live-work units with surrounding residential neighbourhood is ensured by clearly defining the permitted uses in a CD Zone and by limiting the commercial floor area provided in each unit. For example, the functional commercial floor space of the live-work units proposed for the subject site was 16 square metres (170 sq. ft.). These small spaces provide relatively affordable commercial spaces for local business owners.
- The CD Zone that defines the permitted uses will also typically require the commercial space to be operated by the occupant of the dwelling unit, which ensures that the business owner is actually part of the neighbourhood in which they operate.
- One of the concerns raised at the Public Hearing for the subject proposal was the potential for street parking issues related to the live-work units. While the subject application will have on-street parking available on two road frontages - 23 Avenue to the south and 167A Street to the west - no on-street parking is available on 168 Street given its arterial classification.
- The other two Special Residential parcels identified in the Sunnyside Heights NCP will not have the same street parking constraints as the subject application. The site located to the west will have 4 separate street frontages, each permitting street parking. The site located to the northwest of the subject site will only have 2 street frontages that permit street parking. However, both sites are located adjacent to the South Surrey Operations Centre. The entire western side of 167 Street that borders the Operations Centre will permit street parking, and there will not be the same street parking pressure given the non-residential use of this site (Appendix VIII).
- Live-work units are not anticipated to be significant sources of traffic congestion or parking demand for this neighbourhood, given the supply of on-street parking, the size of the live-work commercial spaces, and the uses envisioned under the Special Residential designation, which are intended to serve the immediate residential community. To-date staff have not received any on-street parking complaints related to the live-work units located at 18819-188 Street or at 14925-60 Ave.

DESIGN PROPOSAL AND REVIEW

Site Layout

- The development proposal has been revised to remove the 12 live-work units and to reflect the increased setback for the units fronting 23 Avenue (Appendix II).

- The removal of the live-work component and increased south yard setback required modifications to the units in Buildings 5 and 6 (previous live-work buildings). Each of the 12 units are approximately 11 square meters (115 sq. ft.) smaller than previously proposed.
- The unit density of the proposed development remains unchanged. The development has a proposed net density of 63 units per hectare (25.4 u.p.a.) and a floor area ratio (FAR) of 0.82. Both the unit density and FAR are below the maximum unit density of 75 u.p.h. (30 u.p.a) and 0.90 FAR permitted under the RM-30 Zone, and is consistent with the "Special Residential (15-25 upa)" designation of the NCP.
- Due to the proposed changes to Buildings 5 and 6 to reflect the removal of the live-work units, additional urban design and landscaping reviews will be required as a condition of Final Approval of the Development Permit.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variances:

- increase the minimum east yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.8 metres (25.5 ft.) to the principal building face and reduce the minimum east yard setback of RM-30 Zone from 7.5 metres (25 ft.) to 7.3 metres (24 ft.) for projections for building 5;
- to reduce the minimum west yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.9 metres (13 ft.) for projections for buildings 1 and 6;
- to reduce the minimum south yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 4.2 metres (14 ft.) for projections for buildings 5 and 6; and
- to reduce the minimum north yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face of building 2 and to 6.9 metres (23 ft.) to building 4.

Applicant's Reasons:

- The proposed variances maximize the ability to lay out the site in a manner that maximizes tree retention and allows for functional access and circulation for the proposed units on the site.
- The east yard setback will be densely landscaped with trees and shrubs to provide visual separation and privacy from 168 Street.

Staff Comments:

- The proposed minimum rear yard (north) setback (adjacent to the future mixed-use commercial-residential development) is reduced to 4.5 metres (15 ft.) from the side of Building 2. This reduced setback is acceptable given the anticipated future mixed-use commercial-residential development on the adjacent site to the north.
- The proposed side yard (east) setback is increased to 7.8 metres (26 ft.) to the building face, (7.3 metres (24 ft.) to the canopy). This increased setback is to allow for a landscaped buffer between the townhouse and 168 Street, which is an arterial road, and to allow for a multi-use pathway that will run parallel to 168 Street. This setback is consistent with the requirements of the Sunnyside Heights NCP.
- The proposed side yard (west) and side yard (south) setbacks are reduced to 4.5 metres (15 ft.) to the building face. This reduced setback is consistent with similar townhouse developments fronting local roads in Sunnyside Heights.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Floor Plans for Buildings 5 and 6, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Initial Planning Report No. 7916-0623-00, dated October 2, 2017
Appendix V.	Development Variance Permit No. 7916-0623-00
Appendix VI.	OCP Re-designation Map
Appendix VII.	Sunnyside Heights NCP Land Use Map
Appendix VIII.	Sunnyside Heights NCP Special Residential Designation Areas
Appendix IX.	Examples of Live-Work Developments

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

RJG/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

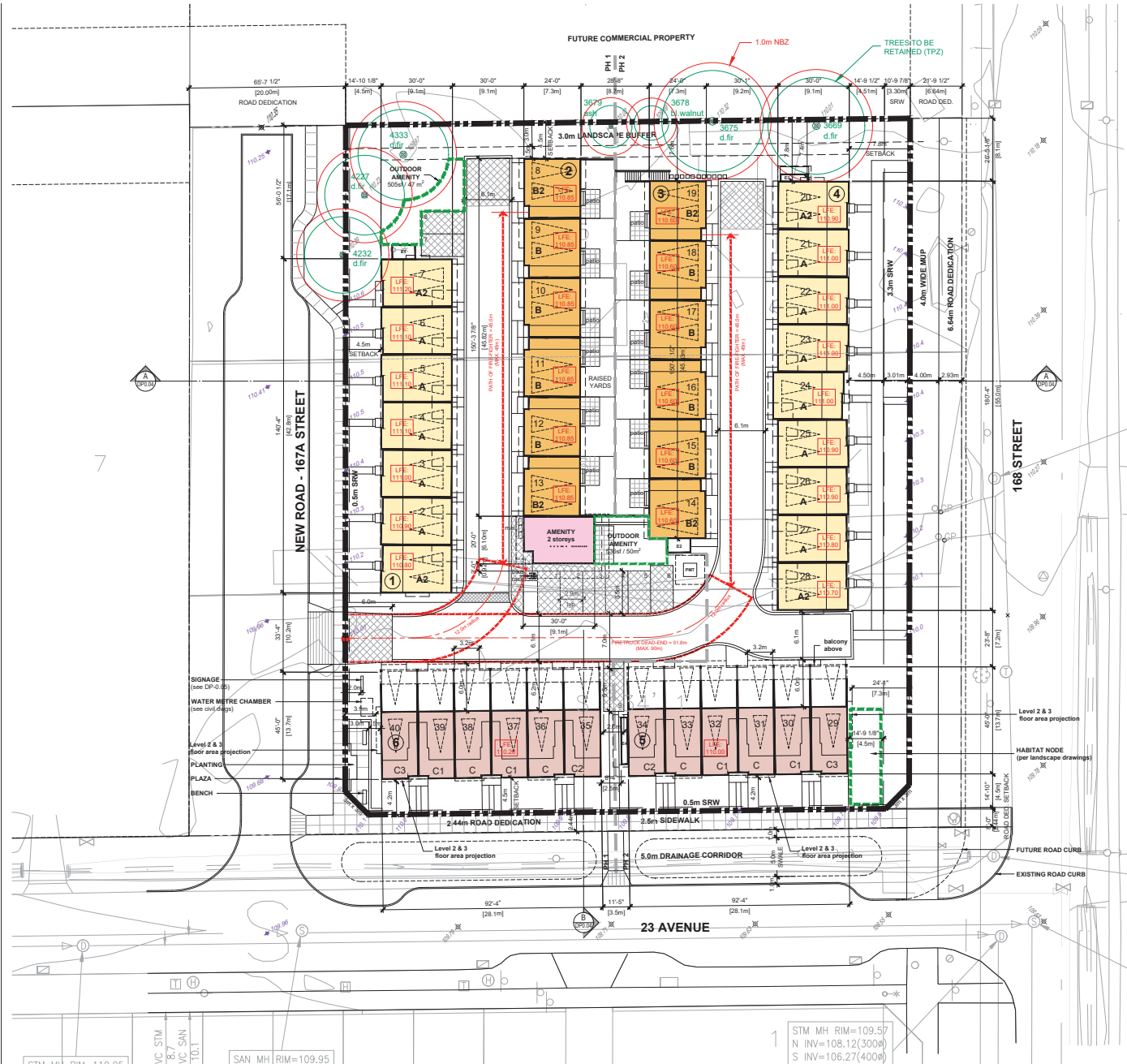
Required Development Data	Minimum Required / Maximum Allowed (RM-30)	Proposed
LOT AREA* (in square metres)		
Gross Total		0.898 ha (2.2 ac)
Road Widening area		0.261 ha (0.64 ac)
Undevelopable area		
Net Total		0.637 ha (1.58 ac)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m (25 ft.)	4.5 m (4.2 to canopy)
Rear	7.5 m (25 ft.)	4.5 m
Side #1 (W)	7.5 m (25 ft.)	4.5 m (3.9 to canopy)
Side #2 (E)	7.5 m (25 ft.)	7.8 m (7.3 to canopy)
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	10.11
Accessory	4.5	4.5
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		40
Total	40	40
FLOOR AREA: Residential	0.9 FAR (5,733 m ²)	0.82 (5,204.8 m ²)
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		5,204.8 m ²

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	40	40
FAR (gross)		
FAR (net)	0.90	0.82
AMENITY SPACE (area in square metres)		
Indoor	120 m ²	120 m ²
Outdoor	120 m ²	97 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	80	80
Residential Visitors	8	9
Institutional		
Total Number of Parking Spaces	88	89
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units	40/ 50%	12/ 30%
Size of Tandem Parking Spaces width/length		3.2 m / 6.1 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



SITE RECONCILIATION

LEGAL DESCRIPTION:
SOUTH 134 FEET LOT 1 EXCEPT SOUTH 33 FEET SECTION 13 TOWNSHIP 1 NWD PLAN 7992,
LOT 6 SECTION 13 TOWNSHIP 1 NWD PLAN 14691 AND
LOT 5 SECTION 13 TOWNSHIP 1 NWD PLAN 14691

CIVIC ADDRESS:
2315, 2323 AND 2331 - 168th St. SURREY, BC

OCF: EXISTING: COMMERCIAL
NCP: EXISTING: SPECIAL RESIDENTIAL (15-25 UPA), SUNNYSIDE HEIGHTS
ZONE: EXISTING: RA (ONE ACRE RESIDENTIAL ZONE)
PROPOSED: RM-30

LOT AREAS:
GROSS LOT AREA = 96,610sf / 8,975.4m² / 2.218ac / 0.896ha
ROAD DEDICATIONS = 28,291sf / 2,633.3m² / 0.635ac / 0.250ha
NET LOT AREA = 68,319sf / 6,372.3m² / 1.575ac / 0.637ha

LOT COVERAGE:
PERMITTED: 40% (2,567.9m² / 6,372.3m²)
PROPOSED: 40% (2,567.9m² / 6,372.3m²)

DENSITY:
PERMITTED UPA (per NCP): 25 upa
PROPOSED UPA: 25 upa (25.4 upa = 40 units / 1.575ac)

PERMITTED FAR: 0.90
PROPOSED FAR: 0.82 (5,204.8m² / 6,372.3m²)

SETBACKS: PROPOSED TO BUILDING FACE: SOUTH (FRONT) 4.5m, NORTH (REAR) 4.5m, EAST (SIDE, EXT) 7.8m, WEST (SIDE, EXT) 4.5m. PROPOSED TO FARTHEST PROJECTION: 4.2m (AT BLDG 5, UNIT 29, 31, 33 & AT BLDG 6, UNIT 36, 38, 40), 7.3m (AT BLDG 5, UNIT 29), 3.9m (AT BLDG 6, UNIT 40)

BUILDING HEIGHT: ALLOWED: MAX. 13.0m, PROPOSED: 10.11m (BLDG. 5 & 6)

VISITOR PARKING: REQUIRED: 40 UNITS x 0.2 = 8 CARS, PROVIDED: 9 CARS

OUTDOOR AMENITY: REQUIRED: 40 UNITS x 3m = 120m² (1,292sf), PROVIDED: 97m² (1,046sf), CASH-IN-LIEU FOR THE SHORTFALL OF 23m² (248sf)

INDOOR AMENITY: REQUIRED: 40 UNITS x 3m = 120m², PROVIDED: 121.5m² (1,309sf)

UNIT DATA AND FLOOR AREA SUMMARY							
UNIT TYPE	COUNT	GARAGE	LOWER	MAIN	UPPER	UNIT LIVING AREAS	SITE TOTALS
A - 3 BED	12	413 sq ft	1880 sq ft	551 sq ft	630 sq ft	1,361 sq ft	16,332 sq ft
A2 - 3 BED	4	413 sq ft	1810 sq ft	572 sq ft	630 sq ft	1,388 sq ft	5,502 sq ft
B - 3 BED	8	494 sq ft	950 sq ft	650 sq ft	650 sq ft	1,398 sq ft	11,188 sq ft
B2 - 3 BED	4	494 sq ft	950 sq ft	650 sq ft	650 sq ft	1,400 sq ft	5,624 sq ft
C1 - 3 BED	4	251 sq ft	1520 sq ft	600 sq ft	618 sq ft	1,408 sq ft	5,784 sq ft
C1 - 3 BED	4	250 sq ft	1534 sq ft	613 sq ft	613 sq ft	1,409 sq ft	5,836 sq ft
C2 - 3 BED	2	253 sq ft	1440 sq ft	620 sq ft	620 sq ft	1,424 sq ft	2,848 sq ft
C3 - 3 BED	2	254 sq ft	1544 sq ft	672 sq ft	684 sq ft	1,540 sq ft	3,080 sq ft
TOTAL	40						96,024 sq ft 8,975.4 m ²

LOT COVERAGE SUMMARY			
BLDG	# OF UNITS	LOT COVERAGE	
1	7	4,542 sq ft	421.9 m
2	6	4,637 sq ft	430.7 m
3	6	3,969 sq ft	368.7 m
4	9	5,792 sq ft	538.0 m
5	6	4,383 sq ft	407.1 m
6	6	4,324 sq ft	401.6 m
TOTAL	40	27,548 sq ft	2,567.9 m



PROPOSED CIVIL GRADES
EXISTING SURVEY GRADES



CITY OF SURREY FILE #:
7916-0023-00

- 2017-11-02 LIVE-WORK REMOVAL
 - 2017-09-21 ROAD DEDICATION REVISIONS
 - 2017-09-08 PLANNING COMMENTS
 - 2017-07-26 PLANNING COMMENTS
 - 2017-04-21 SP REVISIONS
 - 2016-10-04 ISSUED FOR RZ / DP
- REVISIONS
CONSULTANT

CLIENT
Royaie Properties (Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET AT 23 AVENUE SURREY, BC

DRAWING TITLE

SITE PLAN

DATE: 2016.05.19 FILE NO.
DWN: jk.ms
CHK: ch 1611A

SEAL

SHEET NO.

DP-0.1

APPENDIX II



EAST STREETScape - 168 STREET @ BLDG FACE



EAST STREETScape - 168 STREET @ STREET

- 2017-09-08 PLANNING COMMENTS
- 2017-07-26 PLANNING COMMENTS
- 2017-04-21 PLANNING COMMENTS
- DP REC'D 2016-10-04
- 2016-10-04 ISSUED FOR RZ / DP

REVISIONS

CONSULTANT

CLIENT
Royaume Properties (Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET @ 23 AVENUE
SURREY, BC

DRAWING TITLE
COLOURED STREETScape

DATE	2016.09.19	FILE NO.	
DWN.	al		
CHK.	ch		1611A

SEAL
SHEET NO.
DP-0.0c

COLOUR SCHEME

- ENTRY DOOR:
BENJAMINE MOORE
HC-75 MARYVILLE BROWN
- ROOFING:
PABCO - PREMIER
PEWTER GRAY
- EXTERIOR CLADDING 3:
JAMES HARDIE SIDING
ARCTIC WHITE
- EXTERIOR CLADDING 2:
JAMES HARDIE SIDING
GRAY SLATE
- WINDOW TRIMS & FASCIAS:
BENJAMINE MOORE
OC-117 - 'SIMPLY WHITE'



- EXTERIOR CLADDING 1:
JAMES HARDIE SIDING
BOOTHBAY BLUE
- STONE:
CULTURED STONE
ECHO-RIDGE SOUTHERN LEDGESTONE
- WINDOW TRIMS & FASCIAS:
BENJAMINE MOORE
OC-117 - 'SIMPLY WHITE'
- EXTERIOR CLADDING 3:
JAMES HARDIE SIDING
ARCTIC WHITE
ALUM. REVEALS PAINTED TO
MATCH PANEL



- 2017-09-08 PLANNING COMMENTS
 - 2017-07-26 PLANNING COMMENTS
 - 2017-04-21 PLANNING COMMENTS
 - 2016-10-04 (REVISED FOR RZ / DP)
- REVISIONS
- CONSULTANT

CLIENT
Royale Properties
(Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY
DEVELOPMENT

148 STREET at 23 AVENUE
SURREY, BC

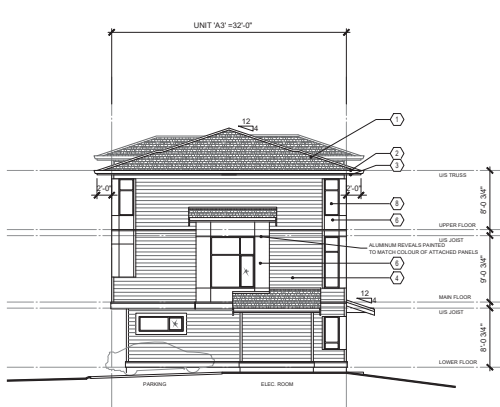
DRAWING TITLE

COLOUR SCHEME

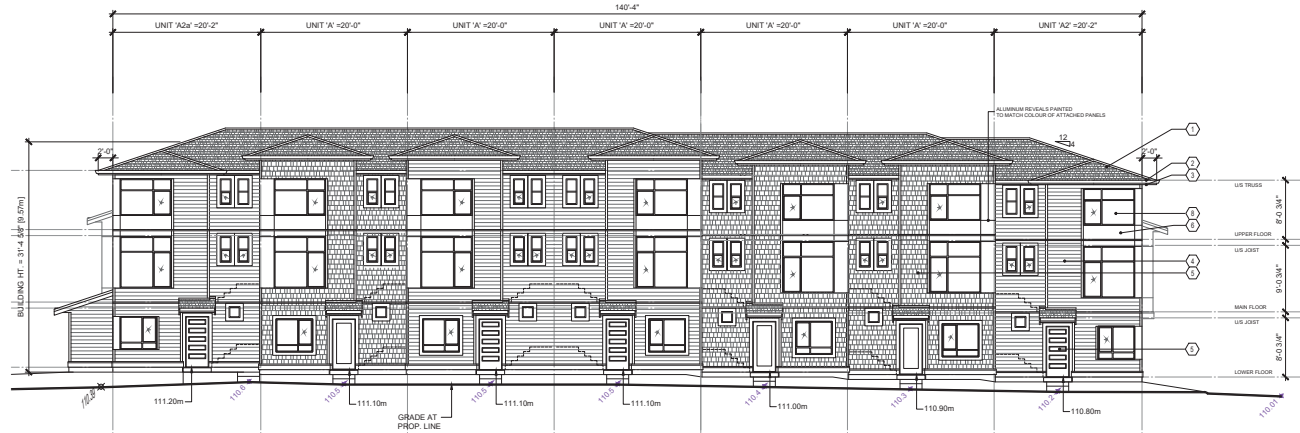
DATE: 2016.09.19 FILE NO.
DWN: al
CHK: ch **1611A**

SEAL
SHEET NO.

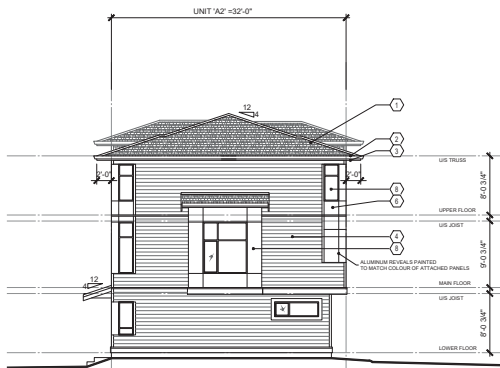
DP-0.0d



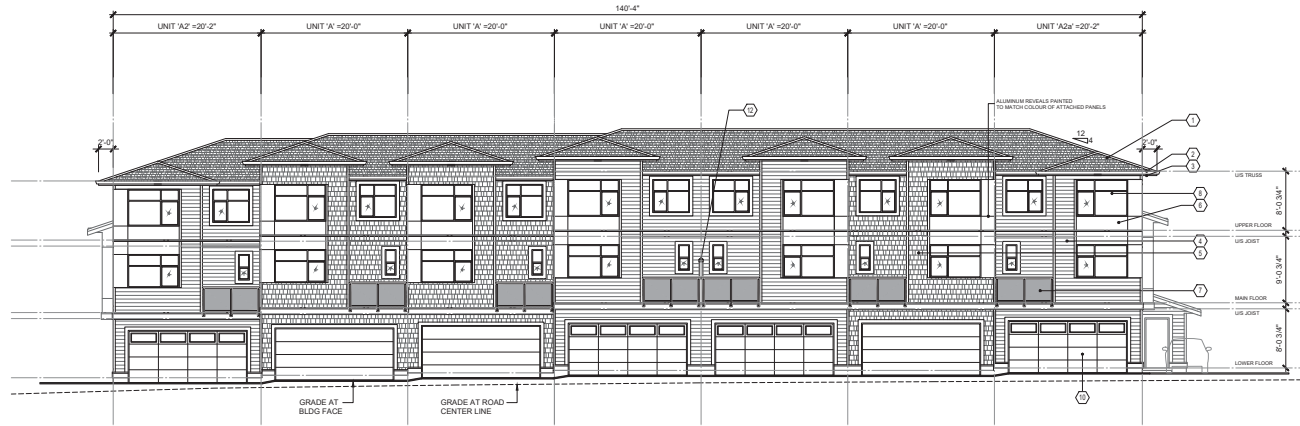
SIDE ELEVATION (north)
SCALE: 1/8"=1'-0"



FRONT ELEVATION (167A street)
SCALE: 1/8"=1'-0"

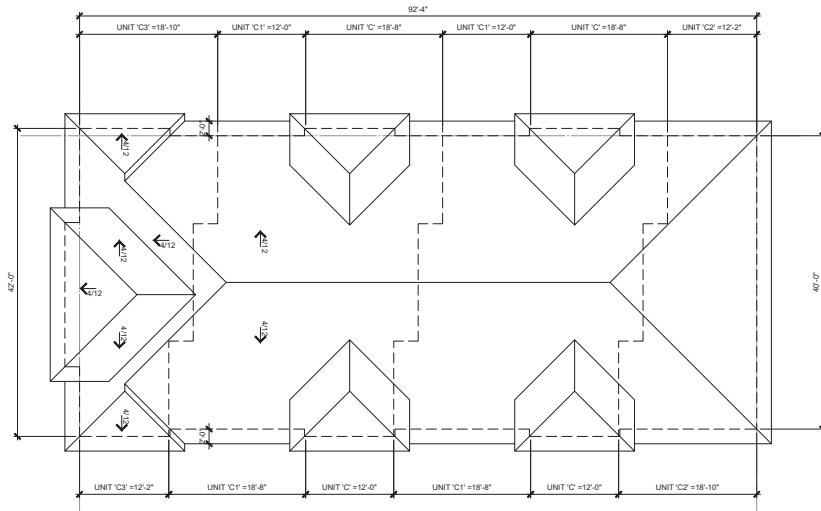


SIDE ELEVATION (south)
SCALE: 1/8"=1'-0"

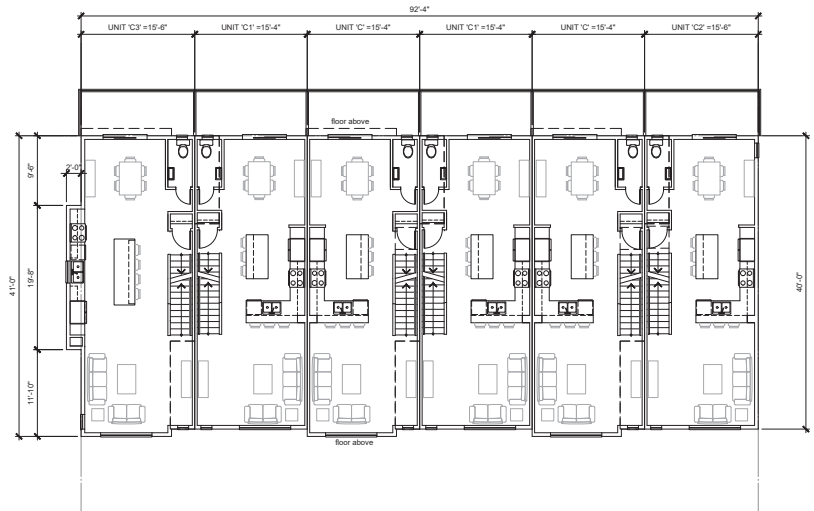


REAR ELEVATION (internal driveway)
SCALE: 1/8"=1'-0"

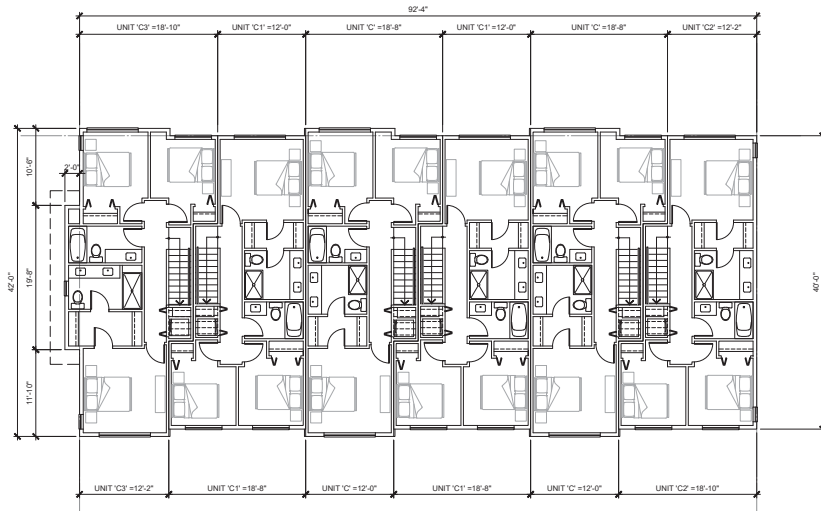
COLOUR SCHEME		ELEVATION MATERIAL LEGEND			
ROOFING	PABCO - PREMIER, PEWTER GRAY	1 ASPHALT SHINGLE ROOFING	2 PAINTED FIBER CEMENT BOARD PANEL SIDING w/ ALUMINUM REVEALS PAINTED TO MATCH PANEL	3 VINYL FRAME SLIDING PATIO DOOR	4 EXPOSED CONCRETE WALL w/ REVEALS
EXTERIOR CLADDING 1	JAMES HARDIE, BOOTHBY BLUE	5 PREFINISHED ALUMINUM GUTTER	6 ALUMINUM RAILING w/ GLASS INSERT	7 PAINTED GARAGE DOOR	8 ALLAN-BLOCK WALL
EXTERIOR CLADDING 2	JAMES HARDIE, GRAY SLATE	9 PAINTED WOOD TRIMS & FASCIA	10 VINYL FRAME WINDOW	11 EXTERIOR DOOR	12 METAL RAILING w/ PICKETS
EXTERIOR CLADDING 3	JAMES HARDIE, ARCTIC WHITE	13 CULTURED STONE		13 PRIVACY WALL	14 GALVANIZED METAL ROOFING
WINDOW TRIMS & FASCIA	BENJAMIN MOORE, OC-117 'SIMPLY WHITE'	14 PAINTED FIBER CEMENT BOARD HORIZONTAL SIDING			
ENTRY DOOR	BENJAMIN MOORE, HC-75 'MARYVILLE BROWN'				



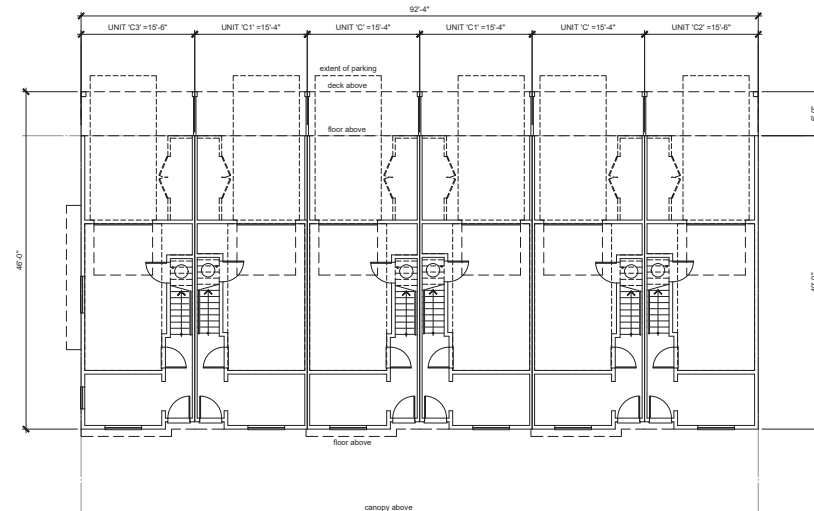
ROOF PLAN
SCALE: 1/8"=1'-0"



MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"



UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"



LOWER FLOOR PLAN
SCALE: 1/8"=1'-0"



- ▲ 2017-11-02 LIVE-WORK REMOVAL
- ▲ 2017-09-21 ROAD DEDICATIONS REVISIONS
- ▲ 2017-09-08 PLANNING COMMENTS
- ▲ 2017-07-26 PLANNING COMMENTS
- ▲ 2017-04-21 DP REVISIONS
- 2016-10-04 ISSUED FOR RZ / DP REVISIONS

CONSULTANT

CLIENT
**Royale Properties
(Grandview) Ltd.**

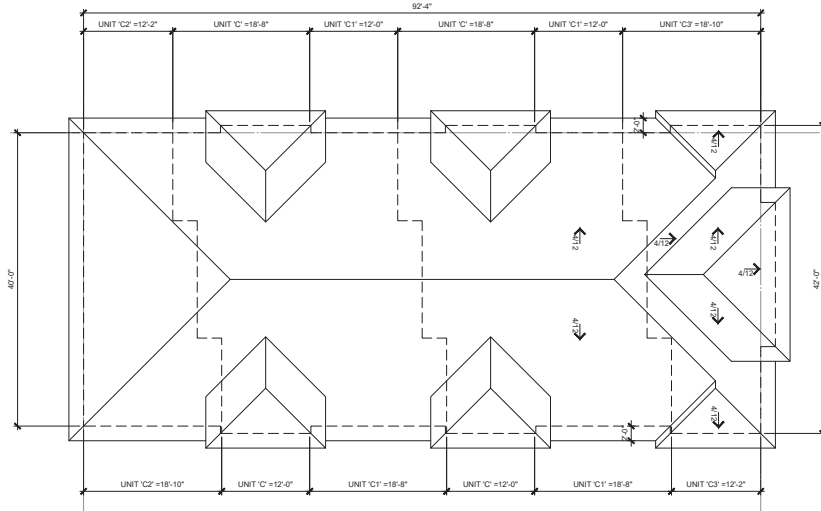
PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**
148 STREET at 23 AVENUE
SURREY, BC

DRAWING TITLE
**Building 6
Plans**

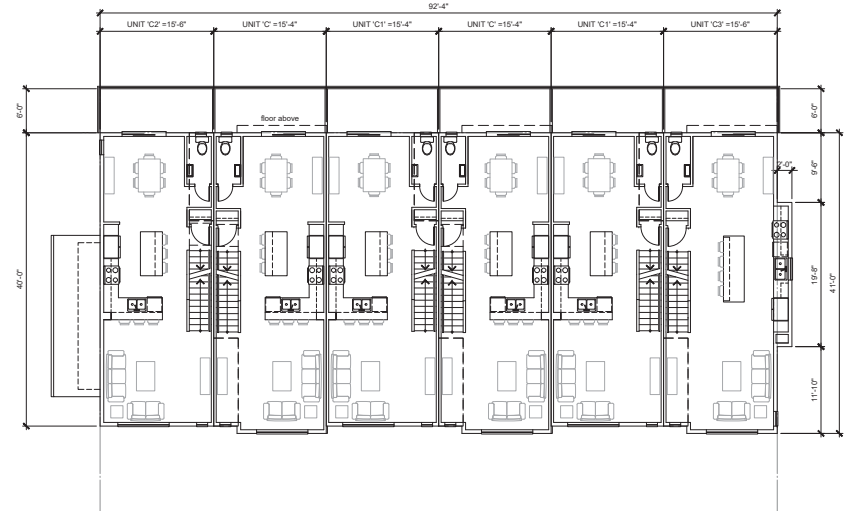
DATE: 2016.09.19 FILE NO.
DWN: ms
CHK: ch **1611A**

SEAL
SHEET NO.

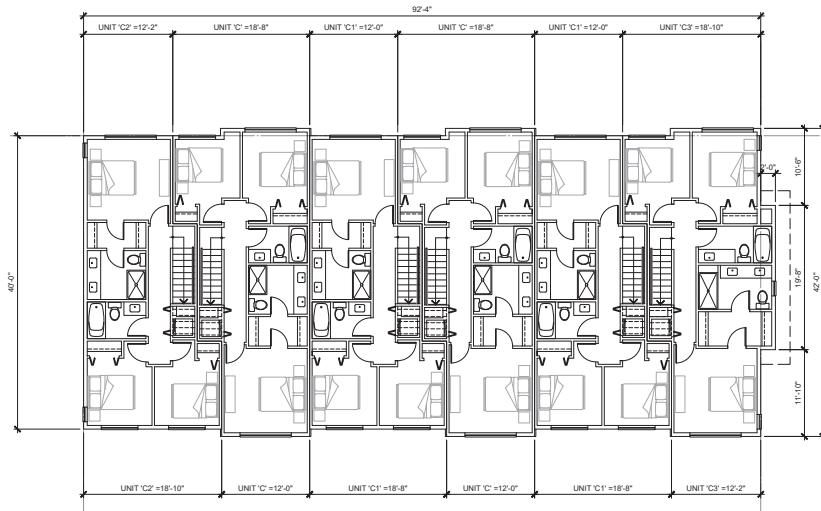
DP-6.01



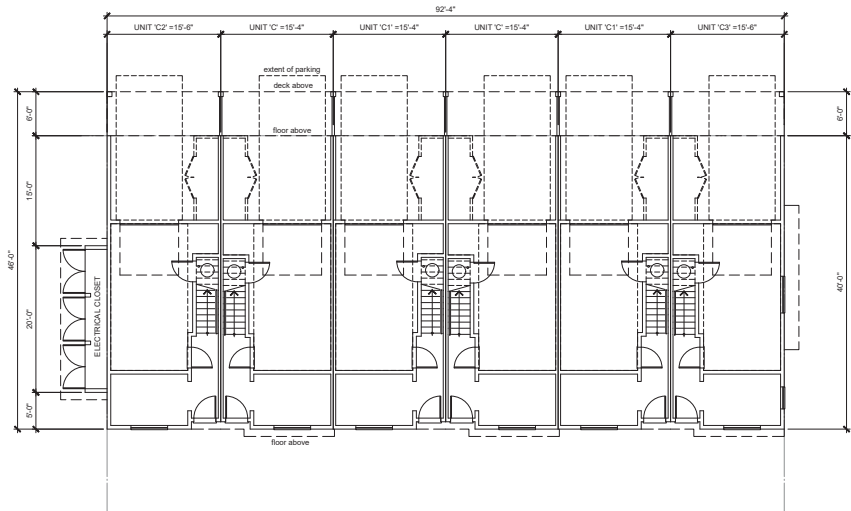
ROOF PLAN
SCALE: 1/8"=1'-0"



MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"



UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"



LOWER FLOOR PLAN
SCALE: 1/8"=1'-0"



2017-11-30	LIVE-WORK REMOVAL
2017-09-21	ROAD DESIGNATIONS REVISIONS
2017-09-08	PLANNING COMMENTS
2017-07-26	PLANNING COMMENTS
2017-04-21	OP REVISIONS
2016-10-04	ISSUED FOR RZ / DP
REVISIONS	
CONSULTANT	

CLIENT
**Royale Properties
(Grandview) Ltd.**

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**
148 STREET at 23 AVENUE
SURREY, BC

DRAWING TITLE
**Building 5
Plans**

DATE **2016.05.15** FILE NO.
DWN: **ms**
CHK: **ch** **1611A**

SEAL
SHEET NO.

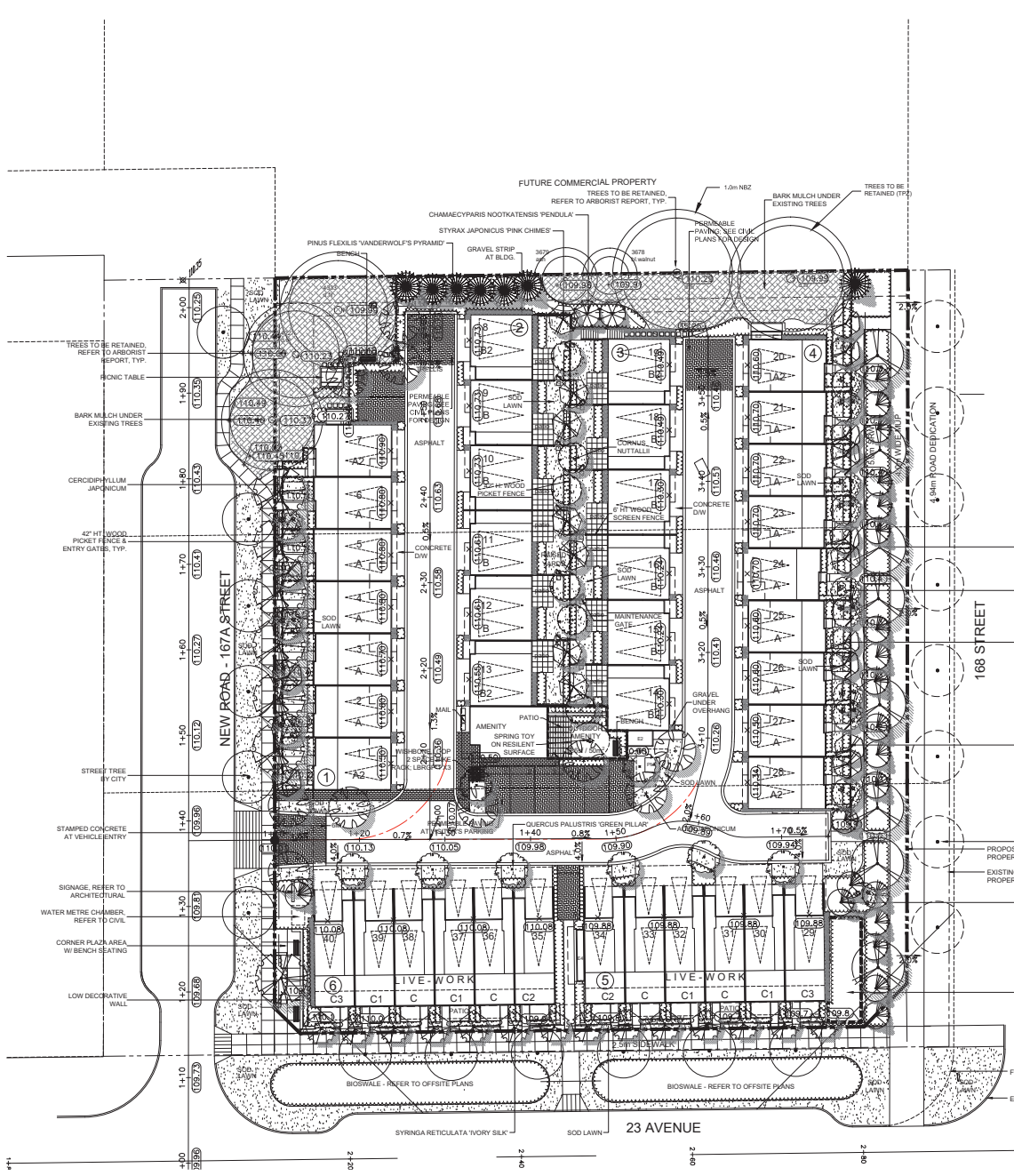
DP-5.01

SCALE:

PLANT SCHEDULE				PMG PROJECT NUMBER: 17-067
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
10		ACER JAPONICUM	FULLMOON MAPLE	6CM CAL: 1.8M STD, B&B
7		CERCIDIPHYLLUM JAPONICUM	KATSURRA TREE	6CM CAL: 1.8M STD, B&B
2		CHAMAECYPARIS NODOKATENSIS 'PENDULA'	WEeping NOOKTA CYPRESS	3M HT, B&B
13		CORNUS KOUSA X NUTTALLII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	5CM CAL: 1.5M STD
6		CORNUS NUTTALLII	PACIFIC DOGWOOD	2M HT, B&B
8		PARROTTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6CM CAL: 1.8M STD, B&B
21		PICEA OMORICA	SERBIAN SPRUCE	3M HT, B&B
7		PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LAMBER PINE	3M HT, B&B
13		PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL: 1.5M STD, B&B
8		QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6CM CAL: 1.8M STD, B&B
7		STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	5CM CAL: 1.5M STD, B&B
14		SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	6CM CAL: 1.8M STD, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKSMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

TOTAL REPLACEMENT TREES REQUIRED: 201
TOTAL REPLACEMENT TREES PROVIDED: 116



PLANT SCHEDULE (continued from table above)

PLANT LIST:

- PARROTTIA PERSICA 'VANESSA'
- CORNUS KOUSA X NUTTALLII 'STARLIGHT'
- PYRUS CALLERYANA 'CHANTICLEER'
- 42" HT. WOOD PICKET FENCE & ENTRY GATES, TYP.
- FUTURE STREET TREE BY CITY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PICEA OMORICA
- HABITAT NODE PER ARCHITECTURAL, 42" HT. SPLIT RAIL FENCE SURROUND

PROJECT: **PROPOSED MULTI-FAMILY DEVELOPMENT**
168 STREET AT 23 AVE. SURREY, BC

DRAWING TITLE: **LANDSCAPE PLAN**

DATE: 17.APRIL.24 DRAWING NUMBER: **L1**

SCALE: 1"=20'-0"

DRAWN: VR

DESIGN: VR

CHKD: MCY

PMG PROJECT NUMBER: 17-057

17057-3.2P

NO.	DATE	REVISION DESCRIPTION	DR.
2	17.09.08	FENCE DETAIL	VR
1	17.06.20	REVISION PER NEW SITE PLAN	VR

CLIENT:

PROJECT:

DRAWING TITLE:

DATE:

SCALE:

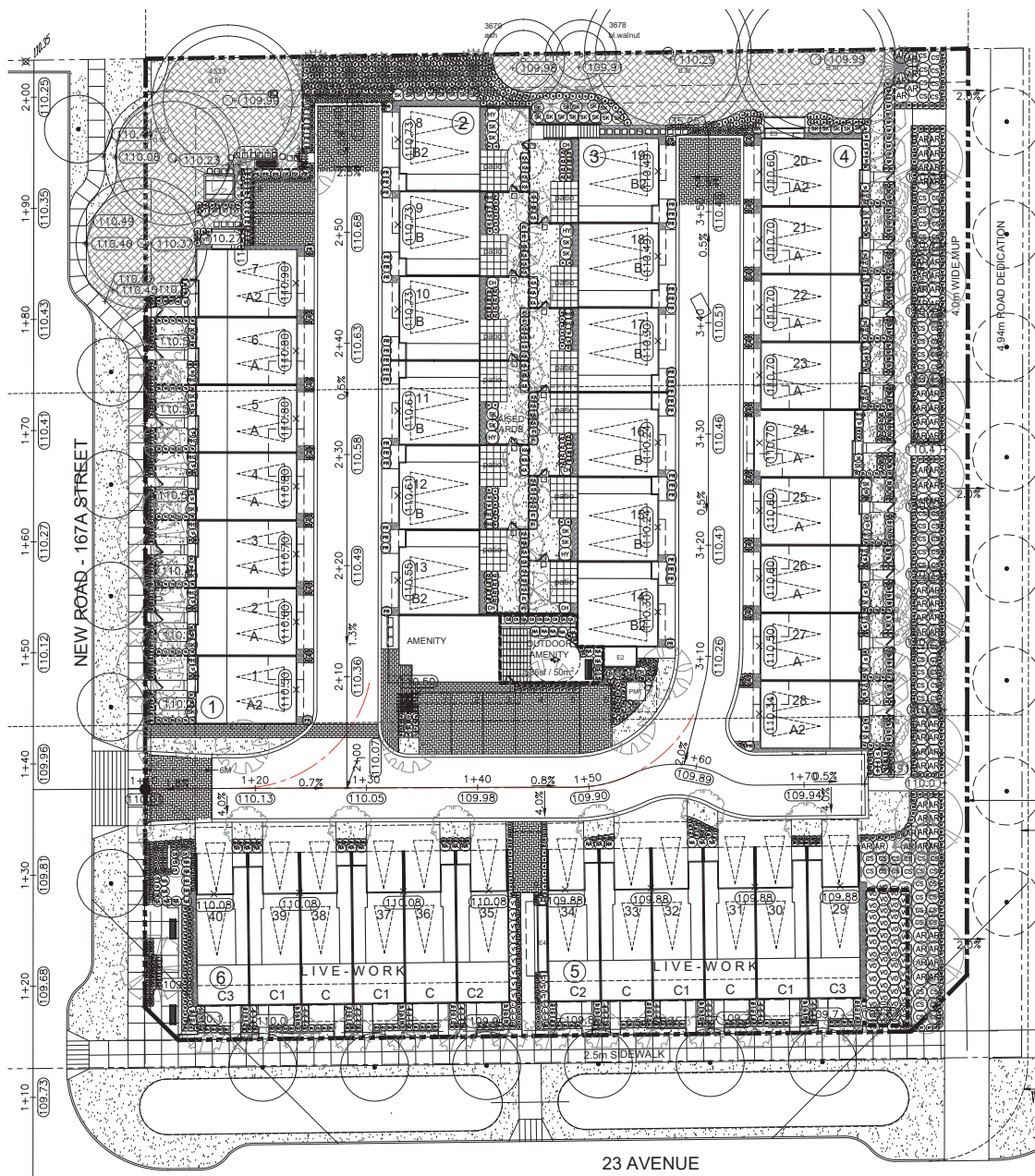
DRAWN:

DESIGN:

CHKD:

PMG PROJECT NUMBER:

SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 17-057
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
(A)	72	ARBITUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
(B)	26	AZALEA JAPONICA 'HARDYER BEAUTY'	AZALEA LIGHT PINK	#3 POT; 25CM
(C)	192	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(D)	9	CHORSYA TENATA	MEXICAN MOCK ORANGE	#3 POT; 50CM
(E)	80	CORNUS SERICEA	RED OSIER DOGWOOD	#3 POT; 50CM
(F)	4	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT; 80CM
(G)	39	KALIMA LATIFOLIA	MOUNTAIN LAUREL	#3 POT; 50CM
(H)	48	LONGERA NITIDA 'BAGSEEN'S GOLD'	BOXLEAF HONEYSUCKLE; GOLD	#3 POT; 50CM
(I)	39	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT; 40CM
(J)	10	PIERS JAPONICA 'MOUNTAIN FIRE'	JAPANESE ANDROMEDA	#3 POT; 50CM
(K)	76	PRUNUS LAUROCEARUS 'REYNOLDS'	RUSSIAN LAUREL	#3 POT; 60CM
(L)	15	RHOODOENDRON 'ANAH KRUSCHKE'	RHOODOENDRON; BLUE	#3 POT; 50CM
(M)	33	RHOODOENDRON 'BOW BELLS'	RHOODOENDRON; PINK	#3 POT; 50CM
(N)	33	RHOODOENDRON 'P.J.M.'	RHOODOENDRON; LIGHT PURPLE; E. MAY	#3 POT; 50CM
(O)	49	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
(P)	79	SPIREEA X BIMALIDA 'GOLDFLAME'	GOLDFLAME SPIREA	#2 POT; 50CM
(Q)	120	TAXUS X MEDIA 'HICKSF'	HICKS'S YEW	1.0M B&B
(R)	48	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
(S)	52	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 50CM
(T)	52	VIBURNUM TRICH SPRING DWARF	DWARF VIBURNUM	#3 POT; 50CM
(U)	16	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(V)	80	HELICTROCHON SEMIPERVENSIS	BLEU DE GRASS	#1 POT
(W)	82	IMPERATA CYLINDRICA 'RED BARRON'	BLOOD GRASS	#1 POT
(X)	186	MOLINA CAERULEA 'MOORFLAMME'	PURPLE MOOR GRASS	#1 POT
(Y)	88	Pennisetum alopecuroides 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
(Z)	339	STIPA TENISSIMA	MEXICAN FEATHER GRASS	#1 POT
(AA)	29	HEMEROCALLIS	DAYLILY	#1 POT; 1:2 FAN
(AB)	19	HOSTA FORTUNEI VARIEGATA	VAREGATED HOSTA	#1 POT; 1 EYE; HEAVY SHADE
(AC)	351	GALTHERIA SHALLOON	SALAL	#1 POT; 20CM
(AD)	33	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 15CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NO.	DATE	REVISION DESCRIPTION	DR.
2	17.09.08	FENCE DETAIL	MM
1	17.06.20	REVISION PER NEW SITE PLAN	MM

CLIENT:

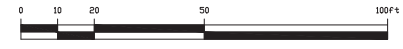
PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT AT 23 AVENUE
168 STREET AT 23 AVENUE, SURREY, BC

DRAWING TITLE:
LANDSCAPE SHRUB PLAN

DATE: 15.JUL.23 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: MCV

PMG PROJECT NUMBER: 17-057

23 AVENUE



17057-3.2P

L2

OF 4

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	17.AUG.20	REVISE PER NEW SITE PLAN	JM
2	17.SEP.08	FENCE DETAIL	

CLIENT:

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVE.
SURREY, BC

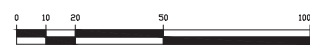
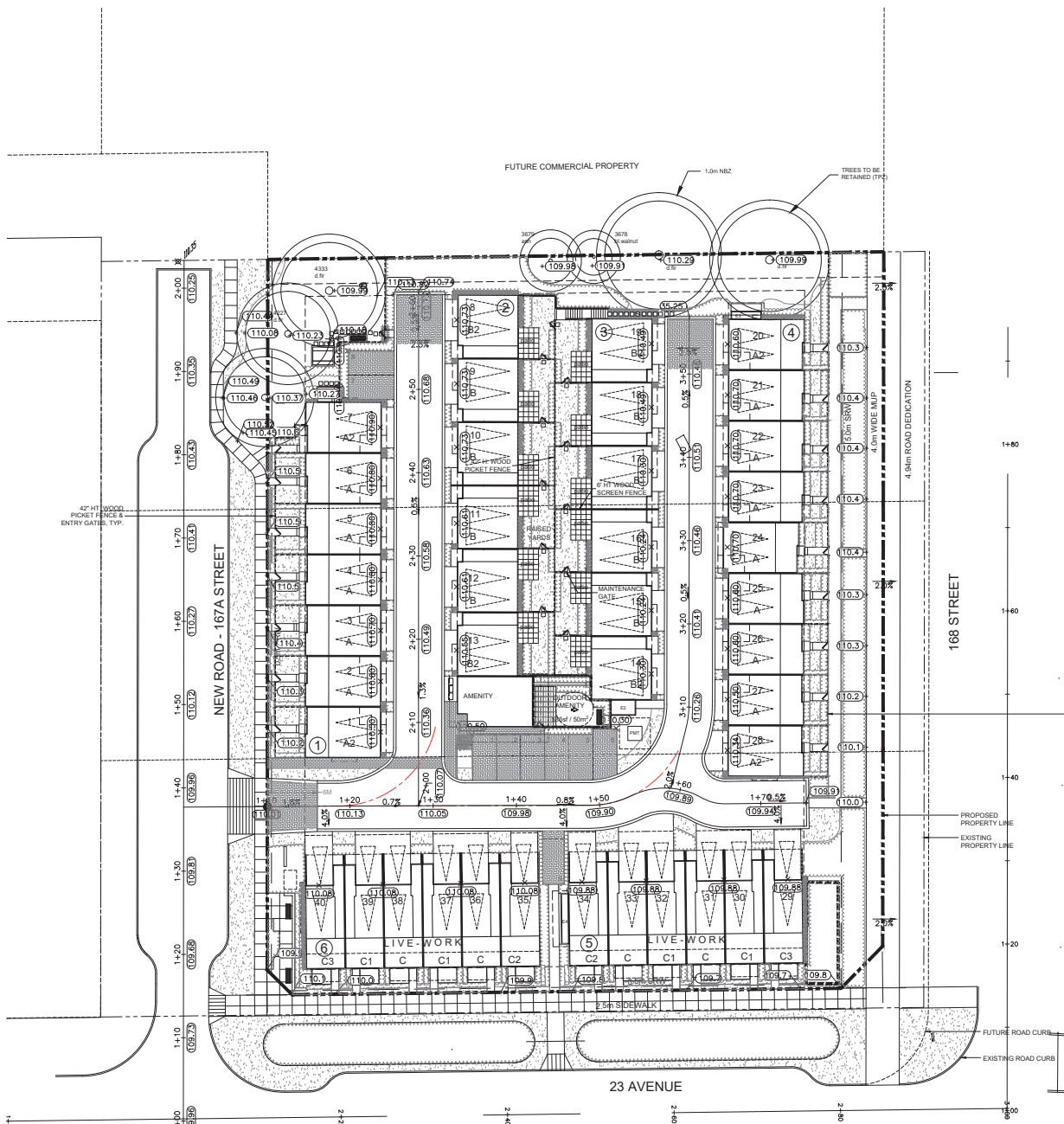
DRAWING TITLE:
LANDSCAPE FENCE PLAN

DATE: 17.APRIL.24 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: VR
DESIGN: VR
CHKD: MCY

L3

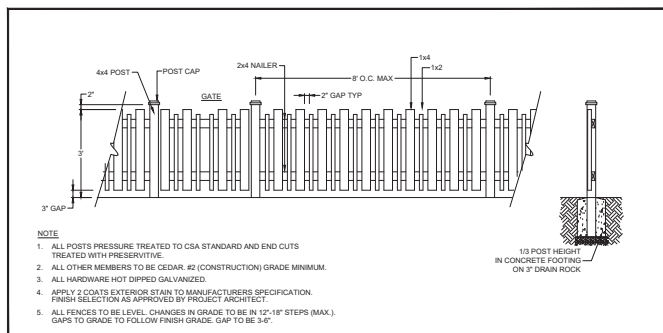
OF 4

PMG PROJECT NUMBER: 17057-3.2P

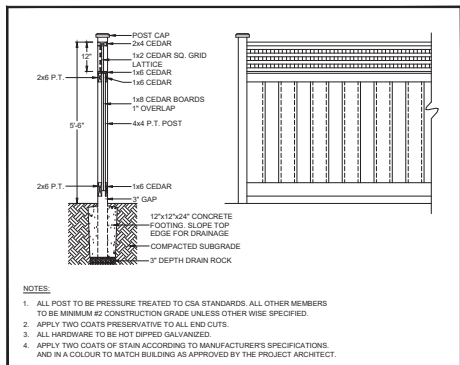


17057-3.2P

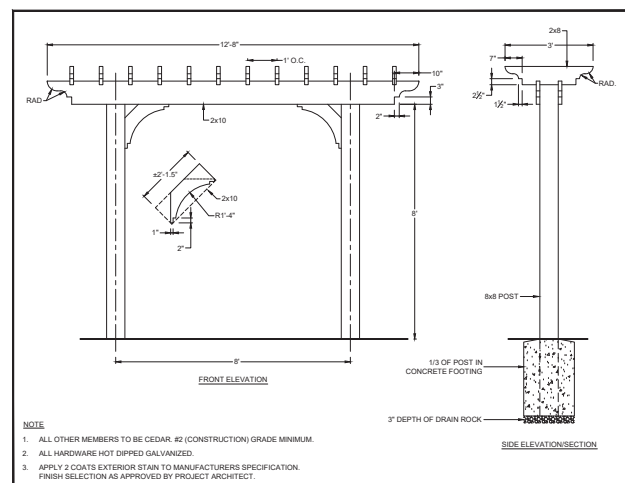
SCALE:



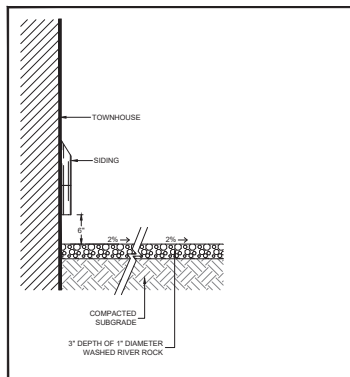
1 36" HT. PICKET FENCE AND GATE
L1 1/2"=1'-0"



2 PATIO SCREEN FENCE
L1 1/2"=1'-0"



3 WOOD TRELLIS
L1 1/2"=1'-0"



4 RIVER ROCK UNDER OVERHANG
L1 1/4"=1'-0"



KOMPAN SPRING RIDER: SPEEDER

2	17 SEPT 08	FENCE DETAIL	
1	17 JUL 20	REVISE PER NEW SITE PLAN	
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVE.
SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE:	17 APRIL 24	DRAWING NUMBER:
SCALE:	AS SHOWN	
DRAWN:	DO	L4
DESIGN:	PMG	OF 4
CHKD:	MCY	

TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: September 25, 2017 **PROJECT FILE:** 7816-0623-00

RE: Engineering Requirements
Location: 2315 168 Street

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment beyond those noted below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 6.642 m on 168 Street for ultimate 16.7 m wide Arterial Road allowance from center line.
- Dedicate 2.442 m on 23 Avenue for ultimate 25.0 m wide Local Road allowance, with 5.0 m width for drainage corridor.
- Dedicate 20.0 m on 167A Street for the 20.0 m wide Local Road allowance.
- Dedicate 3.0 m x 3.0 m corner cuts at 23 Avenue/167A Street and 23 Avenue/168 Street.
- Register 0.5 m wide SRW on 168 Street for Multi-Use Pathway.
- Register 0.5 m SRW on 23 Avenue and 167A Street for City service connections and access to sidewalk maintenance.

Works and Services

- Construct 4.0 m wide Multi-Use Pathway with concrete banding and lighting on 168 Street.
- Construct north side of 23 Avenue to Local Road standard with 10.5 m pavement width and 5.0 m wide drainage corridor, 2.5 m sidewalk and street lighting.
- Construct east side of 167A Street to Half Road standard with minimum 6.0 m wide pavement (ultimate 10.5 m), 1.5 m sidewalk and street lighting.
- Confirm downstream storm drainage system capacity; upgrade if required.
- Construct storm drainage system to service the development and all frontage roads.
- Provide onsite sustainable drainage works as required in the NCP and to account for the additional impervious area due to proposed increased density.
- Construct a 200 mm water main on 167A Street.
- Construct sanitary sewers to service the development following the Sunnyside Heights NCP with the flows directed north on 167A Street, west to 167 Street and connect to the sewer on 24 Avenue.
- Construct sanitary sewer on 168 Street, along the frontage of the development.
- Pay water, sanitary and storm latecomer charges relative to project 7812-0153-00.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

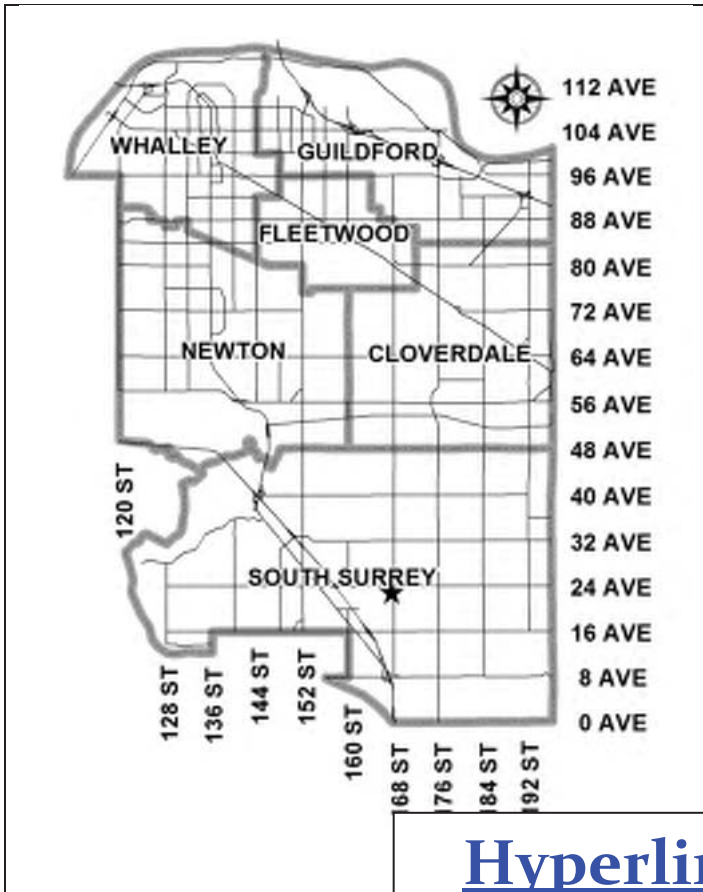
There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Rémi Dubé, P.Eng.
Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file

Planning Report Date: October 2, 2017



PROPOSAL:

- **OCPP Amendment** from Commercial to Urban
- **Rezoning** from RA to CD (based on RM-30 and C-5)
- **Development Permit**

to permit the development of 12 live work units and 28 townhouses.

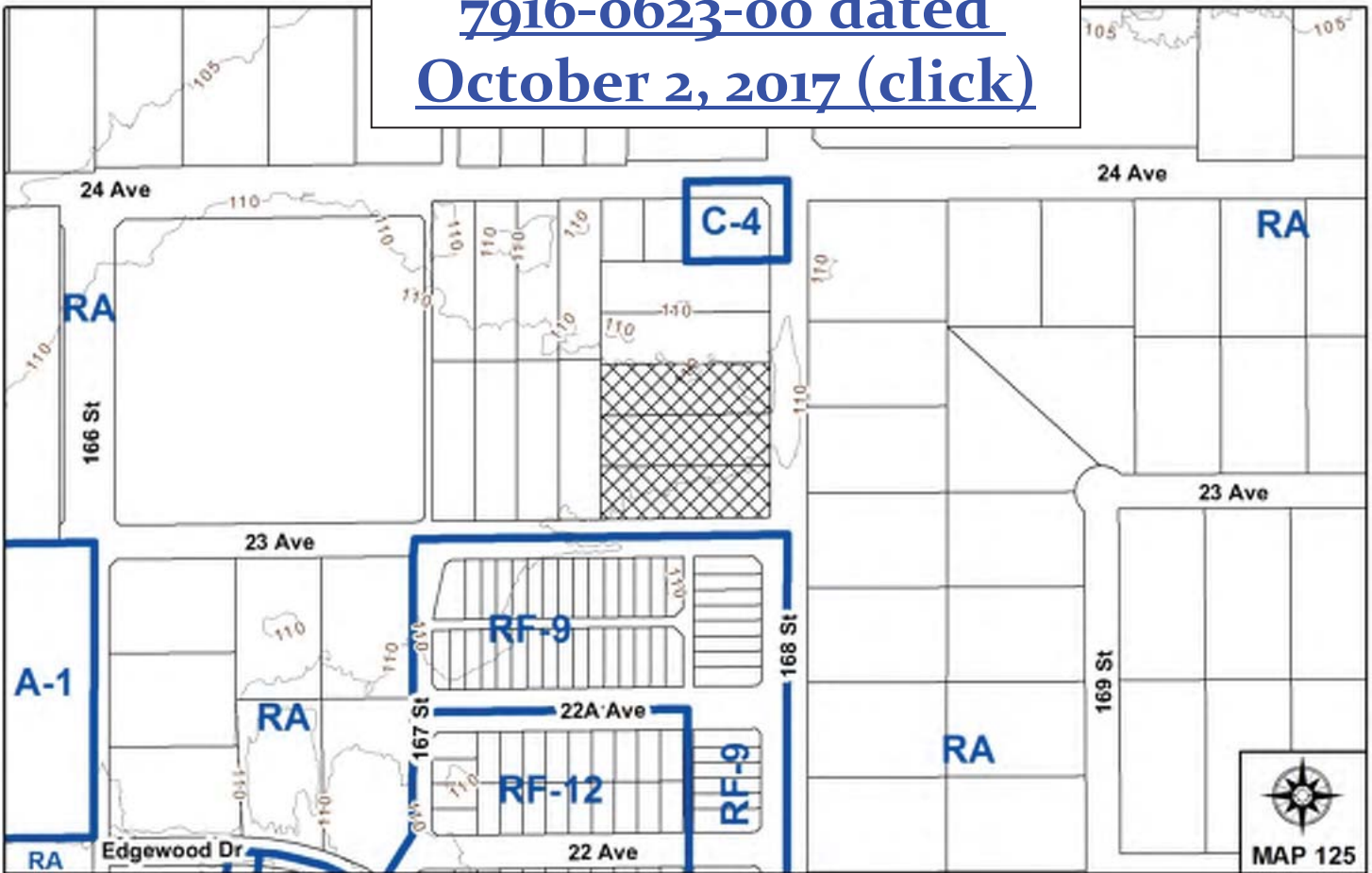
LOCATION: 2315 - 168 Street
 2331 - 168 Street
 2323 - 168 Street

ZONING: RA

OCPP DESIGNATION: Commercial

NCP DESIGNATION: Special residential 15-25 upa, Buffer, Edge Corridor 5 m.

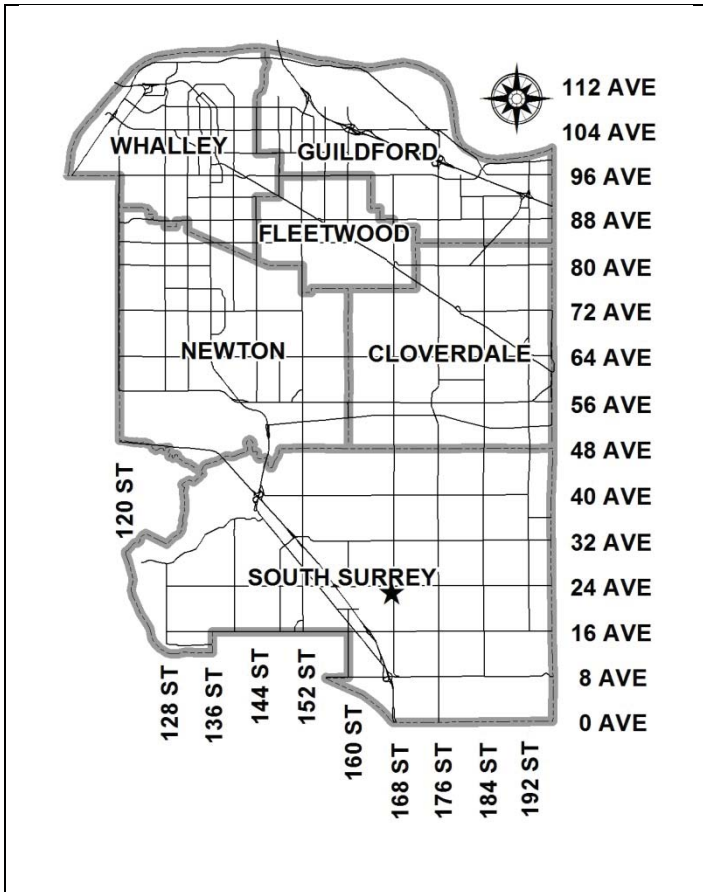
[Hyperlink to Report
 7916-0623-00 dated
 October 2, 2017 \(click\)](#)



City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0623-00

Planning Report Date: October 2, 2017



PROPOSAL:

- **OCP Amendment** from Commercial to Urban
- **Rezoning** from RA to CD (based on RM-30 and C-5)
- **Development Permit**

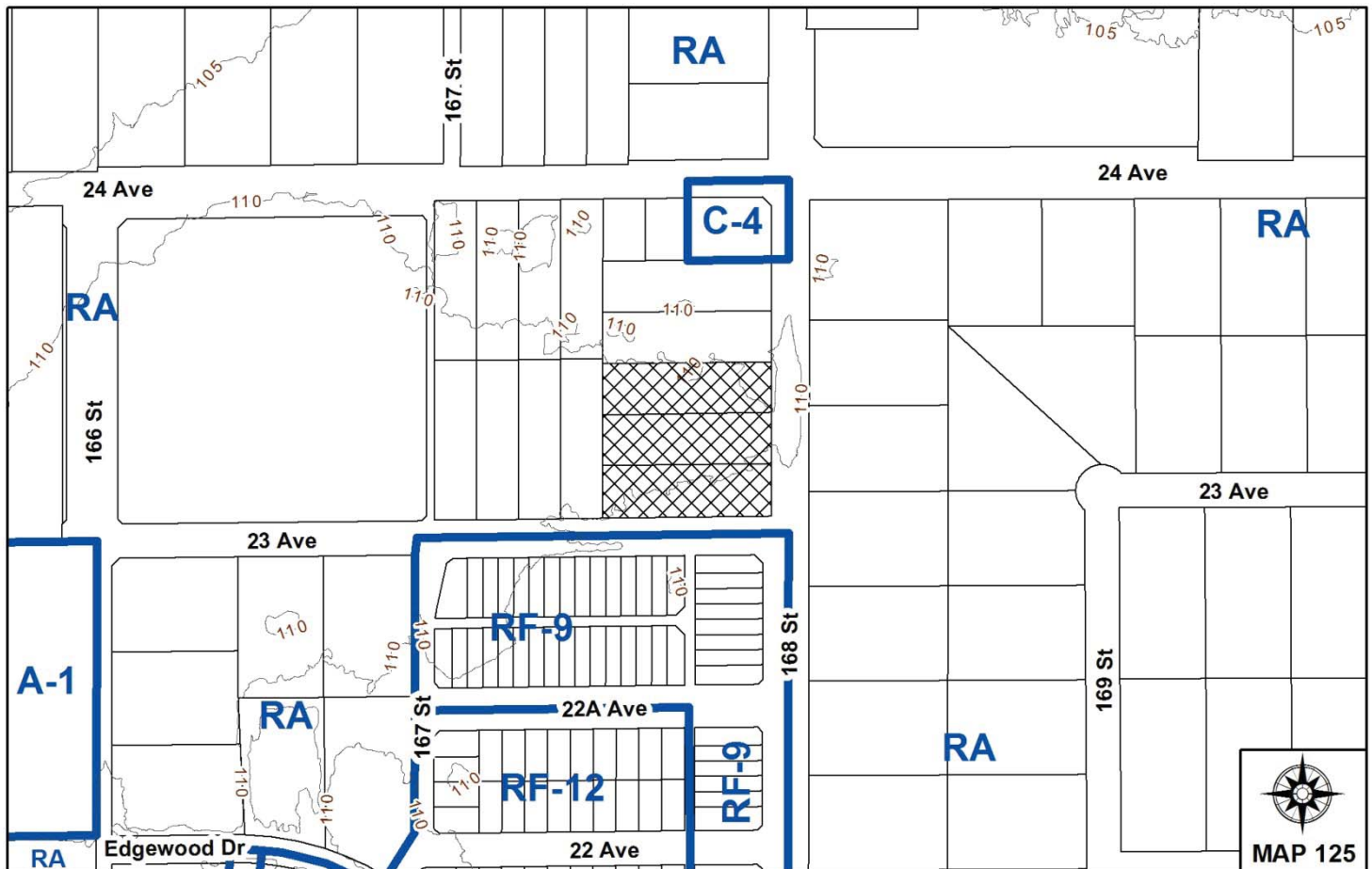
to permit the development of 12 live work units and 28 townhouses.

LOCATION: 2315 - 168 Street
 2331 - 168 Street
 2323 - 168 Street

ZONING: RA

OCP DESIGNATION: Commercial

NCP DESIGNATION: Special residential 15-25 upa, Buffer, and Drainage Corridor 5 m.



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to reduce the required outdoor amenity space.
- Approval to draft Development Permit 7916-0623-00.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The "Commercial" designation of the OCP only permits multi-unit residential when the ground-level uses are exclusively commercial. No commercial uses are proposed for the 28 townhouse on the northern portion of the site. Therefore, an OCP amendment is required to change the designation from "Commercial" to "Urban".

RATIONALE OF RECOMMENDATION

- The proposed development complies with the "Special Residential 15-25 u.p.a." designation of the Sunnyside Heights NCP.
- The proposed density and building form are appropriate for this part of Sunnyside Heights.
- The south portion of the site is being developed in accordance with the Sunnyside Heights NCP Special Residential designation. This portion is suitable for live-work type commercial uses as it has direct exposure on 23 Avenue.
- The intent of the Special Residential designation is to encourage the development of a medium density live-work neighbourhood that allows for a wide array of compatible businesses consistent with those permitted under the "Neighbourhood Commercial Zone (C-5)".
- The north portion of the site does not have any exposure to 23 Avenue, and 168 Street is an arterial road and would not permit street parking, which makes it less viable for a commercial enterprise.
- The applicant proposes to reduce the area of the outdoor amenity space by 23 square metres (248 sq. ft.). The portion of the proposed outdoor amenity located in the northwest corner of the site is adjacent to several trees proposed to be retained. There is considerable open space proposed on site, however, the tree protection areas of the retained trees are typically not permitted to be included as part of the outdoor amenity space calculations. The applicant proposes to pay cash-in-lieu to address the shortfall in outdoor amenity space.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP by redesignating the subject site in Development Application No. 7916-0623-00 from Commercial to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 120 square metres (1,292 square feet) to 97 square metres (1,044 square feet).
5. Council authorize staff to draft Development Permit No. 7916-0623-00 generally in accordance with the attached drawings (Appendix II).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey, arborist report, and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of an acoustical report for the units adjacent to 168 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;

- (i) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
- (k) the applicant adequately address the impact of reduced outdoor amenity space; and
- (l) registration of a Section 219 "No-Build" Restrictive Covenant on the portion of the lands proposed for the live-work units to ensure that the dwelling units will be built incorporating the commercial units in accordance with the BC Building Code.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**
 8 students at Pacific Heights Elementary School
 4 students at Earl Marriott Secondary School
 (Appendix IV)
 The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2019.

Parks, Recreation & Culture: The Parks, Recreation & Culture Department has no objection to the project.

Surrey Fire Department: The Fire Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Single family dwellings on large lots.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Single family dwellings on large lots	Commercial/ Commercial-Residential 25-45 u.p.a.	RA

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East (Across 168 Street):	Single family dwellings on large lots	Suburban-Urban Reserve	RA
South (Across 23 Avenue):	Small lot single family dwellings	Urban/ Medium Density Residential 10-15 u.p.a. & Low Density Residential 6-10 u.p.a.	RF-9
West:	Single family dwellings on large lots	Commercial/ Special Residential 15-25 u.p.a.	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The subject properties are designated "Commercial" in the Official Community Plan and "Special Residential 15-25 u.p.a." in the Sunnyside Heights Neighbourhood Concept Plan.
- The intent of the Special Residential areas is to provide a flexible option for commercial and residential development. This designation permits and encourages the development of a medium density dual use (residential and business) neighbourhood allowing a wide array of compatible businesses such as artists workshops / studios, craft stores, shops, and similar small-scale retail businesses, personal service uses, and consultants' offices, consistent with those permitted under the "Neighbourhood Commercial Zone (C-5)".
- For live-work units to be viable, the units need to be visible from the street and have access to street parking. 168 Street is an arterial road and street parking will not be permitted at this location adjacent to the subject property. 167A Street does not offer sufficient visibility for live-work units to be successful. Therefore it was determined the only appropriate location for the live-work units would be fronting 23 Avenue.
- The "Commercial" designation of the OCP only permits multi-unit residential when the ground-level uses are exclusively commercial. Since no commercial uses are proposed for the 28 townhouse on the northern portion of the site, an OCP amendment is required to change the designation from "Commercial" to "Urban".

DEVELOPMENT CONSIDERATIONS

Site context

- The subject site consists of three properties located on 168 Street, north of 23 Avenue. The site is approximately 0.9 hectares (2.2 acres) in area and is designated "Commercial" in the Official Community Plan (OCP) and "Special Residential (15-25 u.p.a.)" in the Sunnyside Heights Neighbourhood Concept Plan (NCP). The properties are currently zoned "One-Acre Residential Zone (RA)".

- The intent of the Special Residential areas is to provide a flexible option for commercial and residential development. This designation permits and encourages the development of a medium density dual use (residential and business) neighbourhood allowing a wide array of compatible businesses such as artists workshops / studios, craft stores, shops, and similar small-scale retail businesses, personal service uses, and consultants' offices, consistent with those permitted under the "Neighbourhood Commercial Zone (C-5)".
- The area bounded by 24 Avenue, 168 Street, 23 Avenue, and 167 Street is designated "Commercial" in the OCP and identified as a mixed-use commercial-residential hub in the Sunnyside Heights NCP.
- The surrounding neighbourhood consists of older single family homes on large lots to the north and west, single family homes on large suburban lots to the east, and small lot single family houses to the south.

Current Proposal

- The applicant proposes an amendment to the OCP to re-designate the land from "Commercial" to "Urban"; rezoning from "One-Acre Residential Zone (RA)" to a "Comprehensive Development Zone (CD)" based on RM-30 and C-5; and a Development Permit to permit development of 40 three-storey townhouse units, including 12 live-work units.
- The development has a proposed net density of 63 units per hectare (25.4 u.p.a.) and a floor area ratio (FAR) of 0.84. Both the unit density and FAR are below the maximum unit density of 75 u.p.h. (30 u.p.a) and 0.90 FAR permitted under the RM-30 Zone on which the CD Zone is based.

Proposed CD Zone

- The Zoning By-law does not have a classification for a mixed-use development of the size and scope that is being proposed; therefore rezoning to a Comprehensive Development (CD) Zone is required.
- The proposed CD By-law (Appendix VII) is based on the "Multiple Residential (30) Zone (RM-30)" and the "Neighbourhood Commercial Zone (C-5)". A comparison of the key criteria of the RM-30 Zone, C-5 Zone, and the proposed CD Zone is outlined in the table below:

	C-5	RM-30	CD Zone	
FAR	0.50	0.9	Block A:	0.77
			Block B:	1.10
			Average:	0.84*
Unit Density	n/a	75 u.p.h. (30 u.p.a.)	Block A:	57 u.p.h. (23 u.p.a.)
			Block B:	74 u.p.h. (30 u.p.a.)
			Average:	63 u.p.h.* (25 u.p.a.*)
Lot Coverage	50%	45%	Block A:	38%
			Block B:	50%
			Average:	40%*
Building Height	9 metres (30 ft.)	13 m (43 ft.)	13 m (43 ft.)	

	C-5	RM-30	CD Zone	
Setbacks	7.5 metres (25 ft.)	7.5 metres (25 ft.)	South	3.0 m/ 10 ft. (1.5 m/ 5 ft. to canopy)
			West	4.5 m/ 15 ft. (3.9 m/ 12.5 ft. to canopy)
			North	4.5 m/ 15 ft.
			East	7.8 m/ 26 ft. (7.3 m/ 24 ft. to canopy)
Permitted Uses	- Neighbourhood scale commercial uses (list in detail in Section B.1 and B.2 of the C-5 Zone).	- Multiple unit residential buildings; - Ground-oriented multiple unit residential buildings; - Child care centres (provide not a singular use on the lot).	- All uses permitted under the RM-30 Zone. - All uses permitted under Section B-1 of the C-5 Zone, excluding the following: <ul style="list-style-type: none"> • Neighbourhood Pubs; • Eating Establishments; • Indoor recreational facilities; • Community services; • Vehicle rentals; • Appliance repair shops; • Veterinary clinics • Adult education institutions; • Convenience stores; • Retail warehouses; and • Flea markets. 	

*An average across the entire site, Block A and Block B.

- The commercial uses permitted in the development are drawn from the C-5 Zone. However, neighbourhood pubs will not be permitted because of the location of the site and the neighbourhood character. Additionally, the CD By-law will not permit eating establishments due to the high parking requirement associated with this use.
- Other C-5 uses that have been excluded from the CD Zone include indoor recreational facilities, community services, vehicle rentals, veterinary clinics, adult education institutions, convenience stores, retail warehouses, and flea markets.
- The proposed unit density is 63 units per hectare (25.4 u.p.a.) and the proposed floor area ratio (FAR) is 0.84. Both the unit density and FAR are below the maximum unit density of 75 u.p.h. (30 u.p.a) and 0.90 FAR permitted under the RM-30 Zone on which the CD Zone is based.
- The proposed lot coverage is 40%, which is less than the maximum lot coverage permitted under the RM-30 Zone and C-5 Zone.
- The proposed minimum front yard (south) setback for principal buildings in the CD By-law is reduced from the RM-30 Zone. The setback to the building face will be 3.0 metres (10 ft.) from the front lot line (23 Avenue) rather than the 7.5 metres (25 ft.) setbacks required in the RM-30 Zone. This reduction is in recognition of the commercial expression of the two live-work buildings fronting 23 Avenue.

- The proposed minimum rear yard (north) setback (adjacent to the future mixed-use commercial-residential development) is reduced to 4.5 metres (15 ft.) from the side of Building 2. This reduced setback is acceptable given the anticipated future mixed-use commercial-residential development on the adjacent site to the north.
- The proposed side yard (east) setback is increased to 7.8 metres (26 ft.) to the building face, (7.3 metres (24 ft.) to the canopy). This increased setback is to allow for a landscaped buffer between the townhouse and 168 Street, which is an arterial road, and to allow for a multi-use pathway that will run parallel to 168 Street.
- The proposed side yard (west) setback is reduced to 4.5 metres (15 ft.) to the building face, (3.9 metres (12.5 ft.) to the canopy). This reduced setback is consistent with similar townhouse developments fronting local roads in Sunnyside Heights.

PRE-NOTIFICATION

Following submission of the development application, pre-notification letters were sent on June 6, 2017 to 82 properties within 100 metres (328 ft.) of the subject site, including the Grandview Heights Stewardship Association. A development proposal sign was also installed on the site on June 8, 2017. In response, staff have received 1 email and 1 phone call. A summary is provided below with staff comments provided in italics:

- 1 respondent expressed concerns regarding the potential impact of the proposed development on traffic and parking in the surrounding area.

(Additional information was provided and the respondent was invited to provide comments on the proposal prior to Public Hearing).

- 1 respondent called to inquire about the proposed live-work units of the development. This respondent was self-employed and was looking to understand if the live-work units could work for their business.

(Additional information was provided and the resident did not have any additional comments or concerns).

DESIGN PROPOSAL AND REVIEW

Site Layout

- The applicant proposes to develop 40 townhouse units, including 12 live-work units, to be constructed as 6 separate buildings on the site. The live-work units will have commercial space located at the main floor of Buildings 5 and 6, with access from 23 Avenue (Appendix II).
- The proposal is designed to be street-oriented and pedestrian-friendly. Four of the six proposed buildings are designed to front the street (168 Street, 23 Avenue, and 167A Street) with the two other buildings located on the interior of site.

- The live-work units are proposed to be located in Buildings 5 and 6, fronting 23 Avenue. The ground-level entry for the live-work units is designed to be flush with the building without a stoop to convey the commercial aspect of the entry.
- The site design includes a multi-use pathway along the eastern boundary of the site parallel to 168 Street as well as an enhanced sidewalk along the southern boundary of the site along 23 Avenue.
- The site has been designed to retain 5 Douglas Firs, 1 Ash, and 1 Black Walnut tree. These trees are located along the northern property line and will ultimately provide a buffer and some screening to the future mixed-use commercial development on the site to the north. The retained trees also complement the proposed outdoor amenity space located at the northwest corner of the site.
- The proposal includes a 5 metre-wide drainage corridor located on the north side of 23 Avenue. The intent of this drainage corridor is to mimic a natural drainage system by increasing the amount and quality of permeable surfaces, which will reduce the runoff volume and peak flow entering Fergus Creek. The corridor is shallow and landscaped with grass.

Building Design

- The townhouse units will range in size from 126 – 154 square metres (1,361 – 1,654 sq. ft.) and are all three storeys in height. Buildings 1-3, 5 and 6 will contain six or seven units each. Building 4 contains nine units.
- The commercial area of the live-work units is approximately 16 square metres (170 sq. ft.) of functional space, plus a 2-piece bathroom.
- The building massing is compatible with other buildings in the Sunnyside Heights neighbourhood to the west along 24 Avenue. The architectural character is influenced by the seaside cape cod style, featuring a dominant sloped-roof and popups, akin to dormers. The simple articulated wall below is clad with grey coloured shake siding, in conjunction with more modern fibre cement panels and horizontal siding. The architectural intent is to create a distinctive commercial development while at the same time using colours and materials to help blend the proposed development with the neighbourhood context.
- Building 4 fronting 168 Street has been articulated to break up the massing of the building, with the middle unit recessed relative to the other portions of the building.
- Materials for the proposed development include hardie shingles, siding, and panels. The colour scheme consists of Gray Slate, Boothbay Blue, and Arctic White, with Maryville Brown accents proposed for the doors.
- An acoustical report is required for the residential units facing 168 Street, and recommendations from the report will be incorporated on the drawings before issuance of the Development Permit, as required by the OCP DP1.1 Common Guidelines.

Landscaping

- Landscaping is provided along all property lines as well as on interior portions of the site.

- A 5 metre (16 ft.) wide landscape buffer is proposed along the east property line, to be planted with a variety of trees, shrubs and groundcover. The landscaped area will provide a buffer between the proposed development and 168 Street, which is an arterial road. The landscaped area also provides a buffer between the proposed townhouses and the multi-use pathway that will run parallel to 168 Street.
- The applicant also proposes a habitat node near the corner of 168 Street and 23 Ave, planted with Evergreen Huckleberry and protected by a split-rail fence.
- The proposed landscaping on site includes a variety of trees including, Fullmoon Maple, Katsura Trees, Weeping Nootka Cypress, Starlight Hybrid Dogwood, Pacific Dogwood, Vanessa Persian Ironwood, Serbian Spruce, Vanderwolf's Pyramidal Limber Pine, Chanticleer Pear, Green Pillar Pin Ak, Pink Flowered Japanese Snowbell, Ivory Silk Japanese Tree Lilac, as well as a variety of plants, ground cover, grass and perennials.
- The site has been designed to retain 5 Douglas Firs, 1 Ash, and 1 Black Walnut tree. These trees are located along the northern property line and will ultimately provide a buffer and some screening to the future mixed-use commercial development on the site to the north.

Amenity Space

- The Zoning By-law requires 120 square metres (1,292 sq. ft.) of both indoor and outdoor amenity space for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.
- The applicant proposes to provide the required indoor amenity space in a 2-storey amenity building located in the centre of the site attached to Building 2.
- The applicant is proposing to provide 97 square metres (1,044 sq. ft.) of outdoor amenity space. A portion of the proposed outdoor amenity will be located near the indoor amenity building and another portion located in the northwest corner of the site, adjacent to several retained trees. The applicant proposes to pay cash-in-lieu to address the 23 square metre (248 sq. ft.) shortfall in outdoor amenity space.
- There is considerable open space proposed on site, due to the proposed tree retention along the north property line and at the northwest corner of the site adjacent to the proposed outdoor amenity area. However, the tree protection area are typically not permitted to be included as part of the outdoor amenity space calculations.
- The outdoor amenity space in the NW corner of the site is a passive recreation area with a picnic table and bench. The outdoor amenity space adjacent to the amenity building includes a patio and children's play area with a spring toy on a resilient surface.

Access and Parking

- The site contains one vehicular access point on 167A Street, between proposed Buildings 1 and 6. 167A Street is a local street and will allow for full movement access.

- The applicant proposes 80 resident parking spaces, which complies with the minimum parking requirement outlined in the Zoning By-law. There are 9 visitor parking spaces proposed, which exceeds the minimum visitor parking requirements by 1 stall.
- Twelve of the 40 units propose tandem parking stalls.

TREES

- Glen Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	21	21	0
Cottonwood	8	8	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Ash	1	0	1
Big Leaf Maple	1	1	0
Bitter Cherry	1	1	0
Black Walnut	2	1	1
Cherry	1	1	0
Paper Birch	12	12	0
Vine Maple	1	1	0
Coniferous Trees			
Deodar Cedar	1	1	0
Douglas Fir	52	47	5
Lawson Cypress	1	1	0
Sawara Cypress	1	1	0
Western Hemlock	11	11	0
Total (excluding Alder and Cottonwood Trees)	85	78	7
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		116	
Total Retained and Replacement Trees		123	
Contribution to the Green City Fund		24,800	

- The Arborist Assessment states that there are a total of 85 protected trees on the site, excluding Alder and Cottonwood trees. 29 existing trees, approximately 25% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 7 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The preliminary arborist report shows a portion of Building 1 located at the northwest corner of the site encroaching into the 1 metre no-disturbance area that is adjacent to the Tree Protection Zone for one of the trees proposed to be retained (Tree #4232). Prior to final approval of the arborist report, the applicant's consulting arborist will be required to provide details regarding how this tree can be adequately protected during construction and over the long-term, to the satisfaction of the City Landscape Architect. If it cannot be demonstrated that this tree can be protected to the City's satisfaction, Unit 7 of Building 1 will need to be redesigned accordingly.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 185 replacement trees on the site. Since only 116 replacement trees are proposed on the site, the deficit of 69 replacement trees will require a cash-in-lieu payment of \$27,600 representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 168 Street, 23 Avenue, and 167A Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including, Fullmoon Maple, Katsura Trees, Weeping Nootka Cypress, Starlight Hybrid Dogwood, Pacific Dogwood, Vanessa Persian Ironwood, Serbian Spruce, Vanderwolf's Pyramidal Limber Pine, Chanticleer Pear, Green Pillar Pin Ak, Pink Flowered Japanese Snowbell, Ivory Silk Japanese Tree Lilac, as well as a variety of plants, ground cover, grass and perennials.
- In summary, a total of 123 trees are proposed to be retained or replaced on the site with a contribution of \$27,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 22, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject property is located in the Sunnyside Heights Neighbourhood Concept Plan area. • The proposal requires an OCP amendment from "Commercial" to "Urban".
2. Density & Diversity	<ul style="list-style-type: none"> • The development proposes 3-bedroom family-oriented townhouses.

Sustainability Criteria	Sustainable Development Features Summary
(B1-B7)	<ul style="list-style-type: none"> • Twelve of the units are proposed to be live-work units. • The unit density of the proposed development is 63 units per hectare (25.4 u.p.a.) and the proposed floor area ratio (FAR) is 0.84.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development incorporates rain water management design considerations, including, roof downspout disconnection, cisterns/rain barrels, natural landscaping, sediment control devices, perforated pipe systems, and permeable pavement/surfaces. • The applicant proposes to retain 7 on site trees and plant 16 additional trees. • The proposal includes a landscape buffer along the 168 Street frontage and a planted habitat node. • Recycling and organic waste pickup will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposal dedicates land on along 168 Street to allow for a multi-use pathway. • The proposal includes an enhanced 2.5 metre wide sidewalk along 23 Avenue. • The applicant proposes to provide pedestrian specific lighting and bike racks on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed units are located facing the street to allow for natural surveillance. Front yard with low fencing create defensible space for each resident while providing a clear transition between public and private space.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The standard pre-notification letters were sent to surrounding residents and a development proposal sign was installed.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevations, and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV	School District Comments
Appendix V	Summary of Tree Survey and Tree Preservation
Appendix VI	OCP Re-designation Map
Appendix VII	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-30 and C-5)

Required Development Data	Minimum Required / Maximum Allowed (RM-30)	Proposed
LOT AREA* (in square metres)		
Gross Total		0.898 ha (2.2 ac)
Road Widening area		0.261 ha (0.64 ac)
Undevelopable area		
Net Total		0.637 ha (1.58 ac)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	40%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m (25 ft.)	3.0 m
Rear	7.5 m (25 ft.)	4.5 m
Side #1 (W)	7.5 m (25 ft.)	4.5 m (3.9 to canopy)
Side #2 (E)	7.5 m (25 ft.)	7.8 m (7.3 to canopy)
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	10.11
Accessory	4.5	4.5
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		40
Total	40	40
FLOOR AREA: Residential	0.9 FAR (5,733 m ²)	5,331 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		5,331 m ²

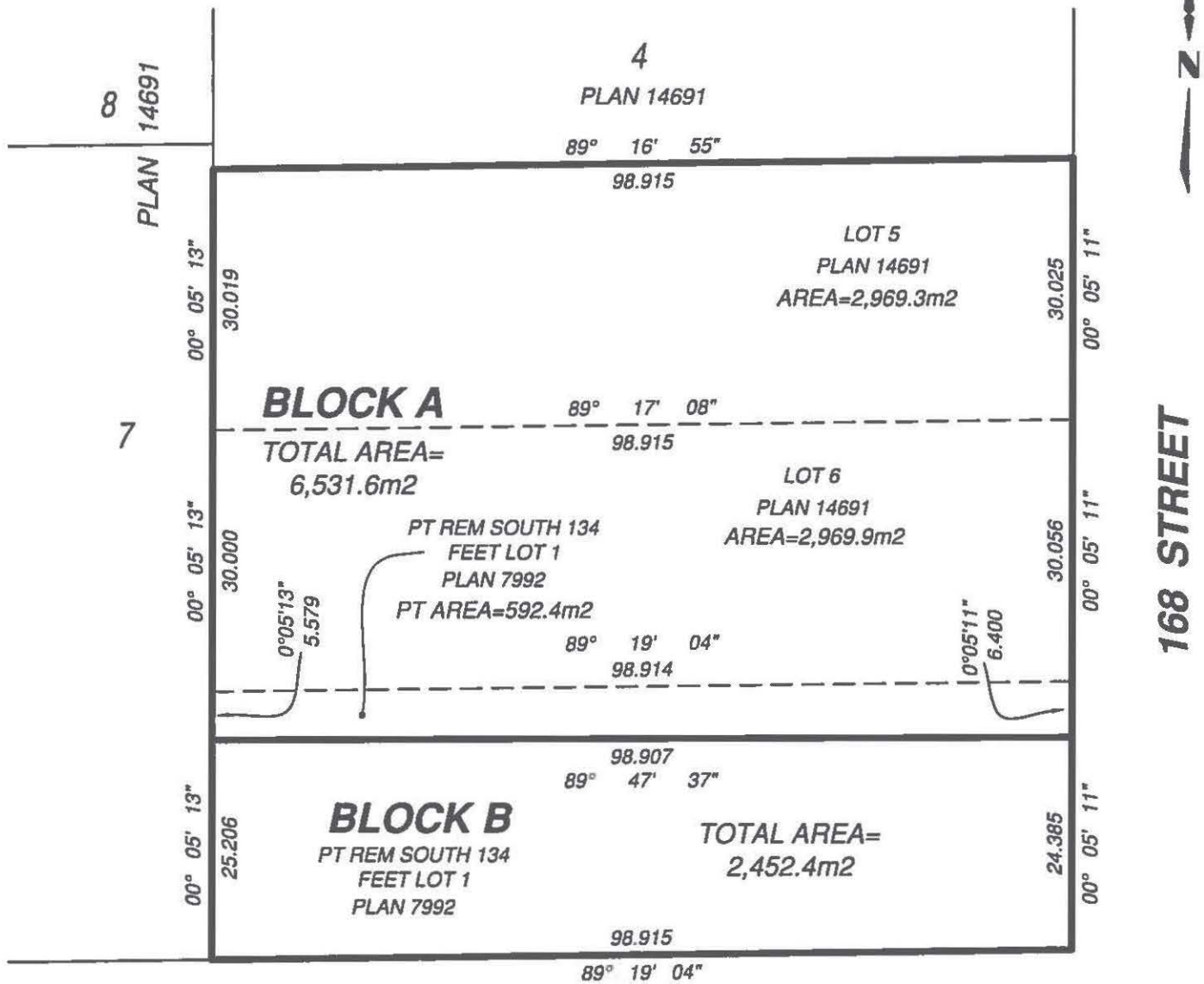
* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	40	40
FAR (gross)		
FAR (net)	0.90	0.84
AMENITY SPACE (area in square metres)		
Indoor	120 m ²	120 m ²
Outdoor	120 m ²	97 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	80	80
Residential Visitors	8	9
Institutional		
Total Number of Parking Spaces	88	89
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units	40/ 50%	12/ 30%
Size of Tandem Parking Spaces width/length		3.2 m / 6.1 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF PART OF SOUTH 134 FEET LOT 1 EXCEPT: SOUTH 33 FEET, PLAN 7992 AND LOTS 5 AND 6 PLAN 14691 ALL OF SECTION 13 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



23 AVENUE

<p>BLOCK A AREA=6,531.6m² RA TO CD</p>
<p>BLOCK B AREA=2,452.4m² RA TO CD</p>

Certified correct according to Field Survey this 22nd day of September, 2017

Rory C O'Connell
 Rory C O'Connell, BCLS



The intended plot size of this plan is 216mm in width by 280mm in height (A size) when plotted at a scale of 1:750.

All distances are in metres and decimals thereof.

September 22, 2017

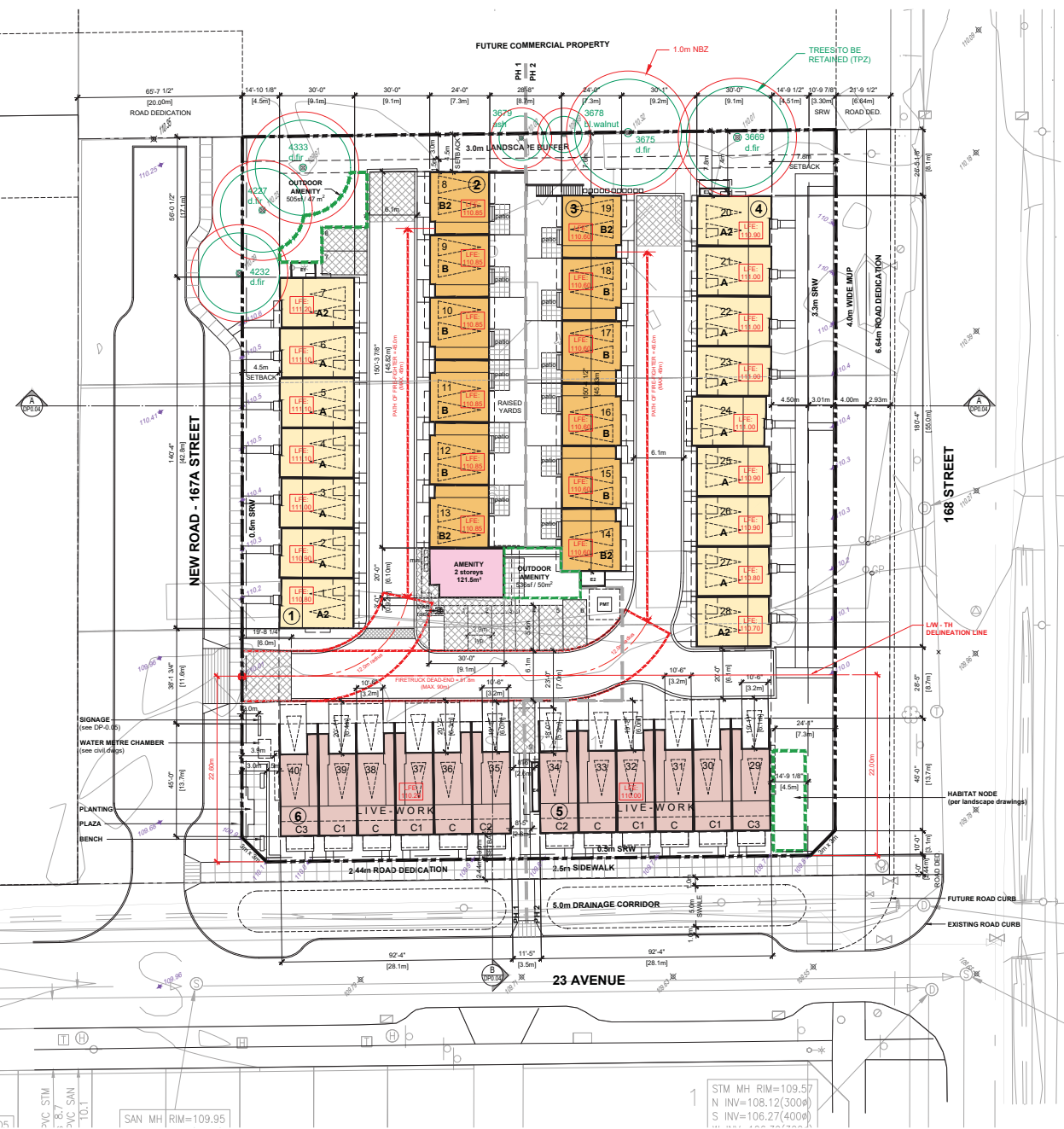


WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 161-06661-01-000-00-BSUSK001-R0

Project: 2017-09-21 10:00 AM (10/10/2017) 10:00 AM

The 2017-09-21 10:00 AM (10/10/2017) 10:00 AM (10/10/2017) 10:00 AM



SITE RECONCILIATION

LEGAL DESCRIPTION:
SOUTH 134 FEET LOT 1 EXCEPT: SOUTH 33 FEET SECTION 13 TOWNSHIP 1 NWD PLAN 7992, LOT 6 SECTION 13 TOWNSHIP 1 NWD PLAN 14691 AND LOT 5 SECTION 13 TOWNSHIP 1 NWD PLAN 14691

CIVIC ADDRESS:
2315, 2323 AND 2331 - 168th ST, SURREY, BC

OCP: EXISTING: COMMERCIAL
NCP: EXISTING: SPECIAL RESIDENTIAL (15-25 UPA), SUNNYSIDE HEIGHTS
ZONE: EXISTING: RA (ONE ACRE RESIDENTIAL ZONE)
PROPOSED: CD (BASED ON RM-30)

LOT AREAS:
GROSS LOT AREA = 96,610sf / 8,975.4m² / 2.218ac / 0.866ha
ROAD DEDICATIONS = 38,919sf / 2,603.3m² / 0.645ac / 0.251ha
NET LOT AREA = 57,691sf / 5,372.3m² / 1.575ac / 0.637ha

LOT COVERAGE:
PERMITTED: 45%
PROPOSED: 40% (2,543.8m² / 6,372.3m²)

DENSITY:
PERMITTED UPA (per NCP): 25 upa
PROPOSED UPA: 25 upa (25.4 upa = 40 units / 1,575 ac)
PERMITTED FAR: 0.90
PROPOSED FAR: 0.84 (5,331.8m² / 6,372.3m²)

SETBACKS: PROPOSED TO BUILDING FACE: PROPOSED TO FARTHEST PROJECTION:
SOUTH (FRONT): 3.0m
NORTH (REAR): 4.5m
EAST (SIDE, EXT): 7.8m
WEST (SIDE, EXT): 4.5m

BUILDING HEIGHT:
ALLOWED: MAX. 13.0m (BASED ON RM-30)
PROPOSED: 10.1m (B.D.C. 8 & 9)

VISITOR PARKING:
REQUIRED: 40 UNITS x 0.2 = 8 CARS
PROVIDED: 9 CARS

OUTDOOR AMENITY:
REQUIRED: 40 UNITS x 3m² = 120m² (1,292sf)
PROVIDED: 97m² (1,044sf)
CASH-IN-LIEU FOR THE SHORTFALL OF 23m² (248sf)

INDOOR AMENITY:
REQUIRED: 40 UNITS x 3m² = 120m²
PROVIDED: 121.5m² (1,309sf)

UNIT DATA AND FLOOR AREA SUMMARY							
UNIT TYPE	COUNT	GARAGE	LOWER	MAIN	UPPER	UNIT LIVING AREAS	SITE TOTALS
A - 3-BED	12	413 sq ft	1880 sq ft	551 sq ft	630 sq ft	1,361 sq ft	16,332 sq ft
A2 - 3-BED	4	413 sq ft	1810 sq ft	572 sq ft	630 sq ft	1,388 sq ft	5,502 sq ft
B - 3-BED	8	494 sq ft	950 sq ft	650 sq ft	650 sq ft	1,395 sq ft	11,168 sq ft
B2 - 3-BED	4	498 sq ft	950 sq ft	650 sq ft	650 sq ft	1,448 sq ft	5,824 sq ft
C - 3-BED	4	229 sq ft	312 sq ft	610 sq ft	638 sq ft	1,509 sq ft	6,240 sq ft
C1 - 3-BED	4	229 sq ft	312 sq ft	589 sq ft	613 sq ft	1,523 sq ft	6,092 sq ft
C2 - 3-BED	2	232 sq ft	314 sq ft	604 sq ft	600 sq ft	1,536 sq ft	3,076 sq ft
C3 - 3-BED	2	232 sq ft	314 sq ft	656 sq ft	684 sq ft	1,654 sq ft	3,308 sq ft
TOTAL	40						57,392 sq ft 6,331.8 m ²

LOT COVERAGE SUMMARY		
BLDG	# OF UNITS	LOT COVERAGE
1	7	4,542 sq ft
2	6	4,637 sq ft
3	6	3,969 sq ft
4	9	5,792 sq ft
5	6	4,254 sq ft
6	6	4,193 sq ft
TOTAL	40	27,388 sq ft



SITE PLAN
SCALE: 1" = 20'

±00.00 PROPOSED CIVIL GRADES
±109.89 EXISTING SURVEY GRADES

©Copyright reserved. This drawing is the property of Focus Architecture Incorporated and may not be disclosed in any way without their express written permission.



CITY OF SURREY FILE #:
7916-0023-00

- 2017-09-21 ROAD DEDICATIONS REVISIONS
- 2017-09-08 PLANNING COMMENTS
- 2017-07-26 PLANNING COMMENTS
- 2017-04-21 SP REVISIONS
- 2016-10-04 ISSUED FOR RZ / DP

CLIENT
Royale Properties (Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET AT 23 AVENUE
SURREY, BC

DRAWING TITLE

SITE PLAN

DATE: 2016.09.19 FILE NO.
DWN: jk.ms
CHK: **1611A**

SEAL
SHEET NO.

DP-0.01



SOUTH STREETScape - 23 AVENUE



WEST STREETScape - 167A STREET (NEW ROAD)

©Copyright reserved. This drawing is the property of Focus Architecture Incorporated and may not be disclosed in any way without their express written permission.

FOCUS
ARCHITECTURE
INCORPORATED
Suite 109 - 1528 McCulloch Road
Abbotsford, British Columbia V2S 3K3
1 804 853 3202 1 804 853 3442
e info@focus.ca

CITY OF SURREY FILE #:
7916-0623-00

- 2017-09-08 PLANNING COMMENTS
- 2017-07-26 PLANNING COMMENTS
- 2017-04-21 DP REVISIONS
- 2016-10-04 ISSUED FOR RZ / DP REVISIONS

CONSULTANT

CLIENT
**Royale Properties
(Grandview) Ltd.**

PROJECT
**PROPOSED MULTI-FAMILY
DEVELOPMENT**
168 STREET at 23 AVENUE
SURREY, BC

DRAWING TITLE
**COLOURED
STREETScape**

DATE: 2016.09.19 FILE NO.
DWN: al
CHK: ch **1611A**

SEAL
SHEET NO.

DP-0.0b

©Copyright reserved. This drawing is the property of Focus Architecture Incorporated and may not be disclosed in any way without their express written permission.



CITY OF SURREY FILE #: 7916-0623-00



EAST STREETScape - 168 STREET @ BLDG FACE



EAST STREETScape - 168 STREET @ STREET

- 2017-09-08 PLANNING COMMENTS
 - 2017-07-26 PLANNING COMMENTS
 - 2017-04-21 PLANNING COMMENTS
 - 2016-10-04 DP REVISIONS
 - 2016-10-04 ISSUED FOR RZ / DP
- REVISIONS
- CONSULTANT

CLIENT
Royale Properties (Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVENUE SURREY, BC

DRAWING TITLE
COLOURED STREETScape

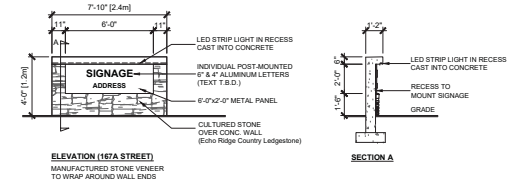
DATE: 2016.09.19 FILE NO.
DWN: al
CHK: ch **1611A**

SEAL
SHEET NO.
DP-0.0c



SOUTH STREETSCAPE - 23 AVENUE
SCALE: 3/32"=1'-0"

DEVELOPMENT SIGNAGE
SCALE: 1/4" = 1'-0"



ELEVATION (167A STREET)
MANUFACTURED STONE VENEER TO WRAP AROUND WALL ENDS



WEST STREETSCAPE - 167A STREET (NEW ROAD)
SCALE: 3/32"=1'-0"

2017-09-08	PLANNING COMMENTS
2017-07-26	PLANNING COMMENTS
2017-04-21	OP REVISIONS
2016-10-04	ISSUED FOR RZ / DP

CLIENT
Royale Properties (Grandview) Ltd.

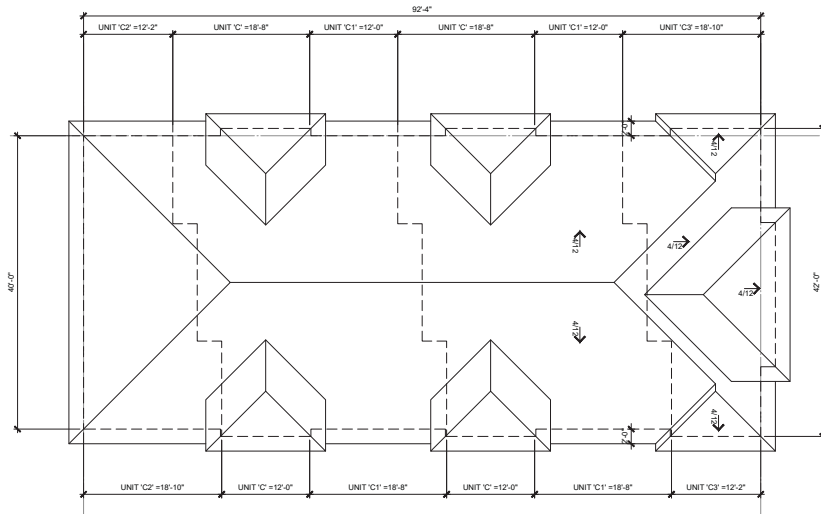
PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

168 STREET at 23 AVENUE
SURREY, BC

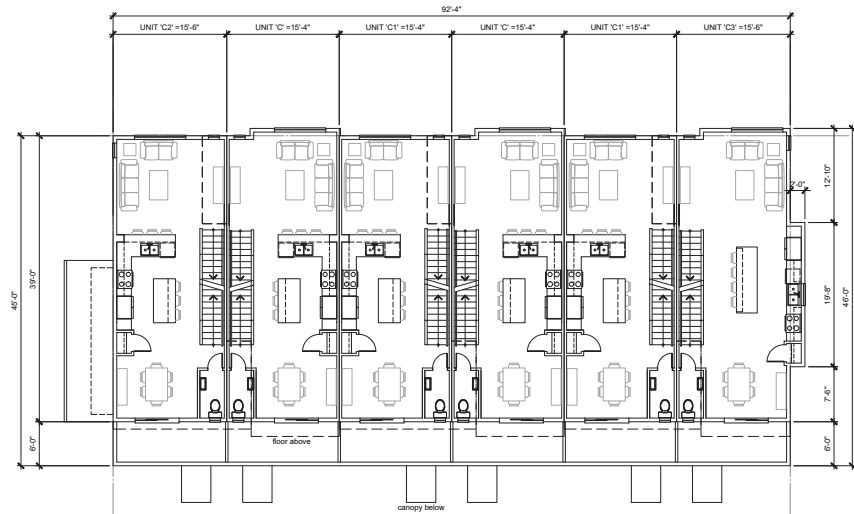
DRAWING TITLE
STREETSCAPES

DATE: 2016.05.19 FILE NO.
DWN: ch
CHK: al
1611A

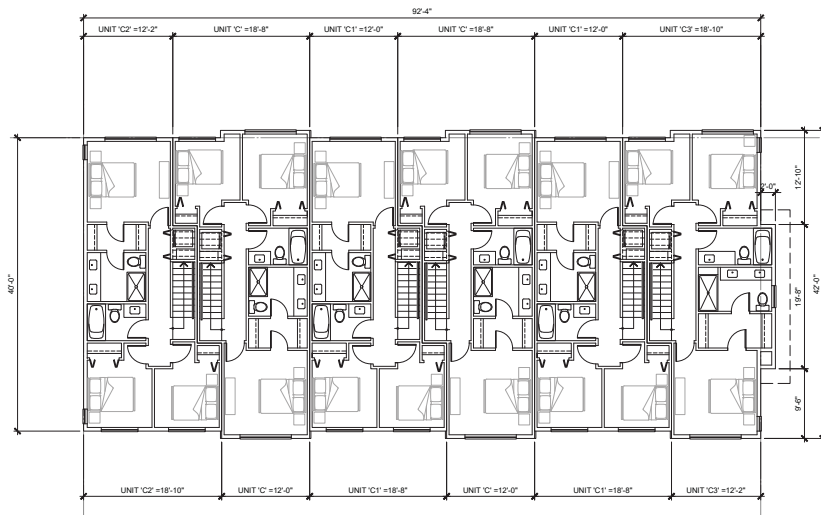
SEAL
SHEET NO.
DP-0.05



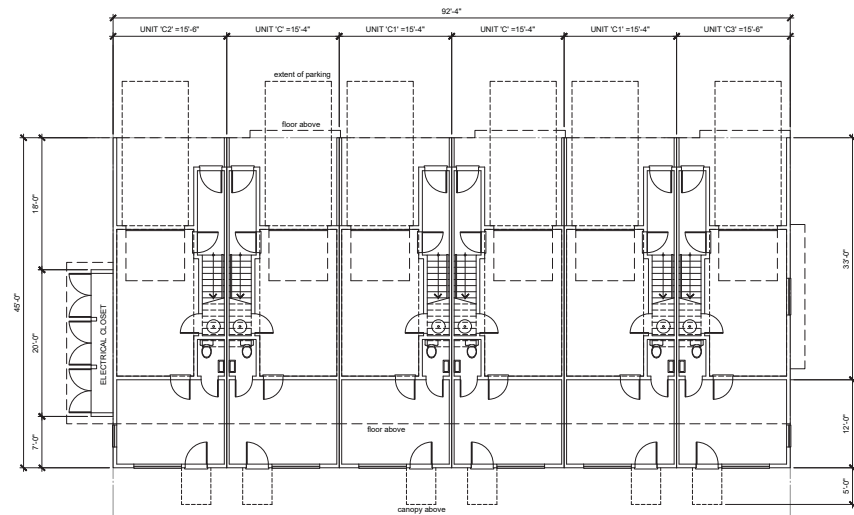
ROOF PLAN
SCALE: 1/8"=1'-0"



MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"



UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"



LOWER FLOOR PLAN
SCALE: 1/8"=1'-0"

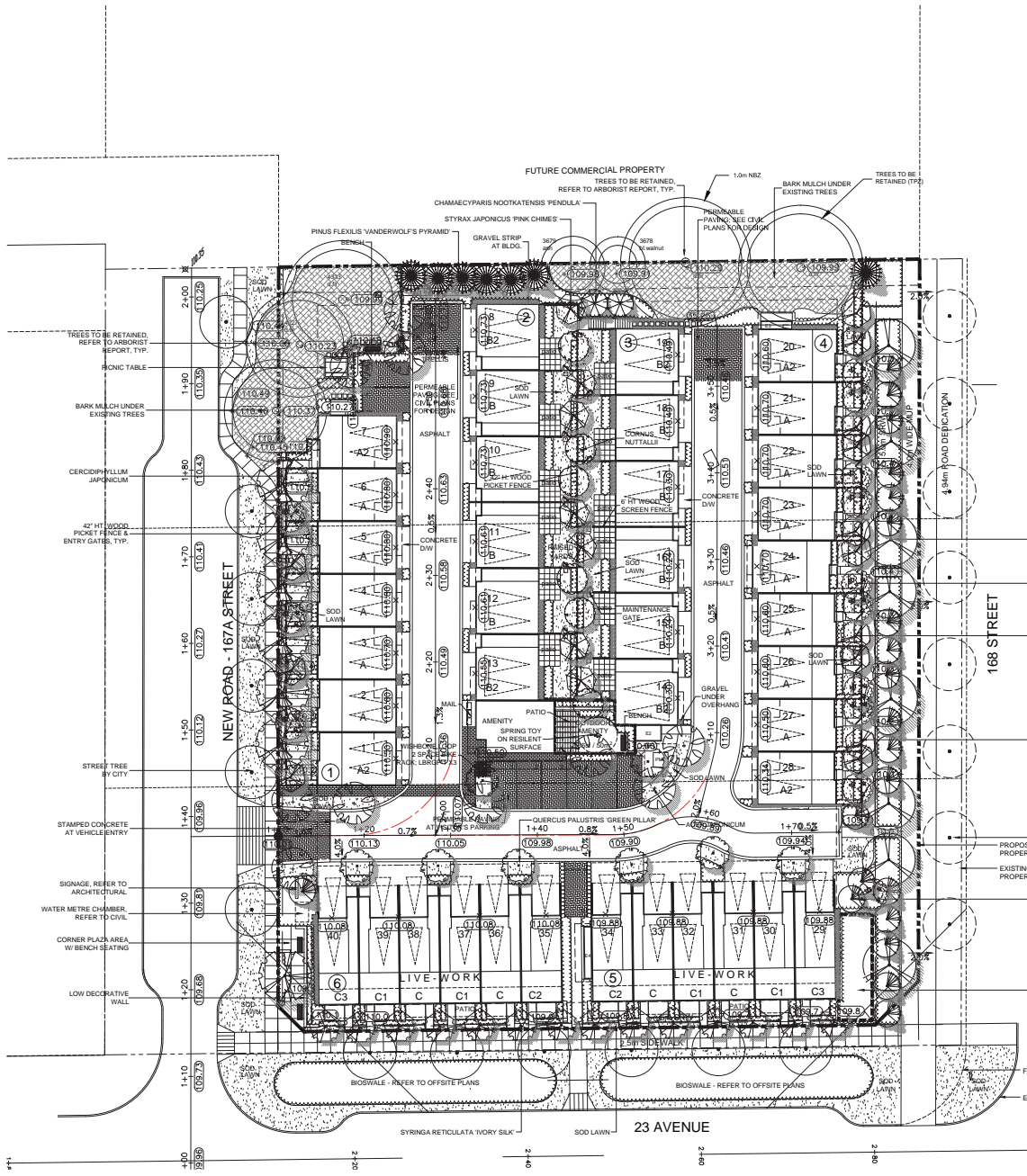


SCALE:

PLANT SCHEDULE				PMG PROJECT NUMBER: 17-057
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
10		ACER JAPONICUM	FULLMOON MAPLE	6CM CAL: 1.8M STD; B&B
7		CERCIDIPHYLLUM JAPONICUM	KATSURAI TREE	6CM CAL: 1.8M STD; B&B
2		CHAMAECYPARIS NOOKATENSIS 'PENDULA'	WEeping NOOKTA CYPRESS	3M HT; B&B
13		CORNUS KOUSA X NUTTALLII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	5CM CAL: 1.5M STD
6		CORNUS NUTTALLII	PACIFIC DOGWOOD	2M HT; B&B
8		PARROTTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6CM CAL: 1.8M STD; B&B
21		PICEA OMORICA	SERBIAN SPRUCE	3M HT; B&B
7		PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LAMBER PINE	3M HT; B&B
13		PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL: 1.5M STD; B&B
8		QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6CM CAL: 1.8M STD; B&B
7		STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	5CM CAL: 1.5M STD; B&B
14		SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	6CM CAL: 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAN/LA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKSMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

TOTAL REPLACEMENT TREES REQUIRED: 201
TOTAL REPLACEMENT TREES PROVIDED: 116



- PARROTTIA PERSICA 'VANESSA'
- CORNUS KOUSA X NUTTALLII 'STARLIGHT'
- PYRUS CALLERYANA 'CHANTICLEER'
- 42' HT. WOOD PICKET FENCE & ENTRY GATES, TYP.
- FUTURE STREET TREE BY CITY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PICEA OMORICA
- HABITAT NODE PER ARCHITECTURAL, 42' HT. SPLIT RAIL FENCE SURROUND

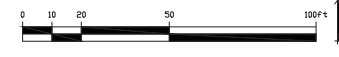
NO.	DATE	REVISION DESCRIPTION	DR.
2	17 SEPT 08	FENCE DETAIL	JM
1	17 JUL 20	REVISE PER NEW SITE PLAN	JM

CLIENT:

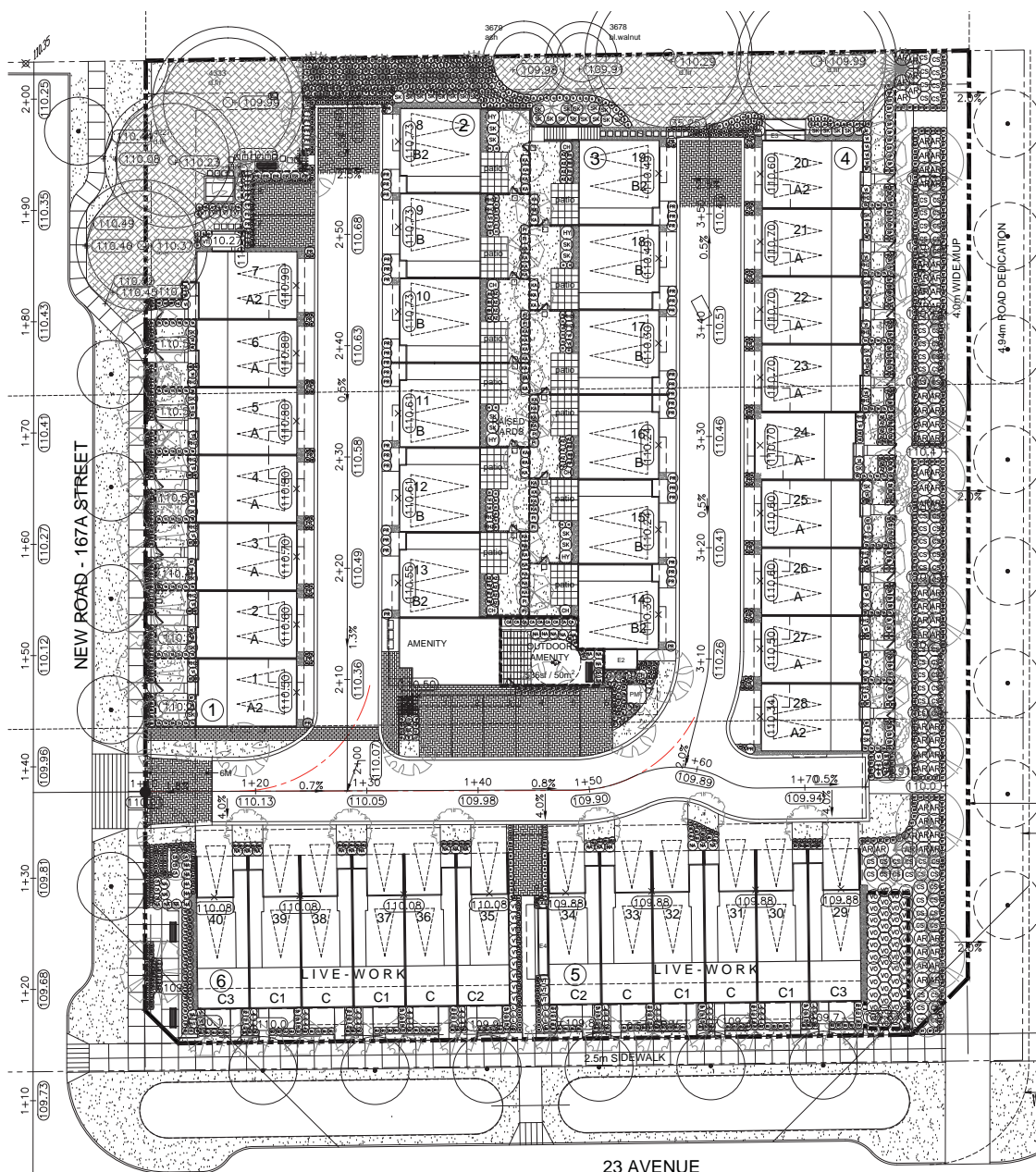
PROJECT:
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVE.
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 17 APRIL 24 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: VR
DESIGN: VR
CHKD: MCY **L1**
OF 4



SCALE:



PLANT SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 17-057
			PLANTED SIZE / REMARKS	
SHRUB	72	ARBUTUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
	26	AZALEA JAPONICA HARDIER'S BEAUTY	AZALEA LIGHT PINK	#2 POT; 25CM
	192	BUXUS MICROPHYLLA WINTER GEM	LITTLE LEAF BOX	#3 POT; 40CM
	9	CHORSYA TENATA	MEXICAN MOCK ORANGE	#3 POT; 50CM
	80	CORNUS SERICEA	RED OSIER DOGWOOD	#2 POT; 50CM
	4	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT; 80CM
	39	KALIMA LATIFOLIA	MOUNTAIN LAUREL	#3 POT; 50CM
	48	LONCERA NITIDA 'BAGSEEN'S GOLD'	BIGLEAF HONEYSUCKLE; GOLD	#3 POT; 50CM
	39	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT; 80CM
	10	PIENS JAPONICA MOUNTAIN FIRE	JAPANESE ANDROMEDA	#3 POT; 50CM
	76	PRUNUS LAUROCEARUS 'REYNOLIANI'	RUSSIAN LAUREL	#3 POT; 60CM
	15	RHOODOENDRON 'ANAH KRUSCHKE'	RHOODOENDRON; BLUE	#3 POT; 50CM
	33	RHOODOENDRON 'BOW BELLS'	RHOODOENDRON; PINK	#3 POT; 50CM
	33	RHOODOENDRON 'P.J.M.'	RHOODOENDRON; LIGHT PURPLE; E. MAY	#3 POT; 50CM
	49	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
	79	SPIRAEA X BURNALDA 'GOLDFLAME'	GOLDFLAME SPIREA	#2 POT; 50CM
	120	TAXUS A MEDIA 'HICKSE'	HICK'S YEW	1.0M B&B
	62	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
	52	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT; 50CM
	52	VIBURNUM TRICH SPRING DWARF	DWARF VIBURNUM	#3 POT; 50CM
	16	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
	80	HELICTROCHLOA SEMPERVIRENS	BLEE DAY GRASS	#1 POT
	82	IMPERATA CYLINDRICA 'RED BARNON'	BLOOD GRASS	#1 POT
	186	MOLINA CAERULEA 'MOORFLAMME'	PURPLE MOOR GRASS	#1 POT
	86	FENISSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY POUNTAIN GRASS	#1 POT
	239	STIPA TENISSIMA	MEXICAN FEATHER GRASS	#1 POT
PERENNIAL	29	HEMEROCALLIS	DAYLILY	#1 POT; 1:2 FAN
	19	HOSTA FORTUNEI VARIEGATA	VAREGATED HOSTA	#1 POT; 1 EYE; HEAVY SHADE
	351	GALTHERIA SHALLOON	SALAL	#1 POT; 20CM
	33	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 15CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NO.	DATE	REVISION DESCRIPTION	DR.
2	17.09.08	FENCE DETAIL	MM
1	17.06.20	REVIS PER NEW SITE PLAN	MM

CLIENT:

PROJECT:

PROPOSED MULTI-FAMILY DEVELOPMENT AT 23 AVENUE
168 STREET at 23 AVENUE, SURREY, BC

DRAWING TITLE:
LANDSCAPE SHRUB PLAN

DATE: 15.JUL.23 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: MCY

PMG PROJECT NUMBER: 17-057

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
2	17 SEPT 08	FENCE DETAIL	JM
1	17 JUL 20	REVISE PER NEW SITE PLAN	JM

CLIENT:

PROJECT:

**PROPOSED MULTI-FAMILY
DEVELOPMENT**
168 STREET AT 23 AVE.
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
FENCE PLAN**

DATE: 17 APRIL 24 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: VR
DESIGN: VR
CHKD: MCY

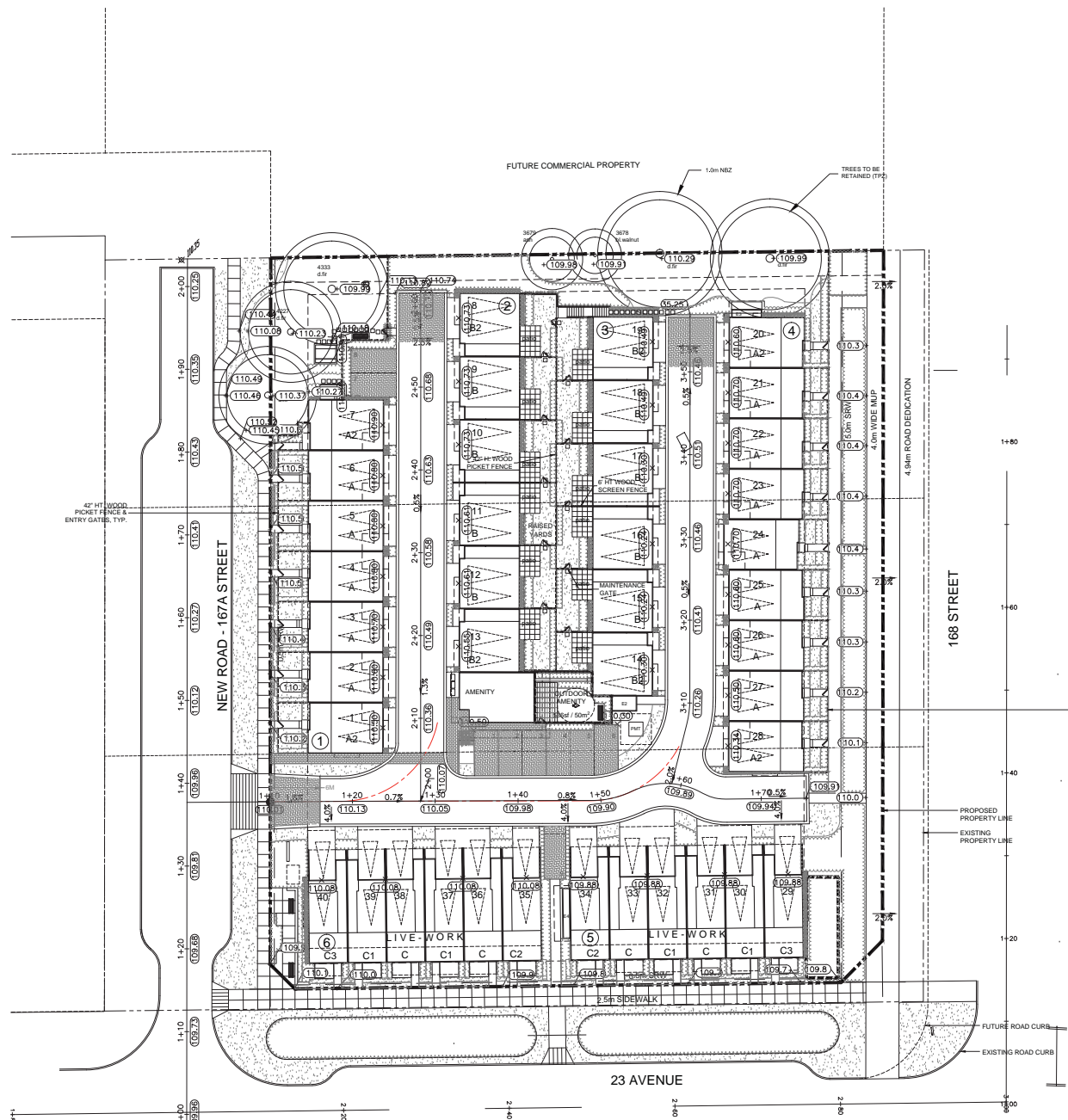
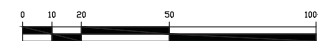
PMG PROJECT NUMBER:

L3

OF 4



17057-3.02P



23 AVENUE

168 STREET

NEW ROAD - 167A STREET

FUTURE COMMERCIAL PROPERTY

1.0m NBZ

TREES TO BE RETAINED (TFR)

4.5m ROAD DEDICATION

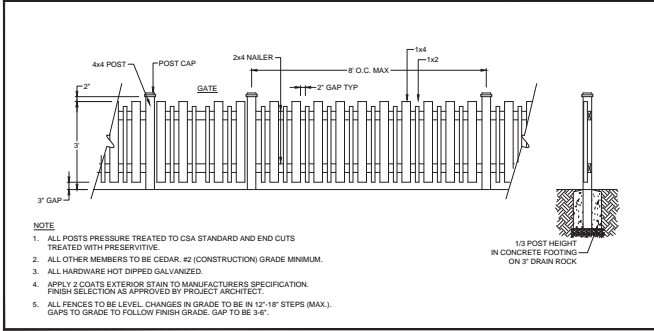
42" HT. WOOD PICKET FENCE & ENTRY GATES, TYP.

PROPOSED PROPERTY LINE
EXISTING PROPERTY LINE

FUTURE ROAD CURB
EXISTING ROAD CURB

42" HT. WOOD PICKET FENCE & ENTRY GATES, TYP.

SCALE:

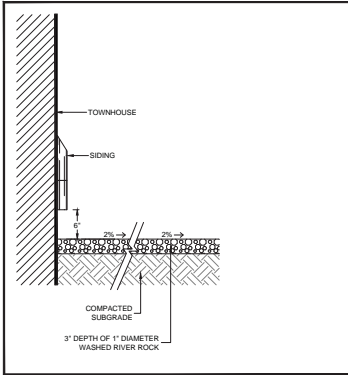


NOTE

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12\"/>

1/3 POST HEIGHT IN CONCRETE FOOTING ON 3\"/>

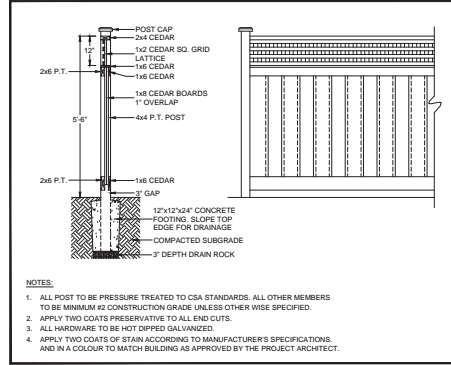
1
L1 36" HT. PICKET FENCE AND GATE
1/2"=1'-0"



4
L1 RIVER ROCK UNDER OVERHANG
1"=1'-0"



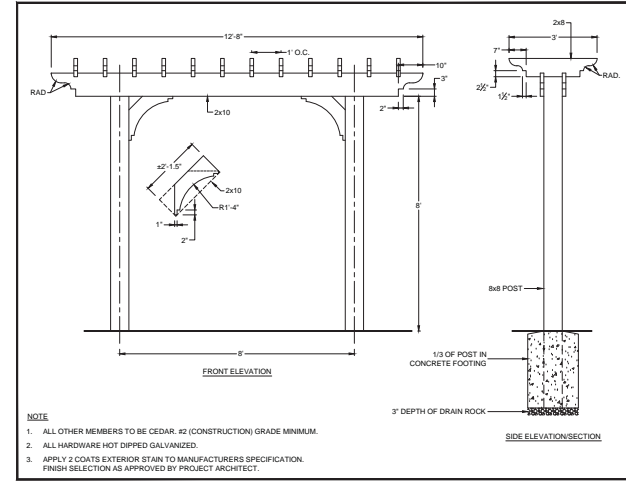
KOMPAN SPRING RIDER: SPEEDER



NOTES:

1. ALL POST TO BE PRESSURE TREATED TO CSA STANDARDS. ALL OTHER MEMBERS TO BE MINIMUM #2 CONSTRUCTION GRADE UNLESS OTHER WISE SPECIFIED.
2. APPLY TWO COATS PRESERVATIVE TO ALL END CUTS.
3. ALL HARDWARE TO BE HOT DIPPED GALVANIZED.
4. APPLY TWO COATS OF STAIN ACCORDING TO MANUFACTURERS SPECIFICATIONS. AND IN A COLOUR TO MATCH BUILDING AS APPROVED BY THE PROJECT ARCHITECT.

2
L1 PATIO SCREEN FENCE
1/2"=1'-0"



NOTE

1. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
2. ALL HARDWARE HOT DIPPED GALVANIZED.
3. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

3
L1 WOOD TRELLIS
1/2"=1'-0"

2	17 SEP 08	FENCE DETAIL	
1	17 JUL 20	REVIS PER NEW SITE PLAN	AM
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVE.
SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 17 APRIL 24 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: DO
DESIGN: PMG
CHKD: MCY

L4
OF 4

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 25, 2017** PROJECT FILE: **7816-0623-00**

RE: **Engineering Requirements
Location: 2315 168 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment beyond those noted below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 6.642 m on 168 Street for ultimate 16.7 m wide Arterial Road allowance from center line.
- Dedicate 2.442 m on 23 Avenue for ultimate 25.0 m wide Local Road allowance, with 5.0 m width for drainage corridor.
- Dedicate 20.0 m on 167A Street for the 20.0 m wide Local Road allowance.
- Dedicate 3.0 m x 3.0 m corner cuts at 23 Avenue/167A Street and 23 Avenue/168 Street.
- Register 0.5 m wide SRW on 168 Street for Multi-Use Pathway.
- Register 0.5 m SRW on 23 Avenue and 167A Street for City service connections and access to sidewalk maintenance.

Works and Services

- Construct 4.0 m wide Multi-Use Pathway with concrete banding and lighting on 168 Street.
- Construct north side of 23 Avenue to Local Road standard with 10.5 m pavement width and 5.0 m wide drainage corridor, 2.5 m sidewalk and street lighting.
- Construct east side of 167A Street to Half Road standard with minimum 6.0 m wide pavement (ultimate 10.5 m), 1.5 m sidewalk and street lighting.
- Confirm downstream storm drainage system capacity; upgrade if required.
- Construct storm drainage system to service the development and all frontage roads.
- Provide onsite sustainable drainage works as required in the NCP and to account for the additional impervious area due to proposed increased density.
- Construct a 200 mm water main on 167A Street.
- Construct sanitary sewers to service the development following the Sunnyside Heights NCP with the flows directed north on 167A Street, west to 167 Street and connect to the sewer on 24 Avenue.
- Construct sanitary sewer on 168 Street, along the frontage of the development.
- Pay water, sanitary and storm latecomer charges relative to project 7812-0153-00.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Rémi Dubé, P.Eng.
Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file



Thursday, June 01, 2017
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 16-0623-00

SUMMARY

The proposed 40 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	8
Secondary Students:	4

September 2018 Enrolment/School Capacity

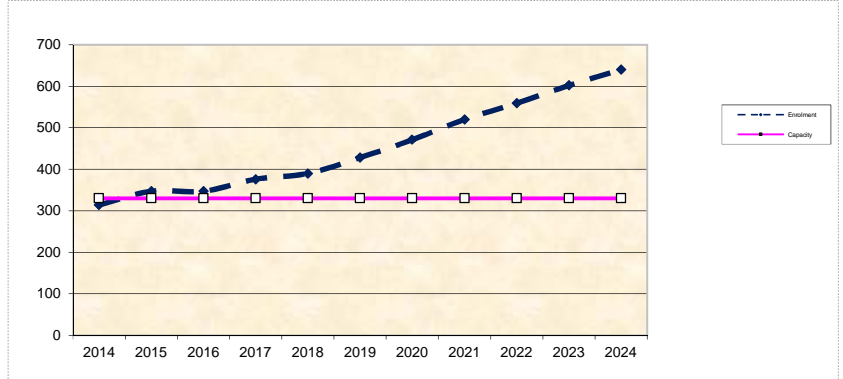
Pacific Heights Elementary	
Enrolment (K/1-7):	40 K + 307
Capacity (K/1-7):	80 K + 250
Earl Marriott Secondary	
Enrolment (8-12):	1856
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

School Enrolment Projections and Planning Update:

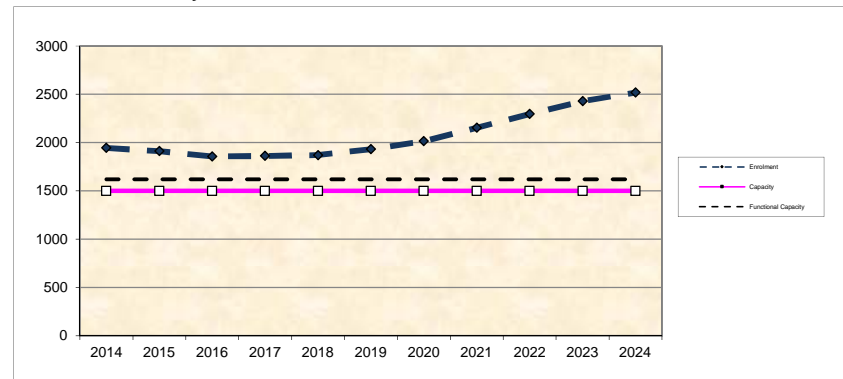
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Pacific Heights Elementary is currently over capacity with rapid enrolment growth expected to continue. The School District has received Capital Project approval for a 300 seat addition to Pacific Elementary projected completed in 2019. Also a preliminary approval has been provided for a new elementary school (in planning stage) to be located on a recently purchased site south of 23rd Avenue - Site #206 near Edgewood Drive. The District has received Capital Project Approval for a New Grandview Area Secondary projected to open in 2020. The new secondary school will have a capacity for 1,500 students (currently in design stage) and will be located East of 168th Ave North at 25th Ave in the same block as the City's aquatic centre property. The school district will continue to work with the City and Province to adjust our capital plans to request additional school spaces to meet local land use plans and impact of densification on enrolment projections.

Pacific Heights Elementary



Earl Marriott Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Tree Preservation Summary

Surrey Project No:

Address: 2315, 2323, and 2331 - 168 Street

Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	114
Protected Trees to be Removed	107
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	7
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 29 </u> X one (1) = 29 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 78 </u> X two (2) = 156	185
Replacement Trees Proposed	
Replacement Trees in Deficit	
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 1 </u> X two (2) = 2	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2

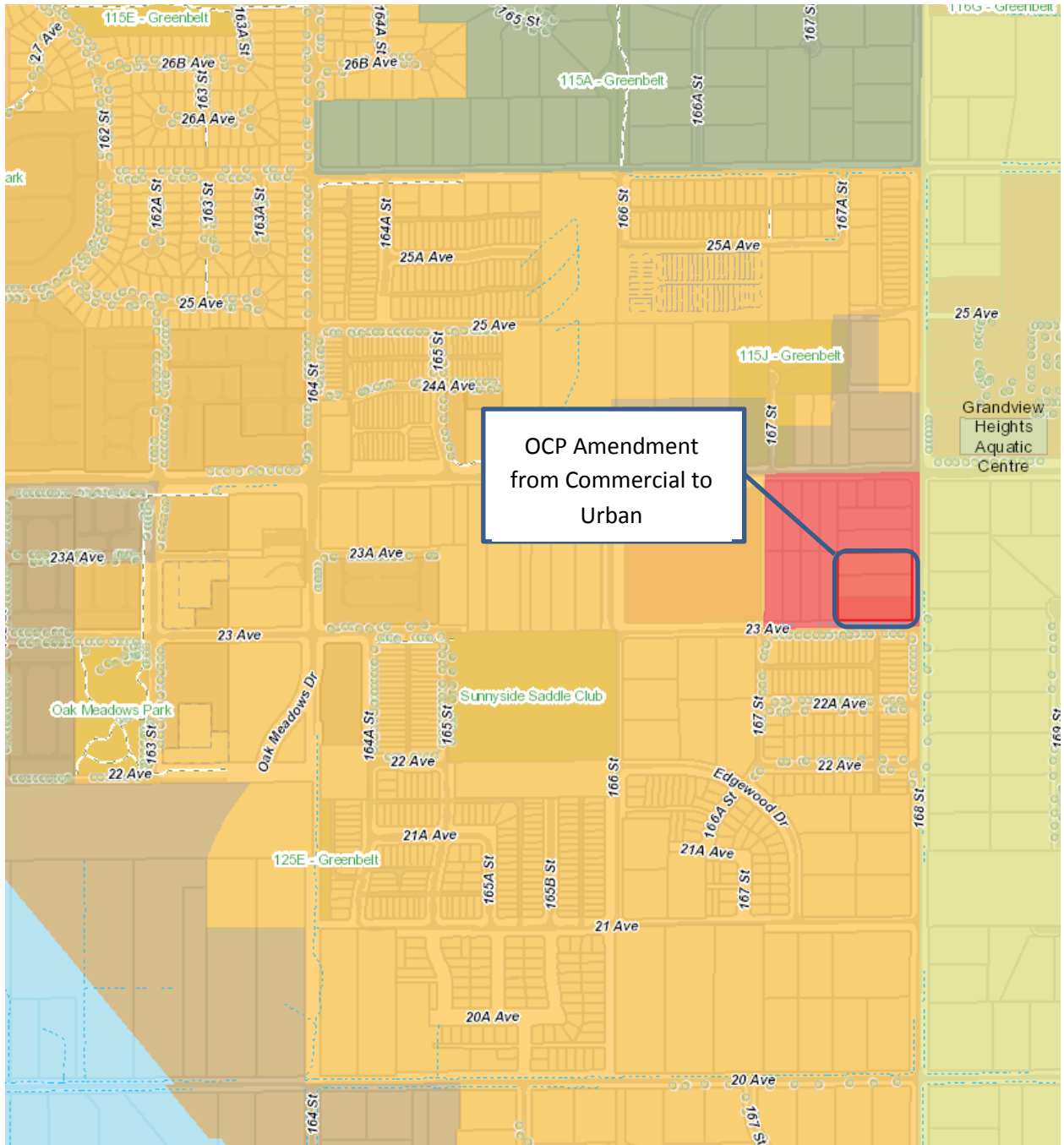
Summary, report and plan prepared and submitted by:



(Signature of Arborist)

10-Apr-17

Date



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 011-297-930
South 134 Feet Lot 1 Except: South 33 Feet Section 13 Township 1 New Westminster District
Plan 7992

2315 - 168 Street

Parcel Identifier: 001-453-491
Lot 5 Section 13 Township 1 New Westminster District Plan 14691

2331 - 168 Street

Parcel Identifier: 009-968-971
Lot 6 Section 13 Township 1 New Westminster District Plan 14691

2323 - 168 Street

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *ground-oriented multiple unit residential buildings* and related *amenity spaces*, and limited commercial uses, which are to be developed in accordance with a *comprehensive design*, where *density* bonus is provided.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Rory C. O'Connell, B.C.L.S. on the 22nd day of September, 2017.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses, provided such combined uses are part of a *comprehensive design*:

1. Block A

- (a) *Ground-oriented multiple unit residential buildings*; and
- (b) *Child care centres*, provided that such centres:
 - i. Do not constitute a single use on the *lot*; and
 - ii. Do not exceed a total area of 3.0 square metres [32 sq. ft.] per *dwelling unit*.

2. Block B

- (a) *Ground-oriented multiple unit residential buildings*; and
- (b) The following *accessory uses* may be permitted, provided that such uses are located within a *dwelling unit* in a ground oriented *multiple unit residential building* and occupy no more than 30% of the floor area of the *dwelling unit*, and further provided that such use shall be operated by the occupant of the *dwelling unit* in which they are located:
 - i. *Personal service uses* limited to the following:
 - a. Barbershops;
 - b. Beauty parlours;
 - c. Cleaning and repair of clothing; and
 - d. Shoe repair shops.
 - ii. Office uses excluding *Social escort services* and *Methadone clinics*.
 - iii. *General service uses* excluding the following:
 - a. Funeral parlours;
 - b. Banks and *drive-through banks*;
 - c. Veterinary clinics;
 - d. *Adult education institutions*;

- e. Vehicle rentals; and
- f. Appliance repair shop.
- iv. *Retail stores* excluding the following:
 - a. *Adult entertainment stores*;
 - b. *Secondhand stores and pawnshops*;
 - c. *Convenience stores*;
 - d. *Retail warehouses*;
 - e. Flea markets; and
 - f. Auction houses.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed 2.5 *dwelling units* per hectare [1 u.p.a.]. The maximum *density* may be increased to that prescribed in Section D.2 and D.3 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Block A:
 - (a) The *floor area ratio* shall not exceed 0.77; and
 - (b) The *unit density* shall not exceed 59 *dwelling units* per hectare [24 u.p.a.].
3. Block B:
 - (a) The *floor area ratio* shall not exceed 1.10; and
 - (b) The *unit density* shall not exceed 75 *dwelling units* per hectare [30 u.p.a.].
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. Block A: The *lot coverage* shall not exceed 38%.

2. Block B: The *lot coverage* shall not exceed 50%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard (south)</i>	<i>Rear Yard (north)</i>	<i>Side Yard (west)</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		3.0 m	4.5 m	3.9 m	7.3 m
<i>Accessory Buildings and Structures</i>		[10 ft.]	[15 ft.]	[12.5 ft.]	[24 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 13 metres [43 ft.].
2. Accessory buildings and structures (exclusive of the indoor *amenity space*): The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *parking within building envelope*.
3. *Tandem parking* is permitted, subject to the following:
 - (a) *Parking spaces* provided as *tandem parking* must be held by the same owner.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,070 sq. m. [1.5 acre]	72 metres [236 ft]	88 metres [289 ft]

Dimensions shall be measured in accordance with Section E.21, Part 4 General Provisions of the Surrey Zoning By-law, 1993, No. 12000 as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2017, No. 19107, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

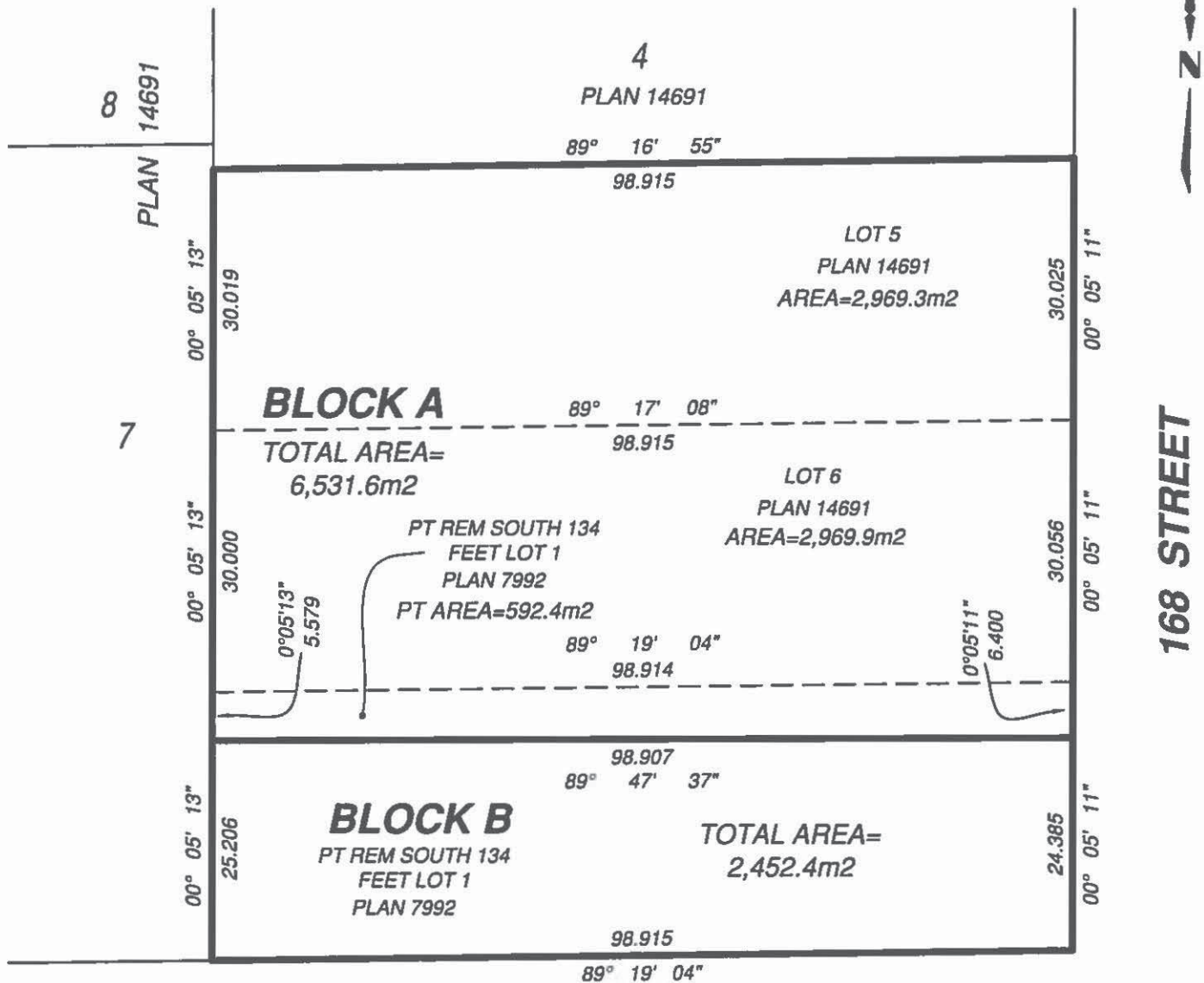
PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF PART OF SOUTH 134 FEET LOT 1 EXCEPT: SOUTH 33 FEET, PLAN 7992 AND LOTS 5 AND 6 PLAN 14691 ALL OF SECTION 13 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



<p>BLOCK A AREA=6,531.6m² RA TO CD</p>
<p>BLOCK B AREA=2,452.4m² RA TO CD</p>

23 AVENUE

Certified correct according to Field Survey this 22nd day of September, 2017

Rory C O'Connell
 Rory C O'Connell, BCLS



The intended plot size of this plan is 216mm in width by 280mm in height (A size) when plotted at a scale of 1:750.

All distances are in metres and decimals thereof.

September 22, 2017

WSP
 WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC
 PROJECT REF./DRAWING No.
 161-06661-01-000-00-BSUSK001-R0

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0623-00

Issued To:

Address of Owner:

Issued To: CITY OF SURREY

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-297-930
South 134 Feet Lot 1 Except: South 33 Feet, Section 13 Township 1 New Westminster
District Plan 7992

2315 - 168 Street

Parcel Identifier: 001-453-491
Lot 5 Section 13 Township 1 New Westminster District Plan 14691

2331 - 168 Street

Parcel Identifier: 009-968-971
Lot 6 Section 13 Township 1 New Westminster District Plan 14691

2323 - 168 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 22 Multiple Residential 30 Zone the minimum east yard setback is increased from 7.5 metres (25 ft.) 7.8 metres (25.5 ft.) to the principal building face and reduced reduce from 7.5 metres (25 ft.) to 7.3 metres (24 ft.) for projections for building 5;
 - (b) In Section F of Part 22 Multiple Residential 30 Zone the minimum west yard setback is decreased 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.9 metres (13 ft.) for projections for buildings 1 and 6;
 - (c) In Section F of Part 22 Multiple Residential 30 Zone the minimum south yard setback is decreased from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 4.2 metres (14 ft.) for projections for buildings 5 and 6; and
 - (d) In Section F of Part 22 Multiple Residential 30 Zone the minimum north yard setback is decreased from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face of Building 2 and to 6.9 metres (23 ft.) to Building 4.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Reduce the minimum north yard setback from 7.5 metres to 4.5 metres to the principal building face for building 2 and to 6.9 metres for building 4.

Reduce the minimum west yard setback from 7.5 metres to 4.5 metres to the principal building face and 3.9 metres for projections for buildings 1 and 6

Increase the minimum east yard setback from 7.5 metres to 7.8 metres to the principal building face, and reduce the minimum east yard setback from 7.5 metres to 7.3 metres for projections for building 5.

Reduce the minimum south yard setback from 7.5 metres to 4.5 metres to the principal building face and 4.2 metres for projections for buildings 5 and 6.

SITE RECONCILIATION

LEGAL DESCRIPTION:
SOUTH 134 FEET LOT 1 EXCEPT: SOUTH 33 FEET SECTION 13 TOWNSHIP 1 NWD PLAN 7992,
LOT 6 SECTION 13 TOWNSHIP 1 NWD PLAN 14691 AND
LOT 5 SECTION 13 TOWNSHIP 1 NWD PLAN 14691

CIVIC ADDRESS:
2315, 2323 AND 2331 - 168th ST, SURREY, BC

OCP: EXISTING: COMMERCIAL
NCP: EXISTING: SPECIAL RESIDENTIAL (15-25 UPA), SUNNYSIDE HEIGHTS
ZONE: EXISTING: RA (ONE ACRE RESIDENTIAL ZONE)
PROPOSED: RM-30

LOT AREAS:
GROSS LOT AREA = 11 870.00 sq. ft. (109.66 m²)
ROAD DEDICATIONS = 11 870.00 sq. ft. (109.66 m²)
NET LOT AREA = 11 870.00 sq. ft. (109.66 m²)

LOT COVERAGE:
PERMITTED: 45%
PROPOSED: 100%

DENSITY:
PERMITTED UPA (per NCP): 25 upa
PROPOSED UPA: 25 upa (25.4 upa = 40 units / 1.575ac)

PERMITTED FAR: 0.90
PROPOSED FAR: 1.00

SETBACKS:	PROPOSED TO BUILDING FACE:	PROPOSED TO FARTHEST PROJECTION:
SOUTH (FRONT)	4.5m	4.2m (AT BLDG 5, UNIT 29, 31, 33 & AT BLDG 6, UNIT 36, 38, 40)
NORTH (REAR)	4.5m	-
EAST (SIDE, EXT)	7.8m	7.3m (AT BLDG 5, UNIT 29)
WEST (SIDE, EXT)	4.5m	3.9m (AT BLDG 6, UNIT 40)

BUILDING HEIGHT:
ALLOWED: MAX. 13.0m
PROPOSED: 10.11m (BLDG. 5 & 6)

VISITOR PARKING:
REQUIRED: 40 UNITS x 0.2 = 8 CARS
PROVIDED: 9 CARS

OUTDOOR AMENITY:
REQUIRED: 1 600.00 sq. ft. (55.74 m²)
PROVIDED: 1 600.00 sq. ft. (55.74 m²)

INDOOR AMENITY:
REQUIRED: 1 600.00 sq. ft. (55.74 m²)
PROVIDED: 1 600.00 sq. ft. (55.74 m²)

FLOOR AREA SUMMARY

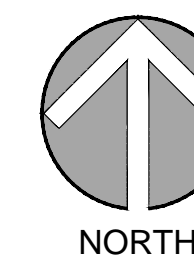
	LOWER	MAIN	UPPER	UNIT LIVING AREAS	SITE TOTALS
180	551 sq.ft.	630 sq.ft.	1,361 sq.ft.	16,332 sq.ft.	
191	572 sq.ft.	635 sq.ft.	1,388 sq.ft.	5,352 sq.ft.	
96	650 sq.ft.	650 sq.ft.	1,396 sq.ft.	11,168 sq.ft.	
98	655 sq.ft.	655 sq.ft.	1,406 sq.ft.	5,624 sq.ft.	
182	626 sq.ft.	638 sq.ft.	1,446 sq.ft.	5,784 sq.ft.	
183	613 sq.ft.	613 sq.ft.	1,409 sq.ft.	5,636 sq.ft.	
184	620 sq.ft.	620 sq.ft.	1,424 sq.ft.	2,848 sq.ft.	
184	672 sq.ft.	684 sq.ft.	1,540 sq.ft.	3,080 sq.ft.	
				56,024 sq.ft.	
				5,204.8 (

LOT COVERAGE SUMMARY

BLDG	# OF UNITS	LOT COVERAGE	
1	7	4,542 sq.ft.	421.9 (
2	6	4,637 sq.ft.	430.7 (
3	6	3,969 sq.ft.	368.7 (
4	9	5,792 sq.ft.	538.0 (
5	6	4,383 sq.ft.	407.1 (
6	6	4,324 sq.ft.	401.6 (
TOTAL	40	27,648 sq.ft.	2,567.9 (

SITE PLAN
SCALE: 1" = 20'

+00.00 PROPOSED CIVIL GRADES
+109.99 EXISTING SURVEY GRADES



CITY OF SURREY FILE #:
7916-0623-00

- 2017-11-10 LIVE-WORK REMOVAL
- 2017-09-21 ROAD DEDICATIONS REVISIONS
- 2017-09-08 PLANNING COMMENTS
- 2017-07-26 PLANNING COMMENTS
- 2017-04-21 DP REVISIONS
- 2016-10-04 ISSUED FOR RZ / DP

CLIENT
Royale Properties (Grandview) Ltd.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
168 STREET at 23 AVENUE
SURREY, BC

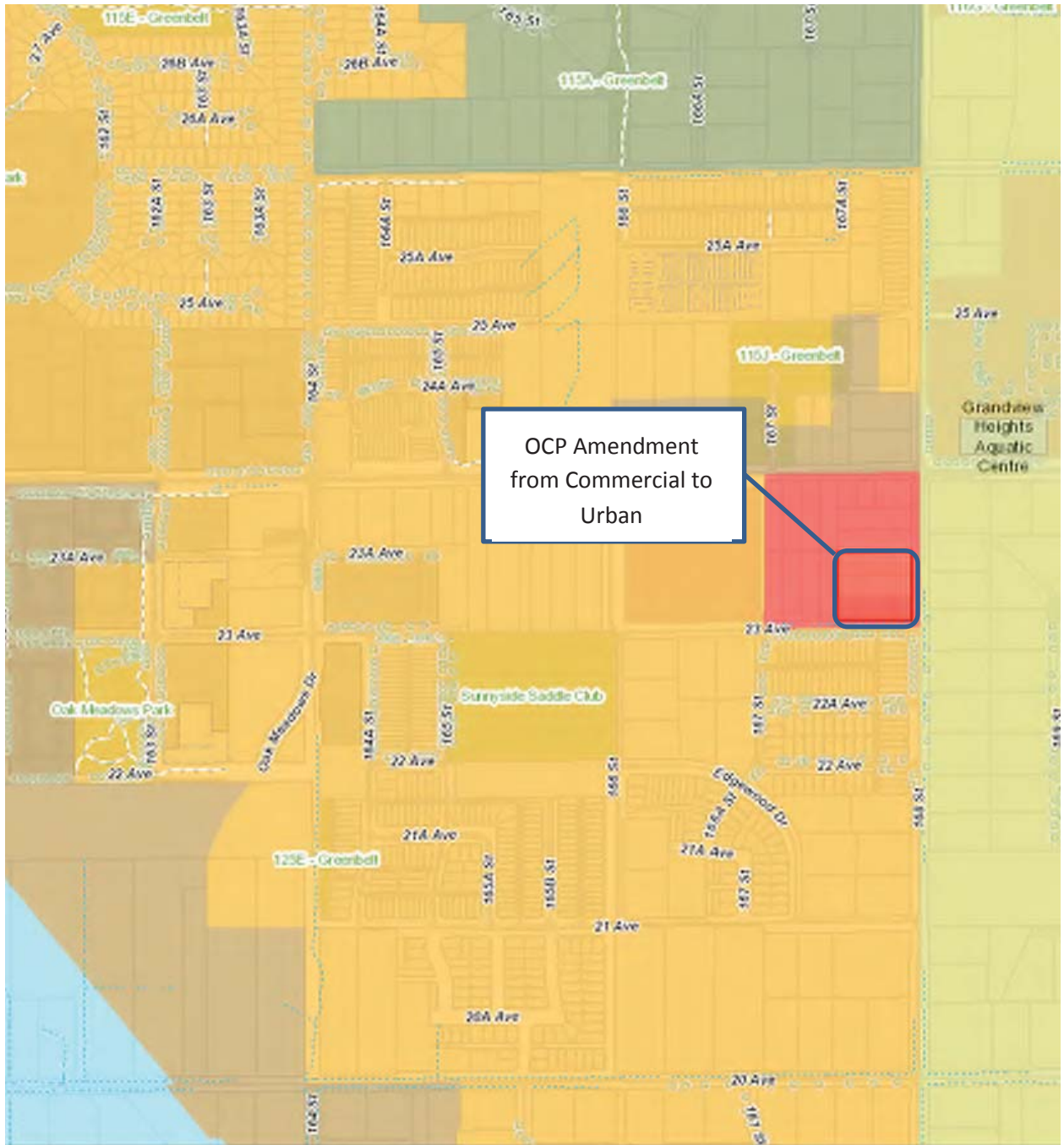
DRAWING TITLE
SITE PLAN

DATE 2016.09.19 FILE NO.
DWN. jk, ms
CHK. ch **1611A**

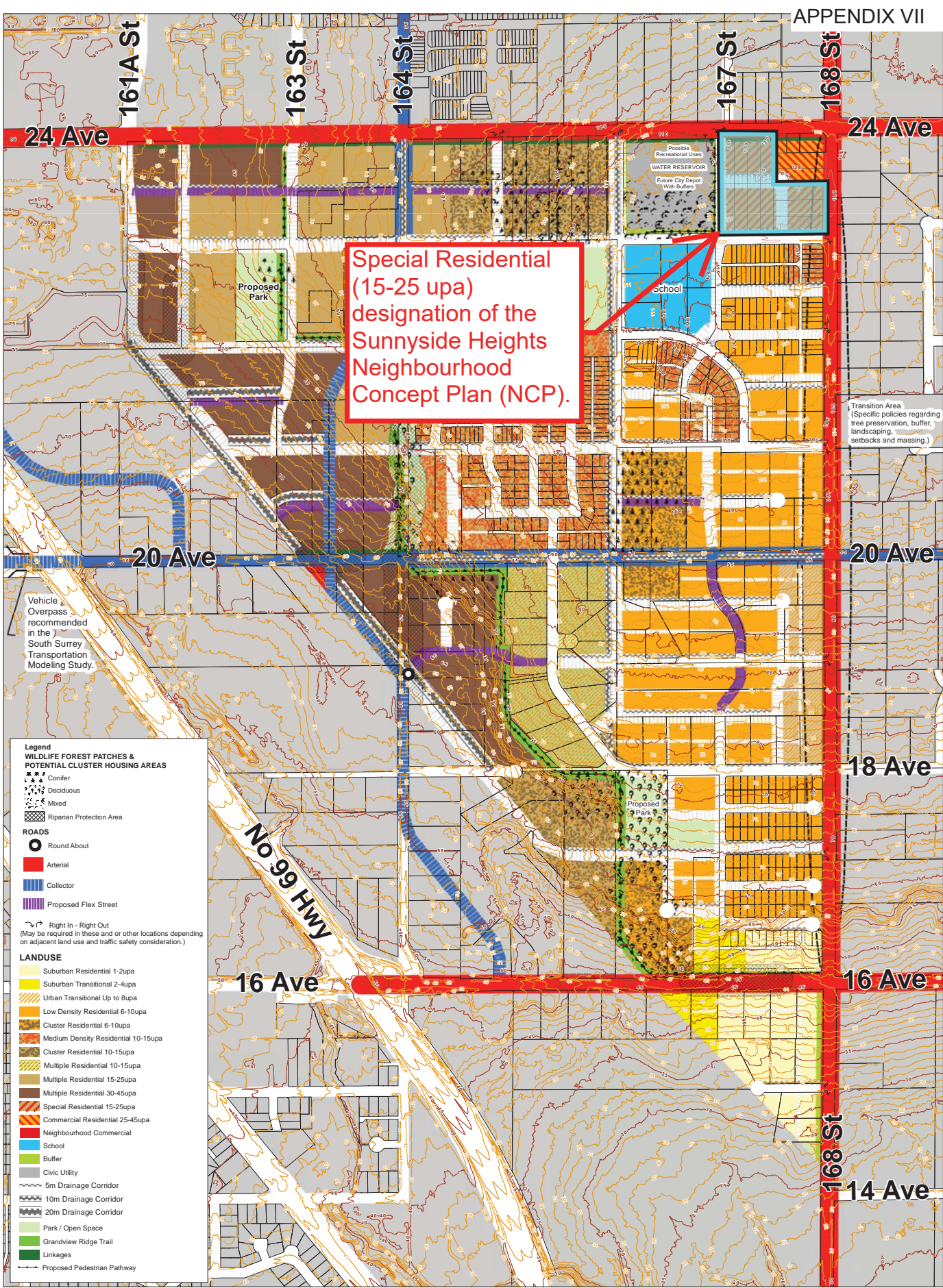
SEAL
SHEET NO.

DP-0.

SCHEDULE A



OCP Amendment
from Commercial to
Urban



Grandview Heights NCP Area #2 (Sunnyside Heights)

City of Surrey Planning & Development Department

Stage 1 Approved By Council: July 26, 2007
 Stage 2 Approved By Council Nov. 15, 2010
 Last Amended 18 May 2017





South Surrey Operations Centre

Future School Site

3

2

1

Future Mixed Use Commercial/ Residential 25-45 (upa)

Subject Property

3 sites with the Special Residential (15-25 upa) designation in the Sunnyside Heights Neighbourhood Concept Plan (NCP)

Example 1:

- 6 live-work units located at 14925-60 Avenue and developed under Development Application No. 7910-0219-00 and 7913-0145-00.



Example 2:

- 10 live-work units located at 18819-188 Street and developed under Development Application No. 7905-0359-00.

