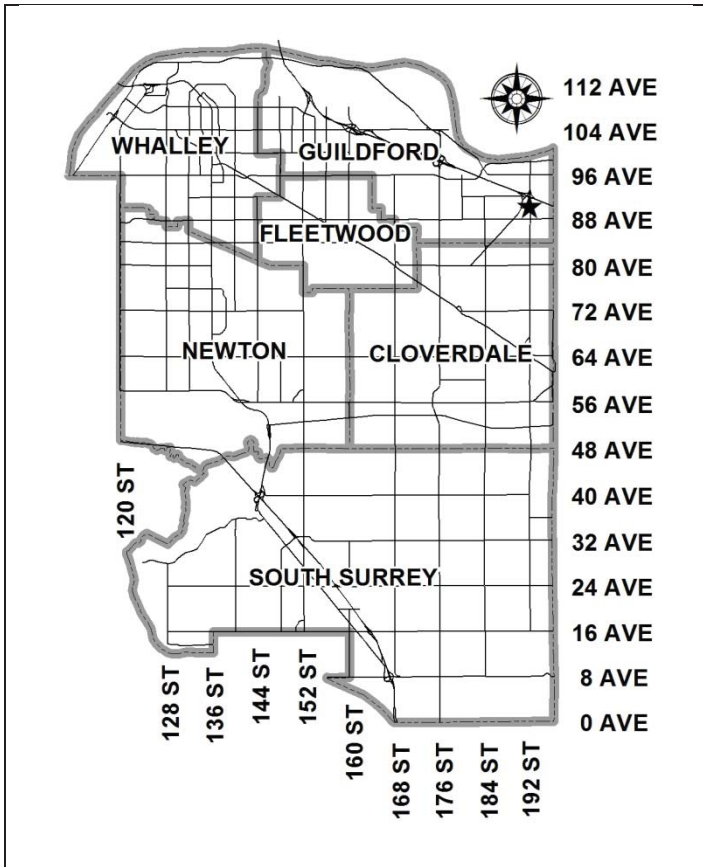


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0607-00

Planning Report Date: December 5, 2016

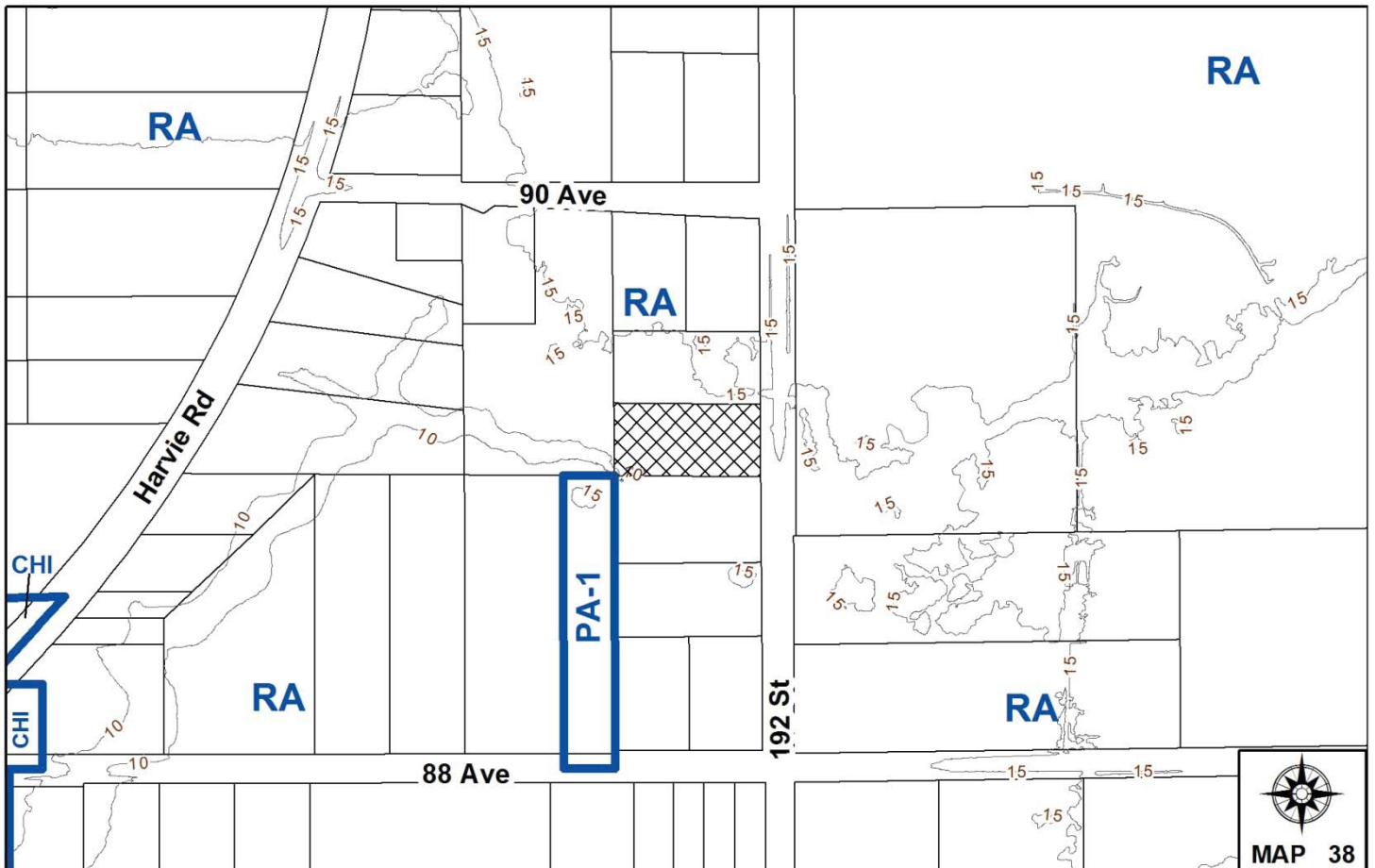


**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

to vary the minimum required streamside protection setback to allow for the construction of a new single family dwelling on the lot.

**LOCATION:** 8919 - 192 Street  
**OWNERS:** Jagdip S Mann et. al.  
**ZONING:** RA  
**OCF DESIGNATION:** Suburban-Urban Reserve  
**GLUP DESIGNATION:** Suburban Residential and 30m Creek Buffer (South Port Kells General Land Use Plan)



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the streamside setback area for a 'Natural Class A (red-coded) Stream', as measured from the top-of-bank, from 15 metres (50 ft.) to 5 metres (16 ft.).

### RATIONALE OF RECOMMENDATION

- Bartesko Creek, a 'Natural Class A (red-coded) Stream' runs east-west through the southern and southwestern portion of the lot.
- Under the associated building permit application, the applicant submitted a Riparian Area Regulation (RAR) assessment report regarding the on-site Class A watercourse (Bartesko Brook) and requested a relaxation of the 15-metre (50-ft.) riparian area setback in order to allow for the construction of a new single family dwelling on the lot. The proposal was previously reviewed by City staff and the Province via an independent audit, and the proposed relaxation to the minimum 15-metre (50 ft.) riparian area setback was supported.
- The proposed riparian encroachment area is approximately 1,123 square metres (12,087 sq.ft.), much of which consists of existing, disturbed lawn and grass areas. The applicant is proposing approximately 1,756 square metres (18,901 sq.ft.) of land for the Riparian Protection Area, which generally encompasses high-value riparian and stream habitats. The proposed protection area will be protected via the registration of a combination Restrictive Covenant/Right-of-way against the property to ensure safeguarding and maintenance of the protection area in perpetuity.
- The applicant has demonstrated via an Impact Mitigation Plan (IMP) prepared by EnviroWest Consultants Inc., and dated November 25, 2016, that the proposed setback reduction will not produce any significant negative impact on the adjacent protection area.
- The applicant has demonstrated via a comprehensive geotechnical report prepared by Tony Yam Engineering Ltd., and dated November 14, 2016 that the proposed setback reduction will not pose any significant issues in regards to slope stability on the subject property.
- On September 12, 2016, Council granted Final Adoption to Text Amendment By-law No. 18809, which incorporates streamside protection regulations as Part 7A in the Zoning By-law.
- The building permit application was in process prior to the adoption of Part 7A Streamside Protection in the Zoning By-law.

### RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7916-0607-00 for Hazard Land and Sensitive Ecosystems.
2. Council approve Development Variance Permit No. 7916-0607-00 (Appendix V) to reduce the minimum setback distance from the top-of-bank of a "Natural Class A Stream", in Part 7A of Zoning By-law No.12000 from 15 metres (50 ft.) to 5 metres (16 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to approval:
  - (a) registration of a Section 219 Restrictive Covenant to ensure the constructed dwelling complies with both the approved site plan and recommendations of the comprehensive geotechnical report; and
  - (b) registration of a combined Restrictive Covenant/Right-of-Way over the designated riparian area to ensure safeguarding and maintenance of the environmental features.

### REFERRALS

Engineering: The Engineering Department has no objection to the project, provided a satisfactory geotechnical report is submitted addressing slope stability concerns and a combined Restrictive Covenant/Right-of-way is registered over the protected area, prior to issuance of the Development Variance Permit (DVP).

### SITE CHARACTERISTICS

Existing Land Use: Existing one-storey house, which is to be removed. Bartesko Brook flows adjacent to the southern property line and through the southwest portion of the site.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling	Suburban-Urban Reserve in the OCP	RA
East (Across 192 Street):	Art's Nursery (plant and tree nursery) in the ALR	Agricultural in the OCP	RA
South (Across Bartesko Brook):	Single family dwelling	Suburban-Urban Reserve in the OCP	RA
West:	Single family dwelling	Suburban-Urban Reserve in the OCP	RA

DEVELOPMENT CONSIDERATIONSBackground and Context

- The 0.5116-hectare (1.26-acre) subject lot is located at 8918 – 192 Street in South Port Kells. The subject property is approximately 50 metres (164 ft.) in width and 102 metres (335 ft.) in depth.
- The subject site is designated Suburban-Urban Reserve in the Official Community Plan (OCP) and is zoned "One-Acre Residential Zone (RA)".
- The subject site is encumbered by a Class 'A' (red-coded) watercourse (Bartesko Brook) along the southern property line as well as southwest portions of the lot. The subject site is encumbered by steep slopes along the southern portion adjacent to the watercourse and located within a Hazard Land Development Permit Area (DPA) for steep slopes.
- The applicant applied for a building permit to construct a new two-storey, slab-on-grade house on the lot and as part of the building permit submission package submitted a detailed Riparian Area Regulation (RAR) assessment report. The RAR assessment report was subsequently reviewed by City staff and found to be generally acceptable prior to review by the Ministry of Forests, Lands and Natural Resource Operations which found the report met the assessment and reporting criteria for the Riparian Areas Regulation.
- The building permit has not yet been issued and the streamside setback regulations as well as the requirements of the Sensitive Ecosystem Development Permit (DP) area now apply.



### Streamside Protection

- In July 2014, Council endorsed the Biodiversity Conservation Strategy (BCS). The BCS included implementation measures to protect Surrey's streamside areas, natural habitats and sensitive ecosystems. The document identifies the use of a Development Permit Area (DPA) as an effective means to protect Surrey's natural environmental assets.
- On September 12, 2016, Council approved amendments to the Official Community Plan (OCP) and Zoning By-law No. 12000 to implement a Sensitive Ecosystem DPA and Streamside Protection Measures, collectively known as Surrey's Ecosystem Protection Measures, for the protection of the natural environment, including riparian areas. These changes were detailed in Corporate Report No. R188, which was approved by Council on July 25, 2016.
- The OCP is used to identify the specific types of ecosystems that are intended to be protected including Class A, A/O or B streams, and the Zoning By-law (Part 7A Streamside Protection) is used to identify the specific protection areas that are required to be established for Streamside Setback Areas.
- Section B.2 of Part 7A Streamside Protection of the Zoning By-law states that for lots that existed prior to September 12, 2016, where zoning allows for single family dwelling and duplex uses, the minimum required setback from the top of bank of a Class 'A' (red-coded) watercourse is 15 metres (50 ft.). Bartesko Brook, which runs along the southern perimeter of the subject site, is a Class 'A' (red-coded) watercourse.
- During the drafting of the Streamside Protection Measures, staff were aware that its implementation would result in a number of non-conforming sites throughout the City of Surrey. As such, it was anticipated that Development Variance Permit (DVP) applications could be considered in specific extenuating circumstances.
- The applicant is seeking a variance to reduce the minimum required streamside setback from 15 metres (50 ft.) to 5 metres (16 ft.), as measured from top-of-bank.
- As the subject site is located within the newly-established Sensitive Ecosystem DPA, a Sensitive Ecosystem Development Permit for Streamside Areas and an accompanying Ecosystem Development Plan and Impact Mitigation Plan are required.
- An Ecosystem Development Plan and Impact Mitigation Plan dated November 25, 2016 was prepared by Ian Whyte of EnviroWest Consultants Inc. and found to be generally acceptable by staff.

### Hazard Land Development Permit (Steep Slopes)

- The site is subject to a Hazard Lands Development Permit for Steep Slopes due to the presence of steep slopes along the southern and southwestern portions of the subject property adjacent to Bartesko Brook. In order to address this requirement the applicant has submitted a geotechnical report and an arborist report.
- The overall southwest to northeast elevation differential is approximately 4 metres (13 ft.) across the entire width of the property.

- The geotechnical report, prepared by Tony Yam Engineering Limited on October 30, 2016 makes recommendations on site preparation, structural fill, building foundation, seismic design of foundations, floor slab-on-grade and drainage for both the proposed house and access driveway. Upon review, staff asked that a revised geotechnical report comment upon building setback as well as undertake a slope analysis with regards to both potential loading at top-of-slope and erosion along the toe of the slope adjacent to Bartesko Brook.
- A revised geotechnical report was received on November 14, 2016 and has been found to be generally acceptable by staff.
- The locational requirements, geotechnical study and recommendations and site plan will be incorporated into the Hazard Lands Development Permit (DP), and also registered on title through a restrictive covenant. Issuance of the DP is required prior to issuance of the Building Permit. At Building Permit stage, the Building Division will require Letters of Assurance from the geotechnical engineer to ensure the building plans comply with the recommendations made in the approved geotechnical report.

### Trees

- Norman Hol, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	6	0	6
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Lombardy Poplar	4	4	0
Bitter Cherry	2	1	1
Weeping Willow	2	2	0
<b>Coniferous Trees</b>			
Douglas Fir	1	0	1
Western Red Cedar	5	4	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>14</b>	<b>12</b>	<b>2</b>
<b>Additional Trees in the proposed Riparian Area</b>	<b>17</b>	<b>0</b>	<b>17</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>8</b>	
<b>Total Retained and Replacement Trees</b>		<b>27</b>	
<b>Contribution to the Green City Fund</b>		<b>\$6,400.00</b>	

- The Arborist Assessment states that there are a total of 31 protected trees on the site, excluding Alder and Cottonwood trees. Six (6) existing trees, approximately 29% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 12 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 17 protected trees that are located within the proposed riparian area. The trees within the riparian area will be retained, except where removal is required due to hazardous conditions.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total 24 replacement trees on the site. Since only 8 replacement trees are proposed, the deficit of 16 replacement trees will require a cash-in-lieu payment of \$6400.00, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In summary, a total of 27 trees are proposed to be retained or replaced on the site with a contribution of \$6,400.00 to the Green City Fund.
- The applicant is required to construct a 1.8-metre (6 ft.) high fence along the northern perimeter of the Riparian Protection Area prior to the issuance of a building permit, to ensure the protection of the riparian area and all SPEA trees.

#### BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary Part 7A Streamside Protection of the Zoning By-law to reduce the minimum required streamside setback area, measured from the top-of-bank, from 15 metres (50 ft.) to a minimum of 5 metres (16 ft.).

Applicant's Reasons:

- The proposed streamside setbacks were previously supported by both City staff and the Province, as part of the required RAR assessment report audit process.
- The minimum required streamside setback area for an on-site sewage disposal system is 30 metres (100 ft.), as measured from top-of-bank, which requires the on-site sewage disposal system to be located along the north property line and limits siting of the dwelling.
- The building permit application to construct a single family dwelling on the subject property has been in-stream for some time and a re-design of building and site plan would create a significant burden on the applicant.

---

**Staff Comments:**

- Bartesko Brook, a natural Class 'A' (red-coded) watercourse, flows adjacent to the southern property line of the site in an east/west direction and through the southwestern corner of the site in a northwest/southeast direction. In accordance with the newly approved streamside setback areas, the minimum required setback measured from top-of-bank is 15 metres (50 ft.).
- Where a development is proposing to reduce the streamside setback area, a Development Variance Permit (DVP) is required and is to include an Impact Mitigation Plan. This is intended to ensure that the proposed setback reduction does not create a negative impact on the sensitive ecosystem.
- The applicant has demonstrated via an Impact Mitigation Plan (IMP) prepared by EnviroWest Consultants Inc., and dated November 25, 2016, that the proposed setback reduction will not produce any significant negative impact on the adjacent protection area.
- The proposed riparian encroachment area is approximately 1,123 square metres (12,087 sq.ft.), much of which consists of existing, disturbed lawn and grass areas. The applicant is proposing approximately 1,756 square metres (18,901 sq.ft.) of land for the Riparian Protection Area, which generally encompasses high-value riparian and stream habitats. The proposed protection area, illustrated in Appendix IV, will be protected via the registration of a combination Restrictive Covenant/Right-of-way to ensure safeguarding and maintenance of the protection area in perpetuity.
- The applicant has demonstrated via a comprehensive geotechnical report prepared by Tony Yam Engineering Ltd., and dated November 14, 2016 that the proposed setback reduction will not pose any significant issues in regards to slope stability on the subject property.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Site Plan
Appendix III.	Arborist Report and Tree Plan
Appendix IV.	Riparian Area Protection Plan
Appendix V.	Development Variance Permit No 7916-0607-00

INFORMATION AVAILABLE ON FILE

- Riparian Area Regulation (RAR) assessment report prepared by EnviroWest Consultants Inc. on March 9, 2016.
- Geotechnical Report prepared by Tony Yam Engineering Ltd. on October 30, 2016 and a revised report dated November 14, 2016.
- Impact Mitigation Plan prepared by EnviroWest Consultants Inc. on November 25, 2016.

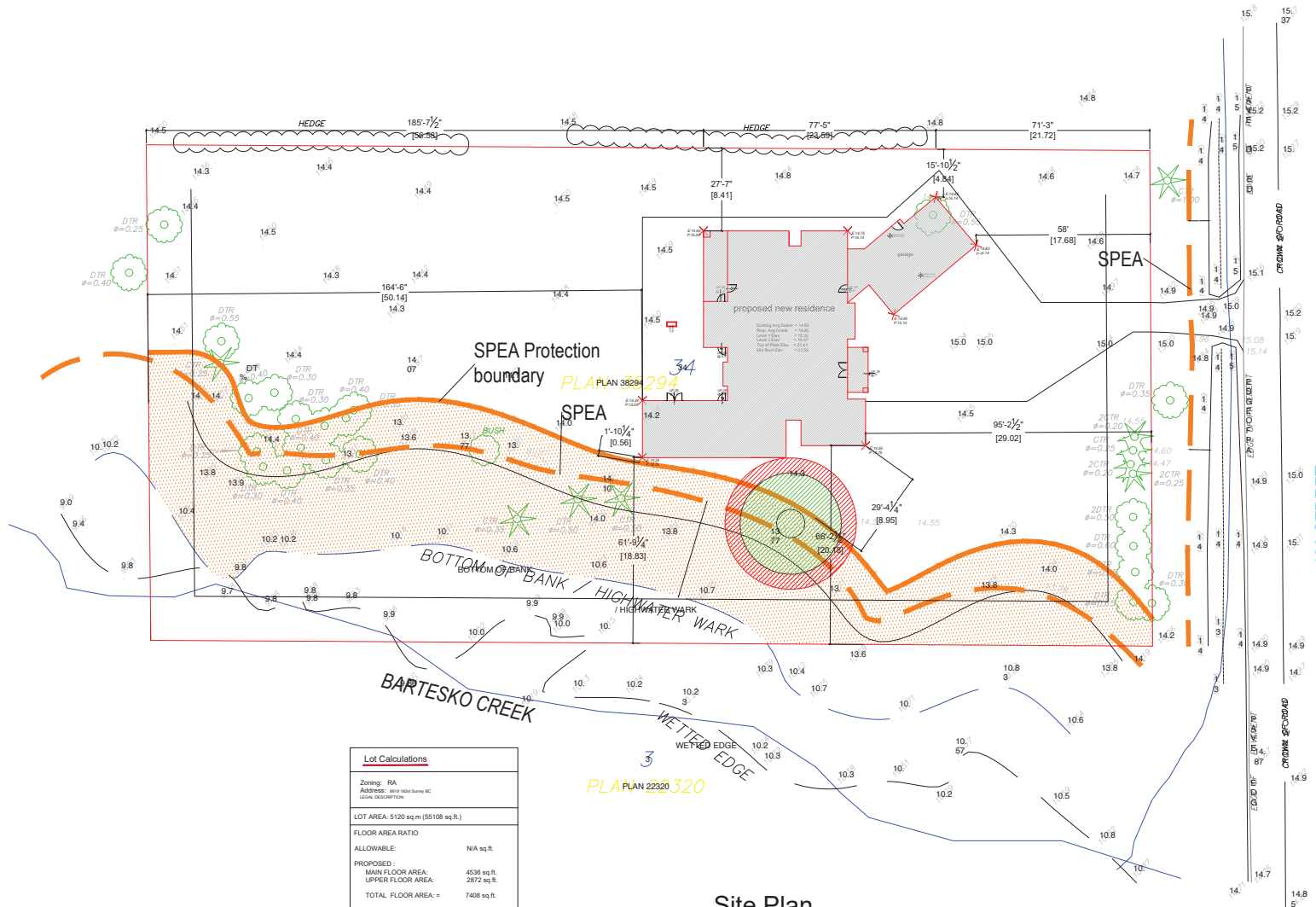
*Original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

CRL/da







Lot Calculations	
Zoning:	RA
Address:	8919 192st Surrey BC
LEGAL DESCRIPTION:	
LOT AREA: 5120 sq.m (55108 sq.ft.)	
FLOOR AREA RATIO	
ALLOWABLE:	N/A sq.ft.
PROPOSED:	
MAIN FLOOR AREA:	4536 sq.ft.
UPPER FLOOR AREA:	2872 sq.ft.
TOTAL FLOOR AREA:	7408 sq.ft.
SITE COVERAGE	
MAX. ALLOWABLE @ 20%:	11021.6 sq.ft.
PROPOSED:	4956.0 sq.ft.

Site Plan

**GENERAL NOTES:**  
It is the responsibility of the owner and builder to verify all dimensions and structure before construction report all errors or omissions to the designer.

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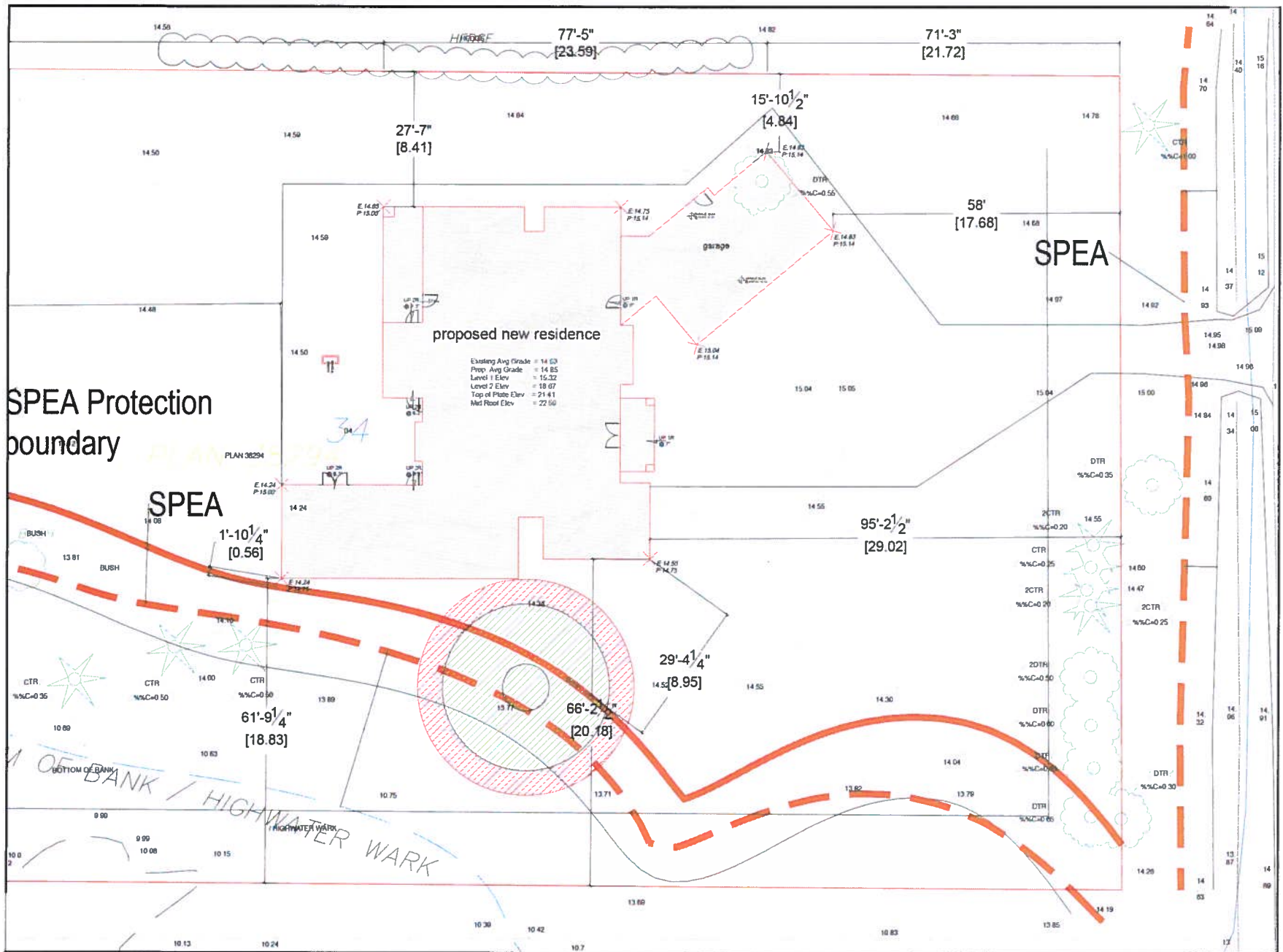
**Triobox Studio**  
#574 7360 137th St  
Surrey BC V3W 1A3  
f. 604.999.1243  
e. info@trioox.com  
w.trioox.com

8919 192st  
Surrey, B.C.

date: 18 Apr 2016  
scale: 1:200.  
drawing:

Site Plan

Page 1



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 e: info@tribbox.com  
 w: tribbox.com

8919 192st  
 Surrey, B.C.

date: 18 Apr 2016  
 scale: 1:100  
 drawing:

Site Plan

Page 2

## Tree Preservation Summary

**Surrey Project No:** 7916-0607-00

**Address:** 8919 - 192 Street

**Registered Arborist:** Norman Hol

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	31
<b>Protected Trees to be Removed</b>	12
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	19
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad 0 \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad 12 \quad} \times \text{two (2)} = 24</math></li> </ul>	<b>24</b>
<b>Replacement Trees Proposed</b>	<b>8</b>
<b>Replacement Trees in Deficit</b>	<b>16</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	<b>17</b>

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{two (2)} = 0</math></li> </ul>	<b>0</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by:

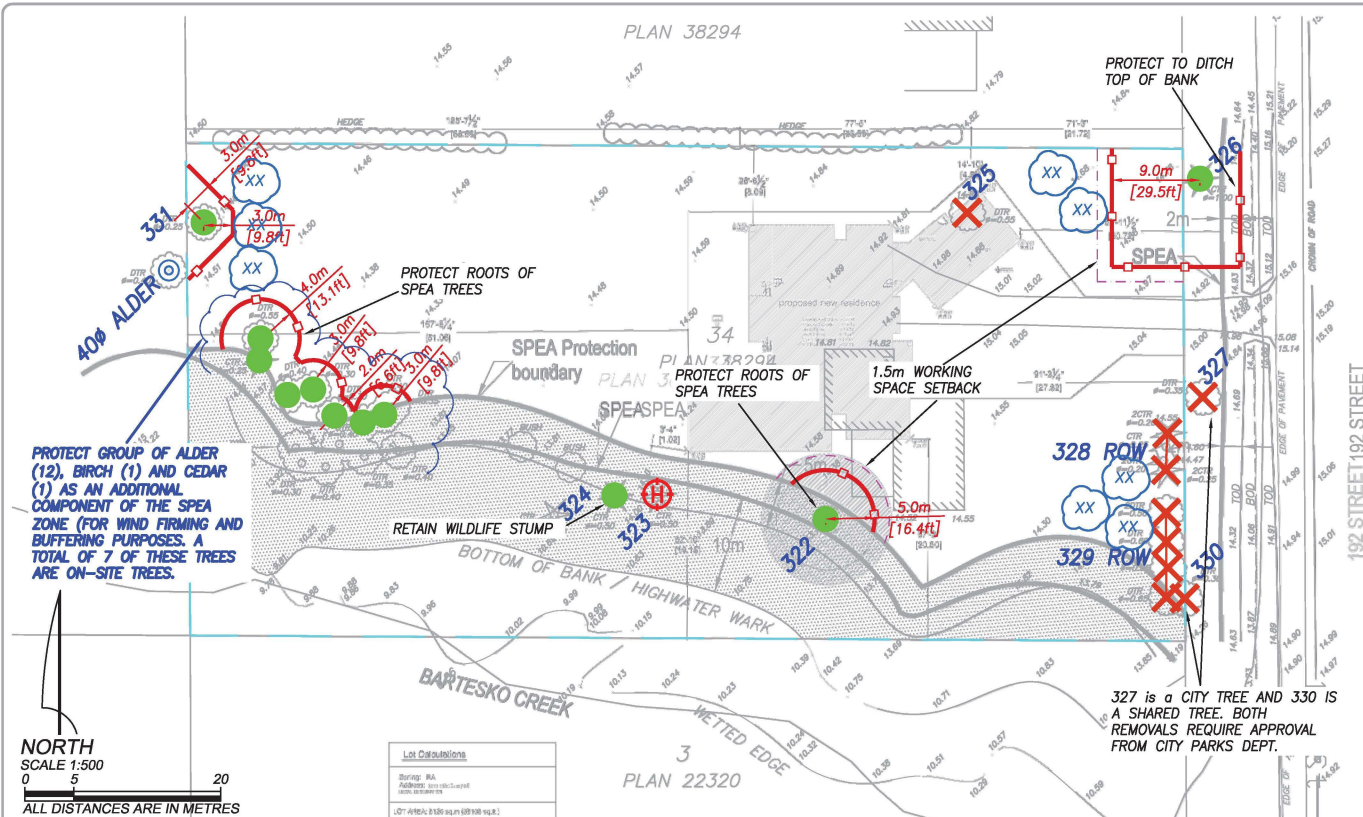


\_\_\_\_\_  
(Signature of Arborist)

November 29, 2016

\_\_\_\_\_  
Date

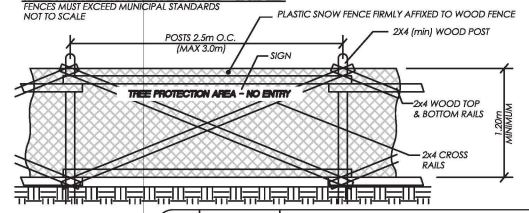




**TREE PROTECTION GUIDELINES:**

- TREE PROTECTION ZONE SETBACKS:**  
The Tree Protection Zone (TPZ) alignments are established as directed by this office to provide a suitable setback to ensure adequate root protection to maintain tree health and tree stability. These alignments are based on site and tree conditions as determined by the project arborist, and they supersede any other tree protection setbacks provided by others (including setbacks derived from municipal guidelines), and may be conditional to certain mitigation measures being undertaken (i.e. root pruning, compensatory treatment to remaining root zone). The tree protection guidelines also apply to the overhead portions of the tree (trunk, branches and foliage), even if those tree parts extend outside of the TPZ setback.
- TREE PROTECTION FENCES (BARRIERS):**  
Barriers must be erected at the specified alignments and setbacks, maintained in good condition until the project reaches substantial completion, and the restrictions and guidelines implemented as detailed herein through to the completion of the landscaping phase. The materials and installation of the fence must meet or exceed the municipal standards. Signs stating "TREE PROTECTION ZONE - NO ENTRY" must be placed on the tree protection fence at a suitable frequency at the direction of the project arborist. ArborTech will install signs in cases that we are retained to provide field services for compliance during construction. The owner, contractor, subcontractors and trades should be made aware of the restrictions therein, and consult with this office for any access. If required, tree protection fencing must be inspected and approved by the municipality and/or the project arborist prior to commencement of any demolition, site preparation or construction work.
- SURVEY OF FENCES:**  
If any tree protection fences are aligned with or within close proximity to a restrictive covenant, a property line, and/or an environmentally sensitive or protected area, the contractor must undertake a survey of the location of those property lines such that the tree protection fence can be installed and inspected accurately.
- TREE PROTECTION AND LAND CLEARING OPERATIONS:**  
If large scale land clearing areas contain a TPZ and/or there is win-draming treatment required in new forest edge interfaces along the perimeter of the land clearing areas, and/or when certain trees within a TPZ are specified for removal, it is strongly recommended that the land clearing contractor should coordinate with the project arborist in advance to review their work plan and to identify retained trees and the protection measures for them, as well as during the clearing process to improve compliance and to assess new forest edges and provide tree failure-risk mitigation prescriptions.  
For tendering purposes, the proponent should be required to provide unit costs for the following treatments (including disposal of waste) in the forest interface zones:  
  - Removal of defective trees in size categories of small (dbh up to 20 cm dbh), medium (dbh 21 cm to 45 cm), large (dbh 46 to 75 cm) and very large (76 cm dbh and greater), and:
    - Pruning services (hourly).
  - Note that approach for leaving chips or large woody debris created by the waste of these operations on the site will be investigated with affected property owners upon request.
In certain cases, and subject to municipal approval, interim tree protection measures instead of standard tree protection fence installation may be acceptable, such as but not limited to:
  - Retaining the services of the project arborist to attend and direct the compliance to protection measures during the clearing and scope that is in proximity to the TPZ, or
  - Installing alternative demarcation of the TPZ such as survey stakes, painting lines on the ground, and/or placing rope and flagging.
- TREE PROTECTION GUIDELINES:**  
Any construction related work or activities within or directly adjacent to a TPZ requires advance approval and the on-site direction of the project arborist. The trunks, branches, foliage and roots of retained trees, as well as the soil within the tree protection zones, must not be damaged by construction activities. Except as approved and directed by the project arborist, activities within and access to the TPZ are restricted during the site preparation, construction and landscape installation phases of the project as follows:
  - Restricted low impact methods for the removal of trees and stumps within or adjacent to TPZ.
  - No soil disturbance, including trenching for underground services or utilities, stripping of organic soil for hard landscape installation, excavation for building foundations, fill placement, or trenching for irrigation or conduit installation.
  - No storage or transport of soil, spoil, construction materials, waste materials, etc.
  - No waste or washing of concrete, sludge, drywall, paint, or other materials that may adversely impact the soil or root.
  - No passage or operation of vehicles or equipment.
  - No placement of temporary structures or services.
  - No affixing lights, signs, cables or any other device to retained trees.
  - No unauthorized pruning or cutting of retained trees. Any pruning or other treatment of a retained tree must be completed by a qualified arborist or tree service firm employing ISA Certified Arborists and in conformance with ANSI A300 Standards, and/or under the direction of the Project Arborist from this office, and.
  - Any excavators adjacent to the TPZ will require the attendance of the project arborist and root pruning to be undertaken as necessary.
  - The use of aerial lifts, cranes or other overhead equipment is restricted in proximity to retained trees and should be planned with the size and height of the crown of the tree accordingly.
It is recognized that certain unpredictable construction conflicts with a TPZ may arise that could interfere with the protection of the selected trees, however any encroachment into a TPZ and/or changes to the tree retention scheme are subject to approval in advance by the project arborist and the municipality. Certain TPZ restrictions or guidelines noted herein may be waived if they are considered by the project arborist to be tolerable impacts, and/or if the impacts to the trees can be successfully mitigated by implementing special measures, protection systems, compensatory treatments, and/or follow up works, as specified and directed by this office.
- LANDSCAPING:**  
The landscaping phase is when retained trees can be severely damaged. The operation of equipment, the placement of growing media, grading and sub-base preparation for hard landscape features (i.e. sidewalks and patios), site preparation for retaining walls and footings, excavation for fences, signs and other landscape features, staging of planting holes for new plants and trees, the digging of trenches for irrigation, drainage and lighting, and the placement of turf and other finishing works, all have a very high potential for tree and root damage. It is vital that the landscape works respect the limitations on activities within the TPZ therefore the landscape installation staff should be advised. On-site direction by the project arborist is strongly recommended.

**TREE PROTECTION FENCE DETAIL - SAMPLE:**



**PLAN NOTES:**  
This plan is based on drawings supplied by the project Surveyor (BCLS), Engineer (P ENG) and/or Design Professionals and is provided for control only as it relates to the planning and implementing the management of existing trees. This plan does not warrant or certify the accuracy of locations of features or dimensions thereof. Refer to the original drawings from those professionals for those purposes.

- LEGEND:**
- XXX denotes TAG NUMBER or ID REFERENCE.
  - AC denotes ALDER or COTTONWOOD TREE (untagged by law sized).
  - denotes DRIPLINE (spread of the branches and foliage) of the tree.
  - denotes RETENTION tree (proposed).
  - ✗ denotes REMOVAL tree (proposed).
  - ⊕ denotes HIGH RISK REMOVAL tree (proposed).
  - ⊙ denotes OFF-SITE tree (to be protected and/or owner contacted as noted).
  - ✦ denotes NON-BY-LAW undersize tree (as measured by project arborist).
  - denotes SITE or STUDY AREA BOUNDARY.
  - denotes TREE PROTECTION ZONE (TPZ) setback alignment as specified by project arborist.
  - XX denotes REPLACEMENT TREE proposed (conceptual location - see plant list for details).

SEE SHEET 1 FOR TREE DATA AND SPECIFICATIONS

aclgroup.ca

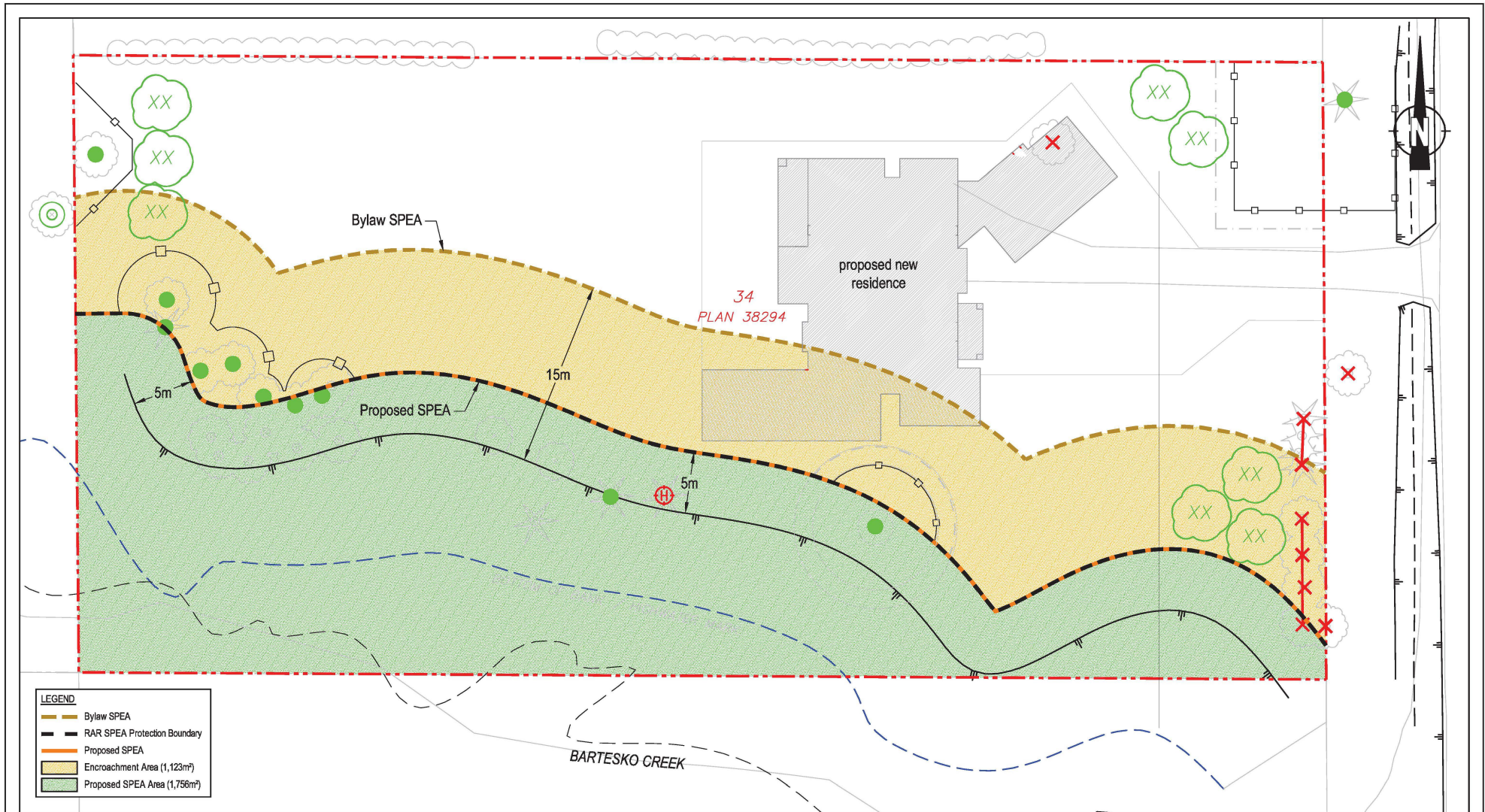
**ARBORTECH**  
ACL GROUP CONSULTING

SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 p 604 275 3484

2	OCT 25, 2016	UPDATED SITE PLAN AND COORDINATED WITH REPORT
0	FEB 26, 2016	INITIAL SUBMISSION
REV #	DATE	COMMENTS

TREE MANAGEMENT DRAWING		
PROJECT:	BP APPLICATION	
ADDRESS:	8919 192 ST SURREY BC	
CLIENT:	VIJAY MANN	
ACL FILE:	16122	SHEET: 2 OF 2





**LEGEND**

- Bylaw SPEA
- RAR SPEA Protection Boundary
- Proposed SPEA
- Encroachment Area (1,123m²)
- Proposed SPEA Area (1,758m²)

**REFERENCE DRAWINGS**

1. Email: 8919 192st CAD file Apr12.dwg. Received May 16, 2016; Vijay Mann.
2. ACL File No. 16122. Sheet 2 of 2. "Tree Management Drawing". February 26, 2016. Arbortech Consulting Ltd.
3. Email: 8919 192st Site Plan Mar8.dwg. Received March 09, 2016; Vijay Mann.
4. 2014 Legal Base from City of Surrey.

MR. VIJAY MANN

8919 192 STREET  
Surrey, BC



**envirowest consultants inc.**  
 Suite 101 - 1515 Broadway Street  
 Port Coquitlam, British Columbia  
 Canada V3C 6M2  
 office: 604-944-0502  
 facsimile: 604-944-0507  
[www.envirowest.ca](http://www.envirowest.ca)

SPEA

DESIGN: PH/CG	DRAWN: CEV/SCM	CHECKED: IWW	REVISION: 00	REVISION DATE:
SCALE: 1:300			DRAWING NUMBER: 2180-01-02	
DATE: November 24, 2016				

DATE: 2016-11-24 - 4:07pm  
 PATH: \\ENV-FS-RV\Alpha\Envirowest Files\2016\Surrey-White Rock\2180-01\AutoCAD\Final\2180-01-02.dwg  
 LAYOUT: 2180-01-02

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0607-00

Issued To: VIJAYPEEP SINGH MANN  
JAGDIP SINGH MANN  
BASANT KAUR MANN  
PRABHJOT KAUR MANN

("the Owner")

Address of Owners: 18912 - 55A Avenue  
Surrey, BC V3S 6X1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-518-068  
Lot 34 Section 33 Township 8 New Westminster District Plan 38294

8919 - 192 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In the table in Section B.2 of Part 7A "Streamside Protection", the minimum required distance from top-of-bank of a "Natural Class A Stream" is reduced from 15 metres (50 ft.) to 5 metres (16 ft.).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.



5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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Mayor – Linda Hepner

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City Clerk – Jane Sullivan

**GENERAL NOTES:**  
It is the responsibility of the owner and builder to verify all dimensions and locations of features on site. All errors or omissions to the designer.  
**NOTES CONTAINED ON ALL PAGES APPLY TO ALL OTHER PAGES.**

**COPYRIGHT:**  
The drawings will remain the property of the designer. This is a limited licensing agreement which gives you the right to build this structure. Designs or plans are not to be duplicated or copied.

these drawings conform to BCBC 2012



**Tribbox Studio**  
#574 7350 1370th St  
Surrey BC V3W 1A3  
t: 604.896.1243  
w: tribbox.com

8919 192st  
Surrey, B.C.

date: 18 Apr 2016  
scale: 1:200  
drawing:

Site Plan

Page 1

