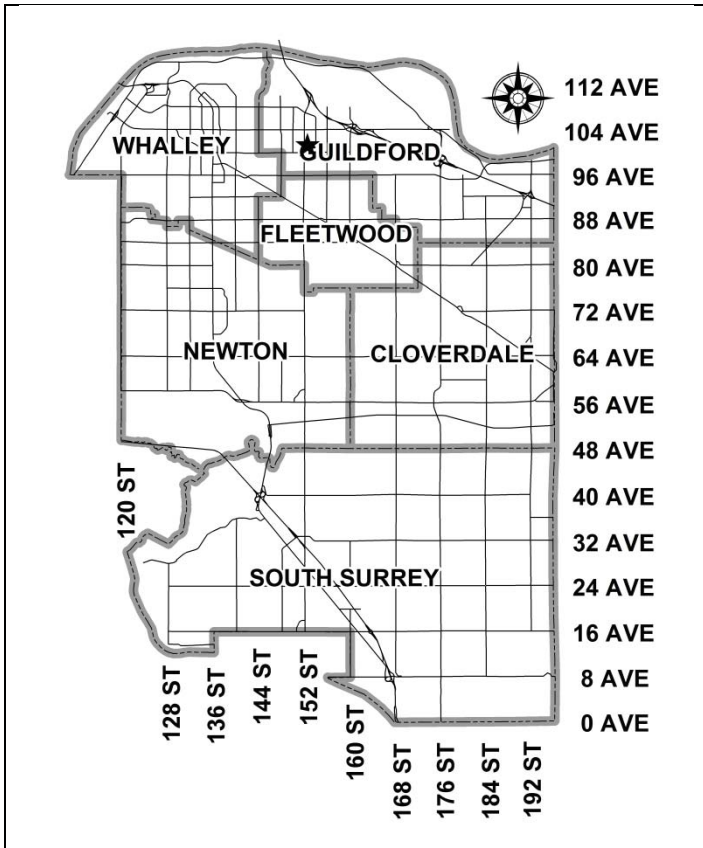


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0446-00

Planning Report Date: December 19, 2016

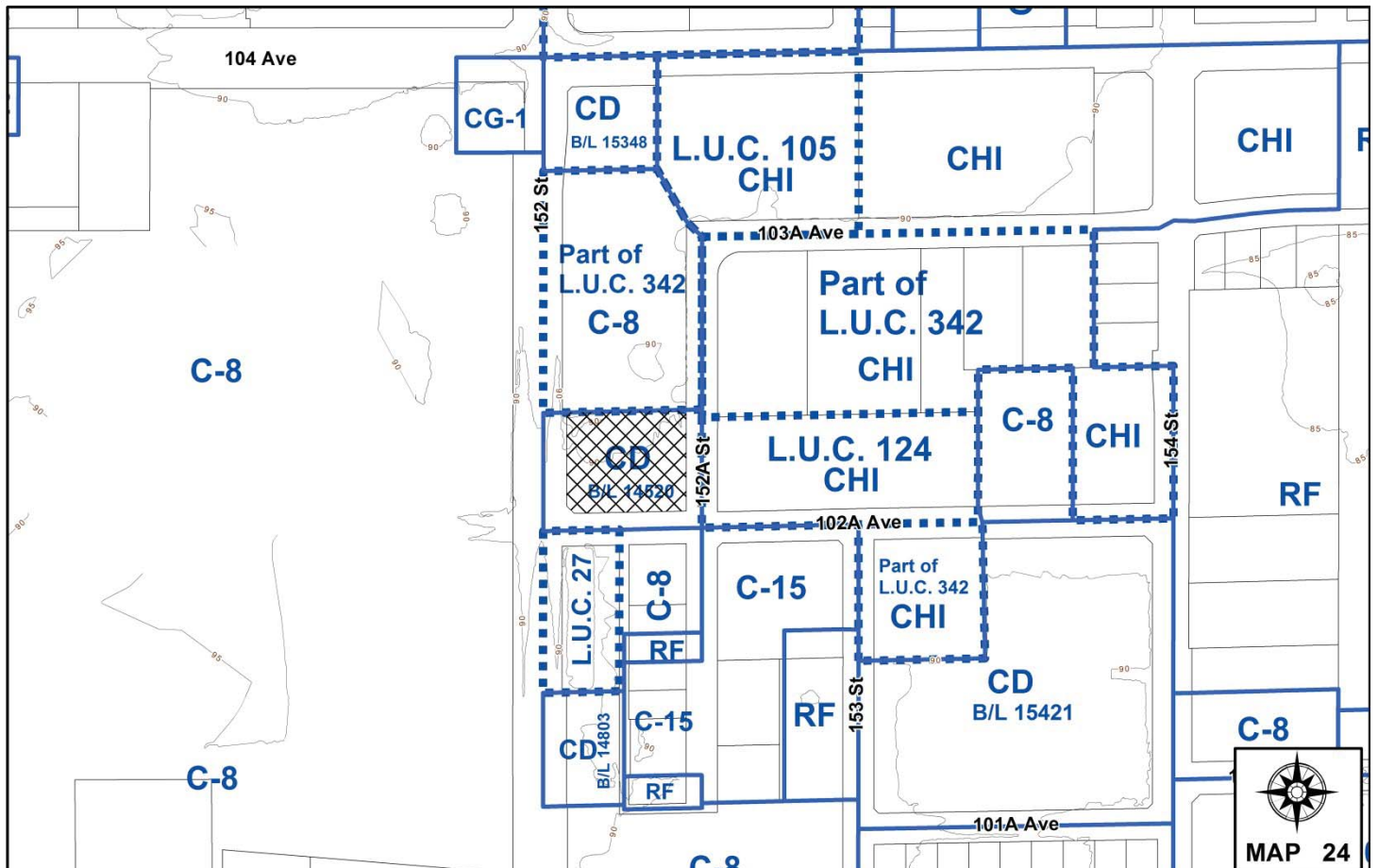


PROPOSAL:

- **Development Permit**

to permit renovations to an existing drive-through restaurant (McDonald's) in Guildford Town Centre.

LOCATION: 10258 - 152 Street
OWNER: McDonald's Restaurants Of Canada Ltd
ZONING: CD (By-law No. 14520)
OCP DESIGNATION: Town Centre



RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Sign By-law through a comprehensive design package to:
 - increase the maximum number of fascia signs from two (2) to nine (9);
 - permit more than one (1) fascia sign to be located on the same façade; and
 - permit two (2) fascia signs to extend beyond the roof line of the building.

RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a new modern design character while maintaining desirable elements of the existing building.
- The applicant proposes seven (7) additional fascia signs beyond the two (2) signs permitted under the Sign By-law for a total of nine (9) fascia signs, for the existing McDonald's restaurant. The proposed fascia signs are well under the maximum sign area permitted under the Sign By-law, are of a high-quality design, and are of an appropriate size and scale in relation to the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7916-0446-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
3. Council instruct staff to resolve the following issue prior to final approval:
 - (a) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's drive-through restaurant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single-storey multi-tenant retail buildings.	Town Centre	LUC No. 342 (underlying C-8)
East (Across 152A Street):	ICBC Claim Centre.	Town Centre	LUC No. 124 (underlying CHI)
South (Across 102A Avenue):	Two-storey multi-tenant retail buildings and single-storey retail building.	Town Centre	LUC No. 27 (underlying C-8) and C-8
West (Across 152 Street):	Guildford Town Centre mall.	Town Centre	C-8

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located at 10258 – 152 Street in Guildford Town Centre and is approximately 4,999 square metres (1.24 acres) in size. The site is designated Town Centre in the Official Community Plan (OCP) and is zoned "Comprehensive Development Zone (CD)" (By-law No. 14520).
- The site is currently occupied by a single-storey McDonald's drive-through restaurant. The existing design of the 549-square metre (5,910-sq. ft.) restaurant was approved under Development Permit No. 7901-0163-00 in January, 2002.
- As part of a rebranding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve consistent branding and to increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.

Current Proposal

- The applicant is proposing a Development Permit in order to allow exterior renovations to the existing single-storey drive-through restaurant, including new fascia signage.
- The applicant is also proposing to vary the Sign By-law through a comprehensive sign design package in order to allow seven (7) additional fascia signs, for a total of nine (9) fascia signs. Two (2) of these signs are existing signs that extend above the roof line of the building.
- The applicant is also proposing to renovate the interior of the restaurant through a Tenant Improvement Building Permit.
- The floor area of the building is 549 square metres (5,910 sq. ft.), resulting in a floor area ratio (FAR) of 0.10, which complies with the maximum FAR of 1.5 permitted in the CD Zone (By-law No. 14520).

DESIGN PROPOSAL AND REVIEW

Building Design

- The applicant is proposing exterior modifications and improvements to the existing building, which will provide a more contemporary look to the building.
- The proposed changes to the exterior of the building are intended to implement McDonald's new contemporary restaurant design while maintaining elements and materials of the existing building. The proposed design retains portions of the stucco and trim, aluminum frame glazing, and the existing plexiglass-clad arches which extend above the roof line of the building. Many of the existing exterior elements and finishes will be retained and painted red, charcoal grey and medium grey to implement McDonald's new colour scheme.

- The existing tapered fin feature on the northwest, southwest and southeast elevations will be retained and the underside will be painted a neutral colour.
- New vertical red metal panels with white metal ribbon will be installed on the south and southwest elevations as a new key design element to identify the restaurant entrance and location of new signage. Similarly, red and white metal paneling will be installed on the north elevation to identify the location of the two drive-through order pick-up windows.
- The existing canopies on the north and south façades will be removed.

Drive-Through and Parking

- The existing parking lot and dual lane drive-through configuration will remain unchanged.
- The site accommodates 63 parking stalls, which exceeds the 55 stalls required by the Zoning By-law.

Proposed Signage

- The existing free-standing pylon sign located at the 152 Street entrance will remain in place.
- The on-site directional and drive-through signage will remain unchanged.
- The applicant proposes to retain four (4) of the existing fascia signs and install five (5) new illuminated fascia signs on the building.
- The two (2) existing yellow and red "Arches" fascia signs which extend above the roof line on the southeast and northwest elevations will remain unchanged.
- The two (2) existing fascia signs on southwest elevation will remain, including a red and yellow "PlayPlace" sign and a brown and white "McCafé" sign.
- Three (3) new fascia signs are proposed on the south elevation, including a white "McDonald's" sign consisting of illuminated individual channel letters, a blue "Open 24 Hours" sign, and a black and white "Create" sign.
- Two (2) new fascia signs are proposed on the southeast elevation, including a yellow "Arches" sign and a brown and white "McCafé" sign.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the on the same façade of the premises.
- The applicant proposes a total of nine (9) fascia signs, and as a result, a relaxation is required to allow seven (7) additional fascia signs and permit multiple signs on the same façade.
- The proposed signage design has been reviewed by staff and found to be acceptable. The location and scale of the proposed signage is modest and complementary to the building design. The signage is constructed of high-quality materials.
- Staff support the proposed variances as part of a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Table
- Appendix III. Site Plan and Building Elevations

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

LM/da

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 14520)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		4,999 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	80%	12%
Paved & Hard Surfaced Areas		34%
Total Site Coverage		46%
SETBACKS (in metres)		
Front (West)	2.0 metres	11.2 metres
Rear (East)	7.5 metres	25.6 metres
Side #1 (South)	2.0 metres	35.9 metres
Side #2 (North)	3.0 metres or o	7.0 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	14 metres	7.4 metres
Accessory	4.5 metres	N/A
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		549 sq.m.
Retail		
Office		
Total		549 sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA	7,499 sq.m.	549 sq.m.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.5	0.10
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	55	63
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	55	63
Number of disabled stalls		2
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of nine (9) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building
2	To allow two (2) fascia signs to be installed on the same (southwest) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the southwest façade includes a 'PlayPlace' sign and a 'McCafé' sign, which is consistent with other McDonald's restaurants in the City.
3	To allow three (3) fascia signs to be installed on the same (south) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the south façade includes a 'Create' sign, an 'Open 24 Hours' sign and a 'McDonald's' fascia sign, which is consistent with other McDonald's restaurants in the City.
4	To allow three (3) fascia signs to be installed on the same (southeast) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the southeast façade includes two (2) golden 'Arches' signs and a 'McCafé' sign, which is consistent with other McDonald's restaurants in the City.
5	To allow two (2) fascia signs to extend above the roof line of the building face to which it is attached on the northwest and southeast elevations.	A fascia sign must not extend above the roof life of the building face to which it is attached (Part 1, Section 6(1.3))	The two (2) existing golden arch logos are on yellow plexiglass-clad arches which are complementary to the façade articulation.

McDonald's®

SECTION 28 RANGE 1 PLAN LMP52543 NWD PARCEL A.

10258 152 STREET, SURREY, BRITISH COLUMBIA



DRAWING / CONSULTANT LIST:

ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.
3707 1st AVENUE,
BURNABY, B.C., V5C 3V6
(tel) 604.298.3700
(fax) 604.298.6081
(e-mail) ascott@lovickscott.com
rreyes@lovickscott.com

A0 Cover Sheet
A0.1 General Notes
Code Analysis
and specifications
A0.2 Wall
Signage Plan
AS0.0 Context Photos
AS1.0 Existing Site Plan
AS1.1 Proposed Patio Plan
A1 Existing/Demolition Floor Plan
A1.1 Proposed Floor Plan
A2.0 Existing & Proposed South West Elevations
A2.1 Existing & Proposed South Elevations
A2.2 Existing & Proposed East Elevations
A2.3 Existing & Proposed North Elevations
A2.4 Coloured Elevations
A3.0 Building Section A & B

**EXTERIOR FINISHES SPECIFICATIONS:
LISTED NOTES AND SPECIFICATIONS ARE TYPICAL
APPLY ITEMS AS PER PERCENTAGE OF WORK:**

CERTAINTED: FIBER CEMENT PANEL 'A' LAP SIDING:

PANELS: SMOOTH FINISH 48" x 96" x 5/16" PANELS, UNLESS NOTED OTHERWISE.
SHIP PAINTER COLORS: REFER TO ELEVATIONS
LIGHT GREY: DULUX PAINT 'PROST' GREY MCD 50
MEDIUM GREY: DULUX PAINT 'RESENT' GREY MCD 49
DARK GREY: DULUX PAINT 'CHARCOAL GREY' MCD 42
CEDAR LAP 8" W/ 5/16"
SHIP PAINTER COLOR:
BROWN: DULUX PAINT 'CHESNANT/CAGE BROWN MCD 31
CLEAN WASHED FINISH: EASYTRIM

LEVELS/INSTALLATION NOTES:
VERTICAL PANEL FASTENERS: MUST LINE UP BOTH VERTICALLY & HORIZONTALLY. OFFSET FASTENERS WILL NOT BE ACCEPTED AND PANELS MAY HAVE TO BE REPLACED WHERE FASTENERS DO NOT LINE UP.
ALL FASTENERS ARE TO BE STAINLESS STEEL FACTORY PRE-FINISHED TO MATCH ADJACENT PANELS. E.G. TO RE-TOUCH PAINTED SS, FASTENERS ONCE PANELS ARE INSTALLED (PAINT TO MATCH FACTORY PAINT COLOR AND TYPE).
3. REVEALS ARE TO BE INSTALLED TRUE & FLUSH.

EASYTRIM J-GCHANNEL MUST BE INSTALLED AROUND SIDE EDGES OF ALL DOORS, WINDOW, LIGHT FIXTURES & WATER HOSE BOXES AND EAST/WEST CHANNEL OF ALL DOORS, WINDOWS, LIGHT FIXTURES & WATER HOSE BOXES HEAD.
REVEALS INSTALLED OVER OTHER REVEALS THAT REQUIRE NOTICING.
SAW CUTS IN PANELS AROUND FLASHING SHOULD BE NEAT AND NO HIDER (WHEN NECESSARY). EXISTING CUTS MUST BE CONCEALED WITH J-CHANNEL OR THE PANELS REPLACED.
REVEALS ARE NOT TO BE EXPOSED WHEN HANDLING THE PANELS TO AVOID CHIPPED EDGES. DAMAGED PANELS SHOULD NOT BE INSTALLED EXCEPT IN LOW VISIBLE AREAS SUCH AS INSIDE FACES OF PARAPETS.
EXPOSED PANEL EDGES ARE TO BE FACTORY EDGES AS APPROVED TO CITY EDGES.
REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
EASY TRIM SURFACE MOUNTED SCREWS REFER TO SMOOTH HARD PANEL TO BE 5/16" BUT FASTEN TO MATCH THE SURROUNDING PANEL.
ALTERNATIVES FOR CERTAINTED EASY TRIM PRODUCTS WILL NOT BE ACCEPTED.

ALPOLIC METAL PANELS (SEE RESPONSIBILITY CHART):
4MM PANEL THICKNESS TYPICAL
RED JONTS
30" X 60" TYPICAL PANEL SIZE
ALTERNATIVE PRODUCTS WILL NOT BE ACCEPTED
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL
RED PANEL:
IRON RED, FEVE LUMFION PAINT SYSTEM 308, 61055.
WHITE PANEL:
BIT WHITE, FEVE LUMFION PAINT SYSTEM 308, 61055.

CONTRACTOR TO CONTACT SUPPLIER IMMEDIATELY UPON TENDER ANNOUNCEMENT.
SUPPLIER MUST RECEIVED A SIGNED PURCHASE ORDER FROM THE CONTRACTOR BY THE PROCEED OF THE BIDDING MEET.
IT IS CRITICAL THAT THE CONTRACTOR COMPLETE ALL FIELD MEASUREMENTS AND FORWARD THEM TO SUPPLIER BY THE END OF THE 5 WEEK.
METAL SIDING (SEE RESPONSIBILITY CHART):
PRE-FINISHED AD-50
MEDIUM GREY: 'RESENT' GREY' GG4290
DARK GREY: 'CHARCOAL GREY' GG4072
ALTERNATIVE PRODUCTS WILL NOT BE ACCEPTED
METAL CAP FLASHING:
24 GAUGE
ALL JOINTS ARE TO BE S-JOINTS, NO EXPOSED FASTENERS
PRE-FINISHED CHARCOAL GREY GG 4072 OR TO MATCH METAL PANEL AS PER ELEVATIONS

ASPHALT ROOFING:
IKO-TAB 'CHARCOAL GREY' MARATHON 25 AR Q8, EQUIVALENT UPON MCD'S PRS APPROVAL.

PAINTED METAL:
DULUX PAINT 'EARTHANE 3H'
CLEAN AND PREPARE SURFACE WITH PAINT MANUFACTURER'S RECOMMENDED SURFACE CONDITIONER TO REMOVE ALL DUST AND DIRT. ENSURE SURFACE IS THOROUGHLY DRY PRIOR TO PAINTING PAINT TO BE COLOUR MATCHED TO ELEVATION SPECIFIED COLOUR OR LIGHT GREY: DULUX PAINT MCD 50
MEDIUM GREY: DULUX PAINT MCD 49
DARK GREY: DULUX PAINT MCD 44
RED: DULUX PAINT 'MCDONALD'S RED' MCD 59
NANKAH CONCRETE AND MASONRY STAIN:
STAINED TO BE USED ON UNCOATED MASONRY/CONCRETE/STICO SURFACES.
LIGHT GREY: NANKAH 'PROST' GREY'
MEDIUM GREY: NANKAH 'RESENT' GREY'
DARK GREY: NANKAH 'CHARCOAL GREY'
BROWN: NANKAH 'CHESNANT BROWN'

ALTERNATIVE PRODUCTS WILL NOT BE ACCEPTED
STUCCO PAINT:
DULUX PAINTS-EXTERIOR HQ SATIN MAX LATEX
WHITE: DULUX PAINT MCD 59
LIGHT GREY: DULUX PAINT 'PROST' GREY' MCD 50
MEDIUM GREY: DULUX PAINT 'RESENT' GREY' MCD 49
DARK GREY: DULUX PAINT 'CHARCOAL GREY' MCD 42
BROWN: DULUX PAINT 'CHESNANT/CAGE BROWN' MCD 31
SPANDREL PANEL GLAZING:
EXTERIOR LITE 6mm TEMPERED GLASS
1/2" AIRSPACE
INTERIOR LITE TO BE 6mm TEMPERED PPG 50ALCOOL WITH SILVER REFLECTIVE COATING OR 8mm CLEAR GLASS
BLACK SCRM COAT TO NO. 4 SURFACE
NOTE:
WHEN ORDERING, CONTRACTOR MUST INDICATE MCDONALD'S ACCOUNT
ALLOCATION TO THE COLOUR CODE MCD -
ALTERNATIVE MATERIALS MAY BE APPROVED AT THE DISCRETION OF THE NATIONAL DESIGN AND CONSTRUCTION DEPARTMENT. CONTACT NATIONAL DESIGN AND CONSTRUCTION.

CONSTRUCTION AND SITE REVIEW NOTES

1. THESE DRAWINGS HAVE BEEN ARCHITECTURALLY DESIGNED & ENGINEERED IN CONFORMANCE WITH PART 3 OF BCBC 2012. FOLLOWING IS A LIST OF SITE REVIEWS THAT ARE REQUIRED DURING CONSTRUCTION. CONTRACTOR IS TO NOTIFY ARCHITECT AND ENGINEER'S DAILY PROCEED TO REQUIRED SITE REVIEW. ALL INSPECTIONS MUST BE COMPLETE IF CONTRACTOR IS TO OBTAIN OCCUPANCY.
2. CONTRACTOR IS TO KEEP PROGRESS PHOTOGRAPHS OF THE CONSTRUCTION. CONTRACTOR SHALL TAKE A MINIMUM OF 10 DIGITAL PHOTOGRAPHS ON THE FRONT (EACH VIEW) OF CONSTRUCTION. CONTRACTOR TO SUBMIT A CD OF THE PHOTOGRAPHS TO THE MCDONALD'S PROJECT MANAGER AT THE CONCLUSION OF THE PROJECT.
3. CONTRACTOR TO NOTIFY ARCHITECT WHEN CONSTRUCTION BEGINS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND INFORM THE ARCHITECT IF THERE ARE ANY DISCREPANCIES.
5. CONTRACTOR TO PROVIDE A CONSTRUCTION SAFETY PLAN.

ARCHITECTURAL SITE REVIEWS (CONFIRM V/ ARCHITECT)
1. FINISHING AND LAYOUT.
2. ON COMPLETION OF INSTALLATION OF INSULATION AND VAPOR BARRIER PRIOR TO BOARDING.
3. ON COMPLETION OF WINDOW MEMBRANE FLASHING INSTALLATION.
4. ON COMPLETION OF PROJECT PRIOR TO OCCUPANCY INSPECTION.
5. AFTER ENGINEERS FINAL REVIEWS WITH LOCAL BUILDING DEPT.

STRUCTURAL SITE REVIEWS (CONFIRM W/ STRUCT. P. ENG.)
1. PRIOR TO COMMENCEMENT OF PILING. SOME JOBS REQUIRE INSPECTIONS FOR THE TILE LENGTH REMOVAL. IN OTHER CASES, A GEOTECHNICAL ENGINEER WILL BE DOING THE INSPECTIONS.
2. PRIOR TO POUR OF FIRST FLOOR SLABS (F. ANK).
3. PRIOR TO POUR OF FIRST GRADE BEAM AND PRIOR TO SUBSEQUENT GRADE BEAM POURS.
4. PRIOR TO POUR OF SLAB IF SLAB IS DONE IN SEVERAL POURS, HE SHOULD BE CALLED FOR EACH PORTION.
5. ONCE FINISHING IS UP, BUT BEFORE WALLS ARE CLOSED IN AND ROOFING IS ON, THEY WILL ALSO NEED TO INSURE THE TRUSS SUPPORT INSPECTS THE INSTALLATION BEFORE THE WALLS ARE CLOSED IN OR ROOFING/GUILLIN IS IN.
6. AFTER THE NEW LINTELS ARE INSTALLED BUT BEFORE THEY'RE CLOSED UP.
7. AFTER THE EXTRA STUDS/BLOCKING IS IN PLACE FOR THE CANOPIES BUT BEFORE THE WALLS ARE CLOSED UP. AS WELL AS AFTER ALL THE CANOPY FRAMING IS IN PLACE.

ELECTRICAL SITE REVIEWS (CONFIRM W/ ELEC. P. ENG.)
1. AT COMPLETION OF ELECTRICAL WIRING ROUGH-IN PRIOR TO BOARDING.
2. AT COMPLETION OF PROJECT WHEN ALL LIGHTING, LIFE SAFETY AND POWER SYSTEMS ARE OPERATIONAL.

MECHANICAL SITE REVIEWS (CONFIRM W/ MECH. P. ENG.)
1. BELONG GRADE PIPING COMPLETION PRIOR TO BACKFILLING.
2. AT COMPLETION OF PUMPING ROUGH-IN AND PREPARE TEST PRIOR TO BOARDING.
3. AT COMPLETION OF HVAC EQUIPMENT AND DUCTS ROUGH-IN PRIOR TO THE INSTALLATION OF CEILING.
4. AT SUBSTANTIAL COMPLETION OF PROJECT WHEN ALL PUMPING AND HVAC SYSTEMS ARE COMPLETE AND ARE OPERATIONALLY UPON CITY GATE FINISH.

DEMOLITION NOTES

IT IS THE INTENT OF THESE DRAWINGS THAT THE AREA SHOWN IN THE SCOPE OF WORK BE PREPARED FOR NEW RENOVATION BY SELECTIVE DEMOLITION AND REMOVAL OF ITEMS INDICATED. SOME ITEMS WILL REQUIRE CAREFUL REMOVAL, STORAGE AND INVENTORY FOR REUSE IN THE RENOVATION. LISTED NOTES AND SPECIFICATIONS ARE TYPICAL. APPLY ITEMS AS PER SCOPE OF WORK.

1. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY INTERIOR ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
2. PROVIDE AND MAINTAIN HOARDINGS, FIRE ALARM AND EXISTING LIGHTING AND SIGNALS AND PROTECT OCCUPANTS OF BUILDING WORKERS AND GUESTS, AND AS REQUIRED BY APPLICABLE REGULATORY AGENCY.
3. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION, DISCONNECT AND STOP OFF. NOTIFY THE APPLICABLE UTILITY COMPANY AND ON-SITE OPERATIONS MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
4. CONTRACTOR TO PROVIDE A COMPLETE MECHANICAL (VENTILATION & PLUMBING SYSTEM) IN ACCORDANCE WITH THE CURRENT APPLICABLE PROVINCIAL BUILDING CODE AND RELATED STANDARDS GOVERNING THE WORK.
5. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
6. DEMOLISH EXISTING WALLS WITH CARE. DO NOT DAMAGE ADJACENT SURFACES NOTED TO REMAIN. PROVIDE TEMPORARY SHORING WHERE REQUIRED PRIOR TO REMOVAL OF STRUCTURAL FRAMING MEMBERS.
7. REMOVE ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.

8. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT.
9. CONFIRM TO ALL APPLICABLE CODES FOR DEMOLITION WORK. SAFETY OF STRUCTURE, SAFETY OF MATERIALS HANDLING AND DUST CONTROL TO CONFORM TO APPLICABLE STATUTORY REQUIREMENTS AND IMMEDIATELY ADVISE ARCHITECT.
10. UPON DISCOVERY OF ANY ROT OR HOLD DURING CONSTRUCTION, CONTRACTOR IS TO NOTIFY THE ARCHITECT FOR REDEMPTION INSTRUCTIONS.
11. CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION WORK. SAFETY OF STRUCTURE, SAFETY OF MATERIALS HANDLING AND DUST CONTROL TO CONFORM TO APPLICABLE STATUTORY REQUIREMENTS AND IMMEDIATELY ADVISE ARCHITECT.
12. UPON DISCOVERY OF ANY ROT OR HOLD DURING CONSTRUCTION, CONTRACTOR IS TO NOTIFY THE ARCHITECT FOR REDEMPTION INSTRUCTIONS.
13. CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION WORK. SAFETY OF STRUCTURE, SAFETY OF MATERIALS HANDLING AND DUST CONTROL TO CONFORM TO APPLICABLE STATUTORY REQUIREMENTS AND IMMEDIATELY ADVISE ARCHITECT.
14. UPON DISCOVERY OF ANY ROT OR HOLD DURING CONSTRUCTION, CONTRACTOR IS TO NOTIFY THE ARCHITECT FOR REDEMPTION INSTRUCTIONS.
15. CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION WORK. SAFETY OF STRUCTURE, SAFETY OF MATERIALS HANDLING AND DUST CONTROL TO CONFORM TO APPLICABLE STATUTORY REQUIREMENTS AND IMMEDIATELY ADVISE ARCHITECT.
16. AFTER THE NEW LINTELS ARE INSTALLED BUT BEFORE THEY'RE CLOSED UP.
17. AFTER THE EXTRA STUDS/BLOCKING IS IN PLACE FOR THE CANOPIES BUT BEFORE THE WALLS ARE CLOSED UP. AS WELL AS AFTER ALL THE CANOPY FRAMING IS IN PLACE.

ELECTRICAL SITE REVIEWS (CONFIRM W/ ELEC. P. ENG.)
1. AT COMPLETION OF ELECTRICAL WIRING ROUGH-IN PRIOR TO BOARDING.
2. AT COMPLETION OF PROJECT WHEN ALL LIGHTING, LIFE SAFETY AND POWER SYSTEMS ARE OPERATIONAL.

MECHANICAL SITE REVIEWS (CONFIRM W/ MECH. P. ENG.)
1. BELONG GRADE PIPING COMPLETION PRIOR TO BACKFILLING.
2. AT COMPLETION OF PUMPING ROUGH-IN AND PREPARE TEST PRIOR TO BOARDING.
3. AT COMPLETION OF HVAC EQUIPMENT AND DUCTS ROUGH-IN PRIOR TO THE INSTALLATION OF CEILING.
4. AT SUBSTANTIAL COMPLETION OF PROJECT WHEN ALL PUMPING AND HVAC SYSTEMS ARE COMPLETE AND ARE OPERATIONALLY UPON CITY GATE FINISH.

GENERAL NOTES

IT IS THE INTENT OF THESE DRAWINGS THAT THE AREA SHOWN IN THE SCOPE OF WORK BE PREPARED FOR NEW RENOVATION BY SELECTIVE DEMOLITION AND REMOVAL OF ITEMS INDICATED. SOME ITEMS WILL REQUIRE CAREFUL REMOVAL, STORAGE AND INVENTORY FOR REUSE IN THE RENOVATION. LISTED NOTES AND SPECIFICATIONS ARE TYPICAL. APPLY ITEMS AS PER SCOPE OF WORK.

1. THESE DRAWINGS SHALL NOT BE LIT. THESE DRAWINGS SHALL NOT BE LIT.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND INTERIOR DESIGN DRAWINGS AS A COMPLETE SET.
3. ALL WORK SHALL CONFORM TO THE CURRENT APPLICABLE PROVINCIAL BUILDING CODE AND ALL LOCAL MUNICIPAL CODES AND BYLAWS.
4. CONTRACTOR TO VERIFY ALL DATUMS, DIMENSIONS, INCLUDING ROUGH OPENINGS OF ALL DOORS, WINDOWS, FITTINGS, APPLIANCES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR TO PRICE ALL DISCREPANCIES (BOTH SITE AND DRAWING) TO THE MOST GADE SCENARIO.
5. CONTRACTOR TO PROVIDE A COMPLETE MECHANICAL (VENTILATION & PLUMBING SYSTEM) IN ACCORDANCE WITH THE CURRENT APPLICABLE PROVINCIAL BUILDING CODE AND RELATED STANDARDS GOVERNING THE WORK.
6. ELECTRICAL DESIGN AND INSTALLATION TO CONFORM TO THE CURRENT APPLICABLE PROVINCIAL BUILDING CODE AND ALL LOCAL MUNICIPAL BYLAWS.
7. ELECTRICAL AND MECHANICAL DRAWINGS ARE TO TAKE PRECEDENCE OVER OTHER DRAWINGS.
8. FASTEN ALL GYPSUM WALLBOARD (GWB) IN CONFORMANCE WITH SUBSECTION 4.2.2 OF THE APPLICABLE PROVINCIAL BUILDING CODE.
9. ALL WORK DONE IN CONNECTION WITH THESE SPECIFICATIONS AND DRAWINGS MUST COMPLY WITH THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF THE WORKERS COMPENSATION BOARD OF THE APPLICABLE PROVINCE.
10. FLAME SPREAD RATING FOR INTERIOR FINISHES TO CONFORM TO THE CURRENT APPLICABLE PROVINCIAL BUILDING CODE.
11. THE CONTRACTOR IS TO MAINTAIN EXISTING FIRE SEPARATIONS, EXCEPT WHERE INDICATED OTHERWISE. EXISTING FIRE SEPARATIONS TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
12. ALL FIRE SEPARATION PARTITIONS ARE TO EXTEND FROM THE FLOOR TO THE TOP SURFACE OF THE CEILING. EXISTING PARTITIONS TO BE SHOCKE-TIGHT IF FIRE STOPPERS SEPARATION. CONTRACTOR IS TO MAINTAIN THE INTEGRITY OF THE EXISTING FIRE SEPARATIONS. FLOOR PENETRATIONS ARE TO BE WATER TIGHT.
13. WHERE NEW PLUMBING VENTS PENETRATE CEILING (WITHIN STEP PARTITIONS) TO PROVIDE POSITIVE SEAL BETWEEN VENT AND SIDES OF OPENING. ALL PENETRATION THROUGH FIRE RATED WALLS AND CEILING MUST BE SEALED WITH FIRE RATED CALK OR CONTRACTOR MUST PROVIDE FIRE DAMPER.
14. GENERAL CONTRACTOR TO REVIEW ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND RESPONSIBLE FOR ANY ADDITIONAL OPENINGS THROUGH ROOFS, WALLS, FIREPLACES, AND/OR FLOORS FOR MECHANICAL REQUIREMENTS, ELECTRICAL RISERS, EXHAUST RISERS, ACCESS PANELS AND OTHER OPENINGS NOT SHOWN ON DRAWINGS.
15. IF ANY ROT OR HOLD IS DISCOVERED DURING CONSTRUCTION, CONTRACTOR IS TO NOTIFY THE ARCHITECT FOR REDEMPTION INSTRUCTIONS.
16. ALL GWS IN BELONG ANCHORS THAT IS REQUIRED TO BE REPLACED DURING CONSTRUCTION IS TO BE REPLACED WITH 1/2" CEMENT BOARD.
17. ALL GWS IN HANGROOM THAT IS REQUIRED TO BE REPLACED DURING CONSTRUCTION IS TO BE REPLACED WITH 1/2" CEMENT BOARD TO 48" AFF., 1/2" GWB ABOVE 48" AFF.
18. CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT, DELIVERY, STORAGE, UNLOADING, AND FINAL PLACEMENT OF ALL ITEMS INCLUDING OTHER SUPPLIED ITEM UNLESS NOTED OTHERWISE.
19. ANY DAMAGE INCURRED DIRECTLY OR INDIRECTLY BY CONSTRUCTION WORK SHALL BE REPAIRED AND MAKE GOOD AT NO COST TO THE OWNER.
20. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL REPORT, CONDITIONS AND FOLLOW THE RECOMMENDATIONS OF THE SOIL REPORT.
21. CONTRACTOR TO SLOPE FINISH GRADE AWAY FROM THE BUILDINGS MIN 1/4" PER 1' TO PROVIDE ADEQUATE DRAINAGE AND MEET ALL CITY BUILDING GRADUES.
22. SUPPLY SHOP DRAWINGS OF ALL SPECIALTY ITEMS FOR ARCHITECTS APPROVAL.
23. CONFIRM ALL NEW KITCHEN EQUIPMENT CLEARANCES PRIOR TO CONSTRUCTION.
24. CONTRACTOR TO INSPECT ALL EXISTING HANGROOM ACCESSORIES NOTED TO REMAIN AND REPLACE ANY DAMAGED HANGROOM ACCESSORIES.
25. INSTALL HOOD BLOCKING FOR ALL HANGROOM ACCESSORIES, HANGROOM CABINETS, MENU-BOARD DISPLAYS, TVS, ETC.
26. REFER TO STRUCTURAL DRAWINGS FOR INTERIOR BEARING AND SHEAR WALL INFORMATION.
27. CONTRACTOR SHALL DETERMINE EXISTING SLAB SUPPORT AND REINFORCING BY DRILLING HOLES & PARTIALLY EXPOSING A SMALL AREA WITH A JACK HAMMER PRIOR TO SAW CUTTING SLAB. NO SAW CUTTING WILL BE ALLOWED UNTIL CONTRACTOR DETERMINES THAT EXISTING SLAB IS SUPPORTED BY GRADE WITH NO REBAR AND AFTER GETTING APPROVAL FROM THE STRUCTURAL ENGINEER.
28. SLAB TO BE PATCHED AND REPAIRED WHERE NEW PLUMBING TRIGGERS HAVE BEEN DRUG, INCLUDING PATCHING FLOOR TILE TO MATCH EXISTING OR NEW TILE. REFER TO PLUMBING PLANS FOR TRENCH LOCATIONS AND DEPTH. TRENCH AFTER GETTING APPROVAL FROM THE STRUCTURAL ENGINEER.
29. ARCHITECTURAL CONCRETE TO BE WELL VIBRATED, CLEAR OF ANY JOINTS/CORERS AND TO HAVE A SMOOTH EVEN TEXTURED FINISH OR AS NOTED ON DRAWINGS.
30. CONTRACTOR TO TIE IN BUILDING MEMBRANES AND AIR BARRIERS BETWEEN NEW AND EXISTING CONSTRUCTION WITH A 0" MINIMUM VERTICAL LAP AND A 6" MINIMUM HORIZONTAL LAP FOR THE MOISTURE BARRIER AND AIR BARRIERS ARE THAT AIR BARRIERS ARE TO BE GALVALED AND SEALED TO MEET LOCAL CODES.
31. POLYETHYLENE VAPOR BARRIER TO BE CALLED CONTINUOUSLY AT ALL JOINTS TO ENSURE A CONTINUOUS SEAL.
32. ALL FLYWOOD AND HOOD BLOCKING USED AT GRADE OR AS PART OF THE ROOF CONSTRUCTION SHALL BE PRESURE-TREATED.
33. WHEN NEW LOBBY WINDOBS ARE BEING INSTALLED CONTRACTOR TO ENSURE ALL EXISTING WINDOBS REMAINING SHALL FULL GLAZING AND DEFLECTION HEADERS INSTALLED. ANY WINDOBS THAT ARE TO BE REUSE CONTRACTOR SHM AND INSULATE BETWEEN ALL EXISTING FRAMING & WINDOBS.
34. ALL NEW INTERIOR WALLS TO BE TYP. 2x4 CONSTRUCTION (U.N.O.)
35. ALL NEW INTERIOR WALLS DIMENSIONED FROM OUTSIDE OF EXTERIOR SHEATHING TO CENTERLINE OF WALL (U.N.O.)
36. UNO. ALL INTERIOR STEEL STUD HALL UNDER 12'-0" ARE TO BE 3 S/8". ALL STEEL STUD WALLS UP TO 20'-0" ARE TO BE 3 S/8". ALL INTERIOR WALLS/BULKHEADS ENGINEERED BY STEEL STUD CONTRACTOR. CONTRACTOR TO PROVIDE SEISMIC ENGINEERED SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
37. ALL GWS IN HANGROOM THAT IS REQUIRED TO BE REPLACED DURING CONSTRUCTION IS TO BE 1/2" CEMENT BOARD TO 48" AFF. WITH 1/2" GWB ABOVE 48".
38. CONTRACTOR MUST EASE ALL FINISHED EXPOSED CORNERS OF NEW PLUMBING AREAS ACCESSIBLE BY THE FIELD CREATIONS, INCLUDING AREAS THAT ARE SMOOTH ROUNDED, FREE FROM PROTRUSIONS AND NOT SHARP IN ANY WAY.
39. WHEN THE SERVICE CENTER IS TO BE EXTENDED OR MODIFIED THAT AFFECTS THE EXISTING DATA LINE, CONDUIT IS TO BE RUN FROM THE SERVICE CENTER TO THE EXISTING DATA PAB. IN LOCATIONS WHERE THERE IS A BASEMENT, DATA CONDUIT SHOULD BE RUN ACROSS THE BASEMENT CEILING.
40. CONTRACTOR TO COORDINATE INSULATION AND/OR CHANGES FOR VENER SUPPLIED PIPING IN UNHEATED ROOF SPACES.

SCOPE OF WORK

* BUILDING RENOVATION
NEW INTERIOR FINISHES
NEW EXTERIOR LOBBY/DINING/SERVICE AREA
* SCOPE OF WORK TO BE CONFIRMED WITH MCD'S.

BUILDING CODE ANALYSIS

OCCUPANCY:
GROUP A ASSEMBLY OCCUPANCY
BUILDING CODE - 2012 BCBC:
3.2.2.1
Group A Division 2, up to 2 Storeys, Sprinklered
- combustible or noncombustible construction
- the building is sprinklered throughout
- 2,450 M2 (1) storey in building height with no basement.

OCCUPANT LOAD CALCULATIONS:

FUELIC	DRING	194 SEATS
STAFF	STORAGE AREA	31.05 Sq.M (34.3 Sq.Ft) x 1 PERSON per 46 Sq.M = 0.671 PERSON
	KITCHEN AREA	130.3 Sq.M (140.9 Sq.Ft) x 1 PERSON per 4.3 Sq.M = 14 PERSONS
	OFFICE AREA	221 Sq.M (236.6 Sq.Ft) x 1 PERSON per 4.3 Sq.M = 246 PERSONS
	TOTAL STAFF	17 PERSONS
	TOTAL OCCUPANT LOAD	156 PERSONS

WATER CLOSETS (SEE TABLE 3.1.2.2.2.)

REQUIRED: 2 MALE / 3 FEMALE
PROVIDED: 2 MALE / 3 FEMALE
1 ACCESSIBLE UNISEX HANGROOM
1 MALE / 1 FEMALE STAFF HANGROOM (EXISTING)

REQUIRED FIRE SEPARATION OF AREAS:

SERVICE ROOM (3.6.2.1)
1 HR (EXISTING & NO CHANGE)
JANITORS ROOM (3.6.2.1)
1 HR (EXISTING & NO CHANGE)
EXIT REQUIREMENTS (3.6.2.2) - (EXISTING & NO CHANGE)
PROVIDED: 3 (2 DINING & 1 KITCHEN)

TRAVEL DISTANCE: 30M MAXIMUM

REQUIREMENTS FOR PERSONS WITH DISABILITIES:
(EXISTING & NO CHANGE)
ENTRANCE: YES (EXISTING NO CHANGE)
HANGROOM: YES (EXISTING NO CHANGE)
OTHER: YES (EXISTING NO CHANGE)

NO.	REVISION/DESCRIPTION	REV.	DATE

NO.	REVISION/DESCRIPTION	REV.	DATE

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ARCHITECT

McDonald's Restaurant
10258-152 STREET, SURREY, BC

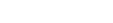
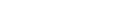
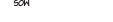
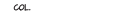
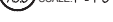
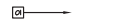
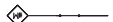
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PS PROJECT

GENERAL NOTES, CODE ANALYSIS AND SPECIFICATIONS
PROJECT NUMBER: DRAWING NUMBER: 16-101 A.O.I.
SCALE: 1/4" = 1'-0"
DATE: AUGUST 2016

ANNOTATION SYMBOLS

STORAGE Rm.

100



2

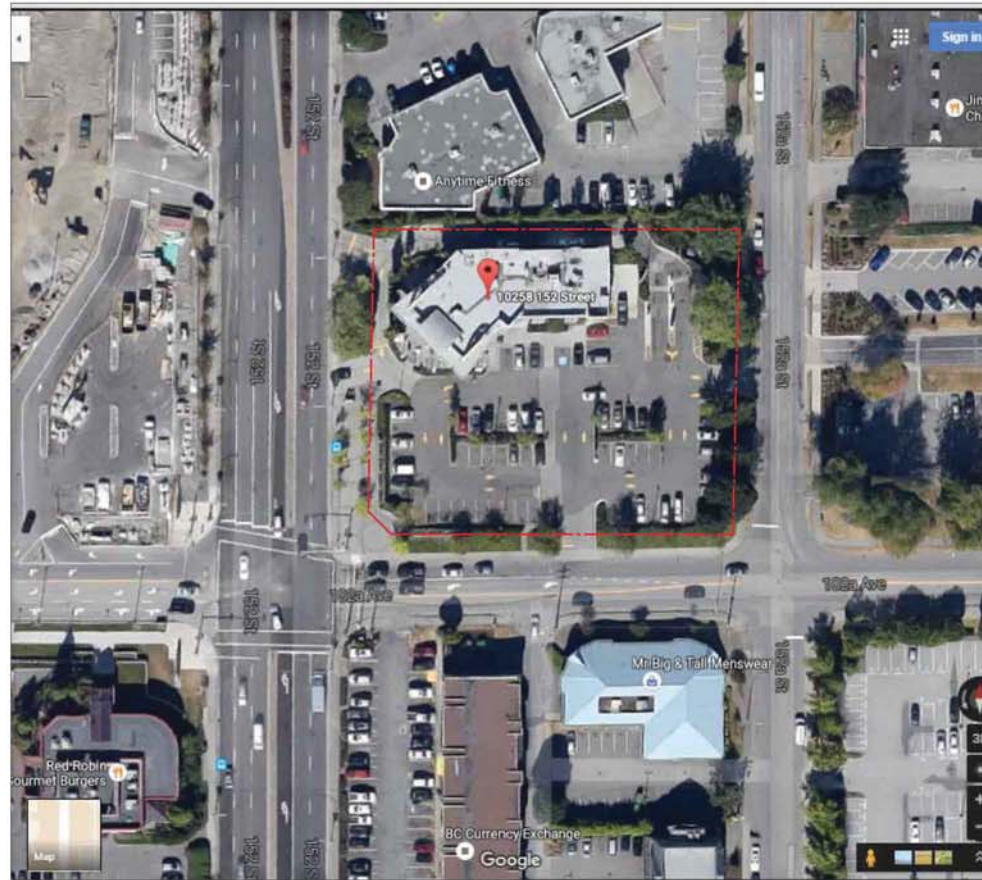


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2





REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION

McDonald's
 MCDONALD'S RESTAURANTS OF CANADA LIMITED,
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



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 PROJECT: **McDonald's Restaurant**
 10258-152 STREET, SURREY, BC.
 DRAWING: **CONTEXT PHOTOS**

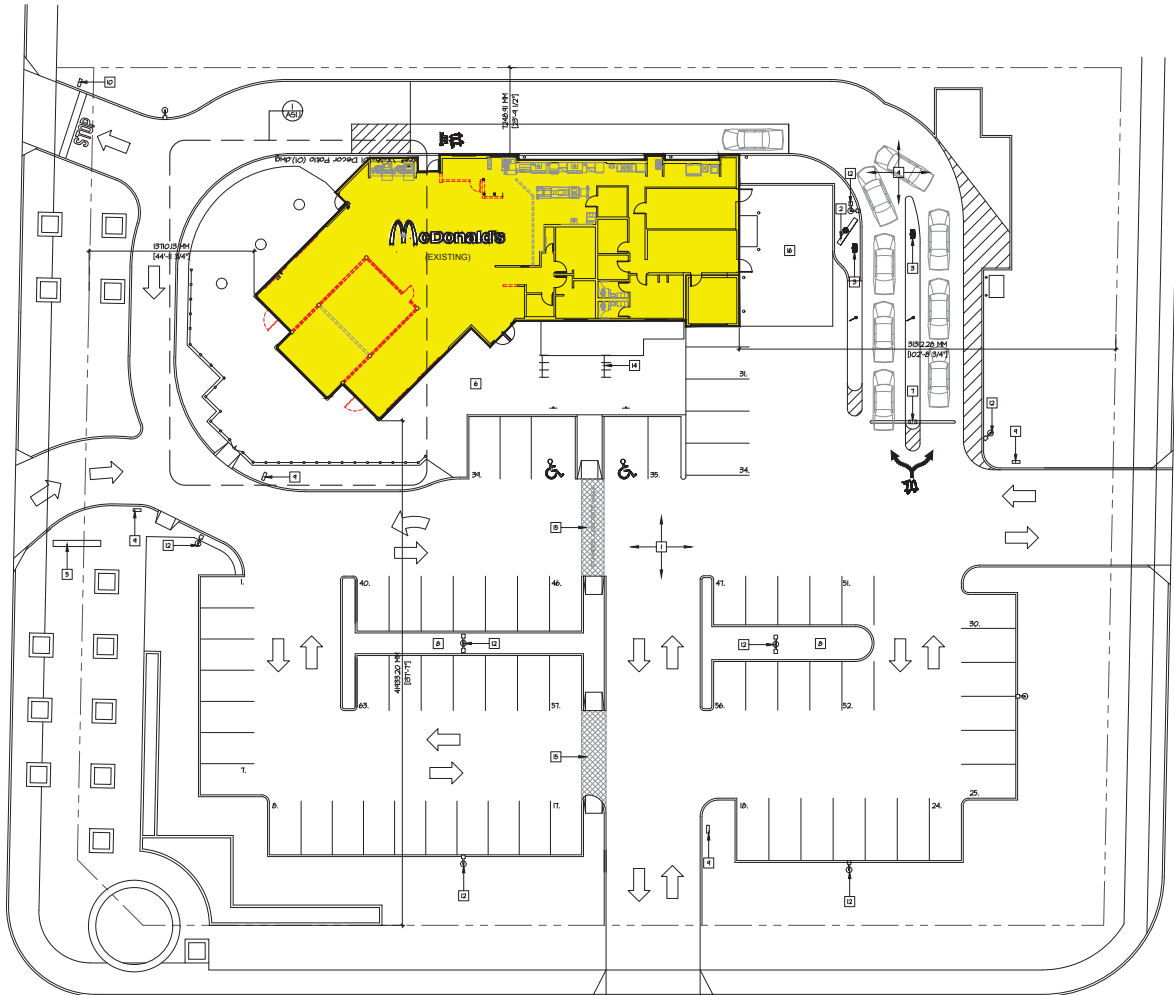
PROJECT NUMBER: _____ DRAWING NUMBER: _____
 16-101 ASO.0
 SCALE: NOT TO SCALE INFORMATION NUMBER: _____
 DATE: _____ REVISION: _____
 AUGUST 2016



152 nd STREET

152A nd STREET

102A AVENUE



NO SITE WORK TO BE PERFORMED.
SITE FEATURES FOR REFERENCE
ONLY UNLESS OTHERWISE NOTED.

SITE PLAN
SCALE: 1/16" = 1'-0"
N

PROJECT STATISTICS

AUTHORITY HAVING JURISDICTION:
CITY OF SURREY

LEGAL ADDRESS:
SECTION 25 RANGE 1 PLAN LHP52543 1ND PARCEL A

CIVIC ADDRESS:
1025B-152 STREET, SURREY, B.C.

ZONING:
COMPREHENSIVE DEVELOPMENT ZONE (CZ)

LOT SUBDIVISIONS & NO CHANGE:
3300 SQFT (499 M²)

USE (EXISTING & NO CHANGE):
RESTAURANT

LOT COVERAGE:
ALLOWABLE = 80%
LOT AREA = 3300 SQFT (499 M²)
EXISTING BUILDING AREA = 510 SQFT (54 M²)
510 / 3300 = 15.5%

SETBACKS (EXISTING & NO CHANGE):

ELEVATION SIDE	ALLOWED	PROPOSED
NORTH (FRONT)	2.0 m (7')	1.25 m (23'-4" / 23')
EAST (SIDE YARD)	3.0 m (10')	19.3 m (62'-0" / 34')
SOUTH (REAR)	15 m (25')	41.8 m (137'-7')
WEST (SIDE)	2.0 m (7')	15.3 m (44'-11" / 34')

BUILDING HEIGHT:
ALLOWABLE = 40'-0" (14 M)
EXISTING & NO CHANGE = 24'-0" (7.46 M)

BUILDING FLOOR AREA (FAR) (EXISTING & NO CHANGE):
ALLOWABLE = 15 MAX.

FLOOR AREA:
EXISTING = 510 SQFT (54 M²)
510 SQFT / 3300 SQFT = 15.5%

LANDSCAPING:
EXISTING & NO CHANGE

PARKING:
REQUIRED: 10 STALLS PER 100 SQM OF G.P.A.
848 / 100 = 8.48
= 35 STALLS
PROPOSED: 63 STALLS EXISTING & NO CHANGE

LOADING:
REQUIRED: 1 OFF STREET 4.0M WIDTH 4.2M LENGTH 4.2M HIGH
PROVIDED: 1 EXISTING & NO CHANGE

BICYCLE PARKING:
REQUIRED: 0.26 SPACE FOR EVERY 100 SQM
PROPOSED: 4 EXIST & NO CHANGE

SEATING:
EXISTING: 84 SEATS
PROPOSED: 84 SEATS

SITE KEY NOTES (ALL MATERIALS ARE EXISTING UNO.C.)

- EXISTING ASPHALT PARKING TO REMAIN INCLUDING ALL PAINTED DUTHRU SIGNS AND PARKING LINES. SEE SITE PLAN NOTES.
- 4 PANEL MENU BOARD
- PRE-SELL BOARD
- DRIVE THRU LANE
- FREESTANDING SIGN, SEE A0.2
- SIDEWALK TO REMAIN
- VEHICLE HEIGHT DETECTOR (N)
- LANDSCAPE
- ILLUMINATED SIGN
- DO NOT ENTER SIGN
- THANK YOU SIGN
- LOT LIGHT
- GRILL ORDER LANE
- BIKE RACK
- STAMPED CONCRETE WALK
- LOADING AREA

SITE PLAN NOTES:

- ALL EXISTING ASPHALT PAVING AND CONCRETE CURBS ARE TO BE RETAINED. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE. CONTRACTOR IS TO REPAIR TO MATCH EXISTING AT NO COST TO OWNER.
- ALL EXISTING CONCRETE SIDEWALKS ARE TO BE RETAINED. CONTRACTOR IS TO CUT AS REQUIRED. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO SIDEWALKS TO THE PRECONSTRUCTION CONDITIONS.
- ALL SITE FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY H&M AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO H&M P.M.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
- MAKE GOOD ALL EXISTING THAT IS DISTURBED BY NEW WORK.
- BE RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURB/ASPHALT/CONC. BASE WORK.

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED,
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

SCALE	DATE	DESCRIPTION
AS SHOWN		

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DRAWN BY: [Signature] APPROVED: [Signature]

PROJECT: McDonald's Restaurant

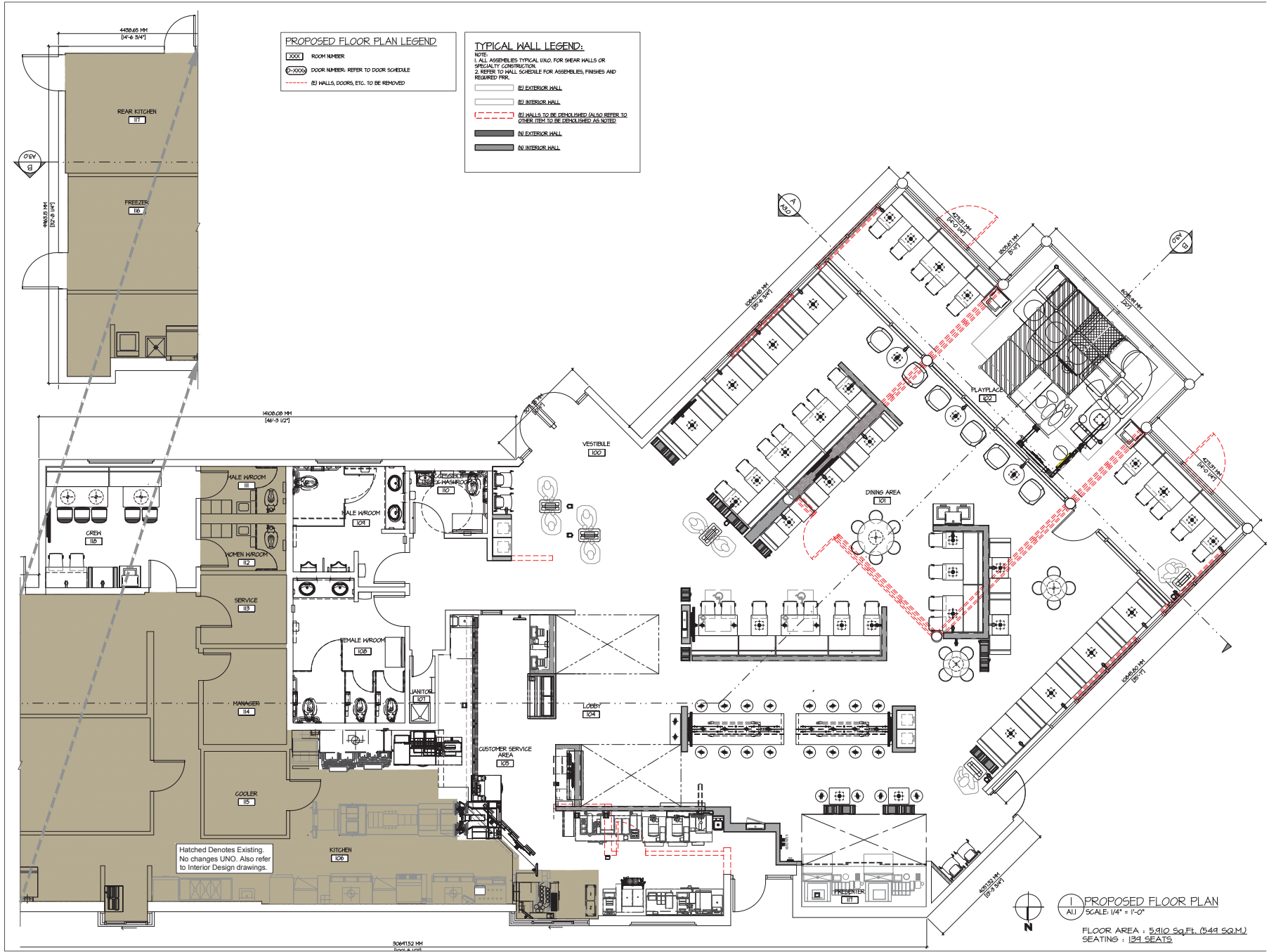
1025B-152 STREET, SURREY, BC

DRAWING: EXISTING SITE PLAN

PROJECT NUMBER	DRAWING NUMBER
16-101	AS1.0

SCALE: 1/16" = 1'-0"

DATE: AUGUST 2016



PROPOSED FLOOR PLAN LEGEND

1000 ROOM NUMBER

1000 DOOR NUMBER, REFER TO DOOR SCHEDULE

--- HALLS, DOORS, ETC. TO BE REMOVED

TYPICAL WALL LEGEND:

NOTE:
 1. ALL ASSEMBLES TYPICAL UNO, FOR GEAR HALLS OR SPECIALTY CONSTRUCTION.
 2. REFER TO WALL SCHEDULE FOR ASSEMBLES, FINISHES AND REQUIRED FRM.

--- EX EXTERIOR HALL

--- AI INTERIOR HALL

--- EX HALLS TO BE DEMOLISHED (ALSO REFER TO OTHER ITEM TO BE DEMOLISHED AS NOTED)

--- AI EXTERIOR HALL

--- AI INTERIOR HALL

SCALE	SCALE FOR PP	REVISION	DESCRIPTION	REV	DATE
SCALE	SCALE FOR PP	REVISION	DESCRIPTION	REV	DATE
SCALE	SCALE FOR PP	REVISION	DESCRIPTION	REV	DATE
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McDonald's
 McDONALD'S RESTAURANTS OF CANADA LIMITED,
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

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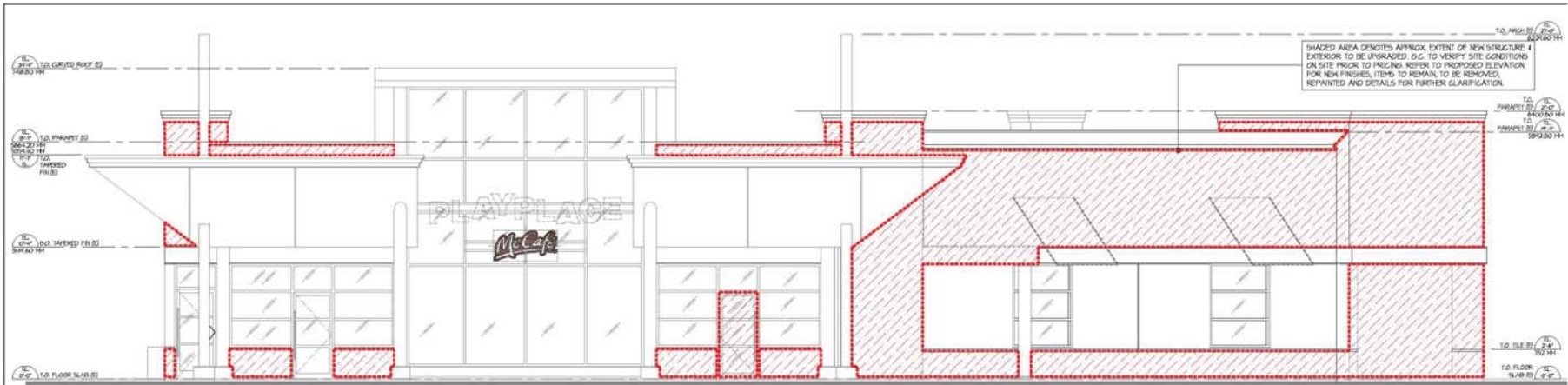
PROJECT
McDonald's Restaurant
 10258-152 STREET, SURREY, BC

DRAWING
PROPOSED FLOOR PLAN

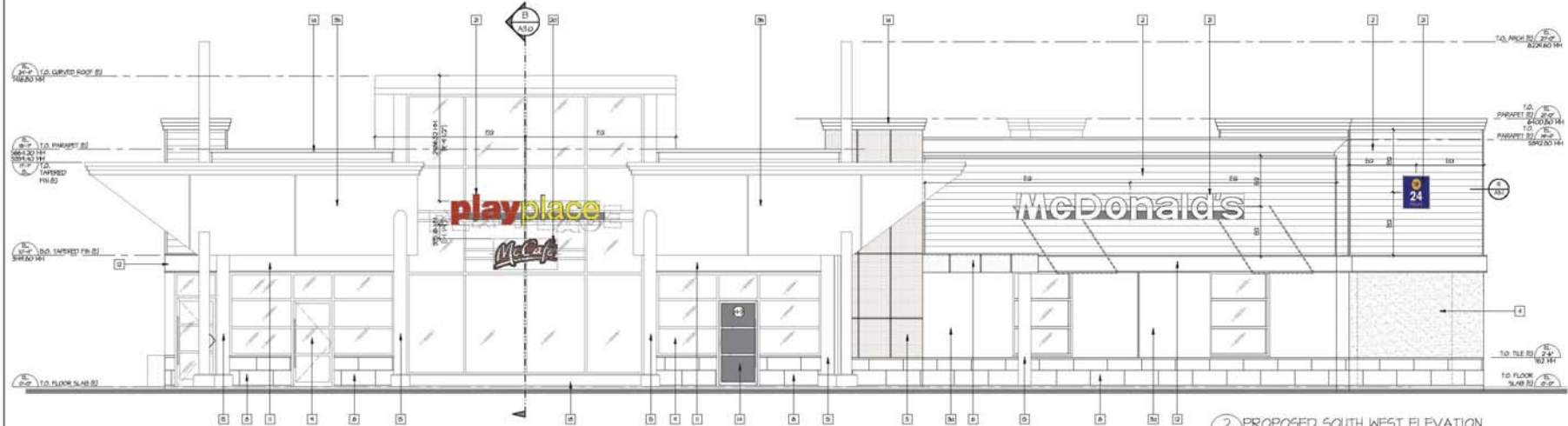
PROJECT NUMBER	DRAWING NUMBER
16-101	A.I.
SCALE	METS NATIONAL NUMBER
1/4" = 1'-0"	3071
DATE	REVISION
AUGUST 2016	

FLOOR AREA : 5,910 sq.Ft. (549 sq.M.)
 SEATING : 134 SEATS

GUILD FORD - 16-101



1 EXISTING SOUTH WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

-- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

- EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED. ARE TO BE REMOVED AND DISPOSED BY O.C. PATCH & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK.
- EXISTING HINGERS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED. ARE TO BE REMOVED AND DISPOSED BY O.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW HINGERS WILL BE DETERMINED BY EXISTING HINGERS SITE MEASURE PRIOR TO ORDERING NEW HINGERS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, COORIBELLA, HALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS RESP. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HINGERS.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, SALS, AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY O.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- O.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DINGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. O.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS RESP. AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- HASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EXPERT GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING OF ROOF, SALS, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BENJAMIN HOOKER HD-30 OIL & GREADED DETERGENT PER MANUFACTURER'S INSTRUCTIONS.
- ALL EXISTING BOLLARDS TO REMAIN TO BE PAINTED SAFETY YELLOW.
- ALL EXISTING SUPPORTS TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- REMOVE ALL EXISTING SIGNOR STANDS AND OTHER HALL HEATED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.0.

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1 PREFINISHED METAL CAP FLASHING (EXISTING)	A. PAINTED DULUX PAINT HCD 44 (DARK GREY) B. PAINTED TO MATCH SBT WHITE	10 PREFINISHED METAL BASE / TRIM PANEL FLASHING	CHARCOAL OG-B07
2 HORIZONTAL METAL SCROLL ACROSS	CHARCOAL GREY (OG-B07)	11 PREFINISHED METAL ACCENT BAND TRIM (EXISTING) - WHITE	PAINTED TO MATCH SBT WHITE
3 STUCCO (EXISTING)	A. PAINTED DULUX PAINT REGENT GREY* HCD 49 - HEDSH GREY B. PAINTED TO MATCH NEW REF C. PAINTED DULUX PAINT CHARCOAL GREY* HCD 42 - DARK GREY	12 PREFINISHED METAL BAND TRIM (EXISTING) - DARK GREY	PAINTED DULUX PAINT HCD 44
4 STUCCO TO MATCH EXIST. TEXTURE - HEDSH GREY	PAINTED DULUX PAINT REGENT GREY* HCD 49	13 METAL DOORS & FRAMES (EXISTING) HEDSH GREY	PAINTED DULUX PAINT HCD 48
5 METAL PANEL - RED	NEW REF*	14 ALUMINUM SUREVIEWPORT HINGERS (FRAMES) TO MATCH EXISTING	CLEAR ANODIZED
6 METAL PANEL / REBBOR - WHITE	SBT WHITE*	15 METAL COLLARS (EXISTING) - DARK GREY	PAINTED DULUX PAINT HCD 44
7 METAL PANEL SOFFIT - ACROSS	SBT WHITE*	16 FLEXIGLASS GLAZ. ARCH (EXISTING) - YELLOW	TO REMAIN AS IS
8 STUCCO BASE - CONCRETE/COLOURED/CONCRETE	BLACK FORESIGHT TO MATCH EXISTING	17 STUCCO SOFFIT (EXISTING) - WHITE	PAINTED DULUX PAINT WHITE* HCD 51
9 ALUMINUM SUREVIEWPORT (DOOR/FRAMES EXISTING)	CLEAR ANODIZED	18 CONCRETE BASE (EXISTING)	TO REMAIN AS IS
10 PREFINISHED METAL CAP FLASHING (EXISTING)	A. PAINTED DULUX PAINT HCD 44 (DARK GREY) B. PAINTED TO MATCH SBT WHITE	19 SIGNAGE METAL SUPPORT (EXISTING)	PAINTED DULUX PAINT McDONALD'S REF HCD 58
11 STUCCO (EXISTING)	A. PAINTED DULUX PAINT REGENT GREY* HCD 49 - HEDSH GREY B. PAINTED TO MATCH NEW REF C. PAINTED DULUX PAINT CHARCOAL GREY* HCD 42 - DARK GREY	20 SIGNAGE (EXISTING)	TO REMAIN AS IS
12 STUCCO TO MATCH EXIST. TEXTURE - HEDSH GREY	PAINTED DULUX PAINT REGENT GREY* HCD 49	21 SIGNAGE	SEE RESPONSIBILITY SHEET

PROPOSED ELEV. LEGEND:

- MATERIAL NUMBER
- EXISTING GLAZING, DOORS, HINGERS, ETC. TO BE REMOVED

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

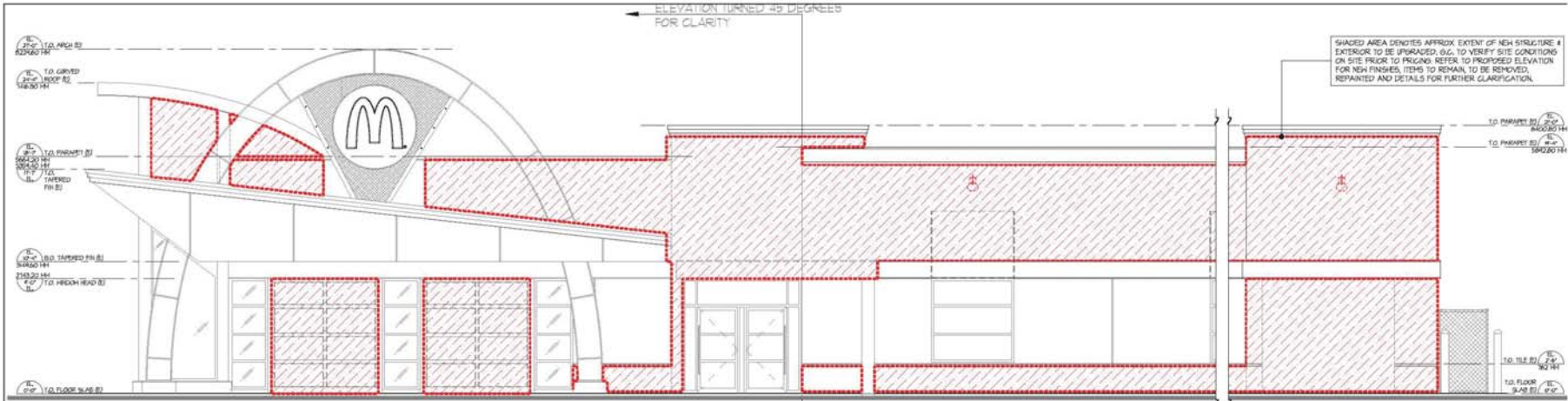
REV	DATE	DESCRIPTION
01	02/17/16	ISSUED FOR PERMIT/REVISION
02	03/10/16	ISSUED FOR PERMIT/REVISION
03	03/10/16	ISSUED FOR PERMIT/REVISION
04	03/10/16	ISSUED FOR PERMIT/REVISION
05	03/10/16	ISSUED FOR PERMIT/REVISION
06	03/10/16	ISSUED FOR PERMIT/REVISION
07	03/10/16	ISSUED FOR PERMIT/REVISION
08	03/10/16	ISSUED FOR PERMIT/REVISION
09	03/10/16	ISSUED FOR PERMIT/REVISION
10	03/10/16	ISSUED FOR PERMIT/REVISION

LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
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P: 604 288 3708 F: 604 288 6881
MEMBER OF THE AIBC, AAA, SAA, NWTAA & FABC

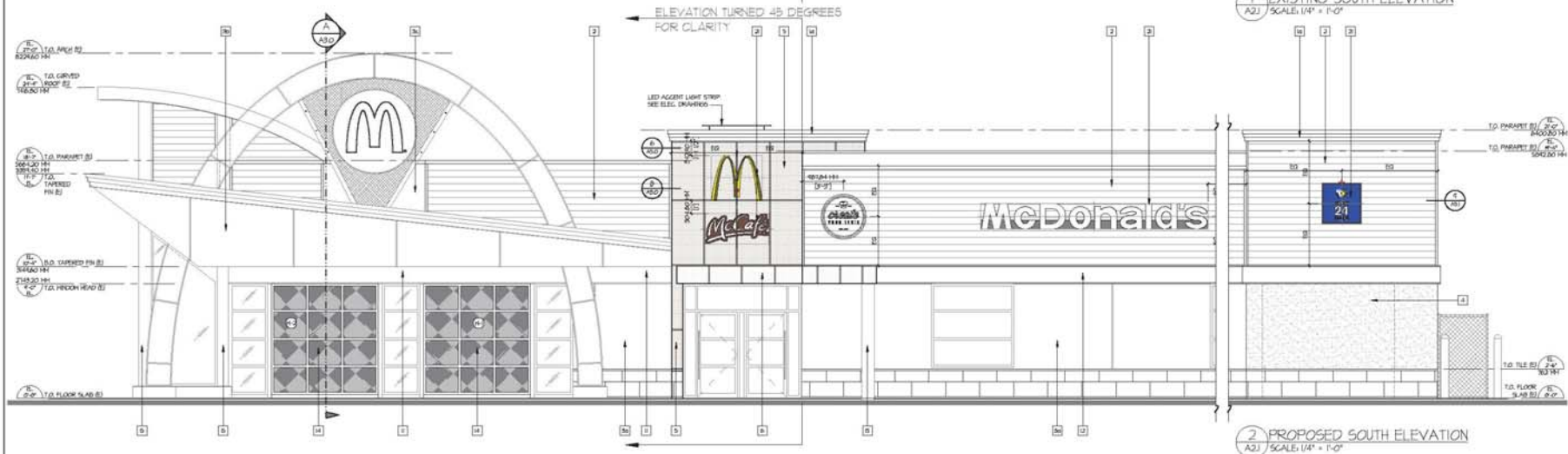
McDonald's Restaurant
10250-52 STREET, SURREY, BC

EXISTING & PROPOSED SOUTH WEST ELEVATIONS

PROJECT NUMBER: 16-101
DRAWING NUMBER: A2.0
SCALE: 1/4" = 1'-0"
DATE: AUGUST 2016
DRAWN BY: [Name]
CHECKED BY: [Name]



1 EXISTING SOUTH ELEVATION
A21 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A21 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1. REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED AND TO BE REPAIRED AND DISPOSED BY B.C. PATCH & REPAIR. EXISTING DAMAGED TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE REPAIRED PRIOR TO PAINTING.
- 2. EXISTING HINGED & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED AND TO BE REPAIRED AND DISPOSED BY B.C. PATCH & REPAIR. HEAD HEIGHTS OF NEW HINGED WILL BE DETERMINED BY EXISTING HINGED SITE MEASURE PRIOR TO ORDERING NEW HINGED.
- 3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, COUPLERS, HALL, HUBS, OR SOFFIT LIGHTS TO REPAIR PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, DIALS, AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY B.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- 6. B.C. TO VERIFY ALL EXISTING VAPOR BARRIER, SHEATHING, FLASHING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 7. EXISTING UNFURISHED SURFACE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWING FOR ELECTRICAL ENGINEER'S REQUIREMENTS. B.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS NOTED AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- 8. PAINT ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
- 9. PATCH ANY EXISTING DAMAGED SIGGCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE REPAIRED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING OF ROOF, SILL, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BENJAMIN MOORE PDB - 3M OIL & GREASE REMOVER PER MANUFACTURER'S INSTRUCTIONS.
- 13. ALL EXISTING BOLLARDS TO REMAIN TO BE PAINTED SAFETY YELLOW.
- 14. ALL EXISTING SURFACES TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- 15. REMOVE ALL EXISTING SHOWER STANDBY AND OTHER HALL HEATED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1. PREFINISHED METAL CAP FLASHING EXISTING	1. PAINTED DULUX PAINT HCD 44 (DARK GREY)	10. PREFINISHED METAL BASE / TRIM PANEL FLASHING	10. CHARCOAL OG-B07
2. HORIZONTAL METAL SCROLL ACROSS	2. PAINTED TO MATCH TRIM WHITE	11. PREFINISHED METAL ACCENT BAND TRIM EXISTING - WHITE	11. PAINTED TO MATCH TRIM WHITE
3. SIGGCO EXISTING	3. PAINTED DULUX PAINT REGENT GREY HCD 44 - HEDM GREY 4. PAINTED TO MATCH NEW REF 5. PAINTED DULUX PAINT CHARCOAL GREY HCD 42 - DARK GREY	12. PREFINISHED METAL BAND TRIM EXISTING - DARK GREY	12. PAINTED DULUX PAINT HCD 44
4. SIGGCO TO MATCH EXIST. TEXTURE - HEDM GREY	4. PAINTED DULUX PAINT REGENT GREY HCD 44	13. METAL DOORS & FRAMES EXISTING HEDM GREY	13. PAINTED DULUX PAINT HCD 48
5. METAL PANEL - RED	5. NEW REF	14. ALUMINUM SWEETPEA HINGED FRAMES TO MATCH EXISTING	14. CLEAR ANODIZED
6. METAL PANEL / REBBOR - WHITE	6. TRIM WHITE	15. METAL COLUMN EXISTING - DARK GREY	15. PAINTED DULUX PAINT HCD 44
7. METAL PANEL SOFFIT - AC1000	7. TRIM WHITE	16. FLEXURAL GLAZ AISH EXISTING - YELLOW	16. TO REMAIN AS IS
8. STONE BASE - CORIANADO COLLOSSUM INVERTED	8. BLACK FORESTO HIGH EXISTING	17. SIGGCO SOFFIT EXISTING - WHITE	17. PAINTED DULUX PAINT WHITE HCD 51
9. ALUMINUM SWEETPEA TOWER/SHIM FRAMES EXISTING	9. CLEAR ANODIZED	18. CONCRETE BASE EXISTING	18. TO REMAIN AS IS
		19. SIGNAGE METAL SUPPORT EXISTING	19. PAINTED DULUX PAINT McDONALD'S REF HCD 58
		20. SIGNAGE EXISTING	20. TO REMAIN AS IS
		21. SIGNAGE	21. SEE RESPONSIBILITY SHEET

PROPOSED ELEV. LEGEND:

(Hatched Box)	MATERIAL NUMBER
(Dashed Line)	EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

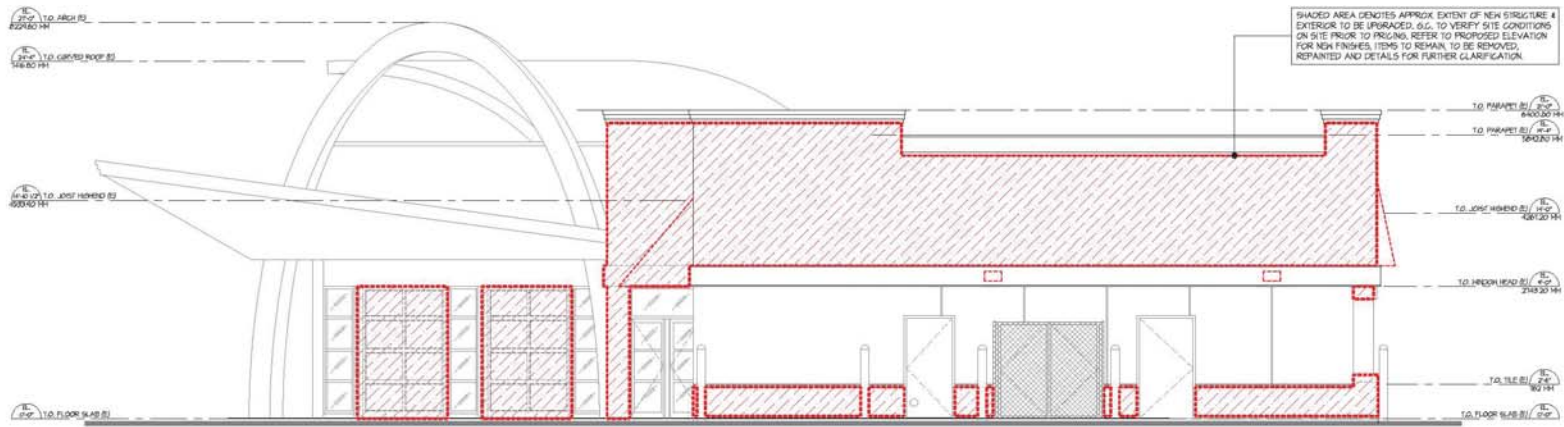
REV	DATE	DESCRIPTION
001	02/17/16	ISSUED FOR PERMITTING
002	03/01/16	ISSUED FOR PERMITTING
003	03/01/16	ISSUED FOR PERMITTING
004	03/01/16	ISSUED FOR PERMITTING
005	03/01/16	ISSUED FOR PERMITTING
006	03/01/16	ISSUED FOR PERMITTING
007	03/01/16	ISSUED FOR PERMITTING
008	03/01/16	ISSUED FOR PERMITTING
009	03/01/16	ISSUED FOR PERMITTING
010	03/01/16	ISSUED FOR PERMITTING

LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
BURNABY, B.C. V5C 3V8
ADMIN@LOVICKSCOTT.COM
P: 604 288 3700 F: 604 288 6881
MEMBER OF THE AIBC, AAA, SAA, NWTAA & FABC

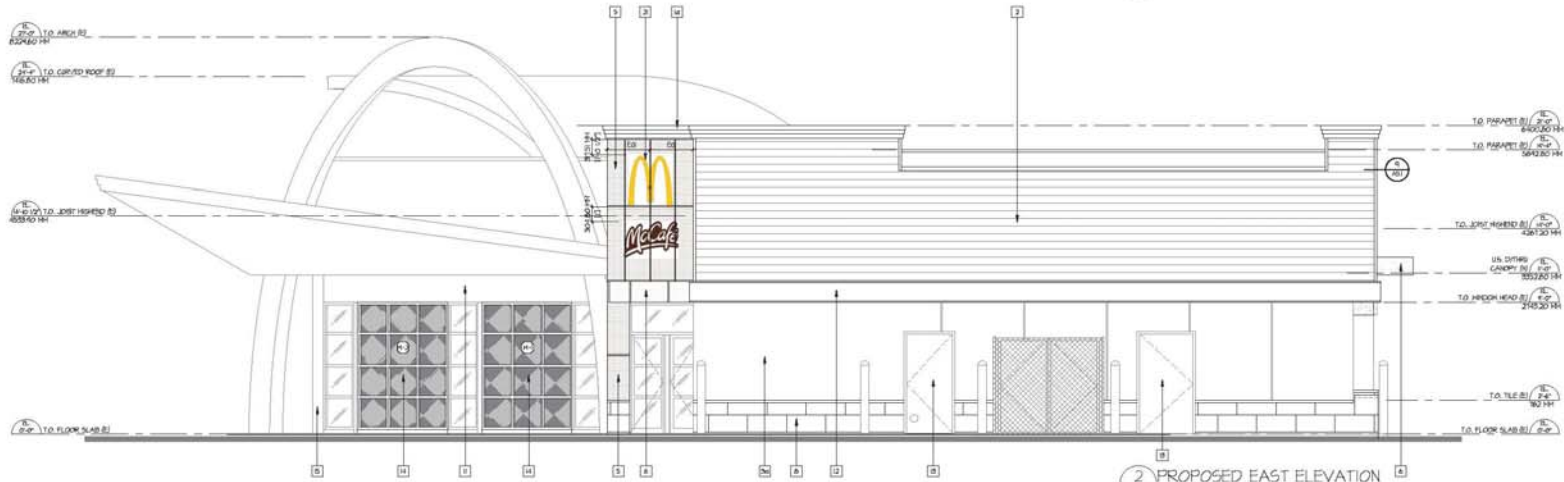
McDonald's Restaurant
10250-52 STREET, SURREY, BC

EXISTING & PROPOSED SOUTH ELEVATIONS

PROJECT NUMBER: 16-101
DRAWING NUMBER: A21
SCALE: 1/4" = 1'-0"
DATE: AUGUST 2016



1 EXISTING EAST ELEVATION
A22 SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
A22 SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
 - EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY B.C. PATCH & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK.
 - EXISTING HINGERS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY B.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW HINGERS WILL BE DETERMINED BY EXISTING HINGERS SITE MEASURE PRIOR TO ORDERING NEW HINGERS.
 - REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
 - EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH & REPAIR AS RESP. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HANGING.
 - EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, DIALS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY B.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
 - B.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
 - EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWING FOR ELECTRICAL ENGINEER'S REQUIREMENTS. B.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS RESP. AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- ALL HALL WALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, SM, & GUTTER IS GALVANIZED HLL BE REQUIRED TO BE CLEANED WITH BENJAMIN MOORE PDB - 3M OIL & GREASE REMOVER PER MANUFACTURER'S INSTRUCTIONS.
- ALL EXISTING BOLLARDS TO REMAIN TO BE PAINTED SAFETY YELLOW.
- ALL EXISTING SUPPORTS TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- REMOVE ALL EXISTING SHOWER STANDBY AND OTHER HALL HEATED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.0.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1 PREFINISHED METAL CAP FLASHING (EXISTING)	A PAINTED DULUX PAINT HCD 44 (DARK GREY) B PAINTED TO MATCH TRT WHITE	10 PREFINISHED METAL BASE / TRIM WALL FLASHING	CHARCOAL OG-BOT
2 HORIZONTAL METAL SCROLL ACROSS	CHARCOAL GREY (OG-BOT) A PAINTED DULUX PAINT REGENT GREY HCD 49 - HEDGH GREY B PAINTED TO MATCH NEW TRT C PAINTED DULUX PAINT CARACOL GREY HCD 42 - DARK GREY	11 PREFINISHED METAL ACCENT BAND TRIM (EXISTING) - WHITE	PAINTED TO MATCH TRT WHITE
3 STUCCO (EXISTING)	NON-REP!	12 PREFINISHED METAL BAND TRIM (EXISTING) - DARK GREY	PAINTED DULUX PAINT HCD 44
4 STUCCO TO MATCH EXIST. TEXTURE - HEDGH GREY	PAINTED DULUX PAINT REGENT GREY HCD 46	13 METAL DOORS & FRAMES (EXISTING) HEDGH GREY	PAINTED DULUX PAINT HCD 48
5 METAL PANEL - RED	NON-REP!	14 ALUMINUM SUREVIEWPORT HINGED FRAMES TO MATCH (EXISTING)	CLEAR ANODIZED
6 METAL PANEL / ROOFING - WHITE	TRT WHITE	15 METAL COLUMN (EXISTING) - DARK GREY	PAINTED DULUX PAINT HCD 44
7 METAL PANEL SOFFIT - ACROSS	TRT WHITE	16 FLEXIGLASS GLAZED ARCH (EXISTING) - YELLOW	TO REMAIN AS IS
8 STONE BASE - CORONA/DO COLOREUM/ WAVESTONE	BLACK FOREST/DO HATCH (EXISTING)	17 STUCCO SOFFIT (EXISTING) - WHITE	PAINTED DULUX PAINT WHITE HCD 51
9 ALUMINUM SUREVIEWPORT (DOOR/SCREEN FRAMES) (EXISTING)	CLEAR ANODIZED	18 CONCRETE BASE (EXISTING)	TO REMAIN AS IS
ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE.	REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.0.	19 SIGNAGE METAL SUPPORT (EXISTING)	PAINTED DULUX PAINT McDONALD'S REF HCD 58
* ALL METALLIC FLASHING TO BE 24 GA.		20 SIGNAGE (EXISTING)	TO REMAIN AS IS
- SEE SCALED ELEVATIONS FOR CORRECT COLOUR.		21 SIGNAGE	SEE RESPONSIBILITY SHEET

PROPOSED ELEV. LEGEND:

- (Hatched box) MATERIAL NUMBER
- (Dashed line) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's
McDONALD'S RESTAURANTS OF CANADA LIMITED
4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

NO.	DATE	DESCRIPTION
001/17/16	ISSUED FOR PERMIT/REVISION	
002/17/16	ISSUED FOR PERMIT/REVISION	
003/17/16	ISSUED FOR PERMIT/REVISION	
004/17/16	ISSUED FOR PERMIT/REVISION	
005/17/16	ISSUED FOR PERMIT/REVISION	
006/17/16	ISSUED FOR PERMIT/REVISION	
007/17/16	ISSUED FOR PERMIT/REVISION	
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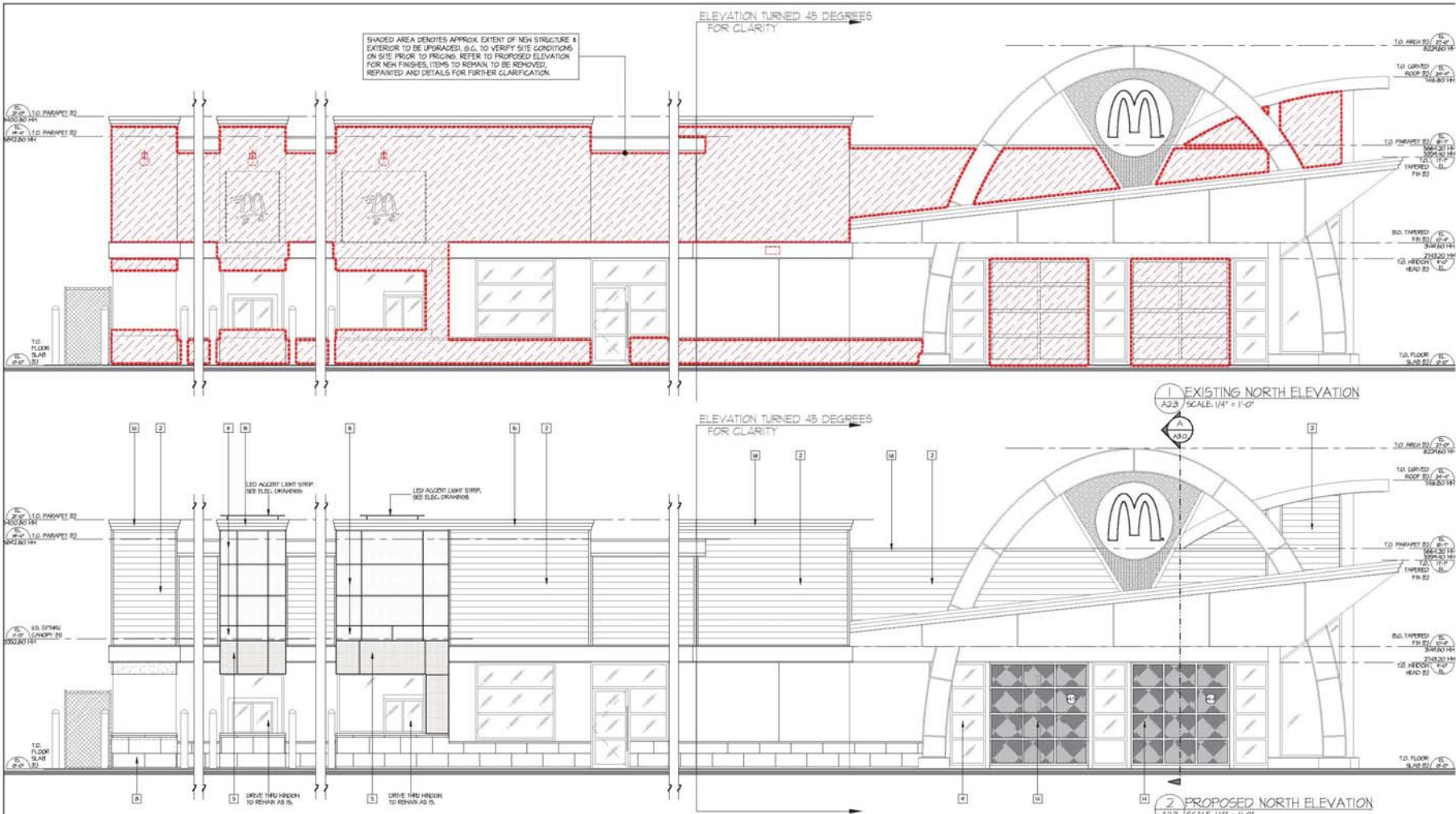
LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
BURNABY, B.C. V5C 3V8
A.D.M.I.N@L.O.V.I.C.K.S.C.O.T.T.C.O.M
P: 604 288 3708 F: 604 288 6881
MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC

McDonald's Restaurant
10250-52 STREET, SURREY, BC

EXISTING & PROPOSED EAST ELEVATIONS

PROJECT NUMBER: 16-101 DRAWING NUMBER: A22
SCALE: 1/4" = 1'-0"
DATE: AUGUST 2016 DATE PLOTTED: 05/10/2016



ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW
- 1. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY S.C. PAPER & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING HOOKS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY S.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW HOOKS WILL BE DETERMINED BY EXISTING HOOKS SITE MEASURE PRIOR TO ORDERING NEW HOOKS.
- 3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, COORRELLA, HALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS RESP. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, SALS, AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY S.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- 6. S.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLE IS DISCOVERED PROJECT MANAGER & ARCHITECT TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 7. EXISTING UNFINISHED SURFACE & SURFACES NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. S.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS RESP. AND COORDINATE BACKING/SUPPORTS WITH SIKK COMPANY.

- 8. HALL ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING FINISH.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE SPORT GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SURNAME TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SURNAME UPON COMPLETION.
- 12. PRIOR TO PAINTING OF ROOF, SALS, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BENJAMIN HOOKS HDG - 3M OIL & GREASED EMULSION PER MANUFACTURER'S INSTRUCTIONS.
- 13. ALL EXISTING BOLLARDS TO REMAIN TO BE PAINTED SAFETY YELLOW.
- 14. ALL EXISTING SURFACES TO REMAIN TO BE PAINTED EXTERIOR GRADE WHITE.
- 15. REMOVE ALL EXISTING SHOWER STANDS AND OTHER HALL HEATED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 16. EXISTING ACCESS PANELS ARE TO REMAIN TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1. PREFINISHED METAL CAP FLASHING EXISTING	A. PAINTED DULUX PAINT HCD 44 (DARK GREY) B. PAINTED TO MATCH SBT WHITE	10. PREFINISHED METAL BASE / TRIM PANEL	CHARCOAL OG-BOTZ
2. HORIZONTAL METAL SCROLL ACROSS	CHARCOAL GREY / SG-BOTZ	11. PREFINISHED METAL ACCENT BAND TRIM EXISTING - WHITE	PAINTED TO MATCH SBT WHITE
3. STUCCO EXISTING	A. PAINTED DULUX PAINT REGENT GREY HCD 44 - HEDSH GREY B. PAINTED TO MATCH NEW REF C. PAINTED DULUX PAINT CHARCOAL GREY HCD 42 - DARK GREY	12. PREFINISHED METAL BAND TRIM EXISTING - DARK GREY	PAINTED DULUX PAINT HCD 44
4. STUCCO TO MATCH EXIST. TEXTURE - HEDSH GREY	PAINTED DULUX PAINT REGENT GREY HCD 44	13. METAL DOORS & FRAMES EXISTING / HEDSH GREY	PAINTED DULUX PAINT HCD 48
5. METAL PANEL - RED	NEW REF	14. ALUMINUM SUREVIEWPORT HOOKS FRAMES TO MATCH EXISTING	CLEAR ANODIZED
6. METAL PANEL / ROOFING - WHITE	SBT WHITE	15. METAL COLUMN EXISTING - DARK GREY	PAINTED DULUX PAINT HCD 44
7. METAL PANEL SOFFIT - ACROSS	SBT WHITE	16. FLEXURAL GLAZ AISH EXISTING - YELLOW	TO REMAIN AS IS
8. STONE BASE - CORONA/DOLORES/SH WAVESTONE	BLACK FORESIGHT HATCH EXISTING	17. STUCCO SOFFIT EXISTING - WHITE	PAINTED DULUX PAINT WHITE HCD 51
9. ALUMINUM SUREVIEWPORT / DOWNDOWN FRAMES EXISTING	CLEAR ANODIZED	18. CONCRETE BASE EXISTING	TO REMAIN AS IS
ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O. * ALL METRICAL FLASHING TO BE 24 GA. - SEE SCALED ELEVATIONS FOR COORDINATE.		19. SIGNAGE METAL SUPPORT EXISTING	PAINTED DULUX PAINT MCDONALD'S REF HCD 58
		20. SIGNAGE EXISTING	TO REMAIN AS IS
		21. SIGNAGE	SEE RESPONSIBILITY SHEET

PROPOSED ELEV. LEGEND:

- (Hatched Box) MATERIAL NUMBER
- (Dashed Line) EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's
 MCDONALD'S RESTAURANTS OF CANADA LIMITED
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

REV	DATE	DESCRIPTION
02/17/16		ISSUED FOR PERMITTING
03/07/16		ISSUED FOR PERMITTING
03/10/16		ISSUED FOR PERMITTING

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
 BURNABY, B.C. V5C 3V8
 A D M I N I S T R A T O R S
 P: 604 288 3708 F: 604 288 6881
 MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAC

McDonald's Restaurant
 10250-52 STREET, SURREY, BC

EXISTING & PROPOSED NORTH ELEVATIONS

PROJECT NUMBER: 16-101
 DRAWING NUMBER: A23
 SCALE: 1/4" = 1'-0"
 DATE: AUGUST 2016

