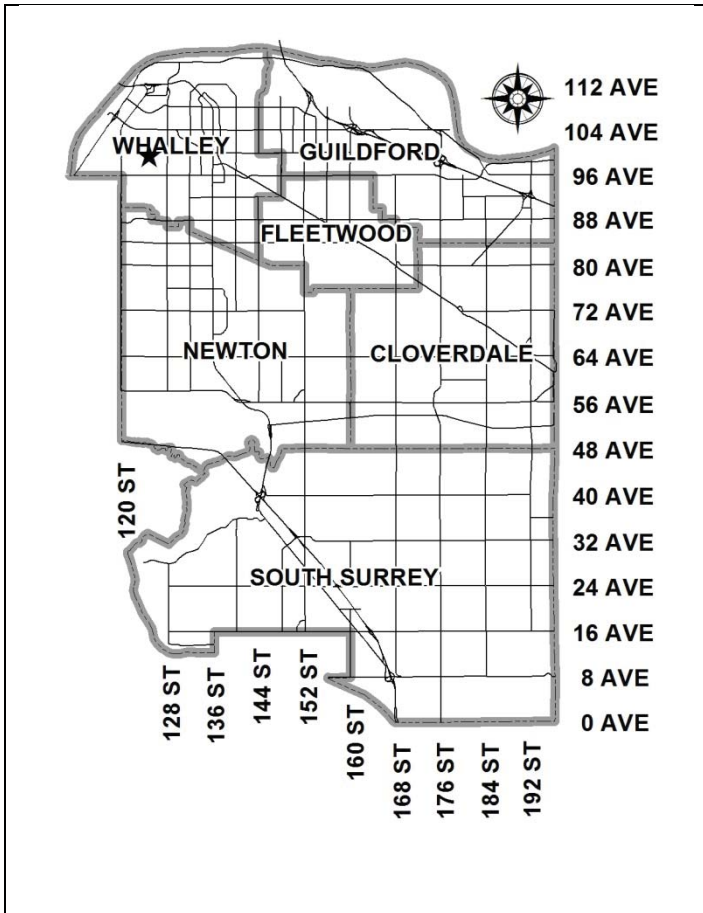


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0437-00

Planning Report Date: October 24, 2016



PROPOSAL:

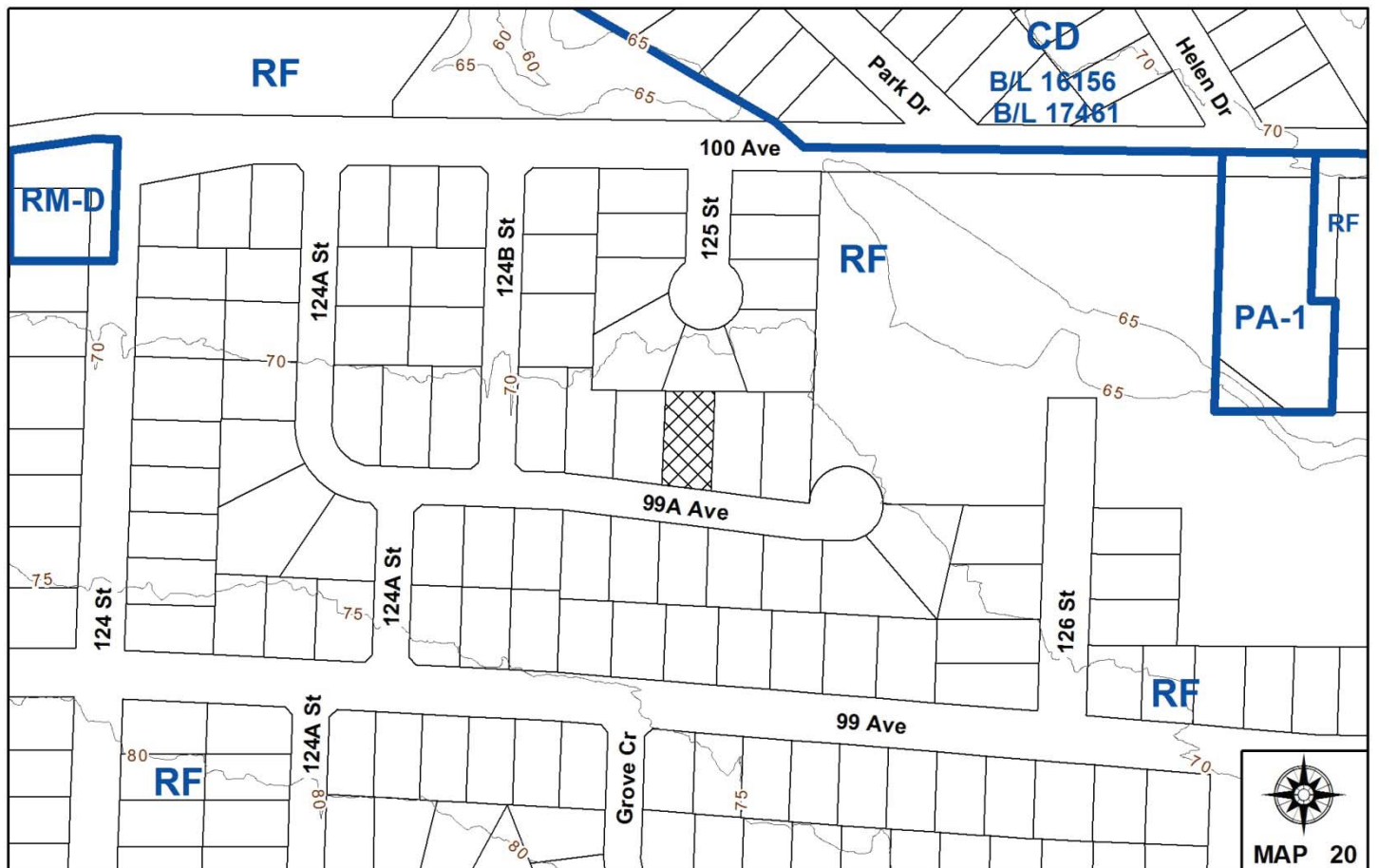
- **Development Variance Permit**
to reduce the minimum rear yard setback from a natural gas transmission right-of-way as well as to reduce the minimum front yard setback in order to permit a new single family dwelling.

LOCATION: 12521 - 99A Avenue

OWNERS: Jasvir K Mangat
Sukhdip S Mangat

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- To vary the Zoning By-law to reduce the minimum rear setback of the principal building from a natural gas transmission right-of-way from 7.5 metres (25 ft.) to 0.9 metre (3 ft.); and
- To vary the minimum front yard setback of the RF Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.).

RATIONALE OF RECOMMENDATION

- The proposed variances maintain access for pipeline maintenance and provide for an adequately sized building envelope on the single family lot.
- The applicant has demonstrated that the proposed house plan will interface well with the new house to the west of the subject lot (12509 – 99A Avenue). Both the new house at 12509 – 99A Avenue and the proposed house on the subject lot contain 1.5-storey, front gabled elements along the shared property line with 2-storey elements set back from the front façade to prevent a ‘canyoning’ effect.
- Due the curved front lot line and the proposed placement of the house, the reduced front yard setback for the two-storey portions of the front façade is approximately 6.92 metres (23 ft.). The resulting house plans demonstrate an attractive street presentation with a double side-by-side garage and massing that does not dominate the streetscape.
- The applicant has obtained a valid Pipeline and/or Right-of-Way Permit from FortisBC Energy Inc., dated June 1, 2016 and expiring on June 1, 2017, to permit demolition of the original house (which has occurred) and construction of a new house near the subject pipeline right-of-way. The FortisBC permit is subject to the onsite approval of a FortisBC Pipeline and Right-of-Way inspector and no construction activity is to take place without a FortisBC inspector on site.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0437-00 (Appendix IV) varying the following, to proceed to Public Notification:

- (a) to vary Part 4 of the Zoning By-law to reduce the minimum rear yard setback of the principal building from a natural gas transmission from 7.5 metres (25 ft.) to 0.9 metre (3 ft.); and
- (b) to reduce the minimum front side yard setback of the principal building in the RF Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.).

REFERRALS

Engineering: The Engineering Department has no objection to the project.

FortisBC: The Property Services Department of FortisBC Energy Inc. has no objection to the project

SITE CHARACTERISTICS

Existing Land Use: A one-storey single family dwelling has recently been removed. A gas right-of-way currently runs east-west along the rear yard.

Adjacent Area:

| Direction | Existing Use | OCP | Existing Zone |
|----------------------------------|---|------------|----------------------|
| North (Across gas right-of-way): | Single family dwellings | Urban | RF |
| East: | Single family dwellings and Robson Park | Urban | RF |
| South (Across 99A Avenue): | Single family dwellings | Urban | RF |
| West: | Single family dwellings | Urban | RF |

DEVELOPMENT CONSIDERATIONS

- The 812-square metre (8,472-square foot) subject lot is located at 12521 – 99A Avenue in Whalley. The subject property is approximately 20 metres (69 ft.) in width and approximately 40 metres (131 ft.) in depth.
- The subject lot is designated "Urban" in the Official Community Plan (OCP) and is zoned "Single Family Residential Zone (RF)".
- The subject lot is located within the Sensitive Ecosystems Development Permit Area for Streamside Protection, as a portion of the property falls within a 50-metre (164 ft.) radius of the Top of Bank of a Class B watercourse (Robson Park Base Flow Channel). However, given that there are four (4) existing single family lots between the subject lot and the environmental area, and the gas right-of-way prevents additional planting of trees and groundcover on the subject property, the requirements of the Sensitive Ecosystems Development Permit have been waived.
- The subject property is encumbered by an 18.25-metre (60 ft.) wide natural gas transmission right-of-way (FortisBC Energy Inc.) located along the northern portion of the property. Many of the lots on the north side of this portion of 99A Avenue contain similar conditions to the subject lot, as shown by the aerial photo attached as Appendix II.
- The approximate distance between the front lot line and the southern edge of the gas right-of-way is 22 metres (72 ft.). In accordance with Sub-section E.18.(a) of Part 4 General Provisions of the Zoning By-law, the minimum rear setback of a principal building on a lot containing or abutting a natural gas transmission right-of-way shall be 7.5 metres (25 ft.). In accordance with the RF Zone the minimum front yard setback of the principal building on a lot shall be 7.5 metres (25 ft.). When both requirements are applied to the subject lot a 7-metre (23-ft.) deep building footprint remains.
- The required rear yard setback from a natural gas transmission right-of-way was established as a way of preventing the construction of dwellings directly adjacent to the right-of-way and providing for a useable backyard on encumbered lots while maintaining access to the natural gas transmission lines for maintenance purposes.
- In 2012, the owners of the adjacent lot (12509 – 99A Avenue) to the west of the subject property received permission from the Board of Variance to relax the rear yard setback requirement from the gas right-of-way from 7.5 metres (25 ft.) to 0.93 metre (3.05 ft.).
- The owners of the subject property applied for a building permit to construct a new single family dwelling on the lot but were later informed at the plans review stage that a minimum rear yard setback for a principal building from a gas right-of-way of 7.5 metres (25 ft.) is required. The owners applied for the subject Development Variance Permit (DVP) to match the existing site conditions of the adjacent lot to the west at 12509 – 99A Avenue.
- The one-storey house on the subject lot has been demolished and all other requirements of the demolition permit have been fulfilled to the satisfaction of the Building Department.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To vary the Zoning By-law to reduce the minimum rear yard setback of the principal building from a natural gas transmission right-of-way from 7.5 metres (25 ft.) to 0.9 metre (3 ft.); and
- To reduce the minimum front yard setback of the principal building in the RF Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.).

Applicant's Reasons:

- The owners have advised staff that they purchased the subject property in April 2014 and confirmed the setback requirements from the gas right-of-way at that time. They reportedly were misinformed that construction could occur up to the edge of the right-of-way. Furthermore, they note that the requested variances would match those granted by the Board of Variance to the adjacent property owners at 12509 – 99A Avenue.
- The applicants have proposed the front yard setback relaxation, as per the site plan attached as Appendix III(a), as part of the subject DVP in order to site the proposed house away from the southern edge of the gas right-of-way and have reconfigured some of the proposed massing in order to create a better interface between the new construction and the existing streetscape.

Staff Comments:

- The applicant obtained a valid Pipeline and/or Right-of-Way Permit from FortisBC Energy Inc., dated June 1, 2016 and expiring on June 1, 2017, to permit the demolition of the original house and construction of a new house the subject pipeline right-of-way. The FortisBC permit is subject to the onsite approval of a FortisBC Pipeline and Right-of-Way inspector and no construction activity is to take place without a FortisBC inspector on site.
- The applicant has demonstrated that the proposed house plan will interface well with the new house at 12509 – 99A Avenue, to the west of the subject lot. Both the existing new house at 12509 – 99A Avenue and the proposed house on the subject lot contain 1.5-storey, front gabled elements along the shared property line with 2-storey elements set back from the front façade to prevent a ‘canyoning’ effect as illustrated on the proposed site plan and building elevations attached as Appendix III(b) and III(c).
- The proposed variance to reduce the required rear yard setback of the principal building from a gas right-of-way from 7.5 metres (25 ft.) to 0.9 metre (3 ft.) is in line with that obtained from the Board of Variance for the neighbouring property to the west in 2012.
- As 12509 – 99A Avenue and 12521 – 99A Avenue are the only lots on the north side of 99A Avenue, east of 124B Street, on which new dwellings have been constructed they may set a precedent for future construction on adjacent lots to the east, also

encumbered by the FortisBC gas right-of-way. The proposed variances maintain access for pipeline maintenance and provide for an adequately sized building footprint on the lot, will still maintaining a consistent, attractive streetscape along the north side of 99A Avenue.

- Staff support the proposed variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|---------------|--|
| Appendix I. | Lot Owners and Action Summary |
| Appendix II. | Aerial Photo (Neighbourhood Context) |
| Appendix III. | Proposed Site Plan and Building Elevations |
| Appendix IV. | Development Variance Permit No. 7916-0437-00 |

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

CRL/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Komal Sidhu

Address: 7326 - Fairfield Place
Delta, BC V3V 2P9

2. Properties involved in the Application

(a) Civic Address: 12521 - 99A Avenue

(b) Civic Address: 12521 - 99A Avenue
Owners: Sukhdip Singh Mangat
Jasvir K Mangat

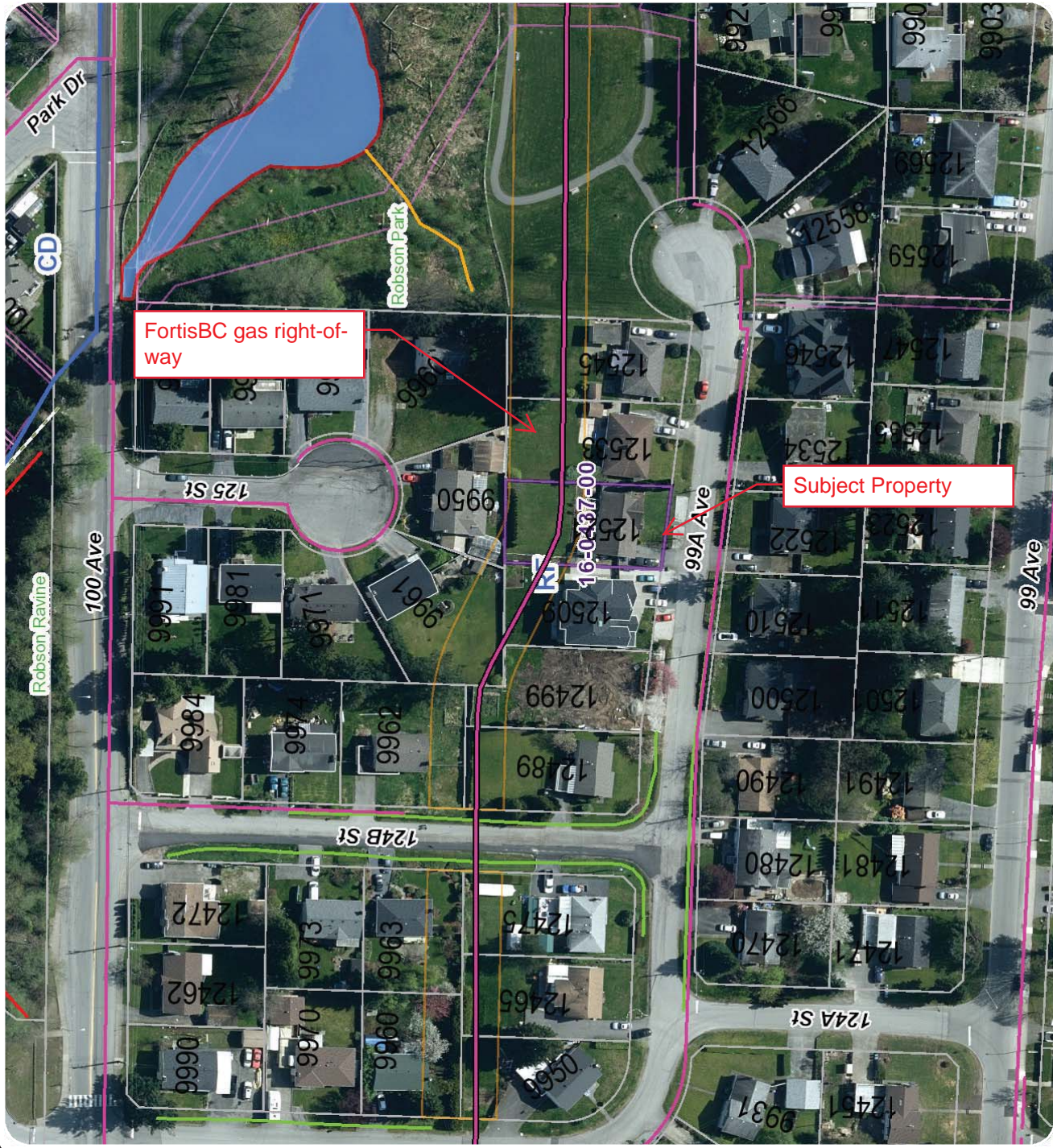
PID: 007-482-795

Lot 43 Section 32 Block 5 North Range 2 West New Westminster District Plan 19325

3. Summary of Actions for City Clerk's Office

(a) Proceed with Public Notification for Development Variance Permit No. 7916-0437-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

City of Surrey Mapping Online System



- Legend**
- Gas Transmission
 - Gas Distribution
 - Early Copy Lots
 - Trails and Paths
 - A
 - AO
 - B
 - C
 - Unknown
 - A
 - AO
 - B
 - C
 - Unknown
 - River
 - Creek
 - Ditch
 - Dev Apps - All
 - Secondary Plan Boundaries
 - Zoning Boundaries
 - Municipal
 - Utility

Scale: 1:1,500

0 0.01 0.02 0.04 0.06 km

Map created on: 14/10/2016

7916-0437-00 Context Aerial

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca

ZONING CALCULATIONS:
12521 - 99A Ave., Surrey - RF - Zone

Lot Area = 8742 SQFT
Allowed Lot Coverage = 2972.28 SQFT
Allowed FAR = 423.186 SQFT
Proposed Lot Coverage = 2492.43 SQFT
Proposed FAR = 423.186 SQFT

MAIN FLOOR AREA: 2012.33 SQFT
GARAGE: 420.67 SQFT
TOTAL: 2433.00 SQFT

UPPER FLOOR AREA: 1798.86 SQFT

MAIN FLOOR: 2433.00 SQFT (INCL GARAGE)
UPPER FLOOR: 1798.86 SQFT
TOTAL: 4231.86 SQFT

MAIN ENTRY PORCH: 40.43 SQFT
UP DECK: 58.31 SQFT

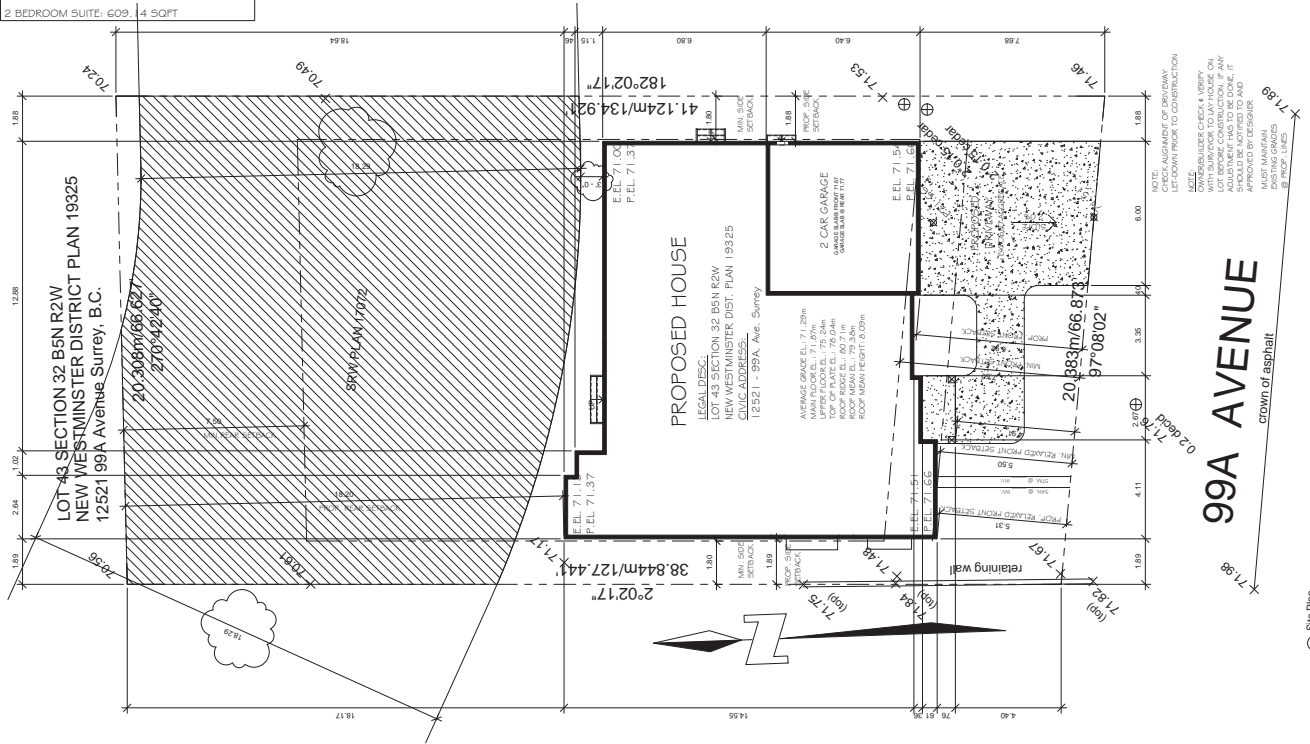
2 BEDROOM SUITE: 609.4 SQFT

ENERGY EFFICIENCY REQUIREMENTS (PART 9 BLDG):

- PRESPECTIVE METHOD USED
- WITH HRV
- VENTILATION METHOD: 9.3.2.3.4.(4) - Independently distributed HRV system

AIR BARRIER SYSTEM:

Will consist of flexible sheet materials
Shall have all joints lap not less than 50mm
sealed with a non-hardening type sealant and
be structurally supported
As per 9.3.6.2.10(5)(6) of BCBC2012



THIS HOME IS DESIGNED TO COMPLY WITH SECTION 9.36.2 - 9.36.4 OF B.C. BUILDING CODE 2012 ENERGY EFFICIENCY REQUIREMENTS FOR CLIMATE ZONE 4

- DWELLING TO BE VENTILATED IN COMPLIANCE TO 9.3.2.3.5 BY INDEPENDENTLY DISTRIBUTED HRV SYSTEM BUILDING SPECIFICATIONS:
- VENTILATION AND DUCTING MUST BE PROVIDED PER B.C.B.C. 2012 SECTION 9.3.2
- AIR BARRIER TO BE INSTALLED PER B.C.B.C. 2012 SECTION 9.3.6
- ALL INSULATION TO BE INSTALLED PER B.C.B.C. 2012 SECTION 9.3.6
- GARAGE DOOR W/ MINIMUM NOMINAL R.S.I. 1.1
- ALL ACCESS HATCHES TO UNCONDITIONED SPACES: MAX. U-VALUE OF 2.6
- ALL WINDOWS & DOORS: MAX. U-VALUE OF 1.8 EXCEPT FOR 1 ENTRY UNIT
- ALL SKYLIGHTS: MAX. U-VALUE OF 2.9

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE MEASUREMENTS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND DESIGNER SHALL BE INFORMED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
- CONSTRUCTION MUST COMPLY WITH B.C. BUILDING CODE 2012, ELECTRICAL B.C. CODE 2012, PLUMBING B.C. CODE 2012 AND WINDOW AND GLAZING B.C. CODE 2012.
- EXACT LOCATION OF THE BUILDING MUST BE CONFIRMED WITH LOCAL AUTHORITIES OR SURVEYOR. ADJUST SITE GRADAS AS REQUIRED.
- FOOTINGS MUST BE TAKEN DOWN FROST LEVEL TO UNDISTURBED SUBSTRATA. INTERIOR FACE OF CONCRETE (FOOTINGS AND WALLS) MUST BE INSULATED WITH 25mm (1") OF RIGID INSULATION.
- PROVIDE 6" CLEARANCE BETWEEN GRADE AND SIDING
- CONCRETE OF FOOTINGS OR WALLS MUST HAVE #45 FELT AND MUST BE ANCHORED WITH 1/2" DIA. BOLTS 4'-0" O.C.
- ALL FOOTINGS ARE TO EXTEND 18" BELOW GRADE MINIMUM.
- PROVIDE VENTILATION TO ROOMS IN COMPLIANCE WITH B.C.B.C. SECTION 9.35
- WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS
- DWELLING SECURITY AS OUTLINED IN B.C.B.C. SECTION 9.6.8.
- ANCHOR POSTS TO FOOTING TO RESIST UPLIFT
- GLASS IN WINDOWS & DOORS TO BE DOUBLE GLAZED SAFETY GLASS.
- WINDOW FRAMES TO BE THERMALLY BROKEN.
- TUBS WITH SHOWERS MUST HAVE A MIN. HEIGHT OF 3'11" FROM TUB RIM.
- 1" NOSING REQUIRED ON TREADS LESS THAN 1'0"
- R-12 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA FOR SLABS WITH RADIANT HEATING.
- CROSS BRIDGING REQUIRED @ 7'0" oc MAX. DR. GLE & NAIL PANEL SUBFLOOR
- LIND OR EQUAL REQUIRED TO BATHROOM FLOORS
- GLASS IN ENTRANCE, SHOWER AND SLIDING DOORS ARE TO BE SAFETY GLASS.
- MIRROR DOORS AT ENTRANCES TO WALK-IN CLOSETS ARE TO BE BACKED W/ SOLID MATERIAL AS PER #9 G.S.3.
- FLASHING MUST BE PROVIDED OVER ALL EXTERIOR OPENINGS.
- PROVIDE WEATHER-STRIPPING FOR ALL EXTERIOR DOORS.
- PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS.
- FLASH ALL CHANGES OF MATERIAL ON EXTERIOR WALLS.
- ALL EXTERIOR AND GARAGE ELECTRICAL OUTLETS TO BE WATERPROOFED.
- PROVIDE WEATHER-STRIPPING FOR ALL EXTERIOR DOORS.
- PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS.
- FLASH ALL CHANGES OF MATERIAL ON EXTERIOR WALLS.
- ALL EXTERIOR AND GARAGE ELECTRICAL OUTLETS TO BE WATERPROOFED.
- PROVIDE 2" CLEAR SPACE BETWEEN FIREPLACE AND FRAMING.
- PROVIDE TEMPERED GLASS WHEN DISTANCE BETWEEN GLASS AND FINISH FLOOR IS LESS THAN 4'
- HEADERS AND TRIMMERS MUST COMPLY WITH B.C. BUILDING CODE 2012.
- ALL JOIST HANGERS TO HAVE A RESISTANCE OF 2000 LBS. Ref. STRUCTURAL ENG. UNLESS OTHERWISE NOTED.
- ALL UNLETS NOT SPECIFIED ARE 2x12 DOUBLE.
- ATTIC OR CRAWL SPACE ACCESS TO BE HATCHED AND INSULATED. MINIMUM SIZE 20x28" & WEATHERSTRIPPED.
- PROVIDE SCREENED VENTILATION TO ALL ATTIC SPACES AS REQUIRED 1:300
- PROVIDE BRACING TO ALL CORNERS.
- PROVIDE 2" CONTINUOUS SCREENED VENTILATION AT SOFFITS.
- BALCONY RAILINGS TO BE MINIMUM 3/4" OVER FINISH FLOORS.
- CONFIRM ALL ROUGH OPENINGS OF WINDOWS AND DOORS
- OWNER OR CONTRACTOR SHALL OBTAIN MANUFACTURER CERTIFICATE, AND SHOP DRAWINGS FOR GLUE-LAMINATED BEAMS
- OWNER OR CONTRACTOR SHALL OBTAIN MANUFACTURER CERTIFICATE FOR TRUSSES.
- FOR INSTALLATION, REFER TO SHOP DRAWINGS. SKYLIGHTS TO BE INSTALLED ACCORDING TO SHOP DRAWINGS BY OTHERS.
- DOUBLE JOIST UNDER ALL WALLS RUNNING IN THE SAME DIRECTION OF FLOOR JOIST
- ALL FRAMING ELEMENTS MUST BE No 2 DOUBLAS FIR.
- REGISTERED STRUCTURAL ENGINEER SUBMITS LETTER OF UNDERTAKING FOR REVIEW, DESIGN AND SUPERVISION OF STRUCTURAL COMPONENTS.
- ALSO SEE S&M 4 WIND DESIGN AS PER CMC GUIDE.

MISCELLANEOUS

1. FINISH GRADES ON SITE TO DIRECT ANY SURFACE WATER FLOW FROM THE BUILDING.
2. WHERE A WINDOW OPENS TO A WINDOW WELL THE OPERATION OF THE SASH SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD RESTRICT ESCAPE IN CASE OF EMERGENCY.
3. PROVIDE BUILDING AND SITE DRAINAGE AS PER LOCAL REQUIREMENTS.
4. ALL DOWNSPOUTS WILL TO BE CONNECTED TO DRAIN PIPES INSTALLED ALL AROUND THE PROPOSED BUILDING.

THESE PLANS CONFORM TO BCBC 2012

CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.

CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVLD. AND CAN ONLY BE REPRODUCED WITH PVLD'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.

Pro Villa Designs
#108 - 8299 129 Street
Surrey, B.C. V3W 0A6
Ph. 604-993-7070
info@villadesigns.ca
www.villadesigns.ca

Jasvir Singh
PH.

| No. | Description | Date |
|-----|-------------|------|
| 1 | Revision 1 | |
| | | |
| | | |
| | | |

12521 - 99A
Surrey, B.C.

SITE PLAN, NOTES & CALCULATIONS

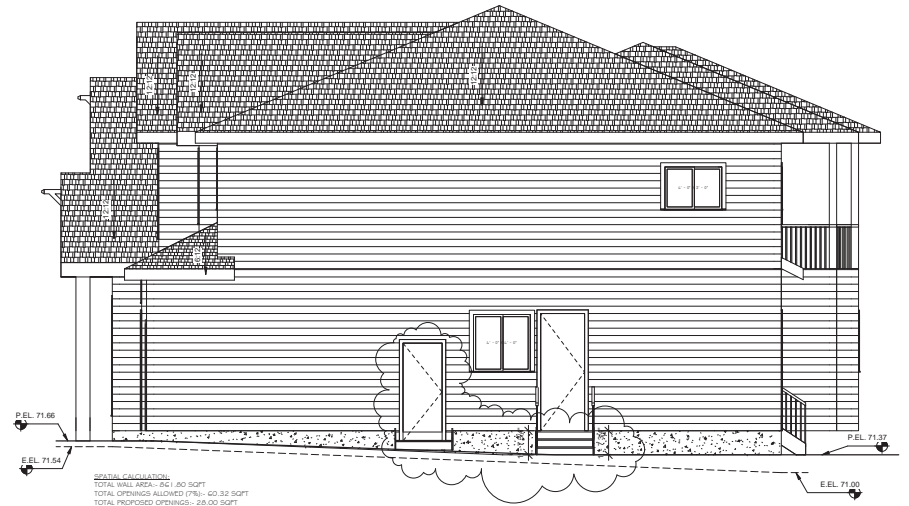
Project number PVDL-16-1049-JS
Date 10 March 2016
Drawn by HB
Checked by GS

A1

Scale 1/8" = 1'-0"




1 Front Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2012
CONSTRUCTION SHALL FOLLOW LOCAL BUILDING BY-LAWS ALONG WITH THESE PLANS.
CONTRACTOR MUST CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY THE WHOLE PLAN (i.e. ALL LEVELS, DIMENSIONS, STRUCTURAL ADEQUACIES) PRIOR TO CONSTRUCTION.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED. ANY VARIATIONS AND MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM PRO VILLA DESIGNS LTD. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PVDL AND CAN ONLY BE REPRODUCED WITH PVDL'S WRITTEN PERMISSION. PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT INTENDED TO BE ISSUED FOR CONSTRUCTION UNTIL APPROVED BY CITY.



Villa Designs

Pro Villa Designs
#108- 8299 123 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070
info@villadesigns.ca
www.villadesigns.ca

Jasvir Singh
PH-

| No. | Description | Date |
|-----|-------------|--------|
| 1 | Revision 1 | Date 1 |
| | | |
| | | |

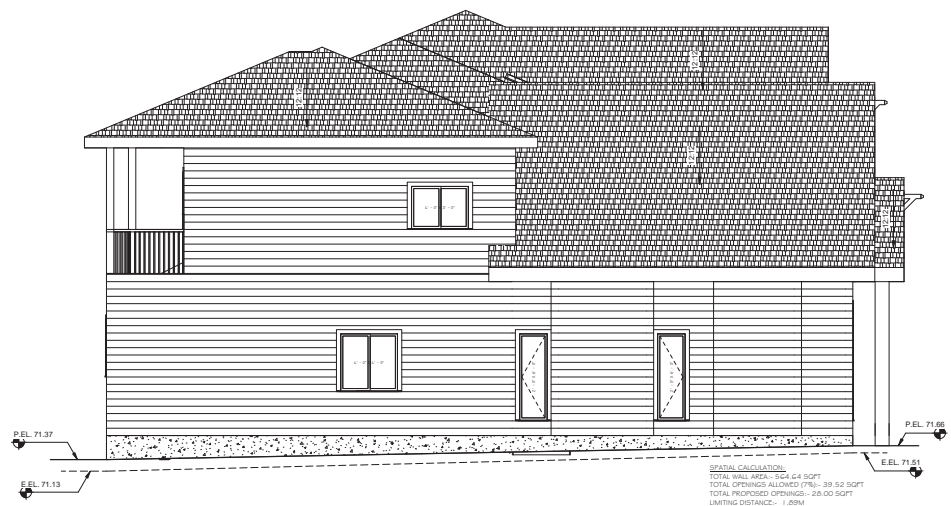
12521 - 99A
Surrey, B.C.

FRONT & RIGHT ELEVATIONS

| | |
|----------------|-----------------|
| Project number | PVDL-16-1049-JS |
| Date | 10 March 2016 |
| Drawn by | HB |
| Checked by | GS |
| A2 | |
| Scale | 1/4" = 1'-0" |



① Rear Elevation
1/4" = 1'-0"



② Left Elevation
1/4" = 1'-0"

THESE PLANS CONFORM TO BCBC 2012
CONSTRUCTION SHALL FOLLOW LOCAL
BUILDING BY-LAWS ALONG WITH THESE PLANS.
CONTRACTOR MUST CONFIRM ALL
DIMENSIONS PRIOR TO START OF
CONSTRUCTION.
THE DESIGNER ASSUMES NO LIABILITY FOR
ANY ERRORS AND OMISSIONS IN THESE PLANS.
IT IS THE BUILDER/OWNER'S RESPONSIBILITY
TO REVIEW AND VERIFY THE WHOLE PLAN (i.e.
ALL LEVELS, DIMENSIONS, STRUCTURAL
ADEQUACIES) PRIOR TO CONSTRUCTION.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED. ANY VARIATIONS AND
MODIFICATIONS TO THESE DRAWINGS SHALL
NOT BE CARRIED OUT WITHOUT WRITTEN
PERMISSION FROM PRO VILLA DESIGNS LTD.
THIS DRAWING IS THE EXCLUSIVE PROPERTY
OF PVDL AND CAN ONLY BE REPRODUCED
WITH PVDL'S WRITTEN PERMISSION.
PLEASE NOTE THAT THIS DRAWING IS FOR
PERMIT APPLICATION PURPOSES AND NOT
INTENDED TO BE ISSUED FOR CONSTRUCTION
UNTIL APPROVED BY CITY.



Pro Villa Designs
#108- 8209 123 Street
Surrey, B.C. V3W 0A6
Ph. 604-593-7070
info@villadesigns.ca
www.villadesigns.ca

Jasvir Singh

PH-

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |

12521 - 99A
Surrey, B.C.

REAR & LEFT
ELEVATIONS

| | |
|----------------|-----------------|
| Project number | PVDL-16-1049-JS |
| Date | 10 March 2016 |
| Drawn by | HB |
| Checked by | GS |

A3

| | |
|-------|--------------|
| Scale | 1/4" = 1'-0" |
|-------|--------------|

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0437-00

Issued To: SUKHDIP SINGH MANGAT
JASVIR KAUR MANGAT

("the Owner")

Address of Owners: 12521 - 99A Avenue
Surrey, BC V3V 2R6

1. This development variance permit is issued subject to compliance by the Owners with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-482-795
Lot 43 Section 32 Block 5 North Range 2 West New Westminster District Plan 19325

12521 - 99A Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Sub-section E.18.(a) of Part 4 General Provisions the minimum setback of a principal building on a lot containing or abutting a natural gas transmission right-of-way is reduced from 7.5 metres (25 ft.) to 0.9 metre (3 ft.); and
 - (b) In Section F of Part 16 Single Family Residential Zone (RF), the minimum front yard setback for a principal building is reduced from 7.5 metres (25 ft.) to 4.9 metres (16 ft.).

4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owners does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

ZONING CALCULATIONS:

12521 - 99A Ave, Surrey - RF - Zone

Lot Area = 6742 SQFT
 Allowed Lot Coverage = 2972.28 SQFT
 Allowed FAR = 4231.86 SQFT
 Proposed Lot Coverage = 2482.43 SQFT
 Proposed FAR = 4231.86 SQFT

MAIN FLOOR AREA: 2012.33 SQFT
 TOTAL: 2433.00 SQFT

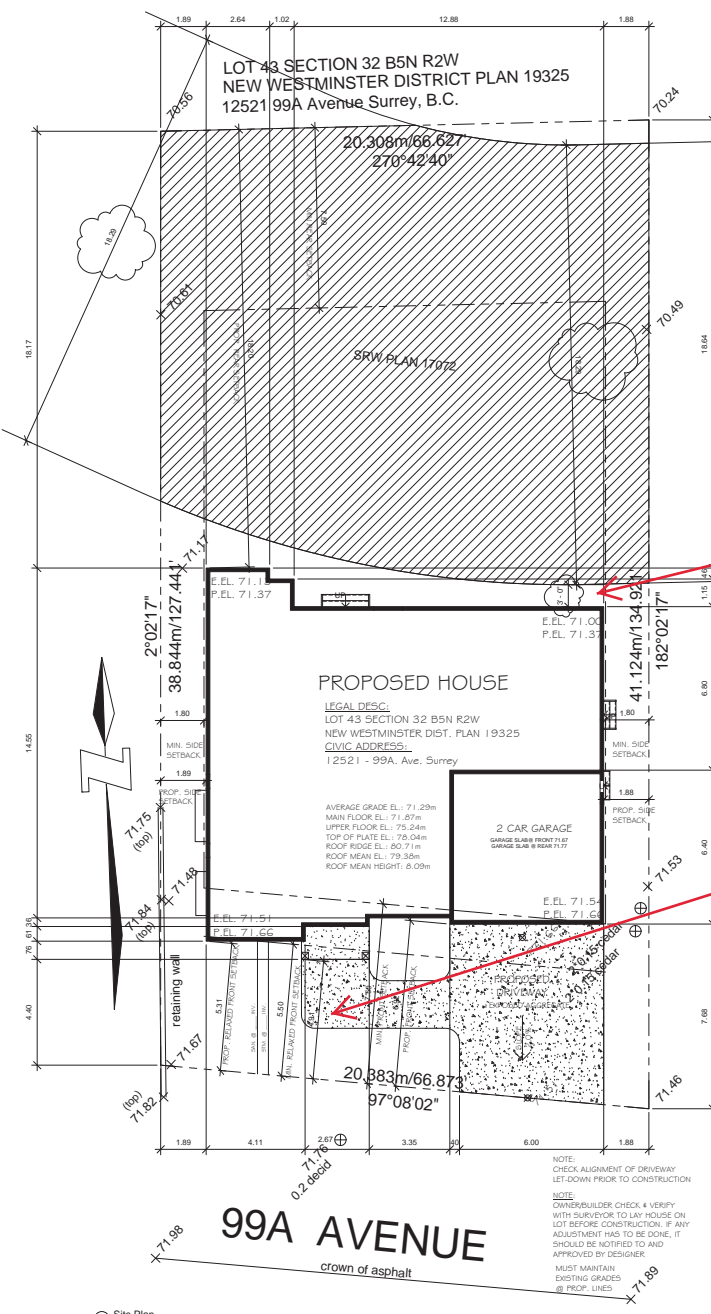
UPPER FLOOR AREA: 1799.86 SQFT
 MAIN FLOOR: 2433.00 SQFT (INC. GARAGE)
 UPPER FLOOR: 1799.86 SQFT
 TOTAL: 4232.86 SQFT

MAIN ENTRY PORCH: 40.43 SQFT
 UP DECK: 59.31 SQFT
 2 BEDROOM SUITE: 609.4 SQFT

- ENERGY EFFICIENCY REQUIREMENTS**
- RESPECTIVE METHOD USED
 - WITH HRV/
 - VENTILATION METHOD: 9.32.3.4.1
- AIR BARRIER SYSTEM:**
- ALL EXTERIOR WALLS AND ROOF MATERIALS SHALL BE AIR BARRIER SYSTEMS.
 - ALL AIR BARRIER SYSTEMS SHALL BE SEALED WITH A NON-BREATHING TYPE SEAL AS PER 9.36.2.1 (OR) (H) OF B.C. CODE.

To vary Part 4 of the Zoning By-law to reduce the minimum rear yard setback of a principal building from a gas right-of-way from 7.5 metres (25 ft.) to 0.9 metre (3 ft.)

To reduce the minimum front yard setback of the principal building in the RF Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.).



- THIS HOME IS DESIGNED TO COMPLY WITH SECTION 9.36.2-9.36.4 OF B.C. BUILDING CODE 2012**
- ENERGY EFFICIENCY REQUIREMENTS FOR CLIMATE ZONE 4**
- DWELLING TO BE VENTILATED IN COMPLIANCE TO 9.32.3.5 BY INDEPENDENTLY DISTRIBUTED HRV SYSTEM
 - BUILDING SPECIFICATIONS:
 - VENTILATION AND DUCTING MUST BE PROVIDED PER B.C. B.C. 2012 SECTION 9.32
 - ALL INSULATION TO BE INSTALLED PER B.C. B.C. 2012 SECTION 9.36
 - GARAGE DOOR WITH MINIMUM NOMINAL R.S.I. 1.1
 - ALL WINDOWS & DOORS: MAX. U-VALUE OF 1.8 EXCEPT FOR 1 ENTRY UNIT
 - ALL WINDOWS: MAX. U-VALUE OF 2.9

- GENERAL NOTES**
1. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 13. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 14. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 15. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 16. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 21. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 22. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 23. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 24. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 25. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 26. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 27. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 28. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 29. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 30. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 31. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 32. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 33. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 34. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 35. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 36. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 37. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 38. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 39. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 40. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 41. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 42. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 43. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 44. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 45. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 46. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 47. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 48. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 49. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 50. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 51. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 52. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 53. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 54. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 55. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 56. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 57. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 58. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 59. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 60. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 61. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 62. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 63. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 64. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 65. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 66. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 67. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 68. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 69. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 70. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 71. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 72. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 73. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 74. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 75. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 76. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 77. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 78. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 79. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 80. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 81. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 82. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 83. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 84. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 85. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 86. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 87. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 88. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 89. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 90. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 91. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 92. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 93. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 94. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 95. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 96. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 97. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 98. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 99. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 100. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

THESE PLANS CONFORM TO B.C.B.C. 2012

CONSTRUCTION SHALL FOLLOW LOCAL PLANS

CONTRACTOR MUST CONFORM ALL

THE RESPONDER ASSUMES NO LIABILITY FOR ANY ERRORS AND OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER'S RESPONSIBILITY TO REVIEW AND VERIFY DIMENSIONS, STRUCTURAL, AND OTHER PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED. ANY VARIATIONS MODIFICATIONS TO THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT DESIGNER'S WRITTEN PERMISSION. THIS IS AN EXCLUSIVE PROPERTY OF PVOL AND CAN ONLY BE REPRODUCED WITH PVOL'S PERMISSION.

PLEASE NOTE THAT THIS DRAWING IS FOR PERMIT APPLICATION PURPOSES AND NOT FOR CONSTRUCTION.

DESIGNER'S SIGNATURE AND SEAL REQUIRED BY CITY.

PRO VIDA Designs
 12521 - 99A Ave
 Surrey, B.C. V2W 0A6
 Ph: 604-593-7070
 info@providadesigns.ca
 www.providadesigns.ca

Jaasvir Singh
 PH.

| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |

**12521 - 99A
 Surrey, B.C.**

SITE PLAN, NOTES & CALCULATIONS

Project number: P.VOL-16-108-45
 Drawing by: JVS
 Date: 20 March 2016
 Title: GS
 Scale: 1/8" = 1'-0"