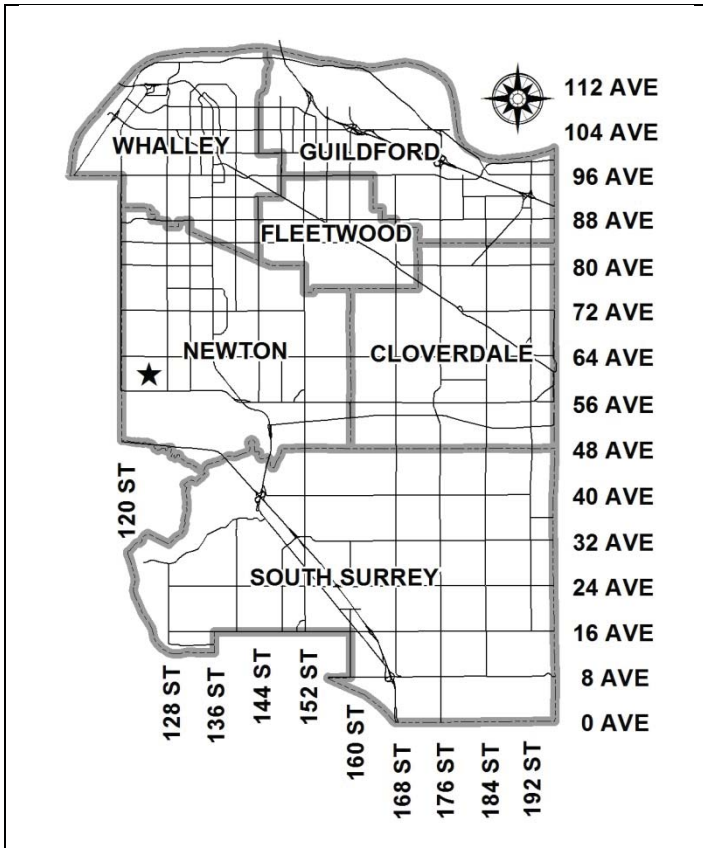


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0435-00

Planning Report Date: October 24, 2016



PROPOSAL:

- **Development Variance Permit**
 to relax the front yard setback requirements for the principal building of two single family lots.

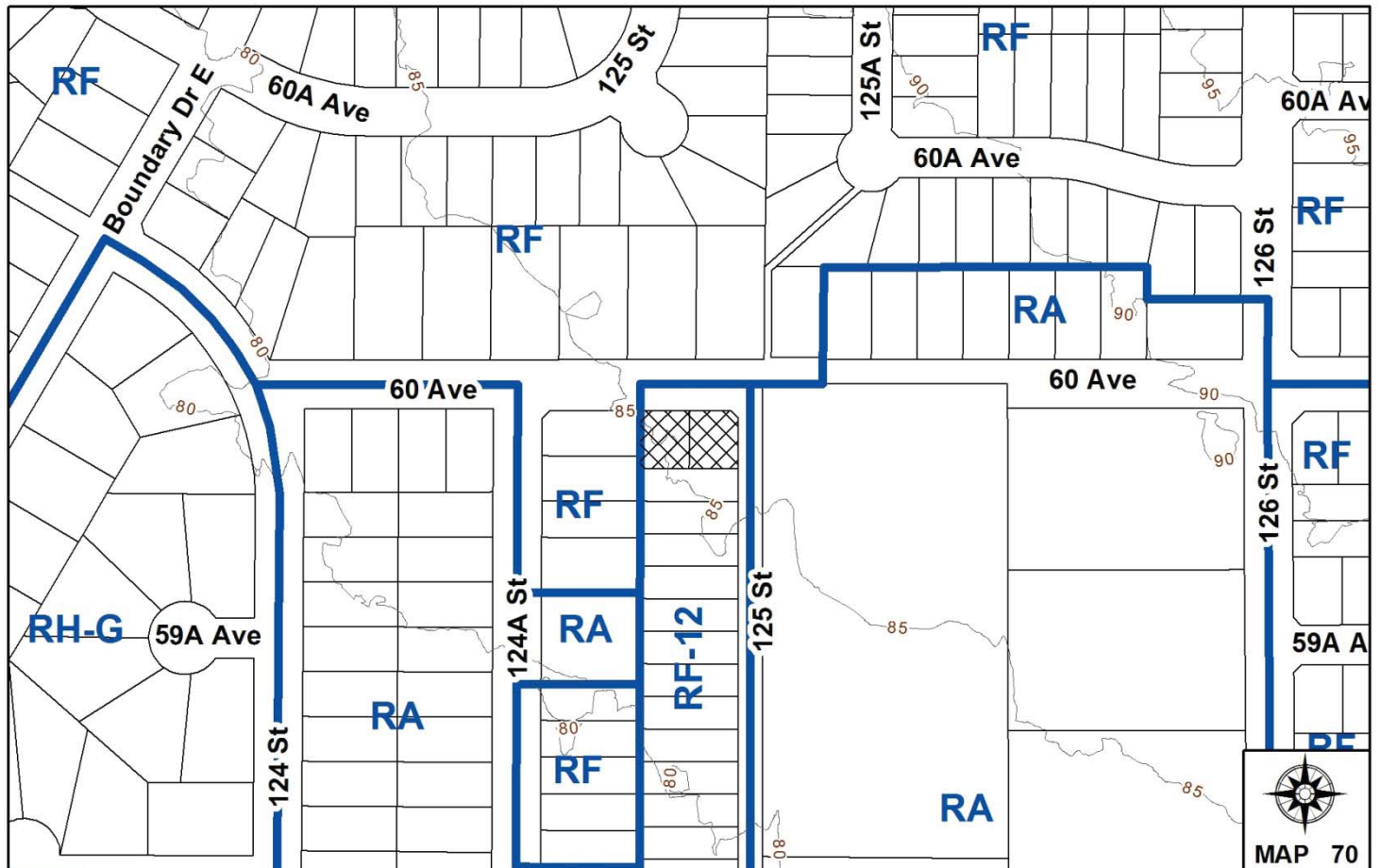
LOCATION: 12490 and 12498 - 60 Avenue

OWNER: Amarjit S Grewal
 Sarbjit K Grewal

ZONING: RF-12

OCP DESIGNATION: Urban

NCP DESIGNATION: West Newton / Highway No. 10



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking variances to reduce the minimum front yard setback requirement of the RF-12 Zone.

RATIONALE OF RECOMMENDATION

- The variance is necessary due to the Special Building Setback requirement for lots fronting or flanking an arterial road or collector road. In accordance with Part 7 Special Setbacks of the Zoning By-law, building setbacks are to be measured from the edge of the ultimate road right-of-way. 60 Avenue is a collector road and requires an additional 1.0 metre (3 ft.) of road right-of-way for an ultimate road allowance of 24 metres (79 ft.).
- Staff supports the requested variance to proceed to Public Notification.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0435-00 (Appendix II) varying the following, to proceed to Public Notification:

- (a) to reduce the minimum front yard setback of the RF-12 Zone from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, from 4.0 metres (13 ft.) to 3.0 metres (10 ft.) for the remaining portion of the first storey of the principal building, and from 2.0 metres (6.6 ft.) to 1.35 metres (4.4 ft.) for the veranda for Lot 1 at 12490 - 60 Avenue; and
- (b) to reduce the minimum front yard setback of the RF-12 Zone from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, and 4.0 metres (13 ft.) to 3.0 metres (10 ft.) for the remaining portion of the first storey of the principal building for Lot 2 at 12498 - 60 Avenue.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Two vacant single family lots, approved under Development Application No. 7904-0099-00

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 60 Avenue):	Single family dwellings	Urban/Existing Single Family	RF
East (Across 125 Street):	J.T. Brown Elementary School	Urban/Schools	RA
South:	Vacant single family small lot, approved under Development Application No. 7904-0099-00	Urban/Small Lot (10 upa)	RF-12
West:	Single family dwellings	Urban/Proposed Single Family (6 upa)	RF

DEVELOPMENT CONSIDERATIONS

- The subject site is located on the southwest corner of 60 Avenue and 125 Street. It is designated "Small Lot (10 upa)" in the West Newton / Highway 10 Neighbourhood Concept Plan (NCP) and is zoned RF-12.
- The two (2) subject lots were created under Development Application No. 7904-0099-00, which was completed on March 20, 2012.
- 60 Avenue, which fronts the subject site, is classified as a collector road. For lots fronting or flanking an arterial road or a collector road, in accordance with Part 7 Special Building Setbacks of Zoning By-law No. 12000, front yard setbacks and side yard setbacks on a flanking street are measured from the centreline of the ultimate road allowance.
- Since 60 Avenue is a collector road, under the revised standards of the Subdivision & Development By-law approved by Council in 2012, the width for a collector road was increased from 22 metres (72 ft.) to 24 metres (79 metres).
- As part of Development Application No. 7904-0099-00, the applicant was required to provide road dedication for an ultimate road width of 22 metres (72 ft.) in accordance with the previous road dedication requirements for collector roads. Therefore, the current property line is 11 metres (36 ft.) from the road centreline, whereas the ultimate property line is 12 metres (39 ft.) from the road centreline.
- In accordance with Part 7 Special Building Setbacks of the Zoning By-law, the front yard setback must be measured from one-half of the width of the ultimate road allowance (12 metres / 39 ft.), as measured from the centreline of the road. Therefore, the building setbacks must be measured from a line drawn 1 metre (3 ft.) inside the property line on 60 Avenue.
- The applicant is seeking front yard setback variances on both lots in order to accommodate typical RF-12 houses on the two subject lots (see By-law Variances section).

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum front yard setback of the RF-12 Zone for the principal building as follows:
 - to reduce the minimum front yard setback of the RF-12 Zone from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, from 4.0 metres (13 ft.) to 3.0 metres (10 ft.) for the remaining portion of the first storey of the principal building, and from 2.0 metres (6.6 ft.) to 1.35 metres (4.4 ft.) for the veranda for Lot 1 at 12490 - 60 Avenue; and
 - to reduce the minimum front yard setback of the RF-12 Zone from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, and 4.0 metres (13 ft.) to 3.0 metres

(10 ft.) for the remaining portion of the first storey of the principal building for Lot 2 at 12498 - 60 Avenue.

Applicant's Reasons:

- Without the proposed front yard setback variances, the building envelope on each lot would be too small to allow for a functional floorplan.

Staff Comments:

- The subject properties are located on 60 Avenue, which is designated a collector road. The Surrey Major Road Allowance Map, attached as Schedule K to the Subdivision and Development By-law No. 8830, identifies a 24 metre (79 ft.) wide road allowance for collector roads. The current 24- metre (79 ft.) wide road allowance for a collector road, approved by Council in 2012, is a 2 metre (7 ft.) increase from the previous collector road allowance of 22 metres (72 ft.).
- Part 7 Special Building Setbacks of the Zoning By-law No. 12000 stipulates that the setback of buildings on a lot abutting an existing or future major road as shown in the Surrey Major Road Allowance Map, shall be the sum of one-half of the ultimate highway allowance shown in the Major Road Allowance Map measured from the centreline of the ultimate highway allowance plus the required setback of the Zone in which the lot is located.
- Under the RF-12 Zone, the required front yard setback is 6 metres (20 ft.) with an allowable reduction down to 4 metres (13 ft.) for the first storey of the principal building excluding the garage, and a further allowable reduction down to 2 metres (6.6 ft.) for an unenclosed and uninhabitable space such as a porch or veranda.
- In the case of the subject site, the required front yard setback for the existing lots would be 12 metres (39 ft.) from the ultimate centerline of 60 Avenue plus the 6 metre (20 ft.), 4 metre (13 ft.) and/or 2 metre (6.6 ft.) front yard setback requirement of the RF-12 Zone.
- The applicant is proposing front yard setbacks on 60 Avenue which comply with the front yard setback requirements for the RF-12 Zone if measured from the existing property line; the reduced setbacks are required in order to comply with the Special Building Setbacks for ultimate road allowance on 60 Avenue, which require an additional 1 metre (3 ft.) of land to achieve the ultimate highway allowance.
- Lot 1 at 12490 60 Avenue has a further reduced building envelope due to a required tree preservation area along the west property line, required for the preservation of 2 trees located in the west side yard.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Development Variance Permit No. 7916-0435-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HK/da

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0435-00

Issued To: AMARJIT S GREWAL
SARBJIT K GREWAL

(the Owner)

Address of Owner: 1462 – East 63rd Avenue
Vancouver, BC V5P 2L7

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-825-802
Lot 1 Section 7 Township 2 New Westminster District Plan BCP50538

12490 - 60 Avenue

Parcel Identifier: 028-825-811
Lot 2 Section 7 Township 2 New Westminster District Plan BCP50538

12498 - 60 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section F in Part 17A "Single Family Residential (12) Zone (RF-12)" is varied to reduce the minimum front yard setback for the principal building as follows:
 - i. from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, from 4.0 metres (13 ft.) to 3.0 metres (10 ft.) for the remaining portion of the first storey of the principal building, and from 2.0 metres (6.6 ft.) to 1.35 metres (4.4 ft.) for the veranda for Lot 1 at 12490 - 60 Avenue; and

- ii. from 6.0 metres (20 ft.) to 5.0 metres (16 ft.) for the garage, and 4.0 metres (13 ft.) to 3.0 metres (10 ft.) for the remaining portion of the first storey of the principal building for Lot 2 at 12498 - 60 Avenue.

4. The siting of buildings and structures shall be in accordance with the drawings numbered 7916-0435-00(A) through to and including 7916-0435-00(B) (the "Drawings") which are attached hereto and form part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

LOT CALCULATIONS

CIVIC ADDRESS:	LOT #1 12490 60 AVE. SURREY, B.C.
ZONING:	RF 12
LOT AREA:	5179.60 SQ.FT.
PERMITTED FLOOR AREA RATIO:	= 2800.00 SQ.FT.
PROPOSED FLOOR AREA RATIO:	MAIN + GARAGE + NET TOP FL. = 2798.92 SQ.FT.
PERMITTED TOP FLOOR AREA:	80% x (TOTAL MAIN FLOOR + PORCH) = 1386.15 SQ.FT.
PROPOSED TOP FLOOR AREA:	= 1119.58 SQ.FT.
PERMITTED LOT COVERAGE:	50% x 5144.07 SQ.FT. = 2589.80 SQ.FT.
PROPOSED LOT COVERAGE:	34.08% = 1753.25 SQ.FT.
PERMITTED BUILDING HEIGHT:	9.50M
PROPOSED BUILDING HEIGHT:	9.33M

7916-0435-00 (A)

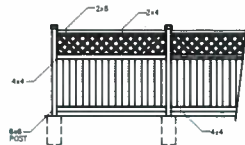


NOTES:

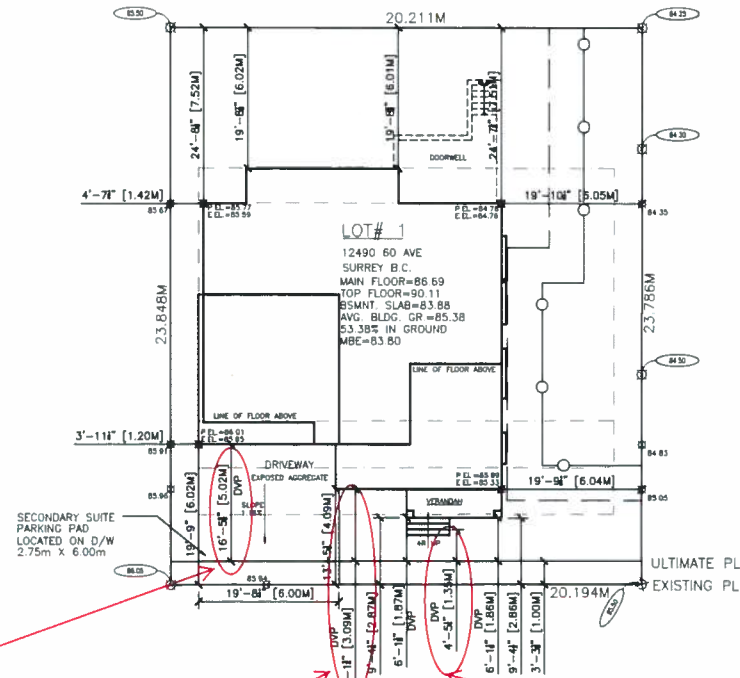
- WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION.
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3 A231 LATEST EDITION.
- CONCRETE STRENGTH AT 28 DAYS, MINIMUM 3,000 PSI.
- ALL FRAMING AND NAILING SHALL CONFORM TO B.C. BUILDING CODE PART 9 AND DESIGN TO CSA LATEST EDITION.
- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
- WOOD TRUSSES SHALL BE DESIGN AND SEALED BY P.ENG. REGISTERED IN B.C.
- ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORM TO CSA 0121 LATEST EDITION.
- OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

NOTES:

- FENCES ARE NOT REQUIRED, BUT WHERE USED:
- THE FENCE IS CONSTRUCTED OF TREATED MATERIAL AND SUITABLY STAINED.
 - FENCES ON THE SIDE OF THE SINGLE FAMILY DWELLING ARE LOCATED AT LEAST 1.8 METERS (6.0 FEET) BEHIND THE FRONT FACE OF THE SINGLE FAMILY DWELLING.
 - THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS



FENCE DETAIL
SCALE: 1/4"=1'



Variance from 6.0m to 5.0m for the garage

Variance from 4.0m to 3.0m for first storey of house excluding garage

Variance from 2.0m to 1.35m for the veranda

60TH AVENUE

SITE PLAN
SCALE: 1/8"=1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2018

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE	DWR.	SANT	DRAWING NO.
						PROPOSED RESIDENCE FOR AMARJIT GREWAL LOT #1 12490 60 AVE SURREY, B.C.			DD16-7203-P1



DHILLON DESIGN
UNIT 21-1230-100N AVE.
SURREY, B.C. V2W 3A8
PHONE: (604) 590-2508
FAX: (604) 590-7379
EMAIL: dhillon@dhillon.ca



LOT CALCULATIONS

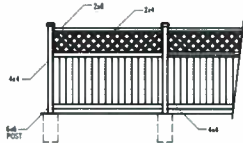
CIVIC ADDRESS:	LOT #:
12498 60 AVE.	12498 60 AVE.
ZONING:	SURREY, B.C.
RF 12	
LOT AREA:	5144.07 SQ.FT.
PERMITTED FLOOR AREA RATIO:	= 2800.00 SQ.FT.
PROPOSED FLOOR AREA RATIO:	MAN + GARAGE + NET TOP FL. = 2797.36 SQ.FT.
PERMITTED TOP FLOOR AREA:	80% x (TOTAL MAIN FLOOR + PORCH) = 1510.14 SQ.FT.
PROPOSED TOP FLOOR AREA:	= 941.18 SQ.FT.
PERMITTED LOT COVERAGE:	50% x 5144.07 SQ.FT. = 2572.04 SQ.FT.
PROPOSED LOT COVERAGE:	37.43% = 1925.68 SQ.FT.
PERMITTED BUILDING HEIGHT:	9.50M
PROPOSED BUILDING HEIGHT:	9.36M

NOTES:

1. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE, LATEST EDITION.
4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF C.S.A. 3.A231 LATEST EDITION.
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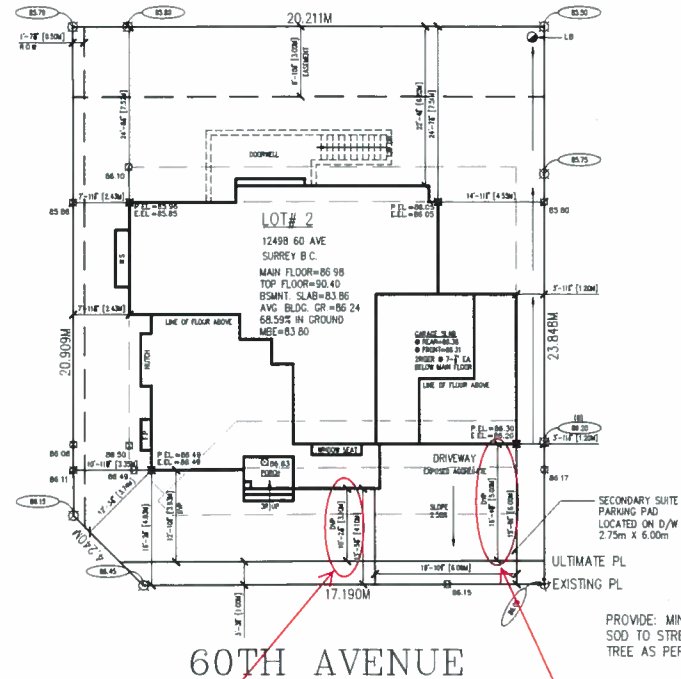
NOTES:

01. THE FENCE IS CONSTRUCTED OF TREATED MATERIAL AND SUITABLY STAINED.
02. FENCES ON THE SIDE OF THE SINGLE FAMILY DWELLING ARE LOCATED AT LEAST 1.8 METERS (6.0 FEET) BEHIND THE FRONT FACE OF THE SINGLE FAMILY DWELLING.
03. THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS.



FENCE DETAIL
SCALE: 1/4" = 1'

125TH STREET



Variance from 4.0m to 3.0m for first storey of house excluding garage

Variance from 6.0m to 5.0m for the garage

PROVIDE: MIN 25 SHRUBS OF 5 GAL.POTS SOD TO STREET TREE AS PER TREE REPLACEMENT PLAN

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



TITLE		DWR.	SANT	DRAWING NO.	
PROPOSED RESIDENCE FOR AMARJIT GREWAL LOT #2 12498 60 AVE SURREY, B.C.				DD16-7200-P1	
		SCALE:	1/8"=1'		
		DATE:	05 MAY 2016		
		PHONE:	604-774-8046		

DHILLON DESIGN
UNIT 225-12530-100th AVE.
SURREY, B.C. V3W 3A0
PHONE: (604) 300-2248
FAX: (604) 300-2879
EMAIL: dhillon@dhillon.ca