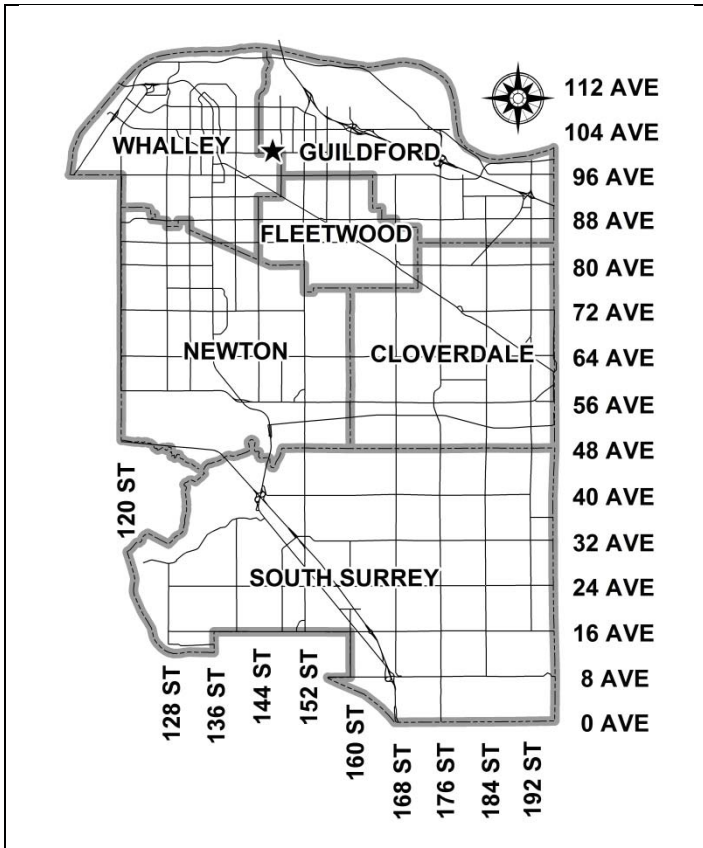


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0417-00

Planning Report Date: April 3, 2017

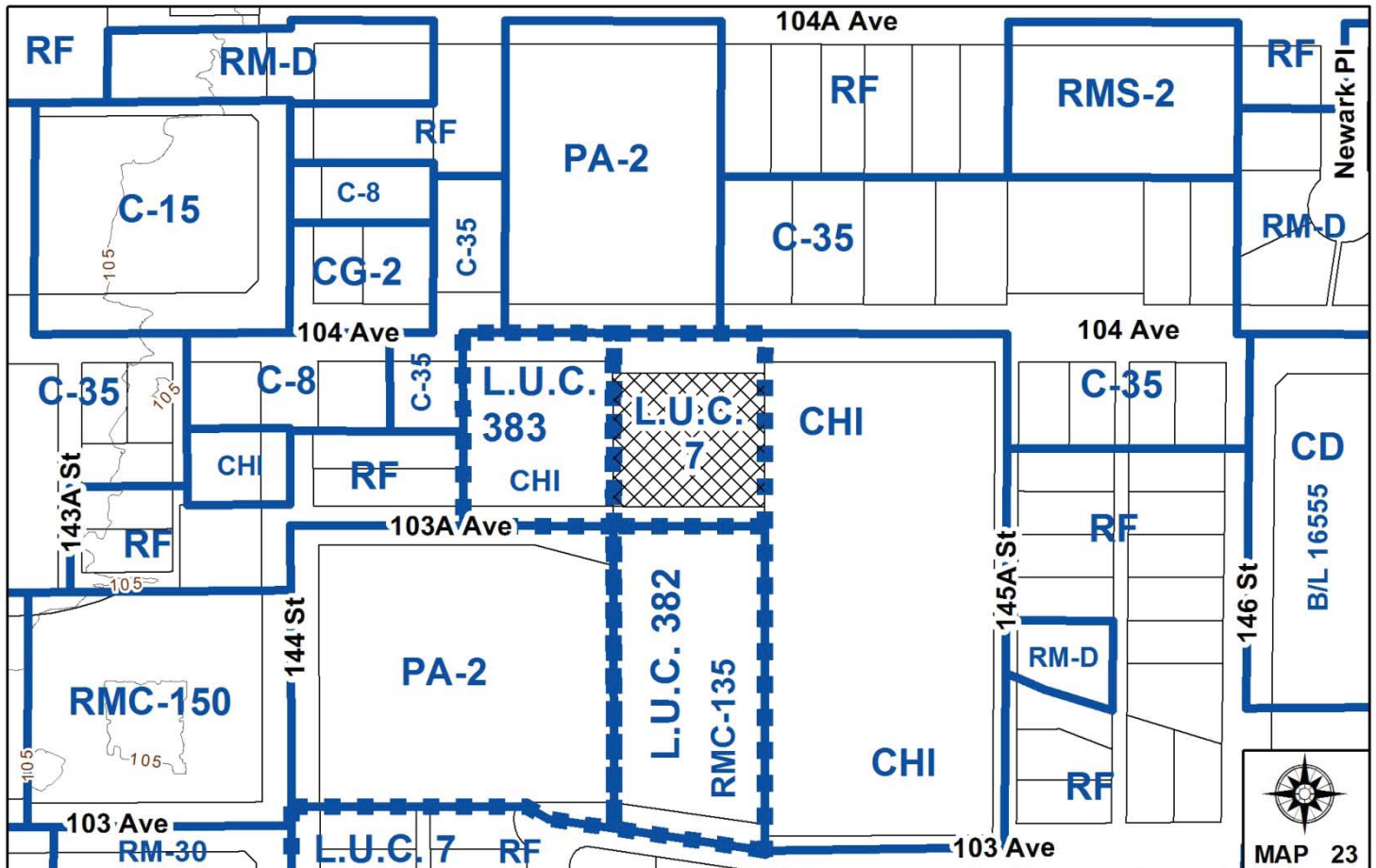


**PROPOSAL:**

- **Development Permit**

to permit renovations to an existing drive-through restaurant (McDonald's) in Guildford.

**LOCATION:** 14476 - 104 Avenue  
**OWNER:** McDonald's Restaurants Of Canada Limited  
**ZONING:** LUC No. 7 (CHI underlying)  
**OCP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Sign By-law through a comprehensive design package to:
  - increase the maximum number of fascia signs from two (2) to six (6); and
  - permit more than one (1) fascia sign to be located on the same façade.

### RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a new modern design character while maintaining desirable elements of the existing building.
- The applicant proposes four (4) additional fascia signs beyond the two (2) signs permitted under the Sign By-law for a total of six (6) fascia signs, for the existing McDonald's restaurant. The proposed fascia signs are well under the maximum sign area permitted under the Sign By-law, are of a high-quality design, and are of an appropriate size and scale in relation to the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7916-0417-00 including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's drive-through restaurant.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 104 Avenue):	Church and vacant lot.	Multiple Residential	PA-2 and C-35
East:	Automobile dealership.	Multiple Residential	CHI
South (Across 103A Avenue right-of way):	Non-conforming disposal bin storage.	Multiple Residential	LUC No. 382 (underlying RMC-135 Zone)
West:	Automobile dealership.	Commercial	LUC No. 383 (underlying CHI Zone)

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is located at 14476 – 104 Avenue in Guildford and is approximately 3,659 square metres (0.9 acre) in size. The site is designated Commercial in the Official Community Plan (OCP) and is regulated by Land Use Contract (LUC) No. 7 (with the underlying zone being "Highway Commercial Industrial Zone (CHI)").

- The site is currently occupied by a single-storey McDonald's drive-through restaurant. The existing design of the 352-square metre (3,789-sq. ft.) restaurant was approved under Development Permit No. 7996-00034-00 on January 27, 1997. A total of three (3) additional fascia signs were approved as part of Development Permit No. 7916-0463-00 and 7914-0131-00.
- As part of a rebranding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve consistent branding and to increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.
- LUC No. 7 is being terminated under Council-initiative (Application No. 7916-0473-00). Final adoption of the termination by-law was given on January 16, 2017 and the 1-year grace period will end on January 16, 2018, at which time the CHI Zone will come into effect.

### Current Proposal

- The applicant is proposing a Development Permit in order to allow exterior renovations to the existing single-storey drive-through restaurant, including new fascia signage.
- The applicant is also proposing to vary the Sign By-law through a comprehensive sign design package in order to allow four (4) additional fascia signs, for a total of six (6) fascia signs.
- The applicant is also proposing to renovate the interior of the restaurant through a Tenant Improvement Building Permit.
- The floor area of the building is 319 square metres (3,434 sq. ft.), resulting in a floor area ratio (FAR) of 0.087, which complies with the maximum FAR of 1.0 permitted in the CHI Zone. No building additions are proposed as part of the proposed renovations.

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The applicant is proposing exterior modifications and improvements to the existing building, which will provide a more contemporary look to the building.
- The proposed changes to the exterior of the building are intended to implement McDonald's new contemporary restaurant design while maintaining elements and materials of the existing building. The proposed design retains portions of the stucco and trim and aluminum frame glazing. Many of the existing exterior elements and finishes will be retained and painted red, charcoal grey and medium grey to implement McDonald's new colour scheme.
- The existing curved canopy features on the west and northeast elevations will be removed. New vertical red metal panels with white metal ribbon and brown fiber cement horizontal siding will be installed on the west elevation as a new key design element to identify the restaurant entrance and location of new signage. Similarly, red and white metal paneling will be installed on the northeast and east elevations to identify the location of the two drive-through order pick-up windows.

- The existing canopies on the west and north façades will be removed.

#### Drive-Through and Parking

- The existing parking lot and dual lane drive-through configuration will remain unchanged.
- The site accommodates 45 parking stalls, which exceeds the 32 stalls required by the Zoning By-law.

#### Proposed Signage

- The existing free-standing pylon sign located at the 104 Avenue entrance will remain in place.
- The on-site directional and drive-through signage will remain unchanged.
- The applicant proposes to retain and relocate the existing brown and white "McCafé" fascia sign on the north elevation. They are also proposing two (2) new fascia signs on the north elevation, including a yellow "Arches" fascia sign and a blue "Open 24 Hours" fascia sign.
- Three (3) new fascia signs are proposed on the east elevation, including a white "McDonald's" sign consisting of illuminated individual channel letters, a brown and white "McCafé" fascia sign and a yellow "Arches" fascia sign.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the same façade of the premises.
- The applicant proposes a total of six (6) fascia signs, and as a result, a relaxation is required to allow four (4) additional fascia signs and permit multiple signs on the same façade.
- The proposed signage design has been reviewed by staff and found to be acceptable. The location and scale of the proposed signage is modest and complementary to the building design. The signage is constructed of high-quality materials.
- Staff support the proposed variances as part of a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Table
- Appendix III. Development Permit No. 7916-0417-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

LM/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    Andrea Scott  
                                                                                 Lovick Scott Architects Ltd.  
                                                                                 Address:                    3707 - First Avenue  
                                                                                                                         Burnaby, BC V5C 3V6
  
2.            Properties involved in the Application
  - (a)          Civic Address:                    14476 - 104 Avenue
  
  - (b)          Civic Address:                    14476 - 104 Avenue  
                                                                                 Owner:                                    McDonald's Restaurants Of Canada Limited  
                                                                                 PID:                                        023-684-968  
                                                                                 Lot 1 Section 30 Block 5 North Range 1 West New Westminster District Plan LMP31864

## DEVELOPMENT DATA SHEET

Underlying Zoning: CHI

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b> (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		3,659 sq.m.
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	50%	9.6%
Paved & Hard Surfaced Areas		62%
Total Site Coverage		71.5%
<b>SETBACKS</b> ( in metres)		
Front (North)	7.5 metres	8.3 metres
Rear (South)	7.5 metres	15.7 metres
Side #1 (East)	7.5 metres	41.3 metres
Side #2 (West)	7.5 metres	10.5 metres
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	9 metres	6.7 metres
Accessory	9 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		N/A
<b>FLOOR AREA: Commercial</b>		319 sq.m.
Retail		
Office		
Total		319 sq.m.
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	3,659 sq.m.	319 sq.m.



**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.087
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	32	45
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	32	45
Number of accessible stalls		2
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of six (6) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building
2	To allow three (3) fascia signs to be installed on the same (east) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the east façade includes a 'McDonalds' fascia sign, a golden "Arches" sign and a 'McCafé' sign, which is consistent with other McDonald's restaurants in the City.
3	To allow three (3) fascia signs to be installed on the same (north) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the north façade includes an 'Open 24 Hours' fascia sign, a golden "Arches" sign and a 'McCafé' sign, which is consistent with other McDonald's restaurants in the City.

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7916-0417-00

Issued To: MCDONALD'S RESTAURANTS OF CANADA LIMITED  
(the "Owner")

Address of Owner: Attn: Real Estate  
100, 2 - McDonalds Place  
North York, ON M3C 3L4

**A. General Provisions**

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 023-684-968  
Lot 1 Section 30 Block 5 North Range 1 West New Westminster District Plan LMP31864

14476 - 104 Avenue

(the "Land")

3. This development permit applies to only the portion of the Land as shown on Schedule A which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

## **B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7916-0417-00(A) through to and including 7916-0417-00(R) (the "Drawings").
2. Signage shall be installed in conformance with the Drawings 7916-0417-00(Q) through to and including 7916-0417-00(R).
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

## **C. Variances**

The issuance of a development permit limits activity on the Land to that of strict compliance with all City bylaws, unless specific variances have been authorized by the development permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations or within reports which are inconsistent with City bylaw provisions and which have not been identified as variances below:

1. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as outlined on Schedule A which is attached hereto and forms part of this development permit, and as shown on the comprehensive sign design package Drawing labelled 7916-0417-00(P) through to and including 7916-0417-00(R).

## **D. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.

4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
  
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.
  
6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF \_\_\_\_\_, 20\_\_.

ISSUED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

  
\_\_\_\_\_  
Authorized Agent: (Signature)

REILEN REYES  
\_\_\_\_\_  
Name: (Please Print)

## Sign By-law Variances

#	Variance	Sign By-law Requirement
1	To permit a total of six (6) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))
2	To allow three (3) fascia signs to be installed on the same (east) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))
3	To allow three (3) fascia signs to be installed on the same (north) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))

# McDonald's

McDONALD'S APPROVALS  
McDONALD'S APPROVED  
REGIONAL/NATIONAL DESIGN  
July 22 2016

LOT 1, SECTION 30, RANGE 1, PLAN LMP31864, NWD  
14476 104TH AVENUE, SURREY, B.C.



## DRAWING / CONSULTANT LIST:

### ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.  
3707 1st AVENUE  
BURNABY, B.C., V5C 3V6  
(tel) 604.296.3700  
(fax) 604.296.6081  
(e-mail) [ascott@lovickscott.com](mailto:ascott@lovickscott.com)  
[mryes@lovickscott.com](mailto:mryes@lovickscott.com)

A0.0	COVER SHEET	A2.3	COLOURED ELEVATIONS
A0.1	GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS	A2.4	PERSPECTIVES
A0.2	SIGNAGE SCHEDULE	A3.0	BUILDING SECTIONS (A&B&C)
AS0.0	CONTEXT PHOTOS		
AS1.0	SITE PLAN (EXISTING)		
A1.0	EXISTING / DEMO FLOOR PLAN		
A1.1	PROPOSED FLOOR PLAN		
A1.2	EXISTING / DEMO ROOF PLAN		
A1.3	PROPOSED ROOF PLAN		
A2.0	EXISTING & PROPOSED EAST ELEVATIONS		
A2.1	EXISTING & PROPOSED NORTH/SOUTH ELEVATIONS		
A2.2	EXISTING & PROPOSED WEST ELEVATIONS		

PLANS REVIEWED

BY: *M. Bond*

DATE: *March 17/17*

*Ford Bond*

7916-0417-00 (A)

Re-Issued for DP - January 24, 2017





ANNOTATION SYMBOLS

**STORAGE Rm.** (2) (100)

**ROOM NAMES & GRID**

25: DETAILS BUBBLE

14: HALL TAG

15: HINDON TAG

10-100: DOOR TAG

2: EXTERIOR ELEVATION MARKER

AAA: SECTION BUBBLE

2: KEYNOTE TAG

2: HALL SECTION (A3.0) SCALE: 1" = 1'-0"

N: PROJECT NORTH

11: ELEVATIONS

EXIST. SUB. AFF: CEILING HEIGHTS

SIGNAGE SCHEDULE

**3'-6" GOLDEN ARCH SIGN ON BLADE**

PROPOSED:  
2 SIGN ON BLADE

**OPEN 24 HOURS' SIGNS**

PROPOSED:  
1 SIGNS

**MCCAFEE SIGN ON BLADE**

PROPOSED:  
2 SIGNS

**CHANNEL LETTERS ON PARAPET WALL**

PROPOSED:  
1 SIGNS

ABBREVIATION LEGEND:

CL	CENTER LINE
COL	COLUMN
EX	EXISTING
NI	NEW
DI	DEMO
TRIP	TYPICAL
NA	NOT APPLICABLE
W - CM	WITH - COMES WITH
UNO.	UNLESS NOTED OTHERWISE
SON	SCOPE OF WORK
PT	PRESSURE TREATED



PYLON SIGN (E)

**NOTE:**

- ALL SIGNS TO BE INDIVIDUAL CHANNEL LETTERS ON RACEWAY OR FASTENED DIRECTLY TO BUILDING. SEE SIGN MANUFACTURER CUT SHEETS INDICATING FINISHES, MOUNTING DETAILS, ILLUMINATION SYSTEMS, ETC.
- ALL SIGNS TO BE LOCATED IN LOCATIONS AS SHOWN ON ELEVATION DRAWINGS ONLY.
- ALL SIGNS TO MEET ALL LOCAL SIGNAGE BY-LAW.

CONSULTANT

REV	DATE	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA ARCHITECTURAL BODIES

McDonald's®

MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY BC, V5C 6C6

**McDonald's Restaurant**

14476 - 104th Avenue,  
SURREY, BC

GENERAL NOTES, CODE ANALYSIS,  
AND SPECIFICATIONS

PROJECT NUMBER: 16-020 DRAWING NUMBER: A 02

SCALE: 1/16" = 1'-0" (REGISTERED) NUMBER: 22991

DATE: AUGUST 2016 REVISION: FEB/22/ 2017



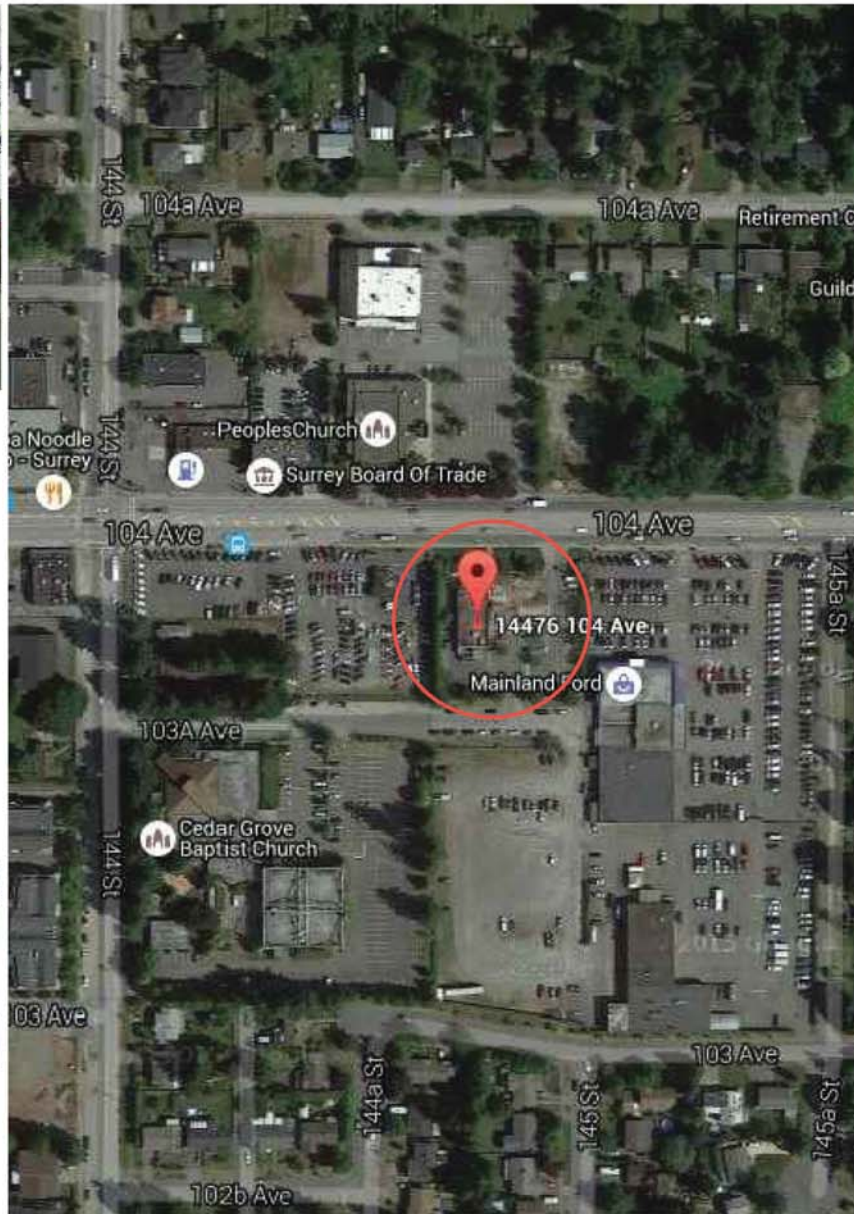
SOUTH EAST VIEW (EXISTING)  
SCALE: NOT TO SCALE



NORTH EAST VIEW (EXISTING)  
SCALE: NOT TO SCALE



NORTH WEST VIEW (EXISTING)  
SCALE: NOT TO SCALE



**KEY MAP (EXISTING)**  
SCALE: NOT TO SCALE

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA, LIMITED,  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6L6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



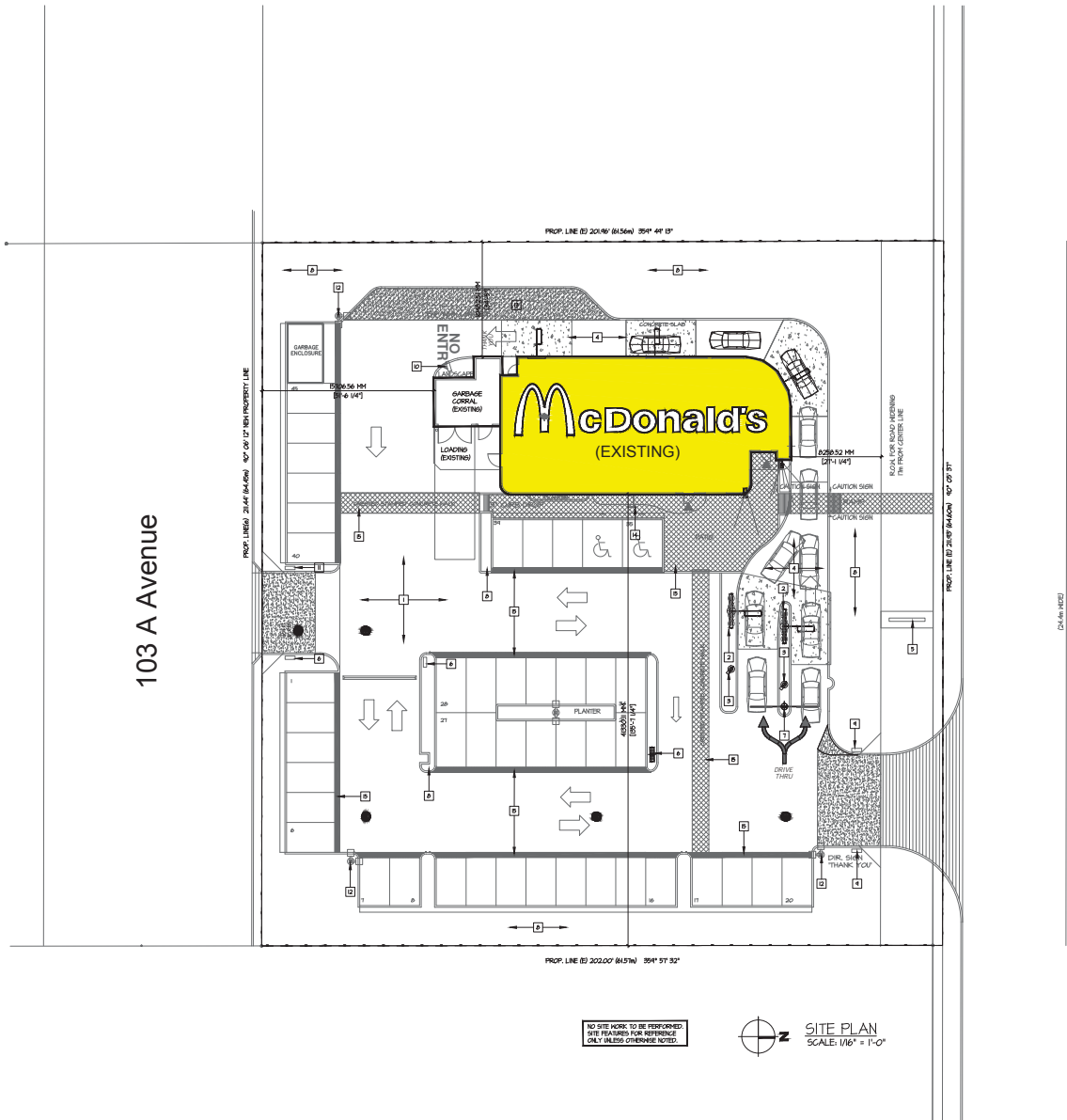
3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
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**McDonald's Restaurant**  
14476 - 104th Avenue,  
SURREY, BC

CONTEXT PHOTOS

PROJECT NUMBER	DRAWING NUMBER
16-020	A50.0
SCALE	REFS NATIONAL NUMBER
NOT TO SCALE	
DATE	REVISION
AUGUST 2016	



**PROJECT STATISTICS**

**AUTHORITY HAVING JURISDICTION:**  
CITY OF SURREY

**LEGAL ADDRESS:**  
LOT 1, SECTION 30, RANGE 1, PLAN L1P3R064, 10-0

**CIVIC ADDRESS:**  
1416 104th AVE, SURREY, B.C.

**ZONING:**  
HIGHWAY COMMERCIAL INDUSTRIAL ZONE (HI)

**LOT SUBDIVISION & NO. CHANGED:**  
NONE SUFF. (5614 M2)

**USE (EXISTING & NO CHANGE):**  
RESTAURANT

**LOT COVERAGE:**  
ALLOWABLE: 50%  
LOT AREA = 31604 SQFT. (2914 M2)  
EXISTING BUILDING AREA = 31816 SQFT. (2924 M2)  
DENSITY / 31604 = 0.158

**SETBACKS (EXISTING & NO CHANGE):**

ELEVATION	ALLOWED	PROPOSED
NORTH (FRONT)	75 m (246')	8.25 m (27'-1 1/2')
EAST (SIDE)	75 m (246')	14.38 m (47'-1 1/2')
SOUTH (REAR)	75 m (246')	15.1 m (49'-6 5/8')
WEST (SIDE)	75 m (246')	110.46 m (364'-4 3/4')

**BUILDING HEIGHTS (A COMMERCIAL LOT):**

ALLOWABLE	EXISTING	PROPOSED
30'-0"	2'-2"	22'-2"

**FLOOR AREA:**  
EXISTING (31816 SQFT. (2924 M2))  
ALLOWABLE = 10 MAX.

**LANDSCAPING:**  
EXISTING & NO CHANGE.

**STALLS:**

REQUIRED	PROPOSED
10 STALLS PER 100 SQM OF G.F.A. (262.7 (1025) + 316)	45 STALLS EXISTING & NO CHANGE

**LOADING:**

REQUIRED	PROPOSED
1 OFF STREET 4.0M WIDTH, 4.2M LENGTH, 4.5M HIGH	1 EXISTING (NO CHANGE)

**BIKE RACKS:**

REQUIRED	PROPOSED
0.2M SPACE FOR EVERY 100 SQM, 3 EXIST & NO CHANGE	3 EXIST & NO CHANGE

**SEATING:**

EXISTING	PROPOSED
55 SEATS	55 SEATS

- SITE KEY NOTES (ALL MATERIALS ARE EXISTING UNLESS OTHERWISE NOTED)**
- EXISTING ASPHALT PAVING TO REMAIN INCLUDING ALL PAINTS, EXISTING SIGNS AND PARKING LINES. SEE SITE PLAN NOTES.
  - PANEL MENU BOARD
  - PRE-SELL BOARD
  - DRIVE THRU LANE
  - PRESTANDING SIGN SEE A02
  - DRIVE THRU SIGN
  - VEHICLE HEIGHT DETECTOR
  - LANDSCAPE
  - OPEN 24 HOURS SIGN ILLUMINATED
  - DO NOT ENTER SIGN
  - THANK YOU SIGN
  - LOT LIGHT
  - GRILL ORDER LANE
  - BIKE RACK
  - STAMPED CONCRETE

- SITE PLAN NOTES:**
- ALL EXISTING ASPHALT PAVING AND CONCRETE CURBS ARE TO BE RETAINED. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE. CONTRACTOR IS TO REPAIR TO MATCH EXISTING AT NO COST TO OWNER.
  - ALL EXISTING CONCRETE SIDEWALKS ARE TO BE RETAINED. CONTRACTOR IS TO CUT AS REQUIRED. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO SIDEWALKS TO THE PRE-CONSTRUCTION CONDITIONS.
  - ALL SITE FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
  - THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY MR. AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
  - CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES OR VARIANCES TO MR. P. 204.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
  - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
  - MAKE GOOD ALL EXISTING THAT IS DISTURBED BY NEW WORK.
  - GC RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURBS/PAVING/TORCH BASE WORK.

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47		
48		
49		
50		

CONSULTANT

RE-SIGNED FOR CP  
JANUARY 2016

REVISIONS FOR LOCAL BOARD

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
BURNABY, B.C. V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA  
PROFESSIONAL SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

APPROVED:

**McDonald's Restaurant**

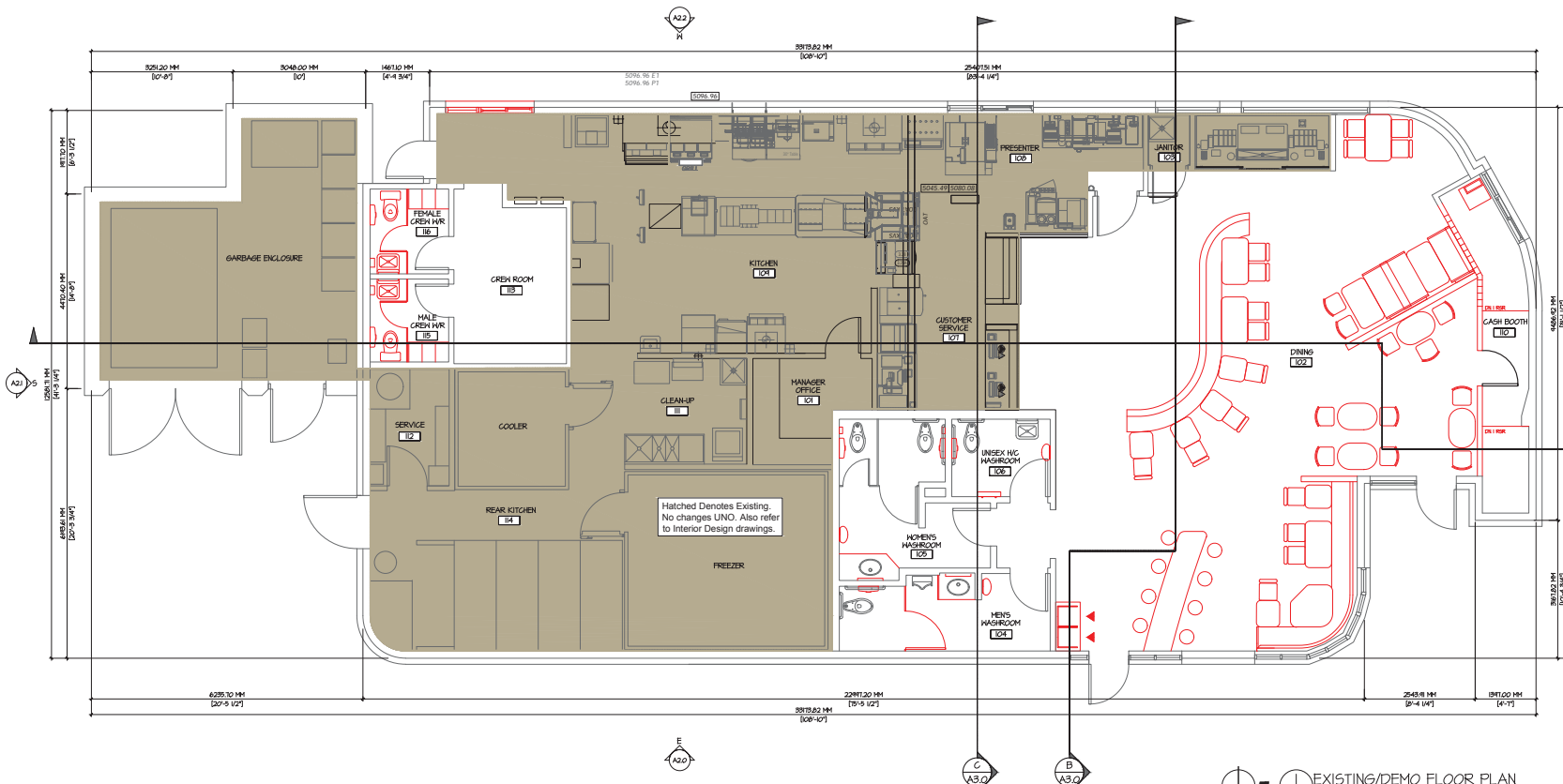
14416 - 104th Avenue,  
SURREY, BC

**SITE PLAN**

PROJECT NUMBER: 16-020  
DRAWING NUMBER: A51.0

SCALE: 1/8" = 1'-0"  
DATE: AUGUST 2016

DATE: AUGUST 2016  
REVISION:



**TYPICAL WALL LEGEND:**

— (A) EXTERIOR WALL  
 — (B) INTERIOR WALL  
 — (C) WALLS TO BE DEMOLISHED (ALSO REFER TO OTHER LIST TO BE DEMOLISHED, AS NOTED)

**EXISTING FLOOR PLAN LEGEND**

XXX ROOM NUMBER  
 (D) DOORS, HILLWORK, ETC. TO BE REMOVED

1 EXISTING/DEMO FLOOR PLAN  
 SCALE: 1/4" = 1'-0"  
 FLOOR AREA : 3,430.79 Sq.Ft. (318.72 SQ.M.)  
 GARBAGE CORRAL : 262.21 SQ.FT. (23.71 SQ.M.)  
 SEATING : 55 SEATS

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

CONSULTANT

REVISED FOR DP  
 JANUARY  
 MARKING  
 REARED FOR MCA WORK

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK SCOTT ARCHITECTS**

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 P: 604 298 3700 F: 604 298 6081  
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 PROFESSIONAL SEAL

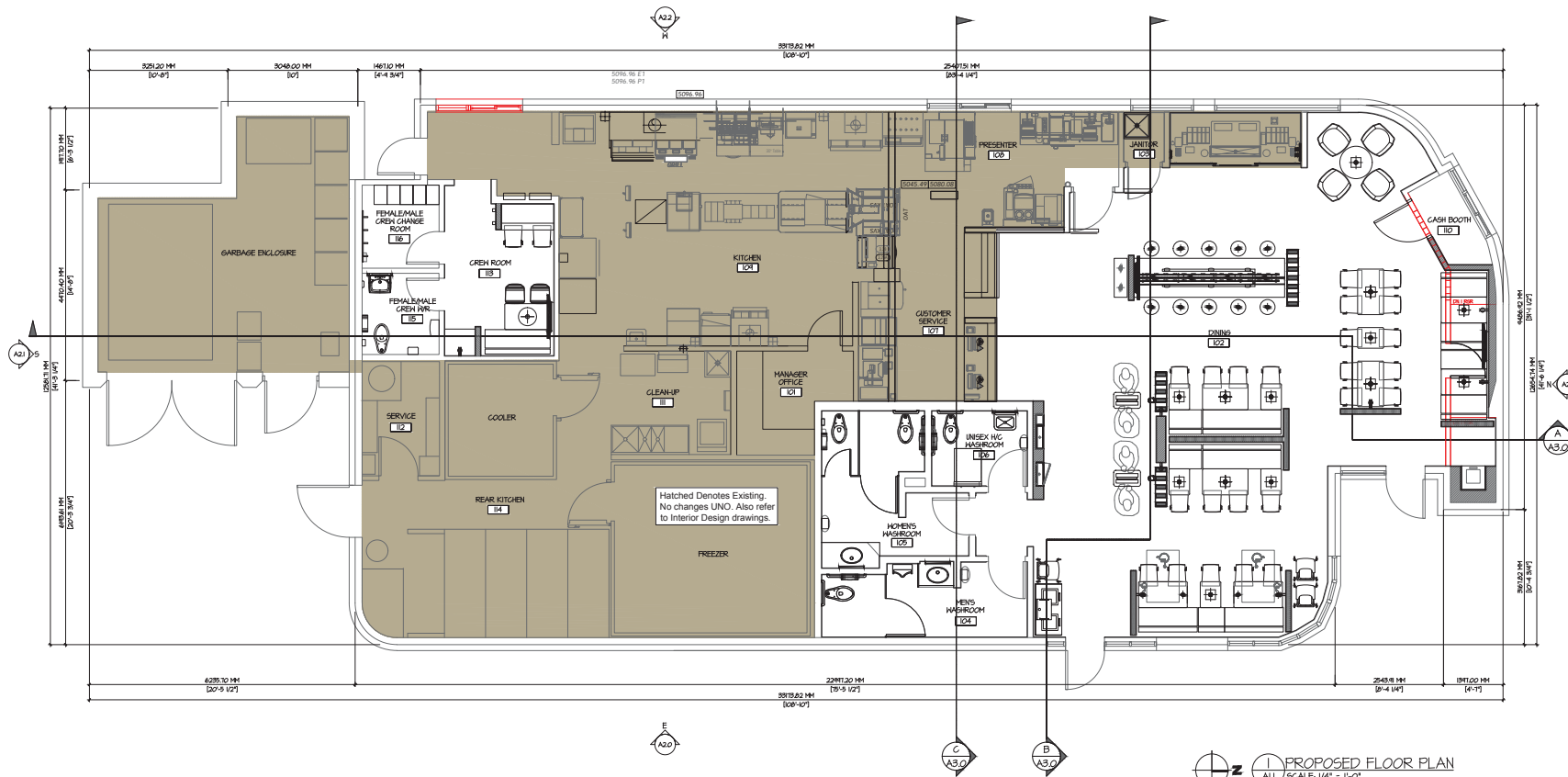
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PROJECT  
**McDonald's Restaurant**  
 14476 - 104th Avenue,  
 SURREY, BC

DRAWING  
**EXISTING/DEMO FLOOR PLAN**

PROJECT NUMBER 16-020 DRAWING NUMBER A1.0  
 SCALE 1/4" = 1'-0" BIDS NATIONAL NUMBER 2291  
 DATE AUGUST 2016 REGION

HAWTHORNE - 16-020



**TYPICAL WALL LEGEND:**

NOTE:  
 1. ALL ASSEMBLES TYPICAL UNDO FOR SHEAR WALLS OR SPECIALTY CONSTRUCTION.  
 2. REFER TO WALL SCHEDULE FOR ASSEMBLIES, FINISHES AND REQUIRED PIR.

- (B) EXTERIOR WALL
- (I) INTERIOR WALL
- (D) WALLS TO BE DEMOLISHED (ALSO REFER TO OTHER ITEM TO BE DEMOLISHED AS NOTED)
- (E) EXTERIOR WALL
- (O) INTERIOR WALL

**PROPOSED FLOOR PLAN LEGEND:**

- XXX ROOM NUMBER
- XXXX DOOR NUMBER. REFER TO DOOR SCHEDULE
- (E) WALLS, DOORS, ETC. TO BE REMOVED

**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 FLOOR AREA : 3,430.71 SQ.FT. (318.72 SQ.M.)  
 GARBAGE CORRAL : 262.21 SQ.FT. (23.71 SQ.M.)  
 SEATING : 58 SEATS

NO.	REV.	DATE	DESCRIPTION

CONSULTANT:

RE-SUB FOR DP  
 JANUARY  
 MARKING  
 REARED FOR MOD. WORK

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



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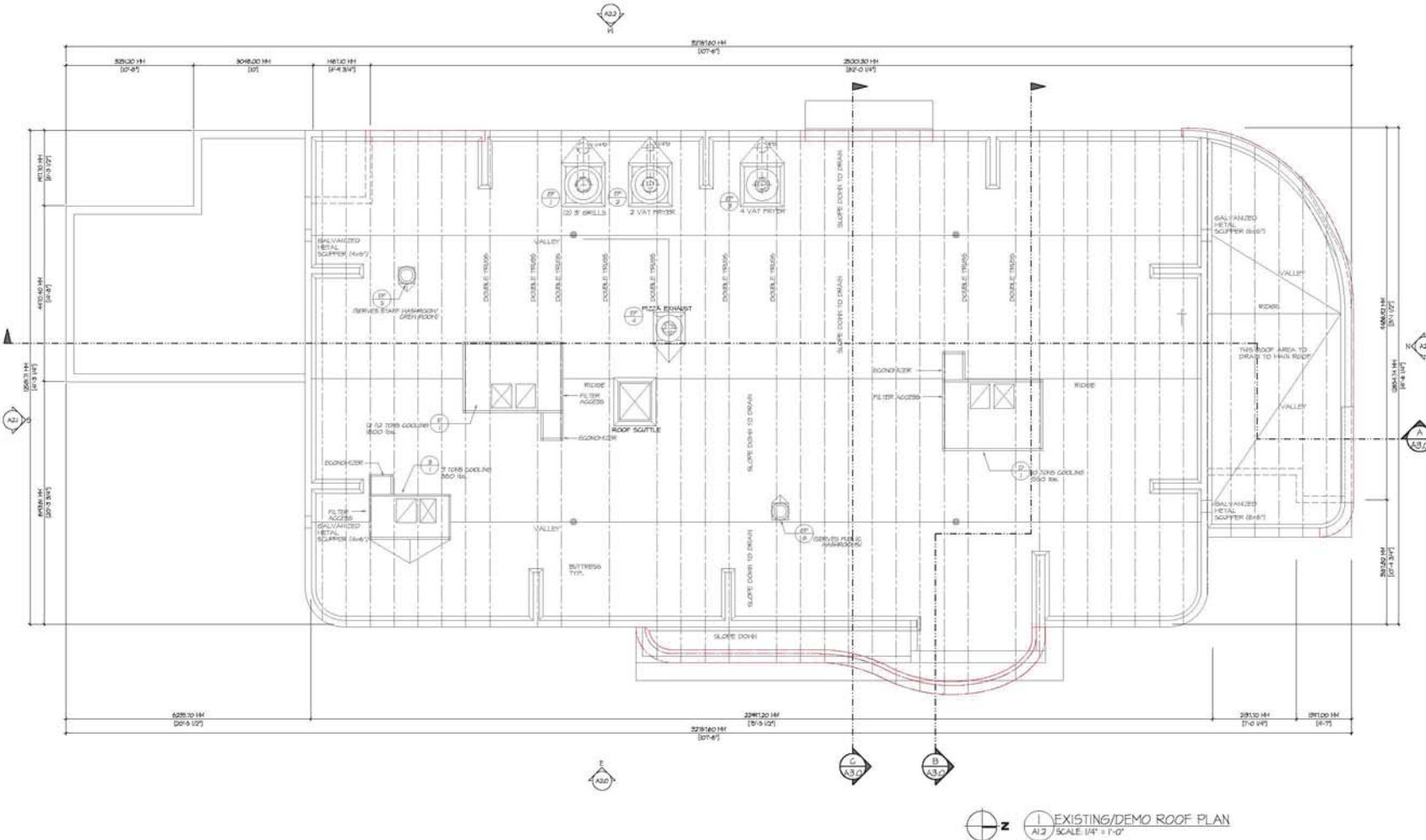
**RMR/FS**  
 PROJECT  
**McDonald's Restaurant**  
 14476 - 104th Avenue,  
 SURREY, BC

**PROPOSED FLOOR PLAN**

PROJECT NUMBER: 16-020 DRAWING NUMBER: A1.1  
 SCALE: 1/4" = 1'-0" REGION: BCPS NATIONAL NUMBER: 2291  
 DATE: AUGUST 2016

7916-0417-00 (G)

HAWTHORNE - 16-020



1 EXISTING/DEMO ROOF PLAN  
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6

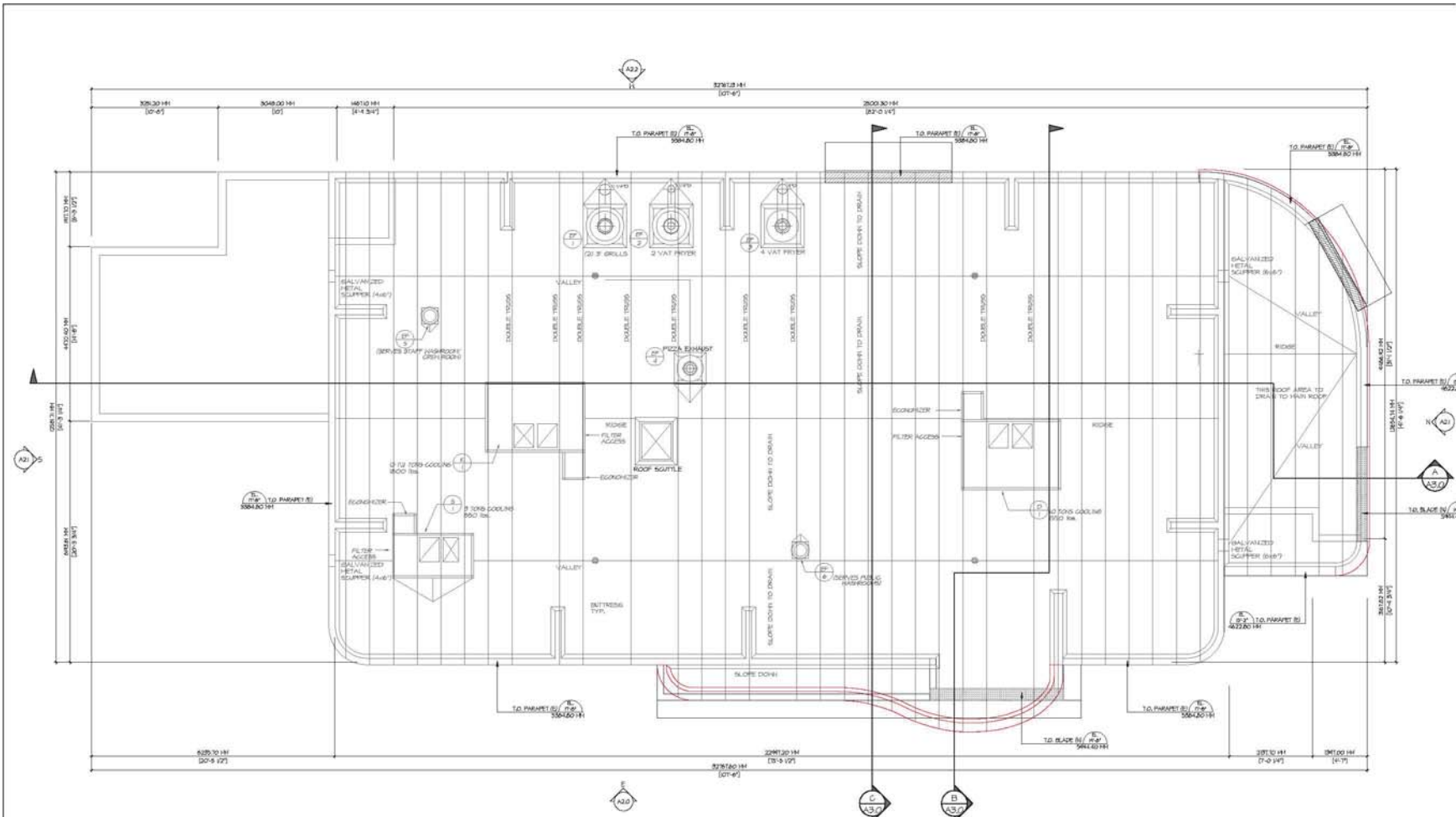
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.  
ARCHITECT  
**LOVICK SCOTT ARCHITECTS**

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R010252016.DWG

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DESIGNED BY: APPROVED: [Signature]  
PROJECT: **McDonald's Restaurant**  
14476 - 104th Avenue,  
SURREY, BC

ISSUED: **EXISTING / DEMO ROOF PLAN**  
PROJECT NUMBER: 16-020 DRAWING NUMBER: A1.2  
SCALE: SHEET TOTAL NUMBER:  
1/4" = 1'-0" SHEET: [Blank]  
DATE: AUGUST 2016 REGION: [Blank]



[Symbol]	TOP OF BLADE END
[Symbol]	TOP OF PLAYPLACE PARAPET END
[Symbol]	TOP OF BERRY BLADE PARAPET END
[Symbol]	TOP OF MAIN PARAPET END
[Symbol]	TOP OF DRIVE THRU PARAPET END
[Symbol]	REFERS TO FIBER THAT ARE TO BE REINFORCED OR DEMOLISHED

- ROOF PLAN NOTES:**
1. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
  2. MAINTAIN ALL EXISTING ROOF SLOPES AND DRAINAGE.
  3. GULF, SEAL AND HAVE GOOD ALL NEW ROOF PENETRATIONS.
  4. REFER TO STRUCTURAL DRAWINGS FOR NEW ROOF PENETRATIONS.
  5. ALL ROOF PENETRATIONS (ROOFINGS). CONTRACTOR IS TO MAINTAIN THE INTEGRITY OF ROOF MEMBRANE AND BUILDING ENVELOPE.

1 PROPOSED ROOF PLAN  
A13 SCALE 1/4" = 1'-0"

NO.	REVISION	DATE	DESCRIPTION

CONSULTANT

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 5THILL CREEK DRIVE, BURNABY, B.C., V5C 6G6

NO.	REVISION	DATE	DESCRIPTION

CONSULTANT

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ARCHITECT

**LOVICK SCOTT ARCHITECTS**

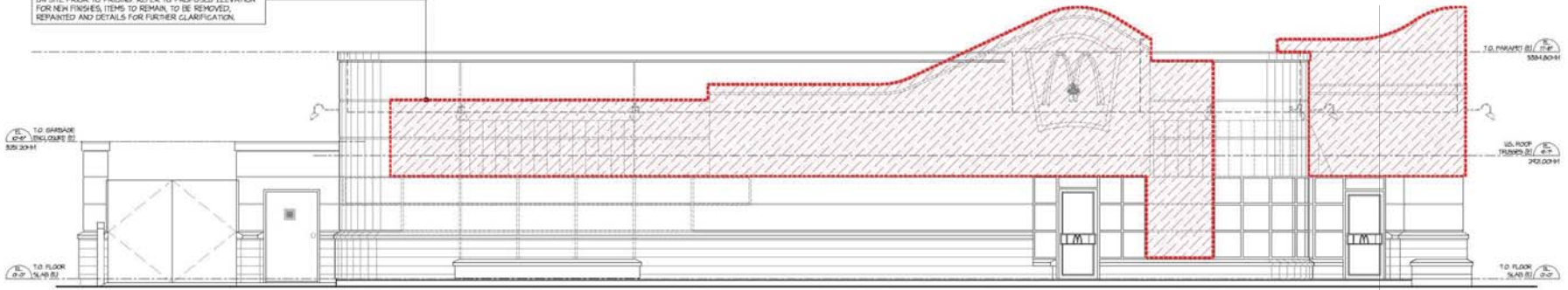
3707 1ST AVENUE  
BURNABY, B.C. V5C 3V6  
A D M I N @ L O V I C K S C O T T . C O M  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA  
REGISTERED ARCHITECT

PROJECT  
McDonald's Restaurant  
14476 - 104th Avenue,  
SURREY, BC  
08/2016

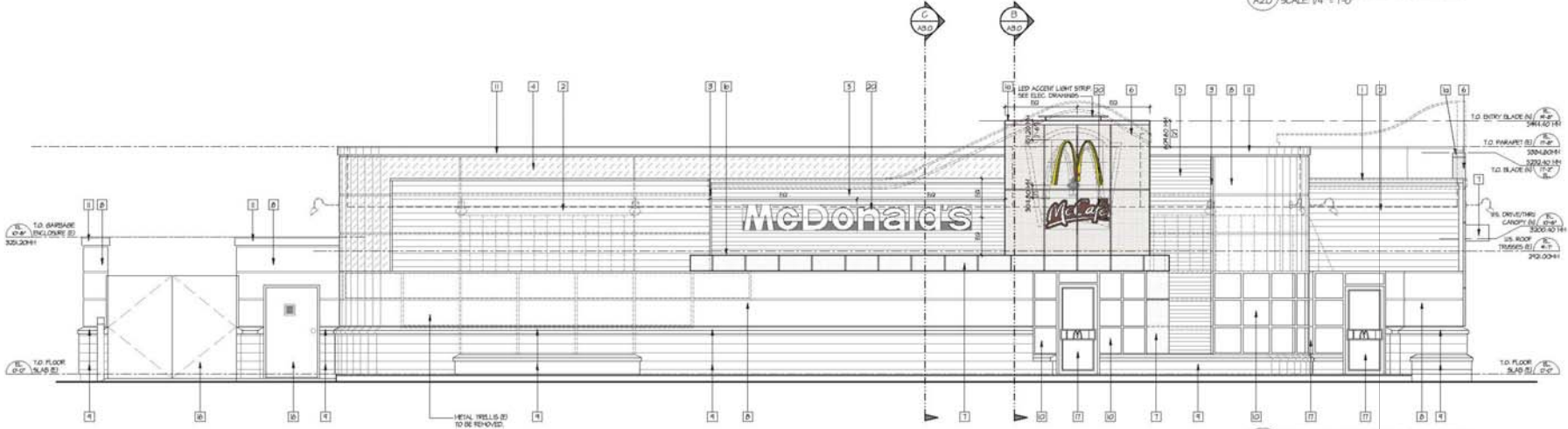
PROPOSED ROOF PLAN

PROJECT NUMBER: 16-020 DRAWING NUMBER: A13  
SCALE: 1/4" = 1'-0"  
DATE: AUGUST 2016

SHADDED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS FOR FURTHER CLARIFICATION.



1 EXISTING EAST ELEVATION  
A2.0 SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
A2.0 SCALE 1/4" = 1'-0"

**ELEVATION NOTES:**

- 1. REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL GLAZING, SPLIT GLAZING & FLASHING NOTED TO BE REMOVED AND TO BE REMOVED AND DISPOSED BY E.G. PATCH & REPAIR SURFACE AS NOTED EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED AND TO BE REMOVED AND DISPOSED BY E.G. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SEE MESSAGE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, COVERS, HALL HOOKS OR SPLIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BENDS NOTED TO BE REMOVED. CAP OFF ELECTRICAL WITH ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND MOUNTING.
- 5. EXISTING METAL ROOFING, GUTTERING, FLASHING, GUTTERS, DWS & CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY E.G. PATCH & REPAIR AS REQUIRED BY NEW WORK.
- 6. E.G. TO REPAIR ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION RESTRICTIONS.
- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL CHASES FOR ELECTRICAL ENGINEER'S REQUIREMENTS, E.G. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKLOG/SUPPORTS WITH SUB CONTRACTOR.

- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STREGCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, SWS, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BENJAMIN MOORE HD-9 PH OIL & GRADED DRAINAGE PER MANUFACTURER'S INSTRUCTIONS.
- 13. ALL EXISTING DOOR/DOORS-TO REMAIN-TO BE PAINTED SAFETY-YELLOW.
- 14. ALL EXISTING SPLITTINGS-TO REMAIN-TO BE PAINTED EXTERIOR-GRADE-WHITE.
- 15. REMOVE ALL EXISTING SHOWER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALL.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.0.

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1. * REFINISHED METAL GAP FLASHING	CHARCOAL, 90-8072 OR TO MATCH ADJACENT FINISHES & NEW HFT	11. REFINISHED METAL GAP FLASHING EXISTING OVER GREY	PAINTED DULUX PAINT HCD 44
2. HORIZONTAL METAL SINK, ADDSD	CHARCOAL GREY (SCANTZ)	12. REFINISHED METAL BRAY TND HALL FLASHING	CHARCOAL, 90-8072
3. 4X4 FIBER CEMENT TRIM - SMOOTH - 3X3 HEDH	DULUX PAINT CHARCOAL/GAUGE BRD 41 HCD 21	13. REFINISHED METAL BRAY TND HALL FLASHING (EXISTING)	PAINTED DULUX PAINT HCD 44
4. STREGCO (EXISTING) - HATCHED CENTER	PAINTED DULUX PAINT CHARCOAL GREY HCD 42	14. PERFORATED METAL PANEL, SOFFIT-AD 300	1817 HFT
5. FIBER CEMENT LAP SIDING	DULUX PAINT CHARCOAL/GAUGE BRD 41 HCD 21	15. METAL PANEL, SOFFIT-AD 300	1817 HFT
6. METAL PANEL - RED	NEW HFT	16. ALUMINUM STOREFRONT DOOR & HEDDH (FINISH-EXISTING)	CLEAR ANODIZED
7. METAL PANEL / KIBBON - HFT	1817 HFT	17. STREGCO TO MATCH EXISTING TEXTURE - HEDH (HFT)	PAINTED DULUX PAINT REBOOT GREY HCD 44
8. STREGCO - HEDH (HFT)	PAINTED DULUX PAINT HCD 44	18. METAL STREGCO REVEALS (EXISTING)	PAINTED TO MATCH ADJACENT SURFACES
9. SPLIT FACE CONCRETE BLOCK WITH CONCRETE CAP (EXISTING) - DWS GREY	SPANED - MATCH CHARCOAL GREY*	20. SIGNAGE	SEE RESPONSIBILITY CHART
10. ALUMINUM STOREFRONT DOOR/SHOON (FINISH-EXISTING)	BRNZE ANODIZED		

**PROPOSED ELEV. LEGEND:**  
 [Symbol] MATERIAL NUMBER  
 [Symbol] EXISTING GLAZING, DOORS, HEDDH, ETC. TO BE REMOVED

**McDonald's**  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

DATE	REVISION	DESCRIPTION
JANUARY 2016	1	ISSUED FOR PERMIT
AUGUST 2016	2	ISSUED FOR PERMIT
FEBRUARY 2017	3	ISSUED FOR PERMIT

**LOVICK SCOTT ARCHITECTS**  
 3707 1ST AVENUE  
 BURNABY, B.C. V5G 3V8  
 ADMIN@LOVICKSCOTT.COM  
 P: 604 298 3700 F: 604 298 8081  
 MEMBER OF THE AIBC, AIA, SAA, MAA & NWTAA

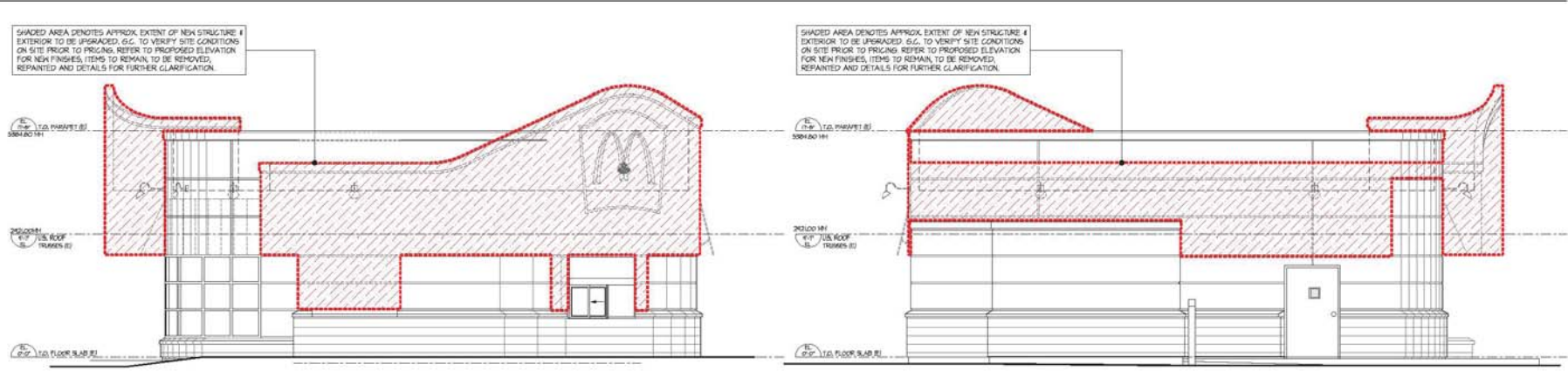
**McDonald's Restaurant**  
 14476 - 124th Avenue,  
 SURREY, BC

EXISTING & PROPOSED EAST ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-020	A2.0

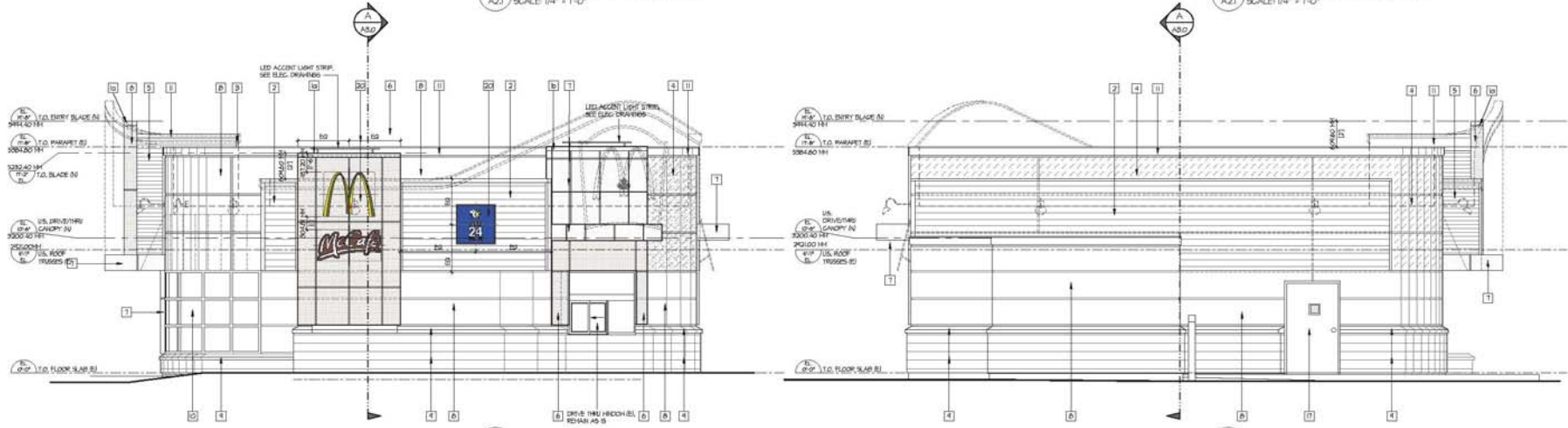
SCALE: 1/4" = 1'-0"  
 DATE: AUGUST 2016  
 DRAWN: [Name]  
 CHECKED: [Name]





1 EXISTING NORTH ELEVATION  
A21 SCALE: 1/4" = 1'-0"

3 EXISTING SOUTH ELEVATION  
A21 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
A21 SCALE: 1/4" = 1'-0"

4 PROPOSED SOUTH ELEVATION  
A21 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW

- EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED ARE TO BE REMOVED AND REPAIRED BY B.C. PATCH & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY B.C. UNLESS NOTED TO BE RELOCATED. HEAD RISERS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, COORSELLA WALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEERING REQUIREMENTS. PATCH AND REPAIR AS RESP. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND FINISHES.
- EXISTING METAL ROOFING, SUBSTRATE, FLASHING, GUTTERS, DWS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY B.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- B.C. TO INSPECT ALL EXISTING VAPOR BARRIERS, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROY OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING UNLIT/UNLUMED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWS FOR ELECTRICAL ENGINEERS REQUIREMENTS. B.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS RESP. AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
- HIGH WALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL Voids AND CRACKS TO BE EPXY GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- PRIOR TO PAINTING IF ROOF, DWS, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH REBLANCH MOORE 1000 - 1M OIL & GREASED DILUTER PER MANUFACTURER'S INSTRUCTIONS.
- ALL EXISTING DOORLEADS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
- ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED EXTERIOR-GRADE WHITE.
- REMOVE ALL EXISTING SHCKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A21.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1 * REFINISHED METAL CAP FLASHING	CHARCOAL, SC-802 OR TO MATCH ADJACENT FINISHES, 5" HIGH W/ST 5" MET WHITE	8 REFINISHED METAL CAP FLASHING EXISTING-SAME GREY	PAINTED DULUX PAINT NEG 44
2 HORIZONTAL METAL SCRIE - AD300	CHARCOAL GREY* (SCAINT)	9 REFINISHED METAL BASE THRU WALL FLASHING EXISTING	CHARCOAL, SC-802
3 4x4 FIBER CONCRETE 15H - SHOOT - 3/3" H/TH	BLACK PAINT GARDOLIT/AGGATE BROK 47 NEG 27	10 REFINISHED METAL BASE THRU WALL FLASHING EXISTING	PAINTED DULUX PAINT NEG 44
4 STUCCO EXISTING - HATCHED DENOTES DARK GREY	PAINTED DULUX PAINT CHARCOAL GREY NEG 43	11 PERFORATED METAL PANEL SOFFIT- AD 300	MET WHITE
5 FIBER CONCRETE LAP SCRID	DULUX PAINT CHARCOAL/AGGATE BROK 47 NEG 27	12 METAL PANEL SOFFIT- AD 300	MET WHITE
6 METAL PANEL - RED	NOX RED ST	13 METAL DOORS & FRAMES EXISTING H/STH GREY	PAINTED DULUX PAINT NEG 48
7 METAL PANEL / ROBBON - WHITE	MET WHITE	14 ALUMINUM STOREFRONT DOOR & FRAME FRAMES EXISTING	CLEAR ANODIZED
8 STUCCO - MEDIUM GREY	PAINTED DULUX PAINT NEG 48	15 STUCCO TO MATCH EXISTING TEXTURE - MEDIUM GREY	PAINTED DULUX PAINT NEG 48 NEG 44
9 SPLIT FACE CONCRETE BLOCK WITH CONCRETE CAP EXISTING - DARK GREY	STAINED - MEDIUM CHARCOAL GREY*	16 METAL STUCCO REVEALS EXISTING	PAINTED TO MATCH ADJACENT SURFACES
10 ALUMINUM STOREFRONT DOOR/FRAME EXISTING	BRNCE ANODIZED	17 SIGNAGE	SEE RESPONSIBILITY SHEET
11 ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE			
12 REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWS A21			
13 ALL MATERIALS FINISHES TO BE 24 IN.			
14 SEE SCAINT/AGGATE FOR COLOURS			

**PROPOSED ELEV. LEGEND:**

--- MATERIAL NUMBER

--- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURINAY, B.C. V5C 6C6

DATE	DESCRIPTION	REV.	DATE
JANUARY 2016	ISSUED FOR PERMIT	1	
FEBRUARY 2016	ISSUED FOR PERMIT	2	
MARCH 2016	ISSUED FOR PERMIT	3	
APRIL 2016	ISSUED FOR PERMIT	4	

LOVICK SCOTT ARCHITECTS

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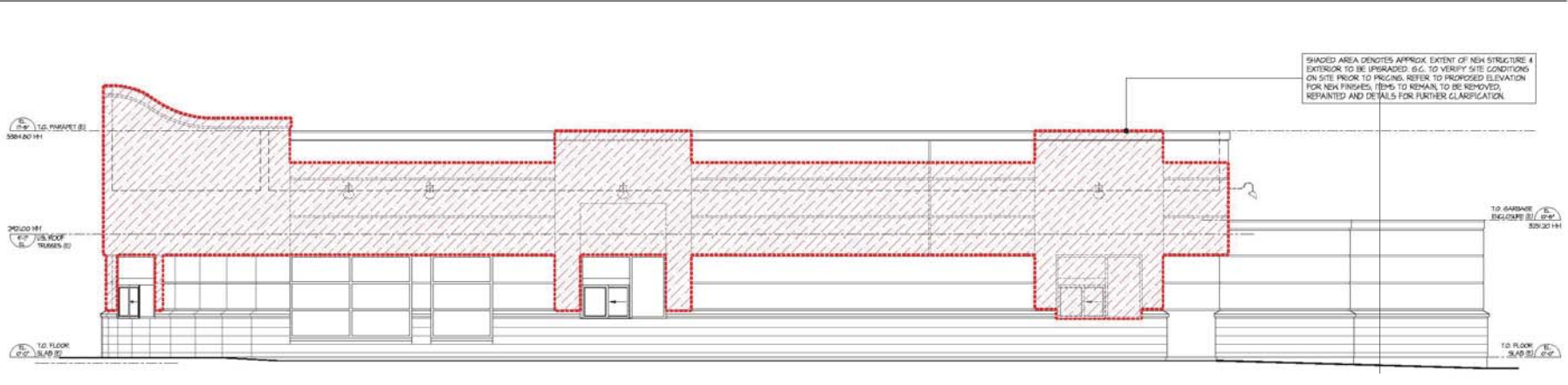
McDonald's Restaurant

14476 - 104th Avenue,  
SURREY, BC

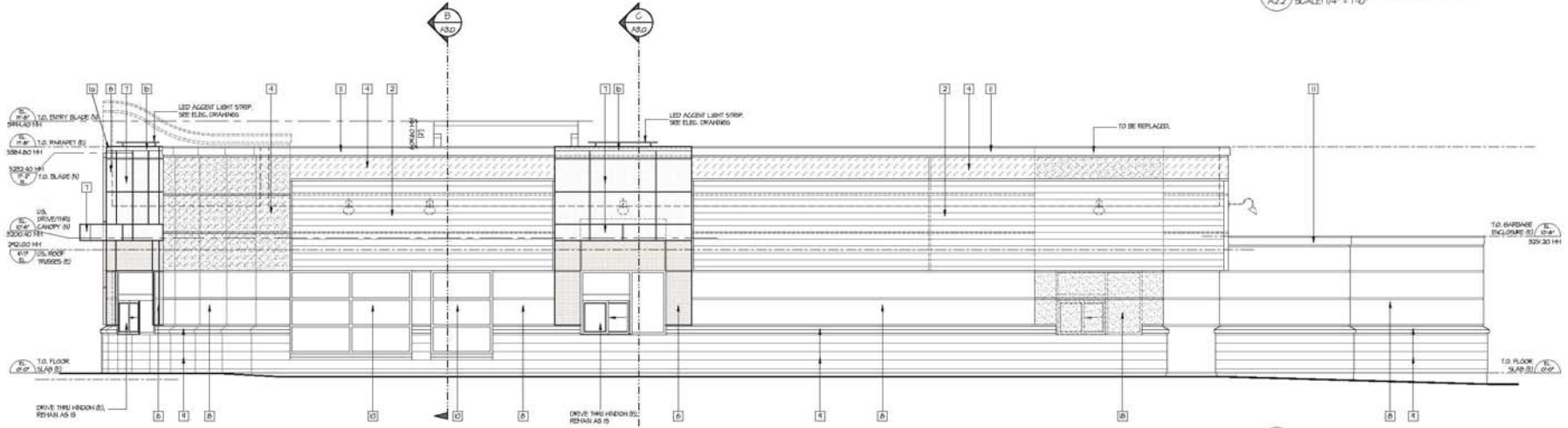
EXISTING & PROPOSED  
NORTH & SOUTH ELEVATIONS

PROJECT NUMBER: 16-030  
DRAWING NUMBER: A21

SCALE: 1/4" = 1'-0"  
DATE: AUGUST 2016  
REVISION: FEB/22/2017



1 EXISTING WEST ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- 1. REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
  - 2. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED AND TO BE REMOVED AND REPAIRED BY E.G. PATCH & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK.
  - 3. EXISTING WINDOW & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED AND TO BE REMOVED AND REPAIRED BY E.G. PATCH & REPAIR/REPLACE AS RESP. EXISTING DAMAGED BY NEW WORK. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOW SITE MEASUREMENTS PRIOR TO ORDERING NEW WINDOWS.
  - 4. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, COORRELLA WALL HEATED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
  - 5. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS RESP. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND MOUNTING.
  - 6. EXISTING METAL ROOFING, SUBSTRATE, FLASHING, GUTTERS, DRAINS AND CAP FLASHING NOTED TO BE REMOVED TO BE REPLACED BY E.G. PATCH & REPAIR AS RESP. ALL EXISTING DAMAGED BY NEW WORK.
  - 7. E.G. TO REPAIR ALL EXISTING VAPOR BARRIERS, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROOF OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
  - 8. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DINGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. E.G. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS RESP. AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EXPERT GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, SUE, & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED WITH BENJAMIN MOORE HOB - 3M OIL & GREASE REMOVER PER MANUFACTURER'S INSTRUCTIONS.
- 13. ALL EXISTING DOORLEADS TO REMAIN TO BE PAINTED SAFETY-YELLOW.
- 14. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED EXTERIOR-GRADE WHITE.
- 15. REMOVE ALL EXISTING SHOWER STANDS AND OTHER HALL HEATED FLOORING PRIOR TO PAINTING AND REINSTALL.
- 16. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.0.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1. REFINISHED METAL CAP FLASHING	CHARCOAL, SC-8022 OR TO MATCH ADJACENT FINISHES, 1/2" HIGH	8. REFINISHED METAL CAP FLASHING EXISTING-SAME GREY	PAINTED DULUX PAINT HED 44
2. HORIZONTAL METAL SCRIE, 4000	CHARCOAL GREY (SC-8022)	9. REFINISHED METAL DOOR THRU WALL FLASHING	CHARCOAL, SC-8022
3. 4x4 FIBER CONCRETE 18" x 18" x 3/4" HIGH	BLACK PAINT GEBRETS/PASSAGE BRN #4 HED 27	10. REFINISHED METAL BASE THRU WALL FLASHING EXISTING	PAINTED DULUX PAINT HED 44
4. STUCCO EXISTING - HATCHED DENOTES DARK GREY	PAINTED DULUX PAINT CHARCOAL GREY # HED 43	11. PERFORATED METAL PANEL, SOFFIT-AD-300	SWT WHITE
5. FIBER CONCRETE LAP SIDING	DULUX PAINT CHARCOAL/GREY BRN #4 HED 27	12. METAL PANEL, SOFFIT-AD-300	SWT WHITE
6. METAL PANEL - RED	NON-REPT	13. METAL DOORS & FRAMES EXISTING HEDN GREY	PAINTED DULUX PAINT HED 48
7. METAL PANEL / ROOFING - WHITE	SWT WHITE	14. ALUMINUM STOREFRONT DOOR & FRAME EXISTING	CLEAR ANODIZED
8. STUCCO - MEDIUM GREY	PAINTED DULUX PAINT HED 48	15. STUCCO TO MATCH EXISTING TEXTURE - MEDIUM GREY	PAINTED DULUX PAINT HED 44
9. SPLIT FACE CONCRETE BLOCK WITH CONCRETE CAP EXISTING - DARK GREY	STAINED - SHERWIN CHARCOAL GREY*	16. METAL STUCCO REVEALS EXISTING	PAINTED TO MATCH ADJACENT SURFACES
10. ALUMINUM STOREFRONT DOOR/FRAME EXISTING	BRNCE ANODIZED	17. SIGNAGE	SEE RESPONSIBILITY DRAWING

**PROPOSED ELEV. LEGEND:**

- MATERIAL TO REMAIN
- EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
JAN 2017	ISSUED FOR PERMIT			
MARCH 2017	ISSUED FOR PERMIT			
APR 2017	ISSUED FOR PERMIT			

CONSULTANT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
BURNABY, B.C. V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA

McDonald's Restaurant

14476 - 104th Avenue,  
SURREY, BC

EXISTING & PROPOSED WEST ELEVATIONS

PROJECT NUMBER: 16-030 DRAWING NUMBER: A2.2

SCALE: 1/4" = 1'-0"

DATE: 2017

7916-0417-00 (L)

HAWTHORNE - 16020



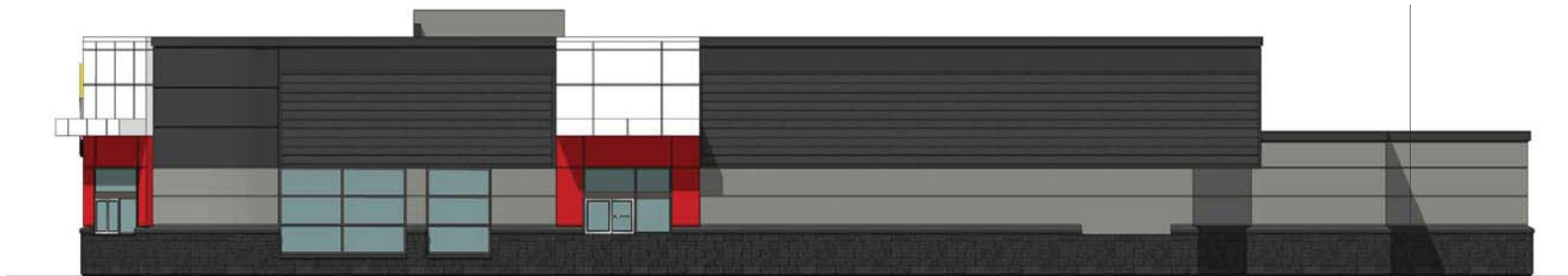
1 PROPOSED EAST ELEVATION  
A2.3 SCALE: NTS



2 PROPOSED NORTH ELEVATION  
A2.3 SCALE: NTS



3 PROPOSED SOUTH ELEVATION  
A2.3 SCALE: NTS



4 PROPOSED WEST ELEVATION  
A2.3 SCALE: NTS

NO.	DATE	DESCRIPTION	BY	CHECKED
1		ISSUED FOR I/P		
2		ISSUED FOR I/P		
3		ISSUED FOR I/P		
4		ISSUED FOR I/P		
5		ISSUED FOR I/P		
6		ISSUED FOR I/P		
7		ISSUED FOR I/P		
8		ISSUED FOR I/P		
9		ISSUED FOR I/P		
10		ISSUED FOR I/P		

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

CONSULTANT SEAL

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LOVICK SCOTT ARCHITECTS

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DRAWN BY: SN-SJF/S  
 PROJECT: McDonald's Restaurant  
 14476 - 124th Avenue,  
 SURREY, BC

COLOURED ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-020	A2.3
SCALE: NOT TO SCALE	DATE: FEBRUARY 2017
DATE: AUGUST 2016	DATE: FEBRUARY 2017



REV#	DATE	DESCRIPTION	BY	CHKD

**McDonald's**<sup>®</sup>  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6

CONSULTANT SEAL

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ARCHITECT  
 **LOVICK SCOTT ARCHITECTS**

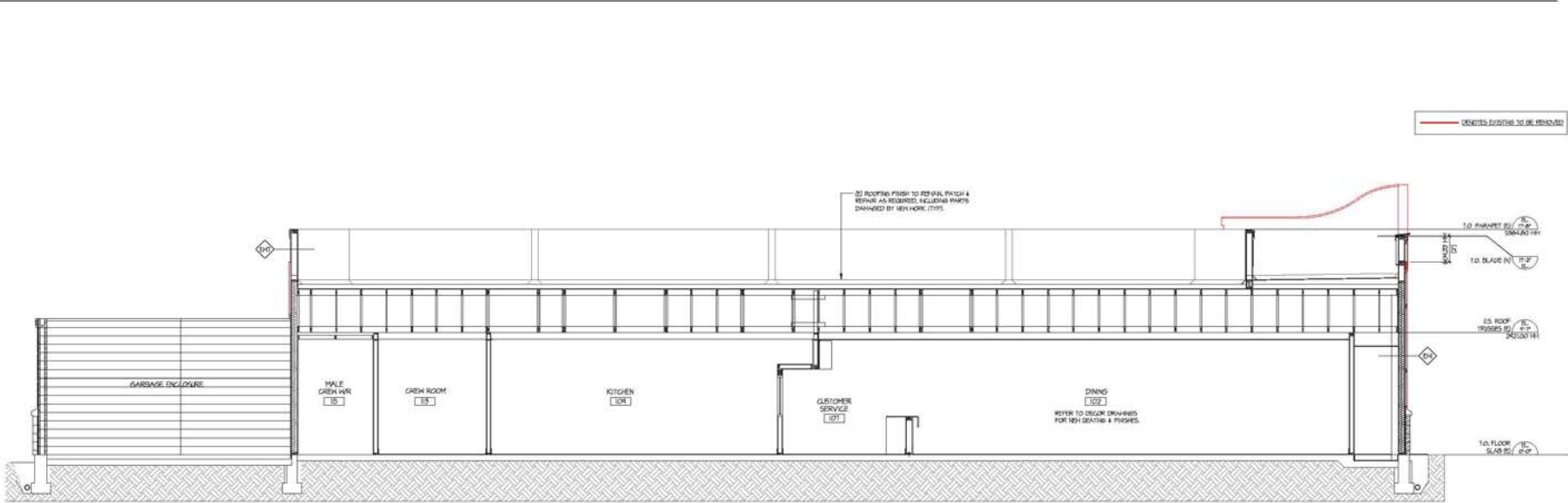
3707 1ST AVENUE  
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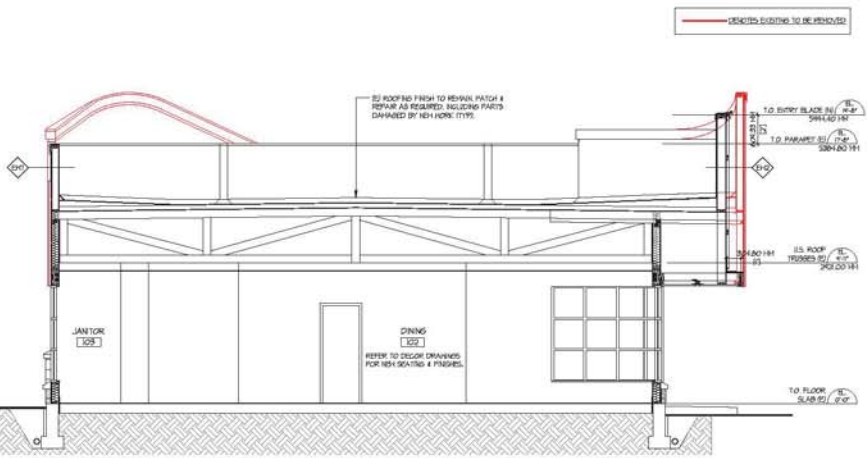
DESIGNED BY:  APPROVED BY:   
 SK/MP  
 PROJECT:  
**McDonald's Restaurant**  
 14476 - 104th Avenue,  
 SURREY, BC

DRAWING

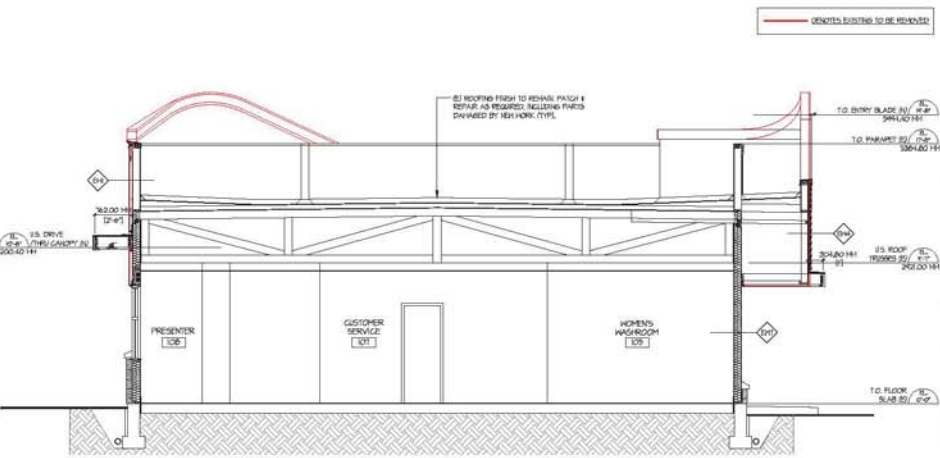
PROJECT NUMBER	DRAWING NUMBER
16-030	A2.4
SCALE	MAP'S NATIONAL NUMBER
NOT TO SCALE	22881
DATE	REVISION
AUGUST 2016	FEBRUARY 2017



1 BUILDING SECTION -A  
A3.0 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION -B  
A3.0 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION -C  
A3.0 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION	PREP	DATE	DESCRIPTION
1					
2					
3					
4					
5					
6					
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8					
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19					
20					

CONSULTANT

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



3707 1ST AVENUE  
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DESIGN BY: APPROVED:

PROJECT: **McDonald's Restaurant**  
 14476 - 14th Avenue,  
 SURREY, BC

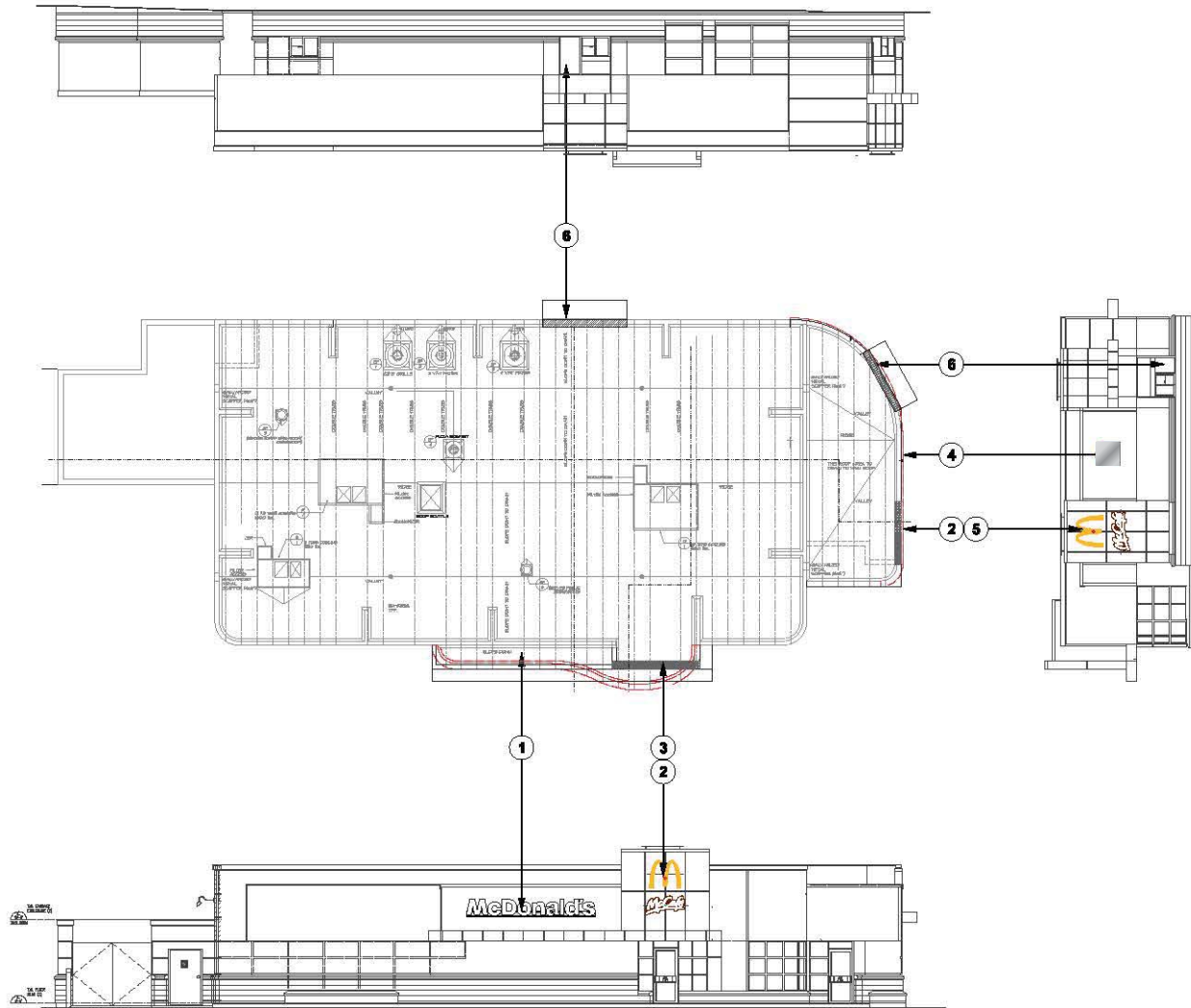
BUILDING SECTIONS A, B & C	
PROJECT NUMBER	DRAWING NUMBER
16-030	A3.0
SCALE	MEASUREMENT NUMBER
1/4" = 1'-0"	3987
SITE	REVISION
AUGUST 2016	FEBRUARY 2017

7916-0417-00 (O)

HAWTHORNE - 16020

# JL3-16751A

## PLAN VIEW



Installation:	Interior:	<input checked="" type="checkbox"/> Exterior:
<b># Description:</b>		
1	24" ILLUMINATED MCDO CHANNEL LETTERS ON RACEWAY SEE MCD1C4D7144 <b>SQUARE FOOTAGE: 32.80 FT<sup>2</sup></b>	
2	42" ILLUMINATED ARCHES LOGO SIGN MCD1S4D7036 <b>SQUARE FOOTAGE: 14.23 FT<sup>2</sup></b>	
3	60" ILLUMINATED MCCAFE SIGNATURE SIGN SEE MCD1S9C7012 <b>SQUARE FOOTAGE: 12.03 FT<sup>2</sup></b>	
4	36" ILLUMINATED S/F 24H SIGN SEE MCD1S3D7017 <b>SQUARE FOOTAGE: 9.00 FT<sup>2</sup></b>	
5	EXISTING 60" ILLUMINATED MCCAFE SIGNATURE SIGN TO BE REUSED <b>SQUARE FOOTAGE: 12.03 FT<sup>2</sup></b>	
6	NON-ILLUMINATED PULL FORWARD DT WINDOW SIGNS SEE DRAWINGS MCD1S9KX007, MCD1S9KX013	

# Revision(s)	By:	Date:
▲ A8 PER NEW ELEVATIONS	CV	03.01.2017



Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

**Client:** MC DONALD'S STORE # 22357

**Site:** 14476 - 104TH STREET, SURREY, BC

**Consultant:** GARRY SIGOUIN

**Draftsman:** CLAUDIA VOGT **Date:** 09.01.2016

**Page:** 1/3 **Scale:** N.T.S.

Date: \_\_\_\_\_  
Customer Approval:

<p>Pattison Sign Group illuminated signs comply with the following standards: Canadian Standards Association (CSA) C22.2 No. 0-10, Canadian Standards Association (CSA) C22.2 No. 0-11, and Canadian Standards Association (CSA) C22.2 No. 0-12. All signs are tested and certified to these standards by an independent testing laboratory.</p>	<p>Pattison Sign Group illuminated signs comply with the following standards: Canadian Standards Association (CSA) C22.2 No. 0-10, Canadian Standards Association (CSA) C22.2 No. 0-11, and Canadian Standards Association (CSA) C22.2 No. 0-12. All signs are tested and certified to these standards by an independent testing laboratory.</p>
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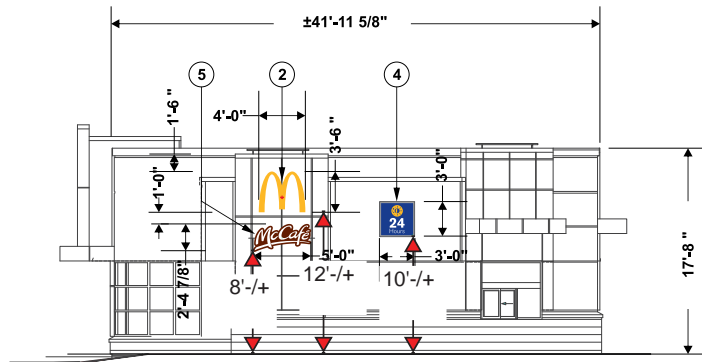
7916-0417-00 (P)

# JL3-16751A

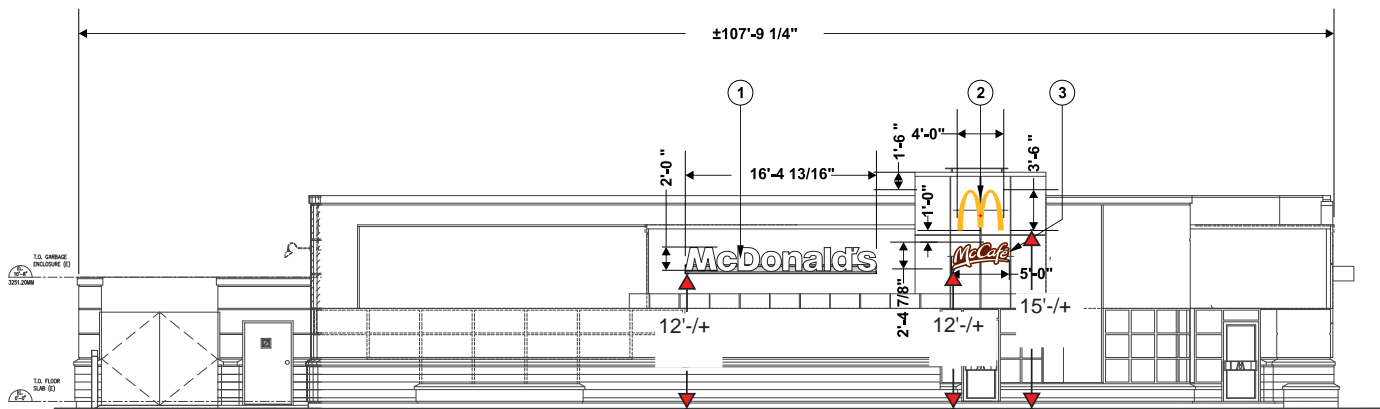
## ELEVATIONS

Installation:  Interior:  Exterior:

#	Descriptions:
1	24" ILLUMINATED MCDO CHANNEL LETTERS ON RACEWAY SEE MCD1C4D7144 <b>SQUARE FOOTAGE: 32.80 FT<sup>2</sup></b>
2	42" ILLUMINATED ARCHES LOGO SIGN MCD1S4D7036 <b>SQUARE FOOTAGE: 14.23 FT<sup>2</sup></b>
3	60" ILLUMINATED MCCAFFEE SIGNATURE SIGN SEE MCD1S9C7012 <b>SQUARE FOOTAGE: 12.03 FT<sup>2</sup></b>
4	36" ILLUMINATED S/F 24H SIGN SEE MCD1S3D7017 <b>SQUARE FOOTAGE: 9.00 FT<sup>2</sup></b>
5	EXISTING 60" ILLUMINATED MCCAFFEE SIGNATURE SIGN TO BE REUSED <b>SQUARE FOOTAGE: 12.03 FT<sup>2</sup></b>



**NORTH ELEVATION**



**EAST ELEVATION**

**Notes:**  
- ADDITIONAL WALL SUPPORT/BACKING BEHIND SIGN AREA SUPPLIED BY OTHERS

#	Revision(s)	By:	Date:
▲	AS PER NEW ELEVATIONS	CV	03.01.2017



Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

Client:	MC DONALD'S STORE # 22357
Site:	14476 - 104TH STREET, SURREY, BC
Consultant:	GARRY SIGOUIN
Draftsman:	CLAUDIA VOGT
Page:	2/3
Scale:	3/32" = 1'-0"
Date:	09.01.2016

ISO 9001:2008 Certified Enterprise

7916-0417-00 (Q)

Date: \_\_\_\_\_  
Customer Approval: \_\_\_\_\_



This sign is intended to be installed in accordance with the requirements of the applicable codes and regulations. The sign is intended to be installed in accordance with the requirements of the applicable codes and regulations. The sign is intended to be installed in accordance with the requirements of the applicable codes and regulations.

Pattison Sign Group illuminated signs contain Fluorescent, Neon and/or LED Lamps. These lamps contain Mercury (Hg). Dispose of these lamps according to Local, Provincial, State, or Federal Laws.

THIS AGREEMENT INCLUDES THE MANUFACTURE AND INSTALLATION OF A SIGN BY PATTISON SIGN GROUP FOR THE SIGN DESCRIBED HEREIN. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE SIGN AND FOR THE PROTECTION OF THE SIGN FROM DAMAGE. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SIGN FROM DAMAGE. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SIGN FROM DAMAGE.

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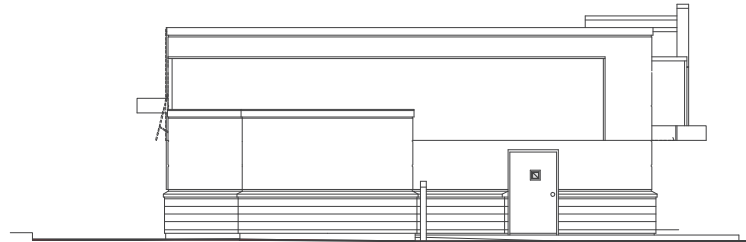
[www.pattisonsign.com](http://www.pattisonsign.com)

# JL3-16751A

## ELEVATIONS

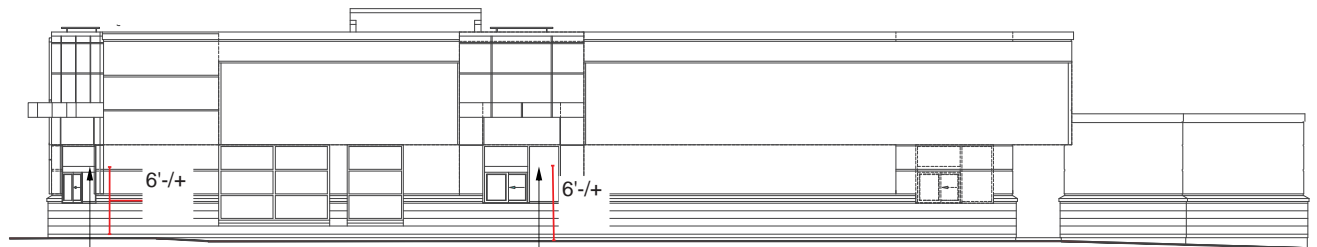
Installation:  Interior:  Exterior:

#	Descriptions:
1	NON-ILLUMINATED PULL FORWARD DT WINDOW SIGNS SEE DRAWINGS MCD1S9KX007, MCD1S9KX013



**SOUTH ELEVATION**

**Notes:**  
- ADDITIONAL WALL SUPPORT/BACKING BEHIND SIGN AREA SUPPLIED BY OTHERS



**WEST ELEVATION**



#	Revision(s)	By:	Date:
▲	AS PER NEW ELEVATIONS	CV	03.01.2017



Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

<b>Client:</b>	MC DONALD'S STORE # 22357
<b>Site:</b>	14476 - 104TH STREET, SURREY, BC
<b>Consultant:</b>	GARRY SIGOUIN
<b>Draftsman:</b>	CLAUDIA VOGT
<b>Page:</b>	3/3
<b>Date:</b>	09.01.2016
<b>Scale:</b>	3/32" = 1'-0"

Date: / /  
Customer Approval:

This sign is intended to be installed in accordance with the requirements of the Bill of the National Electrical Code and the National Electrical Safety Code and all other applicable codes and regulations. The installer must obtain all necessary permits and approvals from the appropriate local, provincial, state, or federal laws.

Pattison Sign Group illuminated signs contain Fluorescent, Neon and/or HID Lamps. These lamps contain Mercury (Hg). Dispose of these lamps according to Local, Provincial, State, or Federal Laws.

THIS AGREEMENT INCLUDES THE MANUFACTURE AND INSTALLATION OF A SIGN BY PATTISON SIGN GROUP FOR THE SIGN DESCRIBED HEREIN. THIS AGREEMENT SHALL BE VOID AND NULL AND VOIDABLE IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. IT IS AGREED TO BE MADE BY AND FOR THE CUSTOMER AND THE AGENT, AND FOR BY PATTISON SIGN GROUP. THE CUSTOMER SHALL INSURE THAT THE SIGN IS INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE SIGN'S PERFORMANCE AND MAINTENANCE. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE SIGN'S PERFORMANCE AND MAINTENANCE. PATTISON SIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE SIGN'S PERFORMANCE AND MAINTENANCE.

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