

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7916-0354-00

Planning Report Date: February 10, 2020

PROPOSAL:

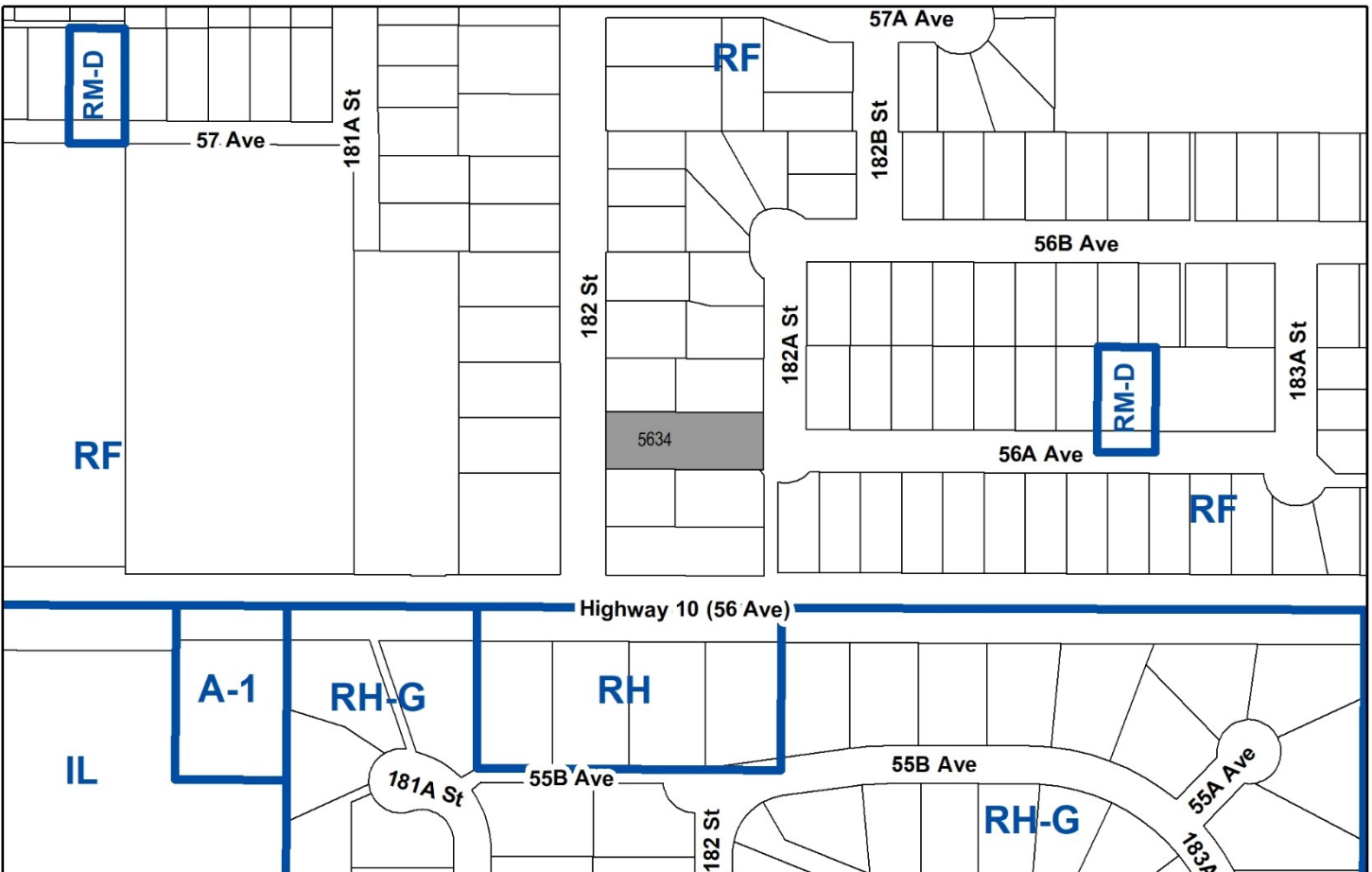
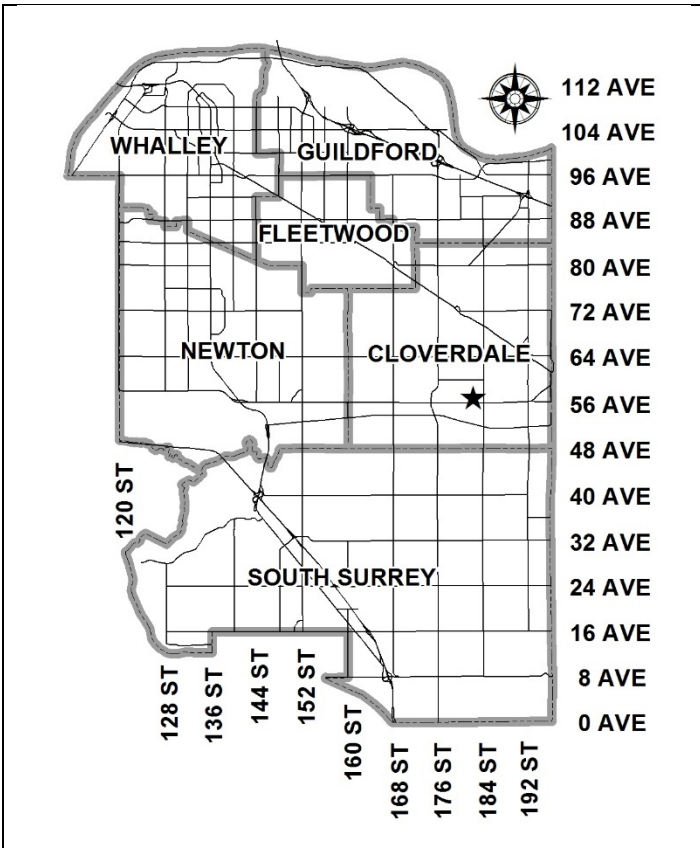
- **Rezoning** from RF to RF-13
- **Development Variance Permit**
- **Heritage Revitalization Agreement**

to allow subdivision into 3 lots (one with future subdivision potential), and the relocation and restoration of the Robert D. MacKenzie House.

LOCATION: 5634 - 182 Street

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- By-law Introduction for Heritage Revitalization Agreement to relocate and protect the Robert D. MacKenzie House.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the requirements of the RF-13 Zone to permit double side-by-side garages on Lots 1 and 3, which are less than 13.4 metres wide.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposed subdivision into 3 RF-13 lots meets the 'Sensitive Infill' policies of the OCP, which encourages development that is compatible with existing neighbourhoods. A Restrictive Covenant will be registered on the lots requiring a larger front yard to create a consistent streetscape with neighbouring RF lots. The proposal retains a heritage home in the neighbourhood.
- The intent of the proposed Heritage Revitalization Agreement (HRA) By-law is to relocate and preserve the Robert D. MacKenzie House, which is on the City of Surrey's Heritage Register.
- The HRA By-law will contribute to the City's goal of promoting the long-term preservation of the City's heritage building stock.
- All three (3) proposed lots exceed the minimum lot size requirements of the RF-13 Zone.
- The proposed Development Variance Permit to permit double side-by-side garages on proposed Lots 1 and 3 will ensure a minimum of three (3) off-street parking spaces can be provided, as per Surrey Zoning By-law No. 12000. The applicant's Design Consultant has demonstrated that double side-by-side garages can be accommodated on these lots without dominating the front façade of the future homes.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Single Family Residential (13) Zone (RF-13)" and a date be set for Public Hearing.
2. A Bylaw be introduced to allow the property owner and the City of Surrey to enter into a Heritage Revitalization Agreement to allow for the restoration and maintenance of the Robert D. MacKenzie House at 5634-182 Street, to be relocated to proposed Lot 2 (Appendix IX).
3. Council approve Development Variance Permit No. 7916-0354-00 (Appendix X) varying the following, to proceed to Public Notification:
 - (a) to vary Section H – Off Street Parking requirements of the RF-13 Zone to permit a double side-by-side garage on lots less than 13.4 metres wide for proposed Lots 1 and 3.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the Tier 1 Capital Project Community Amenity Contributions (CAC) requirement to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant for "no build" within 7.5 metres of the west property line of proposed Lot 2;
 - (h) registration of a Section 219 Restrictive Covenant for increased building front yard setbacks (7.5 metres) for proposed Lots 1 and 3;
 - (i) registration of a Section 219 Restrictive Covenant for "no build" on proposed Lot 1 and 3 until the restoration and conservation measures of the HRA have been completed, to the satisfaction of the Planning and Development Department;

- (j) registration of a Section 219 Restrictive Covenant for "no sale" of the Robert D. MacKenzie House on Proposed Lot 2 until the restoration and conservation measures of the HRA have been completed, to the satisfaction of the Planning and Development Department; and
- (k) registration of a Section 219 Restrictive Covenant on proposed Lot 2 to require the payment of an amount equal to 5% of the market value of the lands being subdivided under Development Application No. 7916-0354-00, should proposed Lot 2 be consolidated and further subdivided within five (5) years of the date in which the plan of subdivision associated with Development Application No. 7916-0354-00 is executed by the Approving Officer.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single family residential	Urban	RF
North:	Single family residential	Urban	RF
East (Across 182A Street):	Single family residential	Urban	RF
South:	Single family residential	Urban	RF
West (Across 182 Street):	Single family residential	Urban	RF

Context & Background

- The subject property totals 1,660 square metres in area and is located on the east side of 182 Street, north of Highway 10, in Cloverdale. The site is zoned "Single Family Residential (RF)" and designated "Urban" in the Official Community Plan (OCP).
- The surrounding neighbourhood consists of single-family residential lots zoned "Single Family Residential (RF)".
- The historic Robert D. MacKenzie House is located on the subject site. Robert D. MacKenzie was Reeve of Surrey from 1921 to 1923 and owned the house until his death in 1925. The house has been on Surrey's Heritage Register since 1998.
- The heritage dwelling is a one and a half storey wood-frame residence, featuring a side gabled roof with a prominent front gabled dormer and rounded front porch roof. Built in the 1920s, the Robert D. MacKenzie House is valued as a good example of the vernacular Period Revival styles that were popular at the time of its construction.
- The key heritage-defining elements of the Robert D. MacKenzie House include:
 - Form, scale and massing expressed by its one and a half storey height plus above-ground basement;

- Steeply pitched, side gabled roof with a large front gabled dormer, rear shed roof former, closed eaves;
- Concrete foundation and wood-frame construction;
- Exterior features such as the front door with geometric patterned, multi-paned glazing, open front entry porch with curved roof supported by tapered square columns, and internal basement garage with hinged double doors, each with multi-paned glazing;
- Internal red brick chimney; and
- Landscape features such as mature hedges and trees.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the property from "Single Family Residential (RF) Zone" to "Single Family Residential (13) Zone (RF-13) Zone" in order to subdivide into three (3) single family lots. Lot 2 would have future subdivision potential to create an additional RF-13 lot fronting 182 Street. The proposed density of 19 units per hectare (uph) complies with the maximum permitted density within the RF-13 Zone (28 uph).
- Following subdivision, the Robert D. MacKenzie house will be relocated approximately 20 metres to the southeast from its existing location to proposed Lot 2 and rehabilitated in accordance with a Heritage Revitalization Agreement (HRA) (Appendix IX). A 48 square metre rear addition is also proposed for the Robert D. MacKenzie House, in accordance with the HRA.
- The HRA contains a detailed Conservation Plan, which outlines the restoration measures that will be made to the elements of the home, including roof and chimney, front porch, windows, cladding and exterior paint. Staff and members of the HAC have reviewed the proposed restoration measures and rear addition and support the proposal.
- Following subdivision, relocation, and restoration of the Robert D. MacKenzie House, two new RF-13 dwellings will be constructed on proposed Lots 1 and 3. One dwelling will front 182 Street; the other dwelling will front the corner of the intersection of 182A Street and 56A Avenue.
- It is anticipated that proposed Lot 2 will subdivide in the future to create an additional lot fronting 182 Street, for a total of four (4) lots. Subdivision into four (4) lots is not proposed at this time, however, in principle, Staff support the future subdivision of proposed Lot 2. Staff do not anticipate any negative impacts from the future subdivision, nor negative impacts to the Robert D. MacKenzie House.

	Proposed
Lot Area	
Gross Site Area:	1,660.2 m ² (.16 ha)
Road Dedication:	64.7 m ²
Undevelopable Area:	
Net Site Area:	
Number of Lots:	3
Unit Density:	19 uph
Range of Lot Sizes	405 m ² - 804 m ²
Range of Lot Widths	12.75 m - 13.23 m
Range of Lot Depths	32 m - 67.22 m

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Lot Grading: No concerns.

School District: **Projected number of students from this development:**

2 Elementary students at Martha Currie Elementary School
1 Secondary students at Lord Tweedsmuir Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by April 2021.

Ministry of Transportation & Infrastructure (MOTI): Preliminary Approval is granted for the rezoning for one year pursuant to Section 52(3)(a) of the *Transportation Act*.

Heritage Advisory Commission (HAC): At the September 11, 2019 meeting of Surrey's Heritage Advisory Commission, the HAC supported the relocation and preservation of the Robert D. MacKenzie House, endorsed the Conservation Plan, and has recommended that the Heritage Revitalization Agreement be forwarded to Council for consideration.

Cloverdale Community Association: No concerns.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - The project includes adaptive reuse of the Robert D. MacKenzie House.
 - The development incorporates Low Impact Development Standards (LIDS) such as permeable pavement/surfaces and natural landscaping.

POLICY & BYLAW CONSIDERATIONS

Regional Growth Strategy

- The lands are designated 'General Urban' in the Regional Growth Strategy (RGS). The proposal complies with the RGS designation, which is intended for development in residential neighbourhoods and centres, that are supported by shopping, services, institutions, recreational facilities, and parks.

Official Community Plan

Land Use Designation

- The subject lot is designated 'Urban' in the OCP. The Urban designation is intended to support low and medium density residential neighbourhoods. The proposal complies with the Urban OCP designation, with a maximum density of up to 36 units per hectare.

Themes/Policies

- The proposal complies with Policy F8.1 of the OCP, which employs tools under the authority granted through the *Local Government Act*, *Community Charter* and *Heritage Conservation Act* to identify, retain, preserve, re-use, protect, integrate, maintain and revitalize built, natural and cultural sites, feature sand landscapes that have important historical, architectural or cultural significance.
- Policy F8.2 of the OCP requires issues and matters of heritage designation and preservation of buildings, sites, and features to the Heritage Advisory Commission (HAC) for input and advice.

The proposal complies with the OCP; the HAC supported the project on September 11, 2019.

- The proposal complies with Policy A3.1 of the OCP, which stipulates to permit gradual and sensitive residential infill within existing neighbourhoods, particularly in areas adjacent to Town Centres.

The infill development is appropriate given that the eastern boundary of the Cloverdale Town Centre Plan is adjacent to the subject property, across 182 Street. The proposal is gradual and sensitive densification by adding two (2) dwellings on a large, urban lot and retains a heritage building on the site.

- The proposal complies with Policy A3.5 of the OCP, which states that infill development is to be appropriate in scale and density to its neighbourhood context, and [which] uses compatible design to reinforce neighbourhood character.
 - *The proposal complies with the maximum density of the RF-13 Zone. An appropriate scale and compatibility with the existing neighbourhood will be maintained, as the RF-13 Zone will restrict the maximum building floor area of the new dwellings to 265 square metres, inclusive of the garage.*
 - *The neighbourhood character will be maintained through restoration of the Robert D. MacKenzie House.*
 - *The subdivision will utilize similar front, rear, and side yard setbacks of other homes in the area, as demonstrated by a Footprint Analysis prepared by the applicant's Design Consultants, to ensure a consistent streetscape (Appendix II). Restive Covenants will be registered for all the proposed lots in this regard.*
 - *The Building Scheme (Appendix V) will use the recommendations of the Character Study to ensure the massing, design, and detailing standards for the new dwellings will exceed the development standards evident on context homes in the neighbourhood, whilst maintaining a similar architectural context.*

Heritage Revitalization Agreement (HRA)

- A Heritage Revitalization Agreement (HRA) is a voluntary agreement between landowners and the City. This agreement is regulated through a By-law under Section 610 of the Local Government Act. The attached HRA (Appendix IX) specifies the owner's obligations to protect, conserve, and maintain the building and includes provisions for replication in the event that the building is destroyed.
- The HRA includes a Conservation Plan that outlines:
 - The heritage significance of the building;
 - The character-defining elements of the building;
 - The maintenance and restoration requirements consistent with the heritage character;
 - The HRA and Conservation Plan allow for normal maintenance, however, any significant alterations in the future will be subject to a Council-authorized Heritage Alteration Permit.

Zoning Bylaw

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Single Family Residential (13) Zone (RF-13)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning Bylaw, including the "Single Family Residential (13) Zone (RF-13)" parking requirements.

RF-13 Zone (Part 16B)	Permitted and/or Required	Proposed
Unit Density:	28 uph	19 uph
Yards and Setbacks		
Front Yard:	6.0 m	7.5 m
Side Yard:	1.2 m	1.2 m
Rear:	7.5 m	7.5 m
Lot Size (RF-13 - Type I)		
Lot Size:	336 m ²	405 m ² – 804 m ²
Lot Width:	12 m	12.75 m – 13.23 m
Lot Depth:	28 m	32 m – 67.22 m
Parking (Part 5)	Required	Proposed
Number of Spaces	3	Minimum of 3

- As per the RF-13 Zone, three (3) on-site parking spaces are required per lot. The Robert D. MacKenzie house does not have a garage that can accommodate interior parking spaces, and the Conservation Plan did not recommend construction of an attached garage, in order to maintain the heritage-defining elements of the home. In order to meet the parking requirements of the RF-13 Zone, the applicant has proposed two (2) concrete paver parking pads in the front yard of proposed Lot 2. The proposed parking pads will accommodate a total of three (3) off-street parking spaces, thereby meeting the requirements of the Zoning By-law. Meeting the parking requirements of the Zoning By-law is imperative for this development, as Staff understand the basement of the Robert D. MacKenzie home will be used as a secondary suite. Heritage Staff have confirmed that there is no concern with two (2) concrete paver parking pads in the front yard to meet the parking requirements of the Zoning By-law.

Double Garage Variance

- The applicant is requesting the following variance:
 - To vary Section H – Off Street Parking requirements of the RF-13 Zone to permit a double side-by-side garage on proposed Lots 1 and 3
- A minimum of 3 on-site parking spaces are required per lot, as per the RF-13 Zone. The inclusion of a front access double garage would allow for two (2) parking spaces in the garage and up to two (2) parking spaces on the driveway for proposed Lots 1 and 3, exceeding the off-street parking requirements of the Zoning By-law.
- The applicant hired Tynan Consulting Ltd. to undertake a Building Footprint Analysis, which demonstrates that proposed Lots 1 and 3 are buildable with increased front yard setbacks and side-by-side double garages. The Building Footprint Analysis demonstrates that double side-by-side garages can be accommodated on proposed Lots 1 and 3 without dominating the front façade of the future homes, and whilst providing large entryways to the future dwellings.

- The Building Scheme, prepared by the applicant's Design Consultant, restricts the front yard setback for proposed Lots 1 and 3 to be 7.5 metres. The larger front yards, in accordance with the requirements of the RF Zone, will create a consistent streetscape with neighbouring RF lots. A Restrictive Covenant for increased front yard setbacks on proposed Lots 1 and 3 will be registered on title, as well as a Building Scheme Restrictive Covenant which includes this requirement.
- In accordance with the recommendations of the Conservation Plan, a new, attached double garage is not permitted to be constructed for the Robert D. MacKenzie House, in order to preserve the heritage character of the home. In order to meet the on-site parking requirements of the Zoning By-law, two (2) parking pads will be located in the front yard of proposed Lot 2, to accommodate three (3) vehicles on-site. As such, a variance to permit a side-by-side double garage on a lot less than 13.4 metres wide is not required for proposed Lot 2.
- The subdivision proposal allows for retention of a heritage home, and there are many existing double side-by-side garages in the neighbourhood.
- Staff support the requested variance to proceed for consideration.

Lot Grading and Building Scheme

- The applicant retained Filip Christiaanse of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a Character Study of the surrounding homes and based on the findings of the study, proposed a set of Building Design Guidelines (Appendix V). The Building Design Guidelines recommend increased front yard building setbacks for proposed Lots 1 and 3, in accordance with the surrounding RF Zone, in order to maintain a consistent streetscape.
- The Character Study notes that massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post 2017) RF-13 subdivisions now exceed standards evident on the context homes in the neighbourhood. Therefore, the study recommends that the subdivision adopt standards commonly found in post-2017 RF-13 zoned subdivisions, rather than specifically emulate the existing neighbourhood.
- Tynan Consulting Ltd. provided a Footprint Analysis (Appendix II), which demonstrates that new dwellings can be accommodated on proposed Lots 1 and 3, while providing an increased 7.5 metre front yard building setback, in accordance with the provisions of the RF-13 Zone. Driveways and space to park four (4) cars can also be provided on the proposed new lots.
- A preliminary lot grading plan, submitted by Coastland Engineering, and dated September 24, 2019, has been reviewed by staff and found to be generally acceptable. The applicant proposes in-ground basements. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Parkland Dedication

- Policy C3.37 of the OCP directs the City to "use all available tools to acquire or gain access to land for park and recreational use, including...Development Cost Charges (DCC), subdivision Cash-in Lieu (CIL) payments, density bonusing and amenity contributions". In accordance with the City of Surrey Subdivision By-law (No.8830), where parkland dedication is not required (as determined by the Approving Officer), the subdivider shall pay cash-in-lieu of parkland dedication in an amount equivalent to 5% of the average market value of all the land proposed for subdivision.
- As per Section 510, Subsection 1 of the Local Government Act, the owner of the land being subdivided must pay to the municipality an amount that equals the market value of the land that may be required for park land purposes. However, as per Section 510 Subsection (3)(a) of the Local Government Act, Section 510 (1) does not apply to a subdivision by which fewer than three (3) additional lots would be created. Therefore, the current proposal to create two (2) additional lots is not subject to a parkland cash-in-lieu payment.
- In accordance with Section 510 (4) of the Local Government Act, a payment equaling market value of the land for park land purposes does apply to a subdivision by which fewer than 3 additional lots would be created if the parcel proposed to be subdivided was itself created by subdivision within the past 5 years. Therefore, if a future subdivision of proposed Lot 2 takes place within 5 years of the Subdivision Plan associated with Development Application 7916-0354-00 being executed by the Approving Officer, the 5% parkland CIL will be required for the parent parcel, formerly known as Lot 2 Section 8 Township 8 New Westminster District Plan 3893. A Section 219 Restrictive Covenant will be registered on Title for proposed Lot 2 in this regard.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on February 5, 2018 and on January 14, 2020. The Development Proposal Signs were installed on January 26, 2018. To date, Staff have received no responses from neighbouring residents.
- The subject development application was reviewed by the Cloverdale Community Association. The Cloverdale Community Association has no concerns with the proposed development (Appendix VI).

TREES

- Michael Harray, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Hawthorn	1	1	0
Maple (Bigleaf)	8	2	6
Laurel (English)	1	1	0
Coniferous Trees			
Douglas Fir	3	3	0
Lawson Cypress	1	1	0
Emerald Cedar (hedge)	1	1	0
Total (excluding Alder and Cottonwood Trees)	15	9	6
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		10	
Total Retained and Replacement Trees		16	
Contribution to the Green City Program		\$3,200	

- The Arborist Assessment states that there is a total of 15 mature trees on the site, and no Alder and Cottonwood trees on site. It was determined that 6 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 18 replacement trees on the site. Since only 10 replacement trees can be accommodated on the site (based on an average of 3 trees per lot), the deficit of 8 replacement trees will require a cash-in-lieu payment of \$3,200, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection Bylaw.
- Staff understand that Tree No. 1801 is considered to be in poor condition and may be hazardous (potentially TRAQ-rated hazardous). Further investigation is required to determine whether this tree should be removed, or whether it is eligible for retention, using a TRAQ rating and assessment system.
- In summary, a total of 16 trees are proposed to be retained or replaced on the site with a contribution of \$3,200 to the Green City Fund.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

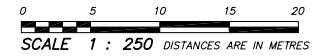
- Appendix I. Proposed Subdivision Plan, Site Plan, Building Elevations, Floor Plans
- Appendix II. Footprint Analysis
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Comments from Cloverdale Community Association
- Appendix VII. Summary of Tree Survey and Tree Preservation
- Appendix VIII. Heritage Advisory Commission Minutes
- Appendix IX. Heritage Revitalization Agreement
- Appendix X. Development Variance Permit No. 7916-0354-00

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

SC/cm

**BC LAND SURVEYORS PROPOSED SUBDIVISION PLAN OF LOT 2
SECTION 8 TOWNSHIP 8
NWD PLAN 3893
PID : 011-038-519**

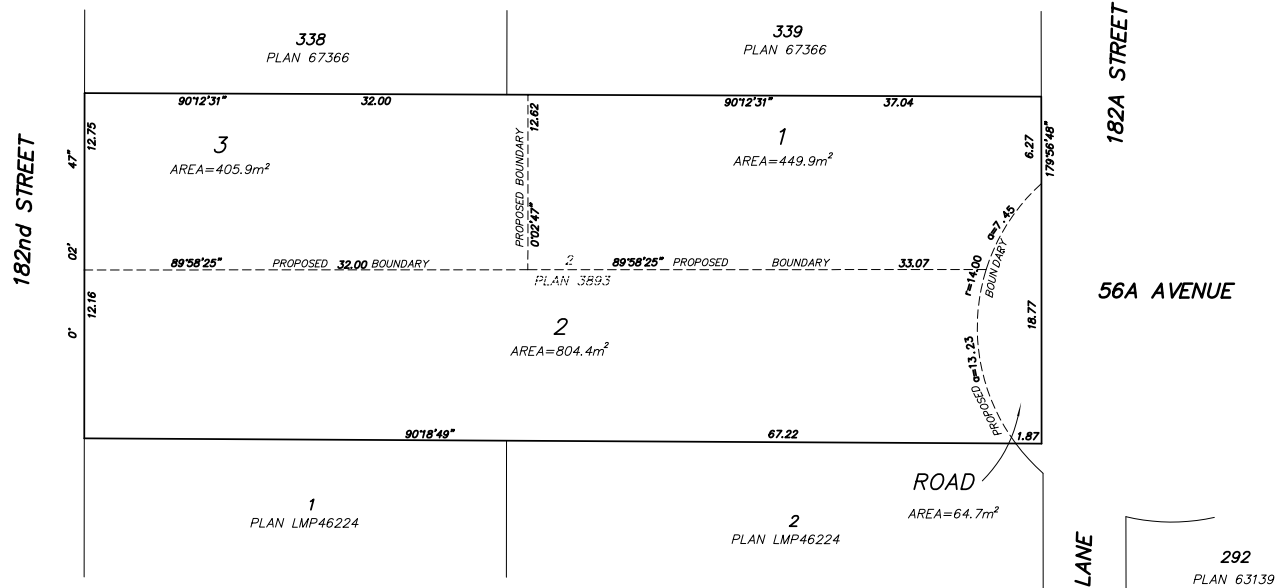


CIVIC ADDRESS :

5634 - 182nd STREET
SURREY, B.C.

NOTE:

Preliminary Layout, subject to approval.
Areas and Dimensions are subject to detailed
Legal Survey and calculations, and may vary.



Lot dimensions and clearances according to
Field Survey.

This plan does not show non-plan
charges, liens or interests.

This plan was prepared for inspection purposes and is
for the exclusive use of our client. The signatory
accepts no responsibility or liability for any damages
that may be suffered by a third party as a result of
any decisions made or actions taken based on this
document. This document shows the relative location
of the surveyed structures and features with respect to
the boundaries of the parcel described above. This
document shall not be used to define property lines or
property corners. All rights reserved. No person may
copy, reproduce, transmit or alter this document in
whole or in part without the consent of the signatory.

CERTIFIED CORRECT THIS 10th DAY OF DECEMBER, 2019.

B.C.L.S.

LAKHJOT S. GREWAL

© GREWAL & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
UNIT 204, 15289-68th AVENUE
SURREY, B.C. V3S 2C1
TEL: 604-597-8567
EMAIL: Office@GrewalSurveys.com
FILE : 1809-032
DWG : 1809-032 SKETCH2

182 Street

TOTAL P.L. 24.914

P.L. 12.16
EXISTING DRIVE WAY

P.L. 12.75
CUTOUT
NEW DRIVEWAY

Lot 3

32.00

32.00

TOTAL P.L. 69.041

P.L. 12.62

41' 5" (12.62 m)

37.04

41' 2" (12.54 m)

Lot 1

PROPOSED ADDITION

EXISTING HOUSE

33.07

PROPOSED DECK

PROPOSED ADDITION

EXISTING HOUSE TO BE MOVED ON LOT 2 WITH ADDITION AT REAR AS SHOWN ON FLOOR PLANS

Lot 2

EXISTING HOUSE TO BE MOVED ON LOT 2 WITH ADDITION AT REAR AS SHOWN ON FLOOR PLANS

GOING PARKING PAD
5.80 m x 8.10 m
CONC. PAVERS
2 CAR PARKING PAD

GOING PARKING PAD
2.80 m x 8.10 m
CONC. PAVERS
1 CAR PARKING PAD

13.23

41' 2" (12.54 m)

40' 11" (12.47 m)

7.45

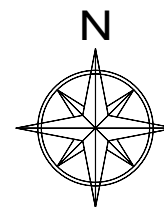
6.27

TOTAL P.L. 25.041

182 A Street

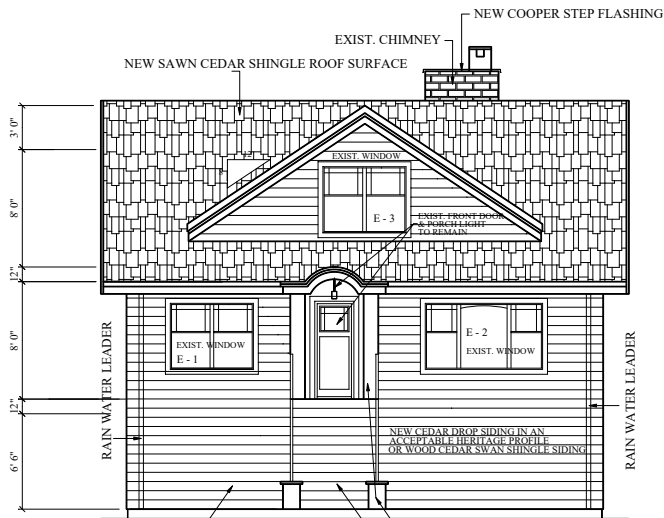
67.22

PROPOSED 3 LOT SUBDIVISION
EXISTING HERITAGE HOUSE TO BE MOVED ON LOT 2



Jan 08 2020

Astonish Design & Detailing Ltd.			
19732 - 71B Ave. Langley B.C.			
PH: 1 604 539 1740 FAX: 1 604 539 1741			
CELL: 1 604 728 0389 EMAIL: mvtgtd@hotmail.com			
TITLE: PROPOSED LOT SUBDIVISION			
ADDRESS: 5634 - 182 Street Surrey B.C.			
DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:
KAMAL	NAVTEJ		1:1" = 1'-0" UN. Dec 07 2017
			A-008

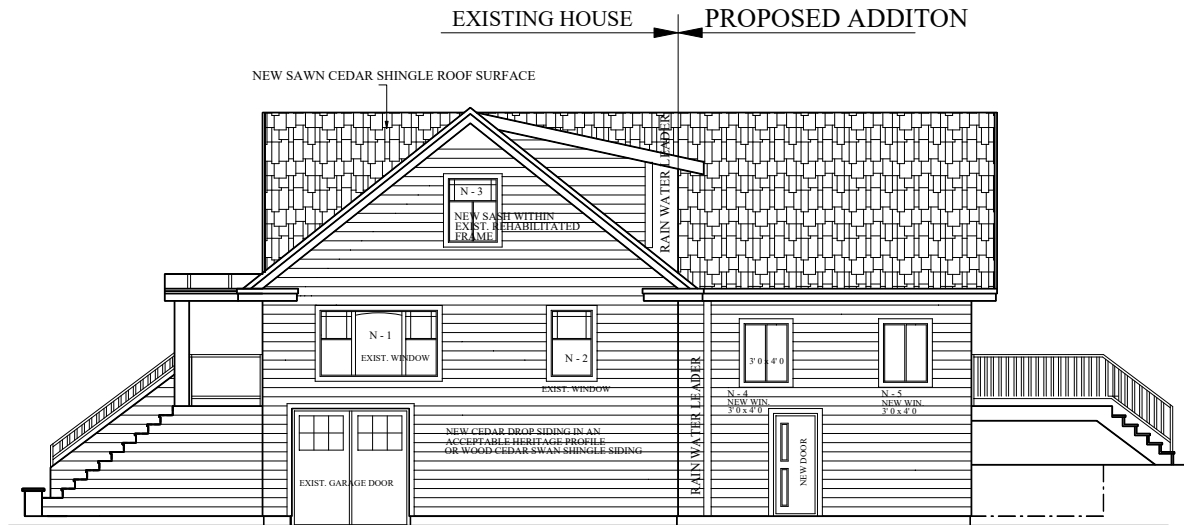


FRONT ELEVATION EAST

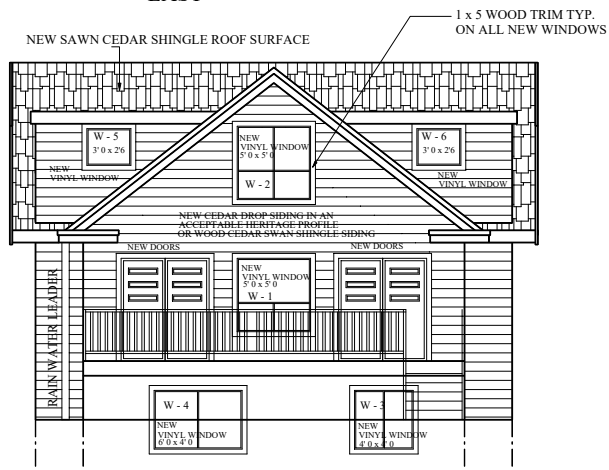
NEW CEDAR SIDING DROP CLADDING

EXIST. FRONT PORCH PIERS WILL BE RETAINED AND RESTORED

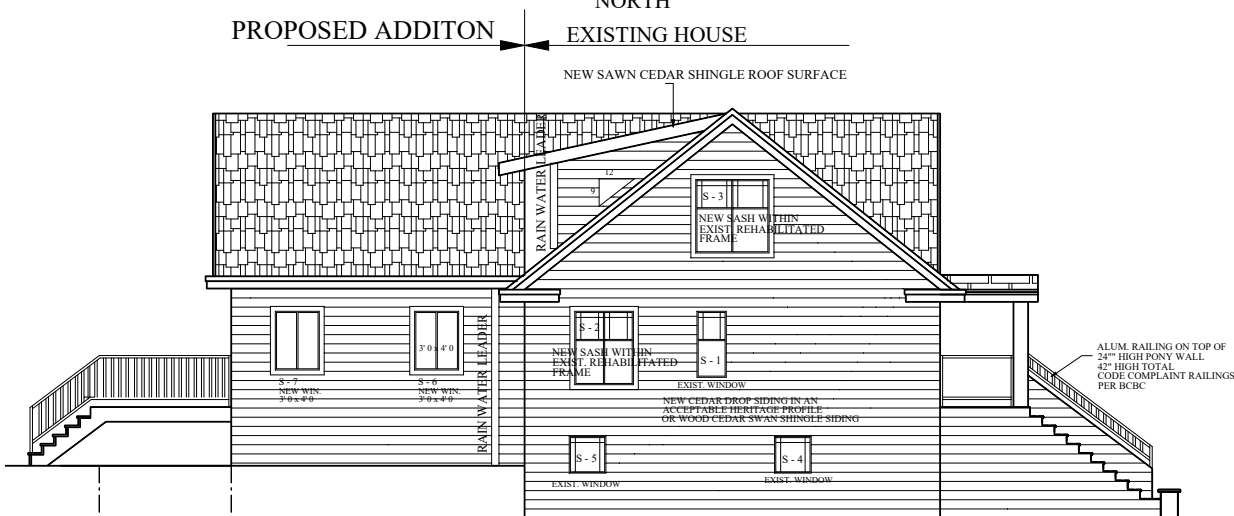
EXIST. STAIRS NEED TO BE RECONSTRUCT AND RESTORED



RIGHT SIDE ELEVATION NORTH



REAR ELEVATION WEST



LEFT SIDE ELEVATION SOUTH

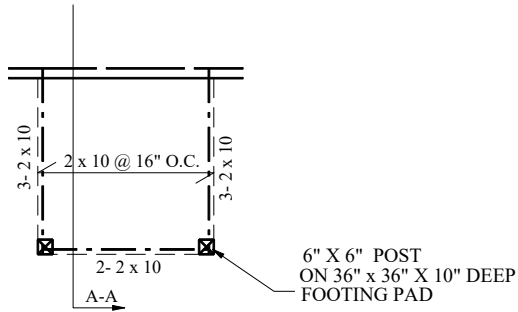
NOTE:

- EXISTING GUTTERS ON HERITAGE HOUSE TO REMAIN
- NEW RAIN WATER LEADERS TO LAND ON SPLASH PADS

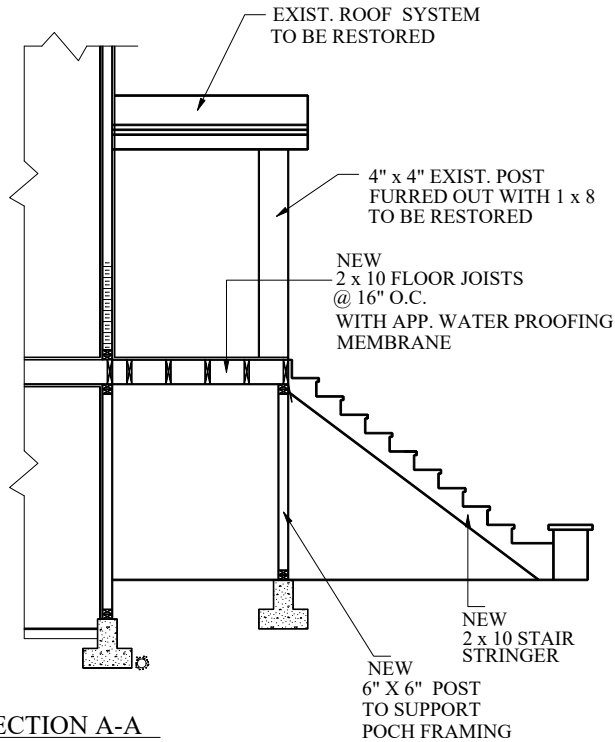
Dec 11 2019

THESE PLANS CONFORM TO B.C.C. 2018 EDITION

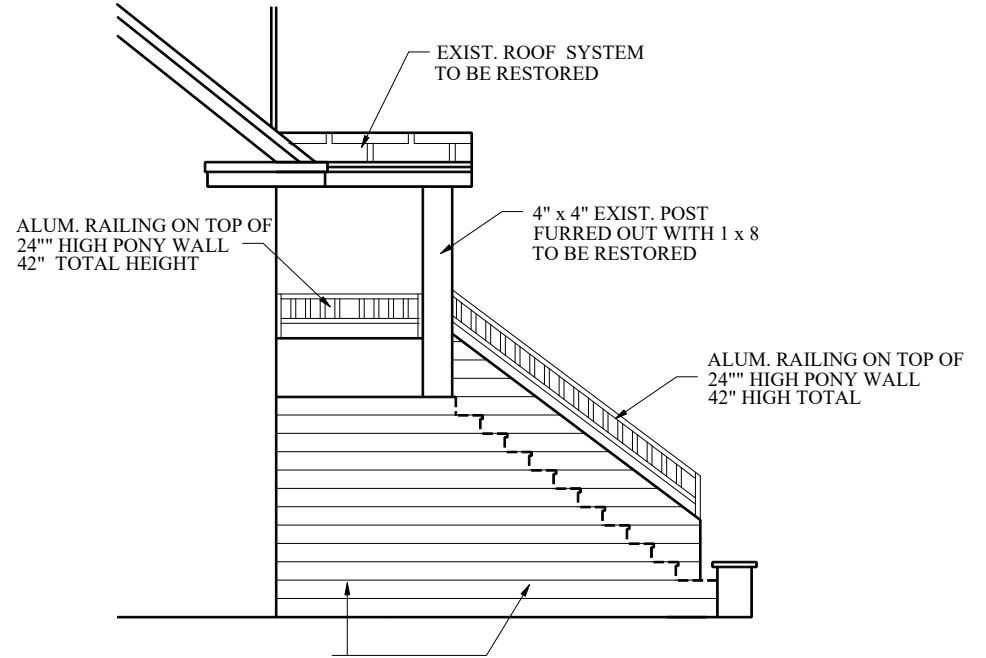
Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mvtjehot@hotmail.com			
TITLE	PROPOSED ELEVATIONS		
DRAWN	5634 - 182 Street, Surrey B.C.		
PROJECT	KAMAL	DATE	11/27/19
DESIGNED BY	NAVTEJ	SCALE	1/4" = 1'-0" UN. Apr 15 2018
DATE	11/27/19	PROJECT NO.	A-007



PARTIAL POCH FLOOR PLAN



SECTION A-A

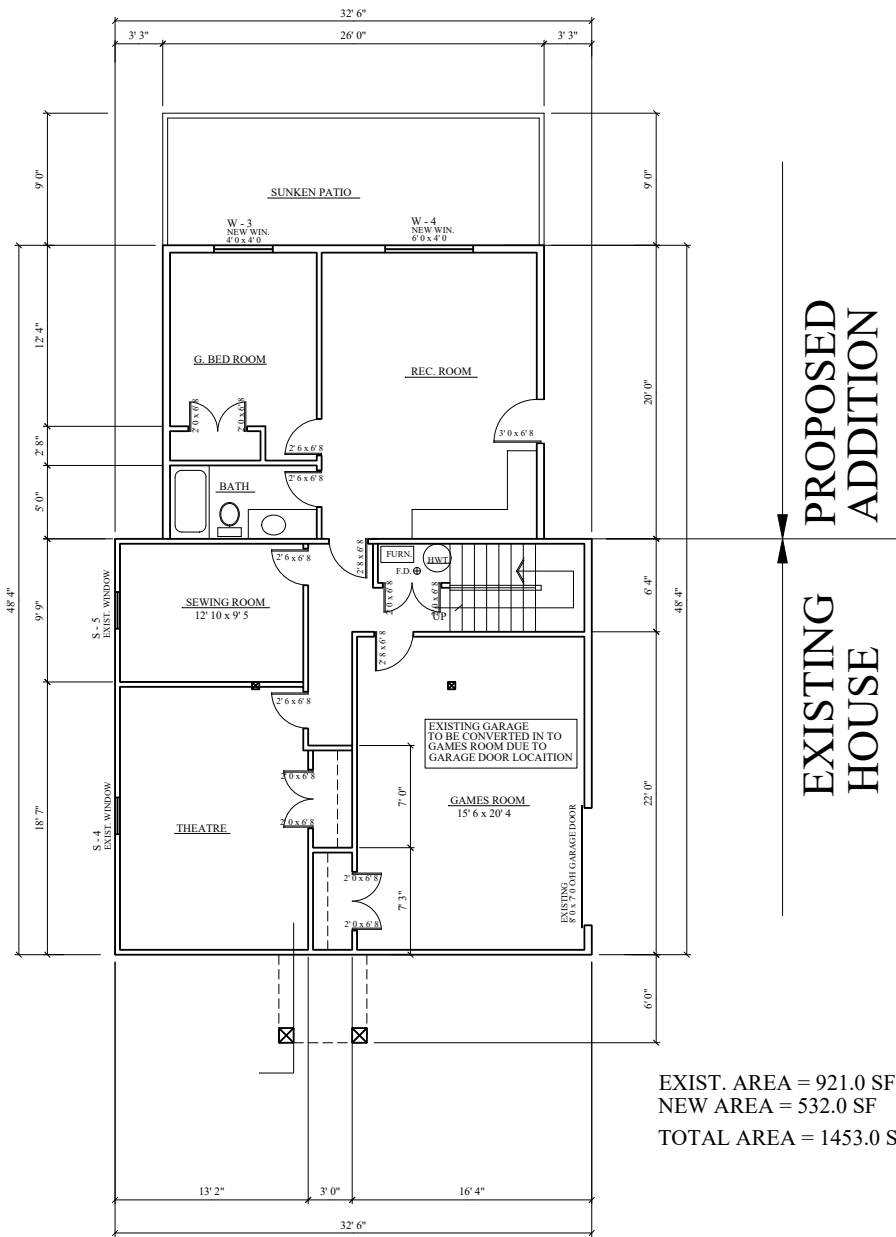


SINCE FRAMING MEMBERS SUPPORTING PORCH ARE ROTTEN PORCH WILL BE TEMPRARY SUPPORTED AND FRAMING BELOW PORCH WILL BE RECONSTRUCTED WITH WALL CALLDING TO MATCH THE MAIN HOUSE

PARTIAL ELEVATION

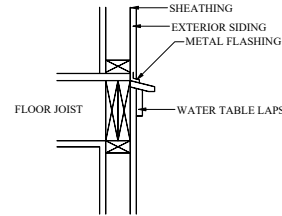
Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: navtej@hotmail.com			
DATE:	PORCH RESTORATION DRAWING		
ADDRESS:	5634 - 182 Street, Surrey B.C.		
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
KAMAL	NAVTEJ		Apr 15 2018
SCALE: 1/2" = 1'-0" U.S.		PROJECT NO: A-008	

Dec 04 2019
THESE PLANS CONFORM TO
B.C.B.C. 2018 EDITION

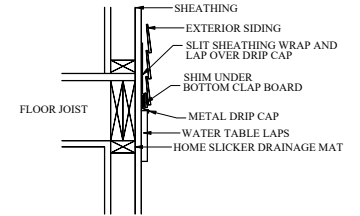


EXIST. AREA = 921.0 SF
 NEW AREA = 532.0 SF
 TOTAL AREA = 1453.0 SF

BASEMENT FLOOR PLAN



**WATER TABLE DETAIL
 MAIN FLOOR JOIST LINE
 Option # 2**

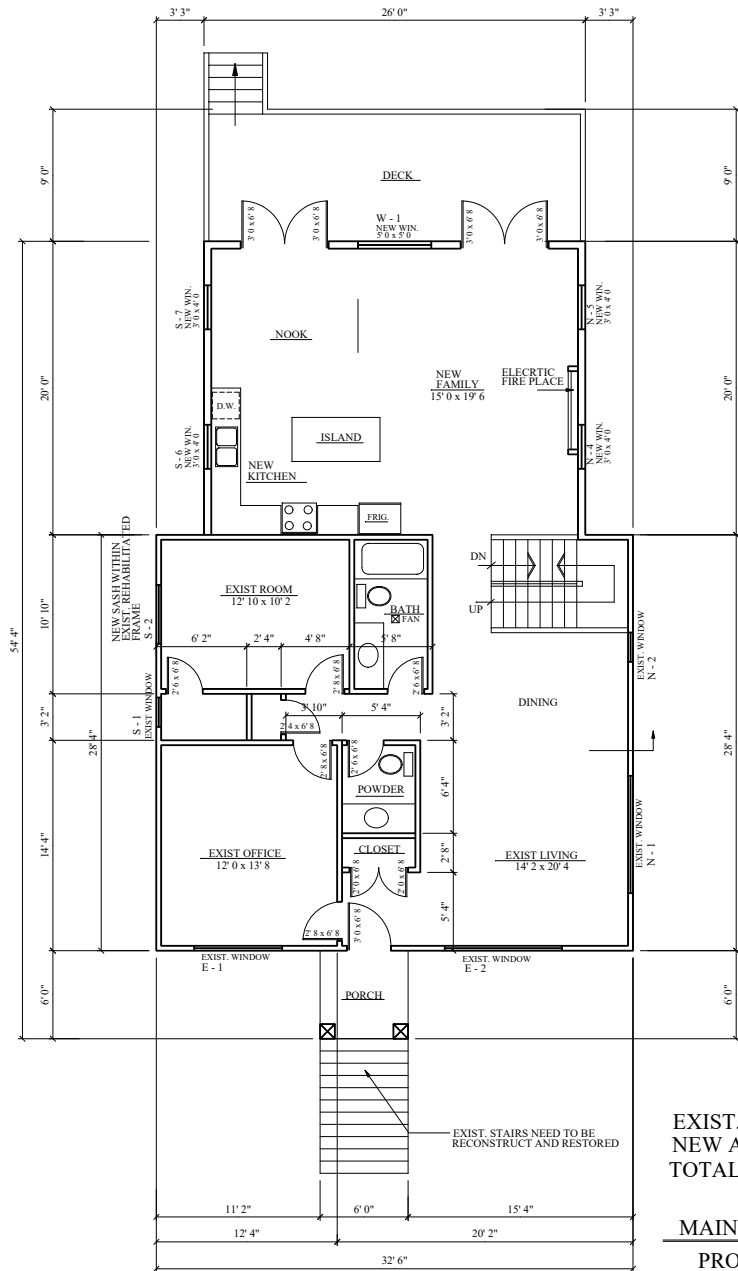


**WATER TABLE DETAIL
 MAIN FLOOR JOIST LINE
 Option # 1**

Dec 11 2019

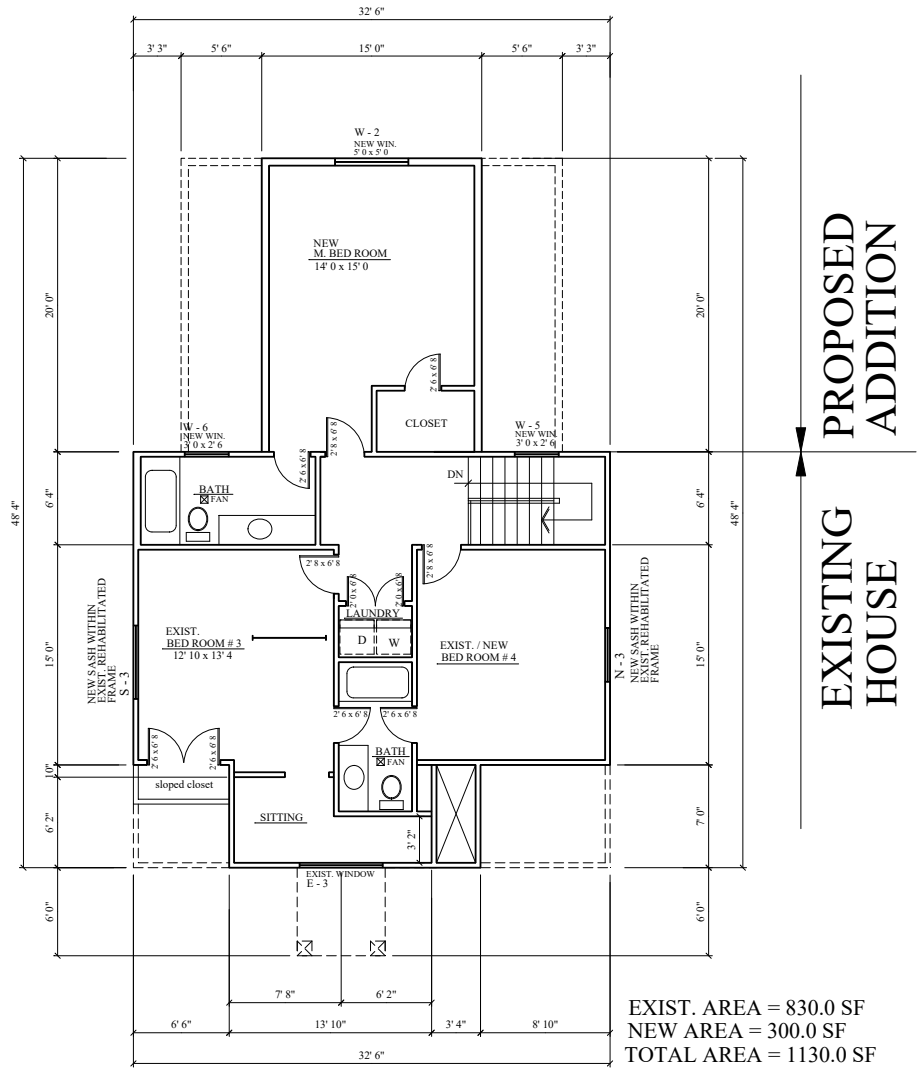
THESE PLANS CONFORM TO
 B.C.B.C. 2018 EDITION

Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mvcjdlhot@hotmail.com				
DATE: PROPOSED BASEMENT PLAN				
DRAWINGS: 5634 - 182 Street, Surrey B.C.				
DESIGNED BY: KAMAL	CHECKED BY: NAVTEJ	SCALE: 1/4" = 1'-0" UN.	DATE: Apr 15 2018	PROJECT: A-006



MAIN FLOOR PLAN
 PROPOSED PLAN

EXISTING HOUSE
 PROPOSED ADDITION



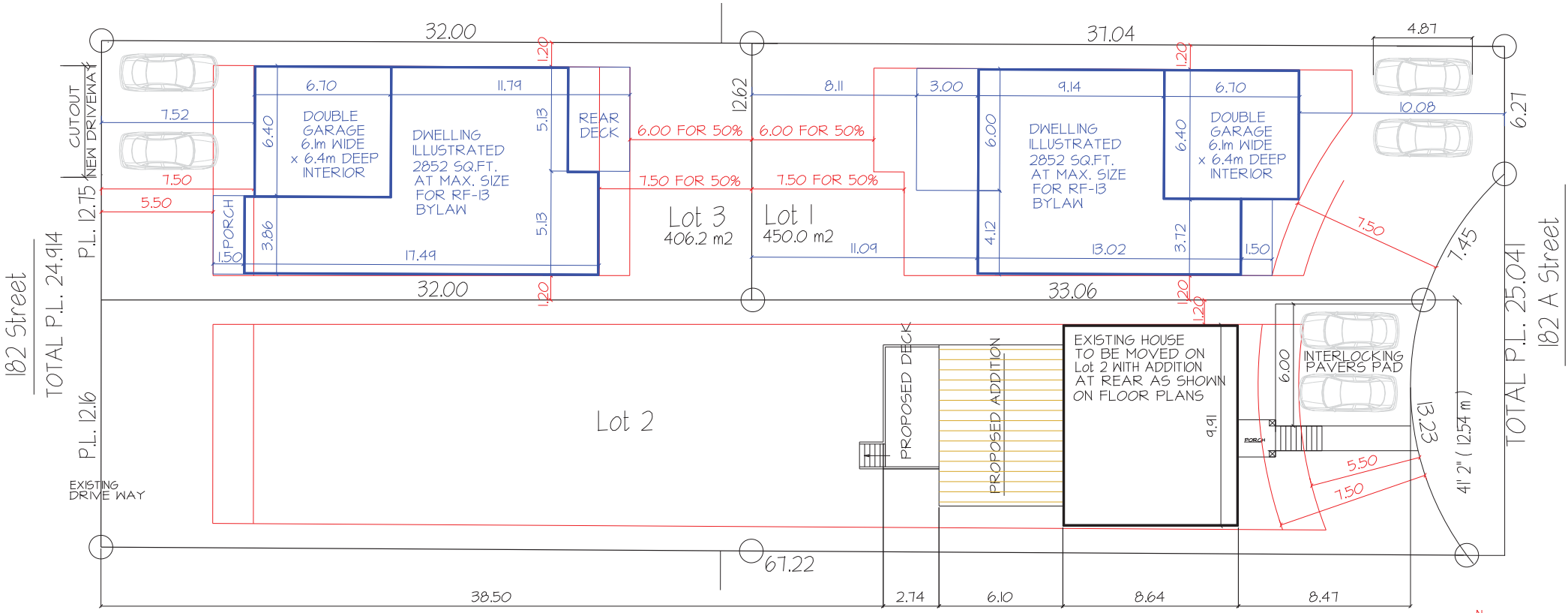
SECOND FLOOR PLAN
 PROPOSED PLAN

EXISTING HOUSE
 PROPOSED ADDITION

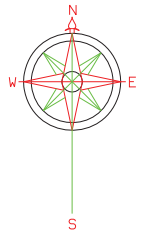
Dec 11 2019

THESE PLANS CONFORM TO
 B.C.C.A. 2018 EDITION

Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mstcjdhot@hotmail.com			
DATE	PROPOSED FLOOR PLANS	PROJECT	5634 - 182 Street, Surrey B.C.
DESIGNED BY	KAMAL	CHECKED BY	NAVTEJ
DATE	11/27/19	SCALE	1/4" = 1'-0" UN.
DATE	Apr 15 2018	REVISION	A-005



DRAWN: TYNAN CONSULTING LTD.
NOVEMBER 14, 2019





INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Jul 10, 2019** PROJECT FILE: **7816-0354-00**

RE: **Engineering Requirements
Location: 5634 182 Street**

REZONE AND SUBDIVISION***Property and Right-of-Way Requirements***

- dedicate necessary lands on 182A Street to secure 14.0 m radius cul-de-sac bulb.
- register 0.5 m statutory right-of-way (SRW) along road frontages of 182 Street and 182A Street for inspection chambers and sidewalk maintenance.

Works and Services

- construct west side of 182 A Street to through local standards with 11.0 m radius cul-de-sac bulb; construct the same frontage works along 5645 - 182A Street through Development Coordinated Works.
- widen existing pavement along 182 Street, to meet through local standard;
- construct necessary water, sanitary, and storm infrastructure to service all lots.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit, other than those listed above.

Tommy Buchmann, P.Eng.
Development Services Manager

M51



Planning

November 27, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0354 00

SUMMARY

The proposed are estimated to have the following impact on the following schools:

3 Single family with suites

Projected # of students for this development:

Elementary Students:	2
Secondary Students:	1

September 2019 Enrolment/School Capacity

Martha Currie Elementary	
Enrolment (K/1-7):	87 K + 547
Operating Capacity (K/1-7)	76 K + 535
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1640
Capacity (8-12):	1400

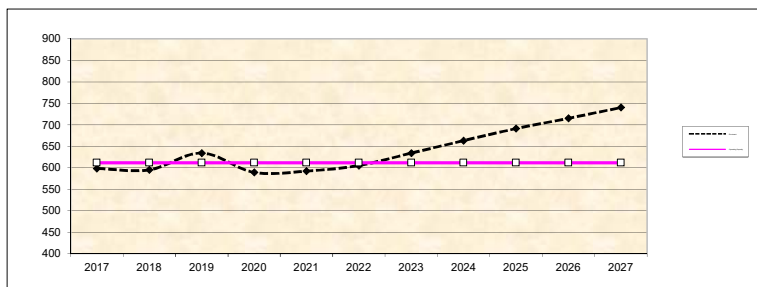
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

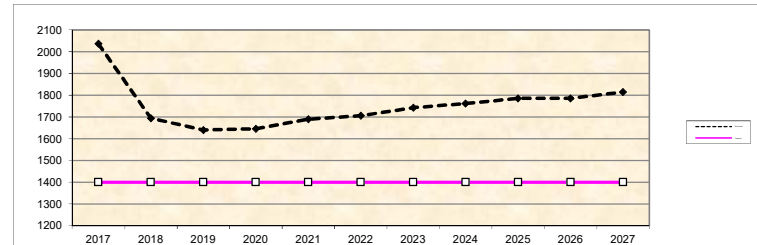
Martha Currie Elementary is in a maturing neighbourhood. What our data is suggesting is that there is strong number of families with young children moving into the catchment. The 10 year enrolment projections are showing that enrolment growth is continuing. By 2027 the school is anticipated to be operating at 125% capacity. The District has asked for an addition at Martha Currie in the 2020/2021 Five Year Capital Plan. As of this report, the Ministry of Education has yet to approve funds for the project. Until the addition is built growth will be managed by using portables.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary.

Martha Currie Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7916-0354-00
 Project Location: 5634 – 182 Street, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd. (Filip Christiaanse)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located within an old growth area with recent transition to a more modern urban character. Two thirds of existing homes within the survey area are classified as either "B.C. Heritage" style homes built prior to the 1950's or "West Coast Traditional" style homes constructed in the 1970's and 1980's. Older homes include Basement Entry homes with box-like massing designs, Bungalows with basement, Two-Storey homes with mid-scale massing, and 2 ½ Storey homes (the old heritage homes). Most of these older homes are clad in vinyl siding with minimal wood or stone detailing. All of the homes have asphalt shingle roofs. None of these homes provide suitable context for a year 2019 RF-13 zone development.

One third of homes are classified as Two-Storey modern urban homes, three of which can be further classified as "Neo-Traditional" or "Neo-Heritage" styles, and one as "West Coast Contemporary" style, all designed to a modern standard with well balanced, consistently proportioned, architecturally interesting mid-scale massing characteristics. These homes have been constructed within the past few years and they are located along 182 Street and along 182A Street. Most of these homes have minimum 7:12 main common hip or common gable roofs with a shake profile asphalt shingle roof surface. Gable ends are articulated with shingles or other wood detailing. Homes are clad with Hardiplank (or other fibre-cement board) and/or stucco. Most of the homes also have wood and stone accents at the front. All of these newer homes can be considered suitable "context homes".

The existing home on the property will be relocated on one of the new lots and be protected by a Heritage Revitalization Agreement.

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** There are several homes in this area that could be considered to provide acceptable architectural context for the subject site. These homes meet new massing design standards in which various projections on the front of the home are proportionally consistent with one another, are well balanced across the façade, are visually pleasing, and are architecturally interesting. These new homes provide an appropriate standard for future development in this area, and emulating the standards

found on these homes (subject to some updating) will reinforce the desirable emerging trend.

- 2) **Style Character** : There are a mix of old urban and modern urban styles in this neighbourhood. Preferred styles for this site include "Heritage", "Neo-Heritage", and compatible styles including compatible manifestations of the "West Coast Contemporary" style as determined by the consultant that provide a style bridge between old urban and modern urban. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types** : There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc.) will not be regulated in the building scheme.
- 4) **Massing Designs** : Massing designs should meet new standards for RF-13 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design** : Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding** : A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, fibre cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post year 2017 RF-13 zone developments.
- 7) **Roof surface** : Most homes have asphalt shingle roofs. It is expected that most new homes will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. Cedar shingles and concrete tiles are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended. Where required by the BC Building Code for lower slope applications membrane roofing products can be permitted subject to consultant approval. Small decorative metal roofs should also be permitted.
- 8) **Roof Slope** : The recommendation is to set the minimum roof slope at 6:12. A provision is also recommended to allow slopes less than 6:12 where it is determined by the consultant that the design is of such high architectural integrity that the roof slope reduction can be justified, or that lower slopes are needed on feature projections or at the front entrance veranda to ensure upper floor windows can be installed without interference with the roof structure below.

Streetscape: The subject site is located within an old growth area in recent transition to a modern urban character. Home range in age from new (less than 5 years old) to more than 70 years old. As a result, there are a wide range of styles including "Old BC Heritage", "West Coast Traditional", "West Coast Contemporary", "Neo-Heritage", "Neo-Traditional", and some that can only be described as either old urban or modern urban. There are a wide variety of home sizes and home types including Bungalows, Two-Storey,

2½ Storey, and Basement Entry type. There are a wide variety of massing designs ranging from low mass, low profile to box-like. There are a wide variety of exterior cladding materials and a variety of trim and detailing standards. Overall, this is not considered to be "themed" area, but rather is a "varied character area".

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Heritage", "Neo-Heritage", "Traditional", "Neo-Traditional", compatible forms of "West Coast Contemporary", or other compatible styles with appropriate transitions in massing and character, as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2019's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are homes in this area that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2017) RF-13 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2017 RF-13 zoned subdivisions, rather than to specifically emulate the aforesaid context homes.

Exterior Materials/Colours:

Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

- Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black only. Membrane roofs also permitted where required by B.C. Building Code, and small metal feature roofs also permitted.
- Roof Pitch:** Minimum 6:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.
- In-ground basements:** In-around basements are subject to determination that service invert locations are sufficiently below grade to permit a minimum 50 percent in-ground basement to be achieved. If achievable, basements will appear underground from the front.
- Treatment of Corner Lots:** Not applicable - there are no corner lots
- Landscaping:** *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 17 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, coloured concrete (earth tones only), or stamped concrete.
- Garages :** For conformance with the Cloverdale Community Association's request for larger garages, the minimum interior depth of a garage, clear of all projections including steps, is 6.4 metres, and the minimum clear interior width is 6.1 metres.
- Compliance Deposit:** \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd.

Date: Sept 10, 2019

Reviewed and Approved by:



Filip Christiaanse

Date: Sept 10, 2019



Cloverdale Community Association

Website: www.cloverdalecommunity.org

March 12, 2018

Ingrid Matthews
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7916-0354-00 / 5634-182 Street

Dear Ms. Matthews:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

We have no concerns with this development.

Please note, the developer for this project has not consulted with the association like others have done so in the past and therefore we are responding directly to the City of Surrey's preliminary notice received in the mail or by email.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors

Table 4. Tree Preservation Summary

TREE PRESERVATION SUMMARY	
Surrey Project No:	16-0354
Address:	5634 182 nd Street, Surrey, BC
Registered Arborist:	Michael Harrhy, B.Sc., MSFM ISA Certified Arborist (PN-8025A) ISA Qualified Tree Risk Assessor (TRAQ) Forester in Training Biologist in Training
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	15
Protected Trees to be Removed	9
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	6
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	18
- All other Trees Requiring 2 to 1 Replacement Ratio 9 X two (2) = 18	
Replacement Trees Proposed	10
Replacement Trees in Deficit	8
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary prepared and
submitted by:

Arborist



May 9,
2019

Date

January 24, 2018

D. NEW BUSINESS

1. PLANNING & DEVELOPMENT

**(a) Robert D. MacKenzie House - 5634 182 Street
Proposed Subdivision and Heritage Revitalization Agreement
(HRA)**

File: 6800-10

Staff summarized the report dated January 8, 2018, regarding a proposed subdivision and Heritage Revitalization Agreement (HRA) for the Robert D. MacKenzie House located at 5634 182nd Street.

In response to questions from the Commission, staff advised that the applicant has removed the proposed garage door from the architectural drawings.

The Commission noted that the house is a classic house with heritage value. The Commission expressed appreciation to staff for their efforts to retain the house.

It was Moved by Commissioner Tannen
Seconded by Commissioner Priddy
That the Surrey Heritage Advisory
Commission (SHAC):

1. Receive the report dated January 8, 2018 for information.
2. Provide preliminary comments on the proposed subdivision of the property located at 5634 182nd Street and the protection of the Robert D. MacKenzie House located on the property.
3. Recommend to the General Manager, Planning and Development, that staff be directed to proceed with the preparation of a Heritage Revitalization Agreement (HRA) for the Robert D. MacKenzie House.

Carried

October 24, 2018

Robert D. MacKenzie House, 5634 182 Street - Heritage Revitalization Agreement

Staff advised that it is expected that the Heritage Revitalization Agreement and conservation plan for the Robert D. MacKenzie House will be brought forward to the Commission for review in November 2018 or early 2019.

February 13, 2019

D. NEW BUSINESS

1. PLANNING & DEVELOPMENT

- (a) **Development Application 7916-0354-00 (Robert D. MacKenzie House)**
5634 182 Street
File: 6800-10

Staff summarized the report dated February 4, 2019 regarding a revised proposal that has been received for the Robert D. MacKenzie located at 5634 182 Street. The proposal is to relocate the house to a new lot fronting 182A Street.

The Commission commended the Applicant and staff for adjusting the proposal to retain the house and additional trees.

It was Moved by Commissioner Priddy
Seconded by Commissioner Evans
That the Heritage Advisory Commission
receive the report dated February 4, 2019 for information.
Carried

September 11, 2019

- (b) **HAC Task List**
File: 0540-20V

The Commission and staff reviewed the Heritage Advisory Commission Task List and noted the following comments:

Robert D. MacKenzie House

Daren Zuk, Heritage Planner, advised that a Heritage Revitalization Agreement that has been received for the Robert D. MacKenzie house will be added to the task list.

- (d) **Robert D. MacKenzie House (5634 182 Street)**
Heritage Revitalization Agreement (HRA) (On-Table)
File: N/A (Verbal Update)

Daren Zuk, Heritage Planner, summarized the on-table report dated September 11, 2019 regarding a Heritage Revitalization Agreement (HRA)

that has been received for the Robert D. MacKenzie House located at 5634 182 Street.

Ryan Gallagher, Heritage Administration and Facilities Manager, noted that the Robert D. MacKenzie House is one of the only homes on the Heritage Register that has a connection to a former Surrey Mayor.

In response to a question from the Commission, Mr. Zuk advised that there will not be a garage; however, the property meets the required three parking spots of the RF-13 zone.

It was

Moved by Commissioner Hol
Seconded by Commissioner Plug
That the Surrey Heritage Advisory

Commission:

1. Receive the on-table report dated September 11, 2019 for information; and
2. Recommend to the General Manager, Planning and Development Department, that the Heritage Revitalization Agreement for the Robert D. MacKenzie House be forwarded to Council for consideration following City Architect and Legal review.

Carried

CITY OF SURREY

BY-LAW NO.

A by-law to enter into a heritage revitalization agreement
.....

WHEREAS:

- A. The Council may by by-law pursuant to Part 15 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands, premises and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 011-038-519
 Lot 2 Section 8 Township 8 New Westminster District Plan 3893
 5634 – 182 Street

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, in open meeting assembled, enacts as follows:

1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this By-law as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.
2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.
3. Schedule "I" forms a part of this By-law.
4. This By-law may be cited for all purposes as "City of Surrey Heritage Revitalization Agreement By-law, 20 , No._____."

READ A FIRST AND SECOND TIME on the ____ day of ____ 20 .

PUBLIC HEARING HELD thereon on the ____ day of ____ 20 .

READ A THIRD TIME on the ____ day of ____ 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the ____ day of ____ 20 .

_____ MAYOR

_____ CLERK

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 20 , No._____]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the ___ day of _____, 20

BETWEEN:

1070738 BC LTD
19732 - 71B Avenue
Langley, British Columbia V2Y 3G8

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 011-038-519
Lot 2 Section 8 Township 8 New Westminster District Plan 3893
5634 - 182 Street

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;

- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "McGinn Engineering & Preservation Ltd. Plan");
- G. The improvements or features identified in the Conservation Plan as the Robert D. MacKenzie House (the "House") is listed on the Surrey Heritage Register and the Owner and the City consider that the House has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House; and
- H. The Lands are subject to variances contained in Section 3.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

- 1. (a) The Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or McGinn Engineering & Preservation Ltd. Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and McGinn Engineering & Preservation Ltd. Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.

- (b) Part I of the Conservation Plan identifies, details and describes the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character*. Part II of the Conservation Plan sets out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan sets out the standards and specifications for restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement, including, but not limited to the following features of the House: structure and foundations; roofing; cladding and trimwork; front porch; windows and doors; chimney; and finishes.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:

- (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
- (b) Each action of restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan.
- (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and McGinn Engineering & Preservation Ltd. Plan.
- (d) In the event the House is damaged, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House shall reflect the character-defining elements and design components including, but not limited to: location amidst a grouping of high quality suburban houses; form scale and massing as expressed by its one-and-one-half story height; steeply pitch side-gabled roof with large, front gable dormer, rear shed roof dormer, closed eaves, and cornice returns on the side elevations; concrete foundation and wood frame construction; the front door; front entry porch with curved roof supported by tapered square columns; internal basement garage with hinged, double doors; regular symmetrical fenestration; internal red brick chimney; and, landscape features such as mature hedges and trees, all as subject to approval by the City Architect or designate.

- (e) In the event the House is destroyed, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.
- (f) In the event that the House is destroyed, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$17,715.75 indexed to the Vancouver Consumer Price Index (CPI) with 2018 being the base year, except that if the House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House is occupied, there must be appropriate security measures in place to maintain the integrity and security of the House and Lands. Should the House become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the McGinn Engineering & Preservation Ltd. Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Variations to By-laws

- 3. Pursuant to Section 610(2)(b) of the Local Government Act, the following by-laws of the City are varied and supplemented in their application to the Lands in the manner and to the extent provided as follows:
 - (a) The RF-13 Single Family Residential (13) Zoning Schedule of City of Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby varied and supplemented as to the Lands as follows:
 - (i) By varying Part 16B, Section F to increase the *front yard setback* of the *principal building* from 6 metres [20 ft.] to 7.5 metres [25 ft.].

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or nonperformance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by

reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner:

1070738 BC LTD.
19732 - 71B Avenue
Langley, British Columbia V2Y 3G8

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:

- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;
 - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

1070738 BC LTD.

Per: _____
Authorized Signatory

CITY OF SURREY

Doug McCallum
Mayor

Jennifer Ficocelli
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Description of Historic Place

The Robert D. MacKenzie House (1922) is situated amidst a number of early similar inter-war period residences dating from the 1920s and 1930s built mid-block on the east side of 182nd Street, east of Cloverdale's town centre. This enclave is part of a small suburban development of fairly affluent local residents taking advantage of the lower depression-era labour rates to build substantial residences.

2. Heritage Value of Historic Place

The house is associated with Robert D. MacKenzie, a successful local farmer who was active in school, community, municipal and provincial affairs and who served as municipal reeve from 1921 to 1923, and built this home on his retirement in 1918. Robert Dougal MacKenzie owned the house until his death in 1925. His widow, Ellenora MacKenzie, owned the property to 1931.

The house has largely survived in its original condition and has been, generally, well maintained. Notably, the house featured an internal garage that was incorporated into the above-ground basement. This early garage distinguishes this residence as a thoroughly modern and characteristically suburban residence of the period.

3. Character Defining Elements

Key elements that define the heritage character of the Robert D. MacKenzie House include its:

- Location amidst a grouping of high-quality suburban houses of a similar age, scale, and character;
- Form scale and massing as expressed by its one-and-one-half storey height plus above ground basement, and regular, rectangular plan;
- Steeply pitched side-gabled roof with large, front gable dormer, rear shed roof dormer, closed eaves, and cornice returns on the side elevations;
- Concrete foundations and wood frame construction;
- Exterior features such as the front door with geometric patterned, multi-paned glazing, open front entry porch with curved roof supported by tapered square columns and internal basement garage with hinged, double doors, each with multi-paned glazing;
- Regular, symmetrical fenestration such as: double-assembly, double-hung wooden sash windows with geometric, multi-pane upper sashes over a single pane lower sash; triple-assembly wooden sash windows with segmented arched, fixed center section and double hung windows with multi-pane upper sash to each side; double-hung windows on the side elevations;
- Internal red brick chimney; and
- Associated landscape features such as the mature hedges and trees.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the House, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the adoption of a by-law to enter into this Agreement.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the House shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House shall include, but is not limited to, the following:

- (a) A description and a time schedule for the renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and

- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House shall commence within 60 days following the adoption of a by-law authorizing the City to enter into this Agreement and be carried out pursuant to a building permit issued by the City authorizing the works. The Owner shall insure that the restoration of the House shall be completed and a final occupancy permit or equivalent for the House shall be issued within one year of the adoption of a by-law authorizing the City to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

- A. Changes to the building, structure, exterior appearance of the House, features on the Lands identified in the Conservation Plan, the McGinn Engineering & Preservation Ltd. Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
 - (a) changes to the Conservation Plan or the McGinn Engineering & Preservation Ltd. Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or

- (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
 - (a) changes to the House structure;
 - (b) changes to the exterior appearance of the House;
 - (c) replacement of existing elements and/or construction of additions to the House;
 - (d) changes to the external appearance of the House due to interior renovations.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. **Building Permit Approval**

Construction, alterations or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the McGinn Engineering & Preservation Ltd. Plan, and with heritage alteration permits sanctioning construction, alterations or other actions.

As the House is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. **Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. **Building Retention, Relocation, Selective Demolition and Rear Addition:**

See Section 4.1 " Building Retention, Relocation, Selective Demolition and Rear Addition" of the McGinn Engineering & Preservation Ltd. Plan.

2. **Porch Restoration:**

See Section 4.2 "Porch Restoration" of the McGinn Engineering & Preservation Ltd. Plan.

3. **Roof Surface Upgrades:**

See Section 4.3 "Roof Surface Upgrades" of the McGinn Engineering & Preservation Ltd. Plan.

4. **Seismic Upgrade of Pony Wall:**

See Section 4.4 "Seismic Upgrade of Pony Wall" of the McGinn Engineering & Preservation Ltd. Plan.

5. **HAZMAT Remediation:**

See Section 4.5 "HAZMAT Remediation" of the McGinn Engineering & Preservation Ltd. Plan.

6. **Window Rehabilitation:**

See Section 4.6 "Window Rehabilitation" of the McGinn Engineering & Preservation Ltd. Plan.

7. **Cladding:**

See Section 4.7 "Cladding" of the McGinn Engineering & Preservation Ltd. Plan.

8. **New Electrical Service:**

See Section 4.8 "New Electrical Service" of the McGinn Engineering & Preservation Ltd. Plan.

9. **Chimney Restoration:**

See Section 4.9 "Chimney Restoration" of the McGinn Engineering & Preservation Ltd. Plan.

10. **Front Door:**

See Section 4.10 "Front Door" of the McGinn Engineering & Preservation Ltd. Plan.

11. Exterior Painting:

See Section 4.11 "Exterior Painting" of the McGinn Engineering & Preservation Ltd. Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the house is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

12. Rainwater Evacuation System:

See Section 4.12 "Rainwater Evacuation System" of the McGinn Engineering & Preservation Ltd. Plan.

13. Porch Pendant Fixture:

See Section 4.13 "Porch Pendant Fixture" of the McGinn Engineering & Preservation Ltd. Plan.

14. Landscaping Features:

See Section 4.14 "Landscape Features" of the McGinn Engineering & Preservation Ltd. Plan.

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100, including any amendments or replacements to its provisions from time to time (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

15. Interior:

Changes to the interior of the House that do not affect the exterior appearance of the House are permitted without prior issuance of a heritage alteration permit.

16. New Construction:

New construction not provided for in this Conservation Plan will be subject to a heritage alteration permit.

17. Accessory Buildings and Structures:

No placement of *accessory buildings* or *structures* shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

18. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance to be undertake and completed pursuant to this Conservation Plan.

19. Other:

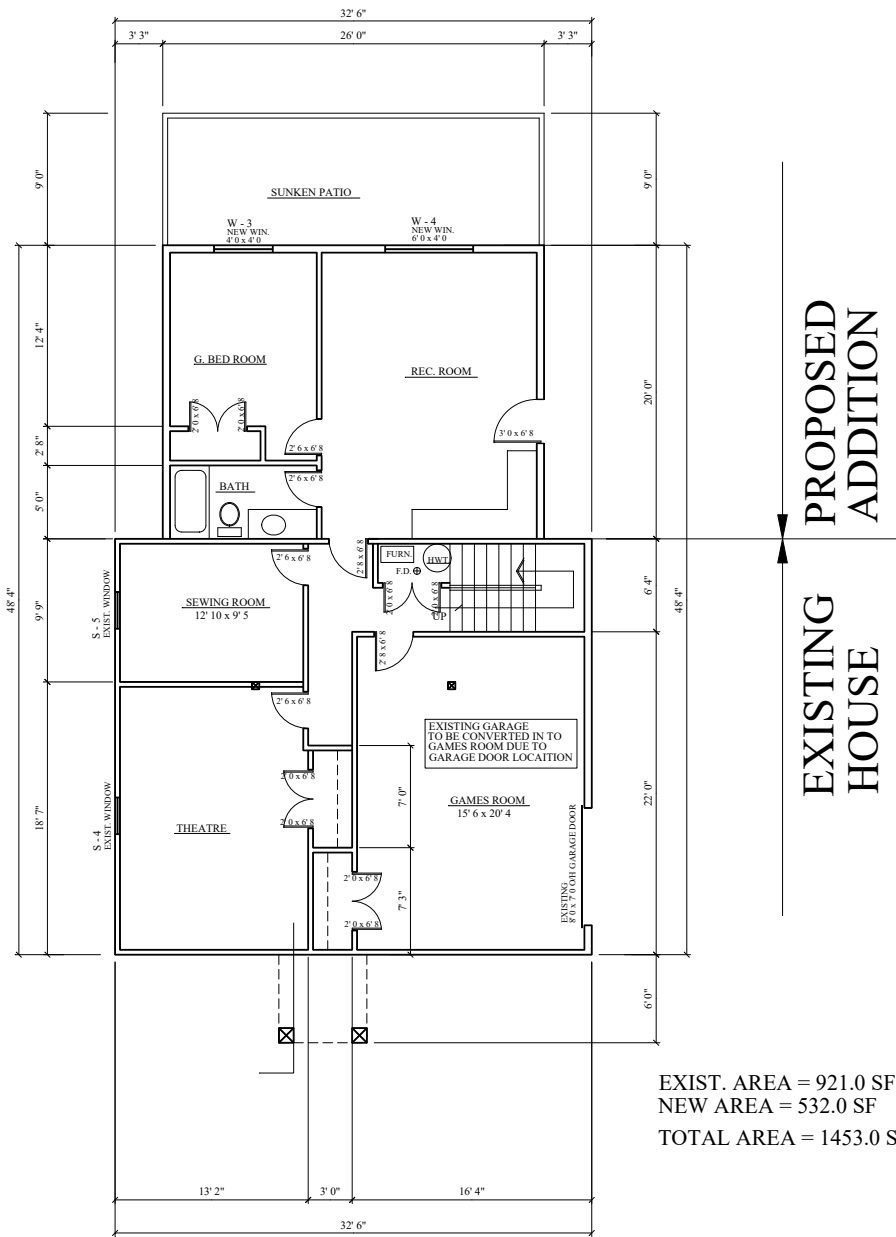
The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

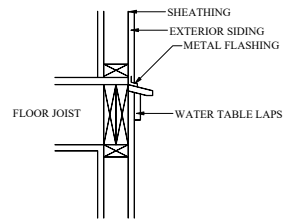
Appendix "A-1"
PLANS AND ELEVATIONS

(Attachment beginning on the next page)

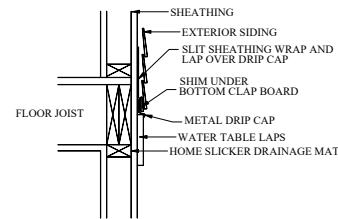


BASEMENT FLOOR PLAN

**PROPOSED
 ADDITION**
**EXISTING
 HOUSE**



**WATER TABLE DETAIL
 MAIN FLOOR JOIST LINE
 Option # 2**

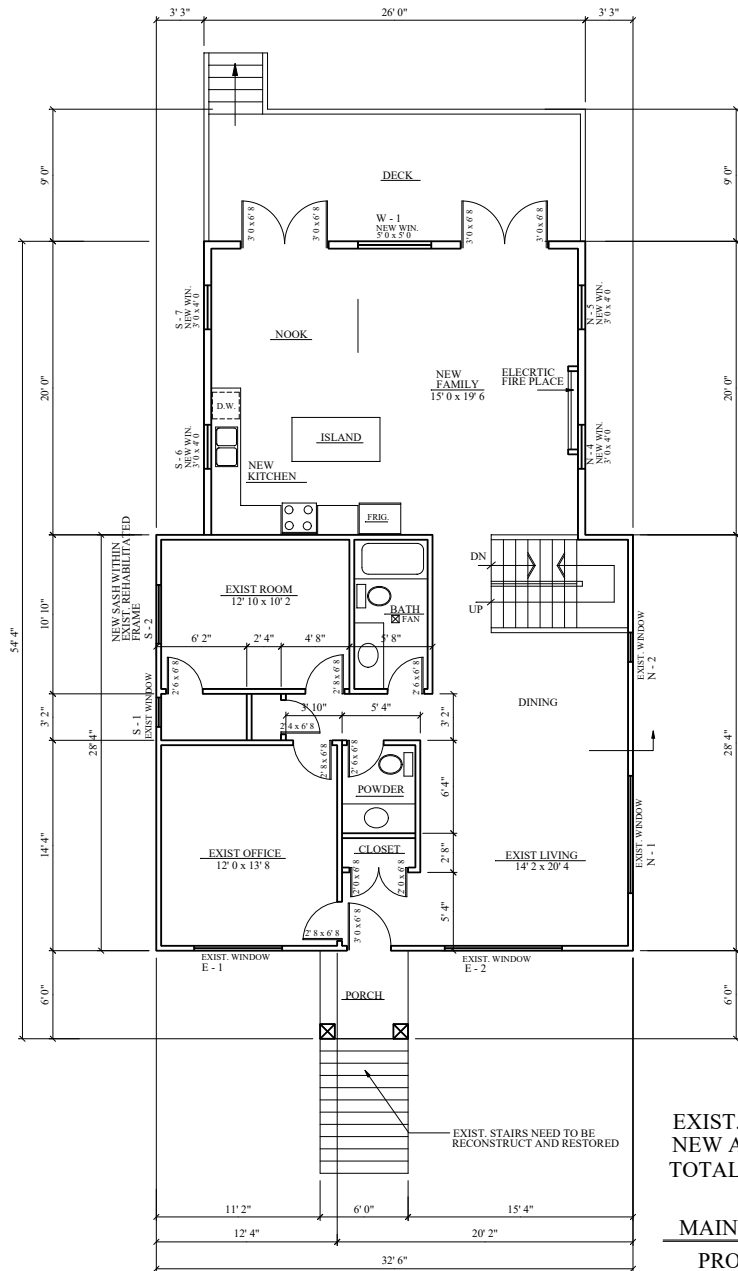


**WATER TABLE DETAIL
 MAIN FLOOR JOIST LINE
 Option # 1**

Dec 11 2019

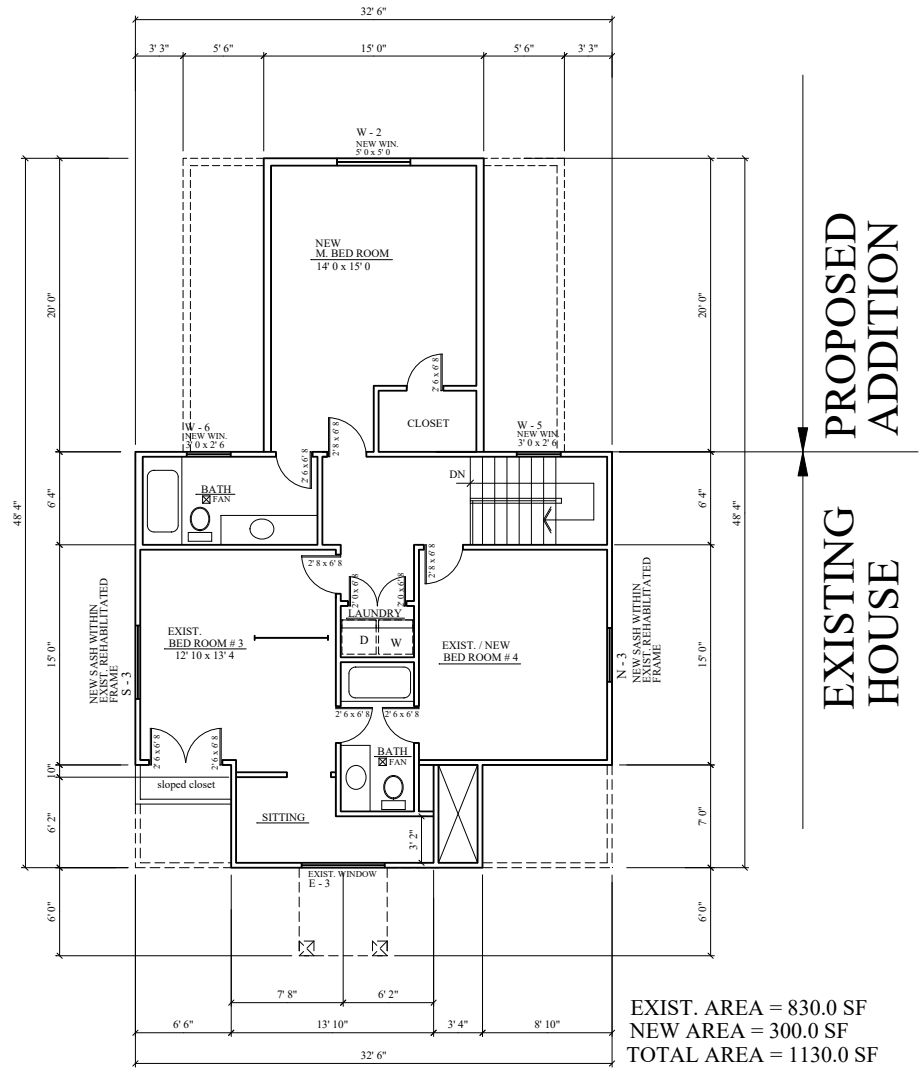
THESE PLANS CONFORM TO
 B.C.B.C. 2018 EDITION

Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mvcjdlhot@hotmail.com				
DATE: PROPOSED BASEMENT PLAN				
DRAWING: 5634 - 182 Street, Surrey B.C.				
DESIGNED BY: KAMAL	CHECKED BY: NAVTEJ	SCALE: 1/4" = 1'-0" UN.	DATE: Apr 15 2018	PROJECT: A-006



MAIN FLOOR PLAN
 PROPOSED PLAN

EXISTING HOUSE
 PROPOSED ADDITION



SECOND FLOOR PLAN
 PROPOSED PLAN

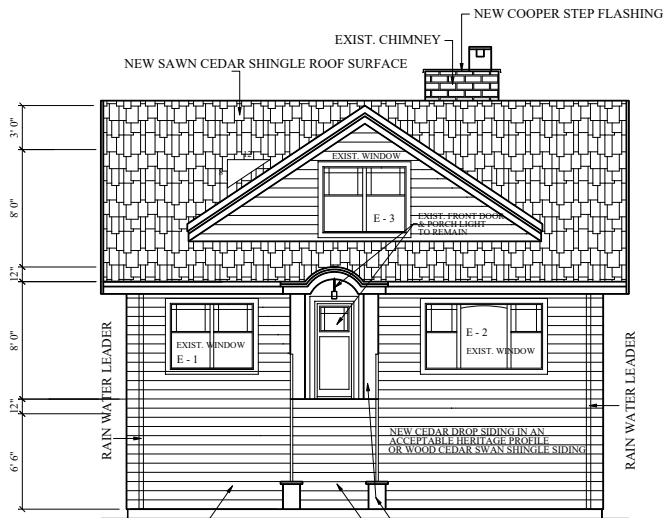
EXISTING HOUSE
 PROPOSED ADDITION

Dec 11 2019

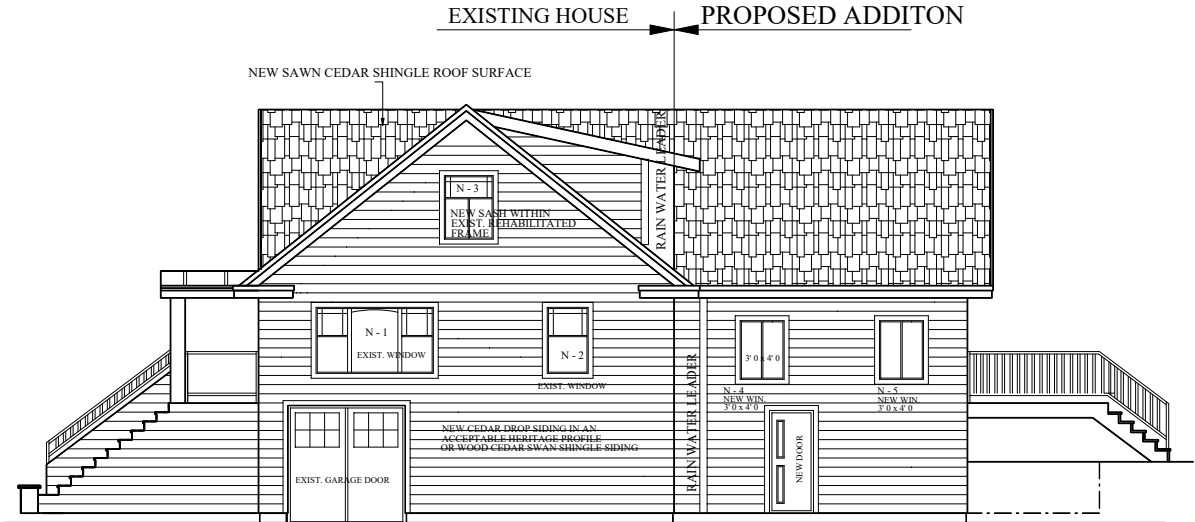
THESE PLANS CONFORM TO
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Astonish Design & Detailing Ltd.
 19732 - 71B Ave. Langley B.C.
 PH: 1 604 539 1740 FAX: 1 604 539 1741
 CELL: 1 604 728 0389 E-MAIL: mstcjdhot@hotmail.com

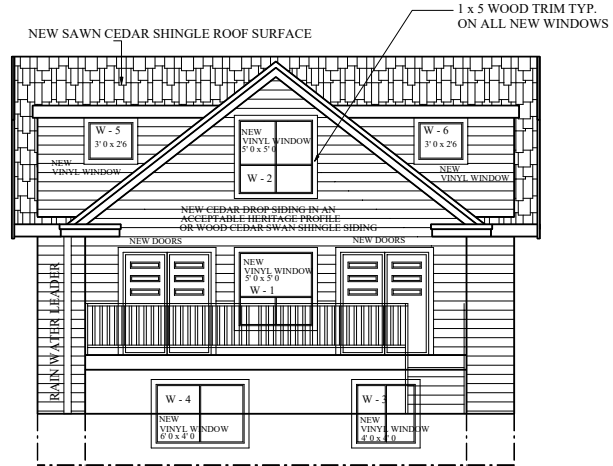
DATE	PROPOSED FLOOR PLANS
REVISED	5634 - 182 Street, Surrey B.C.
DESIGNED BY	KAMAL
CHECKED BY	NAVTEJ
SCALE	1/4" = 1'-0" UN.
DATE	Apr 15 2018
PROJECT NO.	A-005



NEW CEDAR SIDING DROP CLADDING
FRONT ELEVATION
 EAST

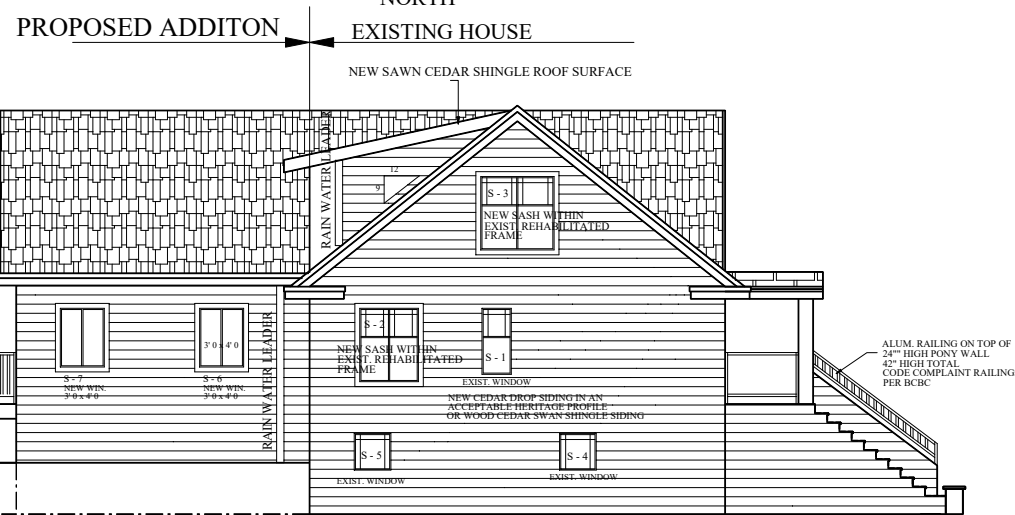


RIGHT SIDE ELEVATION
 NORTH

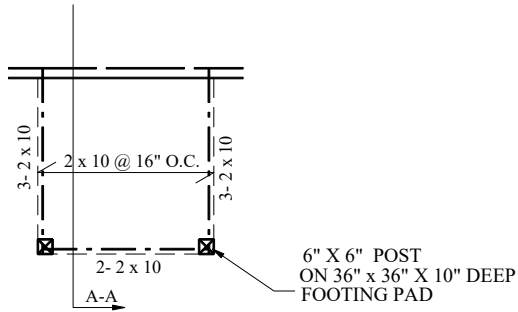


REAR ELEVATION
 WEST

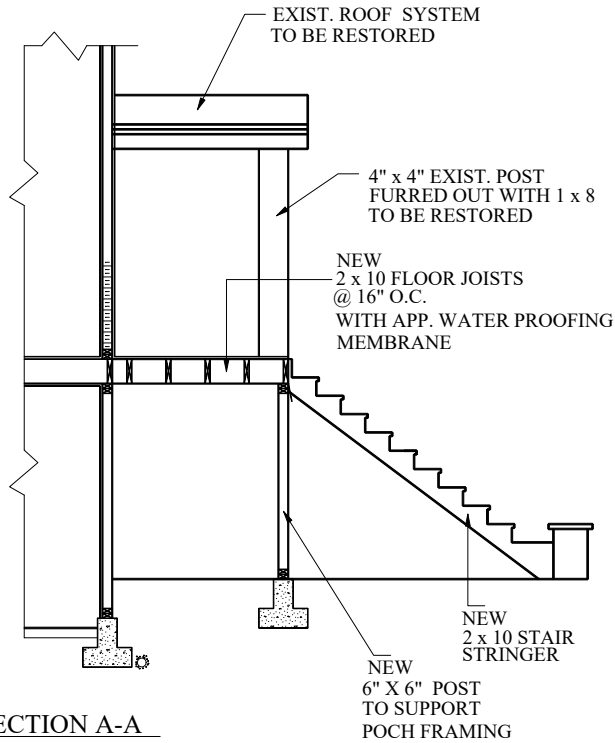
NOTE:
 - EXISTING GUTTERS ON HERITAGE HOUSE TO REMAIN
 - NEW RAIN WATER LEADERS TO LAND ON SPLASH PADS



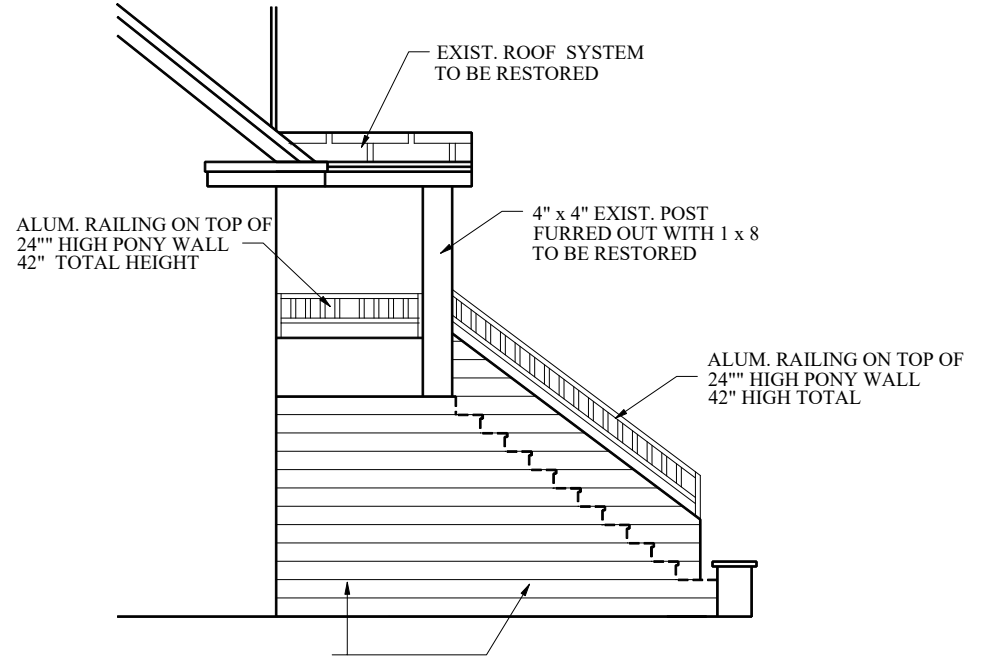
LEFT SIDE ELEVATION
 SOUTH



PARTIAL POCH FLOOR PLAN



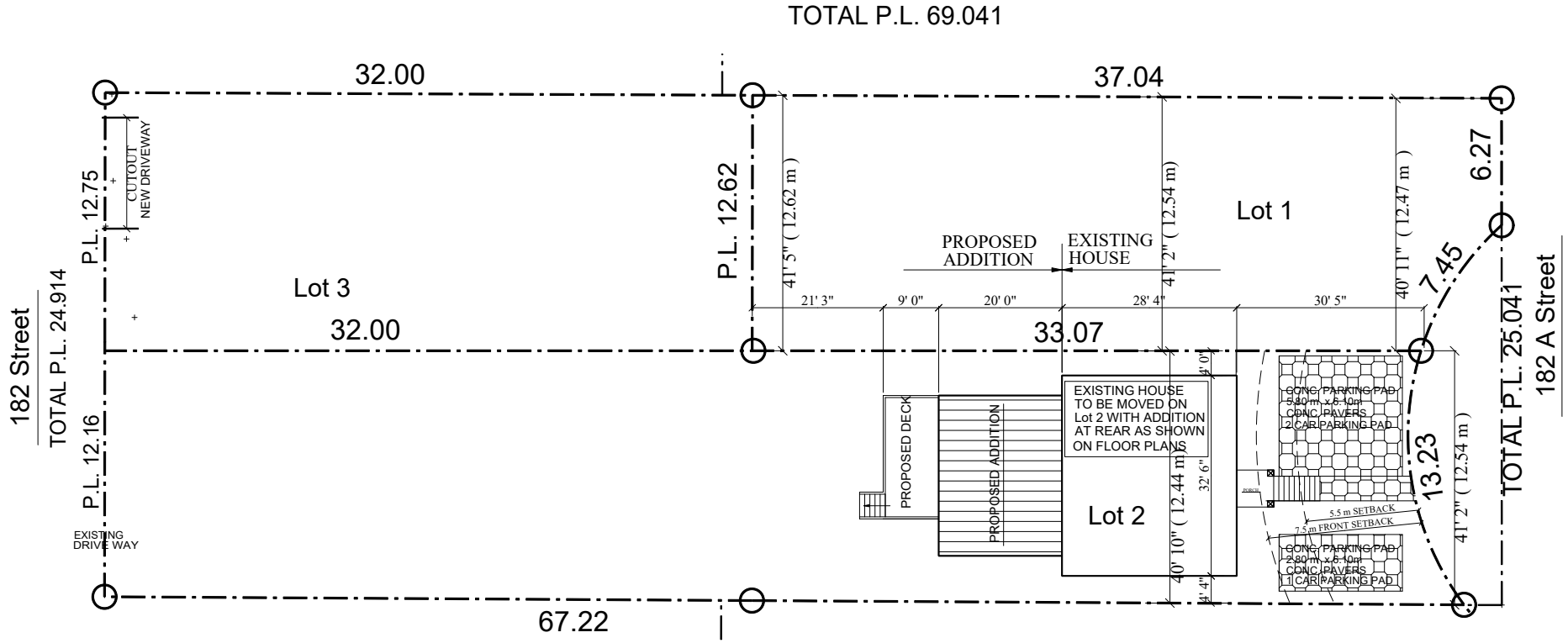
SECTION A-A



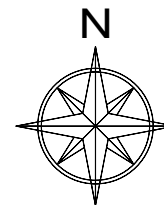
SINCE FRAMING MEMBERS SUPPORTING PORCH ARE ROTTEN
 PORCH WILL BE TEMPRARY SUPPORTED AND
 FRAMING BELOW PORCH WILL BE RECONSTRUCTED
 WITH WALL CALLDING TO MATCH THE MAIN HOUSE

PARTIAL ELEVATION

Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: navtej@hotmail.com			
DATE: Dec 04 2019		PROJECT: PORCH RESTORATION DRAWING	
DESIGNED: 5634 - 182 Street, Surrey B.C.	DRAWN: KAMAL	CHECKED: NAVTEJ	DATE: Apr 15 2018
THESE PLANS CONFORM TO B.C.B.C. 2018 EDITION			
SCALE: 1/2" = 1'-0" UN. A-008			



PROPOSED 3 LOT SUBDIVISION
EXISTING HERITAGE HOUSE TO BE MOVED ON LOT 2



Jan 08 2020

Astonish Design & Detailing Ltd.			
19732 - 71B Ave. Langley B.C.			
PH: 1 604 539 1740 FAX: 1 604 539 1741			
CELL: 1 604 728 0389 EMAIL: mvtgtd@hotmail.com			
TITLE: PROPOSED LOT SUBDIVISION			
ADDRESS: 5634 - 182 Street Surrey B.C.			
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
KAMAL	NAVTEJ	102" = 1'-0" UN.	Dec 07 2017
			SCALE: A-008

Appendix "B"

HERITAGE CONSERVATION PLAN
Robert D. MacKenzie House 5634 – 182 Street, Surrey
Barry McGinn, Architect, June 2019

(The " McGinn Engineering & Preservation Ltd. Plan ")

(Attachment beginning on the next page)



5634 182ND STREET

SURREY, BC V4N 3V9

conservation plan

october 2019



McGinn Engineering &
Preservation Ltd.
Barry McGinn Architect



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7.2	Window Schedule	
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1 HERITAGE VALUE ASSESSMENT

** Heritage Value Assessment of the Robert D. MacKenzie House, 5634 182 St., Surrey, B.C., is adapted from the Canadian Register of Historic Places (in the Appendix)*

1.1 History/Description of Robert D. MacKenzie House, 5634 182nd Street, Surrey

The Robert D. MacKenzie House (1922) is situated amidst a number of early similar inter-war period residences dating from the 1920s and 1930s built mid-block on the east side of 182nd Street, east of Cloverdale's town centre. This enclave is part of a small suburban development of fairly affluent local residents taking advantage of the lower depression-era labour rates to build substantial residences.



1.2 Summary of Heritage Value

The house is associated with Robert D. MacKenzie, a successful local farmer who was active in school, community, municipal and provincial affairs and who served as municipal reeve from 1921 to 1923, and built this home on his retirement in 1918. Robert Dougal MacKenzie owned the house until his death in 1925. His widow, Ellenora MacKenzie, owned the property to 1931.

The house has largely survived in its original condition and has been, generally, well maintained. “Notably, the house featured an internal garage that was incorporated into the above-ground basement. This early garage distinguishes this residence as a thoroughly modern and characteristically suburban residence of the period”.

1.3 Character Defining Elements

The character-defining elements of the Robert D. MacKenzie House include:

- Location amidst a grouping of high quality suburban houses of a similar age, scale, and character,
- Form scale and massing as expressed by its one-and-one-half storey height plus above ground basement, and regular, rectangular plan,
- Steeply pitch side-gabled roof with large, front gable dormer, rear shed roof dormer, closed eaves, and cornice returns on the side elevations,
- Concrete foundations and wood frame construction,
- Exterior features such as the front door with geometric patterned, multi-paned glazing, open front entry porch with curved roof supported by tapered square columns and internal basement garage with hinged, double doors, each with multi-paned glazing,
- Regular, symmetrical fenestration such as: double-assembly, double-hung wooden sash windows with geometric, multi-pane upper sashes over a single pane lower sash; triple-assembly wooden sash windows with segmented arched, fixed center section and double hung windows with multi-pane upper sash to each side; double-hung windows on the side elevations,
- Internal red brick chimney,
- Associated landscape features such as the mature hedges and trees.

2 POLICY FRAMEWORK

2.1 Heritage Designation

The Robert D. MacKenzie House (1922), located at 5634 182 Street, is site#45 on the City of Surrey’s Heritage Register, registered on November 2, 1998.

2.2 Current Zoning Designation

The Robert D. MacKenzie House is currently in an RS zone.



3 CONDITION ASSESSMENT

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.1	Form, Scale & Massing	<p>Viewed from the street side, no significant alterations to the original form and massing have occurred. A gable-roofed addition to the south of the original building is smaller in mass and scale and does not substantially detract from the heritage house.</p> <p>A full-building-width shed dormer has been constructed on the upper floor of the heritage house, as well as a shed-roof rear entrance.</p> <p>The gable-roofed two car garage addition with rooms over is separated from the heritage house by a five-foot breezeway with a stair/landing to the rear shed-roofed entry. The gable roof form, small scale and separation mitigate the impact of the addition on the form, scale and massing</p> <p>The gable roof form, smaller scale mass and separation mitigate the impact of the two storey garage addition on the heritage house.</p>	   






CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.2	Cladding, Fascia & Soffits	The original wood clapboard cladding has been replaced with a contemporary beveled cedar siding, likely when the garage addition was constructed, as the same siding was installed on the garage addition. It is in good condition, with exception of some areas at the base within the splash zone, which have deteriorated. The ivy growth is contributing to this deterioration.	





CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>The 1”X4” T&G clad closed soffit, fascia and barge board are all in good condition.</p>	  
3.1.3	Doors	<p>The original wood frame and panel front door is existing and in fair condition. The original vintage hardware is existing and should be retained.</p>	





CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			
3.1.4	Windows	<p>The original wood double hung windows, with a 6 pane, muntined multi-light upper sash over a single pane lower sash have survived on various elevations as follows:</p> <p>Front (west) elevation: A twinned, wood, double-hung configuration and a window 3-part bank consisting of fixed/arched fixed center light flanked by thin double hung sash has survived on the ground floor and a twinned double hung window set situated in the upper gable.</p>	 



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>The bottom rail open mortise joint has seen some deterioration due to moisture ingress on the single paned sash.</p>	 



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>South Elevation: A similar three part bank as described above is situated on this elevation, around the corner from the front bank. A single double hung window is located further back on this façade. The 2nd floor window within the gable appears to have been a wide double hung, judging by the opening size, and has been replaced with a contemporary casement set with an upper blocked-in section. The original garage doors will be addressed below.</p>	 





CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>North Elevation: A single double hung window has survived on the ground floor. The 2nd floor window within the gable appears to have been a wide double hung, judging by the opening size, and has been replaced with a contemporary casement set with an upper blocked-in section.</p>	






CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		Two original basement multi-paned casement windows have survived in fair condition.	






CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>Rear (east) Elevation: A single double hung window has partially survived on the rear elevation; the upper sash is original and the lower sash has been changed out with a fixed sash with a very high bottom rail. The other opening to the north of this has been set with contemporary windows.</p> <p>The garage addition and rear entry addition have all been set with contemporary fixed and casement wood windows, and similarly for the upper shed dormer addition.</p>	 





CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.5	Roof Surface	The existing asphalt shingle roof is in fair condition and likely has another ten years of service.	
3.1.6	Front Porch	<p>The front porch tapered piers, roof and, likely, the rough framing are original. The landing guard, stair guard, bottom newel post and cladding are alterations/addition and poor quality or deteriorating. The guards are not code compliant.</p> <p>The tapered piers, soffit beam, arched opening with 1"X4" T&G paneling, arched wood fascia molding and original fixture are all in good condition.</p>	 





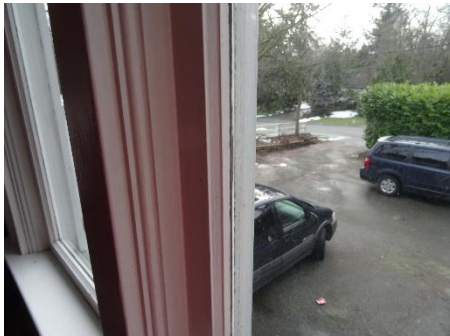
CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>There has been some settlement to the porch structure due to wood frame deterioration. Some remedial structural stabilization will be required.</p> <p>The original landing guards are missing and the existing are not code compliant. There may not have originally been any stair guards and the current guards are not code compliant.</p> <p>The original lead sheet porch roof is intact and in good condition.</p>	  

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.7	Chimney	The existing brick chimney is in poor condition; it appears the top five courses have been rebuilt at some point in the past. The chimney requires repointing and new regletted cap flashing at the roof.	
3.1.8	Entry Stairs	The entry stairs at the main entry are showing signs of settlement and deterioration of the lower replacement treads and risers. The upper treads and risers have been tiled and likely allowing water ingress through to rot the wood sheathing and framing. Similar conditions at the tiled landing are likely. The tread and risers are not code compliant. The guard is broken in areas and not code compliant throughout.	 




CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		The porch cladding is failing and the access is open to rodent/bird ingress.	
3.1.9	Garage Door	The original garage doors have survived, albeit with some exterior overlay alterations. The six-pane muntined upper lights in each door have survived, as has the interior strap hinges and pull. The original exposed frame elements on the exterior have been replaced or overlaid with painted plywood.	 




CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.10	Interior Features	Many of the original interior features have survived and are in good condition. The original single - paneled doors, door hardware, door casing, and window casing and stools, are all intact and in good condition.	  



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			




CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.11	Electrical Distribution	The house has been partially re-wired: there is a new service, new service switchgear/distribution panel and new basement subpanel. However, there is also existing knob-and-tube serving some areas.	




CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			 


CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
		<p>Given the state of wiring in the basement, a circuit check by an electrician is a good idea.</p>	



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.12	Heating/Plumbing	A new warm air furnace and domestic hot water heater have been fairly recently installed.	
Structure		<i>This conservation plan does not include a structural review or analysis, but a few observations of the structural system and material condition will be provided.</i>	



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.13	Structure: Basement/First Floor Framing	An assumed (not visible) reinforced concrete foundation wall supports a wood frame pony wall carrying the perimeter main floor joists. An 8"X10" center beam carries the load at mid-span for the 2"X10" joists centered at 16" o.c. Three 8"X8" posts are located along the beam, centered on the beam joints.	

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			
3.1.14	Wall and Roof Framing	As per standard period practice, the walls are 2"X4" @ 16" o.c. and the roof rafters are 2"X4" at 24" o.c. The roof shows no signs of strain or deflection along the ridge lines.	

3.2 Proposed Conservation Strategies

The Parks Canada Standards & Guidelines for the Conservation of Historic Places in Canada (2010) has been adopted by the Government of B.C. and most Federal agencies, for the assessment of the treatment of historic places. Under the Standards and Guidelines, the conservation strategies proposed for the proposed façade restoration of the Robert D. MacKenzie House may include aspects of preservation, restoration and rehabilitation, as defined below:

Preservation

The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.



Restoration

The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared in a particular period in its history, while protecting its heritage value.

Rehabilitation

The action or process of making possible a continuing or compatible contemporary use of an historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

In reality, all three of these conservation approaches will come into play in the proposed rehabilitation and upgrade of the Robert D. MacKenzie House.

4 UPGRADE PLAN

4.1 Building Retention, Relocation, Selective Demolition and Rear Addition

As part of this heritage development, the original lot will be subdivided into three lots and the original heritage house will be relocated to the rear of the newly created Lot 2 and be rotated 180 degrees to face 182 A Street, as per attached Proposed Lot Division Site Plan. The concept of simply moving the heritage house further back on the lot was explored but was not possible due to conflict with boundary trees which the neighbor did not want disturbed. The original heritage building will be preserved and restored at this new rear location. The existing south addition will be removed and the building moved to a new concrete foundation on the re-zoned Lot 2 facing 182nd A Street. The new foundation will be expanded in the rear to allow for a sensitively massed and articulated rear addition in keeping with the house's existing 1-1/2 storey massing and configuration. Please refer to the attached Proposed 3 Lot Subdivision Plan for the location of the relocated house with proposed rear addition.

4.2 Porch Restoration

The distinctive columns and roof of the existing porch will be retained and preserved and everything below this will be reconstructed in keeping with period detailing and current code requirements.

4.3 Roof Surface Upgrades

The existing asphalt roof shingle roof surface will be replaced with a new cedar sawn shingle roof surface, including the rear addition. The original roof would have been cedar sawn wood shingle, so this will restore this important heritage feature.

4.4 Seismic Upgrade of Pony Wall

The wood frame pony wall supported on the concrete foundation will be seismically upgraded to comply with Part 4 of the B.C. Building Code in terms of resistance to seismically-induced lateral loads and tie-downs.



4.5 HAZMAT Remediation

A HAZMAT report will be conducted and any hazardous materials will be remediated.

4.6 Window Rehabilitation

The three principal facades of the heritage house will be the subject of a window rehabilitation. Surviving original windows will be preserved and reconditioned for optimal performance and endurance, including, as required, new lower sash pulleys and cords, reconditioned or new brass cam closers and pulls. Three original windows on these elevations have been replaced with new casements within the original frames, and these will be restored to their original double-hung sash configurations with the multi-light muntined upper sash to match the original condition. New contemporary wood windows will be installed on the rear elevation.

4.7 Cladding

The existing cladding is a replacement of the original and does not reflect the original heritage character. The existing beveled siding will be replaced with new cedar channel siding or sawn shingle siding, whichever is determined to have been the original siding, based on site investigation at the time of the existing siding removal. Nail patterns, remnant siding, or paint ghosts will likely indicate the original cladding system. New 5" window and door casings will be installed, back-caulked to the new siding system. This will restore this dominant character-defining heritage feature.

4.8 New Electrical Service

A new electrical service connection will be made to the building and the service and distribution switchgear upgraded as required.

4.9 Chimney Restoration

The chimney will be retained and repointed. The original corbelled cap will be restored.

4.10 Front Door

The existing, likely original, front door will be retained and preserved.

4.11 Exterior Painting

The new exterior cladding, fascia, corner trim, window & door trim, window frame, door, and water table will be painted in an off-white. Clapboard above the water table will be painted in a light colour, to be selected by a heritage consultant, or selected from Benjamin Moore's "Historical Vancouver True Colors" palette.

4.12 Rainwater Evacuation System

Installation of a new gutter on all roof eaves, including front entry porch, new downpipes directing rainwater to new splash pads will be provided.

4.13 Porch Pendant Fixture

The existing original or early porch pendant lighting fixture will be retained and preserved.

4.14 Landscape Features

The existing mature front hedge will be retained with the allowance for a cut-out for a new driveway for proposed Lot 3, on the north side of the 182nd Street frontage. The mature trees along the south property line of proposed Lot 4 will be kept if possible, following a review of necessary/potential root and limb pruning requirements to allow the new construction. The other proposed tree removals are indicated on the attached Proposed 4 Lot Subdivision Plan.

5 CONSERVATION STANDARDS

The following are the standards that define the principles of good conservation practice, and an assessment of how they relate to the proposed interventions for the Robert D. MacKenzie House.

CONSERVATION STANDARD		CONSERVATION STRATEGY
GENERAL STANDARDS FOR ALL PROJECTS		
1	<i>Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.</i>	The original building will be restored to its original configuration with the removal of the existing attached garage and relocated to a newly created subdivided lot to the east of its current location on the rear street [182 A Street]. Views to the rear addition, which is proposed in a sensitive massing manner, will be at a fairly acute angle from the new street location and should not significantly diminish the heritage building's heritage character. Although the building is being relocated to a new rear lot, the mature front hedge will be largely kept, with openings allowed only for two driveways. Although this is a diminishment of the original heritage context for the house, it is remaining close to its original location and is deemed a reasonable compromise for retention of this important heritage house.
2	<i>Conserve changes to a historic place, which over time, have become character-defining elements in their own right.</i>	The south addition has not acquired a significant heritage value and its removal improves the overall character value of the Robert D. MacKenzie House.
3	<i>Conserve heritage value by adopting an approach calling for minimal intervention.</i>	The proposed interventions will restore the house to its early appearance or allow sensitive rehabilitation in keeping with the building's heritage value.
4	<i>Recognize each historic place as a physical record of its time, place & use. Do not create a false sense of historic development by adding elements from other</i>	Proposed interventions will comply with this standard, but also allow respectful rehabilitation to meet modern standards for



	<i>historic places or other properties, or by combining features of the same property that never coexisted.</i>	its continued use as a residence.
5	<i>Find a use for a historic place that requires minimal or not change to its character-defining elements.</i>	The proposed use as a residence allows for minimal intervention to the buildings three principal facades. Some interior layout changes are planned, but interior features such as window casings, baseboards and door casing will largely survive.
6	<i>Protect, and if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.</i>	The wood frame basement pony wall will be seismically upgraded to meet Part 4 of the BC Building Code.
7	<i>Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.</i>	This report identifies deficiencies and proposed interventions which retain or restore character-defining elements, and allow respectful rehabilitation to allow future use. A new cedar shingle roof surface and cedar channel siding or shingle cladding will be installed to appropriately restore these important removed envelope features.
8	<i>Maintain character-defining on an on-going basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.</i>	A maintenance plan in compliance with this standard should be implemented.
9	<i>Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.</i>	This conservation plan will provide guidance on future interventions to ensure maintenance of the building's heritage character-defining elements. Implementation measures will allow for the oversight of an independent heritage consultant.
ADDITIONAL STANDARDS RELATING TO REHABILITATION		
10	<i>Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</i>	The proposed intervention approach will comply with this Standard.
11	<i>Conserve the heritage value and character defining elements when creating any new additions to a historic place and any related new construction.</i>	The new rear addition is sensitively massed to allow the heritage house to retain the dominant massing design. It will



	<i>Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.</i>	be clad in a slightly different cladding materials to allow discernibility from the heritage house cladding.
12	<i>Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.</i>	The rear addition could be removed and the original building rear façade restored to its original condition.
ADDITIONAL STANDARDS RELATING TO RESTORATION		
13	<i>Repair rather than replace character-defining elements from the restoration period. Where character defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements.</i>	The proposed intervention approach will comply with this Standard.
14	<i>Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.</i>	The heritage features remain largely intact. Any new bricks used in the chimney reconstruction should match in module, colour and texture and new brick should be used in discreet locations, salvaged brick to be used in more prominent locations. Surviving windows provide a good template for the new window replacements.

6 REFERENCES

Canadian Register of Historic Places. *Old Anniedale School*. Retrieved March, 2016 from <http://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=11420>

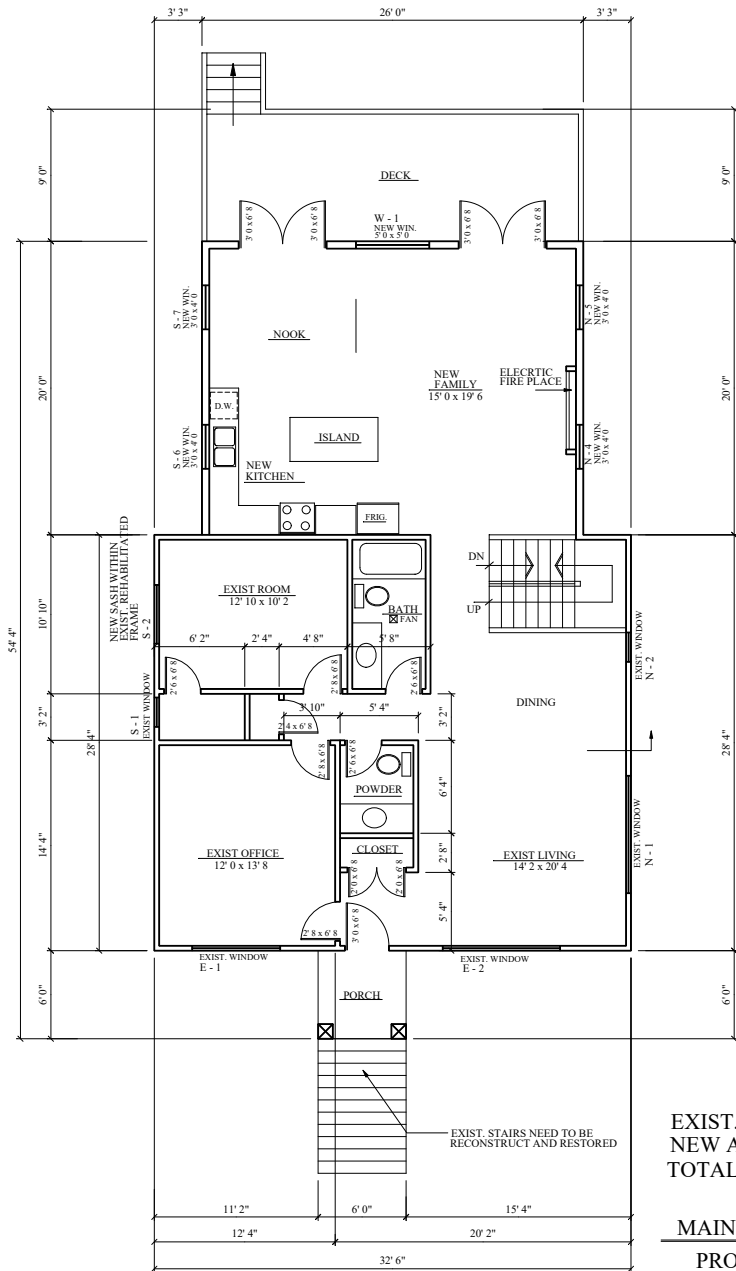
Parks Canada (2010). *Standards and Guidelines for the Conservation of Historic Places in Canada*. Her Majesty the Queen in Right of Canada.



7 APPENDICES

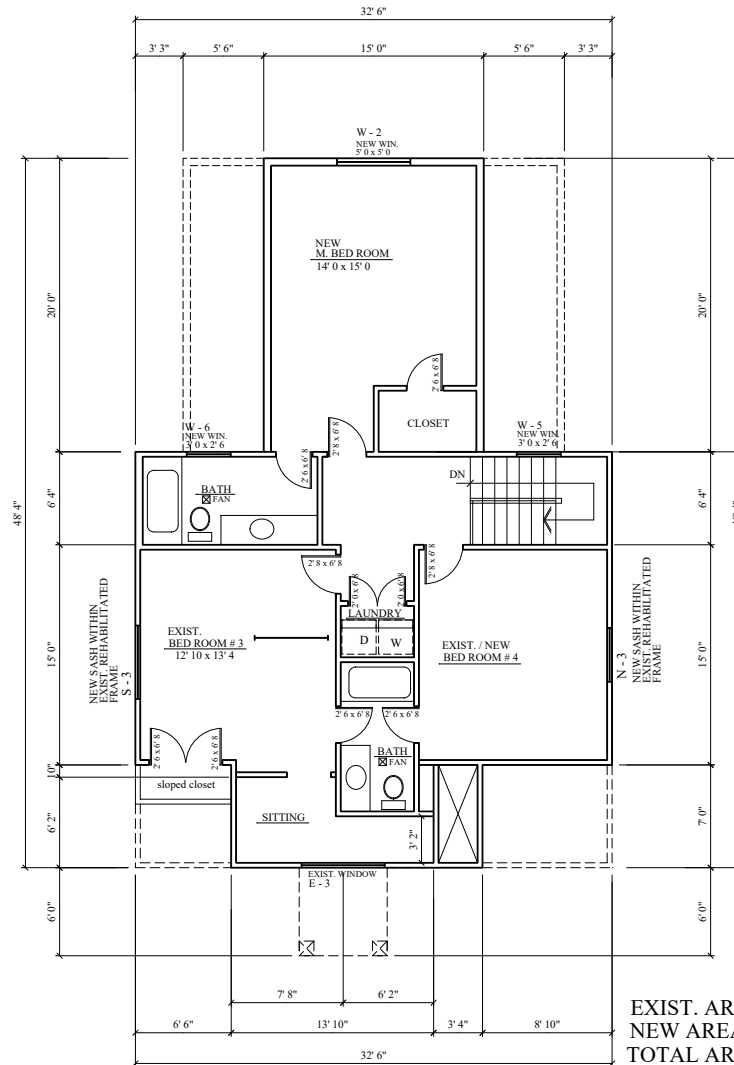
7.1 Rehabilitation Drawings

7.2 Window Schedule



MAIN FLOOR PLAN
 PROPOSED PLAN

EXISTING HOUSE
 PROPOSED ADDITION



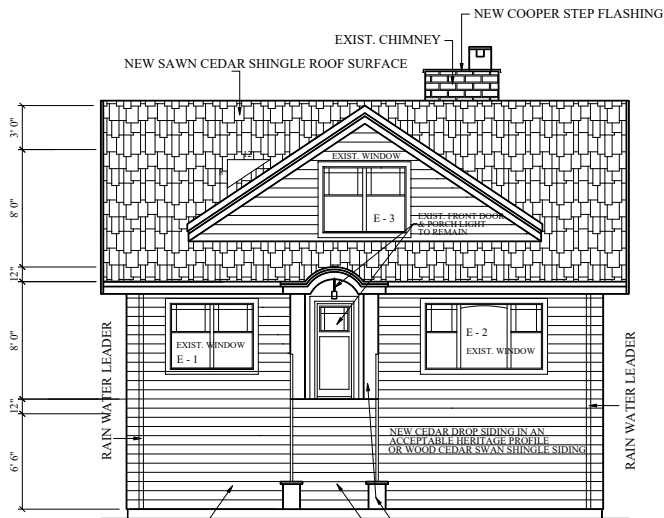
SECOND FLOOR PLAN
 PROPOSED PLAN

EXISTING HOUSE
 PROPOSED ADDITION

Dec 11 2019

THESE PLANS CONFORM TO
 B.C.C.A. 2018 EDITION

Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mstcjdhot@hotmail.com			
PROJECT	NO. 182	DATE	11/27/19
DESIGNER	KAMAL	DATE	11/27/19
DATE	11/27/19	DATE	11/27/19
SCALE	1/4" = 1'-0" UN.	DATE	Apr 15 2018
PROJECT	PROPOSED FLOOR PLANS	SCALE	1/4" = 1'-0" UN.
PROJECT	5634 - 182 Street, Surrey B.C.	SCALE	1/4" = 1'-0" UN.
PROJECT	5634 - 182 Street, Surrey B.C.	SCALE	1/4" = 1'-0" UN.
PROJECT	5634 - 182 Street, Surrey B.C.	SCALE	1/4" = 1'-0" UN.

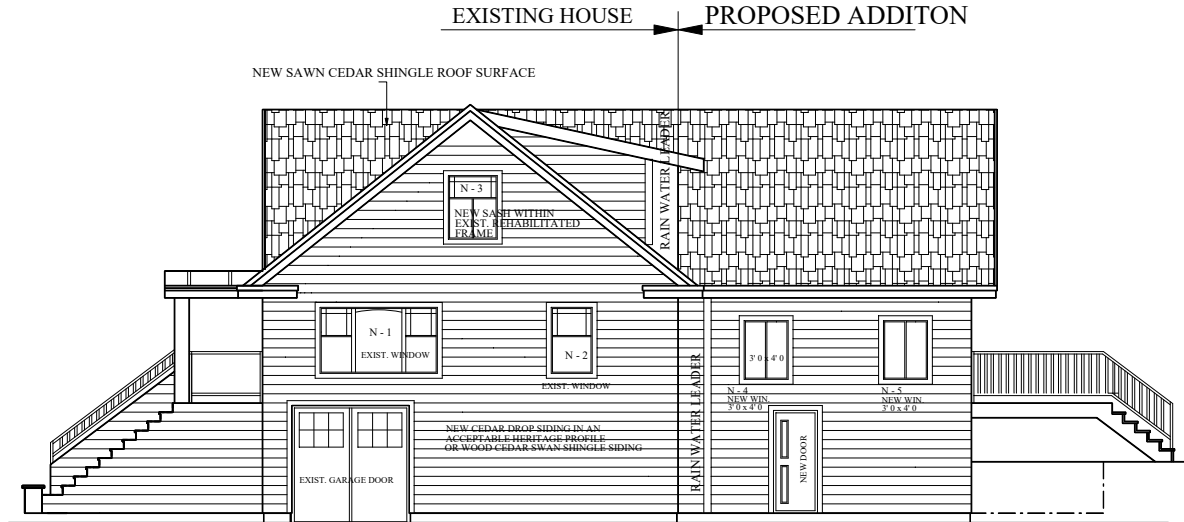


FRONT ELEVATION EAST

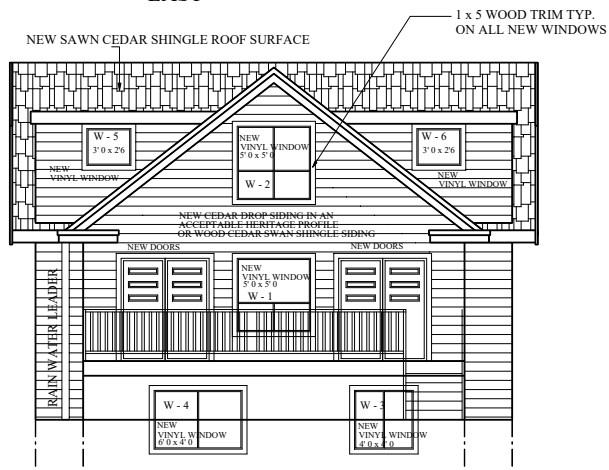
NEW CEDAR SIDING DROP CLADDING

EXIST. FRONT PORCH PIERS WILL BE RETAINED AND RESTORED

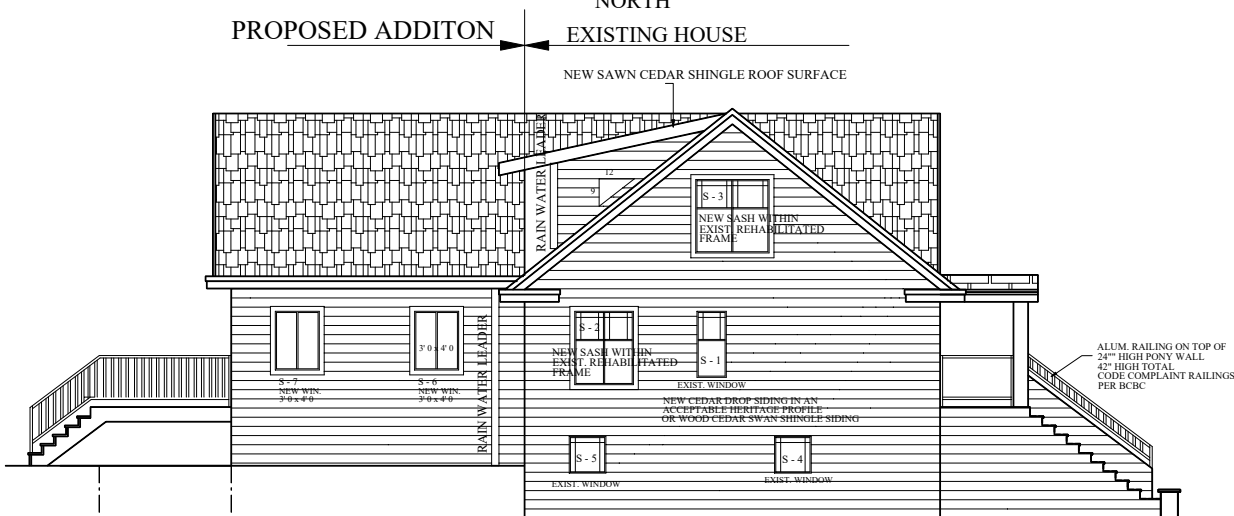
EXIST. STAIRS NEED TO BE RECONSTRUCT AND RESTORED



RIGHT SIDE ELEVATION NORTH



REAR ELEVATION WEST



LEFT SIDE ELEVATION SOUTH

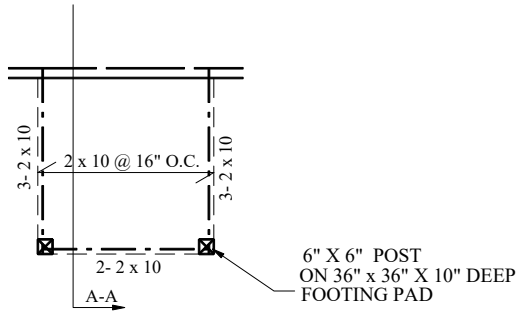
NOTE:

- EXISTING GUTTERS ON HERITAGE HOUSE TO REMAIN
- NEW RAIN WATER LEADERS TO LAND ON SPLASH PADS

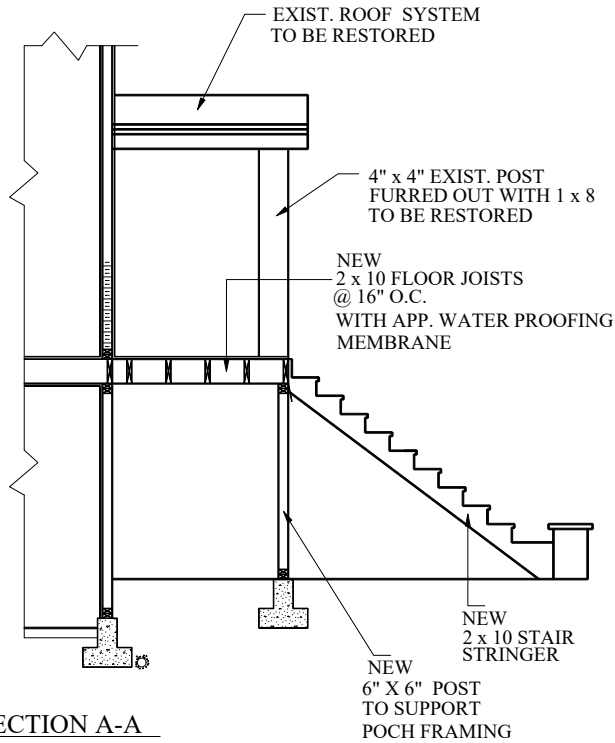
Dec 11 2019

THESE PLANS CONFORM TO B.C.C. 2018 EDITION

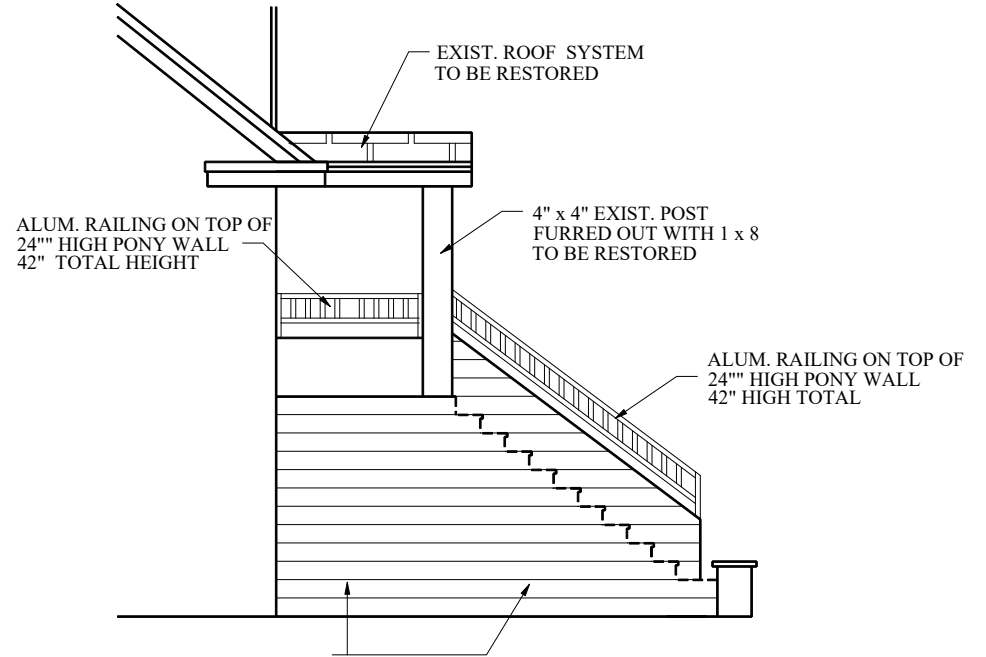
Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: mvtjehot@hotmail.com			
TITLE	PROPOSED ELEVATIONS		
DRAWN	5634 - 182 Street, Surrey B.C.		
PROJECT	KAMAL	DATE	11/27/19
DESIGNED BY	NAVTEJ	SCALE	1/4" = 1'-0" UN. Apr 15 2018
DATE		APP. BY	A-007



PARTIAL POCH FLOOR PLAN



SECTION A-A



SINCE FRAMING MEMBERS SUPPORTING PORCH ARE ROTTEN
 PORCH WILL BE TEMPRARY SUPPORTED AND
 FRAMING BELOW PORCH WILL BE RECONSTRUCTED
 WITH WALL CALLDING TO MATCH THE MAIN HOUSE



PARTIAL ELEVATION

Dec 04 2019



THESE PLANS CONFORM TO
 B.C.B.C. 2018 EDITION



Astonish Design & Detailing Ltd. 19732 - 71B Ave. Langley B.C. PH: 1 604 539 1740 FAX: 1 604 539 1741 CELL: 1 604 728 0389 E-MAIL: navtej@hotmail.com			
TITLE	PORCH RESTORATION DRAWING		
ADDRESS	5634 - 182 Street, Surrey B.C.		
DESIGNER	KAMAL	CHECKED	NAVTEJ
DATE	12/04/2019	SCALE	1/2" = 1'-0" UN.
DATE	Apr 15 2018	SCALE	1/4" = 1'-0" UN.
DATE	Apr 15 2018	SCALE	1/4" = 1'-0" UN.



5634 182nd Street, Surrey – Window Schedule

Window ID	Location Description	Conservation Treatment	Image
W1	West elevation – Main Fl	Surviving heritage windows to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers and pulls are installed and operational.	
W2	West elevation – Main Fl	Surviving heritage windows to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers and pulls are installed and operational.	
W3	West elevation – 2nd Fl	Surviving heritage window to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers	

		<p>and pulls are installed and operational. Potential replacement of lower sash if open rail/stile joint shows internal rot.</p>	
S1	South elevation – Main Fl	<p>Surviving heritage window to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers and pulls are installed and operational.</p>	
S2	South elevation – Main Fl	<p>Surviving heritage window to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers and pulls are installed and operational.</p>	

			
S3	South elevation – 2nd Fl	New wood double hung , single-glazed window with a muntined upper sash to match the original windows in the house, frame to be rehabilitated with new stops and reconditioned sill surface	(Above Image)
N1	North Elevation – Main Fl	Surviving heritage window to be retained: prepare, paint and selective replacement of failed glazing putty. Recondition weight and pulley system for ease of operation. Ensure cam closers and pulls are installed and operational.	

N2	North Elevation – Main Fl	New twinned wood double hung, single-glazed, window with a muntined upper sash to match the original windows in the house, frame to be rehabilitated with new stops and reconditioned sill surface	
N3	North Elevation – Second Fl	New twinned wood double hung, single-glazed, window with a muntined upper sash to match the original windows in the house, frame to be rehabilitated with new stops and reconditioned sill surface	

N4	North Elevation – basement	Surviving wood heritage casement window to be retained: prepare, paint and selective replacement of failed glazing putty	
N5	North Elevation – basement	Surviving wood heritage casement window to be retained: prepare, paint and selective replacement of failed glazing putty	
E1	East Elevation – Main Fl	New contemporary wood window on rear elevation	
E2	East Elevation – 2 nd Fl	New contemporary wood window on rear elevation	
E3	East Elevation – Basement	New contemporary wood window on rear elevation	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0354-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-038-519
Lot 2 Section 8 Township 8 New Westminster District Plan 3893

5634 - 182 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
 - (a) In Section H of Off Street Parking requirements of the RF-13 Zone, double side-by-side garages are permitted on proposed Lots 1 and 3.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

182 Street

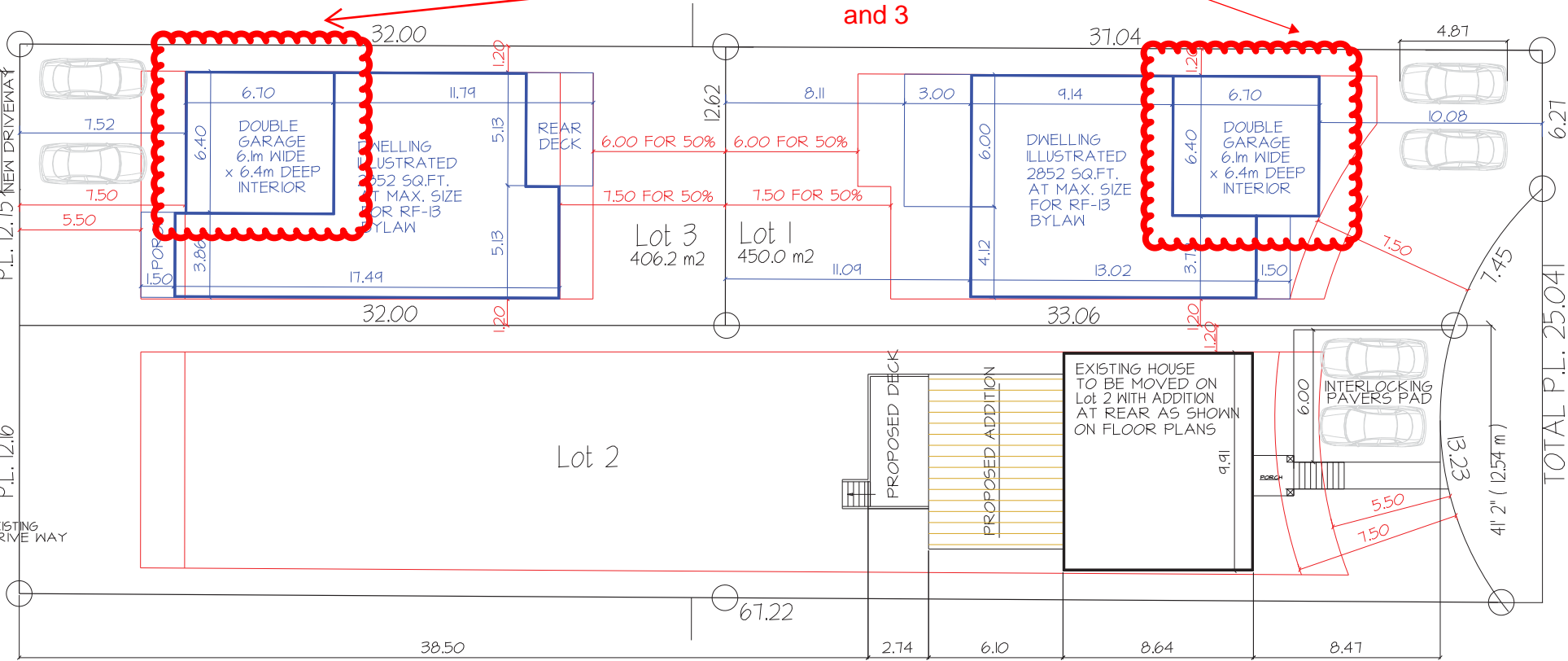
TOTAL P.L. 24.914

P.L. 12.16

EXISTING DRIVEWAY

CUTOUT NEW DRIVEWAY

P.L. 12.75



To permit double side-by-side garages on proposed Lots 1 and 3

182 A Street

TOTAL P.L. 25.041



DRAWN: TYNAN CONSULTING LTD.
NOVEMBER 14, 2019