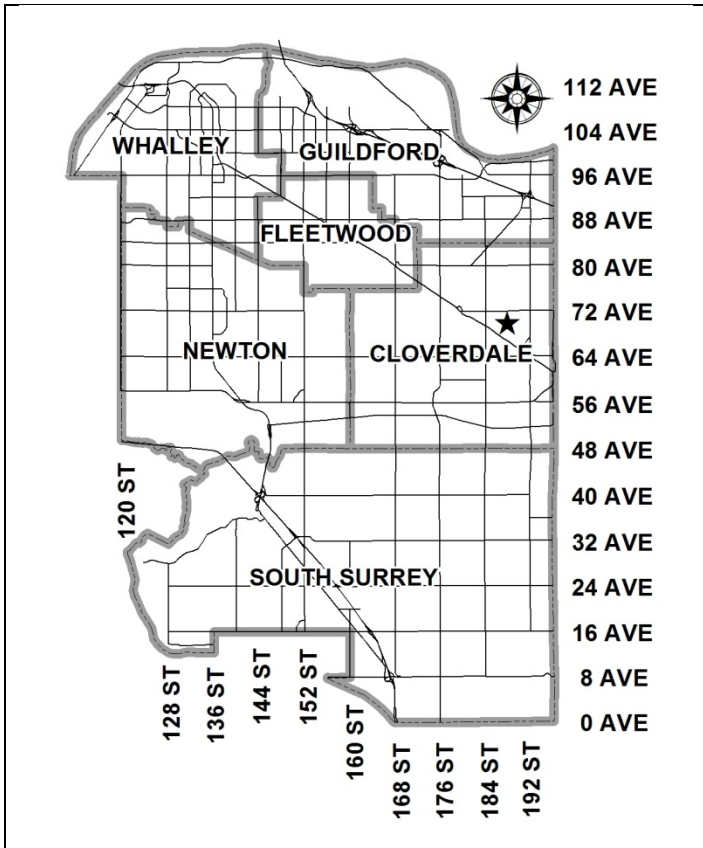


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0334-00

Planning Report Date: March 12, 2018



PROPOSAL:

- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 14 townhouse units in East Clayton.

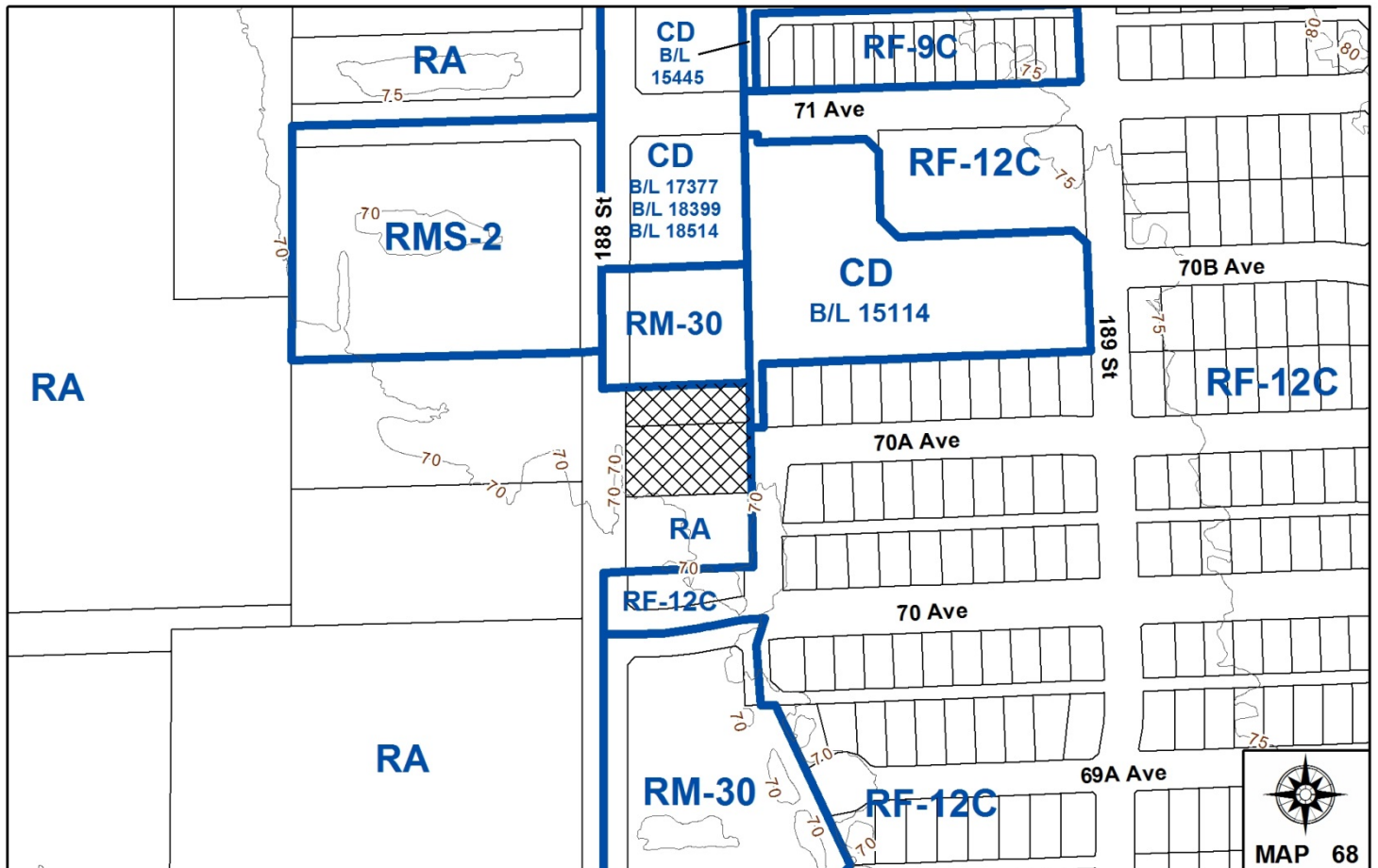
LOCATION: 7048 - 188 Street

7030 - 188 Street

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: 22 - 45 upa (High Density)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit No. 7906-0334-00 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the minimum front and side yard setbacks of the RM-30 Zone.

RATIONALE OF RECOMMENDATION

- Complies with the 22 - 45 upa (High Density) designation in the East Clayton Neighbourhood Concept Plan (NCP).
- The proposed density and building form are appropriate for this part of East Clayton and are consistent with the recently-approved townhouse developments directly north of the subject site.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the East Clayton NCP and are reflective of the setbacks of other recently approved townhouse projects in the area. Appropriate yard space and landscaping treatments have been achieved.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing;
2. Council approve the applicant's request to eliminate the required indoor amenity space;
3. Council authorize staff to draft Development Permit No. 7916-0334-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7916-0334-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and from 7.5 metres (25 ft.) to 3.9 metres (13 ft.) to the balcony;
 - (b) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and from 7.5 metres (25 ft.) to 3.8 metres (12.5 ft.) to the balcony; and
 - (c) to reduce the minimum south side yard setback of the RM Zone from 7.5 metres (25 ft.) to 3.3 metres (10 ft.) to the principal building.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;

- (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (i) the applicant adequately address the impact of no indoor amenity space;
- (j) registration of a shared access easement with the development to the north at 7080 – 188 Street; and
- (k) registration of a statutory right of way for public access within the multi-use pathway.

REFERRALS

- Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.
- School District: Projected number of students from this development:
 3 Elementary students at Hazelgrove Elementary School
 1 Secondary students at Clayton Heights Secondary School
 (Appendix IV)
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2021.
- Parks, Recreation & Culture: The applicant is required to pay NCP amenity contributions in keeping with the East Clayton NCP.
- Surrey Fire Department: 1) Fire department access route shall be designed in conformance with the BC Building Code.
- 2) If applicable, outdoor storage receptacles, such as dumpsters, used for combustible materials shall be located so that they do not create an undue fire hazard to surrounding buildings. Measures such as those described in NFPA 80A, Protection of Buildings from Exterior Fire Exposures, must be taken to ensure that buildings are protected from fires in outdoor receptacles containing combustible materials.
- 3) A Building Permit may not be issued until a Construction Fire Safety Plan has been submitted, reviewed and accepted by the Fire Department.

SITE CHARACTERISTICS

Existing Land Use: Two (2) single family homes.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Recently constructed townhouses	Urban/22-45 u.p.a High Density	RM-30
East (Across 188A Street):	Single family small lots	Urban/10-15 u.p.a Medium Density	RF-12C
South:	Single family homes on large suburban lot	Urban/22-45 u.p.a High Density	RA
West (Across 188 th Street):	Clayton Dog Park	Urban/Park	RA

DEVELOPMENT CONSIDERATIONS

- The subject site, at 7030 and 7048 - 188 Street, is located in East Clayton and is approximately 0.28 hectares (0.68 acres) in area. There are two (2) single family homes on the site.
- The subject site is designated "Urban" in the Official Community Plan (OCP), 22-45 u.p.a (High Density) in the East Clayton Neighbourhood Concept Plan (NCP) and is zoned "One-Acre Residential Zone (RA)".
- The site is located along the east side of 188 Street and along the western edge of the East Clayton NCP. Most of the NCP has been built out around it, with the exception of the properties directly south (7004 and 7014 - 188 Street).
- A recently constructed townhouse project is located directly north of the site. It is zoned RM-30 and was approved under Development Application No. 7912-0122-00 in July, 2013.
- Single family small lots are located directly east and were approved under Development Application No. 7902-0240-00 in July 2003.

Current Proposal

- The applicant is proposing to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" in order to allow the development of fourteen (14) townhouse units.
- The applicant is proposing a Development Variance Permit (DVP) to reduce the minimum building setbacks along the front and side lot lines (see By-law Variances section below).

- The net density for the proposed 14 units townhouse development is 50 units per hectare (21 u.p.a) with a floor area ratio (FAR) of 0.90 which are below the maximum unit density of 30 u.p.a and maximum FAR of 1.0 as outlined in the RM-30 Zone. The proposed density is slightly below the "22 - 45 upa (High Density)" range outlined in the East Clayton NCP.
- The site is situated partially next to an existing multi-use pathway (MUP) that runs north/south along a portion of the east property line. This MUP is situated on private properties, and within the strata developments to the north, with statutory rights of way registered for access. A similar statutory right of way will be required as part of the development application to extend the MUP further south.

PRE-NOTIFICATION

Pre-notification letters were sent on November 24, 2017 and staff received a total of four (4) responses, by email and phone. A summary of these responses is as follows (staff comments are in italics):

- Concern regarding the existing parking issues in East Clayton and the additional pressure on parking resulting from the proposed development.

(The project proposes 28 residential parking stalls and three (3) visitor stalls which satisfy the zoning by-law requirement of 2 parking stalls per dwelling unit and visitor parking rate of 0.2 stalls per dwelling unit. The provided parking will accommodate future residents, and visitors. The designs of the townhouse units do not accommodate secondary suites and no additional parking requirements are anticipated.)

- Concern regarding the tandem parking configuration from the Cloverdale Community Association, as tandem garages are sometimes not used as intended.

(The project consists of 14 townhouse units. Ten (10) of the units have double side-by-side garages and four (4) have tandem parking. The units with tandem parking consist of a single garage and a parking pad. The RM-30 Zone allows for a maximum 50% of the total parking requirement as tandem parking. The four (4) units with tandem parking represent 29% of the total parking provided which is below the maximum allowable under the zone.)

- Concern regarding schools capacity.

(The Clayton area is one of the fastest growing communities. Two new elementary schools in the catchment are scheduled to open in September, 2019 and September, 2020. A new high school is scheduled to open in September, 2018. The Ministry has applied for additional funding for added capacity to Clayton Elementary and is waiting for approval.)

- Concern regarding the limited public transit in the area.

(TransLink is aware of growth in the Clayton area. In September 2017 Translink introduced a new transit route – the 372 Clayton Heights/Langley Centre which provides service on 72 Avenue and 184 Street in Clayton. The new route connects people to transit services on Fraser Highway and at Langley Centre. Service operates every 30 minutes from early morning to the evening 7 days a week.

In addition to the new 372 route, TransLink improved service on the existing 502 Surrey Central Station/Langley Centre. In April 2017 service was improved Monday to Fridays during the AM and PM peak to reduce overcrowding. Service was also extended on weekdays and Saturdays to 2AM in the morning to provide people with access to transit service later in the evening.

TransLink also has plans to introduce a new B-Line service on Fraser Highway in 2019. The new Fraser Highway B-Line will provide high frequency, high capacity, limited stop service using articulated 60 ft. buses. Buses are proposed to operate every 8 minutes during peak periods and every 10 minutes during the off-peak. The new B-Line will increase capacity on the corridor by 80%. It will be 20% faster than existing local services and reduce wait times by up to 50%. The B-Line is proposed to have stops in the Clayton area at 64 Avenue, 188 Street and 184 Street.)

- Concern regarding insufficient public facilities in the area.

(A new Clayton Community Centre is currently under Development Application No. 7917-0075-00, located in Clayton Park, close to the subject site along 72 Avenue and 188 Street. The targeted date for opening is summer, 2020.)

- Concern regarding illegal secondary suites in the area.

(Council endorsed the creation of the Multiple Suite Compliance Program, as proposed by staff in December, 2017. The projected timeline for the program to be established is one year. This will allow time to establish a comprehensive plan to address multiple suites in the area.)

- Comments from the property owner at 7014 – 188 Street, directly south of the subject site, regarding the impact to the development potential of his/her property as well as some questions regarding potential drainage impacts to his/her property.

(A development concept plan has been prepared, which is shown in the preliminary drawings, attached as Appendix II and on page number DP101. The concept demonstrates this property has been taken into consideration during the development application review process and is not negatively impacted by the proposed development. There are no anticipated drainage impacts to the property.)

DESIGN PROPOSAL AND REVIEW

- The proposed 14 units townhouse project includes four (4), three-storey buildings with units fronting the streets/walkways and garages accessed internally. The project proposes a high quality design with a strong sense of individuality between unit types.
- Ten (10) of the units have double garages, 4 units have tandem parking with single garages and an additional outdoor parking pad.
- The proposed building materials include hardie board siding with wood texture and hardie board flat panels.

- Natural wood trim is included as an accent material around doors and portion of the balconies. The balconies include tempered glass with black metal frame.
- The colour palette is a combination of white, dark grays and natural wood colours.
- Each proposed townhouse includes a patio at grade and a second-floor balcony.

Vehicle Access and Parking

- Vehicle access to the subject site will be from a shared drive-aisle (easement) off of 188 Street and shared with the townhouse development directly north of the subject site and approved under Development Application No. 12-0122-00.
- The subject property will be providing an additional 1.5m (5 ft.) width and a vehicular access easement to complete this drive-aisle.
- Alternate fire access is provided on the east portion of the site to 70A Avenue. This fire access will be accessible to fire vehicles while including low landscaping.
- The required 28 resident parking stalls and the required three (3) visitor parking stalls are provided on site. Ten (10) of the units have double garages and four (4) have tandem parking.

Amenity Spaces

- The RM-30 Zone requires that 42 sq. m (450 sq. ft.) of indoor and outdoor amenity space be provided on the site (3.0 sq. m ((32 sq. ft.)) per dwelling unit.
- The applicant is proposing to provide 53 sq. m (570 sq. ft.) of outdoor amenity space, which exceeds the requirement under the RM-30 Zone.
- The proposed outdoor amenity area is central to the site and will consist of an open grass play area and a hardscaped picnic area. Additional details are included below in the Landscape section.
- The applicant is not proposing to provide any indoor amenity space, whereas 42 sq. m (450 sq. ft.) is required under the RM-30 Zone.
- The applicant's rationale for not providing indoor amenity area is given the total number of units, 14, the size of the amenity space (42 sq. m (450 sq. ft.)) would not provide for a functional amenity and gathering space.
- The applicant will provide a monetary contribution of \$16,800 (based on \$1,200 per unit) in accordance with City Policy to address this shortfall.
- A monetary contribution in-lieu of indoor amenity space for projects with this number of units is typically considered to have merit.

Landscaping:

- The landscape plan shows a total of 43 trees, and 35 replacement trees, to be planted throughout the subject site including Dogwood, Beech, Magnolia, Maple, Hornbeam and others.
- A significant number of shrubs and ground cover species are proposed throughout the site including Japanese Azalea, Pin Rhododendron, Laurel, Hydrangea and others.
- The applicant proposes a 4.5m (15 ft.) wide landscaped area with patios adjacent to the west front yards along 188 St and most of the north front yard.
- A 4.0m (13 ft.) wide landscaped area is proposed along 188A Street adjacent to the MUP. This is consistent with the existing townhouse developments to the north and south and provides for an amenity as well as additional storm water management.
- The outdoor amenity area is central to the site and includes an open lawn area as well as a children's bench, play area and seating areas for adults.

TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Poplar, White	1	1	0
Plum	1	1	0
Coniferous Trees			
Norway Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	3	3	0
Additional Trees in the proposed Open Space Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		35	
Total Retained and Replacement Trees		35	

Contribution to the Green City Fund	NA
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- The Arborist Assessment states that there are a total of 3 protected trees on the site, excluding Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Off-site tree no. OS1 is proposed for removal as it is within the disturbance zone of the construction of the MUP and parking area along 188A Street. A letter of authorization for the removal of the tree has been provided.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 6 replacement trees on the site. The applicant is proposing 35 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 188 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Dogwood, Beech, Magnolia, Maple, Hornbeam and others.
- In summary, a total of 35 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund required.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 14, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the East Clayton Neighbourhood Concept Plan and is consistent with the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The maximum allowable density in the East Clayton Neighbourhood Concept Plan is 22-45 u.p.a and the proposed density is 20.58 u.p.a. • Shared gardening beds are proposed as part of the site landscaping plan.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • A swale that runs north-south along the east property line is proposed. It will be adjacent to the multi-use pathway.

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The proposal incorporates a public walkway across the site that connects 188 St. to the public multi-use pathway that runs north-south along the east property line.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> CPTED principles have been applied. The outdoor amenity incorporates play and recreation space for both adults and children.
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> N/A

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- (a) to reduce the minimum west front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and from 7.5 metres (25 ft.) to 3.9 metres (13 ft.) to the balcony;
- (b) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and from 7.5 metres (25 ft.) to 3.8 metres (12.5 ft.) to the balcony; and
- (c) to reduce the minimum south side yard setback of the RM Zone from 7.5 metres (25 ft.) to 3.3 metres (10 ft.) to the principal building.

Applicant's Reasons:

- To design the units that orient the street and achieves a well-designed site plan.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5m (25 ft.) from all property lines. The applicant is proposing reduced setbacks along the north, south and west property lines.
- The reduced setbacks along the west property line for the front yards of the proposed townhouse units will create an appropriate urban, pedestrian-friendly streetscape.
- The proposed north side yard setback allows adequate room for landscaping while keeping uniformity with the adjoining buildings.

- The proposed south side yard setback is appropriate since the property directly south of the subject site is also designated for townhouses which would have similar setbacks.
- The reduced setbacks are in keeping with recently approved townhouse projects immediately north and south of the subject site and in the Clayton area.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7916-0334-00
Appendix VII.	Aerial Photo

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by WG Architecture and Viewpoint Landscape Architects, respectively, dated March 7, 2018.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

IM/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		2,948 sq. m
Road Widening area		473 sq.m
Undevelopable area		N/A
Net Total		2,475 sq. m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	35%
Paved & Hard Surfaced Areas	790	1055
Total Site Coverage		1845
SETBACKS (in metres)		
Front (North)	7.5	3.8
Rear (South)	7.5	3.3
Side #1 (West)	7.5	3.9
Side #2 (East)	7.5	7.5
BUILDING HEIGHT (in metres/storeys)		
Principal	13m	12.5m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		2
Three Bedroom +		12
Total		14
FLOOR AREA: Residential		2,046
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		2,046

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	30	18.23
# of units/ha /# units/acre (net)	30	23
FAR (gross)		
FAR (net)	1.00	0.83
AMENITY SPACE (area in square metres)		
Indoor	42	0
Outdoor	42	118
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		4
3-Bed		24
Residential Visitors		3
Institutional		
Total Number of Parking Spaces		31
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		30
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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14 UNIT TOWNHOUSE PROJECT 7030/7048-188 ST, SURREY, BC

DRAWING LIST

- DP001 TITLE SHEET
- DP002 SITE DETAILS, STREET INTERFACE
- DP003 COLOR SCHEME

- DP101 CONTEXT PLAN
- DP102 BASE PLAN
- DP103 SITE PLAN
- DP104 STREETScape ELEVATIONS

- DP201 FLOOR PLANS BUILDING 1
- DP202 FLOOR PLANS BUILDING 2
- DP203 FLOOR PLANS BUILDING 3
- DP204 FLOOR PLANS BUILDING 4

- DP301 ELEVATIONS BUILDING 1
- DP302 ELEVATIONS BUILDING 2
- DP303 ELEVATIONS BUILDING 3
- DP304 ELEVATIONS BUILDING 4

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Project Title:
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 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

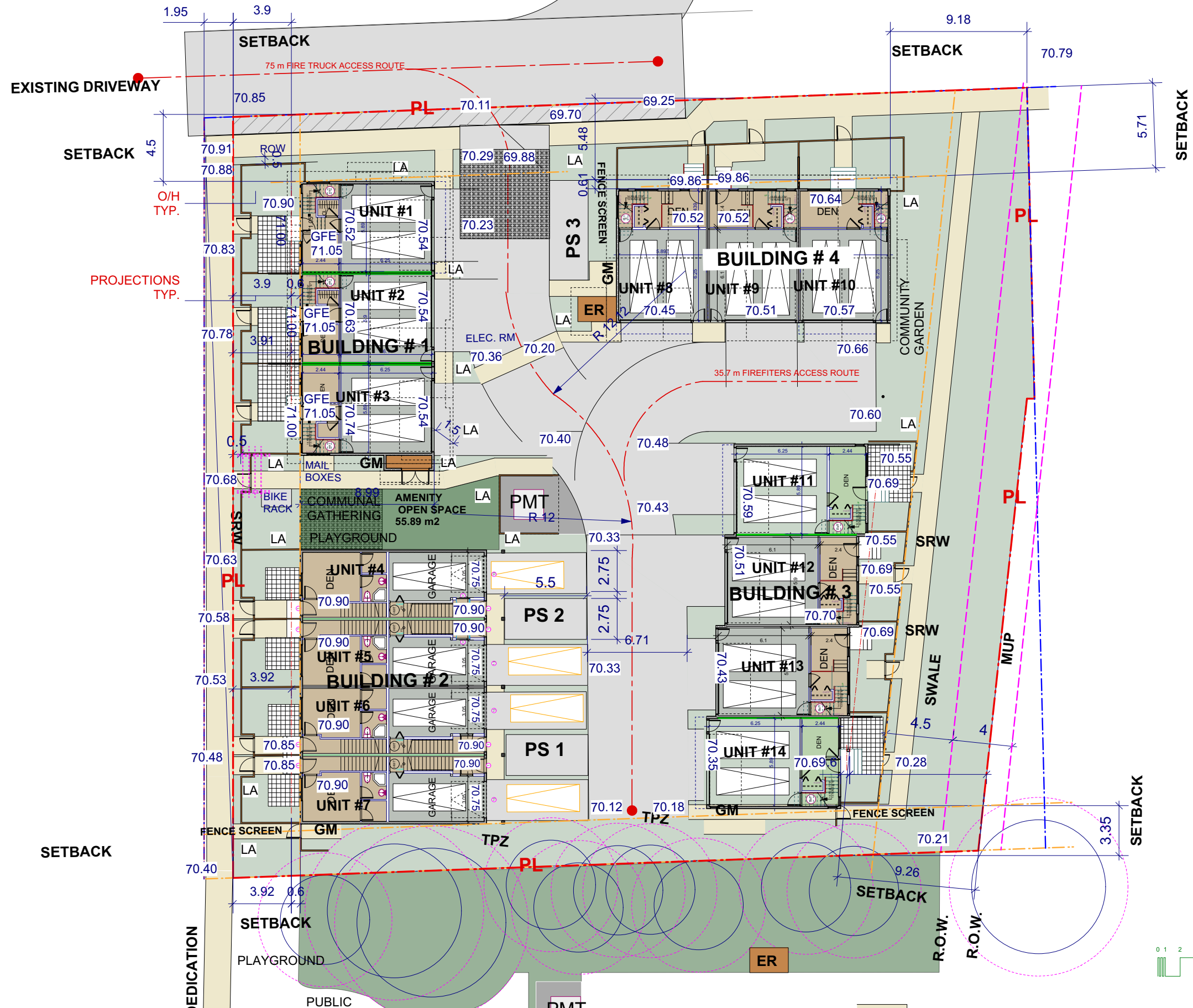
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Approved By: WG	

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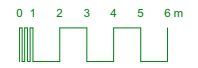
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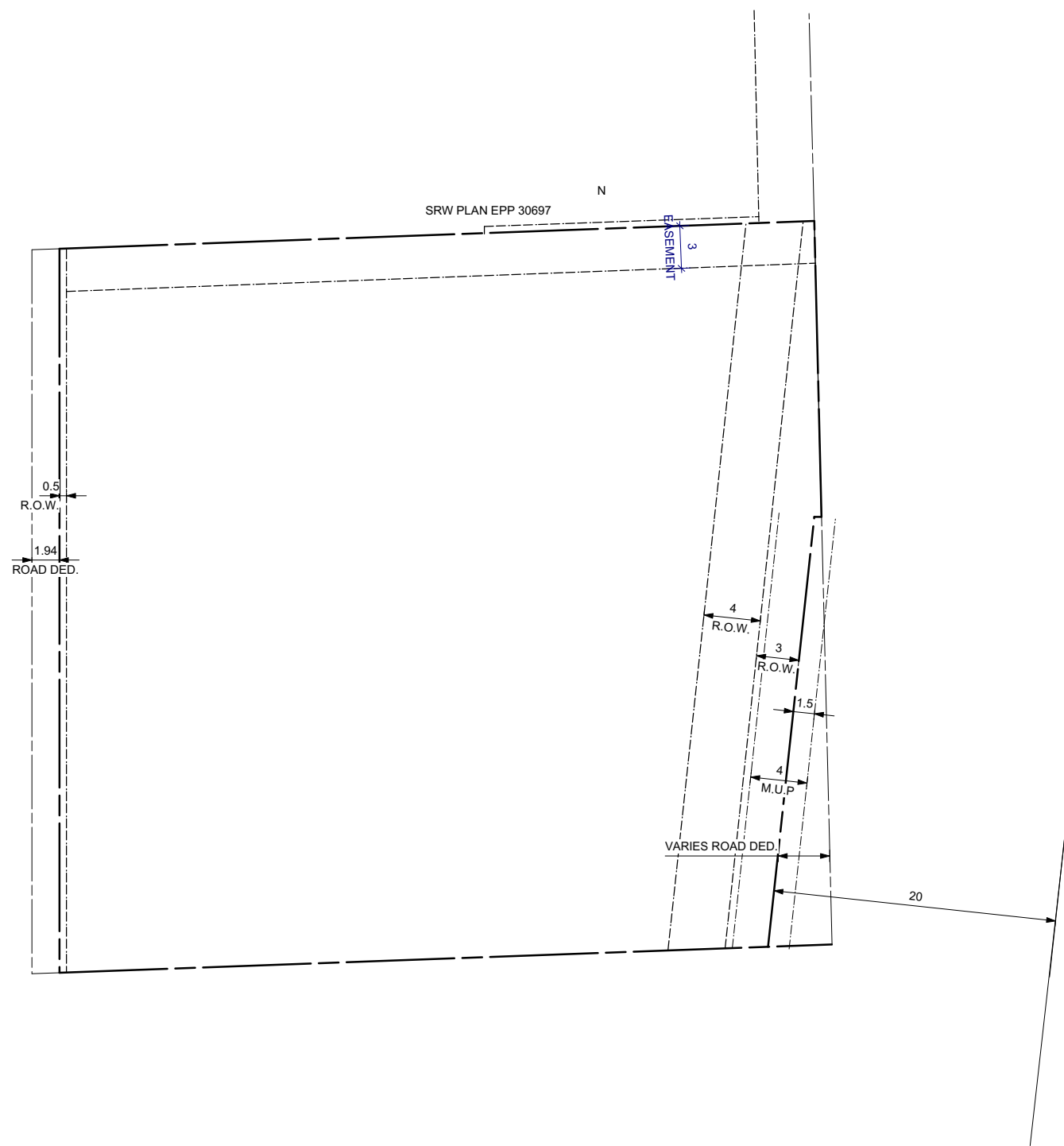
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 7030/7048-188 ST
 SURREY, BC
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Drawing Title:
SITE PLAN

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1 BASE PLAN
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1616

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01	20/06/17	Setbacks revised




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 7030/7048-188 ST
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Project Title:
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 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

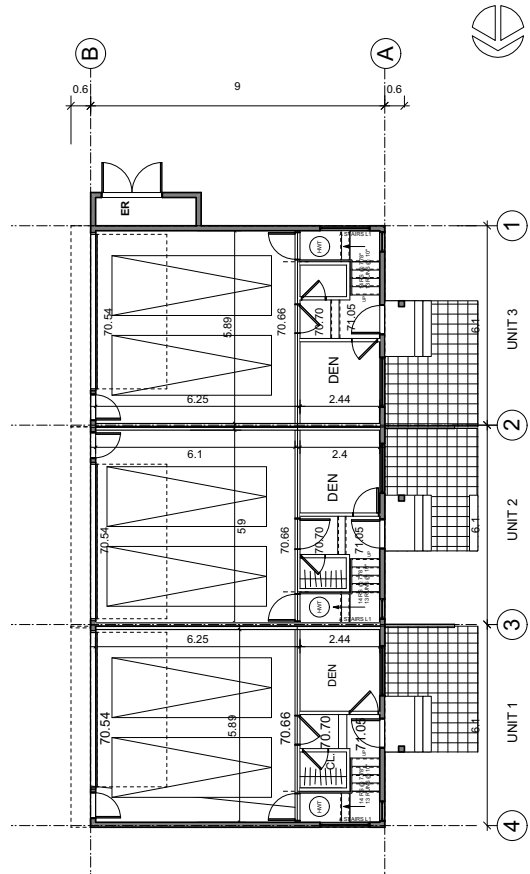
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STREETSCAPE ELEVATIONS

Date:	-	Project Number:	1616
Scale:	1:125	Sheet No.:	DP104
Drawn By:		Approved By:	WG

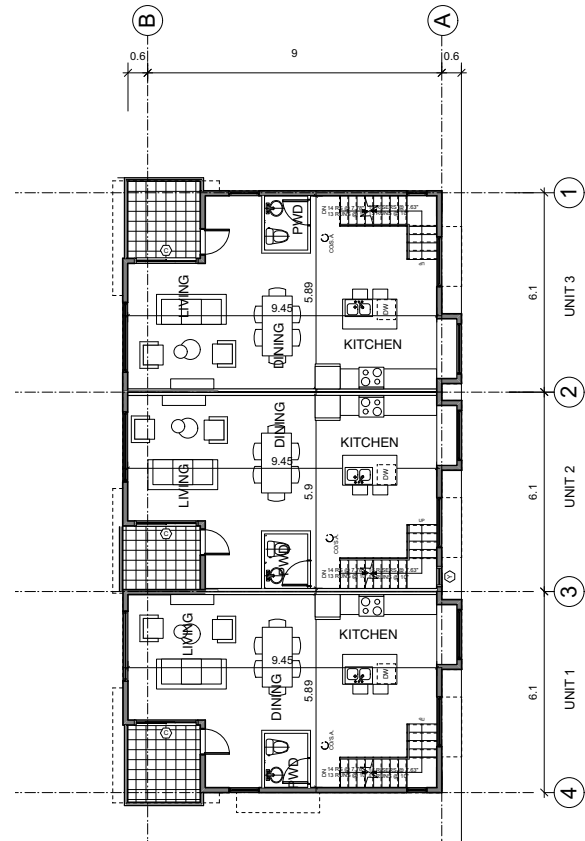
Date: 2018, March 7
 Project: 1616
 Filename: WG1616 Site Plan Rev to Planning Comment 2018-02-16.wbx

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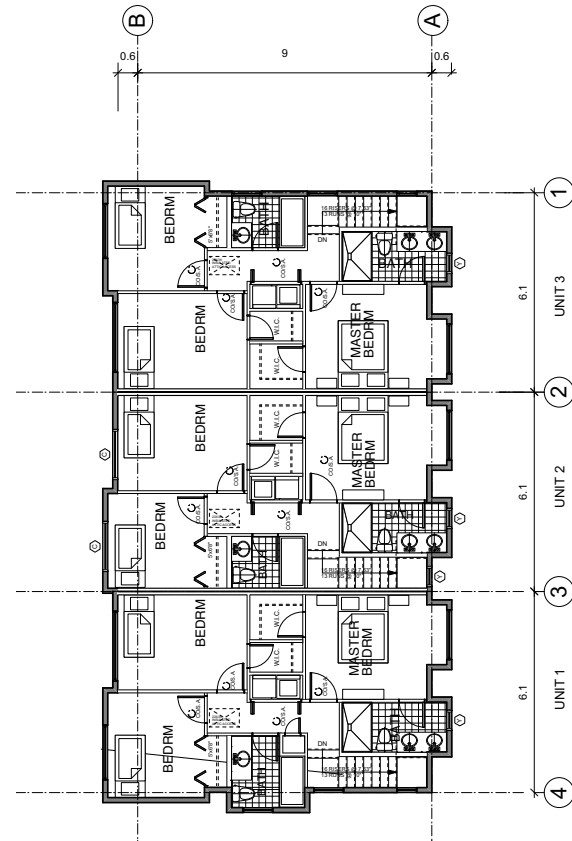
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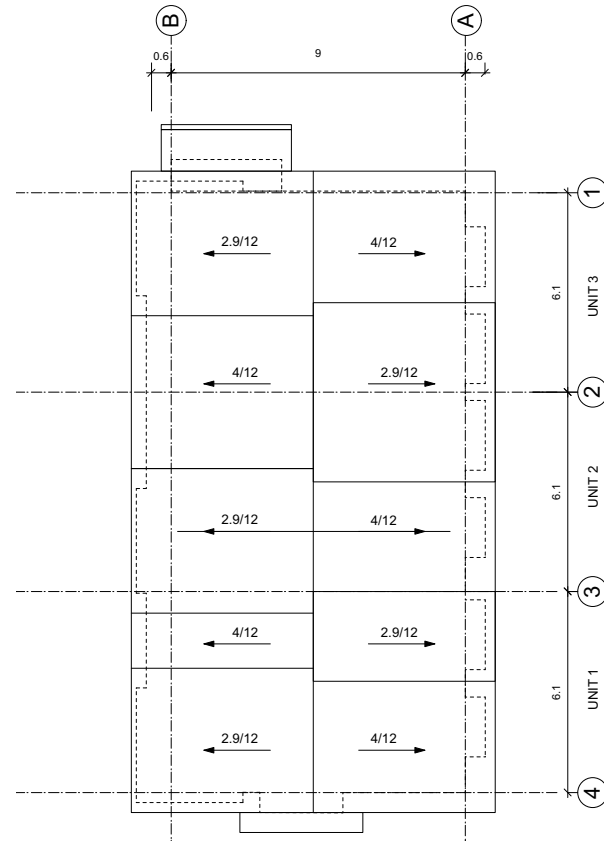
LEVEL 1



LEVEL 2



LEVEL 3



ROOF



WG ARCHITECTURE INC

904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
14UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

Drawing Title:
BUILDING 1 FLOOR PLANS

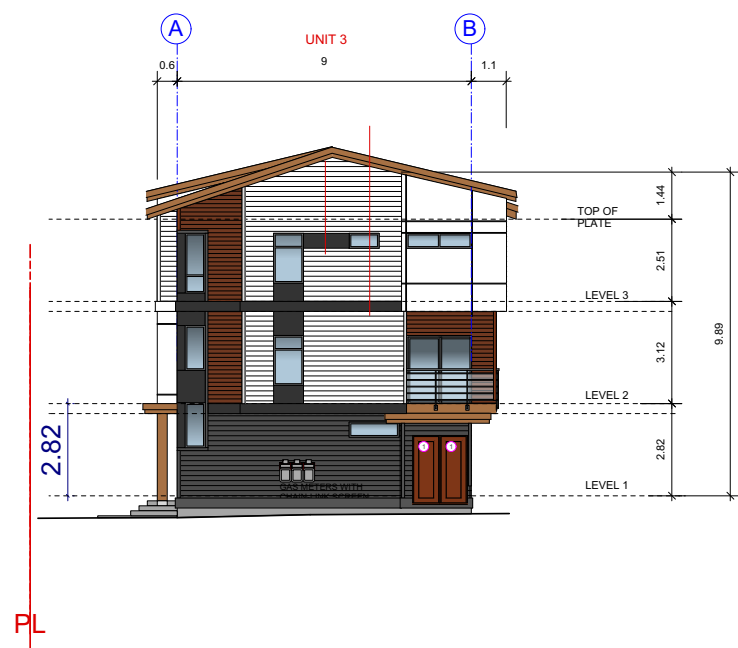
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-	1616
Scale:	Sheet No:
1:100	DP201
Drawn By:	Approved By:
	WG

Issue: 2018, Month: 7
 Time: 10:22:43 AM
 Program: WGTB5 - Building 1 view

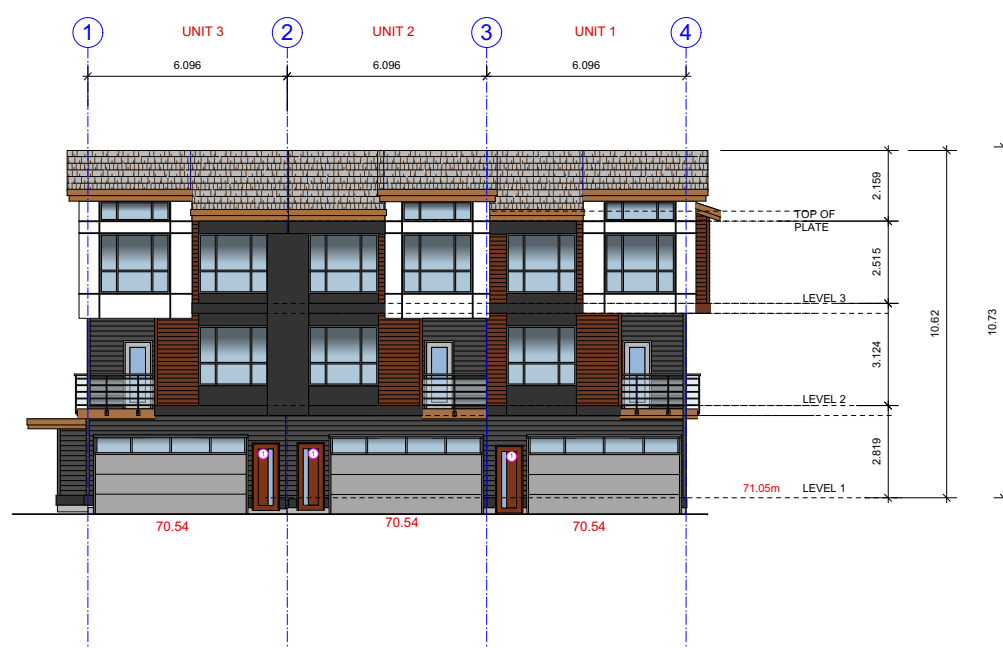
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No:	Date:	Revision Details:



SOUTH ELEVATION

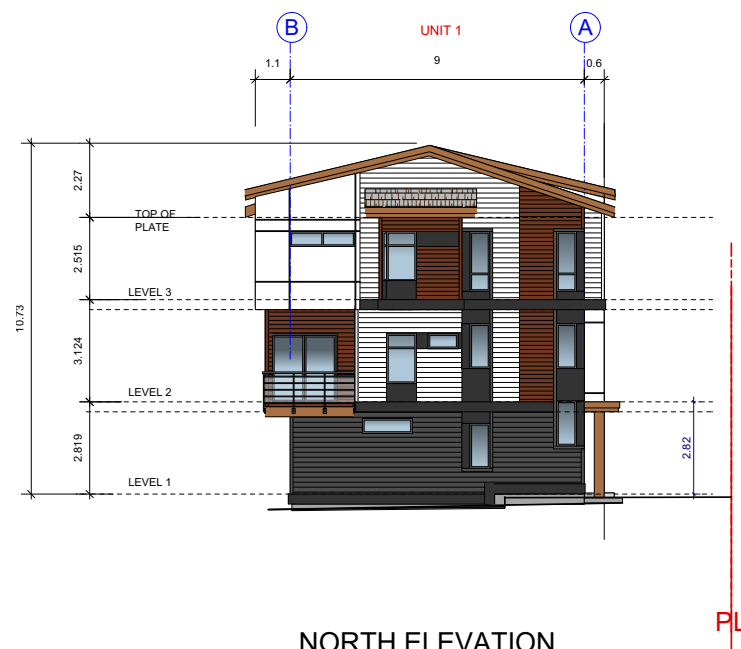
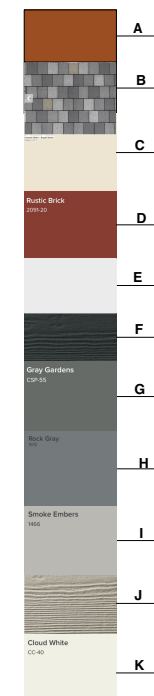


EAST ELEVATION

COLOUR SCHEME

A.	ARBORCOAT - stain translucent flat by Benjamin Moore
B.	"IKO CROWNE SLATE PREMIUM DESIGNER SHINGLES" - Asphalt Shingles Limited Life time warranty
C.	" NAVAJO WHITE " - OC-95 Benjamin Moore - Hardie Flat Panels painted,
D.	" RUSTIC BRICK " - 2091-20 Benjamin Moore - Hardie Flat Panels painted,
E.	" IRON GRAY " - pre-painted - Hardie Board Siding w/ wood texture
F.	" ARCTIC WHITE" - pre-painted - Hardie Board Siding w/ wood texture
G.	" GRAY GARDENS" - CSP-55 Benjamin Moore - Hardie Flat panels painted
H.	" ROCK GRAY " -1615 Benjamin Moore
I.	" SMOKE EMBERS" - 1466 Benjamin Moore Hardie Flat panels painted,
J.	" COBBLE STONE" - pre-painted Hardie Board Siding w/ wood texture
K.	" CLOUD WHITE" - CC40 Benjamin Moore Hardie Flat panels painted, Trims - Hardie Board Siding w/ wood texture

All Trims Reveals to be colour matched as per elevation colour



NORTH ELEVATION



WEST ELEVATION



WG ARCHITECTURE INC

904 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
email: wg@wgarchitectureinc.com

Project Title:
14UNIT TOWNHOUSE PROJECT
7030/7048-188 ST
SURREY, BC
SURREY, B.C.

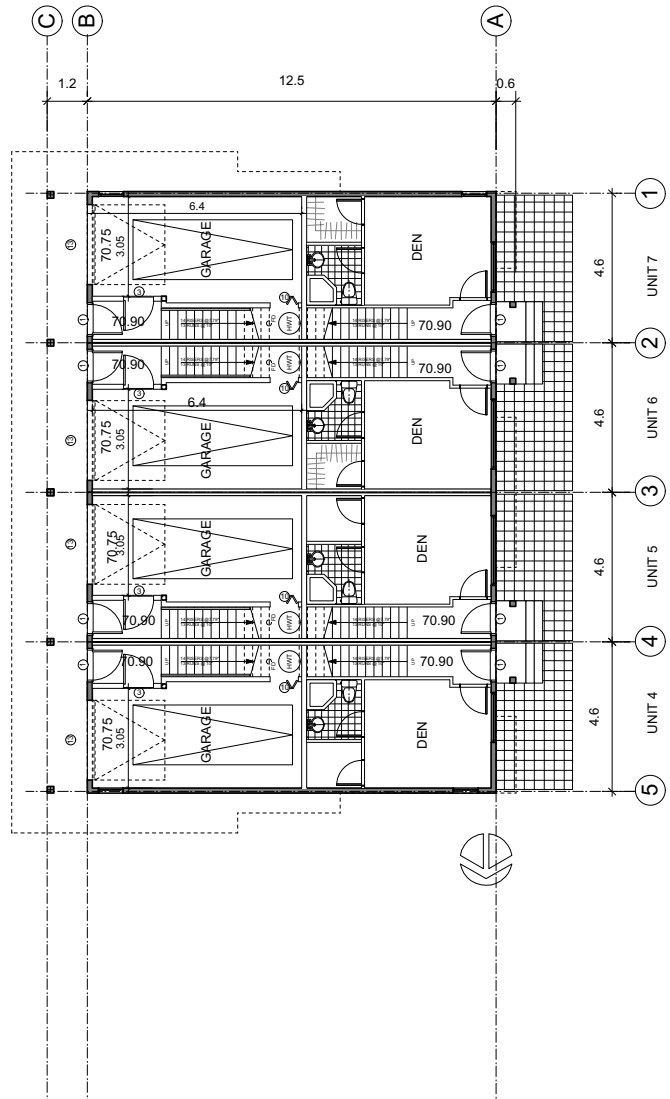
Drawing Title:
BUILDING 1 ELEVATIONS

Date:	Project Number:
-	1616
Scale:	Sheet No:
1:100	DP301
Drawn By:	Approved By:
WG	WG

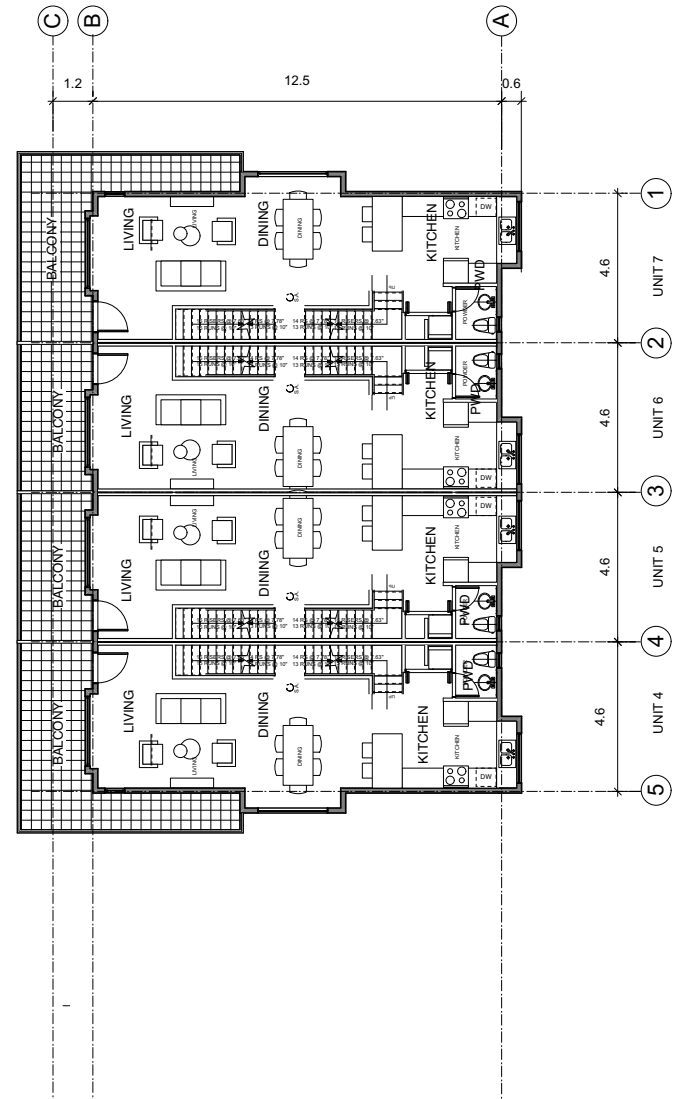
Date: 2018, March 7
Time: 10:22:44 AM
Project: WG1616 - Building 1 Elevations

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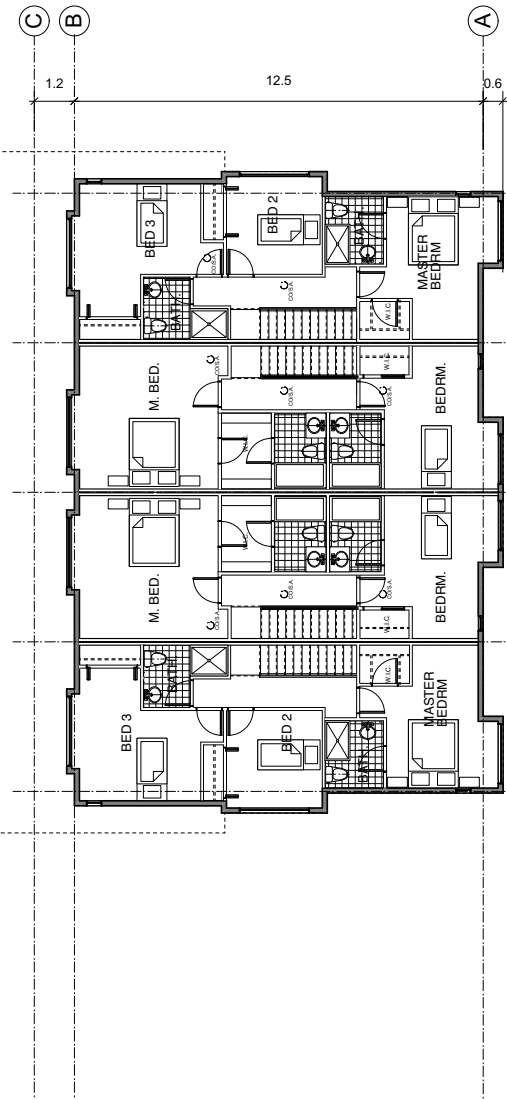
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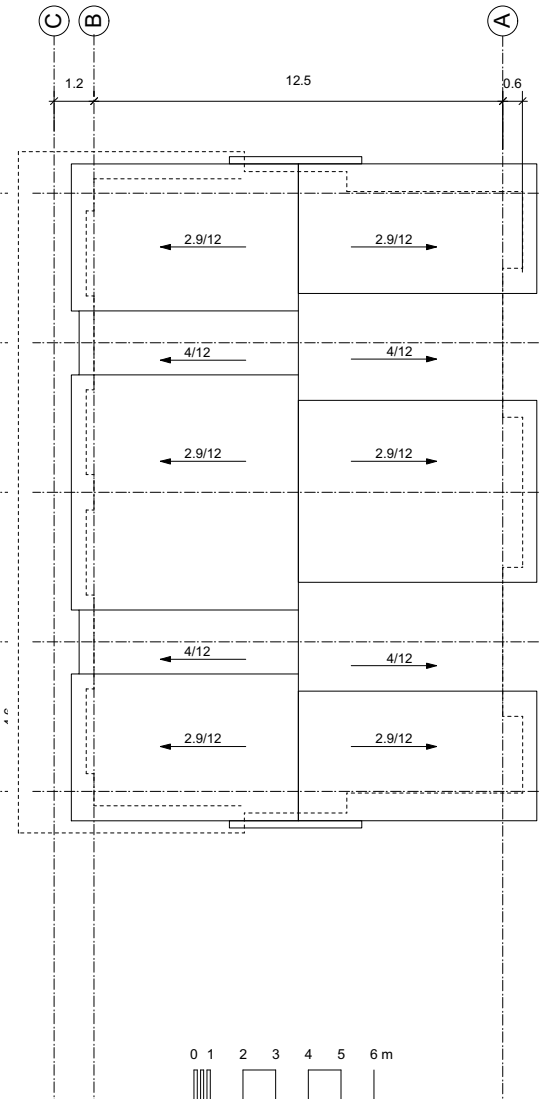
LEVEL 1



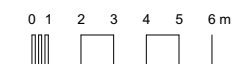
LEVEL 2



LEVEL 3



ROOF PLAN



WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
14 UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

Drawing Title:
BUILDING 2 FLOOR PLANS

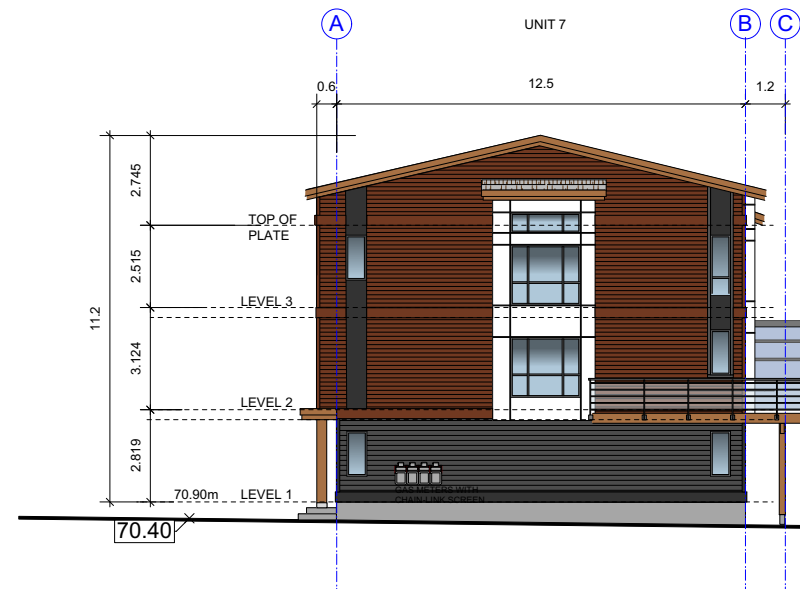
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-	1616
Scale:	Sheet No:
1:100	DP202
Drawn By:	Approved By:
	WG

Date: 2018, March 7
 Time: 10:25:31 AM
 Program: WGTB5 - Building P2 - .wvt

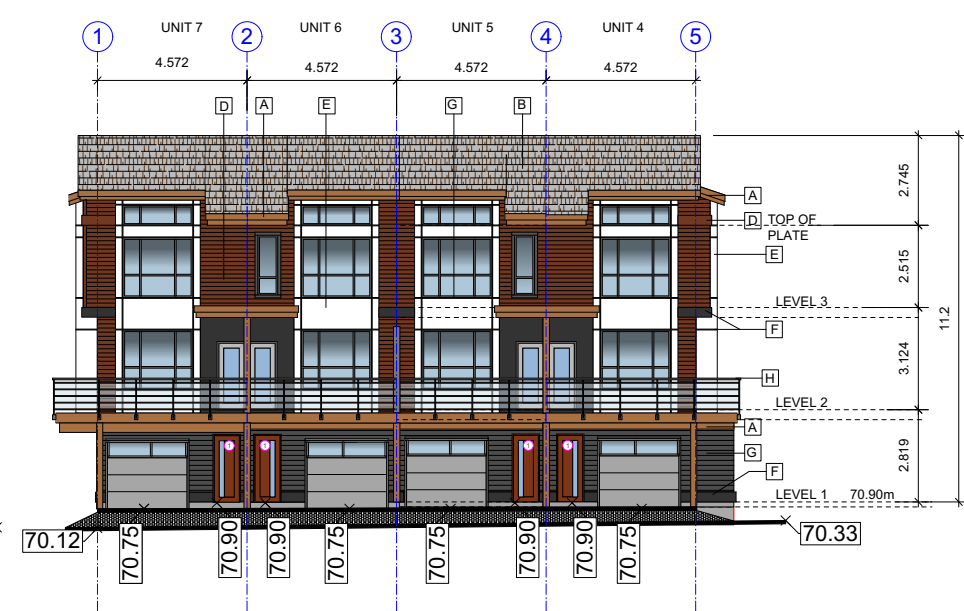
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No:	Date:	Revision Details:



SOUTH ELEVATION

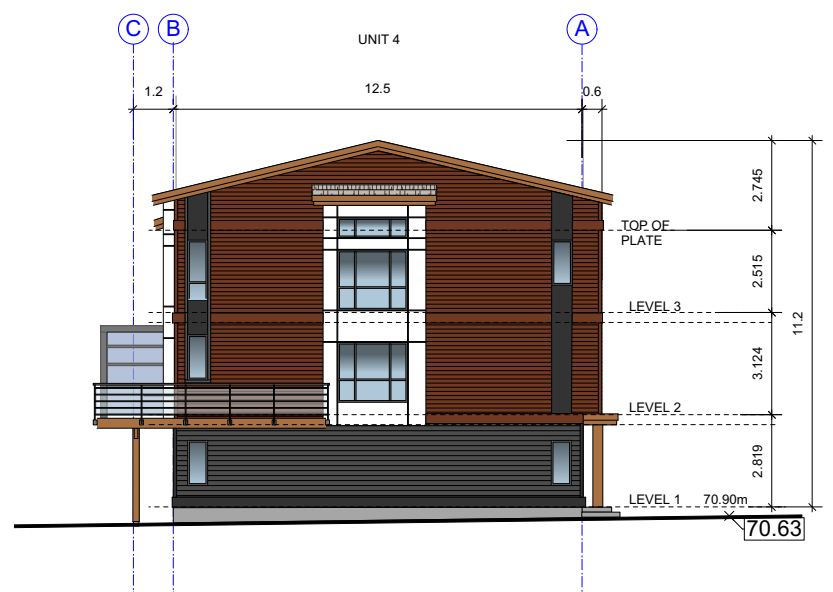


EAST ELEVATION

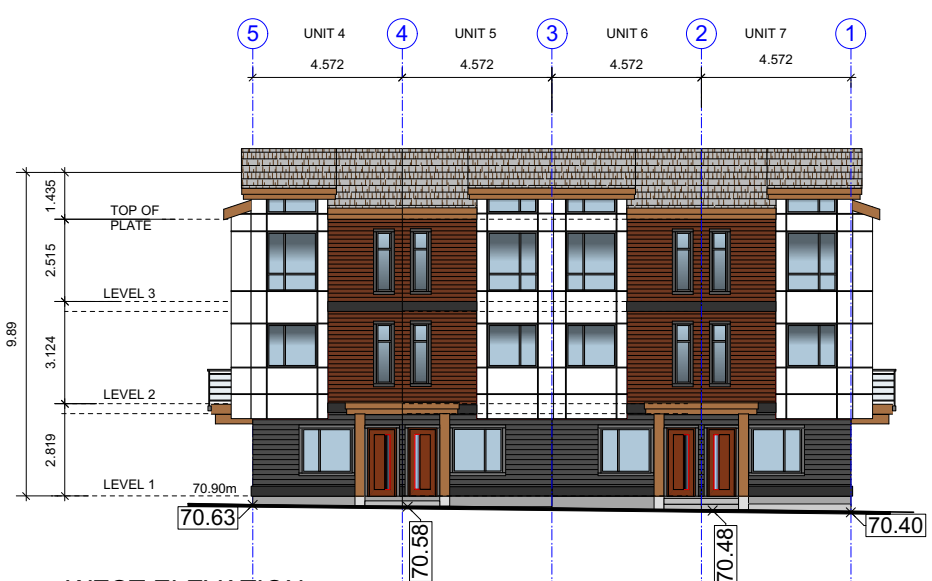
COLOUR SCHEME

- A. ARBORCOAT - stain translucent flat by Benjamin Moore
- B. "IKO CROWNE SLATE PREMIUM DESIGNER SHINGLES" - Asphalt Shingles Limited Life time warranty
- C. "NAVAJO WHITE" - OC-95 Benjamin Moore - Hardie Flat Panels painted,
- D. "RUSTIC BRICK" - 2091-20 Benjamin Moore - Hardie Flat Panels painted,
- E. "ARCTIC WHITE" - pre-painted - Hardie Board Siding w/wood texture
- F. "IRON GRAY" - pre-painted - Hardie Board Siding w/ wood texture
- G. "GRAY GARDENS" - CSP-55 Benjamin Moore - Hardie Flat panels painted
- H. "ROCK GRAY" - 1615 Benjamin Moore
- I. "SMOKE EMBERS" - 1466 Benjamin Moore Hardie Flat panels painted,
- J. "COBBLE STONE" - pre-painted Hardie Board Siding w/ wood texture
- K. "CLOUD WHITE" - CC40 Benjamin Moore Hardie Flat panels painted, Trims - Hardie Board Siding w/ wood texture

All Trims Reveals to be colour matched as per elevation colour



NORTH ELEVATION



WEST ELEVATION

WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
14 UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

Drawing Title:
BUILDING 2 ELEVATIONS

Date:	Project Number:
-	1616
Scale:	Sheet No:
1:100	DP302
Drawn By:	Approved By:
WG	WG

Date: 2018, March 7
 Time: 10:25:32 AM
 Program: WGTB5 - Building P2 - .dwg

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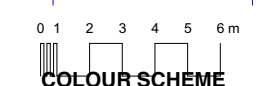
No:	Date:	Revision Details:



EAST ELEVATION

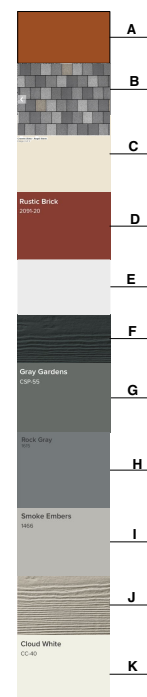


WEST ELEVATION



- A. ARBORCOAT - stain translucent flat by Benjamin Moore
- B. "IKO CROWNE SLATE PREMIUM DESIGNER SHINGLES" - Asphalt Shingles Limited Life time warranty
- C. "NAVAJO WHITE" - OC-95 Benjamin Moore - Hardie Flat Panels painted,
- D. "RUSTIC BRICK" - 2091-20 Benjamin Moore - Hardie Flat Panels painted,
- E. "ARCTIC WHITE" - pre-painted - Hardie Board Siding w/ wood texture
- F. "IRON GRAY" - pre-painted - Hardie Board Siding w/ wood texture
- G. "GRAY GARDENS" - CSP-55 Benjamin Moore - Hardie Flat panels painted
- H. "ROCK GRAY" - 1615 Benjamin Moore
- I. "SMOKE EMBERS" - 1466 Benjamin Moore - Hardie Flat panels painted,
- J. "COBBLE STONE" - pre-painted - Hardie Board Siding w/ wood texture
- K. "CLOUD WHITE" - CC40 Benjamin Moore - Hardie Flat panels painted, Trims - Hardie Board Siding w/ wood texture

All Trims Reveals to be colour matched as per elevation colour



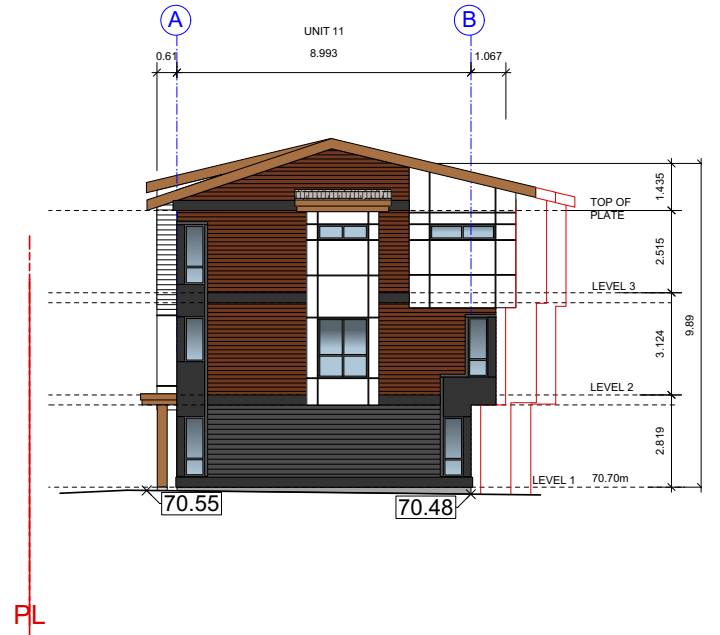
WG ARCHITECTURE INC

904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

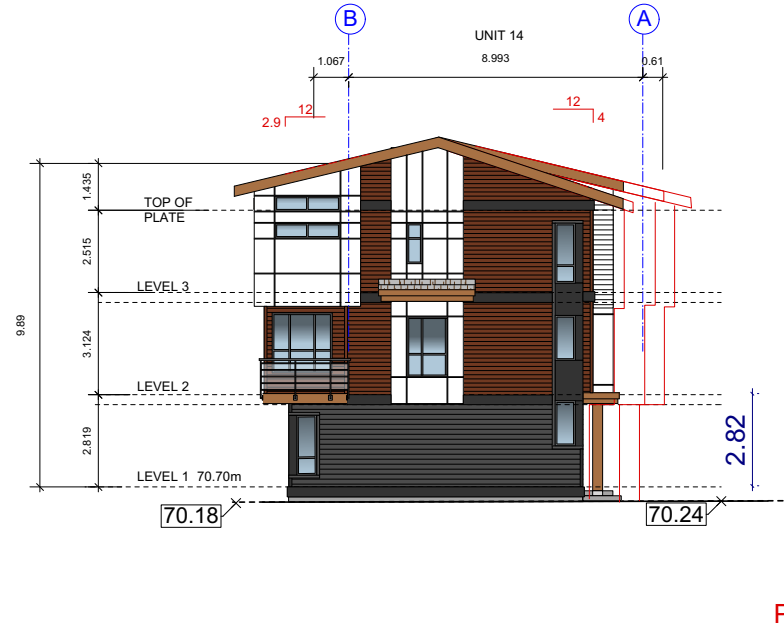
Project Title:
14 UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

Drawing Title:
BUILDING 3 ELEVATIONS

Date:	Project Number:
-	1616
Scale:	Sheet No:
1/8" = 1' - 0"	DP303
Drawn By:	Approved By:
WG	WG



NORTH ELEVATION



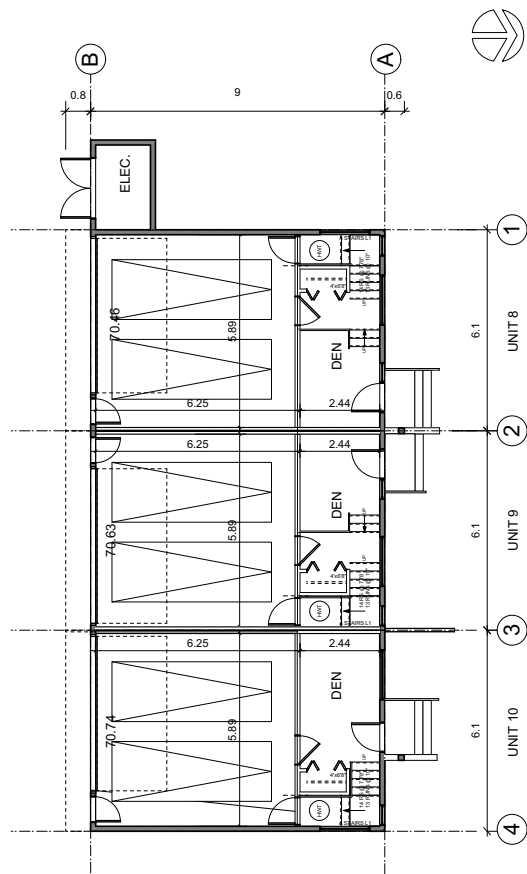
SOUTH ELEVATION

NOTE:
 FOR MATERIALS AND COLOUR DESCRIPTIONS REF. TO DP301 ELEVATIONS BUILDING #1

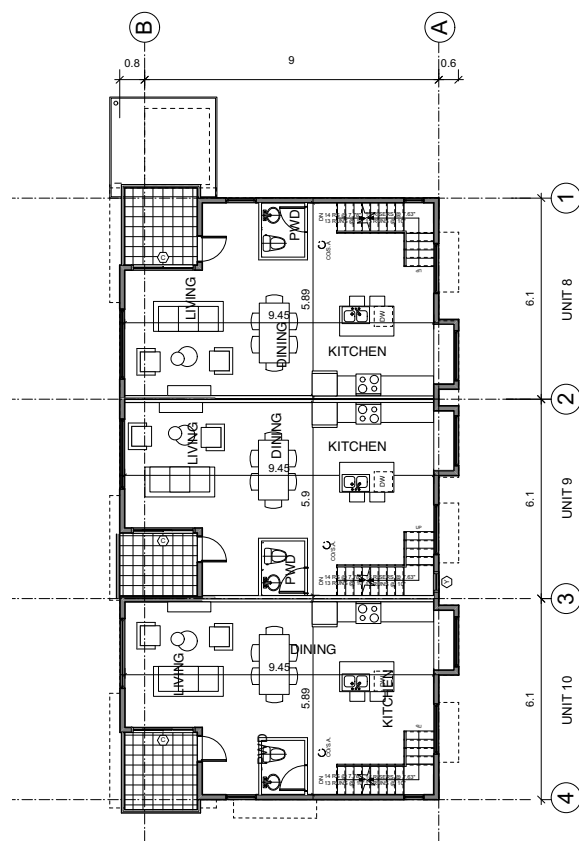
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 Program: WGTB3D - Building 3 - .dwg

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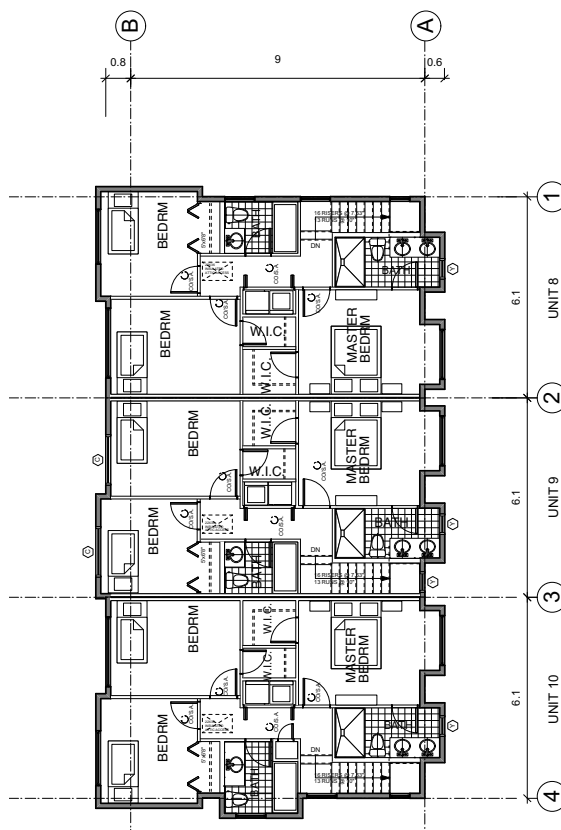
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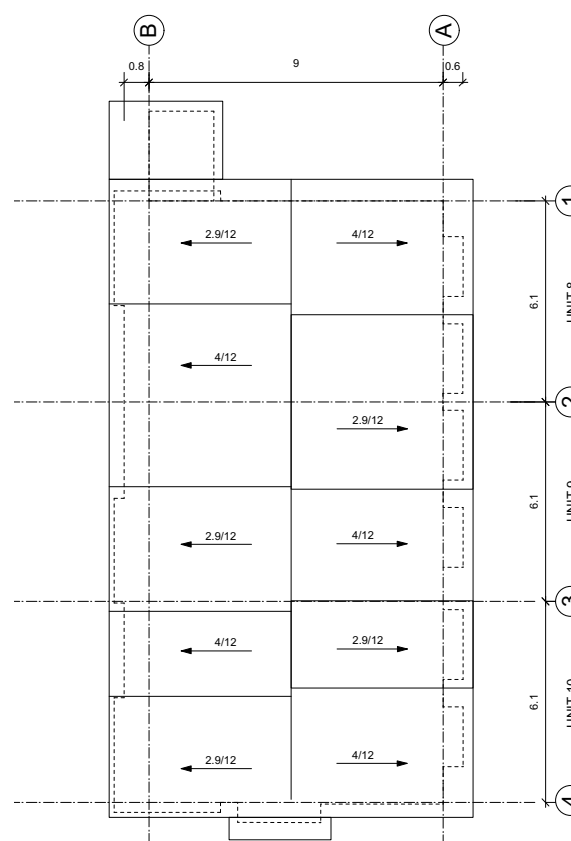
LEVEL 1



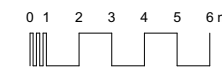
LEVEL 2



LEVEL 3



ROOF



WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
14UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

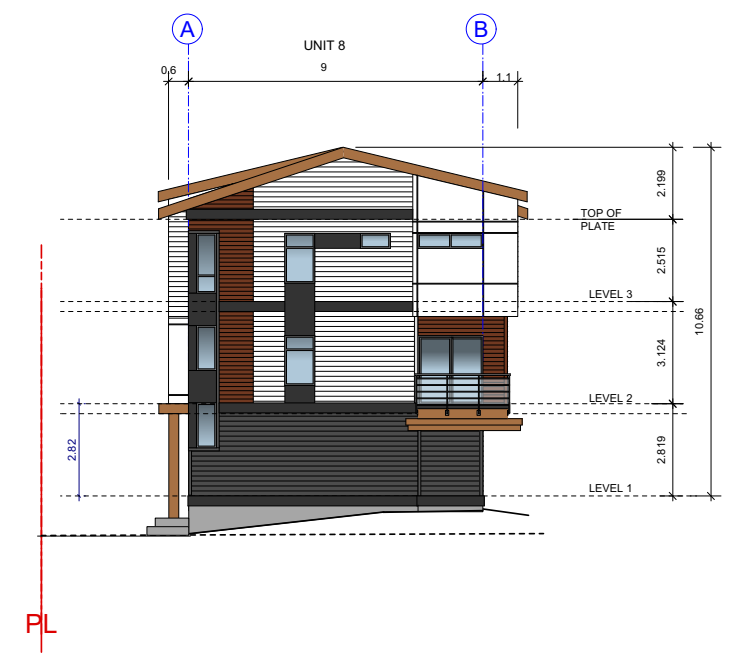
Drawing Title:
BUILDING 4 FLOOR PLANS

Date:	Project Number:
-	1616
Scale:	Sheet No:
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Drawn By:	Approved By:
WG	WG

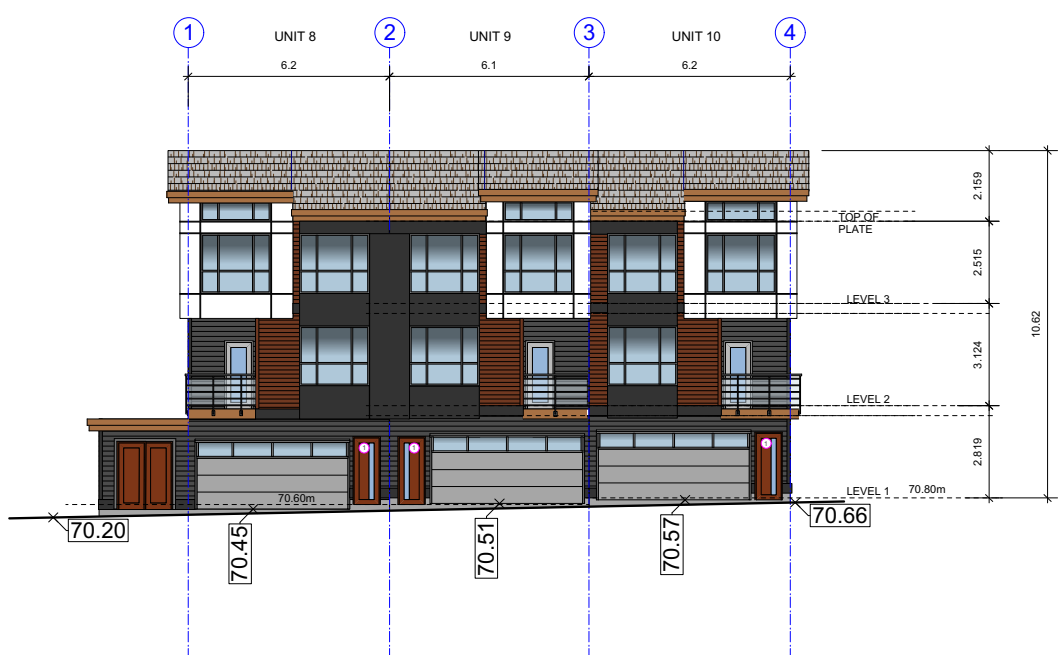
Date: 2018, March 7
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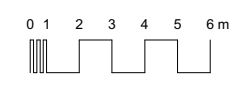
No:	Date:	Revision Details:



WEST ELEVATION



SOUTH ELEVATION

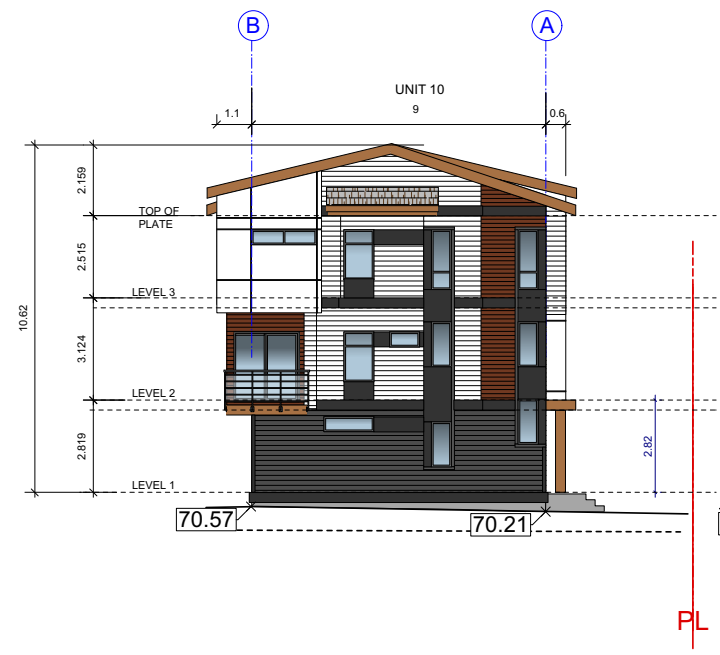


COLOUR SCHEME

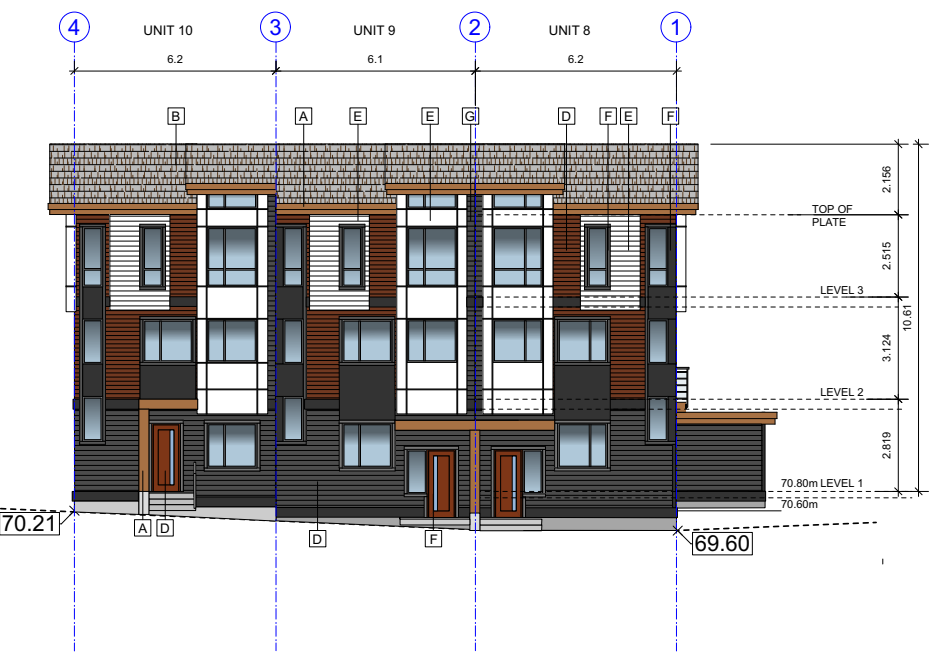
A.	ARBORCOAT - stain translucent flat by Benjamin Moore
B.	"IKO CROWNE SLATE PREMIUM DESIGNER SHINGLES" - Asphalt Shingles Limited Life warranty
C.	"NAVAJO WHITE" - OC-95 Benjamin Moore - Hardie Flat Panels painted,
D.	"RUSTIC BRICK" - 2091-20 Benjamin Moore - Hardie Flat Panels painted,
E.	"ARCTIC WHITE" - pre-painted - Hardie Board Siding w/wood texture
F.	"IRON GRAY" - pre-painted - Hardie Board Siding w/ wood texture
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H.	"ROCK GRAY" - 1615 Benjamin Moore
I.	"SMOKE EMBERS" - 1466 Benjamin Moore - Hardie Flat panels painted,
J.	"COBBLE STONE" - pre-painted - Hardie Board Siding w/ wood texture
K.	"CLOUD WHITE" - CC40 Benjamin Moore - Hardie Flat panels painted, Trims - Hardie Board Siding w/ wood texture



All Trims Reveals to be colour matched as per elevation colour



EAST ELEVATION



NORTH ELEVATION

NOTE:
 FOR MATERIALS AND COLOUR DESCRIPTIONS REF. TO DP301 ELEVATIONS BUILDING #1

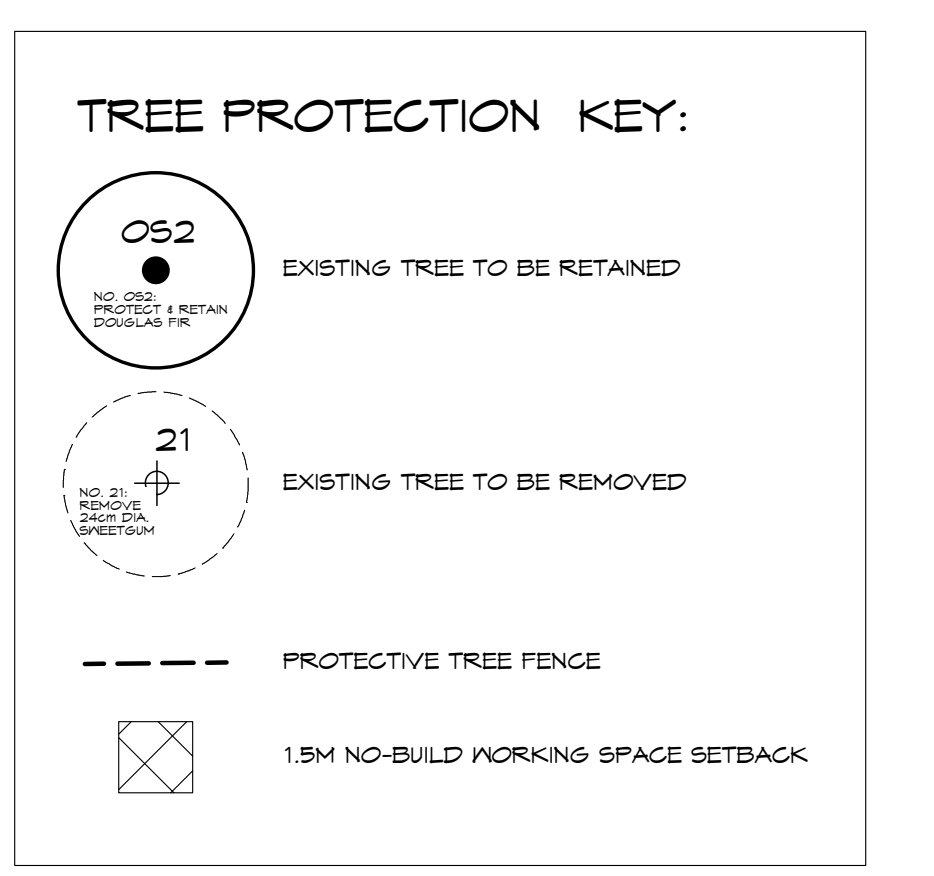
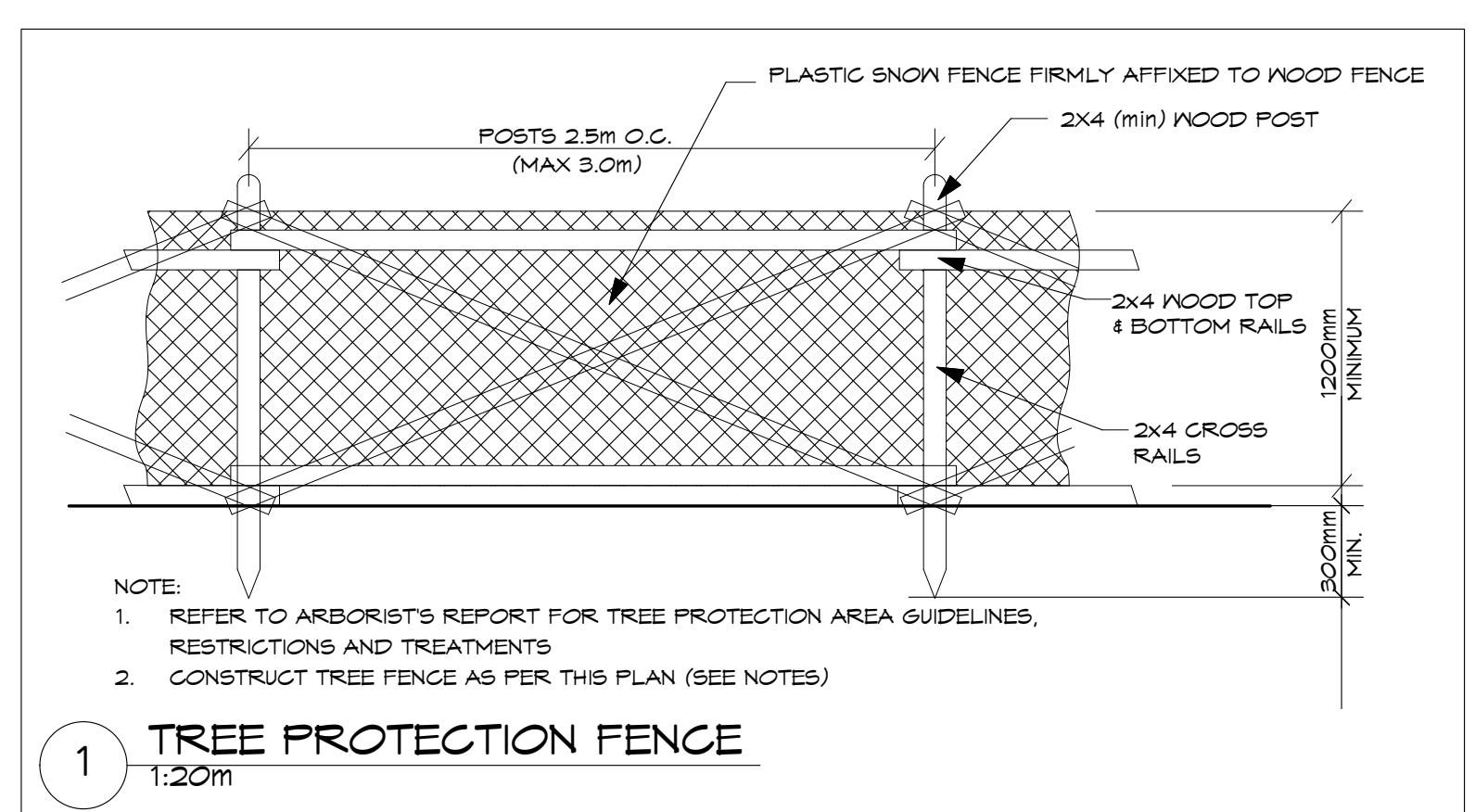
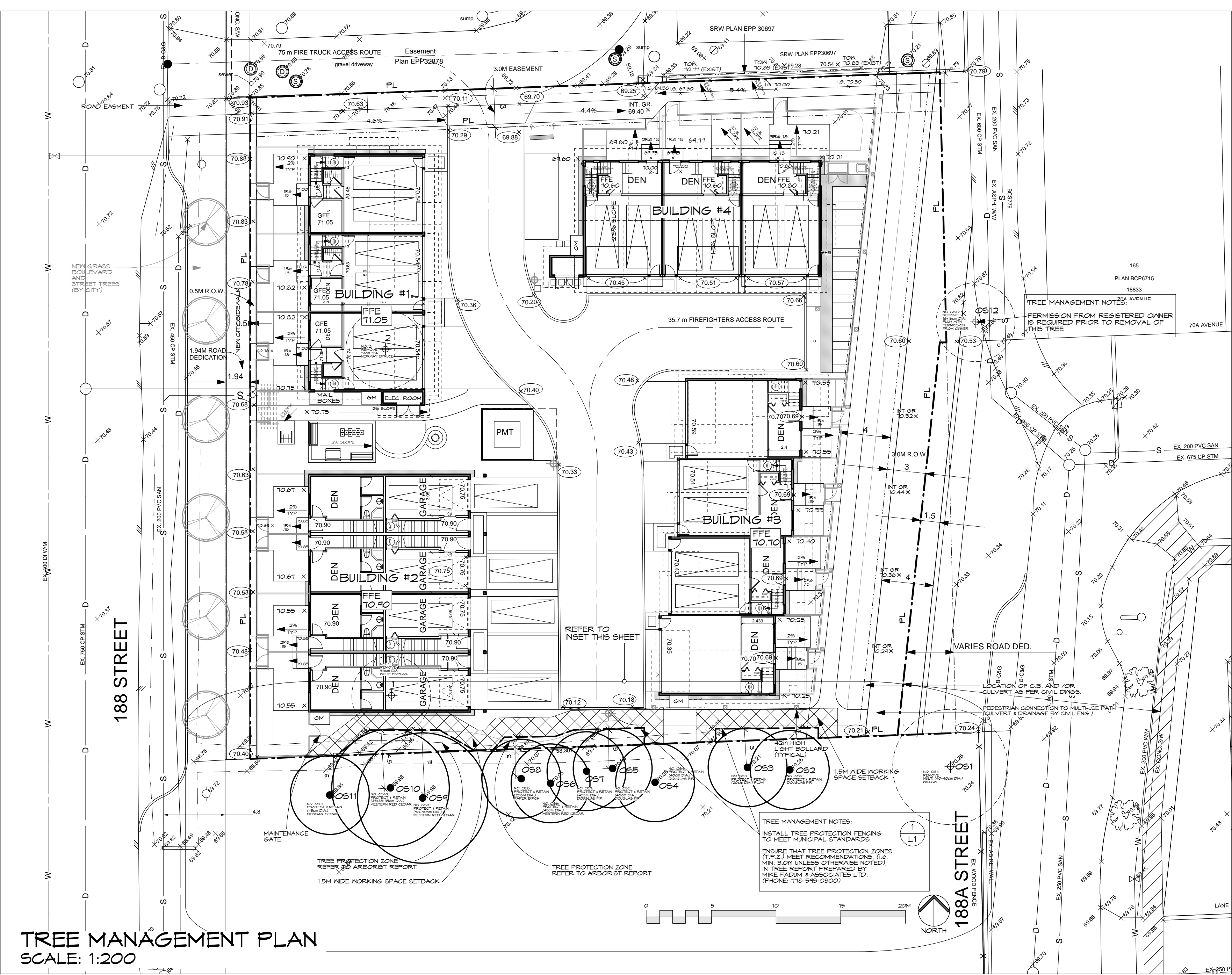
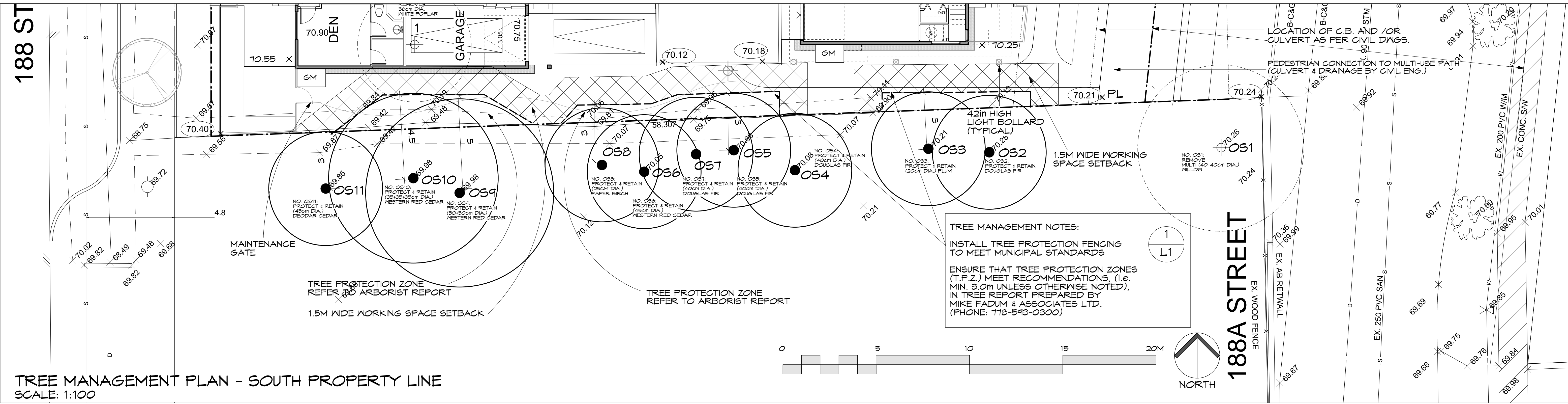
WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
14 UNIT TOWNHOUSE PROJECT
 7030/7048-188 ST
 SURREY, BC
 SURREY, B.C.

Drawing Title:
BUILDING 4 ELEVATIONS

Date:	Project Number:
-	1616
Scale:	Sheet No:
1/8" = 1' - 0"	DP304
Drawn By:	Approved By:
WG	WG

Date: 2018, March 7
 Time: 10:22:39 AM
 Project: WG1616 - Building 4 Elevations



- TREE PROTECTION NOTES:**
- NO WORK OF ANY KIND IN ANY TREE PROTECTION AREA, INCLUDING PRUNING, MAY OCCUR WITHOUT SUPERVISION OF PROJECT ARBORIST. REPORT PROPOSED CONFLICTS, IN ADVANCE OF ANY WORK, TO PROJECT ARBORIST.
 - ANY EXCAVATION FOR NEW POSTS MUST BE PERFORMED MANUALLY & ANY ROOTS PROPERLY PRUNED BY PROJECT ARBORIST. USE EXISTING POST HOLES IF POSSIBLE.
 - NO GRADE CHANGES (FILLS OR CUTS) CAN OCCUR WITHIN T.P.Z.. DO NOT ADD MORE THAN 3IN DEPTH OF ADDITIONAL GROWING MEDIUM WITHIN T.P.Z. (TYPICAL).
 - HAND DIG FOR ALL NEW PLANTING WITHIN THE T.P.Z. THE MAXIMUM ALLOWABLE SIZE OF NEW PLANTS WITHIN THE T.P.Z. IS NO. 1 POT SIZE. SEE PLANT LIST.
 - PROPERLY PRUNE ANY EXPOSED ROOTS. IF LARGE ROOTS (OVER 1.5INCH DIA.) ARE ENCOUNTERED, SHIFT PLANTINGS TO ACCOMMODATE.
 - APPLY DEEP ROOT FERTIGATION TO CRITICAL ROOT ZONE OF RETAINED TREES (AS PER ARBORIST REPORT).
 - TO PROTECT RETAINED TREES FROM POTENTIAL CONSTRUCTION DAMAGE, TREES MUST REMAIN FENCED. DIRECT MECHANICAL DAMAGE TO TRUNKS, LIMBS &/OR ROOTS CANNOT BE REPAIRED. TREES MAY DIE AS A RESULT OF WOUNDS &/OR ROOT LOSS &/OR COMPACTION &/OR MECHANICAL DAMAGE.
 - EXCAVATION FOR UNDERGROUND SERVICES, DRAINAGE PIPES, IRRIGATION LINES OR SHALES OR GRADING SHALL NOT CAUSE ANY ROOT DAMAGE OR GRADE CHANGES WITHIN THE TREE PROTECTION ZONES (T.P.Z.).
 - VEHICLES / MACHINERY MAY NOT PASS WITHIN THE PROTECTION ZONE. NO SOIL, SPOIL, AGGREGATE, CONSTRUCTION SUPPLIES, CONSTRUCTION MATERIALS, OR WASTE MATERIALS MAY BE DEPOSITED WITHIN TREE PROTECTION ZONE.
 - WATER ALL THE RETAINED TREES THROUGHOUT THE GROWING SEASON ON A WEEKLY SCHEDULE. SOAK AREA IMMEDIATELY BELOW THE TREE CROWN SUFFICIENTLY TO REACH THE FEEDER ROOTS. WHEN WEATHER CONDITIONS ARE WET ENOUGH THE SUPPLEMENTAL WATERING CAN BE PRE-EMPTED.
 - TREES MORTALLY DAMAGED BY THE CONTRACTOR MUST BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S COST.
 - REFER TO TREE REPORT PREPARED BY PROJECT ARBORIST: MIKE FADUM & ASSOCIATES LTD. (778) 593-0300

6 MAR. 10 REVISED PROPERTY LINE R.O.W. CLARIFIED & COORDINATED WITH ARCH & CIVIL. RE-ISSUED FOR D.P.
14 FEB. 10 REVISED INFO ADDED AS PER CITY COMMENTS. RE-ISSUED FOR D.P.
22 JAN. 10 ISSUED FOR D.P.
28 OCT. 17 ISSUED FOR CLIENT & ARCH. REVIEW

VIEWPOINT
LANDSCAPE ARCHITECTS

5244 Prince Edward St. Vancouver, BC V5W 2X5
tel: 604-669-3201 fax: 604-669-3278

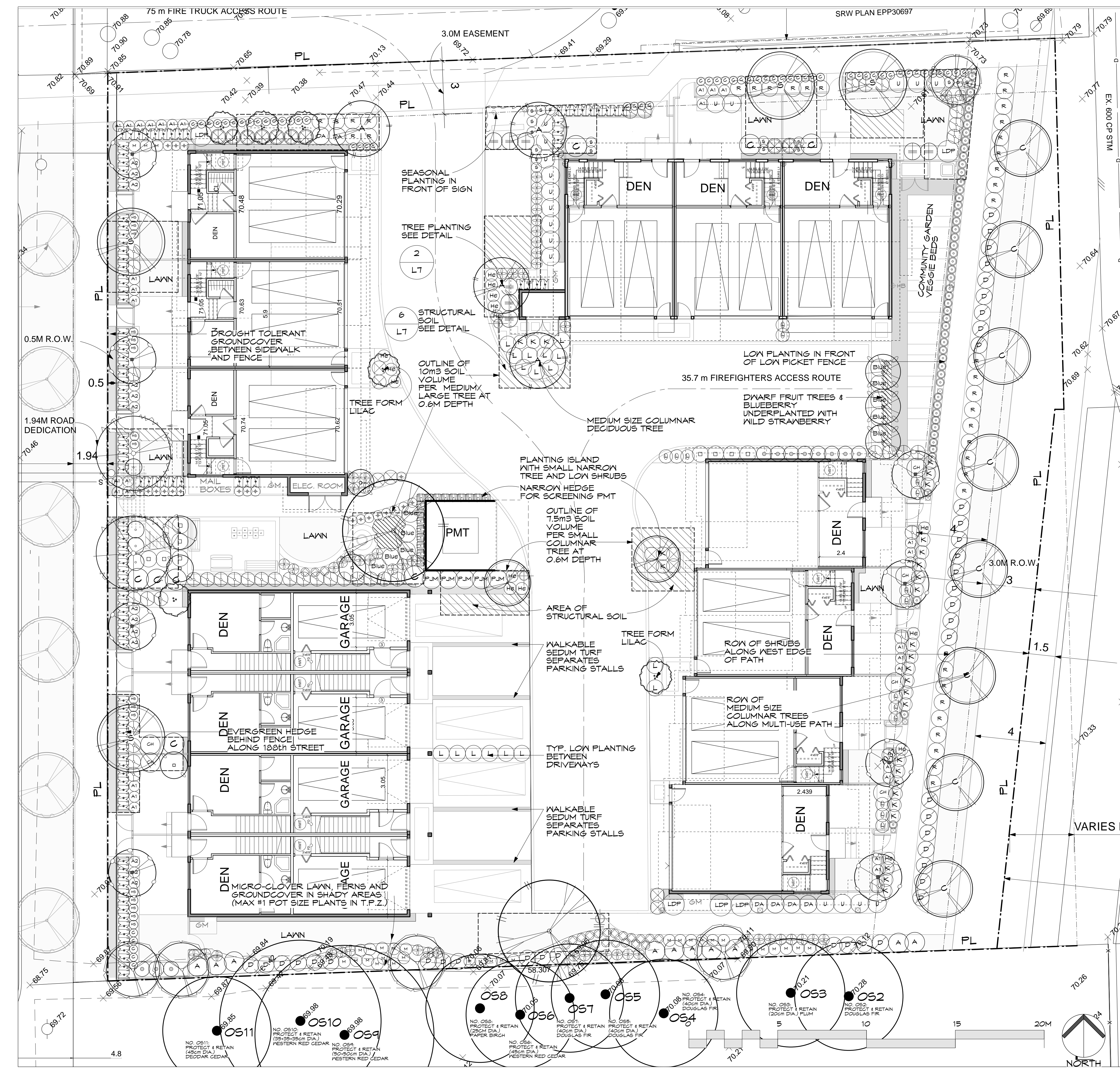
project:
TOWNHOUSE DEVELOPMENT
1030 / 1048 - 188th STREET SURREY, B.C.

for:
1073289 B.C. LTD.

drawing title:
TREE MANAGEMENT PLAN

project no.:	2017-18	drawn by:	LCH
date:	OCT. 2017	scale:	AS NOTED
date revised:	6 MAR 2018	sheet no.:	L1 OF 7

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PLANT LIST:

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
Trees				
(Symbol)	4	<i>Acer rubrum</i> 'Armstrong'	Armstrong Columnar Maple	B4B, 6 cm. caliper, 1.8m std.
(Symbol)	4	<i>Amelanchier x grandiflora</i> 'Princess Diana'	Princess Diana Serviceberry	B4B, 5 cm. caliper, Good Form
(Symbol)	8	<i>Carpinus betula</i> 'Franz Fontaine'	Franz Fontaine Columnar Hornbeam	B4B, 6 cm. caliper, 1.8m std.
(Symbol)	1	<i>Chamaecyparis nootkatensis</i> 'Pendula'	Weeping Nootka Cypress	B4B, 3.0m ht., Good Form
(Symbol)	8	<i>Cornus kousa</i>	Kousa Dogwood	B4B, 5 cm. caliper, Good Form
(Symbol)	2	<i>Fagus sylvatica</i> 'Dawuckii'	Dawuck Beech	B4B, 6 cm. caliper, 1.8m std.
(Symbol)	3	Fruit Tree	Dwarf variety Fruit Tree	No. 3 Pot, Good Form, Good Form
(Symbol)	2	<i>Liquidambar styraciflua</i>	American Sweetgum	B4B, 6 cm. caliper, 1.8m std.
(Symbol)	1	Magnolia 'Randy' Little Girl series	Randy Magnolia	B4B, 2.0m ht., Good Form
(Symbol)	2	<i>Prunus yedoensis</i> 'Akebono'	Daybreak Cherry	B4B, 6 cm. caliper, 1.8m std.
(Symbol)	4	<i>Styrax japonica</i>	Japanese Snowbell Tree	B4B, 6 cm. caliper
Large Shrubs				
(Symbol)	6	<i>Syringa x huacinthiflora</i> 'Mount Baker'	White Lilac	No. 10 Pot, Tree Form
Shrubs				
(Symbol)	10	<i>Aronia melanocarpa</i>	Aronia	No. 2 Pot, 1m o.c.
(Symbol)	31	<i>Azalea japonica</i> 'Gumpo Pink'	Pink Japanese Azalea	No. 2 Pot, 60cm o.c.
(Symbol)	13	<i>Azalea japonica</i> 'Gumpo White'	White Japanese Azalea	No. 2 Pot, 60cm o.c.
(Symbol)	29	<i>Calamagrostis</i> 'Kari Foerster'	Feather Reed Grass	No. 1 Pot, 75cm o.c.
(Symbol)	8	<i>Gamella japonica</i> 'Kumsaka'	Winter Flowering Camellia	No. 3 Pot
(Symbol)	54	<i>Carex morrowii</i> 'Ice Dance'	Japanese Variegated Sedge	No. 1 Pot, 45cm o.c.
(Symbol)	41	<i>Cornus stolonifera</i>	Red Twig Dogwood	No. 1 Pot, 40cm o.c.
(Symbol)	22	<i>Gaultheria shallon</i>	Saial	No. 1 Pot, 60cm o.c.
(Symbol)	55	<i>Helictotrichon sempervirens</i>	Blue Cat Grass	No. 1 Pot, 60cm o.c.
(Symbol)	4	<i>Hydrangea macrophylla</i> 'Merrill's Beauty'	Merrill's Beauty Hydrangea	No. 2 Pot, 40cm o.c.
(Symbol)	17	<i>Lonicera pileata</i>	Privet Honeysuckle	No. 2 Pot, 40cm o.c.
(Symbol)	33	<i>Mahonia nervosa</i>	Long Leaf Mahonia	No. 1 Pot, 60cm o.c.
(Symbol)	15	<i>Nandina domestica</i> 'Nana'	Dwarf Heavenly Bamboo	No. 2 Pot, 60cm o.c.
(Symbol)	55	<i>Polystichum munitum</i>	Western Sword Fern	No. 1 Pot, 60cm o.c.
(Symbol)	10	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	No. 2 Pot, 40cm o.c.
(Symbol)	8	Rhododendron 'Bow Bells'	Dwarf Pink Rhododendron	No. 2 Pot, 40cm o.c.
(Symbol)	6	Rhododendron 'Chionoides'	Medium Light Rhododendron	No. 2 Pot, 40cm o.c.
(Symbol)	6	Rhododendron 'Daphnoides'	Medium Light Purple Rhododendron	No. 2 Pot, 40cm o.c.
(Symbol)	5	Rhododendron 'Lee's Dark Purple'	Tall Dark Purple Rhododendron	No. 3 Pot, 40cm o.c.
(Symbol)	5	Rhododendron 'F.M. Elite'	Medium Purple Rhododendron	No. 3 Pot, 40cm o.c.
(Symbol)	18	Rhododendron 'Unique'	Medium White Rhododendron	No. 3 Pot, 40cm o.c.
(Symbol)	34	<i>Rosa David Thompson</i>	Purple Explorer Shrub Rose	No. 2 Pot, 40cm o.c.
(Symbol)	17	<i>Sarcococca hookerana</i> 'Humilis'	Himalayan Sweet Box	No. 2 Pot, 45cm o.c.
(Symbol)	11	<i>Sarcococca ruscifolia</i>	Fragrant Sarcococca	No. 2 Pot, 75cm o.c.
(Symbol)	4	<i>Skimmia reevesii</i>	Japanese Dwarf Skimmia	No. 3 Pot, 75cm o.c.
(Symbol)	10	<i>Vaccinium</i> Fruiting Variety	Blueberry 3 varieties	No. 3 Pot, as shown
(Symbol)	42	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	No. 2 Pot, 75cm o.c.
(Symbol)	4	<i>Viburnum davidii</i>	David Viburnum	No. 2 Pot, 40cm o.c.
(Symbol)	4	<i>Viburnum x bodnantense</i>	Pink Dawn Viburnum	No. 3 Pot, As shown
Hedges, Perennials, Groundcovers & Vines				
(Symbol)	113	<i>Taxus media</i> x 'Hicksii'	Hicks Yew	B4B, 1.2 high, 45 cm o.c.
(Symbol)	117	<i>Ilex 'Sky Pencil'</i>	Sky Pencil Japanese Holly	No. 2 Pot, 45cm o.c.
(Symbol)	114	<i>Arctostaphylos uva-ursi</i> 'Yancouver Jade'	Vancouver Jade Kinnikinnick	10cm Pot, 45cm o.c.
(Symbol)	16	<i>Heimerocallis stella de Oro</i>	Dwarf Daulay	No. 1 Pot, 45cm o.c.
(Symbol)	21	<i>Lavandula spica</i> 'Hidcote'	Hidcote Lavender	No. 1 Pot, 45cm o.c.
(Symbol)	53	<i>Astragalus</i> Joy Stonecrop	Astragalus Joy Stonecrop	No. 1 Pot, 45cm o.c.
(Symbol)	12 sq. ft.	Sedum Turf (100% coverage)	Mixed Sedums	Cut to fit planting bed
(Symbol)	24	<i>Clematis armandii</i>	Evergreen Clematis	No. 2 Pot, staked

NOTE: All soil, plants & planting to meet BC Landscape Standard, Latest Edition.
 Drawings to be read in conjunction with project Landscape Specifications.
 Contractor to verify plant quantities.
 Refer to Arborist Report for this project for all info re: trees to be removed and retained.
 All trees shall be planted, mulched and staked in accordance with the detail: see sheet L3
 Maximum pot size within ANY Critical Root Zone (CRZ) to be No. 1 Pot. / When planting within CRZ leave 50% of area UNPLANTED.

- ### PLANTING NOTES:
- IRRIGATION: CONTRACTOR TO INCLUDE A COMPLETE AUTOMATIC IRRIGATION SYSTEM FOR ALL PLANTING & LAWN AREAS. PROVIDE OWNER'S MANUAL & AS BUILT MARK UP OF LANDSCAPE PLAN TO SHOW LOCATION OF ALL PIPES, HEADS & BOXES. INSTALL PLANTING UNDER OVERHANGS BUT DO NOT OVER-SPRAY BUILDINGS. INSTALL GARAGE & PLANTING ON SEPARATE ZONES. DO NOT DAMAGE ROOTS OF RETAINED TREES DURING INSTALLATION OF PIPE. SEE 'TREE PROTECTION NOTES' - DRAWING L1.
 - STRUCTURAL SOIL: CONTACT LANDSCAPE ARCHITECT FOR REVIEW OF THE DEPTH OF STRUCTURAL SOIL AND ROUGH GRADING FOR GROWING MEDIUM FOR TREES (TREES REQUIRE 10M3 AT A DEPTH OF 60CM).
 - SOIL: ALL IMPORTED SOIL FOR TURF & PLANTING BEDS SHALL BE PRO-SOIL BY VERATEC OR PRE-APPROVED EQUIVALENT. SOIL SHALL BE PRE-TESTED FOR TEXTURAL ANALYSIS & NUTRIENTS. SUBMIT SUPPLIER'S CURRENT SOIL ANALYSIS REPORT TO VIEWPOINT FOR PRE-APPROVAL PRIOR TO DELIVERY. SOIL DEPTHS SHALL BE:
 LAWN: 4 - 6 IN. DEPTH OF HIGH SAND CONTENT TURF BLEND SOIL
 SHRUBS: 8 - 12 IN. DEPTH HIGH ORGANIC GARDEN OR PLANTING MIX
 TREES: 10 CUL.M. PLANTING MIX / TREE AT A DEPTH OF 0.6 M.
 ALL TREES TO BE STAKED FOR ONE YEAR.
 - PLANTS: ALL SHRUBS TO BE LINED UP &/OR GROUPED AS SHOWN ON DRAWING & AS DISCUSSED ON SITE WITH VIEWPOINT PRIOR TO PLANTING. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE PRE-APPROVED BY VIEWPOINT PRIOR TO DELIVERY TO SITE.
 - MULCH: ALL PLANTING BEDS SHALL HAVE 5CM DEPTH OF MULCH.
 - B.C. LANDSCAPE STANDARD: ALL PLANTS, PLANTING, WORKMANSHIP AND MATERIALS TO MEET OR EXCEED B.C. LANDSCAPE STANDARD, LATEST EDITION.

VIEWPOINT LANDSCAPE ARCHITECTS

5244 Prince Edward St. Vancouver, BC V5W 2X5
 tel: 604-669-3201 fax: 604-669-3278

project: **TOWNHOUSE DEVELOPMENT**
 1030 / 1048 - 188th STREET SURREY, B.C.

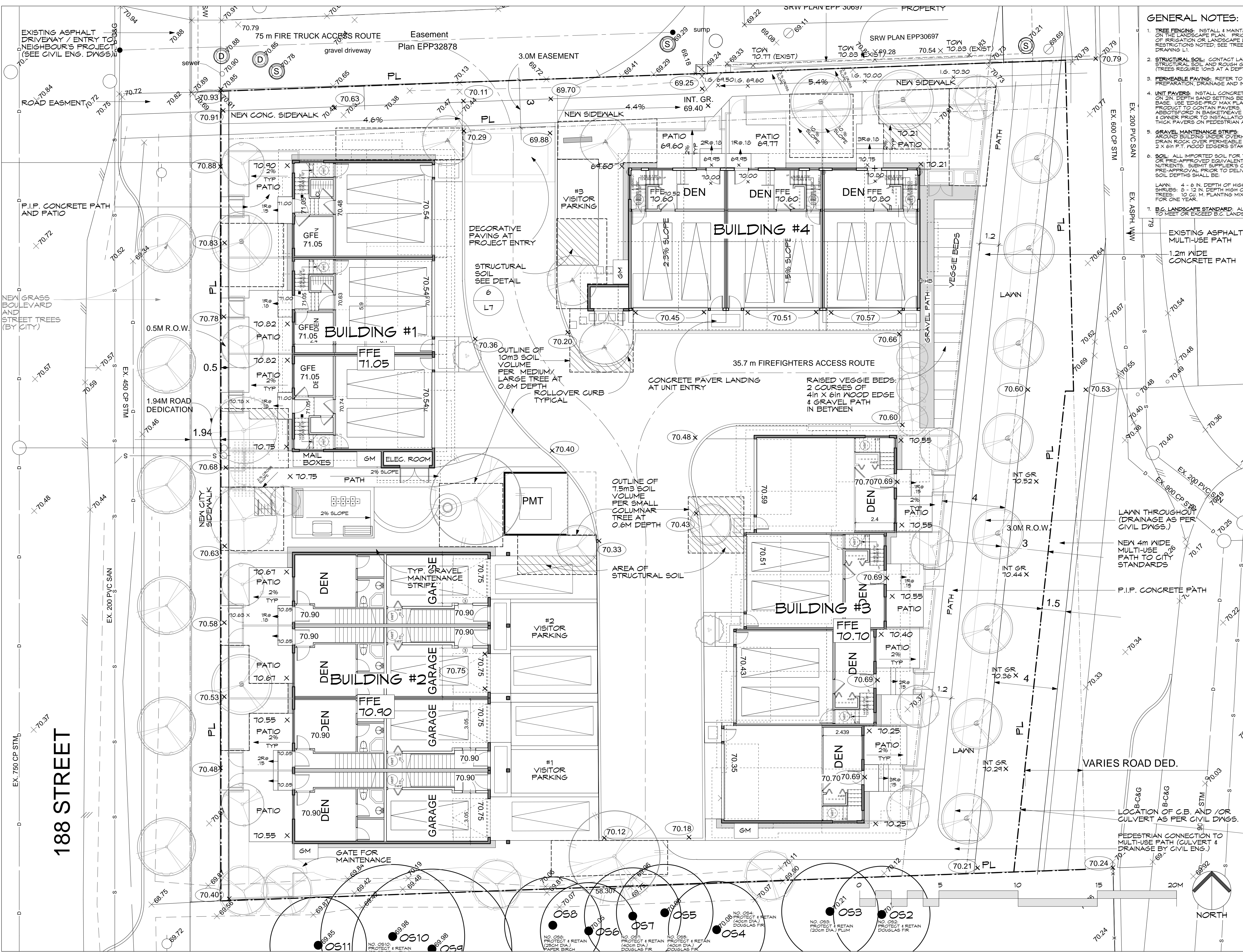
for: **1073289 B.C. LTD.**

drawing title: **PLANTING PLAN & PLANT LIST**

project no.: 2017-18 drawn by: LCh

date: OCT. 2017 scale: 1:100

date revised: 6 MAR 2018 sheet no: L2 OF 7



- GENERAL NOTES:**
- TREE FENCING:** INSTALL 4 MAINTAIN PROTECTIVE TREE FENCING AS SHOWN/DIMENSIONED ON THE LANDSCAPE PLAN. PRIOR TO THE START OF CONSTRUCTION 1/ OR INSTALLATION OF IRRIGATION OR LANDSCAPE LIGHTING, REVIEW THE TREE PROTECTION ZONE RESTRICTIONS NOTED; SEE TREE PROTECTION NOTES & TREE MANAGEMENT PLAN NOTES - DRAWING L1.
 - STRUCTURAL SOIL:** CONTACT LANDSCAPE ARCHITECT FOR REVIEW OF THE DEPTH OF STRUCTURAL SOIL AND ROUGH GRADING FOR GROWING MEDIUM FOR TREES. TREES REQUIRE 10m³ AT A DEPTH OF 0.60m. REFER TO CIVIL DRAWINGS FOR INSTALLATION PREPARATION, DRAINAGE AND INSTALLATION OF PERMEABLE PAVERS.
 - PERMEABLE PAVERS:** REFER TO CIVIL DRAWINGS FOR REQUIREMENTS OF SUBSURFACE PREPARATION, DRAINAGE AND INSTALLATION OF PERMEABLE PAVERS.
 - UNIT PAVERS:** INSTALL CONCRETE UNIT PAVERS AS PER MANUFACTURER'S SPECIFICATIONS ON 2" DEPTH SAND SETTING BED OVER 4 - 6" DEPTH 3/4" IN. MINUS COMPACTED ROAD BASE. USE EDGE-PRO MAX PLASTIC PAVES EDGER OR SIMILAR PRE-APPROVED PRODUCT TO CONTAIN PAVERS. CONCRETE UNIT PAVERS TO BE CLASSIC STANDARD BY ABBOTSFORD IN BASKETWEAVE PATTERN. COLOURS SHALL BE FINALIZED WITH VIEWPOINT 1 OWNER PRIOR TO INSTALLATION. USE 20mm THICK PAVERS ON ROAD INSET AND 60mm THICK PAVERS ON PEDESTRIAN AREAS.
 - GRAVEL MAINTENANCE STRIPS:** INSTALL 12 IN. WIDE GRAVEL MAINTENANCE STRIPS AROUND BUILDING UNDER OVERHANGS AS SHOWN. INSTALL 4 IN. DEPTH OF 3/4" IN. ROUND DRAIN ROCK OVER PERMEABLE LANDSCAPE FABRIC (NO PLASTIC) / CONTAIN WITH 2 X 6 IN. T. ACCO EDGERS STAKED IN PLACE.
 - SOIL:** ALL IMPORTED SOIL FOR TURF & PLANTING BEDS SHALL BE PRO-SOIL BY VERATEC OR PRE-APPROVED EQUIVALENT. SOIL SHALL BE PRE-TESTED FOR TEXTURAL ANALYSIS & NUTRIENTS. SUBMIT SUPPLIER'S CURRENT SOIL ANALYSIS REPORT TO VIEWPOINT FOR SOIL DEPTHS SHALL BE:
 LAWN: 4 - 6 IN. DEPTH OF HIGH SAND CONTENT TURF BLEND SOIL
 SHRUBS: 8 - 12 IN. DEPTH HIGH ORGANIC GARDEN OR PLANTING MIX
 TREES: 10 CM. M. PLANTING MIX / TREE AT A DEPTH OF 0.6 M. ALL TREES TO BE STAKED FOR ONE YEAR.
 - B.C. LANDSCAPE STANDARD:** ALL PLANTS, PLANTING, WORKMANSHIP AND MATERIALS TO MEET OR EXCEED B.C. LANDSCAPE STANDARD, LATEST EDITION.

GRADING KEY:

- X(70.79) CIVIL GRADES
- 70.46 ARCHITECTURAL GRADES
- X 70.65 LANDSCAPE GRADES

NOTE: REFER TO CIVIL ENGS. DRAWINGS FOR GRADING ON ROADS, AND DRAINAGE

STRUCTURAL SOIL KEY:

- OUTLINE OF 10m³ OF SOIL AT 0.60 DEPTH
- AREA REQUIRING STRUCTURAL SOIL

SEE DETAIL 6 / SHEET L1
 LANDSCAPE ARCHITECT TO BE CALLED FOR SITE REVIEW OF ROUGH GRADES PRIOR TO PLACEMENT OF STRUCTURAL SOIL.

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VIEWPOINT
 LANDSCAPE ARCHITECTS

5244 Prince Edward St. Vancouver, BC V5W 2X5
 TEL: 604-669-3201 FAX: 604-669-3278

project:
TOWNHOUSE DEVELOPMENT
 1030 / 1048 - 188th STREET SURREY, B.C.

for:
1073289 B.C. LTD.

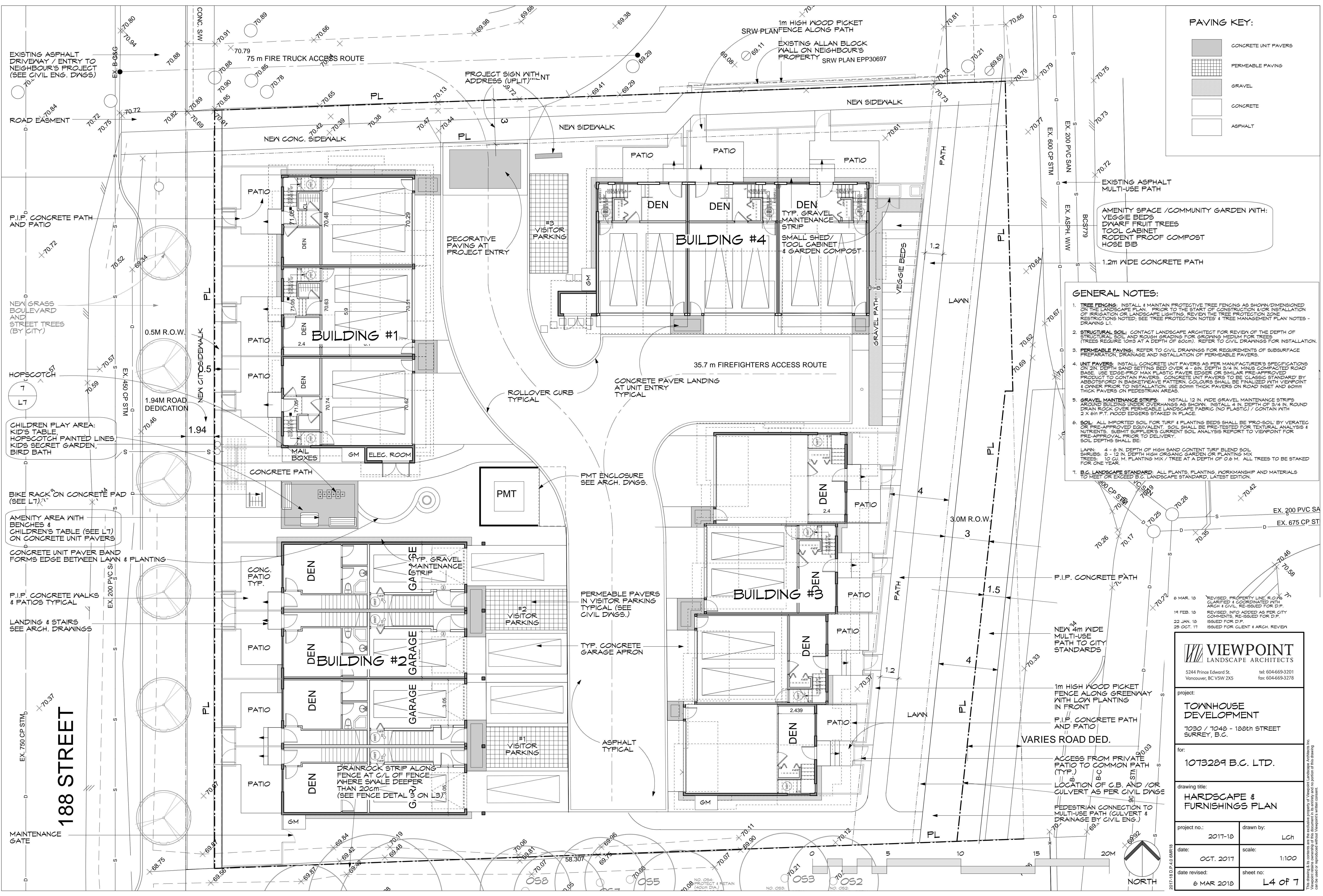
drawing title:
GRADING PLAN

project no.: 2017-18	drawn by: LCh
date: OCT. 2017	scale: 1:100
date revised: 6 MAR 2018	sheet no: L3 of 7

188 STREET



NO. OS8 PROTECT & RETAIN (20CM DIA.) PLUM
 NO. OS6 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS7 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS5 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS4 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS3 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS2 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR
 NO. OS1 PROTECT & RETAIN (40CM DIA.) DOUGLAS FIR



PAVING KEY:

	CONCRETE UNIT PAVERS
	PERMEABLE PAVING
	GRAVEL
	CONCRETE
	ASPHALT

AMENITY SPACE / COMMUNITY GARDEN WITH:
 VEGGIE BEDS
 DWARF FRUIT TREES
 TOOL CABINET
 RODENT PROOF COMPOST
 HOSE BIB

- GENERAL NOTES:**
- TREE FENCING:** INSTALL & MAINTAIN PROTECTIVE TREE FENCING AS SHOWN / DIMENSIONED ON THE LANDSCAPE PLAN. PRIOR TO THE START OF CONSTRUCTION & / OR INSTALLATION OF IRRIGATION OR LANDSCAPE LIGHTING, REVIEW THE TREE PROTECTION ZONE RESTRICTIONS NOTED; SEE TREE PROTECTION NOTES & TREE MANAGEMENT PLAN NOTES - DRAWING L1.
 - STRUCTURAL SOIL:** CONTACT LANDSCAPE ARCHITECT FOR REVIEW OF THE DEPTH OF STRUCTURAL SOIL AND ROUGH GRADING FOR GROWING MEDIUM FOR TREES. (TREES REQUIRE 1000 AT A DEPTH OF 600mm).
 - PERMEABLE PAVING:** REFER TO CIVIL DRAWINGS FOR REQUIREMENTS OF SUBSURFACE PREPARATION, DRAINAGE AND INSTALLATION OF PERMEABLE PAVERS.
 - UNIT PAVERS:** INSTALL CONCRETE UNIT PAVERS AS PER MANUFACTURER'S SPECIFICATIONS ON 200mm DEPTH SAND SETTING BED OVER 4" 6" IN. DEPTH 3/4" IN. W/INS COMPACTED ROAD BASE. USE EDGE-PRO MAX PLASTIC PAVES EDGER OR SIMILAR PRE-APPROVED PRODUCT TO CONTAIN PAVERS. CONCRETE UNIT PAVERS TO BE CLASSIC STANDARD BY ABSORPTOR IN BASKETWEAVE PATTERN. COLOURS SHALL BE FINALIZED WITH VIEWPOINT & OWNER PRIOR TO INSTALLATION. USE 80mm THICK PAVERS ON ROAD INSET AND 60mm THICK PAVERS ON PEDESTRIAN AREAS.
 - GRAVEL MAINTENANCE STRIPS:** INSTALL 12" IN. WIDE GRAVEL MAINTENANCE STRIPS AROUND BUILDING UNDER OVERHANGS AS SHOWN. INSTALL 4" IN. DEPTH OF 3/4" IN. ROUND DRAIN ROCK OVER PERMEABLE LANDSCAPE FABRIC (NO PLASTIC) / CONTAIN WITH 2 X 6" P.T. WOOD EDGERS STAKED IN PLACE.
 - SOIL:** ALL IMPORTED SOIL FOR TURF & PLANTING BEDS SHALL BE "PRO-SOIL" BY VERATEC OR PRE-APPROVED EQUIVALENT. SOIL SHALL BE PRE-TESTED FOR TEXTURAL ANALYSIS & NUTRIENTS. SUBMIT SUPPLIER'S CURRENT SOIL ANALYSIS REPORT TO VIEWPOINT FOR PRE-APPROVAL PRIOR TO DELIVERY. SOIL DEPTHS SHALL BE:
 LAWN: 4" - 6" IN. DEPTH OF HIGH SAND CONTENT TURF BLEND SOIL
 SHRUBS: 12" IN. DEPTH HIGH ORGANIC GARDEN OR PLANTING MIX
 TREES: 10 CU. M. PLANTING MIX / TREE AT A DEPTH OF 0.6 M. ALL TREES TO BE STAKED FOR ONE YEAR.
 - B.C. LANDSCAPE STANDARD:** ALL PLANTS, PLANTING, WORKMANSHIP AND MATERIALS TO MEET OR EXCEED B.C. LANDSCAPE STANDARD, LATEST EDITION.

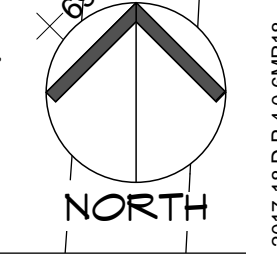
VIEWPOINT
 LANDSCAPE ARCHITECTS
 5244 Prince Edward St. Vancouver, BC V5W 2X5
 tel: 604-669-3201
 fax: 604-669-3278

project:
TOWNHOUSE DEVELOPMENT
 1030 / 1048 - 188th STREET
 SURREY, B.C.

for:
1073289 B.C. LTD.

drawing title:
HARDSCAPE & FURNISHINGS PLAN

project no.:	2017-18	drawn by:	LCh
date:	OCT. 2017	scale:	1:100
date revised:	6 MAR 2018	sheet no.:	L4 of 7



188 STREET

EXISTING ASPHALT DRIVEWAY / ENTRY TO NEIGHBOUR'S PROJECT (SEE CIVIL ENG. DWGS)

P.I.P. CONCRETE PATH AND PATIO

NEW GRASS BOULEVARD AND STREET TREES (BY CITY)

HOPSCOTCH

CHILDREN PLAY AREA: KID'S TABLE, HOPSCOTCH PAINTED LINES, KIDS SECRET GARDEN, BIRD BATH

BIKE RACK ON CONCRETE PAD (SEE L7)

AMENITY AREA WITH BENCHES & CHILDREN'S TABLE (SEE L7) ON CONCRETE UNIT PAVERS

CONCRETE UNIT PAVES BAND FORMS EDGE BETWEEN LAWN & PLANTING

P.I.P. CONCRETE WALKS & PATIOS TYPICAL

LANDING & STAIRS SEE ARCH. DRAWINGS

MAINTENANCE GATE

6 MAR. 10: REVISOR PROPERTY LINE, R.O.W. CLARIFIED & COORDINATED WITH ARCH. & CIVIL. RE-ISSUED FOR D.P.F.
 14 FEB. 10: REVISOR INFO ADDED AS PER CITY COMMENTS. RE-ISSUED FOR D.P.F.
 22 JAN. 18: ISSUED FOR D.P.F.
 28 OCT. 17: ISSUED FOR CLIENT & ARCH. REVIEW

NEW 4m WIDE MULTI-USE PATH TO CITY STANDARDS

1m HIGH WOOD PICKET FENCE ALONG GREENWAY WITH LOW PLANTING IN FRONT

P.I.P. CONCRETE PATH AND PATIO VARIES ROAD DED.

ACCESS FROM PRIVATE PATIO TO COMMON PATH (TYP.)

LOCATION OF C.B. AND / OR CULVERT AS PER CIVIL DWG.

PEDESTRIAN CONNECTION TO MULTI-USE PATH (CULVERT & DRAINAGE BY CIVIL ENG.)



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 14 FEB. 10 REVISED INFO ADDED AS PER CITY COMMENTS, RE-ISSUED FOR D.P.
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VIEWPOINT
 LANDSCAPE ARCHITECTS
 5244 Prince Edward St. Vancouver, BC V5W 2X5
 tel: 604-669-3201 fax: 604-669-3278

project:
TOWNHOUSE DEVELOPMENT
 1030 / 1048 - 188th STREET SURREY, B.C.

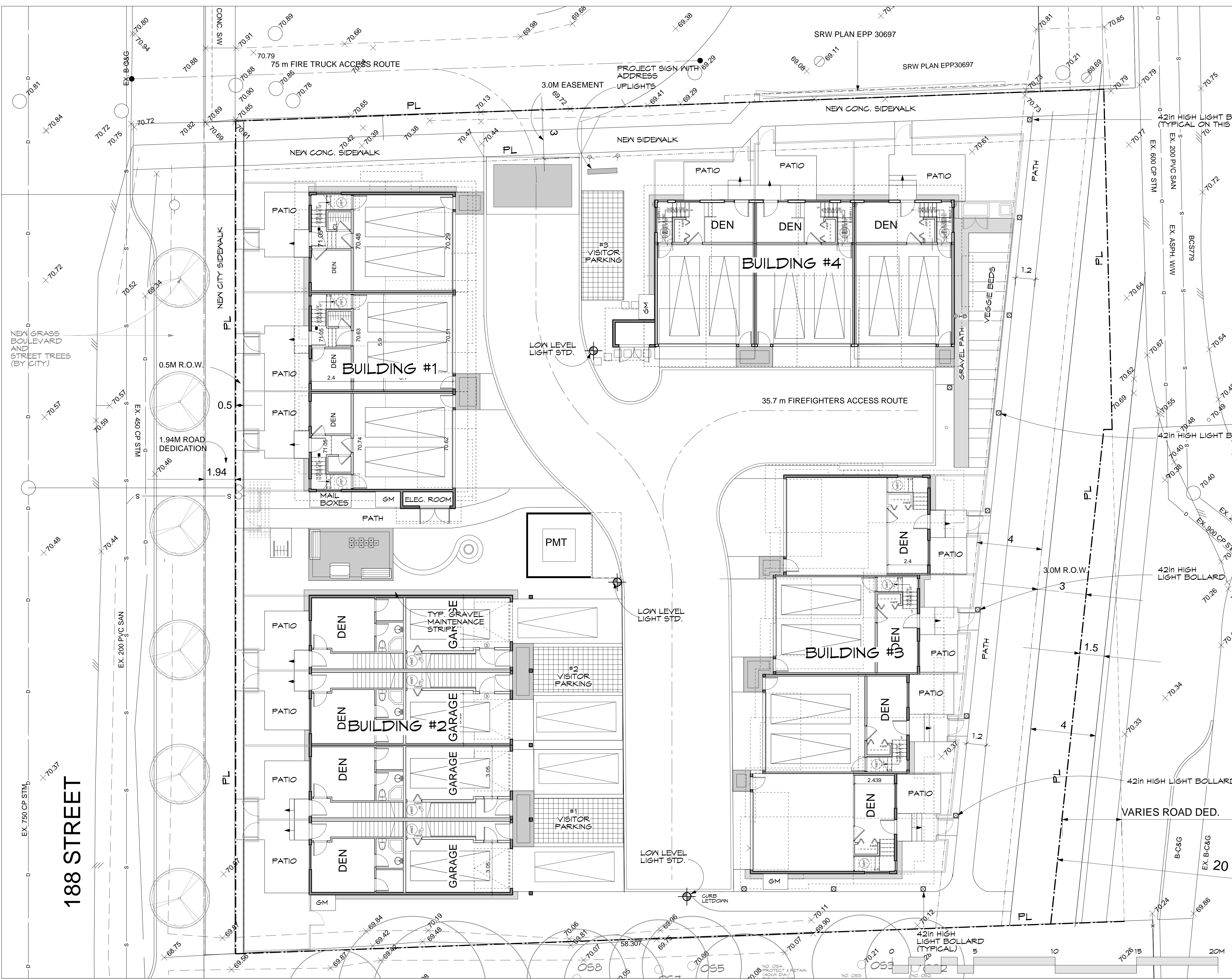
for:
1073289 B.C. LTD.

drawing title:
FENCING & WALLS PLAN

project no.:	2017-18	drawn by:	LCH
date:	OCT. 2017	scale:	1:100
date revised:	6 MAR 2018	sheet no.:	L5 of 7

2017-18-D-14-0-0-MR-1E

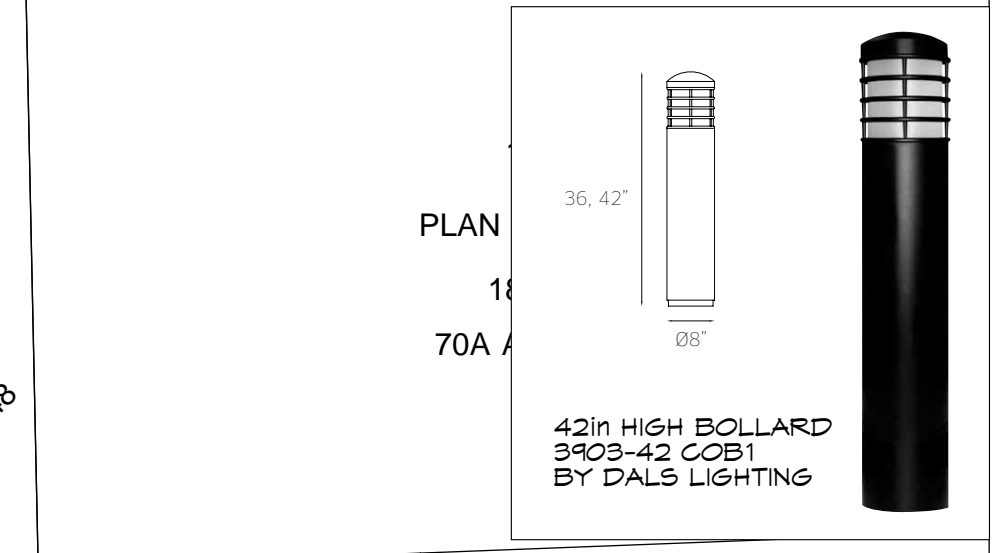
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LIGHTING KEY:

- ◻ 42 INCH HIGH BOLLARD 3403-42 LED COB1 BY DALIS LIGHTING
- ⊕ LOW LEVEL LIGHT STANDARD POLE MOUNTED
- ⋈ UPLIGHTS

NOTE:
ALL STREET LIGHTING AND BUILDING LIGHTING BY OTHERS



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VIEWPOINT
LANDSCAPE ARCHITECTS

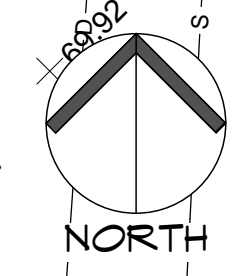
5244 Prince Edward St. tel: 604-669-3201
 Vancouver, BC V5W 2X5 fax: 604-669-3278

project:
TOWNHOUSE DEVELOPMENT
1030 / 1048 - 188th STREET
SURREY, B.C.

for:
1073289 B.C. LTD.

drawing title:
LIGHTING PLAN

project no.:	2017-18	drawn by:	LCh
date:	OCT. 2017	scale:	1:100
date revised:	6 MAR 2018	sheet no.:	L6 OF 7

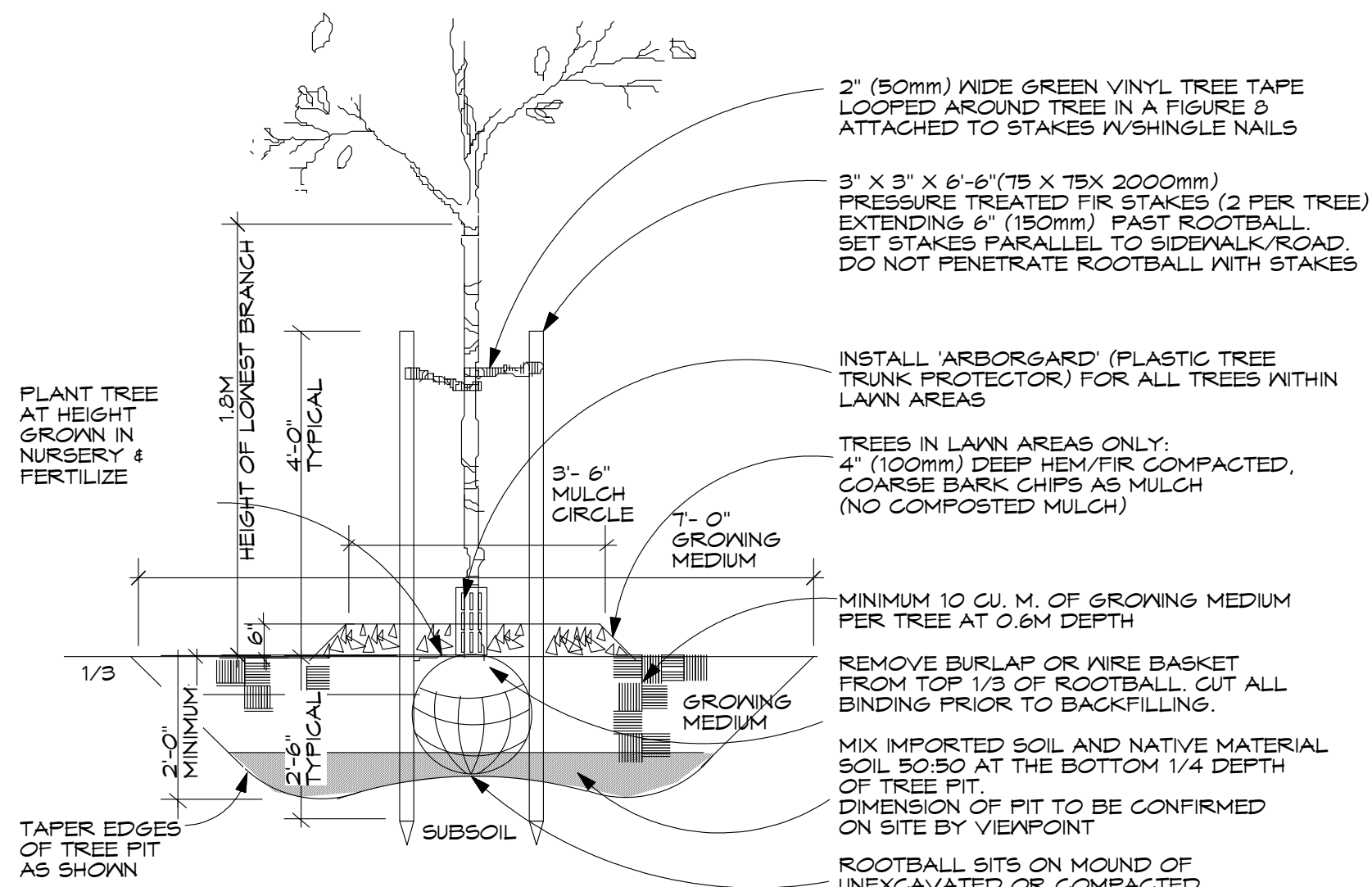


188 STREET

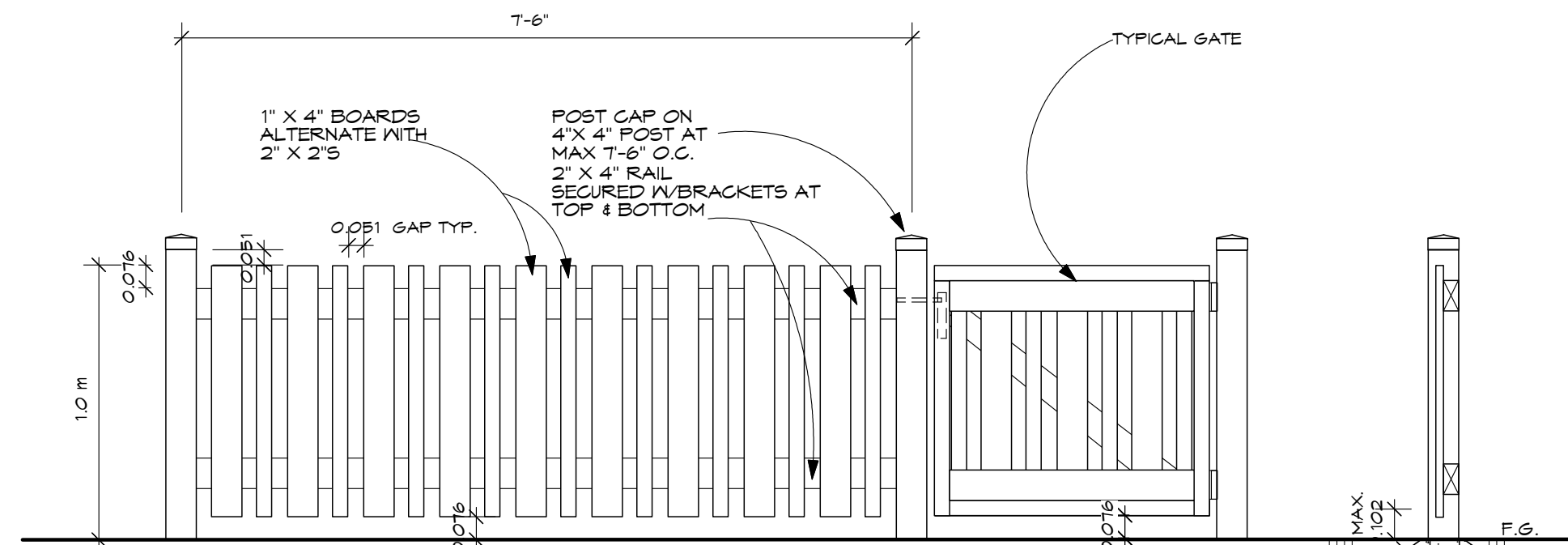
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NOTES:

1. REMOVE TREE STAKES AFTER FIRST YEAR OF MAINTENANCE (SEE SPECIFICATIONS)
2. WATER ALL TREES REGULARLY DURING ESTABLISHMENT PERIOD (BI-WEEKLY SUMMER WATERING - SEE SPECIFICATIONS)
3. SET TREE PLUMB / AT GRADE GROWN IN NURSERY / DO NOT PRUNE LEADER



2 TREE STAKING
NOT TO SCALE



ELEVATION:
FRONT SIDE OF FENCE

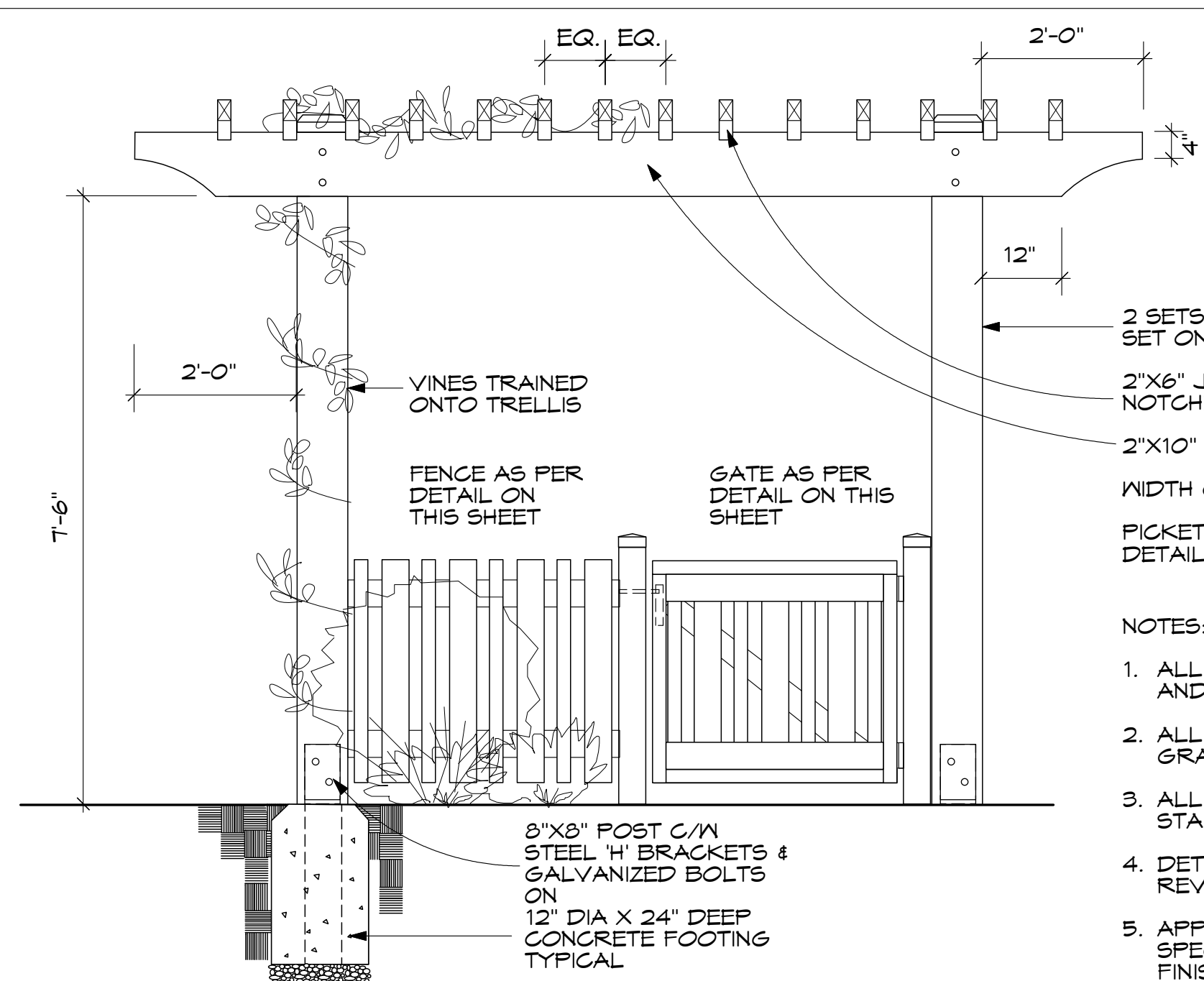
SECTION
THROUGH
FENCE

NOTES:

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE - COLOUR OF PRESERVATIVE TO MATCH WOOD
2. ALL OTHER MEMBERS TO BE CEDAR #2 CONSTRUCTION GRADE MINIMUM.
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED.
4. GATES TO HAVE HEAVY DUTY LATCH AT TOP OF GATES & EXTERIOR HEAVY DUTY HINGES
5. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. COLOR SELECTED BY LANDSCAPE ARCHITECT TO COORDINATE WITH BUILDING FINISHES. CONTACT LANDSCAPE ARCHITECT FOR COLOUR SELECTION.
6. TOPS OF ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 8\"/>

3 PICKET FENCE

FOR USE ALONG 188th ST. NORTH SIDE IN REAR YARDS
ALONG GREENWAY / SWALE and BETWEEN YARDS
1:20m



5 WOOD TRELLIS AT 188TH ST.
1:20m

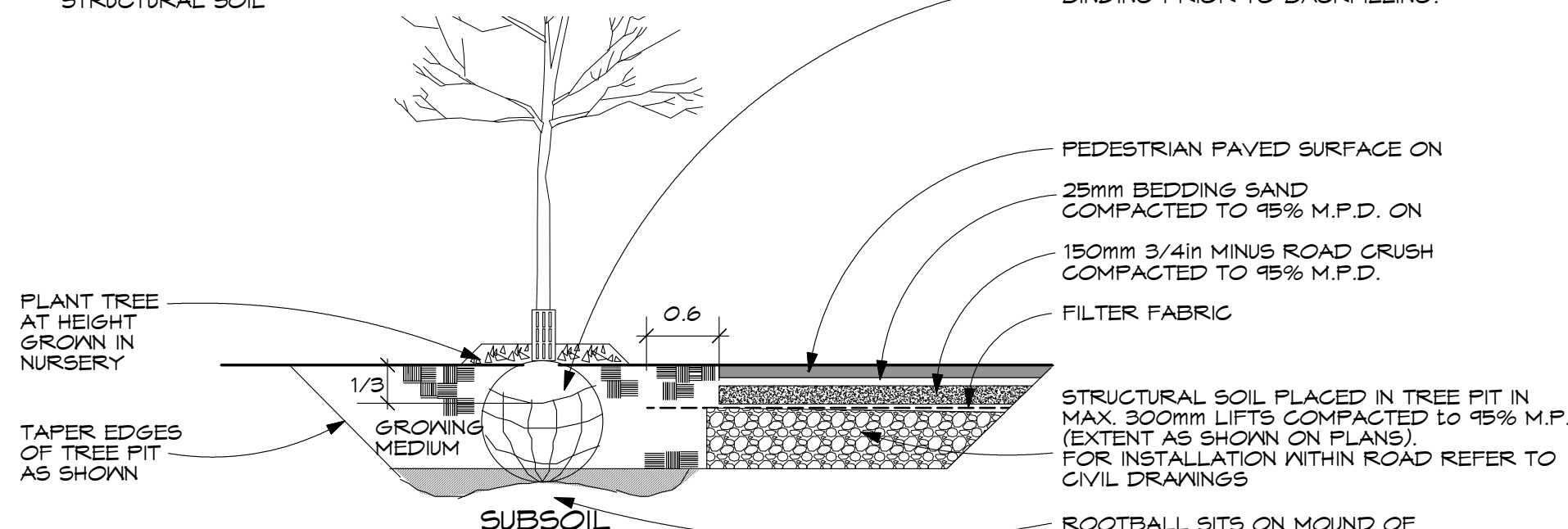
- 2 SETS OF 8\"/>

NOTES:

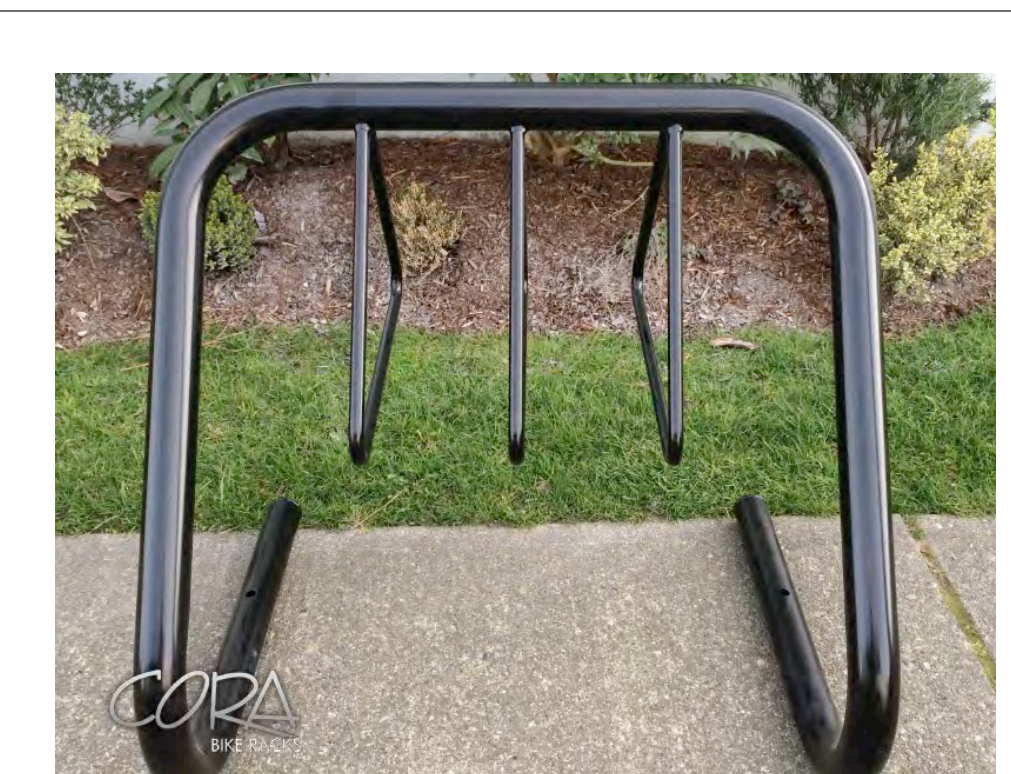
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 CONSTRUCTION GRADE MINIMUM.
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
4. DETAIL: FOOTING, HARDWARE AND CONNECTIONS TO BE REVIEWED BY PROJECT STRUCTURAL ENGINEER AT B.P. STAGE.
5. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION COORDINATED WITH BUILDING FINISHES.

NOTES:

1. MINIMUM 10 CU. M. OF GROWING MEDIUM PER TREE AT 0.6M DEPTH INCLUDING STRUCTURAL SOIL (WHERE INDICATED ON LANDSCAPE PLANS)
2. WATER ALL TREES REGULARLY DURING ESTABLISHMENT PERIOD (BI-WEEKLY SUMMER WATERING - SEE SPECIFICATIONS)
3. SET TREE PLUMB / AT GRADE GROWN IN NURSERY / DO NOT PRUNE LEADER
4. REFER TO STRUCTURAL SOIL SPECIFICATION
5. TREE PIT SIZED AND CONSTRUCTED AS PER PLANTING PLAN - LINE OF STRUCTURAL SOIL



6 STRUCTURAL SOIL DETAIL
Scale: 1:50



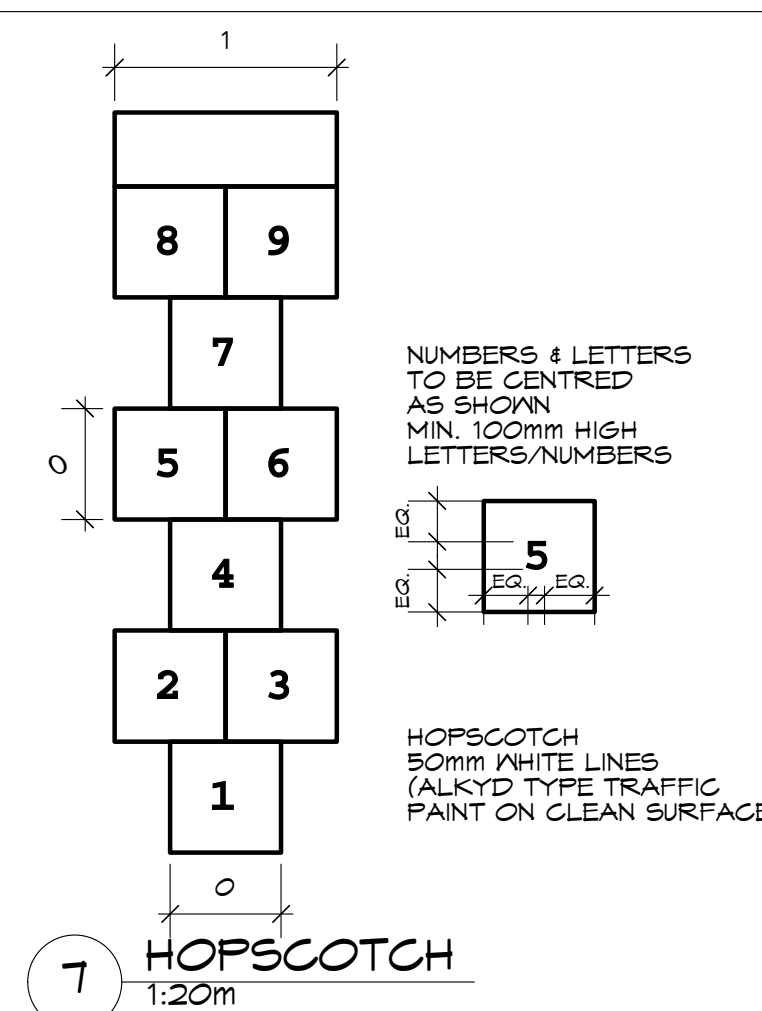
BIKE RACK:
CORA BIKE RACK MODEL 3606
4 - 6 BIKE CAPACITY
POWDER COATED JET BLACK RAL 9005
VANDAL PROOF ATTACHMENT PER MANUFACTURER'S SPECIFICATIONS



CHILDREN'S PICNIC TABLE:
CHILDREN'S RUTHERFORD PICNIC TABLE BY NISHBONE
FRAME: BLACK SUPER TEXTURE
RE-PLAST(TM) RECYCLED PLASTIC SLATS; COLOUR: WALNUT
VANDAL PROOF ATTACHMENT PER MANUFACTURER'S SPECIFICATIONS



BENCHES:
RUTHERFORD PARK BENCH BY NISHBONE
FRAME: BLACK SUPER TEXTURE
RE-PLAST(TM) RECYCLED PLASTIC SLATS; COLOUR: WALNUT
VANDAL PROOF ATTACHMENT PER MANUFACTURER'S SPECIFICATIONS



7 HOPSCOTCH
1:20m



BIRD BATH:
LOVEBIRDS BIRDBATH
C/M VANDAL PROOF ATTACHMENT
HARDWARE

6 MAR. 18 REVISED PROPERTY LINE, R.O.W. CLARIFIED & COORDINATED WITH ARCH & CIVIL. RE-ISSUED FOR D.P.F.
18 FEB. 18 REVISED INFO ADDED AS PER CITY COMMENTS. RE-ISSUED FOR D.P.F.
22 JAN. 18 ISSUED FOR D.P.F.
28 OCT. 17 ISSUED FOR CLIENT & ARCH. REVIEW

VIEWPOINT
LANDSCAPE ARCHITECTS
5244 Prince Edward St. Vancouver, BC V5W 2X5 tel: 604-669-3201 fax: 604-669-3278

project:
TOWNHOUSE DEVELOPMENT
1030 / 1048 - 188th STREET SURREY, B.C.

for:
1073289 B.C. LTD.

drawing title:
PLANT LIST; DETAILS

project no.:	2017-18	drawn by:	LCH
date:	OCT. 2017	scale:	AS SHOWN
date revised:	6 MAR 2018	sheet no.:	L7 OF 7

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**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Project Engineer, Engineering Department

DATE: March 2, 2018 PROJECT FILE: **7816-0334-00**

**RE: Engineering Requirements
Location: 7030 / 7048 188 Street**

REZONE/SUBDIVISION

Property and Statutory Right-of-Way (SRW) Requirements

- 188 Street: dedicate 1.942 metres for ultimate 12.0 metres road allowance from centerline, register 0.5 metre SRW along site frontage
- 188A Street: dedicate property required to secure 20.0 metre ultimate road allowance, register 3.0 metre SRW for multi use pathway
- register adequate SRW to accommodate public concrete sidewalk along north property line

Works and Services

- 188 Street: construct east side of 188 Street to collector road standard
- 188A Street: construct west side of 188A Street to through local standard with 4.0 metre multi-use pathway
- construct 1.5 metre public concrete sidewalk along north property line for connection to multi-use pathway at 188A Street
- install onsite low impact development (LID) storm water measures
- provide water, storm and sanitary connections to service the site

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit



Tommy Buchmann, P.Eng.
Development Engineer

KMH



Planning December-01-17

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0334 00

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Hazelgrove Elementary was built in 2009, and in 2011, a 4 classroom addition was added. The Clayton area is one of the fastest growing communities because of the build out of the East Clayton NCP and development of the Aloha Estates. Hazelgrove Elementary was built in 2009, and in 2011, a 4 classroom addition was added. As of September 2017, Hazelgrove has 10 portables on site used for enrolling spaces. Currently, there is a 606 elementary seat shortfall in the Clayton area.

To meet the increasing demand for enrolling space in this area, the district is currently in design and construction for two new 605 capacity elementary schools just to the north of Katzie Elementary. One site is to be open September 2019 and the other September 2020 which will relieve the immediate in-catchment enrollment pressure.

As part of the District's 2018/19 Capital Plan submission to the Ministry of Education, the district is asking for a site expansion along with a 445 capacity addition to the existing Clayton Elementary targeted to open September 2024 to meet future growth in the community. This project has yet to be approved for capital funding.

A new 1500 capacity high school, Ecole Salish Secondary, is scheduled to open September 2018. The new boundaries has been established dividing the existing Clayton Heights Secondary into two catchments. Hazelgrove Elementary will feed the new Salish Secondary when it opens in September 2018.

SUMMARY

The proposed 14 townhouse units are estimated to have the following impact on the following schools:

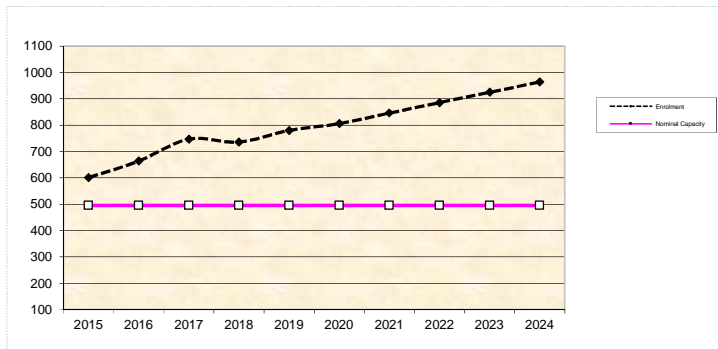
Projected # of students for this development:

Elementary Students:	3
Secondary Students:	1

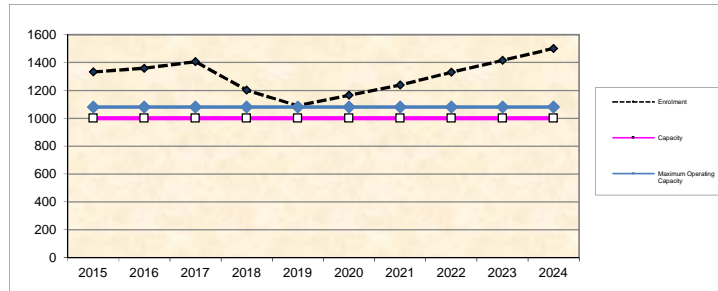
September 2017 Enrolment/School Capacity

Hazelgrove Elementary	
Enrolment (K/1-7):	111 K + 636
Nominal Capacity (K/1-7)	76 K + 419
Clayton Heights Secondary	
Enrolment (8-12):	1406
Capacity (8-12):	1000
Maximum Operating Capacity*(8-12):	1080

Hazelgrove Elementary



Clayton Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 16-0334-00


Address: 7030 & 7048 188 Street, Surrey, BC

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	3
Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 3 X two (2) = 6 	6
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2 	2
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: February 26, 2018
--	-------------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



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V3W 0A6
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Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE

TREE PRESERVATION AND PROTECTION PLAN

7030 7048 188 STREET
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	APR24/17	MK	REVISED SITE PLAN
2	JUN07/17	MK	REVISED SITE PLAN
3	JUN22/17	MK	REVISED SITE PLAN
4	OCT11/17	MK	REVISED SITE PLAN
5	FEB22/18	MK	REVISED SITE PLAN
6	FEB27/18	MK	LANDSCAPE PLAN



SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

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DRAWN

SGL

SCALE

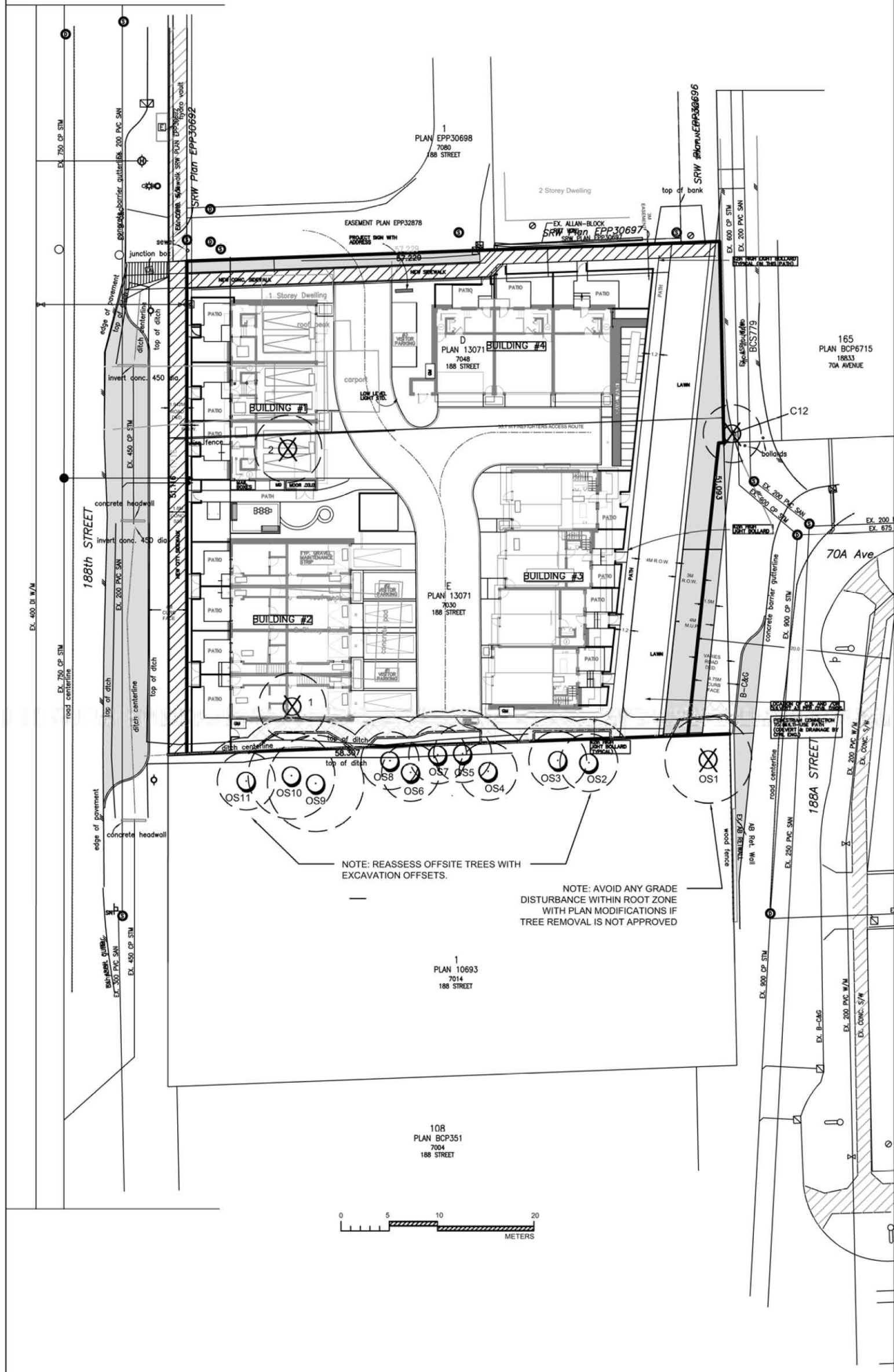
AS SHOWN

DATE

JUNE 29, 2016

T-1

SHEET 1 OF 2



LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		1.5m EXCAVATION OFFSET

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0334-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-762-361
 Lot "D" Section 16 Township 8 New Westminster District Plan 13071

 7048 - 188 Street

Parcel Identifier: 009-762-388
 Lot "E" Section 16 Township 8 New Westminster District Plan 13074

 7030 - 188 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

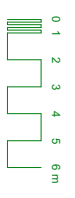
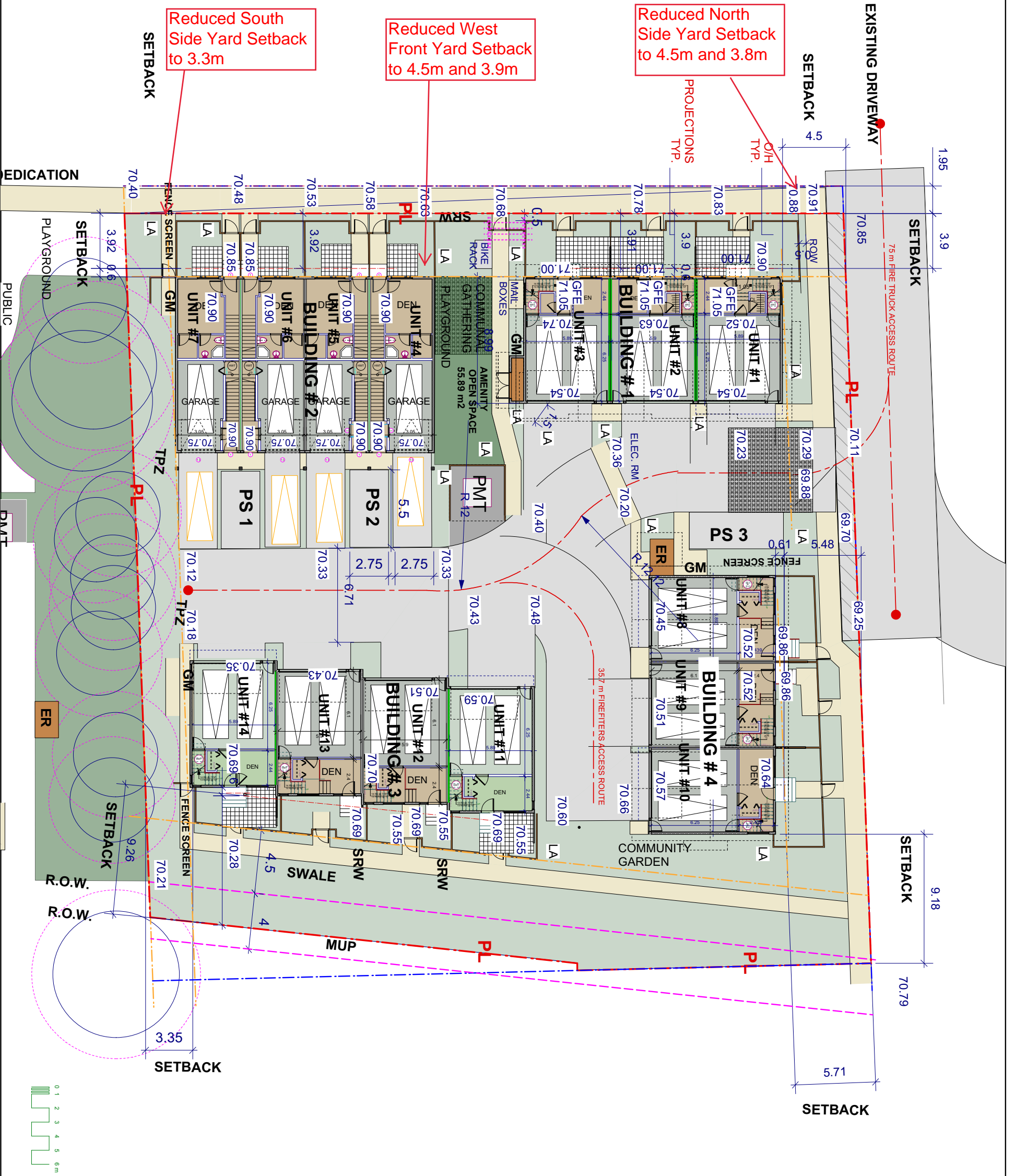
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum west front yard setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and from 7.5 metres (25 ft.) to 3.9 metres (13 ft.) to the balcony;
 - (b) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum north side yard setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and 3.8 metres (12.5 ft.) to the balcony; and
 - (c) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum south side yard setback is reduced from 7.5 metres (25 ft.) to 3.3 metres (10 ft.) to the principal building.
5. This development variance permit applies to the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Schedule A



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No:	Date:	Revision Details:
01	20/06/17	Setbacks revised



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904 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 351 2378
email: wg@wgarchitecturinc.com

Project Title:
TOWNHOUSE DEVELOPMENT
7030/7048-188 ST
SURREY, BC
SURREY, B.C.

Drawing Title:
SITE PLAN

Date:	Project Number:
Scale:	1616
1:125	
Drawn By:	
Approved By:	
WG	DP103

