

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0318-00

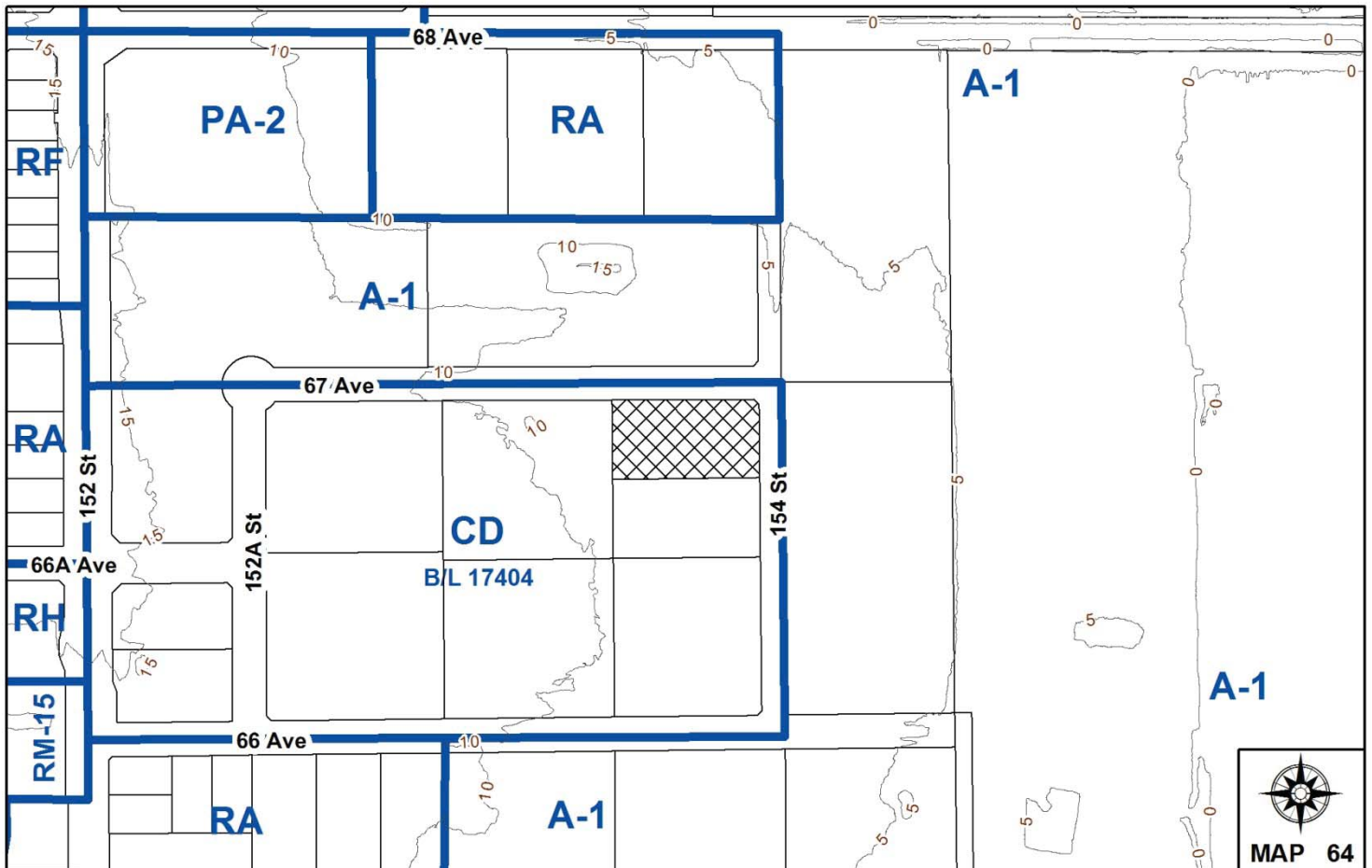
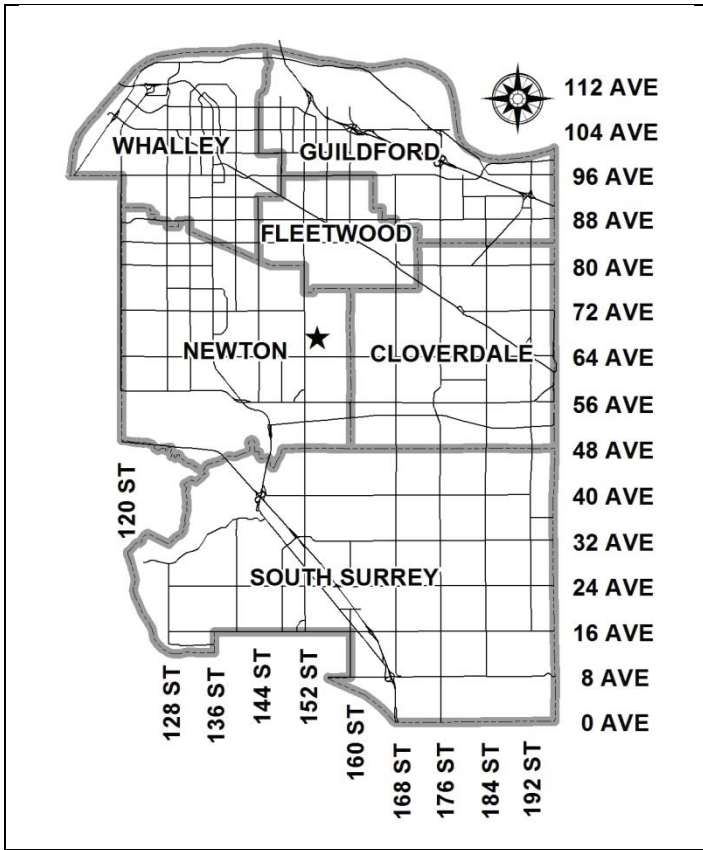
Planning Report Date: September 12, 2016

PROPOSAL:

- **Development Permit**

to permit the development of a two-storey multi-tenant business park building.

LOCATION: 6677 - 154 Street
OWNER: SWR Industries Ltd.
ZONING: CD (By-law No. 17404)
OCP DESIGNATION: Mixed Employment
NCP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the East Newton Business Park NCP designation.
- The proposed multi-tenant building is considered attractive, well-designed and provides an appealing addition to East Newton Business Park as well as establishes a higher-standard in terms of the form, design and character of future industrial buildings within the surrounding neighbourhood.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7916-0318-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 67 Avenue):	Vacant City-owned property	Mixed Employment/ Business Park	A-1
East (Across 154 Street):	Home-based occupation/ manufacturing business	Mixed Employment/ Business Park	A-1
South:	Vacant parcel currently under application for a two- storey business park building (File No. 7915-0339- 00)	Mixed Employment/ Business Park	CD (By-law No. 17404)
West:	Multi-tenant business park buildings	Mixed Employment/ Business Park	CD (By-law No. 17404)

DEVELOPMENT CONSIDERATIONS

Background

- The property at 6677 – 154 Street is designated “Industrial” in the Official Community Plan (OCP) and “Business Park” in the East Newton Business Park Neighbourhood Concept Plan (NCP). The property is regulated by a “Comprehensive Development Zone (CD)” (By-law No. 17404) which permits a broad range of light impact industrial, office, general service and personal service uses.
- A Development Permit application (File No. 7912-0331-00) was previously approved in July, 2013 on the adjacent property at 15336 – 67 Avenue and two multi-tenant business park buildings with ground-floor warehouse and second-floor mezzanine space have since been constructed under this Development Permit.
- In addition, the southerly property located at 6655 – 154 Street is currently under application for a Development Permit to allow a 1,462 square metre (15,737 sq. ft.) industrial building that includes an adult education centre, school of theology, mosque, office as well as childcare facility (File No. 7915-0339-00). The application is currently pre-Council.

Current Proposal

- The applicant is proposing to construct a two-storey multi-tenant building with 1,605 square metres (17,276 sq. ft.) of ground-floor warehouse and upper-storey office space.
- The proposed building conforms in all respects to provisions of the current CD Zone (By-law No. 17404).

DESIGN PROPOSAL AND REVIEW

Proposed Building

- The proposed two-storey multi-tenant industrial building will offer about 1,089 square metres (11,722 sq. ft.) of ground-floor warehouse, 282 square metres (3,035 sq. ft.) of second-floor office space for one (1) tenant as well as 233 square metres (2,508 sq. ft.) of covered outdoor storage and/or work yard.
- A total of five units are proposed, each with individual entrances and overhead loading doors facing the parking area. The westerly unit is designed to accommodate the principal tenant (SWR Industries Ltd.) and includes a covered outdoor storage area or work yard accessed by three loading bay doors along the southern elevation.
- The proposed industrial building conforms to the Floor Area Ratio (FAR), maximum building height, lot coverage and minimum setback requirements in the CD Zone (By-law No. 17404).
- The concrete tilt-up building is attractive, well-designed and provides an appealing addition to East Newton Business Park by establishing a high-standard with respect to the form, design and character of future industrial building within the surrounding neighbourhood.

- The building materials include pressure treated wood brackets with metal support plates on the northern façade as well as fabric awnings over rear entry doors for weather protection, exterior roller doors for each loading bay, hardi panel fascia boards and a metal beam support structure located over the outdoor storage area/work yard. The building façade also includes ground-floor aluminum storefront windows and upper-storey glazing, exterior box frames located around the individual entrances along the northern façade with treated wood soffits as well as multi-colour reveals with darker accent materials which enhance visual interest. In addition, the proposal will include strong corner design elements with vertical glazing that will wrap around the northeast corner of the proposed building along the street frontages to reduce the overall building massing.

Driveway Access and On-site Parking

- The subject property will obtain driveway access from 67 Avenue and 154 Street. The principal vehicular access point will be off 154 Street while secondary access is provided from 67 Avenue for loading/unloading purposes with individual tenants utilizing overhead roller doors as well as loading bays located along the southern façade.
- The Zoning By-law requires twenty-two parking spaces on-site based upon a combination of ground-floor warehouse and limited second-floor office space.
- The applicant is proposing to provide one parking space per 100 square metres (1,075 sq. ft.) of gross floor area for ground-floor warehouse and 2.5 parking spaces per 100 square metres (1,075 sq. ft.) of gross floor area for second-floor office space. The applicant will provide an additional 8 parking stalls on-site, for a total of 30 spaces, to account for forty percent additional mezzanine space in future within Units 1 to 4.
- As East Newton Business Park has experienced a high-profile history of parking-related issues, an on-site parking ratio of 2 stalls per 100 square metres (1,075 sq. ft.) of gross floor area, which includes mezzanine space, is strongly encouraged to offset any future parking demand caused by more parking intensive land-uses allowed under the CD Zone (e.g. office uses, recreational facilities, childcare centres, general service uses, personal service uses, etc.).
- Although the proposed on-site parking meets the minimum parking requirement under the Zoning By-law, the applicant may encounter deficiencies in on-site parking if Units 1 to 4 are occupied by land-uses with parking rates that exceed 1 space per 100 square metres (1,075 sq. ft.) of gross floor area. Furthermore, the parking situation could be exacerbated if Units 1 to 4 are permitted to construct additional mezzanine space.
- Staff have raised this issue with the applicant and recommended that additional parking stalls (at a rate of 2 spaces per 100 square metres [1,075 sq. ft.] of gross floor area) be provided on-site, as part of the current DP application, to permit a broader range of land-uses and accommodate future mezzanine space in Units 1 to 4.
- The applicant understands the implications of not providing additional on-site parking in order to accommodate more parking intensive land-uses and previously indicated that no additional mezzanine space is currently proposed or would be permitted in future.

- As such, the eight (8) additional parking stalls provided on-site beyond the minimum twenty-two (22) parking stalls required under the Zoning By-law could be used to offset more parking intensive land-uses allowed in the CD Zone or permit a maximum of forty percent mezzanine space in Units 1 to 4, but not both. In addition, the applicant is aware that future requests for parking relaxations to accommodate parking intensive land-uses or mezzanine space may not be supported by City staff.
- On-site parking and loading/unloading spaces with overhead roller doors are provided at the rear of each unit. The westerly unit is designed to accommodate the principal tenant (SWR Industries Ltd.) and includes a covered outdoor storage area or work yard accessed by three loading bay doors along the southern elevation. Another bay door is provided on the western façade that includes stamped pavement markings that indicate no loading/unloading is permitted given its proximity to the driveway entrance off 67 Avenue.
- Several parking spaces are provided at the southwest corner of the proposed building, next to the outdoor storage area, for tenants and employees with additional visitor parking provided along the eastern façade, adjacent 154 Street.

Proposed Free-standing Signage

- The Sign By-law permits a free-standing sign with a maximum height of 6 metres (20 ft.) on 67 Avenue. However, the maximum permitted height for free-standing signs is reduced to 2.4 metres (8 ft.), as per the Design Guidelines registered on title under File No. 7908-0128-00 for this portion of East Newton Business Park. The applicant is proposing two free-standing signs on the northern and eastern boundary of the subject property that are 2.4 meters (7.9 ft.) in height and, therefore, comply with the maximum height requirement specified in the Design Guidelines.
- The free-standing signs are 2 metres (6.6 ft.) wide and double-sided resulting in a total sign area of 9.6 square metres (103 sq. ft.). The Sign By-law permits a total sign area of 28 square metres (300 sq. ft.).
- The free-standing signs are comprised of concrete with five metal sign panels which provide advertising exposure for each tenant. In addition, each sign includes metal letters that identify the property address.
- The applicant proposes a minimum setback of 2 metres (6.5 ft.) from the northern and eastern boundary of the subject property, in keeping with the setback requirements identified within the Sign By-law.
- The applicant is proposing to introduce additional landscaping around the base of the signs to improve the overall appearance, including low-lying shrubs and additional groundcover.

Proposed Fascia Signage

- The proposed fascia signage will be limited to one fascia sign per premise frontage and complies with the maximum allowable combined sign area per linear foot of premise frontage. In addition, the fascia signage will not extend more than 0.5 metre (1.6 ft.) from the building façade, in keeping with the Sign By-law.

- The fascia signs will consist of individual channel letters with background illumination. The fascia signage will be located directly above the unit windows and doorway entrances. No fascia signage is permitted on architectural elements or design features on the exterior of the proposed building.
- Fascia signage is limited to first-floor tenants. No upper-storey fascia signage is proposed.

Pedestrian Connectivity and Corner Feature

- Additional walkways are provided on-site to encourage pedestrian connectivity which include several walkways extending from the northern building façade to the adjacent public sidewalk along 67 Avenue.
- The on-site walkway along the northern building façade leads, via the public sidewalk, directly to a proposed corner plaza at the intersection of 67 Avenue and 154 Street, which is required per the Design Guidelines created under the General Development Permit (File No. 7908-0128-00) for this portion of East Newton Business Park. The corner plaza design will include the addition of low-level planting, benches and ornamental grasses.

Proposed Landscaping

- The proposed landscaping complies with the CD Zone and Design Guidelines originally developed for this portion of East Newton Business Park under File No. 7908-0128-00 and includes, wherever possible, a double row of trees (located on-site) that line the existing sidewalks, in keeping with the CD By-law.
- Significant landscaping is proposed around the bio-swale feature along the northern boundary of the subject property (67 Avenue) which includes river rocks, small trees and evergreen shrubs.
- A variety of trees, shrubs and groundcover is proposed along the perimeter of the subject property with several decorative features including distinctive paving materials at driveway entrances and pedestrian lighting.

TREES

- The ISA Certified Arborist for M2 Landscape Architecture has indicated the subject property is comprised entirely of alder and cottonwood trees. An Arborist Report, acceptable to staff, must be submitted prior to issuance of the Development Permit to verify these findings. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder/Black Cottonwood	8	8	0
Total	8	8	0

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	25
Total Retained and Replacement Trees	25
Contribution to the Green City Fund	N/A

- The Arborist anticipates there are a total of eight (8) protected trees on the site, all of which are Red Alders or Black Cottonwoods. It was determined that no trees could be retained as part of this development proposal. The proposed tree retention was assessed after taking into consideration the location of services, road dedication, building footprints and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood. This will require a total of eight (8) replacement trees on the site. The applicant is proposing twenty-five (25) replacement trees, which exceeds City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 67 Avenue and 154 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Katsura, Slender Hinoki Cypress, White Wonder Dogwood, Autumn Purple Ash, Magnolia and Shore Pine.
- In summary, a total of twenty-five (25) replacement trees are proposed on-site which exceeds City requirements based upon a replacement ratio of 1 to 1 for Alders and/or Cottonwoods.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 8, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject property is situated within the East Newton Business Park Neighbourhood Concept Plan (NCP). Moreover, the proposal complies with the land-use designation in the Official Community Plan (OCP) and East Newton Business Park NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal complies with the density permitted in the CD Zone.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • N/A

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	• N/A
5. Accessibility & Safety (E1-E3)	• N/A
6. Green Certification (F1)	• N/A
7. Education & Awareness (G1-G4)	• The proposed multi-tenant building will include energy star appliances, low-flow plumbing fixtures and low energy lighting.

ADVISORY DESIGN PANEL

The proposal was not forwarded to the Advisory Design Panel (ADP) for comment but reviewed internally by City staff and deemed generally acceptable in terms of form, design and character.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Project Data Sheets
- Appendix II. Site Plan, Building Elevation Drawings and Landscape Plans

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by JM Architecture Inc. and M2 Landscape Architecture, respectively, dated September 6, 2016 and August 29, 2016.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

MRJ/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Joseph M. Minten
 JM Architecture Inc.
 Address: 15243 – 91 Avenue, Unit #100, Building 4
 Surrey, B.C. V3R 8P8
 Tel: 604-583-2003

2. Properties involved in the Application
- (a) Civic Address: 6677 – 154 Street
- (b) Civic Address: 6677 – 154 Street
 Owner: SWR Industries Ltd.
 PID: 028-737-938
 Lot 8 Section 14 Township 2 New Westminster District Plan BCP49715

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17404)

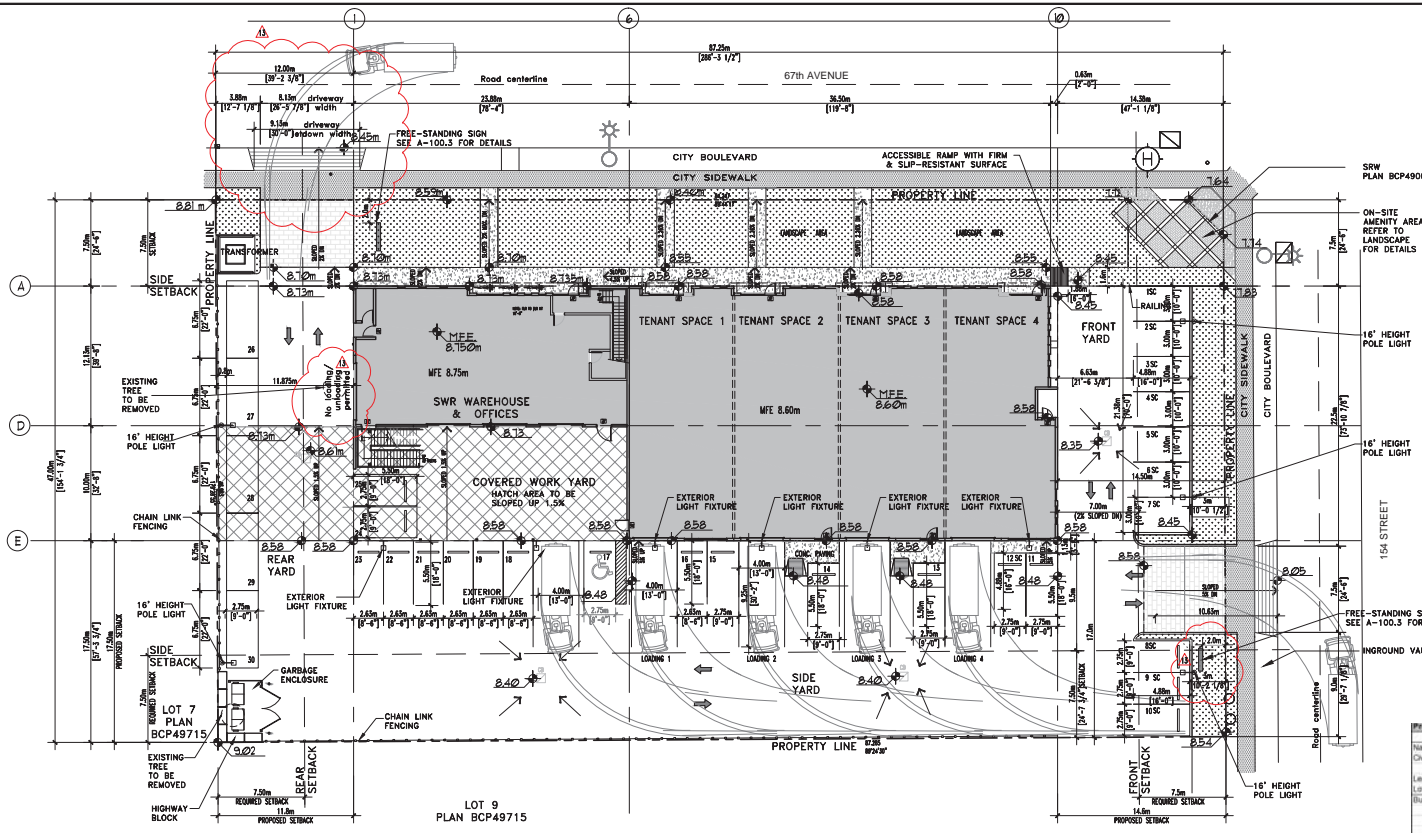
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	4,073.6 sq. m.
Road Widening area		
Undevelopable area		
Net Total	N/A	N/A
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	N/A	N/A
Paved & Hard Surfaced Areas	N/A	N/A
Total Site Coverage	60%	32.4%
SETBACKS (in metres)		
Front	7.5 m.	14.5 m.
Rear	7.5 m.	11.8 m.
Side (North)	7.5 m.	7.5 m.
Side (South)	7.5 m.	17 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	12 m.	10.52 m.
Accessory	6 m.	N/A
NUMBER OF RESIDENTIAL UNITS	N/A	N/A
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial	N/A	N/A
FLOOR AREA: Industrial		
Warehouse	N/A	1086.09 sq. m.
Office	N/A	283.68 sq. m.
Work Yard	N/A	232.55 sq. m.
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA	N/A	1602.32 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	N/A	N/A
FAR (net)	0.75	0.39
AMENITY SPACE (area in square metres)	N/A	N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	N/A	N/A
Industrial		
Warehouse	11 spaces	N/A
Office	8 spaces	N/A
Work Yard	3 spaces	N/A
Residential	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	22 spaces	30 spaces
Number of disabled stalls	N/A	1 space
Number of small cars	11 spaces	11 spaces
Tandem Parking Spaces	N/A	5 spaces
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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LEGEND

- BUILDING OUTLINE
- PROPERTY LINE
- SETBACK
- BUILDING OVERHANG OUTLINE
- CONCRETE SIDEWALK
- LANDSCAPE
- SLOPED AREA
- CITY SIDEWALK
- STAPLED ASPHALT PAVING
- REGULAR PARKING STALL (SC IS SMALL CAR)
- 16' HEIGHT POLE LIGHT
- EXTERIOR LIGHT FIXTURE

SURVEY NOTE:
 THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION OBTAINED FROM TARGET LAND SURVEY DATED ON 3 October, 2015. WHILE A REASONABLE EFFORT HAS BEEN MADE TO VERIFY THE INFORMATION, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL THE DIMENSIONS & TYPING INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD ANY DISCREPANCIES BECOME EVIDENT NOTIFY THE ARCHITECT IMMEDIATELY.

NOTE:
 NO MEZZANINE TO BE PROVIDED FOR TENANT SPACE 1, 2, 3 & 4 AS NO APPROPRIATE PARKING.

SITE PLAN
 SCALE: 1 = 200



SITE CONTEXT PLAN
 SCALE: 1 = 500

Project Data	Survey By/Law Requirements	Proposed or Provided
Name	Warehouse Development	
City Address	6677 154 Street, Surrey, B.C.	
Legal Description	Lot 9, Sec 14, TWP 2, PL BCP 49715, NW D 4073.07 m ² - 43848.79 sq ft	
Building Areas		
Main Floor Area (802 41m ² + 263 68m ²)	1066 09 m ² - 11 690 51sf	
Main Floor Exterior Covered Area	232 59 m ² - 2 503 32sf	
Second Floor	263 68 m ² - 3 053 5sf	
Total Floor Area	1602 32 m ² - 17 246 72sf	
zoning Data:		
Current Zone	CD - B1, 17404 (Block C)	L - Light Impact Industrial Zone
Permitted Uses	As Per NCP East Newton Business Park	Warehouses
Lot Area	4073.07 m ² - 43 803 69 sf	Offices
Density - FAR	Allowed 0.75 (2036 30 m ²)	Total Floor Area / Lot Area
Lot Coverage	Allowed 60% (2445 04 m ²)	1602 32 m ² / 4073.07 m ² = 0.393
Setbacks	7.5m from front, rear & side yard flanking the street. 3.0m from side yard not flanking the street	Front/East: 14.60 m (South/South: 7.50 m) Rear/West: 11.8 m Side/South: 17.50 m 10.52 m
Height of Buildings	Allowed 12.00m	
On-Street Parking		
Main Floor		
Warehouses (Tenant Spaces)	1 150m ² of floor area for 1 Warehouse	8 spaces provided
802 41 m ² x 1/100 = 8 spaces required		
SWR Warehouse + Offices	1 150m ² of floor area for 1 Warehouse	3 spaces provided
263 68 m ² x 1/100 = 3 spaces required		
Covered Work Yard	1 150m ² of floor area	3 spaces provided
270 7 m ² x 1/100 = 3 spaces required		
Mezzanine (auto-count 40% mezzanine space)	2 5 100 m ² for auto count 40% office mezzanine spaces	8 spaces provided
322 68m ² x 2.5/100 = 8 spaces		
Second Floor Offices	3 100m ² of floor area	8 spaces provided
263 68 m ² x 3/100 = 8 spaces required		
Total Required		30 spaces
Total Provided		30 spaces
Small Car	Disabled Parking - Not Applicable	1 space provided
Max 35% of required parking spaces	Allowed 11 spaces	4 provided
Bicycle Requirement		
Landscaping	no required see plans	6 provided

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Jon M. Mirren
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REV	DATE	DESCRIPTION	BY
10	2015-08-06	ISSUED FOR DP by City Council	SM
11	2015-08-06	ISSUED FOR DP by City Council	SM
12	2015-08-06	ISSUED FOR DP	CL
13	2015-08-06	ISSUED FOR DP	SM
14	2015-08-06	ISSUED FOR DP	JMA
15	2015-08-06	ISSUED TO CONSULTANT	JMA
16	2015-08-06	ISSUED TO CONSULTANT	JMA
17	2015-08-06	ISSUED TO CITY FOR DP	SM
18	2015-08-06	ISSUED TO CLIENT REVIEW	SM
19	2015-08-06	ISSUED TO CLIENT REVIEW	SM
20	2015-08-06	ISSUED TO CLIENT REVIEW	SM
21	2015-08-06	ISSUED TO CONSULTANT FOR REVIEW	SM
22	2015-08-06	ISSUED TO CITY FOR REVIEW	SM
23	2015-08-06	ISSUED FOR CLIENT REVIEW	SM

REV	DATE	DESCRIPTION	BY
1	2015-07-21	START DATE	2015-07-21
2	2015-07-21	PROJECT No	2015-12
3	2015-07-21	DR	JMA
4	2015-07-21	CH	JMA
5	2015-07-21	SCALE	AS SHOWN
6	2015-07-21	Architect Seal	

Project Name
SWR WAREHOUSE + OFFICES
 6677 154 Street
 SURREY, BC

KOONER DEVELOPMENTS
 SURREY, BC
 MR RUPINDER KOONER

SITE PLAN

Project No. 2015-12
 A-100.1

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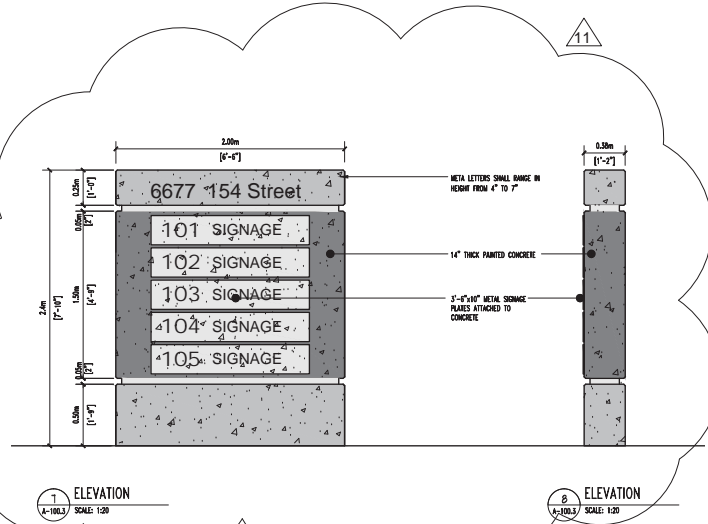
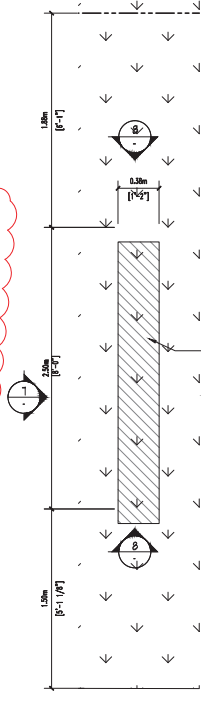
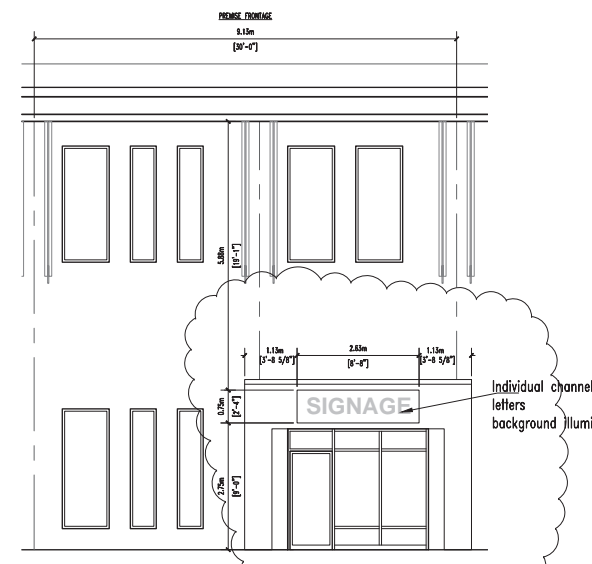
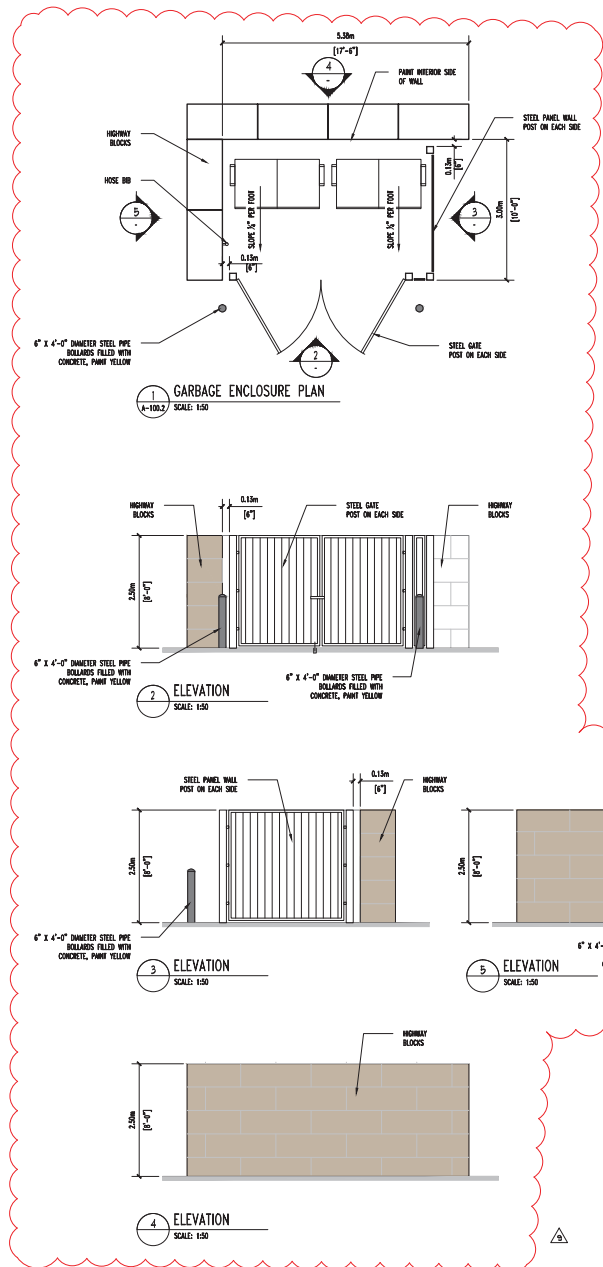
Architect: Joe M. Miran

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New Westminster District,
PLAN BCP 43715.



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11	2016-08-04	RE-ISSUED FOR DP to City comments	SM
10	2016-08-03	RE-ISSUED FOR DP to City comments	SM
9	2016-08-04	RE-ISSUED FOR DP	CU
8	2016-08-01	ISSUED FOR DP	LL
7	2016-07	ISSUED TO CITY FOR DP	SS
6	2016-07-01	ISSUED TO CLIENT REVIEW	SS
5	2016-07-01	ISSUED TO CLIENT REVIEW	SS
4	2016-06-24	ISSUED TO CLIENT REVIEW	SS
3	2016-06-16	ISSUED TO CONSULTANT FOR REVIEW	SS
2	2016-06-16	ISSUED TO CITY FOR REVIEW	SS
1	2016-06-07	ISSUED FOR CLIENT REVIEW	SP

START DATE: 2015-07-21
PROJECT No: 2015-12
DR: JMA
CH: JMM
SCALE: AS SHOWN
Architect's Seal

Project Name:
SWE WAREHOUSE - OFFICES
6677 154 Street
SURREY, BC

KOONER DEVELOPMENTS
SURREY, BC
MR RUPINDER KOONER

SIGNAGE DETAILS

REV	DATE	DESCRIPTION	BY
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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Moran
 Building 4, 36 Main Street
 15243 - 8141 Avenue
 Delta, B.C. V2R 2R8
 604 - 583 2003 - T

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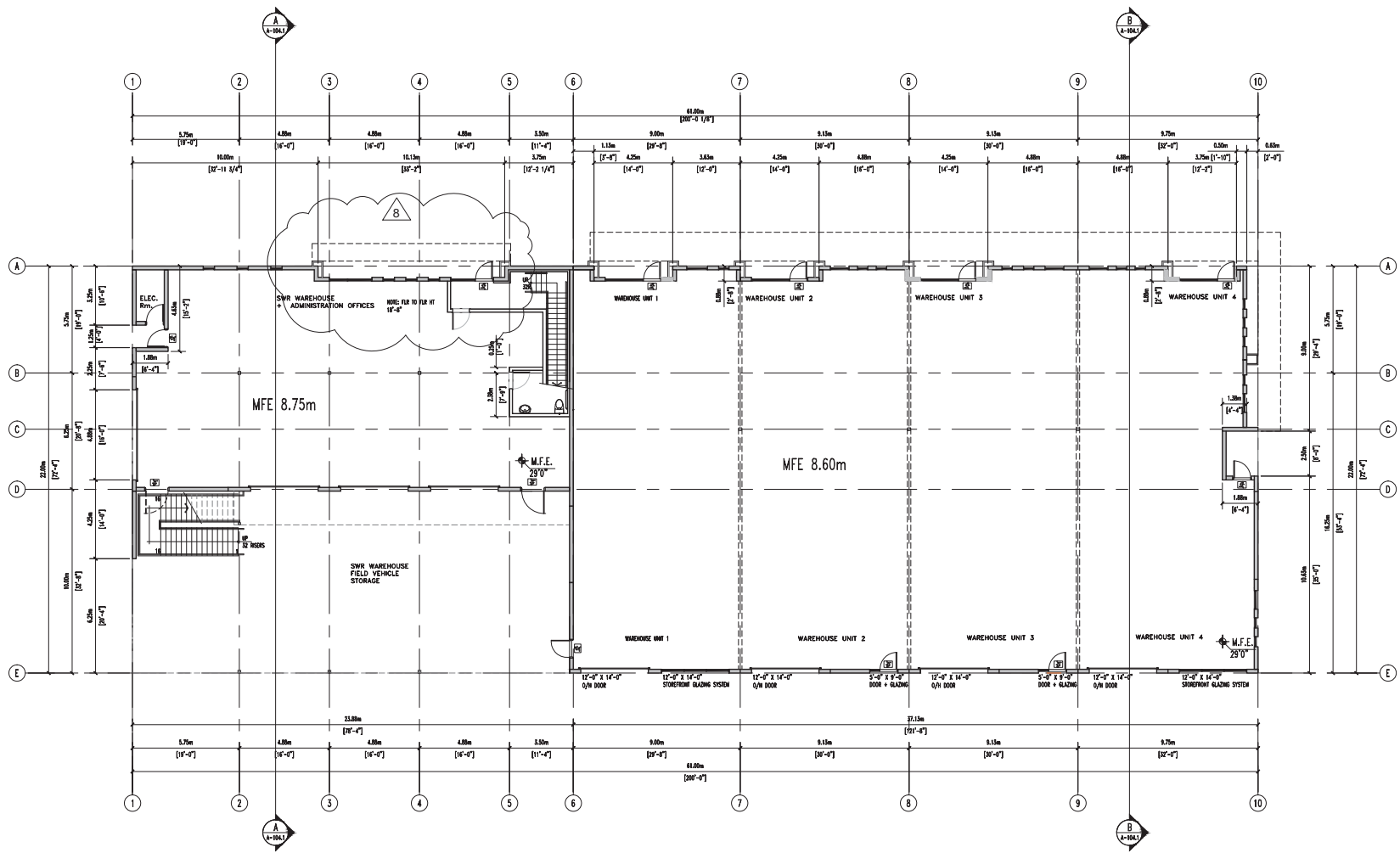
REV	DATE	DESCRIPTION	BY

Architect Seal

Project Name
SWR WAREHOUSE
 8077 154 Street
 SURREY, BC

OWNER
 KOONER DEVELOPMENTS
 SURREY, BC
 IAN RUPPNER KOONER

MAIN FLOOR PLAN



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Minner
 Building 4 - Main Floor
 15243 - 81st Avenue
 Surrey, B.C. V2S 8R8
 604 - 583 2053 - T

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REV	DATE	DESCRIPTION	BY
7	2015-08-05	ISSUED FOR CITY COMMENTS	SS
6	2015-08-05	RE-ISSUED FOR CL	CL
5	2015-07-29	ISSUED FOR CL	SS
4	2015-07-29	ISSUED TO CITY FOR CP	JMM
3	2015-07-17	ISSUED TO CITY FOR CP	SS
2	2015-07-17	ISSUED TO CLIENT FOR REVIEW	SS
1	2015-07-09	ISSUED TO CLIENT FOR REVIEW	SS

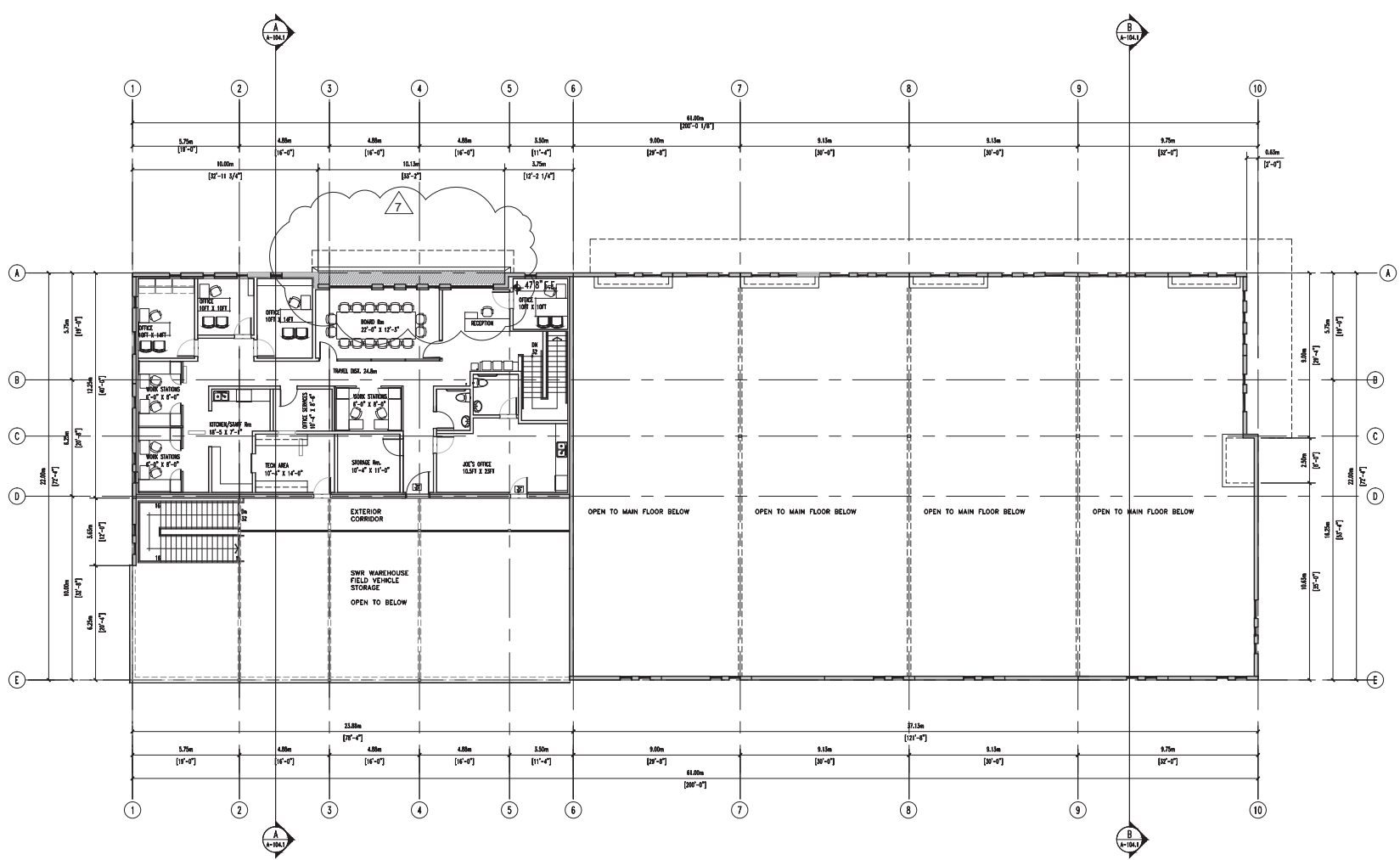
START DATE: 6 AUG 15
 PROJECT No: 2015-12
 DR: EP
 CH: JMM
 SCALE: AS SHOWN
 Architects Seal

Project Name:
SWE WAREHOUSE
 1077 154 Street
 SURREY, BC

KOONER DEVELOPMENTS
 SURREY, BC
 IAN RUPPRECHT KOONER

SECOND FLOOR PLAN

REV: 7 Project No: 2015-12 A-101.2



SECOND FLOOR PLAN
 SCALE: 1:100

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Architect: Joe M. Moran
Building 4, 16400 River Street
15243 - 8181 Avenue
Surrey, BC V3W 2G4
604-583-2053 T

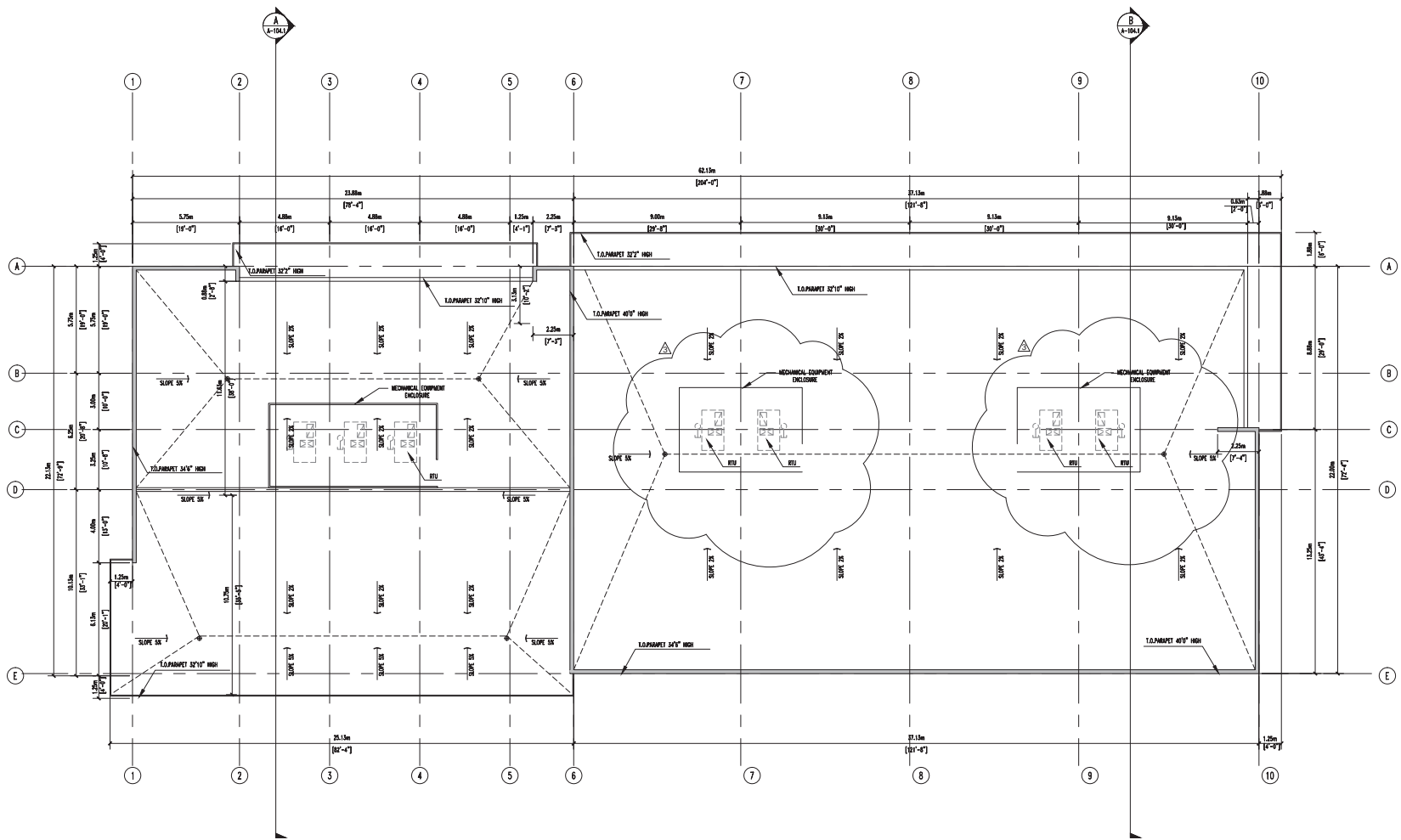
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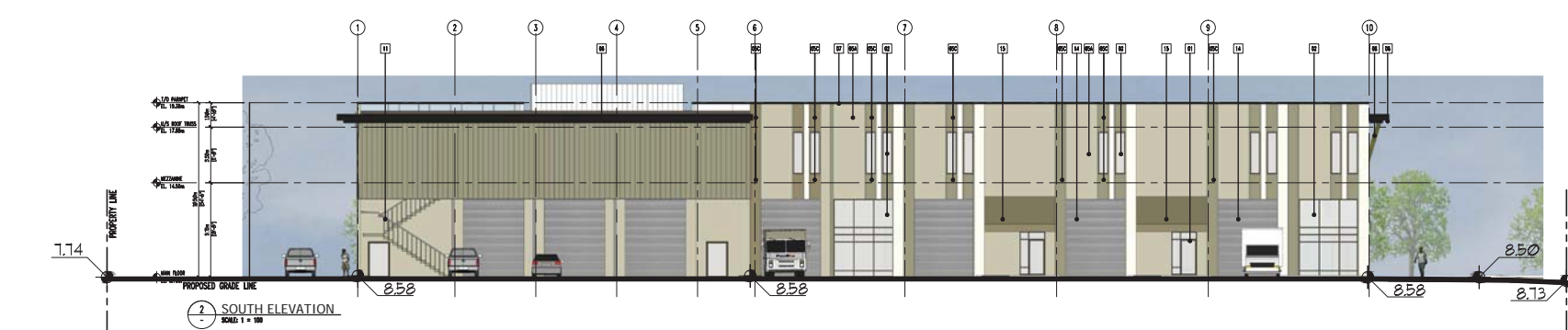
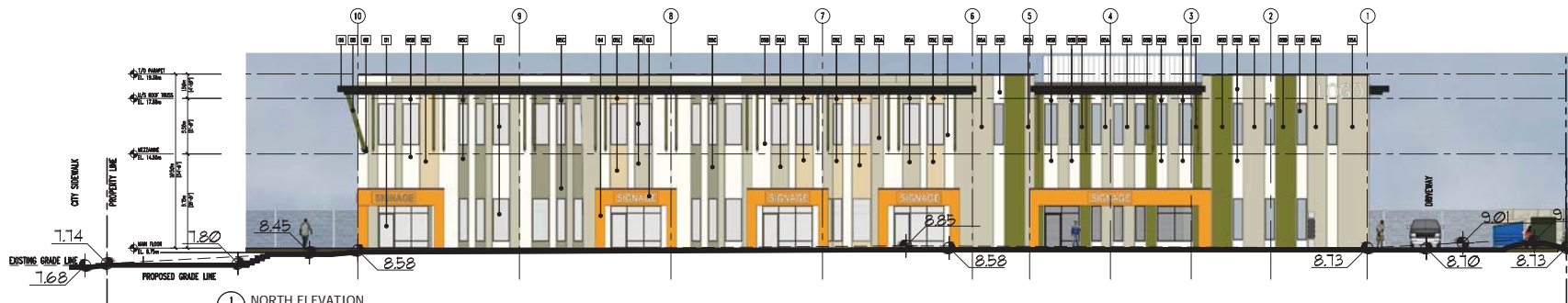
REV	DATE	DESCRIPTION	BY
1	2015-08-07	REVISED FOR SP for City Council	SM
2	2015-08-08	REVISED FOR SP	CU
3	2015-12-02	ISSUED TO CITY DEVELOPER	SM

START DATE: 6 AUG 15
PROJECT No: 2015-12
DR: EP
CH: JMM
SCALE: AS SHOWN
Architects Seal

Project Name
SWE WAREHOUSE
8077 154 Street
SURREY, BC
KOOBER DEVELOPMENTS
SURREY, BC
IAN RUPPNER KOONER
ROOF PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"



05 CONCRETE TILT-UP PANEL WALLS COLOR TO MATCH GENERAL PAINT



No.	DESCRIPTION	MANUFACTURER	COLOUR	No.	DESCRIPTION	MANUFACTURER	COLOUR
01	ALUMINUM STORE FRONT ENTRY SYSTEM	TO BE DETERMINED	DIESEL CL 2877N	09	METAL PLATE TO SUPPORT WOOD BRACKETS	BY CONTRACTOR	CHARCOAL GRAY (CROW'S HEAD CL 3167N)
02	ALUMINUM STORE FRONT GLAZING SYSTEM	TO BE DETERMINED	MEDIUM BRONZE	10	METAL SIGNAGE	CUT STEEL	NATURAL
03	SIGNAGE- INDIVIDUAL ILLUMINATED ALUMINUM CHANNEL LETTERS	TO BE DETERMINED	SILVER FINISH	11	METAL STAIRCASE	GENERAL PAINT	MUDDY WATERS CL 3155D
04	EXTERIOR BOX FRAME WITH TREATED WOOD SOFFIT	BY CONTRACTOR	JAZZY CL 1687N	12	METAL BEAM FRAME TO SUPPORT ROOF STRUCTURE	GENERAL PAINT	MUDDY WATERS CL 3155D
05	CONCRETE TILT-UP PANEL WALLS, PAINTED	BY CONTRACTOR	REFER TO ELEVATIONS	13	METAL INSULATED DOOR	BY CONTRACTOR - GENERAL PAINT	MUDDY WATERS CL 3155D
06	HARDI PANEL FACIA	BY CONTRACTOR/ GENERAL PAINT	CHARCOAL GRAY (CROW'S HEAD CL 3167N)	14	OVERHEAD DOOR	STEEL CRAFT DOOR	MUDDY WATERS CL 3155D
07	METAL FLASHING	TO BE DETERMINED (VICWEST)	CHARCOAL GRAY	15	FABRIC AWNING	JENNIS FIBRICS	TALPE
08	PRESSURE TREATED WOOD BRACKETS	BY CONTRACTOR	CLEAR COAT STAM	16	CONCRETE BLOCK WALL	BY CONTRACTOR	NATURAL

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JM Architecture Inc.
architecture
interior design
planning

Architect: Joe M. Moran
Building 4, 18181 Fraser
15243 - 8181 Avenue
SURREY, BC V3R 1Y8
604-583-2003 • T

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REV	DATE	DESCRIPTION	BY
1		ISSUED FOR PERMITS	JMM
2		ISSUED FOR PERMITS	JMM
3		ISSUED FOR PERMITS	JMM
4		ISSUED FOR PERMITS	JMM
5		ISSUED FOR PERMITS	JMM
6		ISSUED FOR PERMITS	JMM

START DATE: 6 AUG 15
PROJECT No: 2015-12
DR: SS
CH: JMM
SCALE: AS SHOWN
Architects Seal

Project Name
SWE WAREHOUSE • OFFICES
1077 154 STREET
SURREY, BC
KOOKER DEVELOPMENTS
SURREY, BC
MIN RUPPINDER KOOKER

ELEVATIONS
7 Project No: 2015-12 A-103.1



1 EAST ELEVATION
SCALE: 1 = 100

2 WEST ELEVATION
SCALE: 1 = 100

05 CONCRETE TILT-UP PANEL WALLS COLOR TO MATCH GENERAL PAINT



No.	DESCRIPTION	MANUFACTURER	COLOR	No.	DESCRIPTION	MANUFACTURER	COLOR
01	ALUMINUM STORE FRONT ENTRY SYSTEM	TO BE DETERMINED	MEDIUM BRONZE	09	METAL PLATE TO SUPPORT WOOD BRACKETS	BY CONTRACTOR	CHARCOAL GRAY (CROW'S HEAD CL 3167N)
02	ALUMINUM STORE FRONT GLAZING SYSTEM	TO BE DETERMINED	MEDIUM BRONZE	10	METAL SIGNAGE	CUT STEEL	NATURAL
03	SIGNAGE - INDIVIDUAL ILLUMINATED ALUMINUM CHANNEL LETTERS	TO BE DETERMINED	SILVER FINISH	11	METAL STAIRCASE	GENERAL PAINT	MUDDY WATERS CL 3155D
04	EXTERIOR BOX FRAME WITH TREATED WOOD SOFFIT	BY CONTRACTOR	JAZZY (CL 1687N)	12	METAL BEAM FRAME TO SUPPORT ROOF STRUCTURE	GENERAL PAINT	MUDDY WATERS CL 3155D
05	CONCRETE TILT-UP PANEL WALLS, PAINTED	BY CONTRACTOR	REFER TO ELEVATIONS	13	METAL INSULATED DOOR	BY CONTRACTOR - GENERAL PAINT	MUDDY WATERS CL 3155D
06	HARDY PANEL FACIA	BY CONTRACTOR/ GENERAL PAINT	CHARCOAL GRAY (CROW'S HEAD CL 3167N)	14	OVERHEAD DOOR	STEEL CRAFT DOOR	MUDDY WATERS CL 3155D
07	METAL FLASHING	TO BE DETERMINED (VICWEST)	CHARCOAL GRAY	15	FABRIC ARMING	JENNS FIBRICS	TAUPE
08	PRESSURE TREATED WOOD BRACKETS	BY CONTRACTOR	CLEAR COAT STAIN	16	CONCRETE BLOCK WALL	BY CONTRACTOR	NATURAL

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604-583-2033 - T

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REV	DATE	DESCRIPTION	BY
1	2015-12-01	ISSUED FOR 0% CITY PERMITS	JMM
2	2015-12-01	RE-DESIGN TO CORRECT	JMM
3	2015-12-01	RE-DESIGN TO CORRECT	JMM
4	2015-12-01	RE-DESIGN TO CORRECT	JMM
5	2015-12-01	ISSUED TO CITY PERMITS	JMM
6	2015-12-01	ISSUED TO CONTRACTOR PERMITS	JMM

START DATE: 6 AUG 15
PROJECT No: 2015-12
DR: SS
CH: JMM
SCALE: AS SHOWN
Architect's Seal

Project Name
SWE WAFFLEHOUSE - OFFICES
8877 158 STREET
SURREY, BC
KOOBER DEVELOPMENTS
SURREY, BC
JIM RUPFINDER KOOBER

ELEVATIONS
Sheet No: 7
Project No: 2015-12
A-103.2



NORTH-EAST VIEW



NORTH-WEST VIEW



STREET SCAPE



SOUTH-EAST VIEW



SOUTH-WEST VIEW

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Minnie

Building 4 - Main Floor
 15243 - 81st Avenue
 Surrey, BC V2R 8P8
 604 - 583 2003 - T

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REV	DATE	DESCRIPTION	BY
6	2015-08-07	RE-DESIGNED FOR OP for City comments	SS
5	2015-08-04	RE-DESIGNED FOR OP	CS
4	2015-08-07	ISSUED FOR OP	CS
3	2015-08-07	RE-DESIGNED TO CITY FOR OP	SS
2	2015-12-16	ISSUED TO CITY FOR OP	SS
1	2015-12-16	ISSUED TO DEVELOPMENT PERMIT	SS

REV	DATE	DESCRIPTION	BY
START DATE	6 AUG 15		
PROJECT No	2015-12		
DR.	SS		
CH.	JMM		
SCALE	AS SHOWN		

Project Name
SWE WAFFHOUSE • OFFICES
8077 154 STREET SURREY, BC
KOONER DEVELOPMENTS SURREY, BC MR RUPINDER KOONER

PERSPECTIVES

REV	DATE	DESCRIPTION
6	2015-12	A-103.3

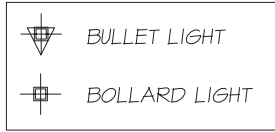
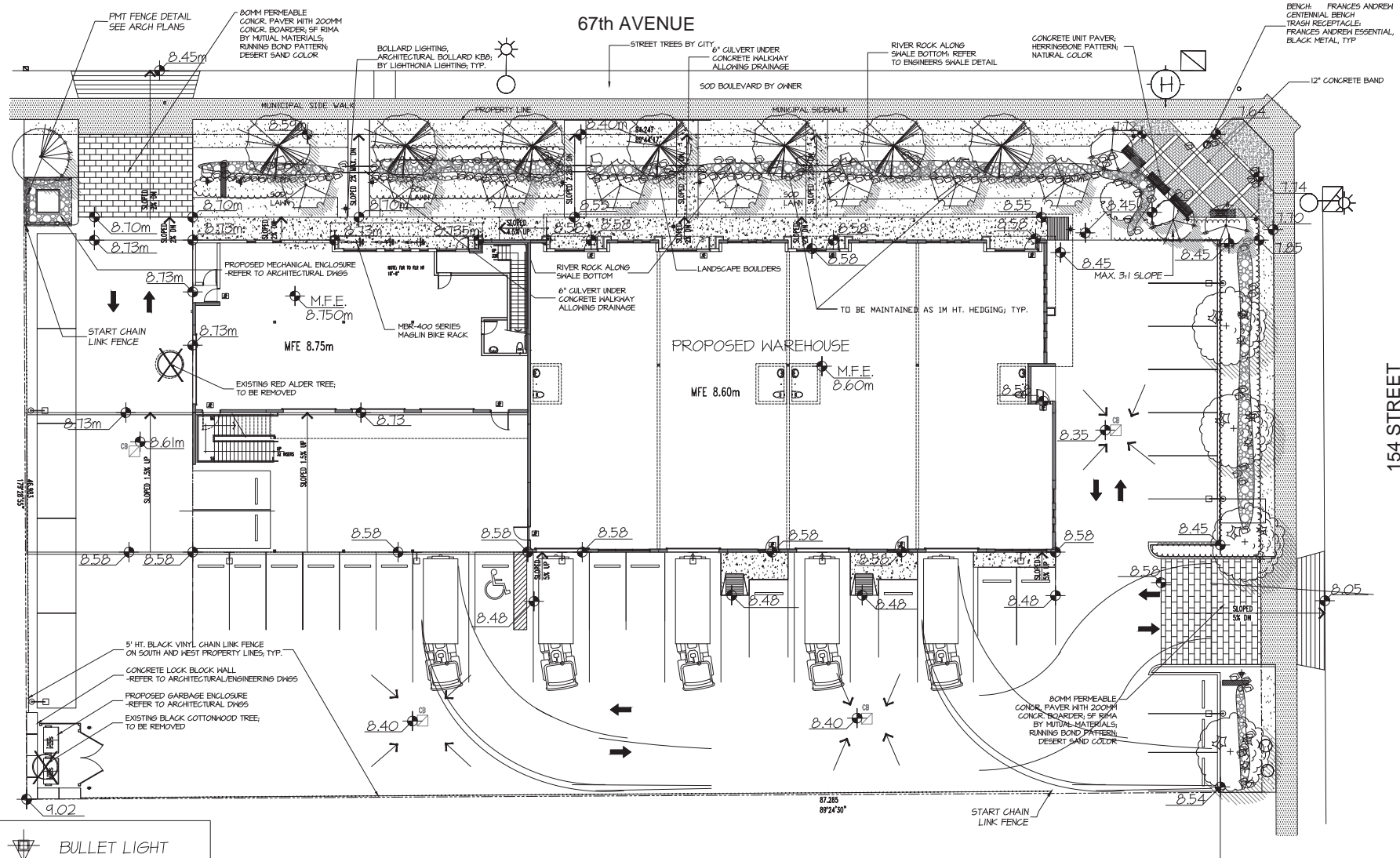


#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



154 STREET

67th AVENUE



NO.	DATE	REVISION DESCRIPTION	DR.
1		ISSUED FOR PERMITS	GL
2		REVISED PER CITY COMMENTS	GL
3		REVISED PER CITY COMMENTS	MTM
4		REVISED PER CITY COMMENTS	MTM

PROJECT: **WAREHOUSE**
6877 154TH STREET
SURREY, BC

DRAWING TITLE: **TREE PLAN**

DATE: 16 APR 04 DRAWING NUMBER:
SCALE: 3/32" = 1'-0"
DRAWN: GL
DESIGN: GL
CHK'D: MTM

L1

M2LA PROJECT NUMBER: 16-035



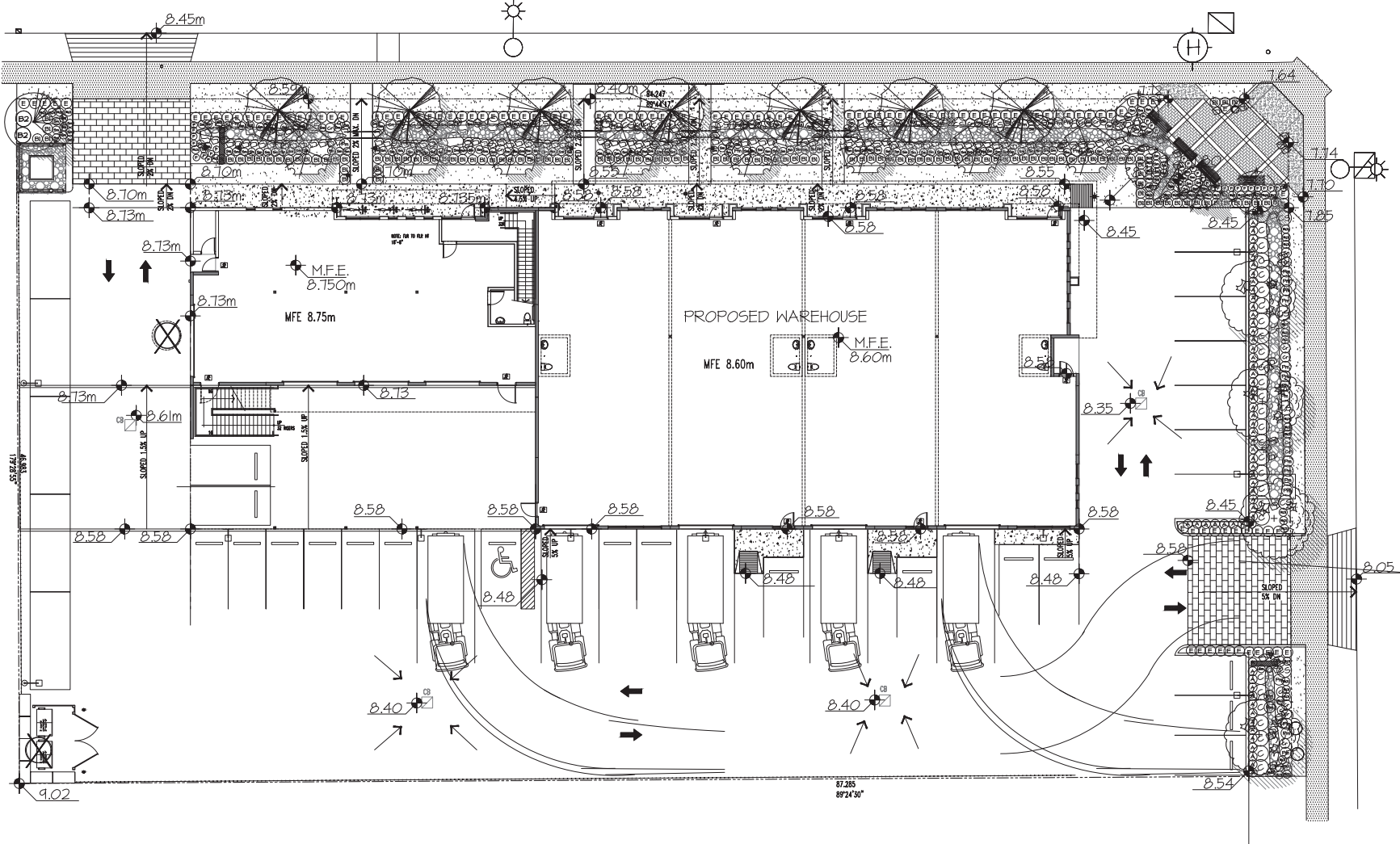
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



67th AVENUE

154 STREET



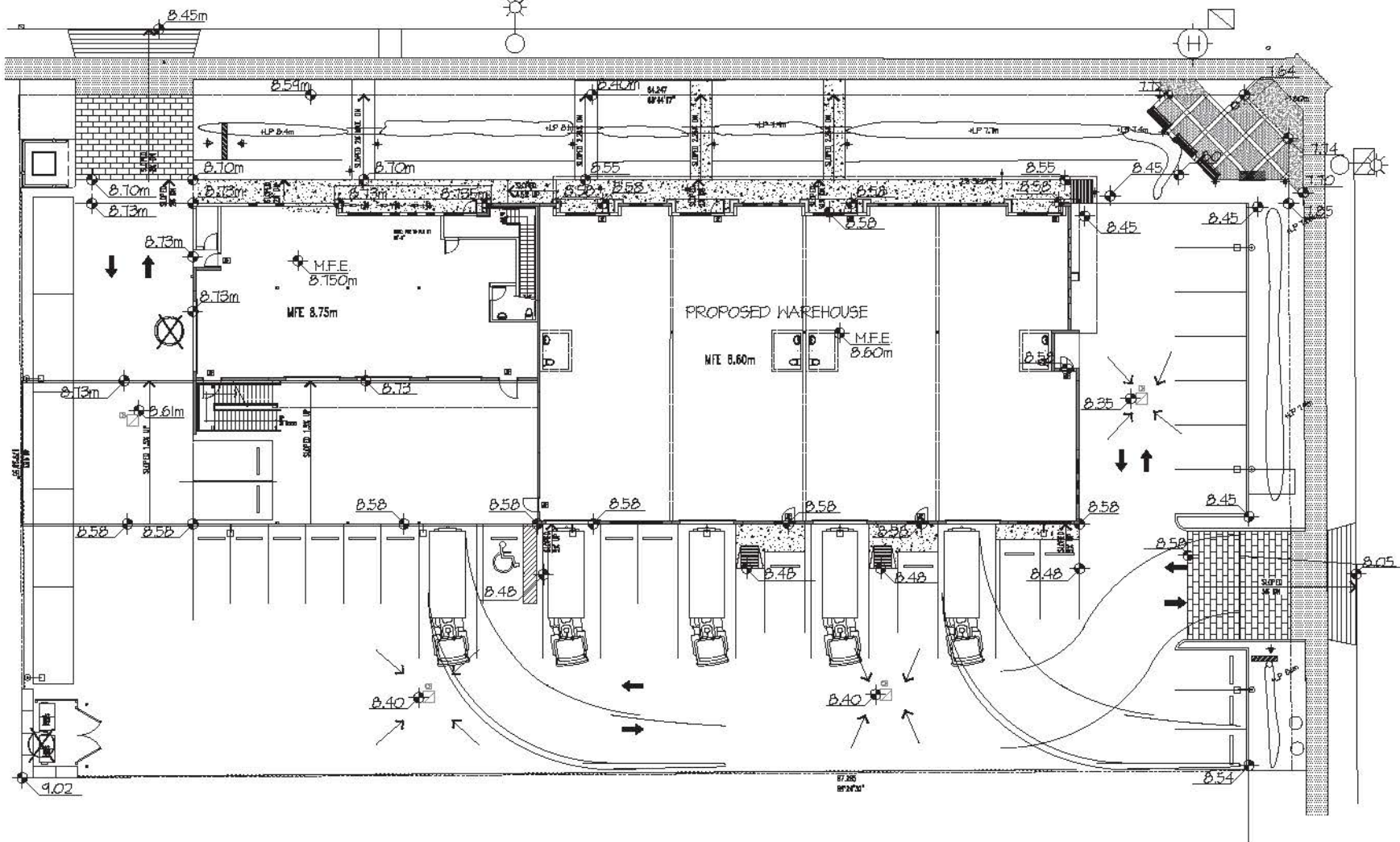
NO.	DATE	REVISION DESCRIPTION	DR.
1		ISSUED FOR PERMITS	GL
2		REVISED PER CITY COMMENTS	GL
3		REVISED PER CITY COMMENTS	MTM
4		REVISED PER NEH SITE PLAN AND CIVIL	GL

PROJECT:
WAREHOUSE
 6877 154TH STREET
 SURREY, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 16 APR 04 DRAWING NUMBER:
 SCALE: 3/32" = 1'-0"
 DRAWN: GL
 DESIGN: GL
 CHK'D: MTM
L2
 OF 4

67th AVENUE



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V3M 3L7
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Fax: 604.553.0045
Email: office@m2la.com



154 STREET

NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT:
WAREHOUSE
8877 154TH STREET
SURREY, BC

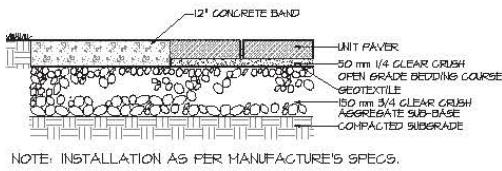
DRAWING TITLE:
GRADING PLAN

DATE: W.A.P.L. 2017	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L3
DRAWN: GL	
DESIGN: GL	
CHECK: MTM	

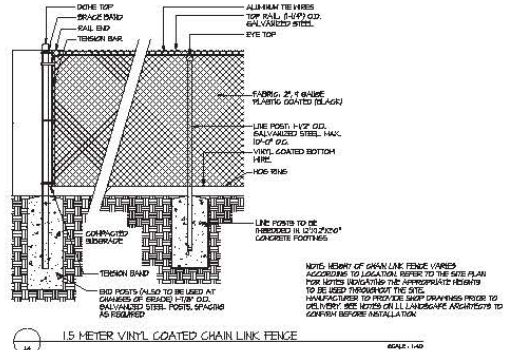
M2LA PROJECT NUMBER: **15-005**

PLANT SCHEDULE			MS2 JOB NUMBER: 16-038
QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
2	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
3	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
4	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
5	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
6	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
7	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
8	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
9	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
10	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
11	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
12	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
13	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
14	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
15	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
16	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
17	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
18	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
19	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
20	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
21	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
22	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
23	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
24	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
25	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
26	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
27	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
28	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
29	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.
30	CORDON ROSSII	ROSE HEDGE	8 FT. H. x 2 1/2" DIA.

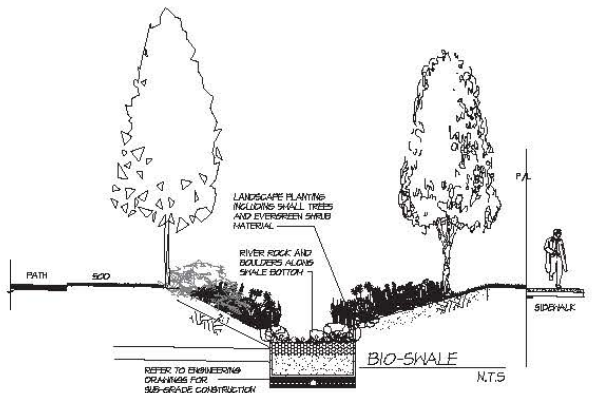
NOTE: * PLANT ALICES IN THIS LIST ARE SUBJECT TO THE SO. LANDSCAPE PLANNING LATEST DESIGN. CONTRACTOR SHALL VERIFY AS PER CITY ORDINANCES. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZE. * REFER TO SPECIFICATIONS FOR OTHER LANDSCAPE MATERIALS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTICAL REVIEW BY LANDSCAPE ARCHITECT AT BOTTOM OF BIDDING. * ACTION OF BIDDING TO INCLUDE CHECK AVAILABILITY AND PRICES. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. * ALL PLANT MATERIAL MUST BE PROVIDED FROM QUALIFIED SUPPLIER FROM BRITAIN. * PROVIDE DETAILED SPECIFICATION UPON REQUEST.



3 PAVES DETAIL
SCALE: 1/8" = 1'-0"



15 METER VINYL COATED CHAIN LINK FENCE
SCALE: 1/8" = 1'-0"

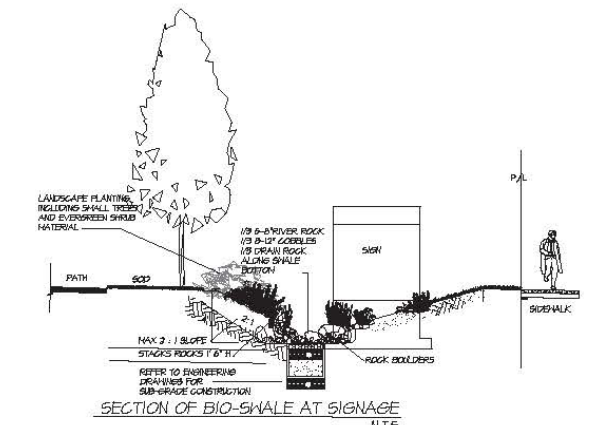


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LANDSCAPE ARCHITECTURE

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V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



SECTION OF BIO-SWALE AT SIGNAGE
SCALE: 1/2" = 1'-0"

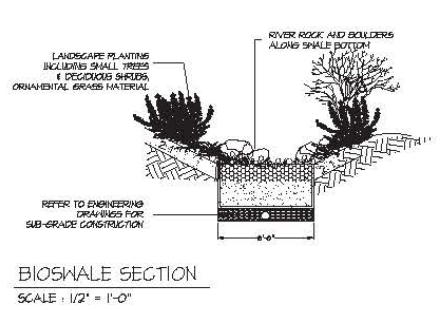
LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

KB8

BULLET LIGHTS FOR SIGNAGE AT ENTRY, FEATURE TREES, STARBURST DIRECTIONAL LIGHT, 12V, BY SEAGULL LIGHTING

QTY	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	KB8 BULLET LIGHT	120.00	120.00
1	12V LED BULB	10.00	10.00
1	INSTALLATION	150.00	150.00
TOTAL			280.00



BIO-SWALE SECTION
SCALE: 1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT: **WAREHOUSE**
8877 164TH STREET
SURREY, BC

DRAWING TITLE: **LANDSCAPE DETAILS**

DATE: **16 APRIL 24** DRAWING NUMBER: **L4**

SCALE: **AS SHOWN**

DRAWN: **DL**

DESIGN: **DL**

CHECKED: **HTM**

M2LA PROJECT NUMBER: **16-038**

PART ONE GENERAL REQUIREMENTS

- 1. **1.1. GENERAL NOTES**
 - a. See the General Requirements for details on construction methods, materials, and workmanship.
 - b. All work shall be done in accordance with the applicable building codes and standards.
 - c. All materials shall be of the highest quality and approved by the Designer.
- 2. **1.2. SITE CONDITIONS**
 - a. The Contractor shall investigate and report on any existing conditions on the site that may affect the proposed work.
 - b. The Contractor shall be responsible for obtaining all necessary permits and approvals.
- 3. **1.3. MATERIALS AND METHODS**
 - a. All materials shall be specified by the Designer and shall be of the highest quality.
 - b. The Contractor shall use the methods specified in the drawings and specifications.
- 4. **1.4. CONSTRUCTION SCHEDULE**
 - a. The Contractor shall complete the work within the specified time frame.
 - b. The Contractor shall provide a detailed construction schedule to the Designer for approval.

PART TWO SCOPE OF WORK

- 1. **2.1. EXISTING CONDITIONS**
 - a. The Contractor shall verify the accuracy of the existing conditions shown on the drawings.
 - b. The Contractor shall report any discrepancies to the Designer immediately.
- 2. **2.2. NEW CONSTRUCTION**
 - a. The Contractor shall construct the new work in accordance with the drawings and specifications.
 - b. The Contractor shall ensure that the new work is integrated with the existing conditions.
- 3. **2.3. FINISHES**
 - a. The Contractor shall use the finishes specified in the drawings and specifications.
 - b. The Contractor shall ensure that the finishes are applied uniformly and to the required standard.
- 4. **2.4. UTILITIES**
 - a. The Contractor shall locate and mark all utilities before construction.
 - b. The Contractor shall protect all utilities during construction.

Item	Description	Quantity	Unit	Notes
1.01	Excavate and backfill 4" x 6" trench	100	LF	See drawing for location
1.02	Install 4" x 6" trench pipe	100	LF	See drawing for location
1.03	Backfill trench with compacted fill	100	LF	See drawing for location
1.04	Install 6" x 8" trench pipe	50	LF	See drawing for location
1.05	Backfill trench with compacted fill	50	LF	See drawing for location
1.06	Install 8" x 10" trench pipe	20	LF	See drawing for location
1.07	Backfill trench with compacted fill	20	LF	See drawing for location
1.08	Install 10" x 12" trench pipe	10	LF	See drawing for location
1.09	Backfill trench with compacted fill	10	LF	See drawing for location
1.10	Install 12" x 14" trench pipe	5	LF	See drawing for location
1.11	Backfill trench with compacted fill	5	LF	See drawing for location

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 1. **3.1. PLANTING SPECIFICATIONS**
 - a. All plants shall be of the highest quality and approved by the Designer.
 - b. Plants shall be installed in accordance with the planting specifications.
 - c. The Contractor shall provide a detailed planting schedule to the Designer for approval.
- 2. **3.2. SOFT LANDSCAPE DEVELOPMENT**
 - a. The Contractor shall develop the soft landscape in accordance with the drawings and specifications.
 - b. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
- 3. **3.3. IRRIGATION SYSTEM**
 - a. The Contractor shall install an irrigation system in accordance with the drawings and specifications.
 - b. The Contractor shall ensure that the irrigation system is integrated with the soft landscape.
- 4. **3.4. SOFT LANDSCAPE MAINTENANCE**
 - a. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
 - b. The Contractor shall ensure that the soft landscape is maintained in accordance with the drawings and specifications.

- 1. **3.5. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 2. **3.6. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 3. **3.7. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.

PART FOUR HARD LANDSCAPE DEVELOPMENT

- 1. **4.1. HARDSCAPE DEVELOPMENT**
 - a. The Contractor shall construct the hardscape in accordance with the drawings and specifications.
 - b. The Contractor shall ensure that the hardscape is integrated with the soft landscape.
- 2. **4.2. HARDSCAPE MATERIALS**
 - a. All hardscape materials shall be of the highest quality and approved by the Designer.
 - b. The Contractor shall use the materials specified in the drawings and specifications.
- 3. **4.3. HARDSCAPE INSTALLATION**
 - a. The Contractor shall install the hardscape in accordance with the drawings and specifications.
 - b. The Contractor shall ensure that the hardscape is installed in accordance with the drawings and specifications.
- 4. **4.4. HARDSCAPE MAINTENANCE**
 - a. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
 - b. The Contractor shall ensure that the hardscape is maintained in accordance with the drawings and specifications.

- 1. **4.5. HARDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the hardscape is integrated with the soft landscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 2. **4.6. HARDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the hardscape is integrated with the soft landscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 3. **4.7. HARDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the hardscape is integrated with the soft landscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.

PART FIVE SOFT LANDSCAPE DEVELOPMENT - CONT.

- 1. **5.1. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 2. **5.2. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 3. **5.3. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.

- 1. **5.4. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 2. **5.5. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.
- 3. **5.6. SOFT LANDSCAPE DEVELOPMENT - CONT.**
 - a. The Contractor shall ensure that the soft landscape is integrated with the hardscape.
 - b. The Contractor shall provide a detailed maintenance schedule to the Designer for approval.

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NO.	DATE	REVISION DESCRIPTION	DR.
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SCALE:

SCALE	REVISION DESCRIPTION	DR.
1/8" = 1'-0"		
1/4" = 1'-0"		
1/2" = 1'-0"		
3/4" = 1'-0"		
1" = 1'-0"		

PROJECT:

WAREHOUSE
8077 10TH STREET
SURREY, BC

DRAWING TITLE:

LANDSCAPE SPECIFICATIONS

DATE: **11/15/24** DRAWING NUMBER:

SCALE: **1/8" = 1'-0"**

DRAWN: **AL**

DESIGN: **AL**

CHECK: **HW** OF 4

M2LA PROJECT NUMBER: **20-035**