

City of Surrey PLANNING & DEVELOPMENT REPORT File: 7916-0318-00

Planning Report Date: September 12, 2016

PROPOSAL:

• Development Permit

NCP DESIGNATION:

to permit the development of a two-storey multi-tenant business park building.

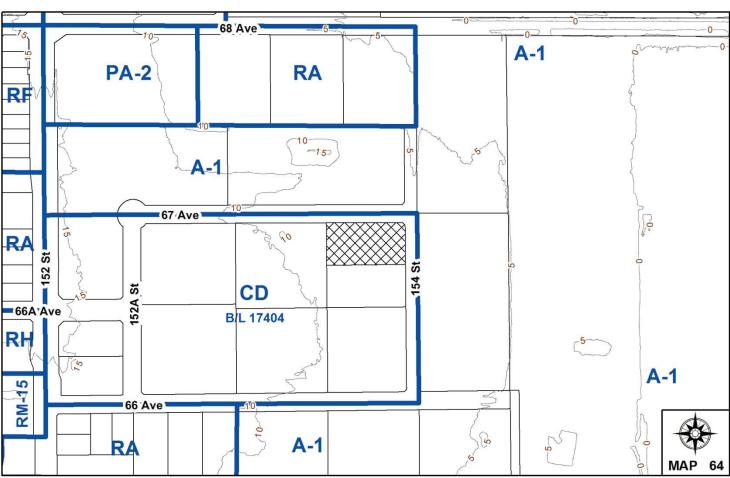
Business Park

LOCATION: 6677 – 154 Street

OWNER: SWR Industries Ltd.

ZONING: CD (By-law No. 17404)

OCP DESIGNATION: Mixed Employment



RECOMMENDATION SUMMARY

• Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

• None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the East Newton Business Park NCP designation.
- The proposed multi-tenant building is considered attractive, well-designed and provides an
 appealing addition to East Newton Business Park as well as establishes a higher-standard in
 terms of the form, design and character of future industrial buildings within the surrounding
 neighbourhood.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7916-0318-00 generally in accordance with the attached drawings (Appendix II).

- 2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North	Vacant City-owned property	Mixed Employment/	A-1
(Across 67 Avenue):		Business Park	
East	Home-based occupation/	Mixed Employment/	A-1
(Across 154 Street):	manufacturing business	Business Park	
South:	Vacant parcel currently	Mixed Employment/	CD (By-law
	under application for a two-	Business Park	No. 17404)
	storey business park		
	building (File No. 7915-0339-		
	00)		
West:	Multi-tenant business park	Mixed Employment/	CD (By-law
	buildings	Business Park	No. 17404)

DEVELOPMENT CONSIDERATIONS

Background

- The property at 6677 154 Street is designated "Industrial" in the Official Community Plan (OCP) and "Business Park" in the East Newton Business Park Neighbourhood Concept Plan (NCP). The property is regulated by a "Comprehensive Development Zone (CD)" (By-law No. 17404) which permits a broad range of light impact industrial, office, general service and personal service uses.
- A Development Permit application (File No. 7912-0331-00) was previously approved in July, 2013 on the adjacent property at 15336 67 Avenue and two multi-tenant business park buildings with ground-floor warehouse and second-floor mezzanine space have since been constructed under this Development Permit.
- In addition, the southerly property located at 6655 154 Street is currently under application for a Development Permit to allow a 1,462 square metre (15,737 sq. ft.) industrial building that includes an adult education centre, school of theology, mosque, office as well as childcare facility (File No. 7915-0339-00). The application is currently pre-Council.

Current Proposal

- The applicant is proposing to construct a two-storey multi-tenant building with 1,605 square metres (17,276 sq. ft.) of ground-floor warehouse and upper-storey office space.
- The proposed building conforms in all respects to provisions of the current CD Zone (By-law No. 17404).

DESIGN PROPOSAL AND REVIEW

Proposed Building

- The proposed two-storey multi-tenant industrial building will offer about 1,089 square metres (11,722 sq. ft.) of ground-floor warehouse, 282 square metres (3,035 sq. ft.) of second-floor office space for one (1) tenant as well as 233 square metres (2,508 sq. ft.) of covered outdoor storage and/or work yard.
- A total of five units are proposed, each with individual entrances and overhead loading doors facing the parking area. The westerly unit is designed to accommodate the principal tenant (SWR Industries Ltd.) and includes a covered outdoor storage area or work yard accessed by three loading bay doors along the southern elevation.
- The proposed industrial building conforms to the Floor Area Ratio (FAR), maximum building height, lot coverage and minimum setback requirements in the CD Zone (By-law No. 17404).
- The concrete tilt-up building is attractive, well-designed and provides an appealing addition to East Newton Business Park by establishing a high-standard with respect to the form, design and character of future industrial building within the surrounding neighbourhood.

• The building materials include pressure treated wood brackets with metal support plates on the northern façade as well as fabric awnings over rear entry doors for weather protection, exterior roller doors for each loading bay, hardi panel fascia boards and a metal beam support structure located over the outdoor storage area/work yard. The building façade also includes ground-floor aluminum storefront windows and upper-storey glazing, exterior box frames located around the individual entrances along the northern façade with treated wood soffits as well as multi-colour reveals with darker accent materials which enhance visual interest. In addition, the proposal will include strong corner design elements with vertical glazing that will wrap around the northeast corner of the proposed building along the street frontages to reduce the overall building massing.

Driveway Access and On-site Parking

- The subject property will obtain driveway access from 67 Avenue and 154 Street. The principal vehicular access point will be off 154 Street while secondary access is provided from 67 Avenue for loading/unloading purposes with individual tenants utilizing overhead roller doors as well as loading bays located along the southern façade.
- The Zoning By-law requires twenty-two parking spaces on-site based upon a combination of ground-floor warehouse and limited second-floor office space.
- The applicant is proposing to provide one parking space per 100 square metres (1,075 sq. ft.) of gross floor area for ground-floor warehouse and 2.5 parking spaces per 100 square metres (1,075 sq. ft.) of gross floor area for second-floor office space. The applicant will provide an additional 8 parking stalls on-site, for a total of 30 spaces, to account for forty percent additional mezzanine space in future within Units 1 to 4.
- As East Newton Business Park has experienced a high-profile history of parking-related issues, an on-site parking ratio of 2 stalls per 100 square metres (1,075 sq. ft.) of gross floor area, which includes mezzanine space, is strongly encouraged to offset any future parking demand caused by more parking intensive land-uses allowed under the CD Zone (e.g. office uses, recreational facilities, childcare centres, general service uses, personal service uses, etc.).
- Although the proposed on-site parking meets the minimum parking requirement under the Zoning By-law, the applicant may encounter deficiencies in on-site parking if Units 1 to 4 are occupied by land-uses with parking rates that exceed 1 space per 100 square metres (1,075 sq. ft.) of gross floor area. Furthermore, the parking situation could be exacerbated if Units 1 to 4 are permitted to construct additional mezzanine space.
- Staff have raised this issue with the applicant and recommended that additional parking stalls (at a rate of 2 spaces per 100 square metres [1,075 sq. ft.] of gross floor area) be provided on-site, as part of the current DP application, to permit a broader range of land-uses and accommodate future mezzanine space in Units 1 to 4.
- The applicant understands the implications of not providing additional on-site parking in order to accommodate more parking intensive land-uses and previously indicated that no additional mezzanine space is currently proposed or would be permitted in future.

• As such, the eight (8) additional parking stalls provided on-site beyond the minimum twenty-two (22) parking stalls required under the Zoning By-law could be used to offset more parking intensive land-uses allowed in the CD Zone or permit a maximum of forty percent mezzanine space in Units 1 to 4, but not both. In addition, the applicant is aware that future requests for parking relaxations to accommodate parking intensive land-uses or mezzanine space may not be supported by City staff.

- On-site parking and loading/unloading spaces with overhead roller doors are provided at the rear of each unit. The westerly unit is designed to accommodate the principal tenant (SWR Industries Ltd.) and includes a covered outdoor storage area or work yard accessed by three loading bay doors along the southern elevation. Another bay door is provided on the western façade that includes stamped pavement markings that indicate no loading/unloading is permitted given its proximity to the driveway entrance off 67 Avenue.
- Several parking spaces are provided at the southwest corner of the proposed building, next to the outdoor storage area, for tenants and employees with additional visitor parking provided along the eastern façade, adjacent 154 Street.

Proposed Free-standing Signage

- The Sign By-law permits a free-standing sign with a maximum height of 6 metres (20 ft.) on 67 Avenue. However, the maximum permitted height for free-standing signs is reduced to 2.4 metres (8 ft.), as per the Design Guidelines registered on title under File No. 7908-0128-00 for this portion of East Newton Business Park. The applicant is proposing two free-standing signs on the northern and eastern boundary of the subject property that are 2.4 meters (7.9 ft.) in height and, therefore, comply with the maximum height requirement specified in the Design Guidelines.
- The free-standing signs are 2 metres (6.6 ft.) wide and double-sided resulting in a total sign area of 9.6 square metres (103 sq. ft.). The Sign By-law permits a total sign area of 28 square metres (300 sq. ft.).
- The free-standing signs are comprised of concrete with five metal sign panels which provide advertising exposure for each tenant. In addition, each sign includes metal letters that identify the property address.
- The applicant proposes a minimum setback of 2 metres (6.5 ft.) from the northern and eastern boundary of the subject property, in keeping with the setback requirements identified within the Sign By-law.
- The applicant is proposing to introduce additional landscaping around the base of the signs to improve the overall appearance, including low-lying shrubs and additional groundcover.

Proposed Fascia Signage

• The proposed fascia signage will be limited to one fascia sign per premise frontage and complies with the maximum allowable combined sign area per linear foot of premise frontage. In addition, the fascia signage will not extend more than 0.5 metre (1.6 ft.) from the building façade, in keeping with the Sign By-law.

The fascia signs will consist of individual channel letters with background illumination. The
fascia signage will be located directly above the unit windows and doorway entrances. No
fascia signage is permitted on architectural elements or design features on the exterior of the
proposed building.

• Fascia signage is limited to first-floor tenants. No upper-storey fascia signage is proposed.

Pedestrian Connectivity and Corner Feature

- Additional walkways are provided on-site to encourage pedestrian connectivity which include several walkways extending from the northern building façade to the adjacent public sidewalk along 67 Avenue.
- The on-site walkway along the northern building façade leads, via the public sidewalk, directly to a proposed corner plaza at the intersection of 67 Avenue and 154 Street, which is required per the Design Guidelines created under the General Development Permit (File No. 7908-0128-00) for this portion of East Newton Business Park. The corner plaza design will include the addition of low-level planting, benches and ornamental grasses.

Proposed Landscaping

- The proposed landscaping complies with the CD Zone and Design Guidelines originally developed for this portion of East Newton Business Park under File No. 7908-0128-00 and includes, wherever possible, a double row of trees (located on-site) that line the existing sidewalks, in keeping with the CD By-law.
- Significant landscaping is proposed around the bio-swale feature along the northern boundary of the subject property (67 Avenue) which includes river rocks, small trees and evergreen shrubs.
- A variety of trees, shrubs and groundcover is proposed along the perimeter of the subject
 property with several decorative features including distinctive paving materials at driveway
 entrances and pedestrian lighting.

TREES

• The ISA Certified Arborist for M₂ Landscape Architecture has indicated the subject property is comprised entirely of alder and cottonwood trees. An Arborist Report, acceptable to staff, must be submitted prior to issuance of the Development Permit to verify these findings. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder/Black Cottonwood	8	8	0
Total	8	8	0

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	25
Total Retained and Replacement Trees	25
Contribution to the Green City Fund	N/A

- The Arborist anticipates there are a total of eight (8) protected trees on the site, all of which
 are Red Alders or Black Cottonwoods. It was determined that no trees could be retained as
 part of this development proposal The proposed tree retention was assessed after taking into
 consideration the location of services, road dedication, building footprints and proposed lot
 grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood. This will require a total of eight (8) replacement trees on the site. The applicant is proposing twenty-five (25) replacement trees, which exceeds City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 67 Avenue and 154 Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Katsura, Slender Hinoki Cypress, White Wonder Dogwood, Autumn Purple Ash, Magnolia and Shore Pine.
- In summary, a total of twenty-five (25) replacement trees are proposed on-site which exceeds City requirements based upon a replacement ratio of 1 to 1 for Alders and/or Cottonwoods.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 8, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context &	• The subject property is situated within the East Newton Business
Location	Park Neighbourhood Concept Plan (NCP). Moreover, the proposal
(A ₁ -A ₂)	complies with the land-use designation in the Official Community
	Plan (OCP) and East Newton Business Park NCP.
2. Density & Diversity	• The proposal complies with the density permitted in the CD Zone.
(B1-B7)	
3. Ecology &	• N/A
Stewardship	
(C ₁ -C ₄)	

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable	• N/A
Transport & Mobility	
(D1-D2)	
5. Accessibility &	• N/A
Safety	
(E1-E3)	
6. Green Certification	• N/A
(F ₁)	
7. Education &	The proposed multi-tenant building will include energy star
Awareness	appliances, low-flow plumbing fixtures and low energy lighting.
(G1-G4)	

ADVISORY DESIGN PANEL

The proposal was not forwarded to the Advisory Design Panel (ADP) for comment but reviewed internally by City staff and deemed generally acceptable in terms of form, design and character.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners and Project Data Sheets

Appendix II. Site Plan, Building Elevation Drawings and Landscape Plans

INFORMATION AVAILABLE ON FILE

• Complete Set of Architectural and Landscape Plans prepared by JM Architecture Inc. and M2 Landscape Architecture, respectively, dated September 6, 2016 and August 29, 2016.

original signed by Ron Hintsche

Jean Lamontagne General Manager Planning and Development

MRJ/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

ı. (a) Agent: Name: Joseph M. Minten

JM Architecture Inc.

Address: 15243 – 91 Avenue, Unit #100, Building 4

Surrey, B.C. V₃R 8P8

Tel: 604-583-2003

2. Properties involved in the Application

(a) Civic Address: 6677 – 154 Street

(b) Civic Address: 6677 – 154 Street Owner: SWR Industries Ltd.

PID: 028-737-938

Lot 8 Section 14 Township 2 New Westminster District Plan BCP49715

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17404)

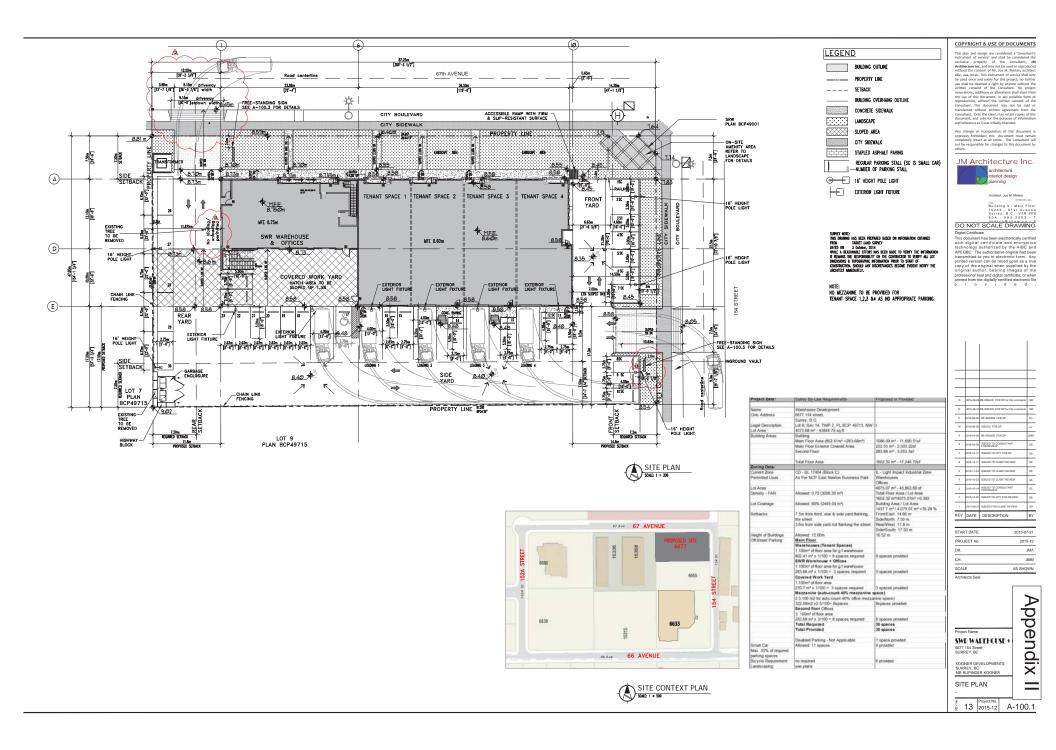
Required Development Data	Minimum Required / Maximum Allowed	Proposed	
LOT AREA* (in square metres)			
Gross Total	N/A	4,073.6 sq. m.	
Road Widening area			
Undevelopable area			
Net Total	N/A	N/A	
LOT COVERAGE (in % of net lot area)			
Buildings & Structures	N/A	N/A	
Paved & Hard Surfaced Areas	N/A	N/A	
Total Site Coverage	60%	32.4%	
SETBACKS (in metres)			
Front	7.5 m.	14.5 m.	
Rear	7.5 m.	11.8 m.	
Side (North)	7.5 m.	7.5 m.	
Side (South)	7.5 m.	17 m.	
BUILDING HEIGHT (in metres/storeys)			
Principal	12 m.	10.52 m.	
Accessory	6 m.	N/A	
NUMBER OF RESIDENTIAL UNITS	N/A	N/A	
FLOOR AREA: Residential	N/A	N/A	
FLOOR AREA: Commercial	N/A	N/A	
FLOOR AREA: Industrial			
Warehouse	N/A	1086.09 sq. m.	
Office	N/A	283.68 sq. m.	
Work Yard	N/A	232.55 sq. m.	
FLOOR AREA: Institutional	N/A	N/A	
TOTAL BUILDING FLOOR AREA	N/A	1602.32 sq. m.	

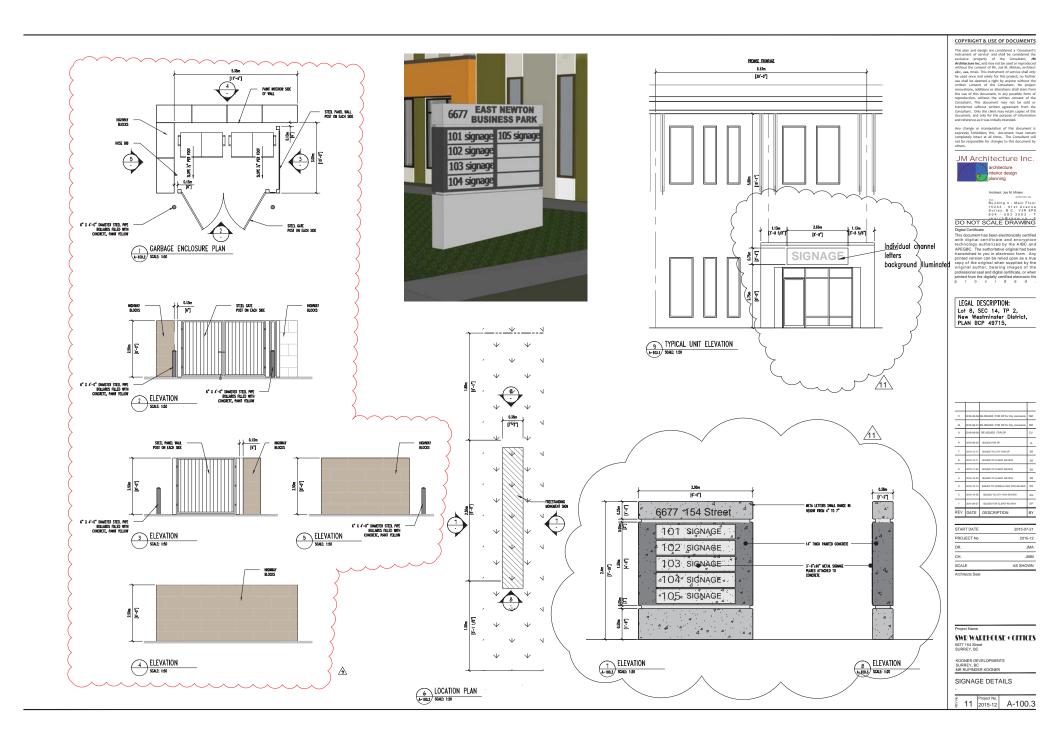
^{*} If the development site consists of more than one lot, lot dimensions pertain to the entire site.

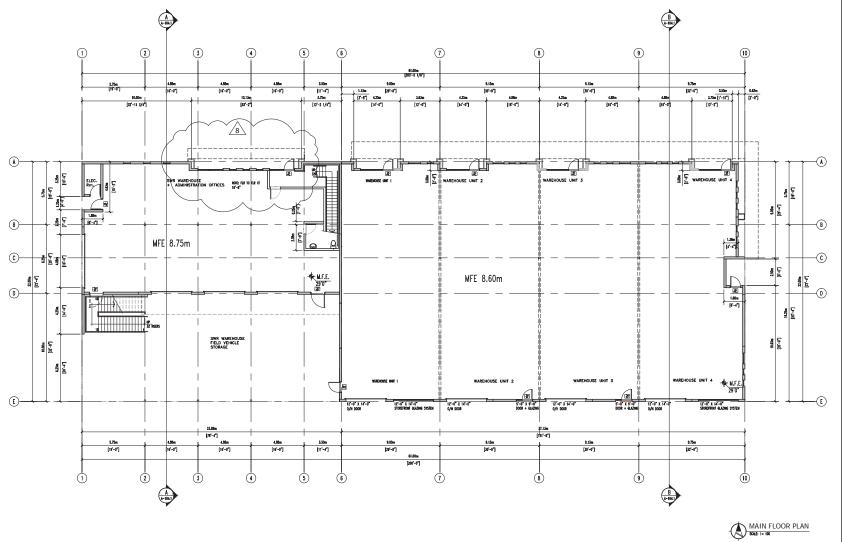
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	N/A	N/A
FAR (net)	0.75	0.39
AMENITY SPACE (area in square metres)	N/A	N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	N/A	N/A
Industrial		
Warehouse	11 spaces	N/A
Office	8 spaces	N/A
Work Yard	3 spaces	N/A
Residential	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	22 spaces	30 spaces
Number of disabled stalls	N/A	ı space
Number of small cars	11 spaces	11 spaces
Tandem Parking Spaces	N/A	5 spaces
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site NO	Tree Survey/Assessment Provided	YES
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JM Architecture Inc.



Architect: Joe M. Minten

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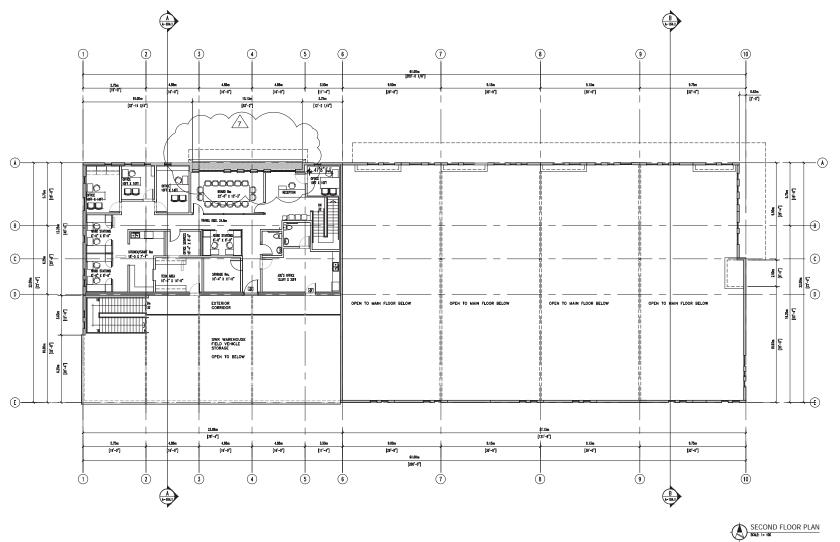
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MAIN FLOOR PLAN

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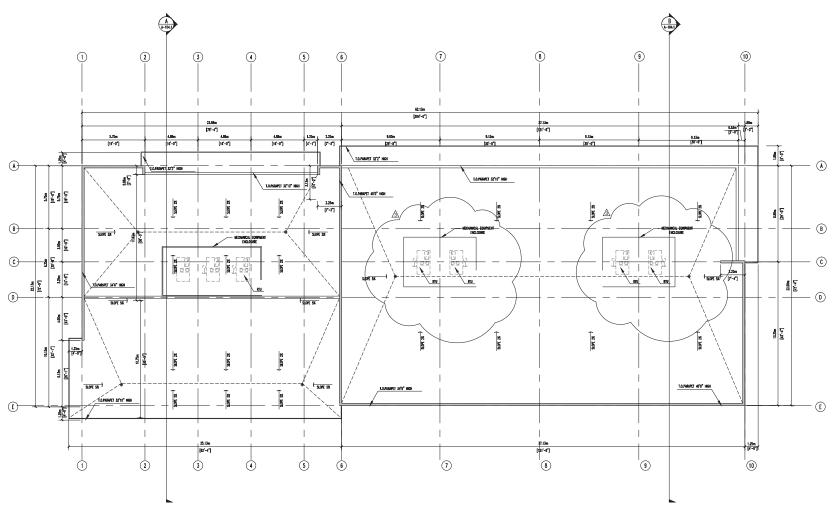
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Architect: Joe M. Mirten

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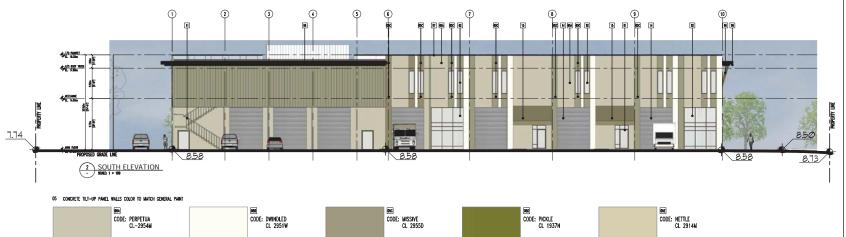
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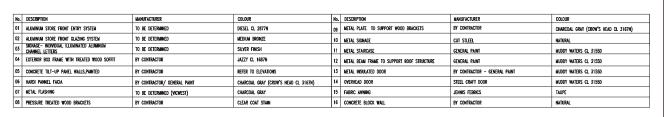
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Architect. Joe M. Minten

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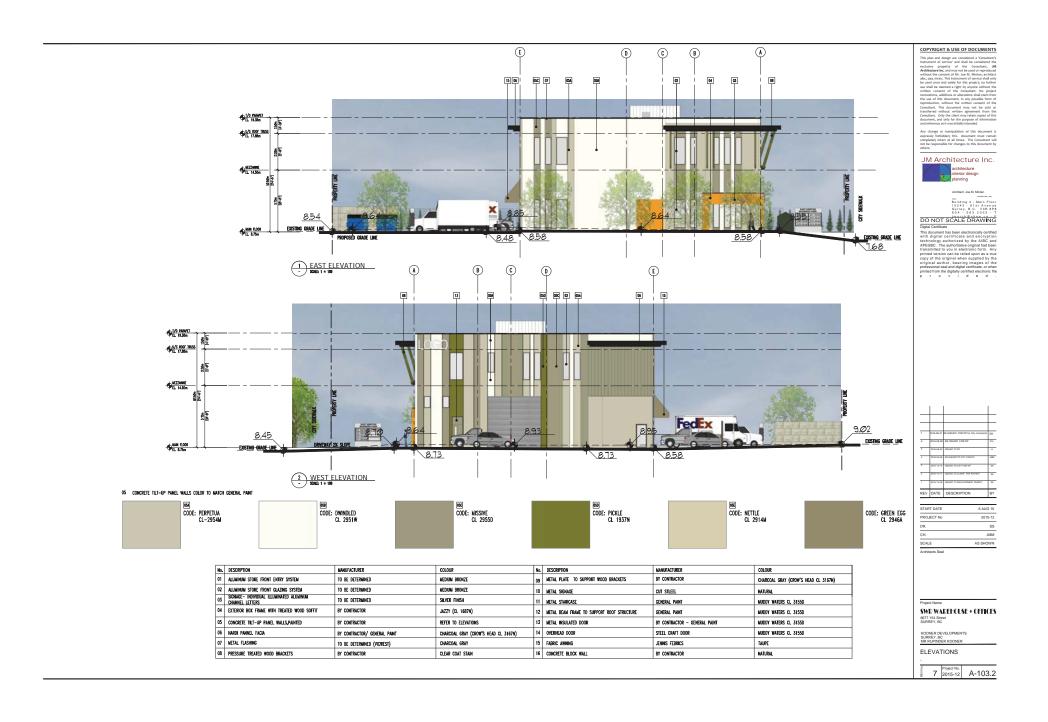
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NORTH-WEST VIEW



STREET SCAPE





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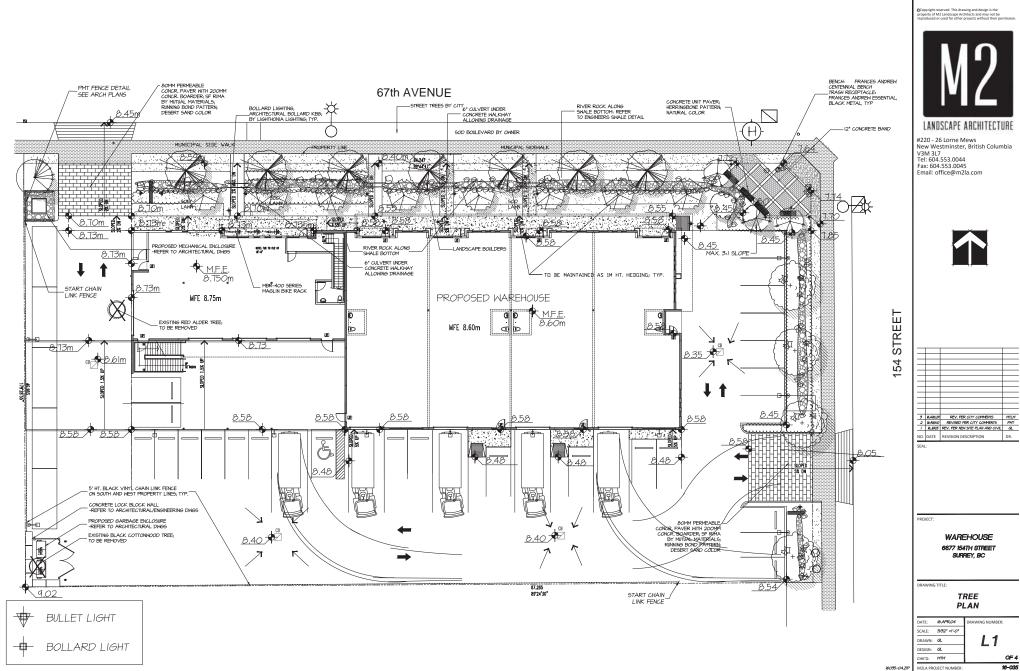
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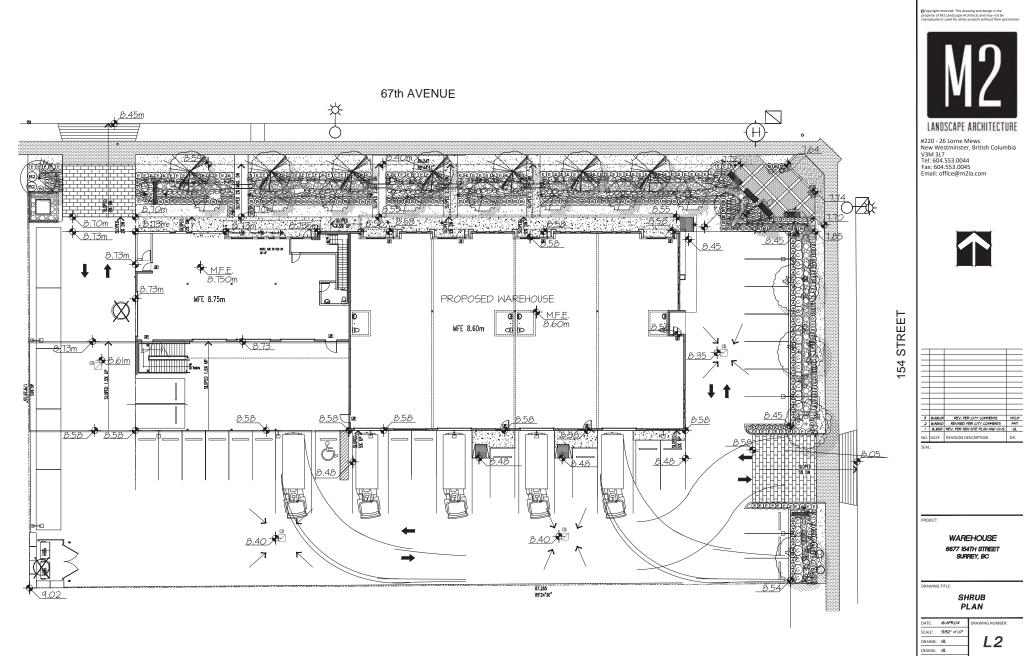
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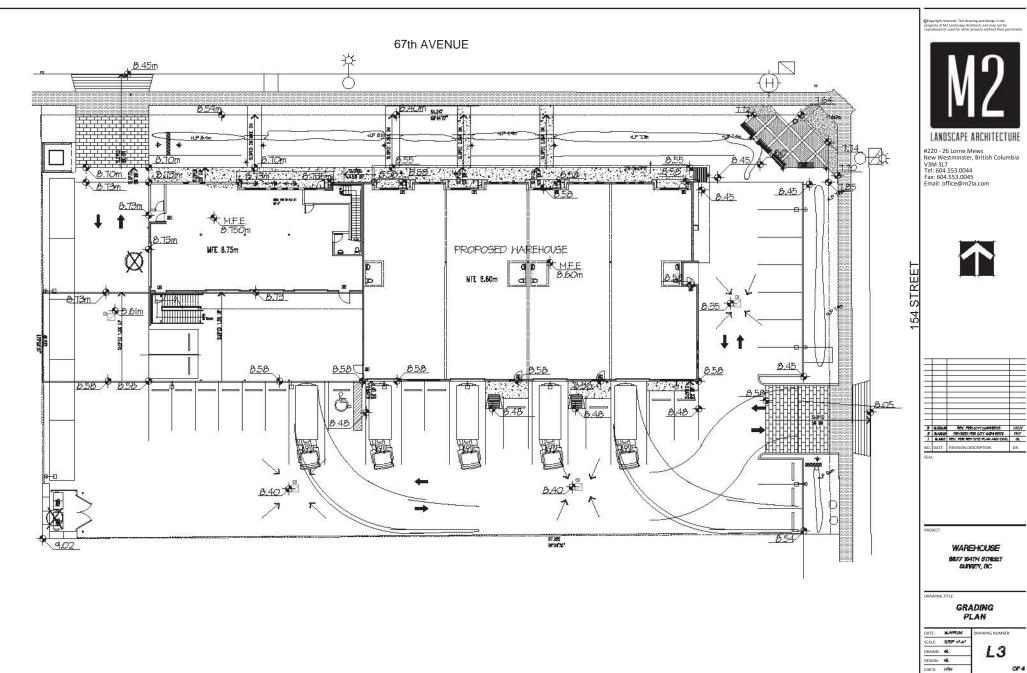


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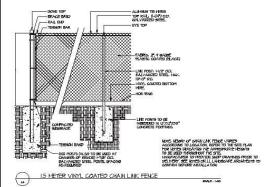
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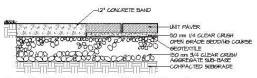


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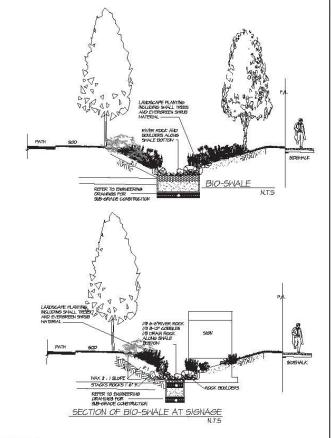
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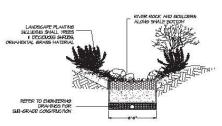
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LANDSCAPE DETAILS

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NO. DATE REVISION DESCRIPTION

WAREHOUSE

LAND8CAPE **SPECIFICATIONS**

DATE: MATRICE RAWING NUMBER: DRAWN: 4L DESIGN: 4 CHK'D: HTTH

M2LA PROJECT NUMBER:

OF 4 75-035

LANDSCAPE ARCHITECTURE

New Westminster, British Columbia

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V3M 3L7 Tel: 604.553.0044

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