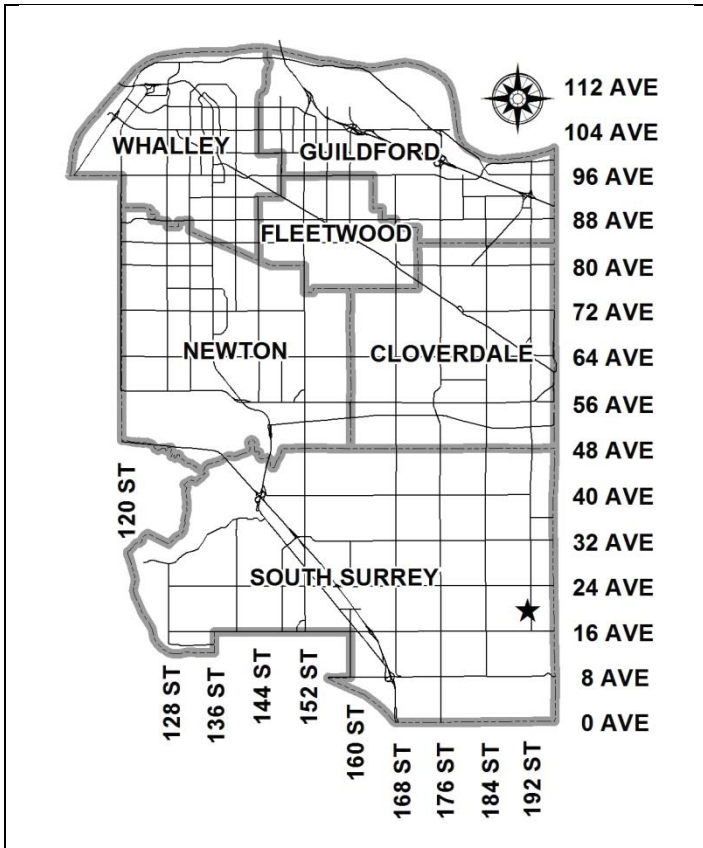


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0317-00

Planning Report Date: November 21, 2016

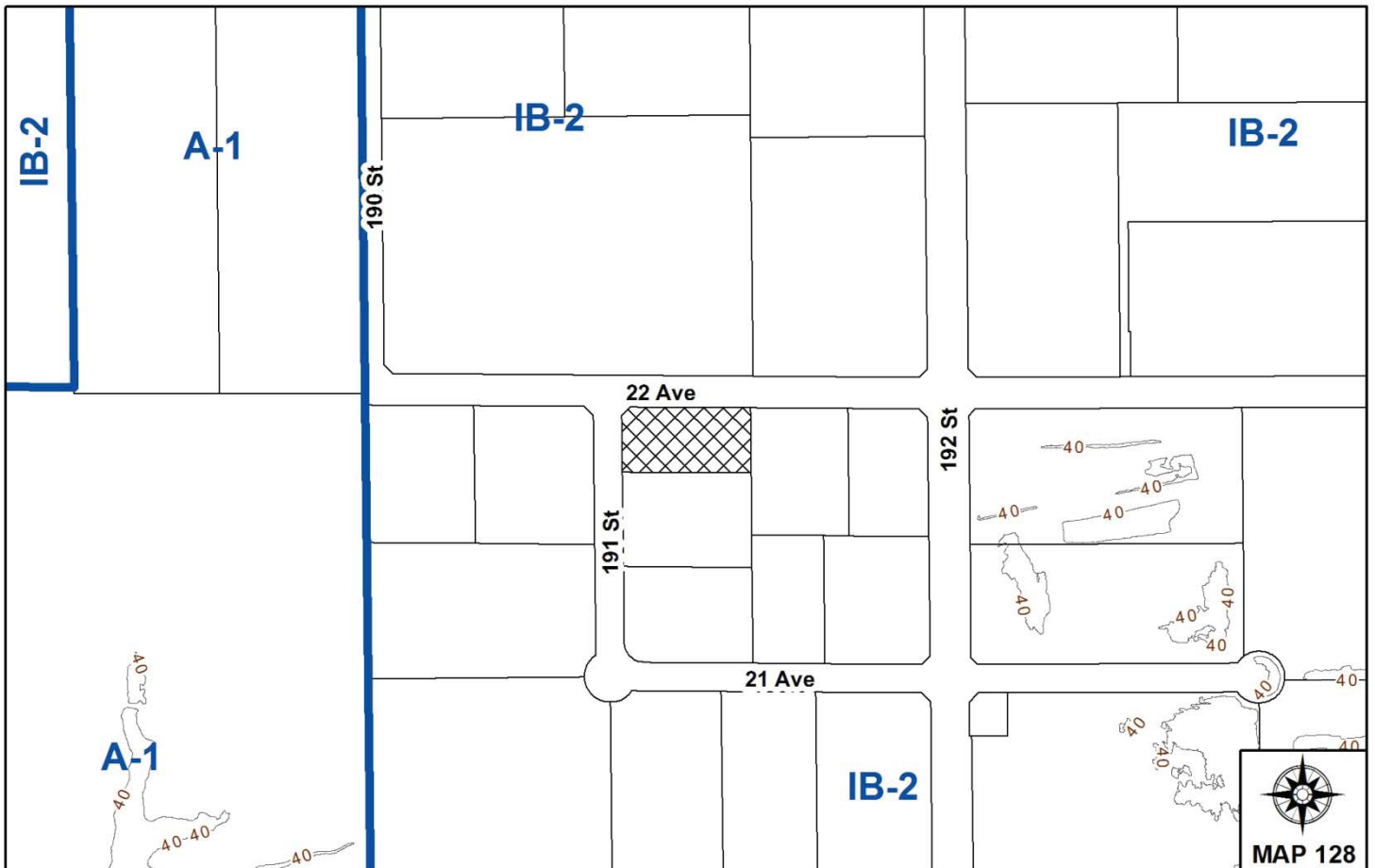


PROPOSAL:

- **Development Variance Permit**

to allow a garbage enclosure to be located within the required rear setback.

LOCATION: 2180 - 191 Street
OWNER: 1035339 B.C. Ltd.
ZONING: IB-2
OCP DESIGNATION: Mixed Employment
LAP DESIGNATION: Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Development Variance Permit to allow a garbage enclosure to be located within the required rear yard setback area.

RATIONALE OF RECOMMENDATION

- The proposed garbage enclosure is located at the rear of the building and will be appropriately screened and enclosed to minimize visibility from the public realm. The garbage enclosure is also located within an area that will be enclosed by security gates at the east and west end of the subject site.
- The proposed location and materials of the garbage enclosure is consistent with standards in Campbell Heights.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0317-00 (Appendix II), to reduce the east rear yard setback from 7.5 metre (25 ft.) to 2 metres (7 ft.) to permit a garbage enclosure, to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the proposed variance.

SITE CHARACTERISTICS

Existing Land Use: Vacant industrial lot

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across 22 Avenue):	Industrial	Mixed Employment/Business Park and Landscaping Strips	IB-2
East:	Industrial	Mixed Employment/Business Park and Landscaping Strips	IB-2
South:	Industrial	Mixed Employment/Business Park	IB-2
West (Across 191 Street):	Industrial	Mixed Employment/Business Park and Landscaping Strips	IB-2

DEVELOPMENT CONSIDERATIONS

- The one acre subject site is located at the southeast corner of 22 Avenue and 191 Street in Campbell Heights Phase I. The site is designed "Mixed Employment" under the Official Community Plan (OCP), and "Business Park" and "Landscaping Strips" under the Campbell Heights Land Use Plan (LAP). The site is currently zoned "Business Park 2 Zone (IB-2)".
- Currently, a Development Permit application (No. 7916-0317-00) is in process to permit the construction of a 977 square metres (10,516 sq.ft.) one-storey, multi-tenant industrial warehouse. The site is located within Phase I of the Campbell Heights LAP which under a Memorandum of Understanding, allows the final approval of a Development Permit to be delegated to staff.

- A Development Variance Permit is required to permit the siting of a proposed garbage enclosure to be located within the required east rear yard setback of the subject site.
- The garbage enclosure is proposed to be located at the southeast corner of the site, 2 metres (7 ft.) from the east property line, and will consist of painted concrete tilt-up panels with a solid woodgrain pattern vinyl gate. A 2.5 metre (8 ft.) high hedge will provide additional screening of the garbage enclosure from 22 Avenue. The garbage enclosure is also contained within an area secured by gates at the east and west end of the site.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the east rear yard setback from 7.5 metre (25 ft.) to 2 metres (7 ft.) to permit a proposed garbage enclosure.

Applicant's Reasons:

- The proposed location and screening of the garbage enclosure will minimize the visibility and impacts from the public realm.

Staff Comments:

- The proposed location of the garbage enclosure is located at the rear of the building/site and will be appropriately covered and screened. The structure is also located within an area that will be screened by a security gate on the east and west end of the subject site.
- Staff supports the proposed variance, the landscaping provided, and the quality of the materials of the garbage enclosure which is consistent with standards for Campbell Heights.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners and Action Summary
Appendix II. Development Variance Permit No. 7916-0317-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

DH/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Shauna Johnson
 Teck Construction LLP
 Address: 5197 – 216 Street
 Langley, BC V3A 2N4

2. Properties involved in the Application
 - (a) Civic Address: 2180 - 191 Street

 - (b) Civic Address: 2180 - 191 Street
 Owner: 1035339 BC Ltd.
 Director Information:
 Ryan Ronald Cooper

 No Officer Information as of March 18, 2016
 PID: 026-015-838
 Lot 3 Section 16 Township 7 New Westminster District Plan 12720

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0317-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0317-00

Issued To: 1035339 B.C. LTD.

(the "Owner")

Address of Owner: 2500 - No. 5 Road
Richmond, BC V6X 2T1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 026-015-838
Lot 3 Section 16 Township 7 New Westminster District Plan BCP12720

2180 - 191 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section F Yards and Setbacks of Part 47B IB-2 Zone, the minimum rear yard (east) setback is reduced from 7.5 metres (25 ft.) to 2.0 metres (7 ft.) for a proposed garbage enclosure.
4. The landscaping and the siting of buildings and structures shall be in accordance with the drawings labelled Schedule A (the "Drawings") which are attached hereto and form part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

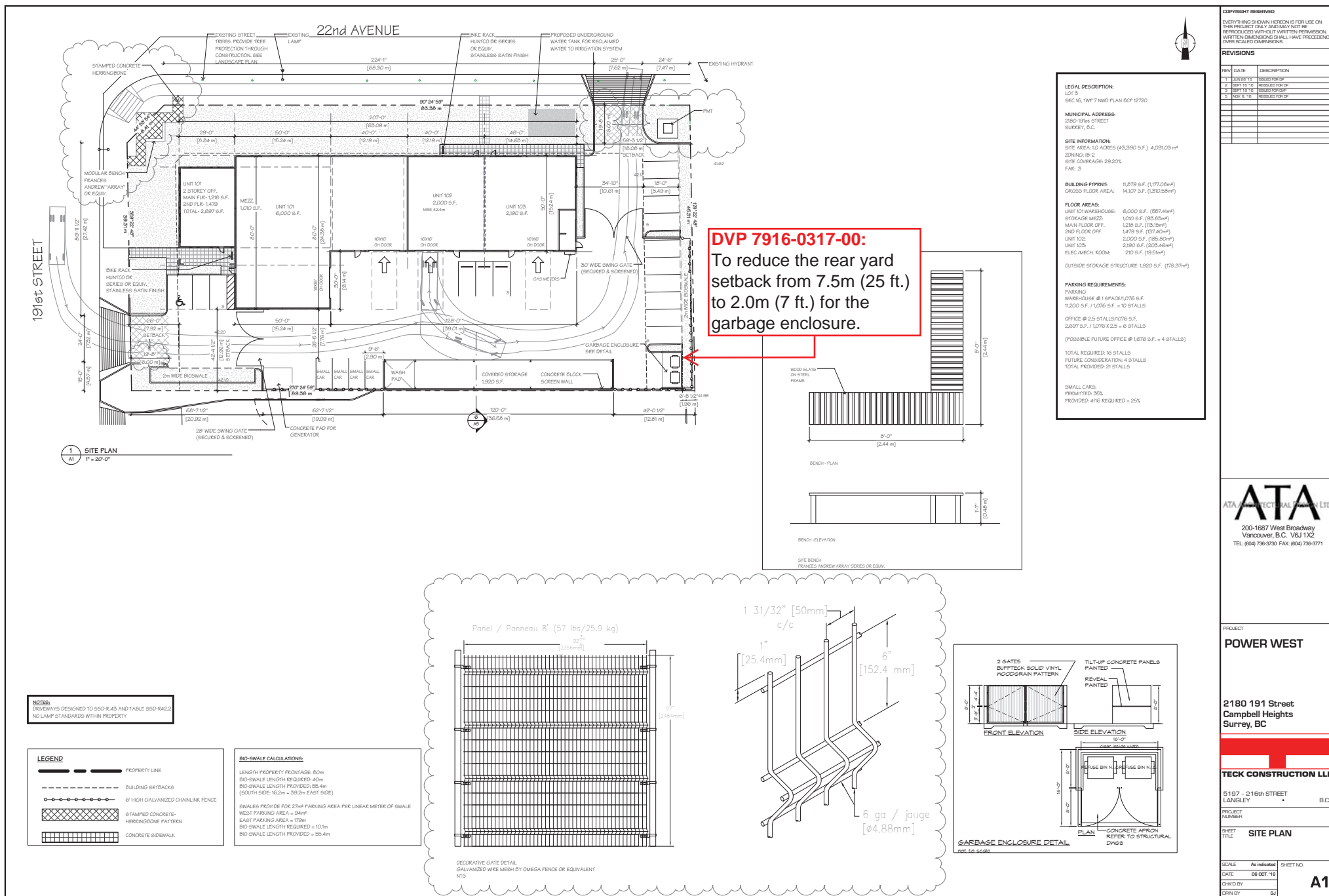
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



DVP 7916-0317-00:
 To reduce the rear yard setback from 7.5m (25 ft.) to 2.0m (7 ft.) for the garbage enclosure.

LEGAL DESCRIPTION:
 LOT 7
 SEC 16, TWP 7 NWD PLAN S01 12720

MUNICIPAL ADDRESS:
 2180-191st STREET
 SURREY, B.C.

SITE INFORMATION:
 SITE AREA: 1.0 ACRES (43,390 S.F.) 4,031.03 sqm
 ZONING: R5-2
 SITE COVERAGE: 29.20%
 FFA: 3

BUILDING FOOTPRINT: 11,579 S.F. (1,777.02sqm)
 GROSS FLOOR AREA: 14,107 S.F. (1,310.59sqm)

FLOOR AREAS:
 UNIT 101 WAREHOUSE: 6,000 S.F. (557.41sqm)
 STORAGE MEZZ: 1,070 S.F. (99.53sqm)
 MAIN FLOOR OFF: 1,216 S.F. (113.15sqm)
 2ND FLOOR OFF: 1,479 S.F. (137.42sqm)
 UNIT 102: 2,000 S.F. (185.80sqm)
 UNIT 103: 2,190 S.F. (203.46sqm)
 ELEC. MECH. ROOM: 210 S.F. (19.59sqm)

OUTSIDE STORAGE STRUCTURE: 1,920 S.F. (176.37sqm)

PARKING REQUIREMENTS:
 PARKING
 WAREHOUSE @ 1 SP/ACE/1,076 S.F.
 10,200 S.F. / 1,076 S.F. = 10 STALLS
 OFFICE @ 2.5 STALLS/1,076 S.F.
 2,697 S.F. / 1,076 S.F. = 2.5 STALLS
 (POSSIBLE FUTURE OFFICE @ 1,676 S.F. = 4 STALLS)

TOTAL REQUIRED: 16 STALLS
FUTURE CONSIDERATION: 4 STALLS
TOTAL PROVIDED: 21 STALLS

SMALL CARDS:
 PERMITTED: 35%
 PROVIDED AND REQUIRED = 25%

REVISIONS

REV	DATE	DESCRIPTION
1	12/28/16	ISSUED FOR 3P
2	01/11/16	REVISION FOR 3P
3	01/11/16	REVISION FOR 3P
4	02/04/16	REVISION FOR 3P

1 SITE PLAN
 A1 1" = 20'-0"

NOTES:
 DRIVEWAYS DESIGNED TO 850-R-43 AND TABLE 850-842.2
 NO LAMP STANDARDS WITHIN PROPERTY

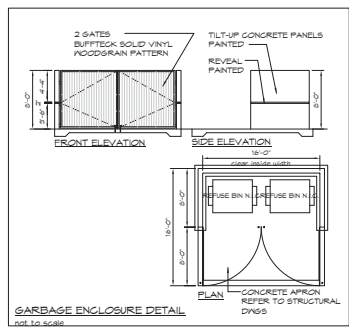
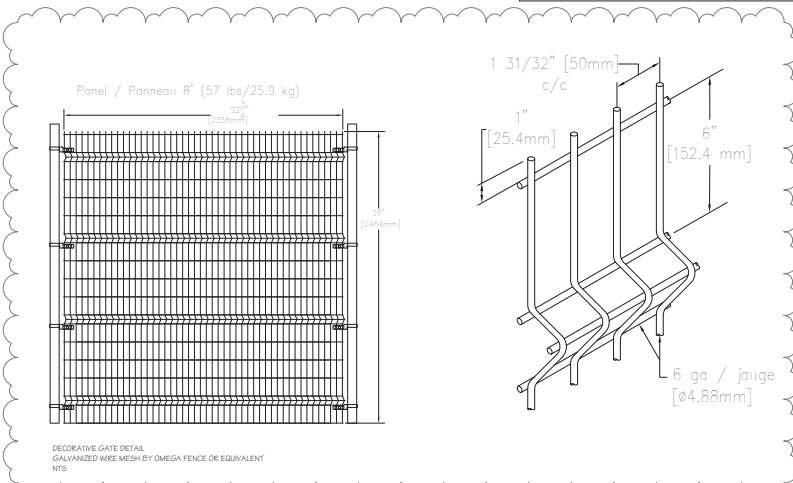
LEGEND

	PROPERTY LINE
	BUILDING SETBACKS
	Ø HIGH GALVANIZED CHAINLINK FENCE
	STAMPED CONCRETE-HERKINGSTONE PATTERN
	CONCRETE SIDEWALK

BIO-SWALE CALCULATIONS:

LENGTH PROPERTY FRONTAGE: 80m
 BIO-SWALE LENGTH REQUIRED: 40m
 BIO-SWALE LENGTH PROVIDED: 55.4m
 (SOUTH SIDE: 18.2m + 39.2m EAST SIDE)

SWALES PROVIDE FOR 27th PARKING AREA PER LINEAR METER OF SWALE
 WEST PARKING AREA = 94m²
 EAST PARKING AREA = 179m²
 BIO-SWALE LENGTH REQUIRED = 10.1m
 BIO-SWALE LENGTH PROVIDED = 55.4m



ATA
 200-1887 West Broadway
 Vancouver, B.C. V6J 1X2
 TEL: (604) 736-3730 FAX: (604) 736-3771

PROJECT
POWER WEST

2180 191 Street
 Campbell Heights
 Surrey, BC

TECK CONSTRUCTION LLP

5197 - 216th STREET
 LANGLEY B.C.

SITE PLAN

SCALE: As indicated SHEET NO.:
 DATE: 06 OCT '16
 CHECKED BY:
 DRAWN BY: GJ