

City of Surrey
PLANNING & DEVELOPMENT REPORT

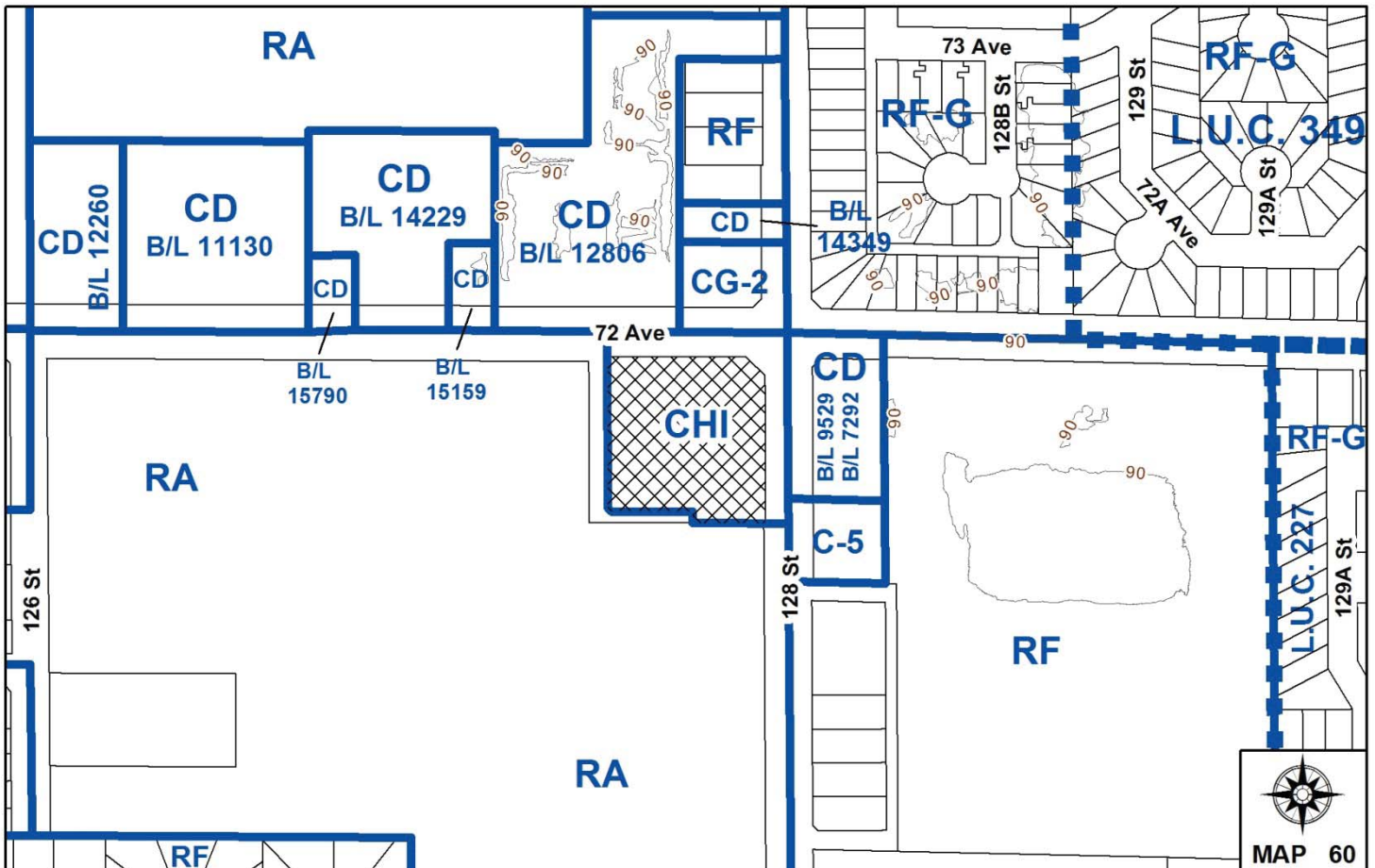
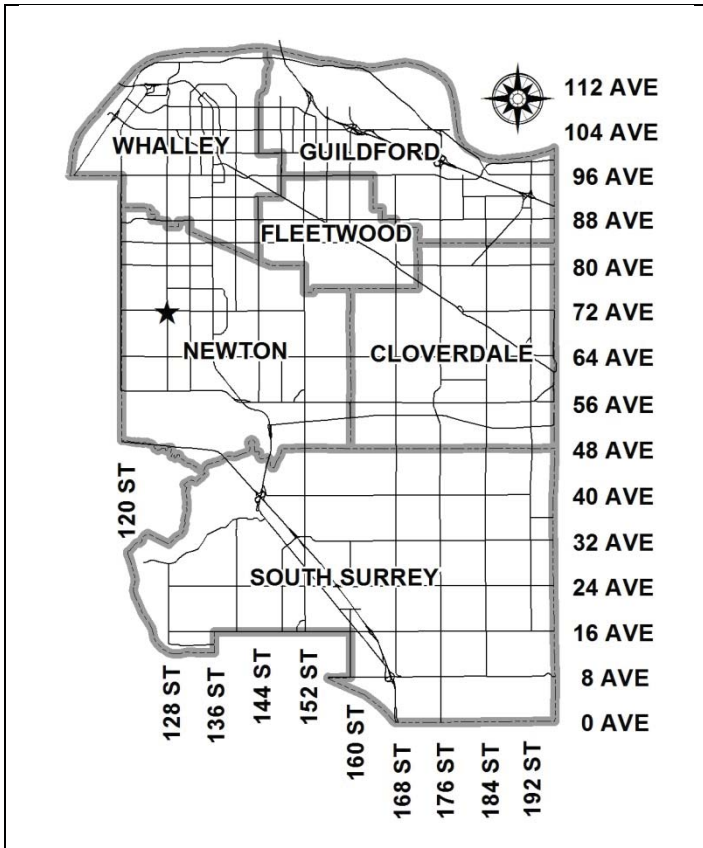
File: 7916-0285-00

Planning Report Date: November 21, 2016

PROPOSAL:

- **Development Variance Permit**
 to increase the height of a free-standing telecommunications tower from 12 metres (40 ft.) to 14.9 metres (50 ft.).

LOCATION: 7191 - 128 Street
OWNER: Telus Communications Inc.
ZONING: CHI
OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant has requested a variance to increase the maximum height of an existing free-standing telecommunications tower from 12 metres (40 ft.) to 14.9 metres (50 ft.).

RATIONALE OF RECOMMENDATION

- The additional tower height will allow for equipment upgrades that are needed to provide the latest Telus LTE technology. The new equipment will enhance network performance in the vicinity of 128 Street and 72 Avenue by improving wireless voice services and increasing data speeds.
- The proposal will benefit City residents who use either Telus or Bell mobile services and may attract new customers to the telecommunications providers.
- The proposal complies with the majority of criteria identified in the City's current policy for telecommunications towers.
- Staff have not received any responses as a result of the public notification to property owners located within 90 metres (295 ft.) of the subject site.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0285-00 (Appendix III), to vary Part 4 General Provisions of the Zoning By-law, to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 14.9 metres (50 ft.), to proceed to Public Notification:

REFERRALS

Engineering: The Engineering Department has no objection to the proposal.

SITE CHARACTERISTICS

Existing Land Use: Telus Newton Central Office

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 72 Avenue):	Gas station and multi-family residential	Multiple Residential	CG-2 and CD (Bylaw No. 12806)
East (Across 128 Street):	Commercial	Urban	CD (Bylaw Nos. 7292 and 9529)
South:	Kwantlen Polytechnic University (parking lot)	Urban	RA
West:	Kwantlen Polytechnic University (parking lot and campus buildings)	Urban	RA

DEVELOPMENT CONSIDERATIONSSite Context and Proposal

- The subject site, which is located at the south-west corner of 128 Street and 72 Avenue, is designated Urban in the Official Community Plan (OCP) and zoned "Highway Commercial Industrial Zone (CHI)". The subject property is owned by Telus Communications Inc. and is currently home to the Telus Newton Central Office.
- Cypress Land Services Inc. on behalf of Telus, is proposing to increase the height of an existing freestanding monopole telecommunications tower on the subject site from 12 metres (40 ft.) to 14.9 metres (50 ft.).

- The proposed antennas will be attached to a support frame encased by a fiberglass shroud, giving the tower the outward appearance of a solid monopole structure. The antennas will not be visible.
- The existing monopole is located in the parking lot to the west of an existing Telus office building on the subject property. The monopole is located approximately 20 metres (66 ft.) from 72 Avenue and is well-screened from public view along 72 Street by the existing street trees and the Telus office building.
- Across 72 Street to the north is a Shell gas station on the north-west corner of the intersection of 72 Avenue and 128 Street. To the west of the gas station is a low-rise multi-family residential building, which is screened from view along 72 Avenue by dense landscaping.
- The monopole is located approximately 40 metres (130 ft.) from the west property line and 60 metres (200 ft.) from the south property line. To the south and west of the subject site are parking lots associated with Kwantlen Polytechnic University, with campus buildings located beyond the parking lots further to the west. The closest buildings are approximately 150 metres from the existing monopole. The Kwantlen property is separated from the subject site by unopened road allowance which contains existing mature trees that act as a visual buffer.
- Across 128 Street to the east is a small-scale commercial shopping centre. The existing tower is screened from view by the Telus office building on the subject site, with only the top portion of the tower visible above the roof line.
- The applicant is proposing a Development Variance Permit (DVP) to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 14.9 metres (50 ft.)

Telecommunications Policy

- The key message staff have relayed to telecommunication companies is the importance of a comprehensive strategy to ensure adequate coverage for all carriers while minimizing the number of singular user installations, without compromising the existing policy guidelines, especially in proximity to residential areas and aesthetics being adequately addressed.
- Improving high speed wireless service supports the growing high technology sector, high tech education, emergency services and broadens community consultation opportunities through social media. The proposed telecommunications tower also supports the City of Surrey's vision for building a strong economy.
- The subject application generally complies with the current Telecommunications Tower Policy No. O-49 and is therefore being presented for Council's consideration.
- The City policy on telecommunication towers was developed in conjunction with wireless providers and approved by Council on June 18, 2001 (Policy No. O-49 Telecommunication Towers). The policy provides parameters on how the towers should be sited and designed.
- The following is an evaluation of the current proposal in relation to Policy No. O-49:

Location and Siting

- When considering the siting of telecommunication tower facilities, every effort should be made to locate new equipment on existing structures such as Hydro transmission line towers, utility poles, roof tops, etc.

The applicant proposes to install the new equipment on an existing telecommunications tower located on the subject site.

- It is preferable that new free-standing telecommunication towers be sited in non-residential locations and preferably in industrial areas.

The subject site is designated Urban in the Official Community Plan and zoned "Highway Commercial Industrial Zone (CHI)". While there are existing residential properties in the surrounding area, including multi-family residential buildings to the north across 72 Avenue and single family residences to the north-east across the intersection of 72 Avenue and 128 Street, the proposed site is a non-residential location and the immediate area contains a mix of uses including commercial (gas station across 72 Avenue and retail shopping centre across 128 Street) and institutional (Kwantlen Polytechnic University) to the west.

The closest residences are located approximately 65 metres (210 ft.) away from the telecommunications tower.

The applicant completed a public consultation process as required by City Policy No. 0-49 in which notification packages were sent to property owners within six (6) times the height of the proposed installation. Packages were sent to 187 property owners. City staff did not receive any responses as a result of the public consultation.

- Towers on prominent natural and cultural features, environmentally sensitive areas or areas with historically significant buildings are discouraged.

The telecommunications tower will not be located near any prominent natural, cultural, environmentally sensitive or historically significant features.

- New free-standing telecommunications towers should be located at a distance from the edge of an existing or future road allowance no less than the height of the tower.

The telecommunications tower is set back approximately 20 metres (66 ft.) from 72 Avenue (north property line), which exceeds the proposed height of the tower.

- Location of telecommunication towers on sites with mature trees is encouraged.

There are existing boulevard trees planted along 72 Avenue and existing mature trees (primarily deciduous species) located in a portion of unopened road allowance adjacent to the west and south property lines, which help to screen the proposed installation from view.

- All applicants for free-standing telecommunication structures will be requested to identify any other structure (e.g. hydro transmission tower, existing telecommunication towers, etc.) within a radius of 500 metres (1,640 ft.) from the proposed location and to provide reasons why other existing structures within that radius are not acceptable for use (i.e. structural capabilities, safety, available space or failing to meet service coverage needs).

The applicant proposes to install the new equipment on an existing telecommunications tower located on the subject site.

Co-Location

- The carriers and other telecommunication tower owners are encouraged to work co-operatively in reaching agreements which allow for sharing of tower structures so as to minimize the total number of towers in the City. This practice is typically referred to as "co-location".

The applicant proposes to install the new equipment on an existing telecommunications tower on the Telus-owned subject site.

This is a single user tower; however, Telus has an existing co-sharing agreement with Bell Mobility in which Bell services are provided using Telus infrastructure, which is in itself a form of co-location. The proposal will benefit existing and future Telus and Bell customers within the proposed service area.

- Each new free-standing tower built in a non-residential area shall be built to accommodate a minimum of two additional users.

The proposal does not request a new free-standing tower, but rather proposes to increase the height of an existing tower.

Tower Design and Landscaping Criteria

- Towers and ancillary equipment shelters will be designed to fit their surroundings and to minimize their visual impact on surrounding properties.

The proposal is to add to the height to the existing monopole located on the subject site. The new portion of the monopole will match the existing design and should have little visual impact on surrounding properties. The monopole is well-screened by trees and by the existing Telus office building.

No new ancillary equipment shelters are proposed.

- The use of the monopole is encouraged. Where a tower is being constructed to accommodate a single user, a monopole design is required.

The tower is a monopole design.

- Landscaping shall be appropriately placed around telecommunication towers and ancillary facilities, such as equipment shelters, to minimize their visual impact on the neighbourhood.

The tower is located in a parking lot to the west of an existing office building on the subject site. The applicant is not proposing any additional landscaping around the base of the tower, as there are existing trees along 72 Street and along the south and west property lines, as well as the existing office building, which screen the tower from public view.

PUBLIC CONSULTATION

In accordance with City Policy 0-49, the applicant sent out 187 information packages on August 31, 2016 to property owners within a notification area of 90 metres (295 ft.) from the subject site, which is six times the height of the proposed tower.

As a result of these notifications, the applicant received a response from one (1) area resident inquiring about types of services being proposed and the technology used. Cypress Land Services responded to the inquiry and no further comments were received. No comments were submitted to City staff concerning the telecommunications tower.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To vary Part 4 General Provisions of the Zoning-By-law, to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 14.9 metres (50 ft.).

Applicant's Reasons:

- The proposal will enhance network performance in the vicinity of 128 Street and 72 Avenue by installing equipment that supports next generation LTE Advanced services, which will increase network capacity, enhance performance, enable richer multimedia applications and services, improve wireless voice services and increase data speeds.
- The proposal is in response to demand for improved coverage in the area of 128 Street and 72 Avenue.
- The proposed equipment will utilize Telus' new spectrums on 700 MHz, 2300 MHz and 2600 MHz. Telus currently uses spectrums on 850 MHz, 1900 MHz and 2100 MHz. By utilizing these additional new spectrums, Telus is able to increase network capacity, which is necessary to meet demand for wireless services including increased data usage (each spectrum has a limited capacity, so by adding new spectrums, capacity is increased). In particular, the 700 MHz spectrum is highly desirable as it is able to travel longer distances and is less susceptible to interference that typically blocks higher frequency signals (i.e. trees, buildings, elevators, parking garages, etc.).

- The increased tower height is necessary to house additional equipment to support the use of the latest technology.
- The proposed new antennas are the smallest in Telus' antenna portfolio that can support the required bandwidths for next generation LTE700 (700 MHz) services. The previous antenna model used at this site does not support LTE700.

Staff Comments:

- The proposal complies with the majority of criteria identified in the City's Policy for Telecommunications Towers.
- The monopole will be satisfactorily screened from public view.
- No concerns have been expressed from area residents in response to the public notification.
- Staff support this variance to proceed to public notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Coverage Maps
Appendix III.	Development Variance Permit No. 7916-0285-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

EM/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Tawny Verigin
 Cypress Land Services Inc.
 Address: 736 - Granville Street, Suite 120
 Vancouver, BC V6Z 1G3

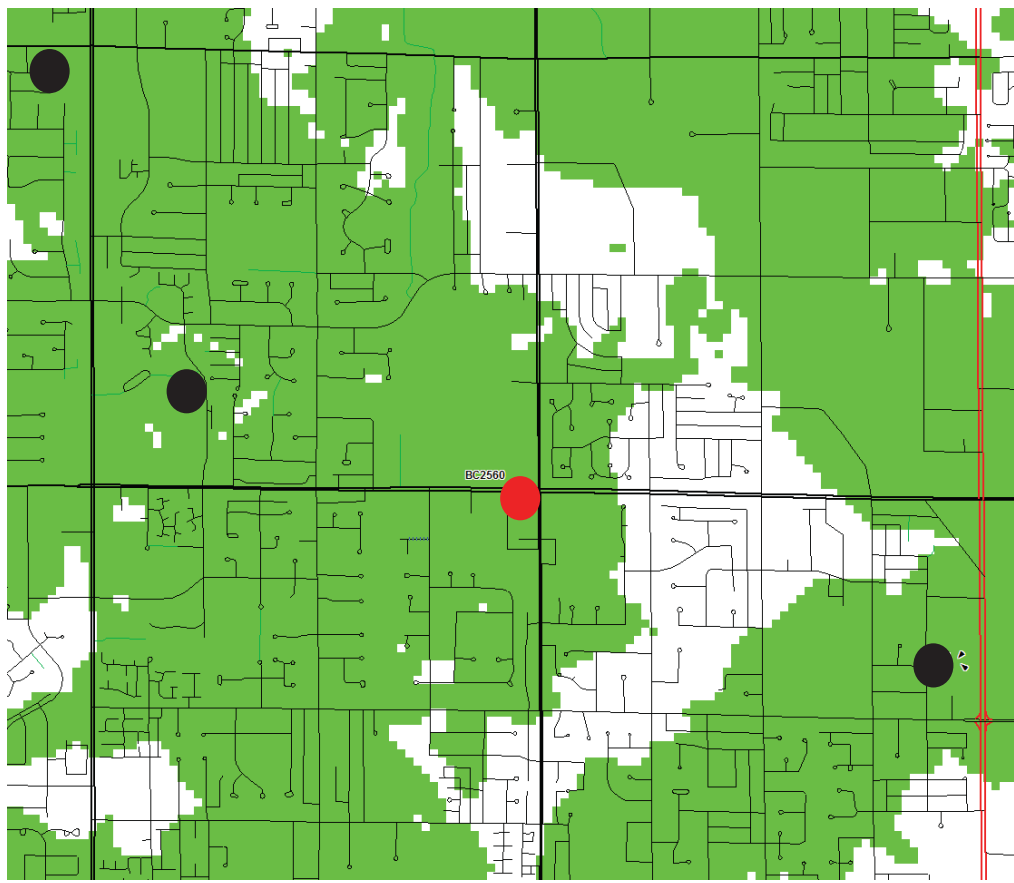
2. Properties involved in the Application
 - (a) Civic Address: 7191 - 128 Street

 - (b) Civic Address: 7191 - 128 Street
 Owner: Telus Communications Inc
 PID: 007-229-798
 Lot 41 Except: Firstly: Parcel "A" (Bylaw Plan 77913) Secondly: Part Dedicated Road on Plan BCP5868; Section 18 Township 2 New Westminster District Plan 35915

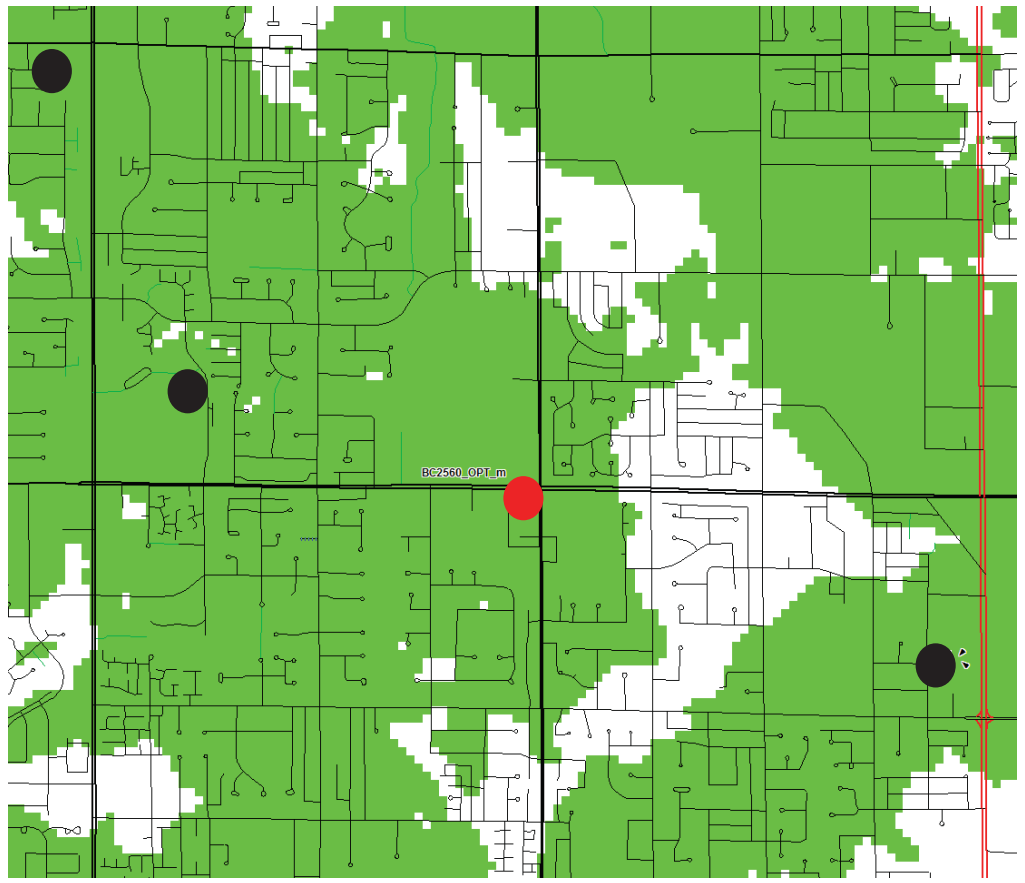
3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0285-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

● Proposed Site change
● On-Air Site

■ LTE1900 Coverage



Before



After

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0285-00

Issued To: TELUS COMMUNICATIONS INC.

(the Owner)

Address of Owner: P.O. BOX 1552
Edmonton, AB T5J 2N7

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 007-229-798

Lot 41 Except: Firstly: Parcel "A" (Bylaw Plan 77913) Secondly: Part Dedicated Road on Plan BCP5868; Section 18 Township 2 New Westminster District Plan 35915

7191 - 128 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Sub-section A.1.(a)ii.b. of Part 4 General Provisions, the maximum height of a telecommunications tower is increased from 12 metres (40 ft.) to 14.9 metres (50 ft.).
4. This development variance permit applies to only that portion of the structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

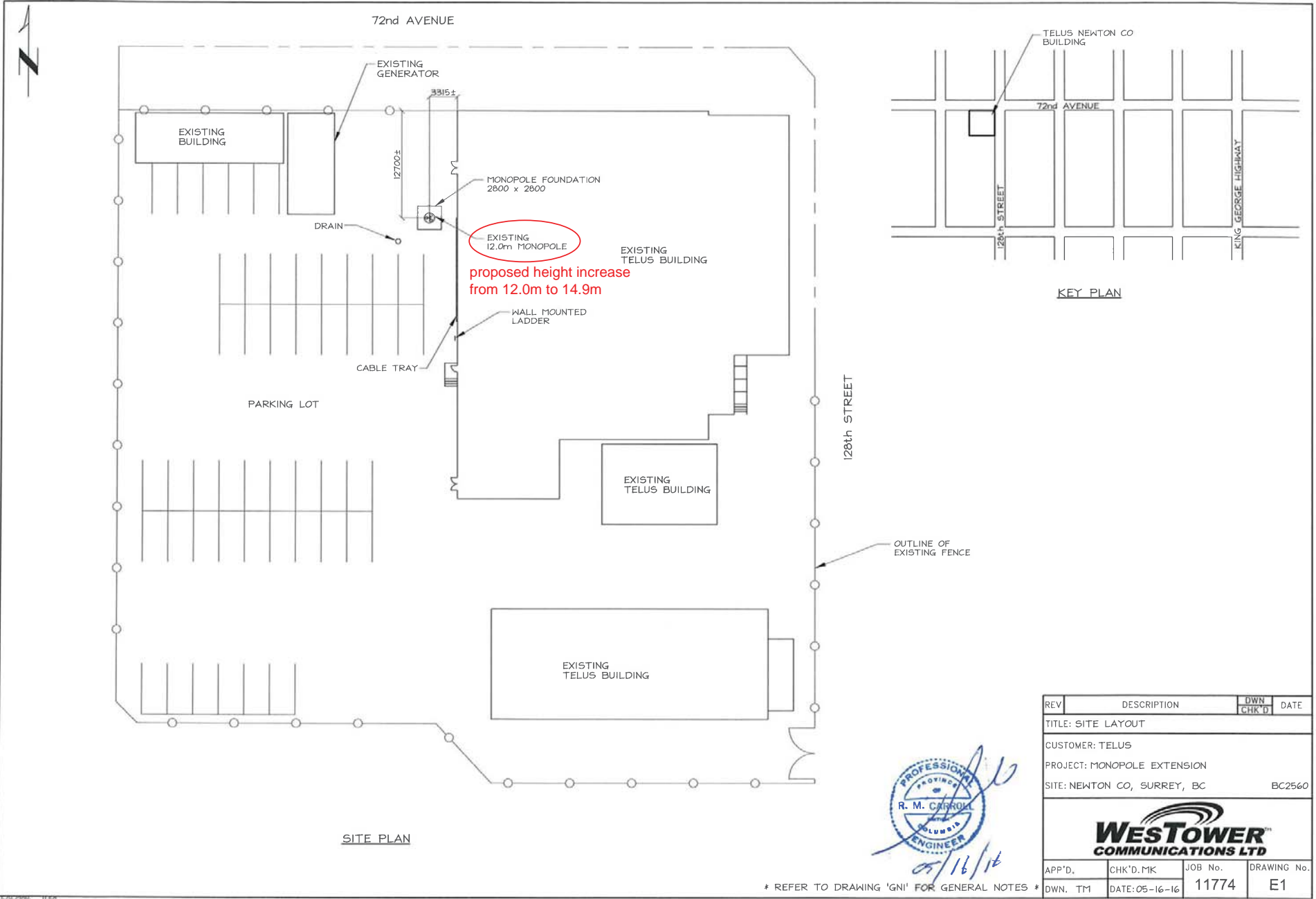
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

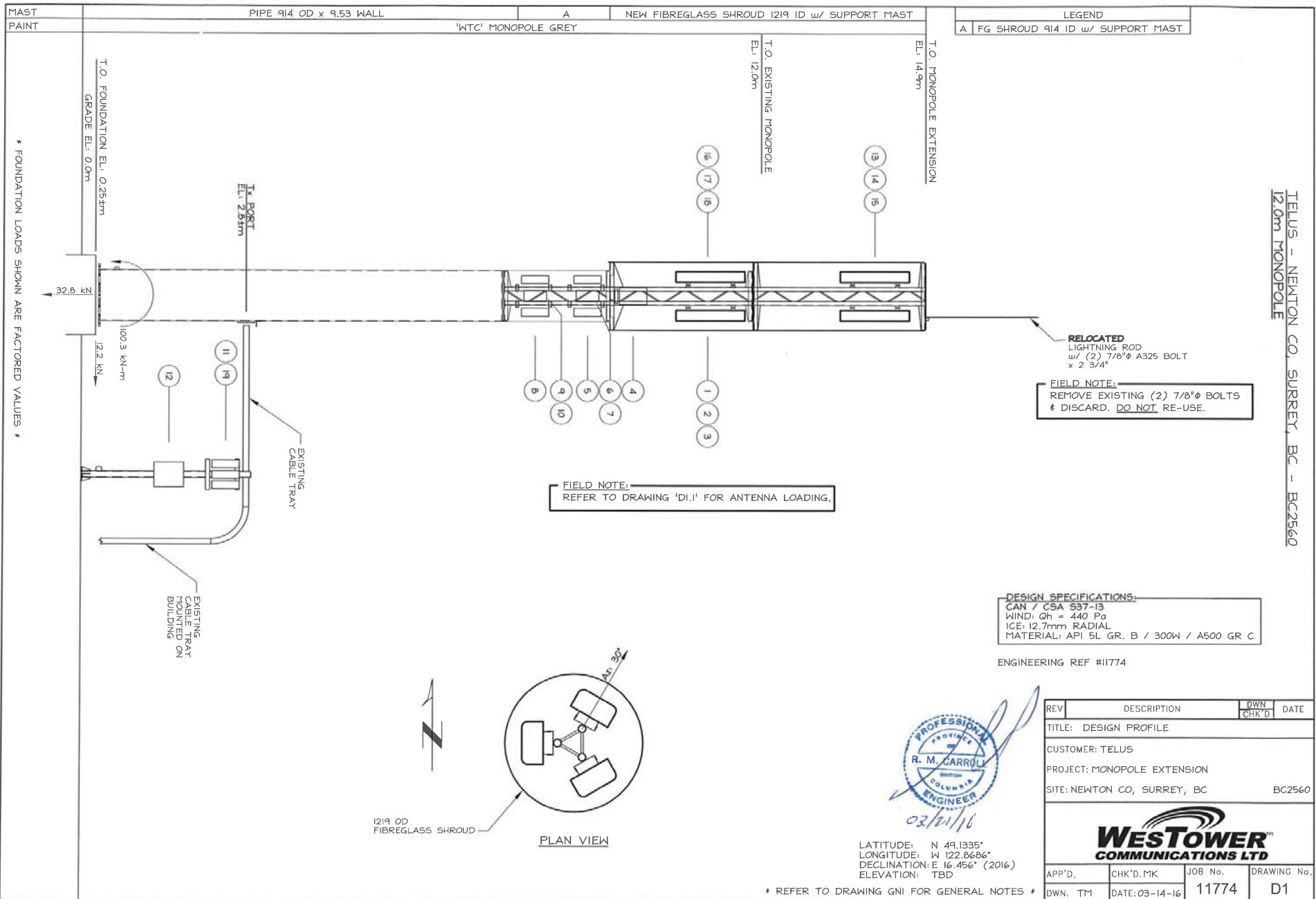


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REV	DESCRIPTION	DWN	DATE
		CHK'D	
TITLE: SITE LAYOUT			
CUSTOMER: TELUS			
PROJECT: MONOPOLE EXTENSION			
SITE: NEWTON CO, SURREY, BC			BC2560
APP'D.	CHK'D. MK	JOB No.	DRAWING No.
DWN. TM	DATE: 05-16-16	11774	E1

* REFER TO DRAWING 'GNI' FOR GENERAL NOTES *

TELUS - NEWTON CO, SURREY, BC - BC2560
12.0m MONOPOLE



LEGEND	
A	FG SHROUD 914 ID w/ SUPPORT MAST

RELOCATED
LIGHTNING ROD
w/ (2) 7/8"φ A325 BOLT
x 2 3/4"

FIELD NOTE:
REMOVE EXISTING (2) 7/8"φ BOLTS
& DISCARD. **DO NOT** RE-USE.

FIELD NOTE:
REFER TO DRAWING 'D1.' FOR ANTENNA LOADING.

DESIGN SPECIFICATIONS:
CAN / CSA 537-13
WIND: Qh = 440 Pa
ICE: 12.7mm RADIAL
MATERIAL: API 5L GR. B / 300W / A500 GR C

ENGINEERING REF #11774



LATITUDE: N 49.1335°
LONGITUDE: W 122.8686°
DECLINATION: E 16.456° (2016)
ELEVATION: TBD

REV	DESCRIPTION	DWN CHK'D	DATE
TITLE: DESIGN PROFILE			
CUSTOMER: TELUS			
PROJECT: MONOPOLE EXTENSION			
SITE: NEWTON CO, SURREY, BC			BC2560
WESTOWER COMMUNICATIONS LTD			
APP'D,	CHK'D.MK	JOB No.	DRAWING No.
DWN. TM	DATE:03-14-16	11774	D1

* REFER TO DRAWING GNI FOR GENERAL NOTES *

* FOUNDATION LOADS SHOWN ARE FACTORED VALUES *

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