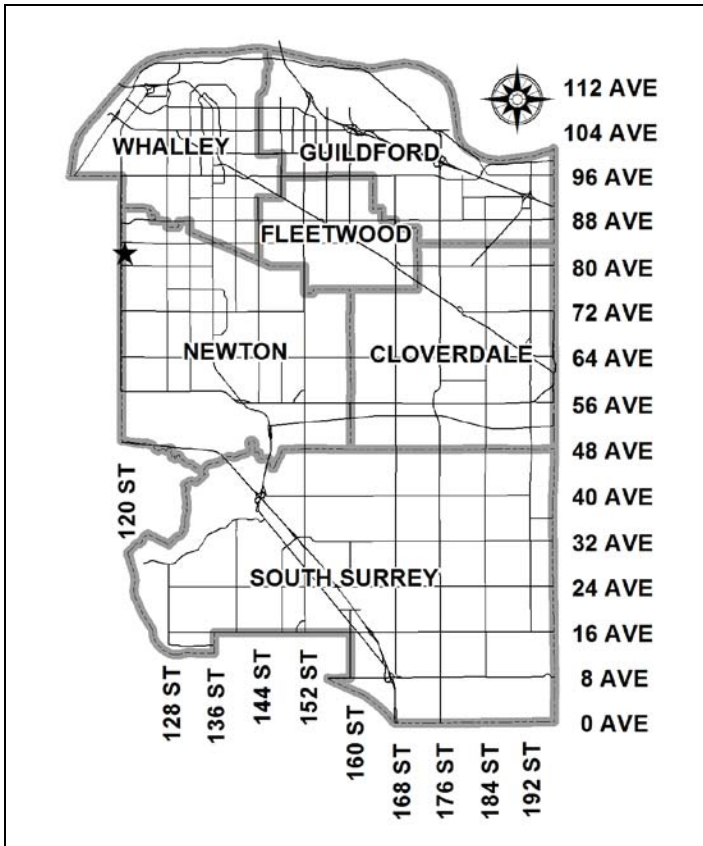


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0282-00

Planning Report Date: September 12, 2016



PROPOSAL:

Development Variance Permit

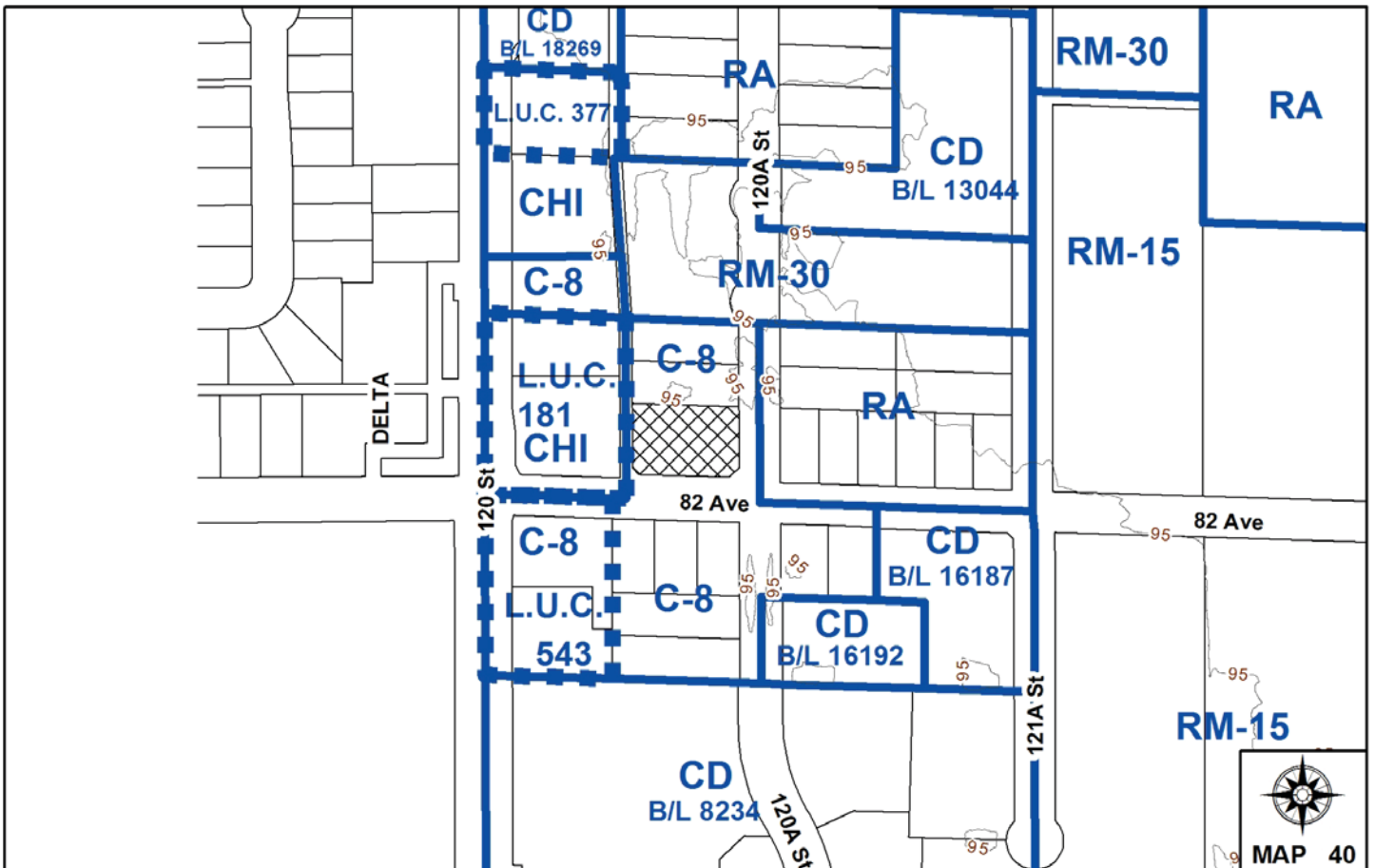
to reduce the number of required on-site parking spaces for a child care centre.

LOCATION: 12057 - 82 Avenue

OWNER: 0712872 BC Ltd

ZONING: C-8

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Development Variance Permit in order to reduce the minimum number of required on-site parking spaces from 32 parking spaces to 28 parking spaces.

RATIONALE OF RECOMMENDATION

- Zoning By-law No. 12000 requires a total of 32 parking spaces be provided to accommodate the proposed child care centre and all other proposed uses on-site.
- The proposed variance to reduce the minimum number of required parking to 28 spaces is considered reasonable given the property's location in proximity to 120 Street, which is approximately 60 metres (197 ft.) from the subject property. 120 Street is well served by transit and is part of the City's existing Frequent Transit Network.
- At present, only one other retail unit has been rented to a hair salon and the targeted use for the other ground floor units is retail. The upper floor has 6 units, which will be rented as office space. These uses are not parking intensive, requiring 3 spaces per 100 square metres (1075 sq. ft.) and 2.5 spaces per 100 square metres (1075 sq. ft.) of gross floor area respectively.
- The child care centre will have the highest parking demand during drop-off (approximately 6:30 – 7:00 AM) and pick-up (approximately 6:00 – 7:00 PM), Monday through Friday, when the majority of businesses on site are anticipated to be closed. The child care centre will be closed weekends and holidays. As such, the proposed variance is not expected to place additional pressure on the other businesses within the building and the provision of 28 parking spaces would be sufficient to meet the parking demand for all of the proposed land-uses on-site.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0282-00 (Appendix II) varying the following, to proceed to Public Notification:

- (a) to reduce the minimum number of required on-site parking spaces from 32 to 28.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Multi-tenant commercial building.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling	Commercial	C-8
East (Across 120A Street):	Single family dwelling	Multiple Residential	RA
South (Across 82 Avenue):	Medical office/ Vacant land	Commercial	C-8
West:	Restaurant	Commercial	LUC 181 (CHI underlying zone)

DEVELOPMENT CONSIDERATIONSBackground Information

- The subject property is designated “Commercial” in the Official Community Plan (OCP) and zoned “Community Commercial Zone (C-8)”.
- The C-8 Zone permits a broad range of community commercial uses including retail stores, personal service uses, general service uses, beverage container return centres, eating establishments, neighbourhood pubs, liquor stores, office uses, parking facilities, automotive service uses, indoor recreational facilities, entertainment uses, assembly halls, community services, and child care centres.

- The property contains a multi-tenant commercial building with approximately 1,061 square metres (11,420 sq. ft.) of total floor area. The applicant has confirmed that the ground floor is proposed to be primarily retail or service uses (329 square metres (3,541 sq. ft.)), with the remainder occupied by the child care centre (163 square metres (1,755 sq. ft.)). Similarly, they have advised that the six units that are located on the second floor are all designated for office use (569 square metres (6,125 sq. ft.)).

Current Proposal

- The applicant (Sing and Smile Child Care Ltd.) is proposing to build and operate a child care centre within Units 104 and 105 of the development at 12057 82 Avenue. The child care centre is anticipated to have approximately 30 children, aged 30 months to school age. The child care centre will have 4 employees, requiring 4 employee parking spaces and 4 spaces for drop-off and pick-up, for a total of 8 spaces. In total, 32 spaces are required on-site to accommodate the child care centre and the proposed businesses within the other units of the building. The subject property provides a total of 28 parking spaces on-site.
- The applicant is proposing a Development Variance Permit (DVP) in order to reduce the minimum number of on-site parking spaces required under Zoning By-law No. 12000 from 32 spaces to 28 spaces.
- Fraser Health has been consulted and supports the proposed child care centre in this location.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Reduce the minimum number of required parking spaces from 32 to 28.

Applicant's Reasons:

- The child care centre will have the highest parking demand during drop-off (approximately 6:30 – 7:00 AM) and pick-up (approximately 6:00 – 7:00 PM), Monday through Friday, when the majority of businesses on site are anticipated to be closed. The child care centre will not be open on weekends or statutory holidays when other businesses may be open.

Staff Comments:

- A reduction in the number of required parking spaces is considered reasonable given the property's location in proximity to 120 Street, which is approximately 60 metres (197 ft.) from the subject property. 120 Street is well served by transit and is part of the City's existing Frequent Transit Network.

- The other current uses (personal service) and proposed uses (retail stores and office) on site are not parking intensive, requiring a lower parking rate of between 2.5 and 3 spaces per 100 square metres (1075 sq. ft.) of gross floor area. In addition, the peak parking demand for the child care centre during drop-off and pick-up is not expected to overlap with the hours of operation of the other businesses on site. Thus, the proposed variance is not anticipated to place additional pressure on the available parking on-site.
- Staff supports the requested variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners, Action Summary and Project Data Sheets
Appendix II. Development Variance Permit No. 7916-0282-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

CB/ar

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Harjeet Kahlon
 Sing and Smile Child Care Ltd.
 Address: 7583 - 123 Street
 Surrey, BC V3W 9P6

 Tel: 604-572-9899 - Work
 604-572-9899 - Home

2. Properties involved in the Application
 - (a) Civic Address: 12057 - 82 Avenue

 - (b) Civic Address: 12057 - 82 Avenue
 Owner: 0712872 BC Ltd
 Director Information:
 Jangir S Dhaliwal
 Balwinder K Grewal
 No Officer Information Filed as at January 3, 2015:

 PID: 029-228-689
 Lot 1 Section 30 Township 2 Plan EPP36092 New Westminster District

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0282-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

DEVELOPMENT DATA SHEET

Existing Zoning: C-8

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	N/A
Road Widening area		
Undevelopable area		
Net Total	N/A	1,792 m ²
LOT COVERAGE (in % of net lot area)	N/A	N/A
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)	N/A	N/A
Front		
Rear		
Side #1 (N,S,E, or W)		
Side #2 (N,S,E, or W)		
Side #3 (N, S, E or W)		
BUILDING HEIGHT (in metres/storeys)	N/A	N/A
Principal		
Accessory		
NUMBER OF RESIDENTIAL UNITS	N/A	N/A
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial		
Retail/Personal Service Use	N/A	329 m ²
Child Care Centre	N/A	163 m ²
Office	N/A	569 m ²
Total	N/A	1,061 m ²
FLOOR AREA: Industrial	N/A	N/A
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA	N/A	1,061 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY	N/A	N/A
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		
AMENITY SPACE (area in square metres)	N/A	N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	32	28
Industrial	N/A	N/A
Residential	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	32	28
Number of disabled stalls	0	1
Number of small cars	12	6
Tandem Parking Spaces	N/A	N/A
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site	N/A	Tree Survey/Assessment Provided	N/A
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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0282-00

Issued To: 0712872 BC LTD

(the Owner)

Address of Owner: 5830 - 126A Street
Surrey, BC V3X 3J4

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-228-689

Lot 1 Section 30 Township 2 Plan EPP36092 New Westminster District

12057 - 82 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section C.1 of Part 5, Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces is reduced to 28 parking spaces.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

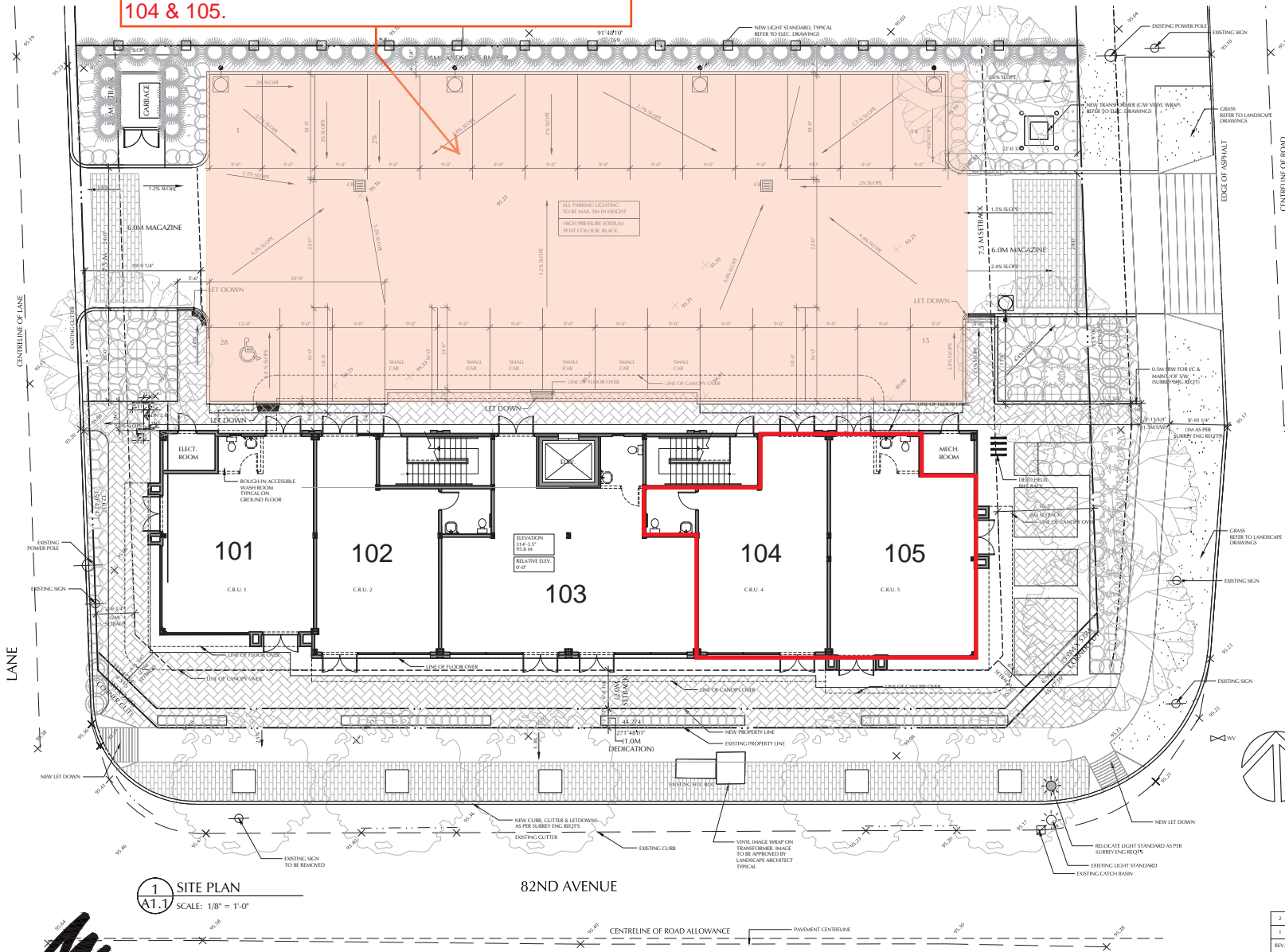
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Proposed variance to reduce the minimum number of required on-site parking spaces from 34 spaces to 28 spaces to accommodate a child care centre in Units 104 & 105.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

SYNOPSIS

ZONING	CURRENT ZONING - C-8
CIVIC ADDRESS	12045, 12057 82nd AVENUE, SURREY, B.C.
LEGAL DESCRIPTION	LOT 7 & 8, SECTION 30, TOWNSHIP 2, PLAN 15729
SITE AREA	NET: 1792.25 square metres (19292.22 sq. ft.) = 0.18 Ha (0.44 ACRES)
BUILDING AREA	MAIN FLOOR - RETAIL + OFFICE ENTRY : 492.07 sm (5296.79 sq.ft.) UPPER FLOOR - OFFICE : 568.61 sm (6120.62 sq.ft.) TOTAL : 1,060.68 sm (11417.41 sq.ft.)
SITE COVERAGE	ALLOWABLE 0.50 PROVIDED 0.32 569.06/1792.25=0.32
FLOOR AREA RATIO	0.80 1060.68/1799.26=0.59
BUILDING HEIGHT	12 m 10.5 m 4.5 m 2.0 m (garbage receptacle)
PARKING REQUIREMENTS	OCCUPANCY: REQUIRED PROVIDED RETAIL: 492 sq.m. /100 sq.m. x 3 = 14.76 STALLS = 15 STALLS OFFICE: 569 sq.m. /100 sq.m. x 2 = 11.38 STALLS = 12 STALLS ACCESSIBLE = 1 STALL = 1 STALL TOTAL: = 28 STALLS
SETBACKS	ALLOWABLE PROVIDED NORTH 7.5 m 14.3 m SOUTH 7.5 m 2.0 m EAST 7.5 m 5.0 m WEST 7.5 m 2.0 m

2	NOV 16, 2012	ISSUED FOR DEVELOPMENT PERMIT	IK
1	SEP 25, 2012	ISSUED FOR DEVELOPMENT PERMIT	912
REV.	DATE	DESCRIPTION	BY



82nd AVE. COMMERCIAL PROJECT

12057-82nd AVE. SURREY, B.C.

SITE PLAN 0726

A1.1