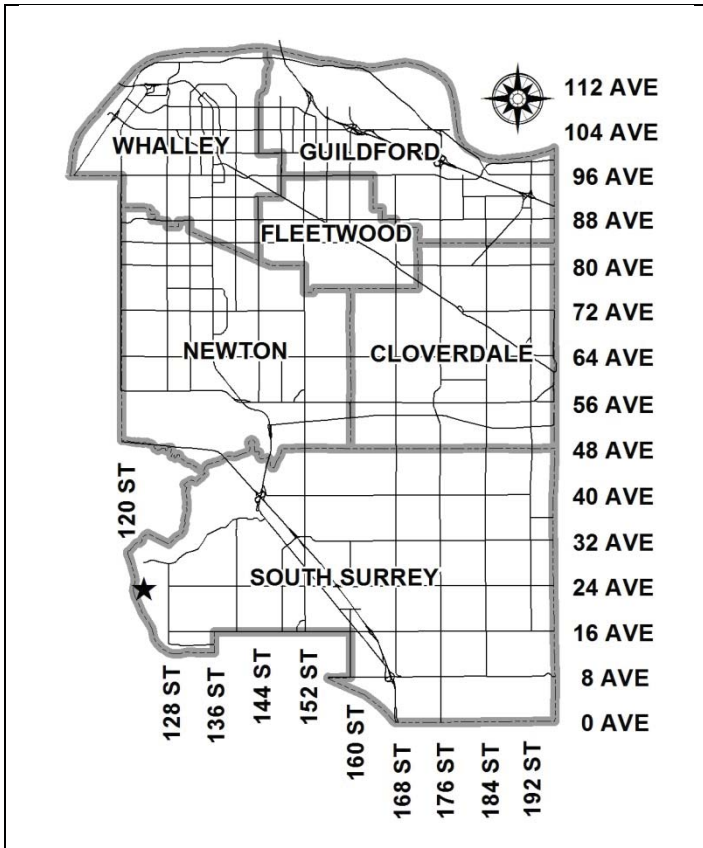


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0260-00

Planning Report Date: November 21, 2016



PROPOSAL:

- **Development Variance Permit**

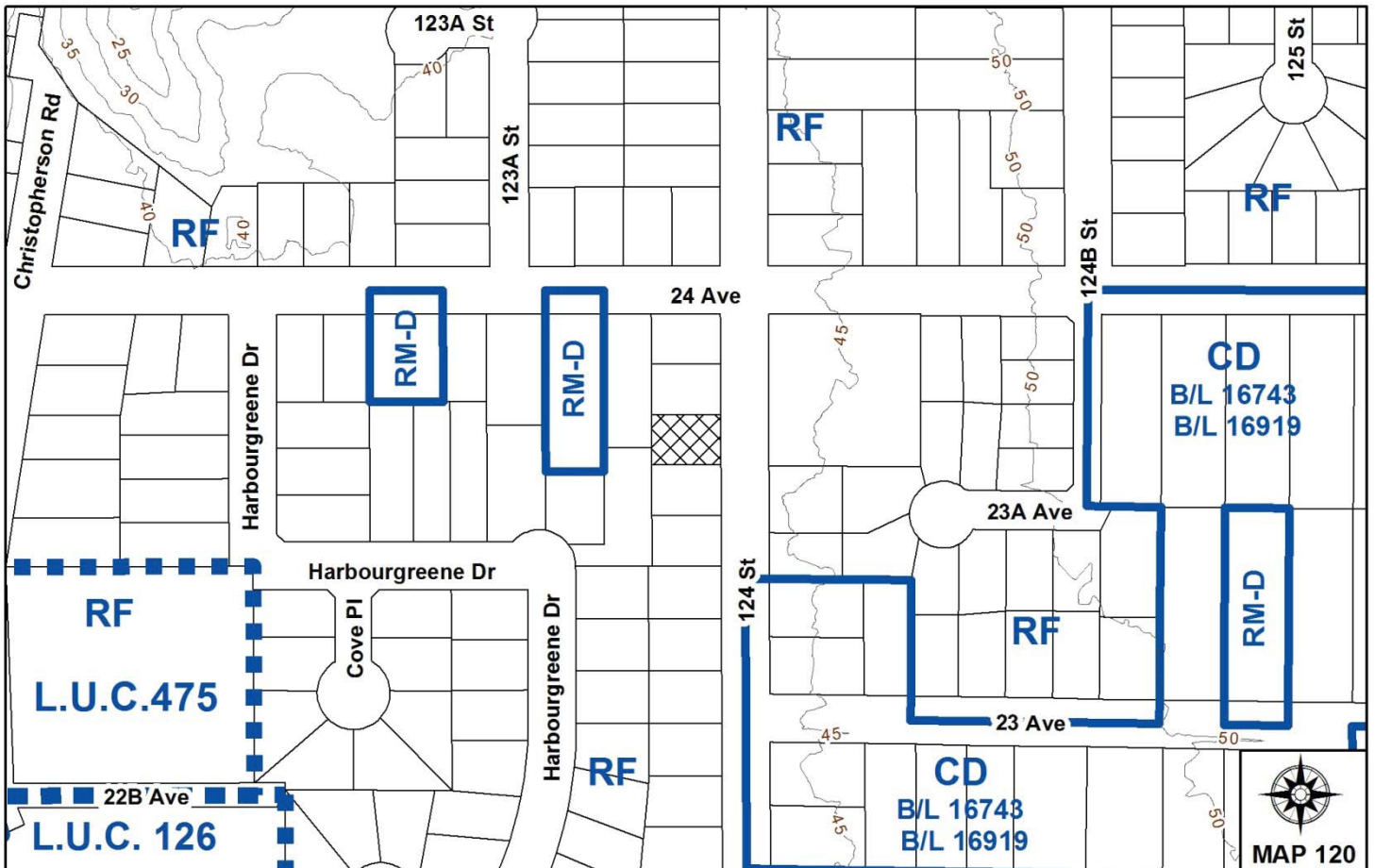
to increase the permitted second storey floor area to allow for the expansion and renovation of the existing dwelling and to reduce the front yard setback.

LOCATION: 2365 - 124 Street

OWNER: Kirk M. Buchanan
 Claire E. Egan

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to increase the floor area of the second storey.
- Seeking to reduce the minimum required front yard setback under the RF Zone.

RATIONALE OF RECOMMENDATION

- The proposed new covered front porch will be located within 7.5 metres (25 ft.) of the front lot line and therefore cannot be included in the main floor area for the purposes of calculating the maximum allowable floor area of the second storey. This results in a proposed second floor area that is 88% of the main floor area, rather than 79% if the front porch area could be included. The Zoning By-law limits the second storey to a maximum of 80% of the floor area of the main floor.
- The front yard setback variance is necessary due to the Special Building Setback requirement for lots fronting or flanking an arterial road or collector road. In accordance with Part 7 Special Setbacks of the Zoning By-law, building setbacks are to be measured from the edge of the ultimate road right-of-way. 124 Street is a collector road and requires an additional 1.942 metres (6.5 ft.) of road right-of-way for an ultimate road allowance of 24 metres (79 ft.).
- The proposed addition to the house and new porch will be setback the same distance as the existing dwelling and porch.
- The proposed renovations will create an aesthetically pleasing, symmetrical "Craftsman" style exterior.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0260-00 (Appendix IV) varying the following, to proceed to Public Notification:

- (a) to increase the maximum permitted floor area of the second storey for the principal building from a maximum of 80% to 88% of the main floor area; and
- (b) to reduce the minimum front yard setback of the RF Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.).

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Single Family Dwelling

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North, West, and South:	Single Family Dwellings	Urban	RF
East (Across 124 Street):	School & Single Family Dwellings	Urban	RF

DEVELOPMENT CONSIDERATIONSSite Context

- The subject property is located on the west side of 124 Street and south of 24 Avenue. It is designated "Urban" in the Official Community Plan and is zoned "Single Family Residential Zone (RF)".
- The subject property is 608 square metres (6,544 sq. ft.) in area. The existing dwelling is a two level home with a crawlspace with a total floor area of 136.6 square metres (1,470 sq. ft.), plus a detached garage.

Current Proposal

- The applicant is proposing a Development Variance Permit to reduce the minimum front yard setback from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) for the existing dwelling and proposed addition resulting from the Special Building Setback required under Part 7 of the Zoning By-law and to increase the maximum floor area of the second storey from 80% to 88% of the main floor area to allow for the addition and the construction of a new covered front porch.
- 124 Street, which fronts the subject property, is classified as a collector road. In accordance with Part 7 Special Building Setbacks of Zoning By-law No. 12000, for lots fronting or flanking an arterial road or a collector road, front yard setbacks and side yard setbacks on flanking streets are measured from the centerline of the ultimate road allowance.
- Since 124 Street is a collector road, under the revised standards of the Subdivision and Development By-law approved by Council in 2012, the width for a collector road was increased from 22 metres (72 ft.) to 24 metres (79 ft.).
- The current property line is 10.058 metres (33 ft.) from the centerline, whereas the ultimate property line is 1.942 metres (6.5 ft.) to the west, or 12 metres (39 ft.) from the road centreline.
- In accordance with Part 7 Special Building Setbacks of the Zoning By-law, the front yard setback must be measured from one-half the width of the ultimate road allowance of 12 metres (39 ft.), as measured from the centreline of the road. Therefore, the building setbacks must be measured from a line drawn at 1.942 metres (6.5 ft.) inside the existing property line on 124 Street.
- The applicant is proposing an 83.2 square metre (896 sq. ft.) two-storey addition to the existing dwelling. The proposal includes a new front porch compatible with the proposed "Craftsman" style exterior.
- The total floor area of the dwelling, including the proposed additions, will be 251.7 square metres (2,709 sq. ft.), which is below the maximum floor area permitted under the RF Zone.
- Under the RF zone, the second floor area must not exceed 80% of the main floor area, including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the structure located within 7.5 metres (25 ft.) of the front lot line.
- The proposed new covered front porch is within 7.5 metres of the front lot line and therefore cannot be included in the calculation of the main floor area. This results in a proposed second floor area that is 88% of the main floor area, rather than 79% if the front porch area could be included.

TREES

- Lesley Gifford, ISA Certified Arborist of Urban Grove Tree Care & Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	1	
Cherry	1		1
Hawthorne	1		1
Pear	1		1
Total (excluding Alder and Cottonwood Trees)	4	1	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	2 (1 if <30cm Maple retained on site)		
Total Retained and Replacement Trees	5		
Contribution to the Green City Fund	N/A		

- The Arborist Assessment states that there are a total of 4 protected trees on the site, none of which are Alder and Cottonwood trees. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of the footprint of the proposed addition to the existing house.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 2 replacement trees on the site. The applicant is proposing 1 replacement tree and the retention and protection of 1 undersized Maple, meeting City requirements.
- In summary, a total of 5 trees are proposed to be retained or replaced on the site.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To increase the maximum floor area of the second storey from a maximum of 80% to 88% of the main floor area.

Applicant's Reasons:

- Due to the proposed covered front porch being located within 7.5 metres (25 ft.) of the front lot line, it cannot be included in the calculation of the main floor area for the purposes of the "80/20" rule. Therefore, the proposed second storey is 88% of the main floor area. The proposed variance will allow for an addition to the existing two-storey dwelling and the creation of a "Craftsman" style exterior.

Staff Comments:

- If the covered front porch located within 7.5 metres (25 ft.) of the front lot line could be included in the calculation of the main floor area, the second storey would be 79% of the main floor area and would meet the second storey floor area requirement. However, because the front porch cannot be included, the proposed second storey is 88% of the main floor area.
- The proposed design incorporates articulation and breaks up the massing by offsetting the second storey from the walls of the main floor and incorporating dormers on the second storey, which meets the intent of the "80/20" rule.
- The proposed addition complements the architecture of the existing dwelling and will create an aesthetically pleasing, symmetrical "Craftsman" style exterior.
- Staff supports this variance proceeding to Public Notification.

(b) Requested Variance:

- To reduce the minimum front yard setback of the RF Zone for the principal building from 7.5 metres (25 ft.) to 4.0 metres (13 ft.).

Applicant's Reasons:

- The requested variance would allow for the construction of a two-storey addition to the existing house, which would create a symmetrical "Craftsman" style exterior, and allow for a new front porch that is compatible with the proposed exterior renovations.

Staff Comments:

- The subject property is located on 124 Street, which is designated a collector road. The Surrey Major Road Allowance Map, attached as Schedule K to the Subdivision and Development By-law No. 8830, identifies a 24 metre (79 ft.) wide road allowance for collector roads. The current 24 metre (79 ft.) wide road allowance for collector roads, approved by Council in 2012, is a 2 metre (7 ft.) increase from the previous road allowance of 22 metres (72 ft.).
- In accordance with Part 7 Special Building Setbacks of the Zoning By-law, the front yard setback must be measured from one-half the width of the ultimate road allowance of 12 metres (39 ft.), as measured from the centreline of the road. Therefore, the building setbacks must be measured from a line drawn at 1.942 metres (6.5 ft.) inside the existing property line on 124 Street.

- In the case of the subject site, the required front yard setback would be 12 metres (39 ft.) from the ultimate centerline of 124 Street, plus the 7.5 metre (25 ft.) minimum front yard setback required under the RF Zone.
- The existing house does not conform to the Special Building Setbacks due to the 2 metre (7 ft.) increase in the road allowance for collector roads approved by Council in 2012.
- The proposed addition to the house and the new deck would be setback the same distance as the existing house and deck.
- Staff supports this variance proceeding to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Site Plan and Proposed Building Plans
Appendix III.	Tree Preservation Summary
Appendix IV.	Development Variance Permit No. 7916-0260-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

CB/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Stirling McLeod
 Sarah Gallop Design Inc.
 Address: 1835 – 56 Street, Suite 11
 Delta, BC V4L 2L8

2. Properties involved in the Application
 - (a) Civic Address: 2365 – 124 Street

 - (b) Civic Address: 2365 – 124 Street
 Owner: Claire E. Egan
 Kirk M. Buchanan
 PID: 009-719-458
 Lot 33 Block 24 Section 18 Township 1 Plan 12538 New Westminster District Part NW₁/₄

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0260-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

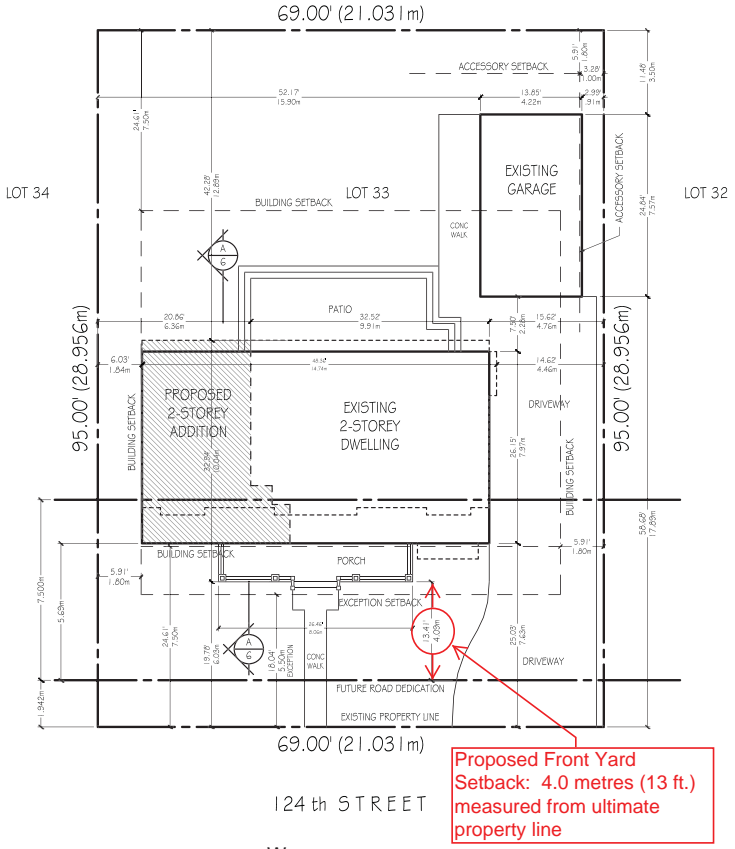
GENERAL NOTES

1. ALL WORK AND MATERIALS TO CONFORM TO STANDARDS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2012.
2. ALL DRAWINGS MUST BE APPROVED BY CITIES/LOCAL AUTHORITIES HAVING JURISDICTION AND HAVE APPLICABLE PERMITS COULDED BEFORE STARTING CONSTRUCTION.
3. BUILDER MUST ENSURE THAT ALL WORK PERFORMED ON SITE COMPLIES WITH WORKER'S COMPENSATION BOARD'S REQUIREMENTS AND STANDARDS. BUILDER MUST NOTIFY THE ENGINEER BEFORE AND AFTER OCCUPATION AND OBTAIN CERTIFICATION FROM THE ENGINEER BEFORE ANY WORKERS ARE ALLOWED TO WORK IN THE OCCUPIED AREA. SUCH CERTIFICATION MUST BE POSITIONED ON SITE AT A PROMINENT LOCATION AND UPDATED BY THE ENGINEER AT REGULAR INTERVALS.
4. SUB-CONTRACTORS AND/OR SUB-TENDERS RESPONSIBLE FOR ON-SITE EXECUTION OF WORK THESE DRAWINGS SHALL BE TO CHECK AND VERIFY ALL DRAWINGS FOR ERRORS AND OMISSIONS BEFORE ORDERING MATERIALS OR STARTING WORK. CONTRACTOR TO NOTIFY DESIGN REPRESENTATIVE OF ANY CHANGES OR OMISSIONS.
5. TRUSS DESIGN MUST BE COMPLETED BEFORE FORM CONSTRUCTION AND DAMAGED FOOTINGS AS DESIGNED BY STRUCTURAL ENGINEER PURSUANT TO TRUSS POINT LOADS MAY BE REQUIRED.
6. ALL POINT LOADS MUST BE FULLY SUPPORTED DOWN TO FOUNDATION. THE WIDTH OF SUPPORTING COLUMNS SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER. BY 7.4.1.1 ALL POINT LOADS FROM TRUSSES MUST BE STRUCTURALLY SUPPORTED BY COLUMNS OR ENHANCED BEAMS AND DOUBLE GIRDLE STUDS AS DESIGNED BY STRUCTURAL ENGINEER.
7. CONTRACTORS, SUB-CONTRACTORS AND/OR SUB-TENDERS SHALL INSURE THAT ANY CONCENTRATED LOAD WHICH MAY ARISE DURING CONSTRUCTION, WHETHER OR NOT IT HAS BEEN SPECIFICALLY DETAILS, SHALL BE SUPPORTED ACCORDING TO GOOD PRACTICE AND THAT THE METHOD OF SUPPORT, AS WELL AS ALL MEMBERS SUPPORTING SUCH LOADS, SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND A PROFESSIONAL ENGINEER, AND SHALL CONFORM TO THE B.C.B.C. BEFORE SUCH LOADING SHALL BE ALLOWED TO OCCUR.
8. ALL BEAM SIZES TO BE CONFIRMED OR DESIGNED BY PROFESSIONAL ENGINEER.
9. BEAMS WHICH EXCEED PRESCRIPTIONS OF THE B.C.B.C. MUST BE CHECKED AND VERIFIED BY A STRUCTURAL ENGINEER BEFORE STARTING CONSTRUCTION.
10. TRAWLING MATERIAL TO BE DOUGLAS FIR NO. 2 OR BETTER GRADE (B.C.3.2.1.), UNLESS NOTED OTHERWISE BY A PROFESSIONAL ENGINEER.
11. ALL UNITS TO BE MIN. 2-2x10 @ 0'0" TO 2' UNLESS OTHERWISE NOTED BY 2.3.1.2.3.
12. CONCRETE TO BE MIN. 25 MPa @ 28 DAYS, 100 MM SLUMP UNLESS OTHERWISE DESIGNED BY STRUCTURAL ENGINEER (B.C.3.1.3).
13. FOUNDATION WALLS NOT LATERALLY SUPPORTED HIGHER THAN # OF FROM SLAB TO GRADE AND NOT LATERALLY SUPPORTED WALLS GREATER THAN 7' FROM SLAB TO GRADE MUST BE BRACED.
14. ALL FOOTINGS SHALL EXCEED BROW PROEST LEVEL, TO SUITABLE BERING. IF SUITABLE BORINGS CANNOT BE OBTAINED A PROFESSIONAL SOILS ENGINEER SHOULD BE CONSULTED.
15. GUARDS SHALL CONFORM TO 9.8.6.
16. ALL EXTERIOR GUARDSRAILS TO BE 42" HIGH UNCF IF DIFFERENCE IN ELEVATION IS LESS THAN 6 FT).
17. ALL INTERIOR GUARDSRAILS TO BE 36" HIGH.
18. ALL HANDRAILS 31.5" TO 38" HIGH (B.7.4.3).
19. ALL EXTERIOR DOORS TO BE SOLID CORE AND WEATHER STRIPPED.
20. INSTALL C.S.A. APPROVED HARD-WARED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ALL FLOOR LEVELS TO CORNERS OF HALLWAYS SERVING SLEEPING AREAS (B.10.1.8).
21. PROVIDE VENTILATION FOR THE DWELLING IN ACCORDANCE WITH (B.3.2).
22. ROOF ACCESS MIN. 20" x 27.5" (B.19.2.1.1) VENTING MIN. 1800 (B.19.2.1.2).
23. SECURITY BLOCKS FOR 2 SLD SPACES BY ALL EXTERIOR DOORS (B.6.2.3).
24. WATERPROOF BACKING WAGLA BOARD TO BE USED FOR ALL BATHS AND SHOWER ENCLOSURES.
25. INSULATION AND VAPOR BARRIER TO CONFORM TO PART 5. PROVIDE INSULATION, VAPOR BARRIER AND GYPSUM FOR FINISH AND 5 VENT SHAPES.
26. STAIR RISE AND RUN TO CONFORM TO B.3.3.1. HEADROOM MIN. 4'-5" (B.3.3.4) RISE 4'-5" - 7'-6" (125MM - 200MM) RUN 6'-2" - 14" (200MM - 355MM) TREAD 3'-2" - 4'-1" (200MM - 355MM)
27. BUILDINGS WITH ATTACHED GARAGE - DOORS SEPARATING GARAGE AND DWELLING MUST BE SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICES.
28. MANUFACTURED WINDOW BOARDS AND SHELTERS - ALL WINDOW DOORS AND SHELTERS SHALL CONFORM TO STANDARDS AS THE C.T.A. WINDOWS LOCATED WITHIN 3 FT OF EXTERIOR DOOR LOCKS SHALL HAVE SAFETY GLASS, WIPED GLASS OR TINTED GLASS.
29. DECK OVER HABITABLE AREA - PROVIDE 2x4 CROSS FURIN AT 16" O.C. ON DECK JOIST AND CROSS VENTILATION DEPT FOR BUILT UP ROOFING (TAR AND GRAVEL) ALL OTHER WATER-PROOFING MEMBRANE MUST BE AN APPROVED PRODUCT AND BE CERTIFIED BY A REGISTERED ARCHITECT OF PROFESSIONAL ENGINEER.
30. STARTING WORK SHALL BE WITH ACCEPTANCE OF THESE TERMS AND SHALL MEAN ACCEPTANCE OF ALL SPECIFICATIONS, STANDARDS AND REQUIREMENTS AS WELL AS ALL SURFACES AND CONDITIONS AS BEING SUITABLE TO RECEIVE SAID WORK.
31. DO NOT SCALE DRAWINGS.

ATTENTION
IN THE CASE OF RENOVATIONS, THESE DRAWINGS WERE DERIVED FROM AS-BUILT SKETCHES AND/OR ON-SITE DIMENSION TAKEOFFS.
DUE TO THE FACT THAT SOME SURFACES AND WERE AFFECTED ARE HIDDEN PRIOR TO COMPLETION OF THESE DRAWINGS, CONTRACTORS SHALL NOTIFY DESIGNER AND ADJUST THE AFFECTED AREAS ON-SITE AS NECESSARY.

PROJECT DATA	
CIVIC ADDRESS	
2365 124 STREET	
CITY	
LEGAL DESCRIPTION	
LOT 33, BLOCK 24, SECTION 16, TRANSFER 1, PLAN 12333, FWD PART NW 1/4 T.1 R. 20 S.77 B.43E	
ZONING	
PART 16 - R1 - SINGLE FAMILY RESIDENTIAL ZONE	
LOT SIZE	6544 SQFT 608 50 M
AREA TABLE	
SECOND STOREY	1123.51 SQFT 102.83 50 M
EXISTING	621.70 SQFT 56.69 50 M
ADDITION	471.81 SQFT 43.14 50 M
FIRST STOREY	1652.08 SQFT 172.85 50 M
EXISTING	858.51 SQFT 77.89 50 M
ADDITION	423.77 SQFT 38.97 50 M
GARAGE - DETACHED - EXISTING	343.86 SQFT 31.85 50 M
FLOOR AREA RATIO	
PERMITTED	3790.40 SQFT 352.14 50 M
	0.62 x 6000 SF
PROPOSED	3600.00 SQFT 334.45 50 M
	0.55 x 544 SF
MINOR FLOOR	190.40 SQFT 17.63 50 M
PROPOSED	2708.45 SQFT 251.72 50 M
GARAGE - DETACHED	1703.51 SQFT 159.32 50 M
PROPOSED	1642.42 SQFT 152.07 50 M
HEIGHT - DWELLING	
PERMITTED	343.86 SQFT 31.85 50 M
PROPOSED	2486.72 SQFT 231.03 50 M
PROPOSED	1943.42 SQFT 180.07 50 M
HEIGHT - DWELLING	
PERMITTED	28.53 9.00 FT
PROPOSED	21.25 6.97 FT
POROUS SURFACES	
PERMITTED IMPERMEABLE	0.70 x LOT AREA 4580.80 SQFT 425.57 50 M
PROPOSED IMPERMEABLE	0.498 x LOT AREA 3240.59 SQFT 301.63 50 M
PROPOSED PERMEABLE	0.704 x LOT AREA 3596.41 SQFT 326.43 50 M

PROJECT DATA - YARDS & SETBACKS			
SETBACKS - DWELLING			
REQUIRED	EXISTING	PROPOSED	
FRONT - EAST	24.61' 7.50 M	25.03' 7.63 M	18.61' 5.67 M
LEFT SIDE - SOUTH	5.91' 1.80 M	20.67' 6.32 M	19.74' 5.93 M
RIGHT SIDE - NORTH	5.91' 1.80 M	14.63' 4.46 M	14.63' 4.46 M
REAR - WEST	13.41' 7.50 M	42.29' 12.88 M	42.29' 12.85 M
SETBACKS - ACCESSORY			
REQUIRED	EXISTING	PROPOSED	
FRONT - EAST	29.06' 8.85 M	18.69' 5.69 M	18.67' 5.69 M
LEFT SIDE - SOUTH	3.28' 1.00 M	32.17' 9.80 M	32.17' 9.80 M
RIGHT SIDE - NORTH	3.28' 1.00 M	2.99' 0.91 M	2.99' 0.91 M
REAR - WEST	5.91' 1.80 M	11.48' 3.50 M	11.46' 3.50 M



Proposed Front Yard Setback: 4.0 metres (13 ft) measured from ultimate property line

CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIALS ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION. SARAH GALLUP DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED IN WRITING PRIOR TO CONSTRUCTION. CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. PLANS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF SARAH GALLUP DESIGN INC. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

REVISED:
1 - APR 30, 2016
2 - JUNE 14, 2016
3 - JUNE 20, 2016

SGDI
SARAH GALLUP DESIGN INC.

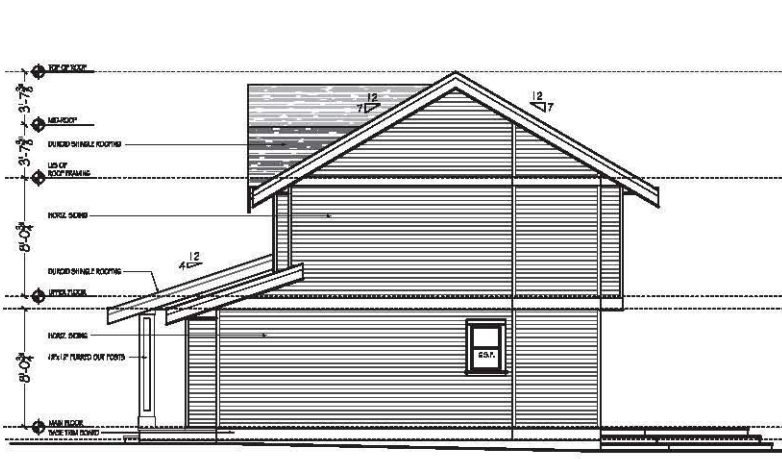
OFFICE LOCATION:
#11-1835 56 STREET
DELTA, B.C
PHONE: 604 952 4448
FAX: 688 698 4758
EMAIL: info@sarahgallup.com

PROJECT:
EGAN RESIDENCE
2365 124 STREET
SURREY, BC

DRAWN BY: SAM CHECKED BY: SG
DATE: JUNE 20, 2016
REVISION: 3
SHEET:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIALS ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION. SARAH GALLUP DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED IN WRITING PRIOR TO CONSTRUCTION. CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. PLANS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF SARAH GALLUP DESIGN INC. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

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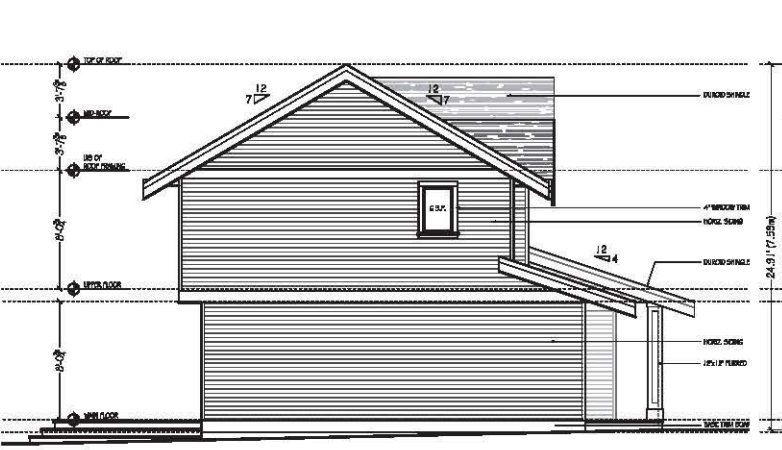


RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



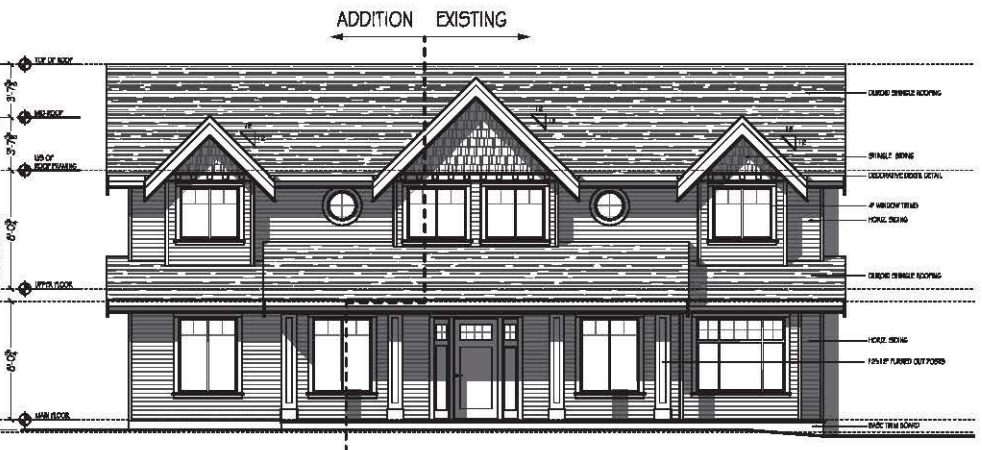
REAR ELEVATION
 SCALE: 1/4"=1'-0"

PROPOSED ELEVATIONS



LEFT ELEVATION
 SCALE: 1/4"=1'-0"

SPACIAL SEPARATION CALCULATIONS			
EXISTING BLDG. FOOTPRINT	41.14	sq	432.64
ADDED SQUARE	2.91	sq	4.05
NET IMPROVED SQUARE AREA	44.05	sq	436.69
REQUIRED IMPROVED SQUARE	1.52	sq	4.00



FRONT ELEVATION
 SCALE: 1/4"=1'-0"



OFFICE LOCATION:
 #11-1835 56 STREET
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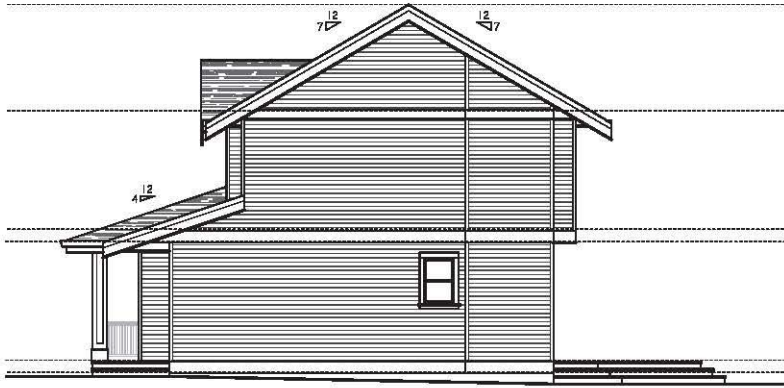
PROJECT:
 EGAN RESIDENCE
 2365 124 STREET
 SURREY, BC

DESIGN BY: SAM CHECKED BY: SG
 DATE: JUNE 20, 2016
 REVISION: 3
 SHEET:

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIALS ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION. SARAH GALLUP DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED IN WRITING PRIOR TO CONSTRUCTION. CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. PLANS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF SARAH GALLUP DESIGN INC. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

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RIGHT ELEVATION

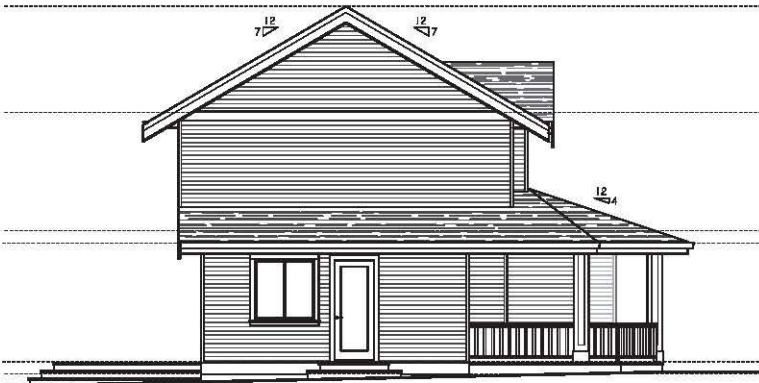
SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

EXISTING ELEVATIONS



LEFT ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"



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 DELTA, B.C.
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 604 952 4448
 FAX:
 688 698 4758
 EMAIL:
 info@sarahgallup.com

PROJECT:
 EGAN RESIDENCE
 2365 124 STREET
 SURREY, BC

DRAWN BY: SAM CHECKED BY: SG

DATE: JUNE 20, 2016

REVISION: 3

SHEET:

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Tree Preservation Summary

Surrey Project No: Unknown
 Address: 2365 124 Street, Surrey
 Registered Arborist: Lesley Gifford: PN5432-A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	6 <i>A</i>
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	5 <i>B</i>
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) =0	2
- All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) =2	
Replacement Trees Proposed (1 if <30cm Maple retained / protected on site)	2
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Offsite Trees to be Retained	5
Protected Offsite Trees to be Removed	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one (1) =0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) =0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



 (Signature of Arborist)

Oct 4, 2016

 Date

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0260-00

Issued To: KIRK M. BUCHANAN
CLAIRE E EGAN

(the "Owner")

Address of Owner: 2365 – 124 Street
Surrey, BC V4A 3M9

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-719-458

Lot 33 Block 24 Section 18 Township 1 Plan 12538 New Westminster District Part NW1/4

2365 – 124 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section D.2.(a)iii. of Part 16 "Single Family Residential Zone (RF)" the maximum permitted floor area of a second storey for a principal building is varied from 80% to 88% of the main floor area; and
 - (b) In Section F. Yards and Setbacks of Part 16 "Single Family Residential Zone (RF)" the minimum front yard setback for a principal building is reduced from 7.5 metres (25 ft.) to 4.0 metres (13 ft.).
4. The siting of buildings and structures shall be in accordance with the drawings numbered 7916-0260-00 (A) through to and including 7916-0260-00 (B) (the "Drawings") which are attached hereto and form part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

GENERAL NOTES

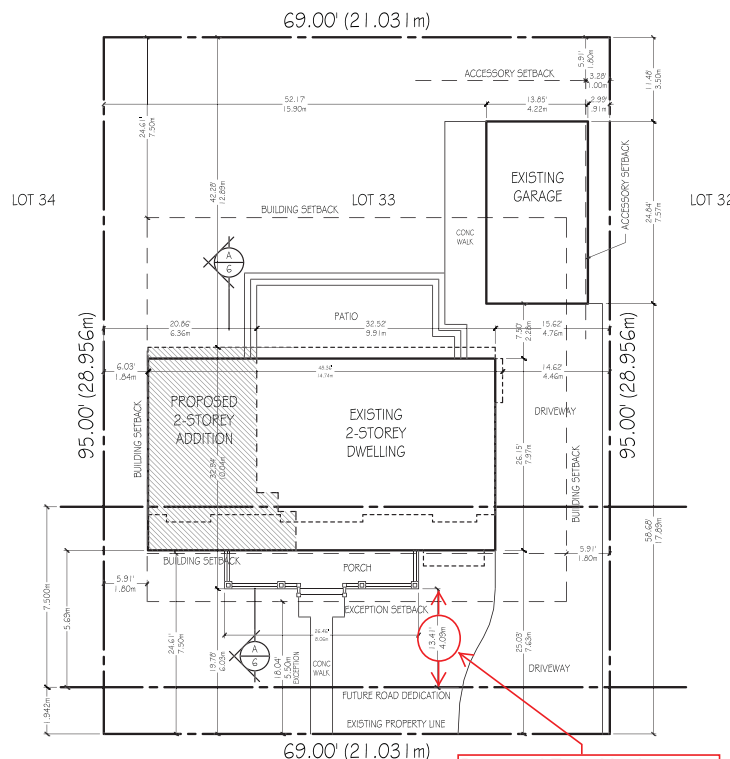
- ALL WORK AND MATERIALS TO CONFORM TO STANDARDS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2012.
- ALL DRAWINGS MUST BE APPROVED BY CITIES/MUNICIPAL AUTHORITIES HAVING JURISDICTION AND HAVE APPLICABLE PERMITS COULDED BEFORE STARTING CONSTRUCTION.
- BUILDER MUST ENSURE THAT ALL WORK PERFORMED ON SITE COMPLIES WITH WORKER'S COMPENSATION BOARD'S REQUIREMENTS AND STANDARDS. BUILDER MUST NOTIFY THE ENGINEER BEFORE ANY EXCAVATION AND OBTAIN CERTIFICATION FROM THE ENGINEER BEFORE ANY WORKERS ARE ALLOWED TO WORK IN THE EXCAVATED AREA. SUCH CERTIFICATION MUST BE POSTED ON SITE AT A PROMINENT LOCATION AND UPDATED BY THE ENGINEER AT REGULAR INTERVALS.
- THE CONTRACTOR AND/OR SUB-CONTRACTORS RESPONSIBLE FOR ON-SITE EXECUTION OF WORK THESE DRAWINGS SHALL BE TO CHECK AND VERIFY ALL DRAWINGS FOR ERRORS AND OMISSIONS BEFORE ORDERING MATERIALS OR STARTING WORK. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY ERRORS OR OMISSIONS.
- TRUSS DESIGN MUST BE COMPLETED BEFORE FORMAL CONSTRUCTION AND DETAILED FOOTINGS AS DESIGNED BY STRUCTURAL ENGINEER PURSUANT TO TRUSS POINT LOADS MAY BE REQUIRED.
- ALL FRONT LOADS MUST BE FULLY SUPPORTED DOWN TO FOUNDATION. THE WIDTH OF SUPPORTING COLUMNS SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER. BY 7.4.1.1 ALL POINT LOADS FROM TRUSSES MUST BE STRUCTURALLY SUPPORTED BY COLUMNS OR ENGEDGED BEAMS AND DOUBLE GRIPPLE STUDS AS DESIGNED BY STRUCTURAL ENGINEER.
- CONTRACTORS, SUB-CONTRACTORS AND/OR SUB-FRANSES SHALL INSURE THAT ANY CONCENTRATED LOAD WHICH MAY ARISE DURING CONSTRUCTION, WHETHER OR NOT IT HAS BEEN SPECIFICALLY DETAILS, SHALL BE SUPPORTED ACCORDING TO GOOD PRACTICE AND THAT THE METHOD OF SUPPORT, AS WELL AS ALL MEMBERS SUPPORTING SUCH LOADS, SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND A PROFESSIONAL ENGINEER, AND SHALL CONFORM TO THE B.C.B.C. BEFORE SUCH LOADING SHALL BE ALLOWED TO OCCUR.
- ALL BEAM SIZES TO BE CONFIRMED OR DESIGNED BY PROFESSIONAL ENGINEER.
- BEAMS WHICH EXCEED DEFLECTION OF THE B.C.B.C. MUST BE CHECKED AND VERIFIED BY A STRUCTURAL ENGINEER BEFORE STARTING CONSTRUCTION.
- TRAWING MATERIAL TO BE DOUGLAS FIR NO. 2 OR BETTER GRADE (B.C. 3.2.2.), UNLESS NOTED OTHERWISE BY A PROFESSIONAL ENGINEER.
- ALL UNITS TO BE MIN. 2-2x10 @ 0'0". NO. 2 UNLESS OTHERWISE NOTED BY 2.3.1.2.3.1.
- CONCRETE TO BE MIN. 25 MPa @ 28 DAYS, 100 MM SLUMP UNLESS OTHERWISE DESIGNED BY STRUCTURAL ENGINEER (B.C. 3.1.3).
- FOUNDATION WALLS NOT LATERALLY SUPPORTED HIGHER THAN 4" FROM SLAB TO GRADE AND NON-LATERALLY SUPPORTED WALLS GREATER THAN 7" FROM SLAB TO GRADE MUST BE BRACED/STIFF.
- ALL FOOTINGS SHALL EXTEND BELOW FROST LEVEL TO SUITABLE BEARING. IF SUITABLE BEARING CANNOT BE OBTAINED A PROFESSIONAL SOILS ENGINEER SHOULD BE CONSULTED.
- GUARDS SHALL CONFORM TO 9.8.6.
- ALL EXTERIOR GUARDSRAILS TO BE 42" HIGH UNLESS DIFFERENCE IN ELEVATION IS LESS THAN 6 FT.
- ALL INTERIOR GUARDSRAILS TO BE 36" HIGH.
- ALL HANDRAILS 31.5" TO 38" HIGH (B.C. 7.4.3).
- ALL EXTERIOR DOORS TO BE SOLID CORE AND WEATHER STRIPPED.
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- INSTALL C.S.A. APPROVED HARD-WARED SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ALL FLOOR LEVELS TO COLUMNS OF HALLWAYS SERVING SLEEPING AREAS (B. 10.1.8).
- PROVIDE VENTILATION FOR THE DWELLING IN ACCORDANCE WITH (B.32).
- ROOF ACCESS MIN. 20" x 27.5" (B. 19.2.1.1) VENTING MIN. 1800 (B. 19.2.1.2).
- SECURITY BLOCKS FOR 2 SLD SPACES BY ALL EXTERIOR DOORS (B. 6.3.3).
- WATERPROOF BACKING W/AGLA BOARD TO BE USED FOR ALL BATHS AND SHOWER ENCLOSURES.
- INSULATION AND VAPOR BARRIER TO CONFORM TO PART 5. PROVIDE INSULATION, VAPOR BARRIER AND GYPOCK FOR FINISH AND 5 VENT SHAPES.
- STAIR RISE AND RUN TO CONFORM TO B.3.3.1. HEADROOM MIN. 4'-5" (B.3.3.4).
RISE 4.95" - 7.67" (125MM - 200MM)
RUN 6.25" - 14" (160MM - 355MM)
TREAD 3.25" - 4.1" (83MM - 105MM)
- BUILDINGS WITH ATTACHED GARAGE - DOORS SEPARATING GARAGE AND DWELLING MUST BE SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICES.
- MANUFACTURED WINDOW DOORS AND SHELTERS - ALL WINDOW DOORS AND SHELTERS SHALL CONFORM TO STANDARDS AS B.C. 7.4. WINDOWS LOCATED WITHIN 3 FT OF EXTERIOR DOOR LOCKS SHALL HAVE SAFETY GLASS, WIPED GLASS OR TINTED GLASS.
- DECK OVER HABITABLE AREA - PROVIDE 2x4 CROSS FURIN AT 16" O.C. ON DECK JOIST AND CROSS VENTILATION. DECK FOR BUILT UP ROOFING (TAR AND GRAVEL) ALL OTHER WATER-PROOFING MEMBRANE MUST BE AS APPROVED PRODUCT AND BE CERTIFIED BY A REGISTERED ARCHITECT OF PROFESSIONAL ENGINEER.
- STARTING WORK SHALL BE WITH ACCEPTANCE OF THESE TERMS AND SHALL MEAN ACCEPTANCE OF ALL SPECIFICATIONS, STANDARDS AND REQUIREMENTS AS WELL AS ALL SURFACES AND CONDITIONS AS BEING SUITABLE TO RECEIVE SAID WORK.
- DO NOT SCALE DRAWINGS.

ATTENTION

IN THE CASE OF RENOVATIONS, THESE DRAWINGS WERE DERIVED FROM AS-BUILT SKETCHES AND/OR ON-SITE DIMENSION TAKEOFFS. DUE TO THE FACT THAT SOME SURFACES AND AREAS AFFECTED ARE HIDDEN PRIOR TO COMPLETION OF THESE DRAWINGS, CONTRACTORS SHALL NOTIFY DESIGNER AND ADJUST THE AFFECTED AREAS ON-SITE AS NECESSARY.

PROJECT DATA				
CIVIC ADDRESS				
2365 124 STREET				
SURREY, BC				
LEGAL DESCRIPTION				
LOT 33, BLOCK 24, SECTION 16, TOWNSHIP 1, PLAN 12335, PART PART NW 1/4				
P.L.S. 2017-7-BASIS				
ZONING				
PART 16 - R1 - SINGLE FAMILY RESIDENTIAL ZONE				
LOT SIZE	6544 SQFT	609	50 M	
AREA TABLE				
SECOND STOREY	1103.51 SQFT	102.53	50 M	
- EXISTING	621.02 SQFT	56.69	50 M	
- ADDITION	471.81 SQFT	43.83	50 M	
FIRST STOREY	1652.08 SQFT	117.28	50 M	
- EXISTING	858.51 SQFT	77.89	50 M	
- ADDITION	423.77 SQFT	39.37	50 M	
GARAGE - DETACHED - EXISTING	343.26 SQFT	31.95	50 M	
FLOOR AREA RATIO	130.31 SQFT	12.31	50 M	
FLOOR AREA RATIO	610.02 SQFT	6.02	50 M	
FLOOR AREA RATIO				
PERMITTED	3790.40 SQFT	352.14	50 M	
	0.62 x 6000 SF	3600.00 SQFT	334.45	50 M
	0.35 x 1544 SF	540.40 SQFT	17.69	50 M
PROPOSED	2708.45 SQFT	251.72	50 M	
UPPER FLOOR	1103.51 SQFT	102.52	50 M	
MAIN FLOOR	1642.08 SQFT	149.20	50 M	
GARAGE - DETACHED	343.26 SQFT	31.95	50 M	
SITE COVERAGE				
PERMITTED	0.38 x LOT AREA	2486.72 SQFT	231.02	50 M
PROPOSED	0.20 x LOT AREA	1308.82 SQFT	124.07	50 M
EXISTING	1025.75 SQFT	94.53	50 M	
GARAGE - DETACHED	343.26 SQFT	31.95	50 M	
HEIGHT - DWELLING				
PERMITTED - MAX ROOF	28.53	9.00	ft	
PROPOSED - MAX ROOF	21.25	6.49	ft	
POROUS SURFACES				
PERMITTED IMPERMEABLE	0.70 x LOT AREA	4580.80 SQFT	425.57	50 M
PROPOSED IMPERMEABLE	0.48 x LOT AREA	3140.59 SQFT	301.63	50 M
PROPOSED PERMEABLE	0.24 x LOT AREA	1570.29 SQFT	150.81	50 M

PROJECT DATA - YARDS & SETBACKS					
SETBACKS - DWELLING					
	REQUIRED	EXISTING	PROPOSED		
FRONT - EAST	24.61' 7.50m	25.03' 7.63m	18.61' 5.67m		
LEFT SIDE - SOUTH	5.91' 1.80m	20.67' 6.30m	19.76' 6.03m		
RIGHT SIDE - NORTH	5.91' 1.80m	14.63' 4.46m	14.63' 4.46m		
REAR - WEST	19.41' 5.91m	42.29' 12.88m	42.29' 12.88m		
SETBACKS - ACCESSORY					
	REQUIRED	EXISTING	PROPOSED		
FRONT - EAST	29.06' 8.85m	18.69' 5.69m	17.69' 5.39m		
LEFT SIDE - SOUTH	3.28' 1.00m	32.17' 9.80m	32.17' 9.80m		
RIGHT SIDE - NORTH	3.28' 1.00m	2.99' 0.91m	2.99' 0.91m		
REAR - WEST	5.91' 1.80m	11.48' 3.50m	11.48' 3.50m		



SITE PLAN
SCALE: 1/8" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIALS ON THESE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE OFFICE PRIOR TO COMMENCING WITH CONSTRUCTION. SARAH GALLOP DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES NOT REPORTED IN WRITING PRIOR TO CONSTRUCTION. CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. PLANS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF SARAH GALLOP DESIGN INC. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

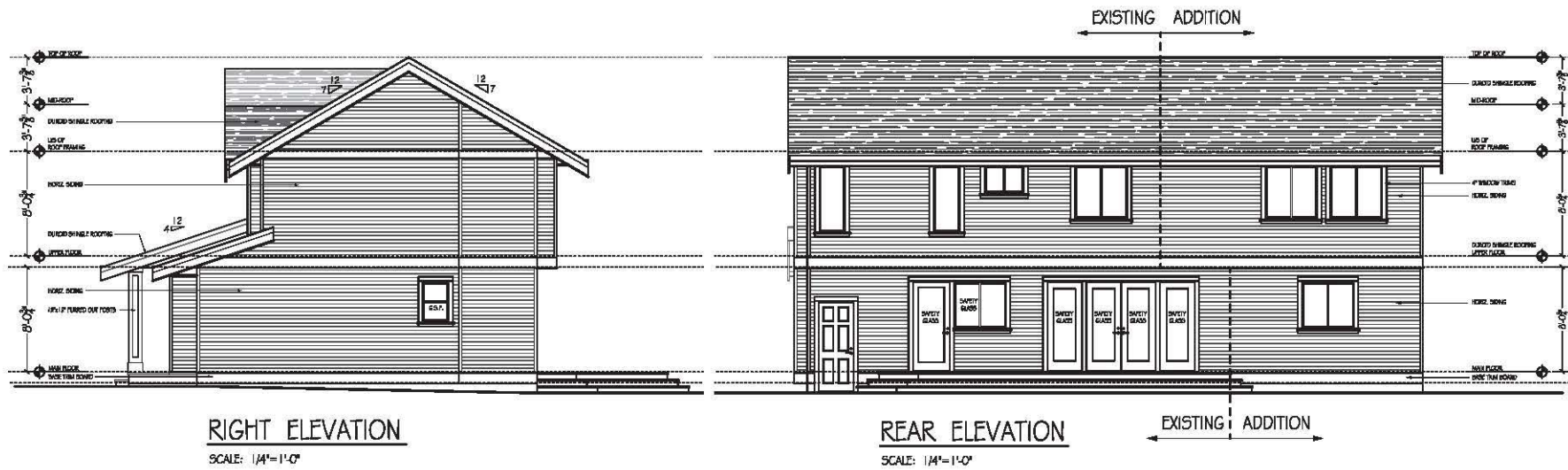
REVISED:
1 - APR 30, 2016
2 - JUNE 14, 2016
3 - JUNE 20, 2016



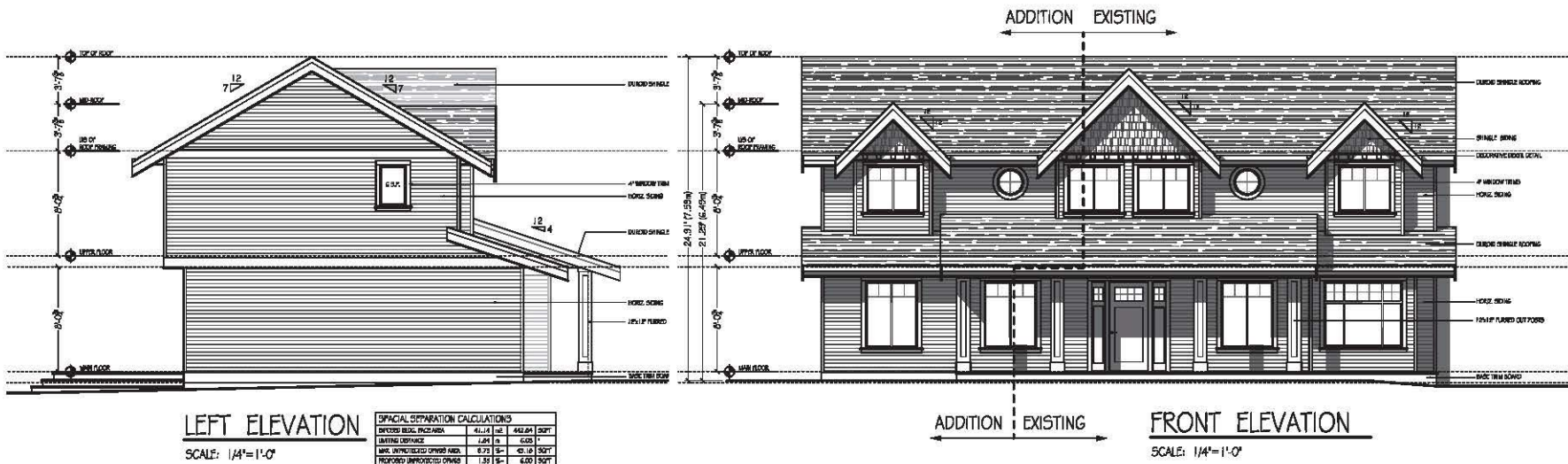
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688 898 4758
EMAIL:
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2365 124 STREET
SURREY, BC
DRAWN BY:
SAM
CHECKED BY:
SG
DATE:
JUNE 20, 2016
REVISION:
3
SHEET:

A1 of 7



PROPOSED ELEVATIONS



SPACIAL SEPARATION CALCULATIONS			
EXISTING BLDG. FOOTPRINT	41.14	sq	432.64
ADDITIONED FOOTPRINT	2.91	sq	4.05
TOTAL FOOTPRINT	44.05	sq	436.69
EXISTING UNIMPROVED DRIVE	1.52	sq	4.00

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DESIGN BY: SAM CHECKED BY: SG
DATE: JUNE 20, 2016
REVISION: 3
SHEET:

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