

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0258-00

Planning Report Date: January 14, 2019

**PROPOSAL:**

- **NCP Amendment** from Townhouses (15 upa max) and Buffers to Single Family Small Lots (8-10 upa), Row Housing and Creeks and Riparian Setbacks
- **Rezoning** from RA to RF-13, RF-SD, and RM-23
- **Development Permit**
- **Development Variance Permit**

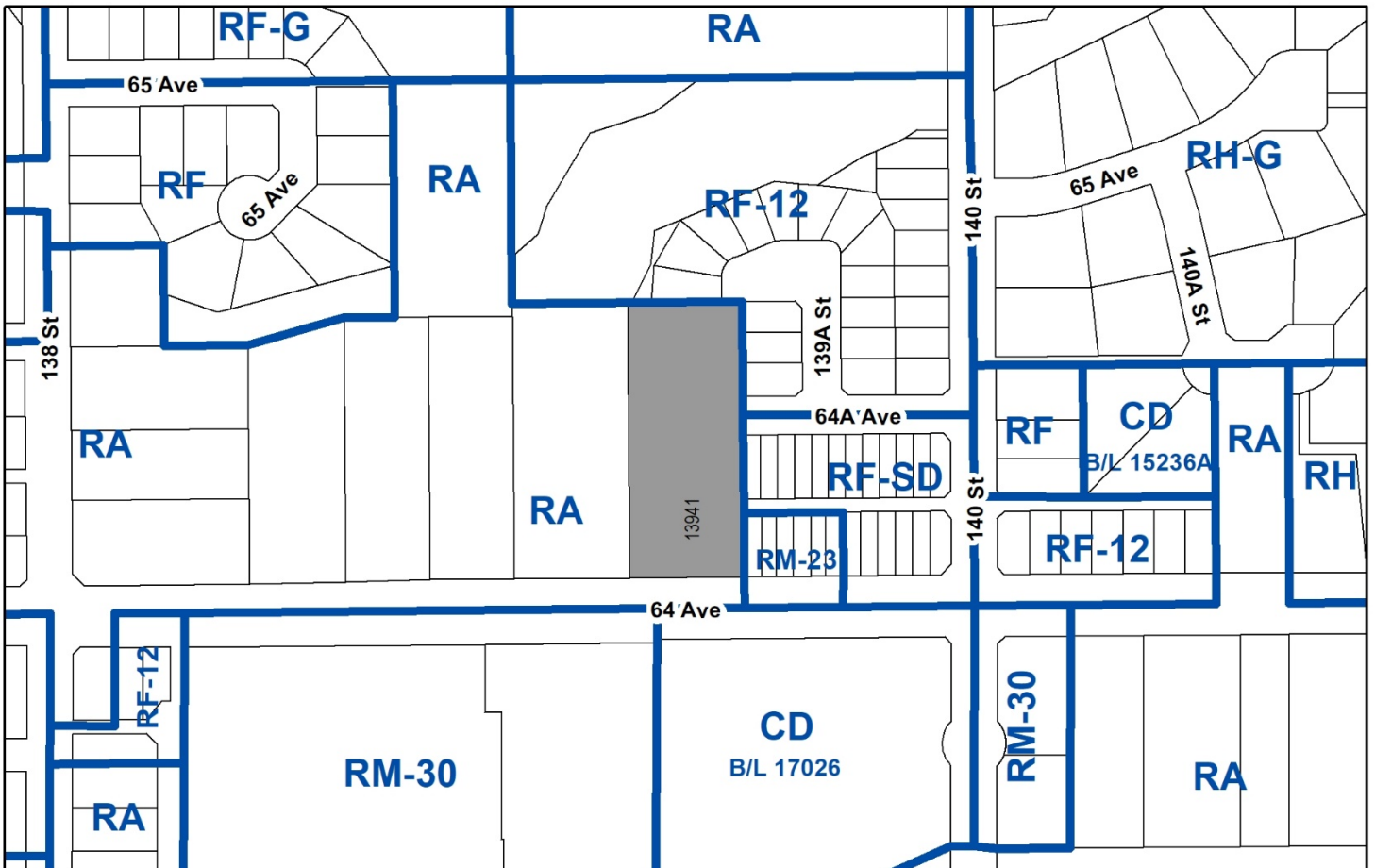
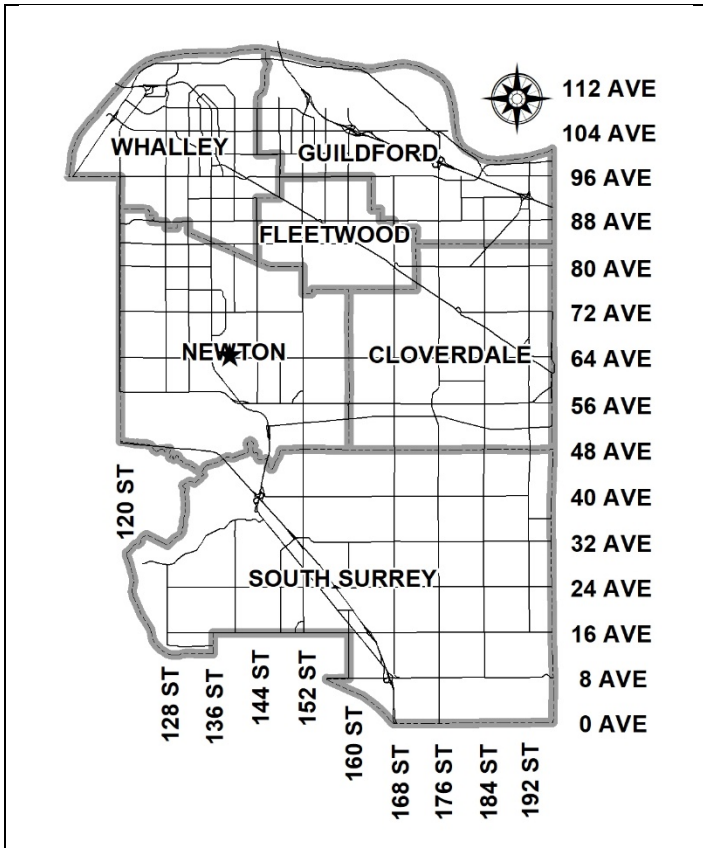
to allow subdivision into 4 single family small lots, 10 semi-detached residential units, and 3 row housing units.

LOCATION: 13941 – 64 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouses (15 upa max)



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- An amendment is proposed to the South Newton Neighbourhood Concept Plan (NCP) from Townhouses (15 upa max) and Buffers to Single Family Small Lots (8-10 upa), Row Housing and Creeks and Riparian Setbacks.
- The applicant is seeking variances to lot depth for two of the proposed row housing lots, and to allow front loaded garages on lots less than 13.4 metres (44 ft.) wide on three of the four proposed single family small lots.

### RATIONALE OF RECOMMENDATION

- Complies with the Official Community Plan (OCP) Designation for the site.
- A similar NCP amendment was approved as part of Development Application No. 7906-0042-00, directly east of the subject site, which created six (6) RM-23 units, eighteen (18) semi-detached units and seven (7) single family small lots. The proposed development continues the pattern of semi-detached and row housing fronting 64 Avenue and 64A Avenue, as was envisioned under Development Application No. 7906-0042-00.
- The proposal provides a mix of housing topologies along 64 Avenue that while unique will be complementary in accordance with the provisions identified in the City's OCP. The effect of such situations is that a unique streetscape can be fostered, particularly along 64 Avenue in a highly visible location.
- Under the existing South Newton NCP designation the maximum unit density is 15 units per acre. The proposed gross unit density of approximately 11 units per acre (28 units per hectare) is consistent with the density proposed in the NCP.
- The proposal complies with Part 7A of the Zoning By-law for streamside setbacks and will convey approximately 151 square metres (1,625 sq. ft.) of land to the City for conservation purposes.
- The proposed variances to the RM-23 lots are considered minor and are the result of additional road dedication that is required along 64 Avenue. As a result of the additional road dedication, the rear lane is proposed to be shifted north to accommodate the minimum lot depth under the RM-23 Zone, with the exception of Lots 6 and 7, where the lane must jog south to connect with the existing lane to the east.

- Proposed Lots 15-17 exceed the minimum lot depth and area requirements of the RF-13 Zone and are wide enough to accommodate a double garage to house a minimum two (2) off-street parking spaces per lot. Allowing a double garage to front 64A Avenue on proposed Lots 15-17 will maintain the form and character of the surrounding neighbourhood and ensure a consistent streetscape.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site as shown on the Survey Plan attached as Appendix II as follows:
  - (a) The RM-23 area comprised of 635 square metres (6,835 sq. ft.) from "One-Acre Residential Zone (RA)" to "Multiple Residential 23 Zone (RM-23)";
  - (b) The RF-SD area comprised of 2,988 square metres (32,163 sq. ft.) from "One-Acre Residential Zone (RA)" to "Semi-Detached Residential Zone (RF-SD)";
  - (c) The RF-13 area comprised of 2,430 square metres (26,156 sq. ft.) from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)";and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7916-0258-00 for Form and Character and for Sensitive Ecosystems (Streamside Areas) generally in accordance with the attached drawings (Appendix III) and the Environmental Report prepared by Enkon Environmental Ltd., dated June 8, 2018.
3. Council approve Development Variance Permit No. 7916-0258-00 (Appendix IX) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum lot depth of the "Multiple Residential 23 Zone (RM-23)" from 28 metres (90 ft.) to 27 metres (88 ft.) for proposed Lot 6 and to 26.5 metres (87 ft.) for proposed Lot 7;
  - (b) to reduce the minimum separation distance between the principal dwelling and an accessory building of the "Multiple Residential 23 Zone (RM-23)" from 6 metres (20 ft.) to 5.5 metres (18 ft.) for proposed Lot 7;
  - (c) to vary the Off-Street Parking requirement of the RF-13 Zone to allow a double garage at the front of the dwelling on lots less than 13.4 metres (44 ft.) in width for proposed Lots 15-17; and
  - (d) to reduce the minimum rear yard setback for a principal building from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for proposed Lot 14 for the entire width of the building.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;



- (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) registration of access easements and Section 219 Restrictive Covenants to secure building maintenance and party wall agreements for Lots 1 to 13;
  - (h) registration of a Section 219 Restrictive Covenant on proposed Lots 1 to 13 for structural independence; and
  - (i) registration of a Section 219 Restrictive Covenant on proposed Lots 1 to 13 to ensure no building permit is issued until a registered professional approves and certifies the building plans comply with the British Columbia Building Code.
5. Council pass a resolution to amend the South Newton NCP to redesignate portions of the site from Townhouses (15 upa max) to Single Family Small Lots, and from Townhouses (15 upa max) to Row Housing, and for a portion to be designated as Creeks and Riparian Setbacks when the project is considered for final adoption.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

9 Elementary students at Hyland Elementary School  
4 Secondary students at Sullivan Heights Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Winter 2020.

Parks, Recreation & Culture: Parks, Recreation & Culture Department have no objection to the project.

Surrey Fire Department: A referral to Surrey Fire Department is not required for this application.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family lot.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single family dwelling and City Parkland.	Single Family Small Lots and Creeks & Riparian Setbacks	RF-12
East:	Single Family dwellings, semi-detached residential dwellings, and row housing.	Single Family Small Lots and Row Housing	RF-12, RF-SD and RM-23
South (Across 64 Avenue):	Existing townhouses and townhouses under construction	Townhouses (25 upa max)	CD (By-law No. 17026) and RM-30
West:	Single family dwelling.	Townhouses (15 upa max)	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The South Newton Neighbourhood Concept Plan (NCP) designates the subject site as Townhouses (15 upa max). The site is being developed as "Single Family Residential (13) Zone (RF-13)", "Semi-Detached Residential Zone (RF-SD)", and "Multiple Residential 23 Zone (RM-23)" which requires an NCP amendment to redesignate the subject site from Townhouses (15 upa max) to Single Family Small Lots, Row Housing and Creeks and Riparian Setbacks.
- A similar NCP amendment was approved as part of Development Application No. 7906-0042-00, directly adjacent to the subject site to the east, which created six (6) RM-23 units, eighteen (18) semi-detached units and seven (7) single family small lots.
- Under Development Application No. 7906-0042-00, the applicant prepared a conceptual layout showing the extension of the RM-23 pattern fronting 64 Avenue, for the subject site.
- As the row houses (RM-23) are a different type of building form than the envisioned Townhouses, the applicant is proposing an NCP amendment to accommodate one triplex at the east end of the site fronting 64 Avenue. This land use is considered an appropriate and unique form of affordable home ownership in fee simple tenure.
- The proposal includes a mix of housing topologies, that while unique will be complementary in accordance with the provisions identified in the City's OCP. The effect of such situations is that a unique streetscape can be fostered, particularly along 64 Avenue in a highly visible location.

- Under the existing South Newton NCP designation, the maximum unit density is 15 units per acre. The proposed gross unit density of approximately 11 units per acre (28 units per hectare) is consistent with the density proposed in the NCP.

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site is designated Urban in the Official Community Plan (OCP) and Townhouses (15 upa max) in the South Newton Neighbourhood Concept Plan (NCP). The subject site is currently zoned "One-Acre Residential Zone (RA)".
- The subject site, located at 13941 – 64 Avenue, is 0.6 hectares (1.49 acres) in area.

### Current Proposal

- The applicant is proposing an NCP amendment to redesignate the subject property from Townhouses (15 upa max) to Single Family Small Lots for the RF-13 and RF-SD lots, to Row Houses for the RM-23 lots and to Creeks and Riparian Setbacks for the riparian area to be conveyed to the City, and to rezone the site from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)", "Semi-Detached Residential Zone (RF-SD)" and "Multiple Residential 23 Zone (RM-23) to permit the development of 4 single family small lots, 10 semi-detached residential units and 3 row houses for a total of 17 units. A Development Permit for Form and Character of the row houses and for Sensitive Ecosystems (Streamside Areas) is also proposed.
- The proposed density is 28 units per hectare (11 units per acre), which is consistent with the prescribed unit density in the South Newton NCP. The NCP amendment is required due to a change in housing form, from townhouses to single family small lots and row housing.
- The proposal includes 4 RF-SD lots and 3 RM-23 lots fronting 64 Avenue and 6 RF-SD lots and 4 RF-13 lots fronting 64A Avenue.
- The proposed RF-13 lots are a minimum of 12 metres (40 ft.) wide, varying in area from 370 square metres (3,983 sq. ft.) to 488 square metres (5,253 sq. ft.), which complies with the minimum 12 metres (40 ft.) width and 336 square metres (3,595 sq. ft.) area of the RF-13 Zone. The proposed RF-13 lots will be front-accessed via 64A Avenue.
- As three of the RF-13 lots will be 12 metres (40 ft.) in width, a Development Variance Permit is required to permit a double garage at the front of a property on a lot less than 13.4 metres (44 ft.) in width.
- The proposed RF-SD lots are a minimum of 7.2 metres (24 ft.) wide, varying in area from 201 square metres (2,163 sq. ft.) to 217 square metres (2,336 sq. ft.), which complies with the minimum 7.2 metres (40 ft.) width and 200 square metres (2,150 sq. ft.) area of the RF-SD Zone. The proposed RF-SD lots will all be accessed via a rear lane.

- The proposed RM-23 lots are 7.2 metres (24 ft.) for the end lots and 6.8 metres (22 ft.) for the internal lot. The RM-23 lots vary in area from 187 square metres (2,012 sq. ft.) to 202 square metres (2,174 sq. ft.) which meet the minimum dimensions for the RM-23 Zone. The RM-23 lots will be accessed via a rear lane.
- An additional 1.5 metres (5 ft.) of road dedication is required along 64 Avenue. As a result of this road dedication, Lots 6 and 7 (RM-23) require a Development Variance Permit to reduce the minimum lot depth under the RM-23 Zone.
- The RM-23 and RF-SD units require party wall agreements between owners, as units share common walls along their common property line. A party wall agreement for shared maintenance, along with a Section 219 Restrictive Covenant, will be required to be registered on title in this regard.

#### DEVELOPMENT PERMIT FOR SENSITIVE ECOSYSTEMS

- There is a Class A (red-coded) watercourse to the northwest of the subject site. As per Part 7A of the Surrey Zoning By-law, 1993, No. 12000 as amended, the Class A watercourse requires a 30 metre (98 ft.) setback, as measured from Top of Bank.
- As part of this development application, the applicant proposes to comply with the minimum required streamside setbacks by using the 'flex' provisions in Part 7A, which allow the minimum required setback to be reduced by no more than 5 metres (16 ft.) and increased by no more than 10 meters (33 ft.) provided there is no loss in the total size of the streamside setback area.
- With regards to above, the applicant proposes to reduce the minimum required streamside setback to 25 metres (82 ft.) for a portion and increase the streamside setback to 40 metres (131 ft.) for a portion. There will be no loss in the total size of the streamside setback area as a result of the utilization of the flex provisions.
- The streamside setback area will be protected through a combination of conveyance of lands to the City and through a Section 219 Restrictive Covenant. In this regard, the applicant will convey 151 square metres (1,625 sq. ft.) of land to the City for conservation purposes.

#### DESIGN PROPOSAL AND REVIEW

- The single family small lots (RF-13) and semi-detached lots (RF-SD) are subject to a Building Scheme. The three RM-23 lots are subject to a Development Permit to regulate form and character.
- Design Guidelines were submitted for both the RF-13 lots and the RF-SD lots and outlined the permitted and restricted design elements that are to be used when creating the new single family small lot and semi-detached dwelling units so that they are complementary to the existing single family and multi-family form in the surrounding neighbourhood (Appendix VI).

- The proposed buildings are to be compatible with a "West Coast Modern" style. Style range is not specifically restricted in the building scheme.
- Each RM-23 unit will have pedestrian access from the street (64 Avenue) and vehicular access via a rear lane.
- The proposed row house units have been specifically designed to interface well with 64 Avenue, as well as coordinate with the proposed semi-detached units to the west and north, and other developments currently being constructed in the surrounding area.
- All RM-23 units are proposed as three-storey units, with a basement unit, and the main unit occupying the two upper floors.
- Proposed cladding materials consist of horizontal cedar siding and hardie panel complemented by cultured stone and hardie shingle. Asphalt shingles are proposed as the roofing material. The proposed colour scheme will be finalized as part of the completion of the Development Permit.
- Landscaping around the row houses consists of a generous combination of trees and shrubs in both coniferous and deciduous varieties. Landscaping along the front yards is proposed to provide buffering from 64 Avenue.
- A preliminary lot grading plan was submitted by Hub Engineering Inc. The information has been reviewed by staff and found to be generally acceptable. Based on the preliminary lot grading plan, in-ground basements are proposed on all lots.

### PRE-NOTIFICATION

Pre-notification letters were sent on August 9, 2018 to 182 properties within 100 metres (328 ft.) of the subject site. Staff received two items of correspondence, both inquiring about the extension of 64A Avenue. Staff comments are shown in italics.

- Extension of 64A Avenue west

*(The current layout proposes to bring the cul-de-sac to the west property line, which could accommodate access to a townhouse site to the west while keeping the cul-de-sac entirely on the subject site of Development Application No. 7916-0258-00. This would remove the need for future access off of an Arterial road – 64 Avenue for any proposed development.)*

- Parking

*(The proposed RF-SD and RM-23 lots will be accessed via a rear lane. Each fee simple lot will be required to provide two parking spaces, as secondary suites are not permitted in either of these zones. The proposed RF-13 lots will be front-loaded and accessed via 64A Avenue. Each lot will be required to provide 3 off-street parking spaces in accordance with the Surrey Zoning By-law, 1993, No. 12000, to accommodate the principal building and a secondary suite. On-street parking will be accommodated on the south side of 64A Avenue fronting the RF-SD lots.)*

TREES

- Monica Ardiel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	32	32	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry, Bitter	3	3	0
Birch, Paper	2	2	0
Oak, Red	2	0	2
Sweetgum	1	0	1
<b>Coniferous Trees</b>			
Western Red Cedar	57	56	1
Western Hemlock	2	2	0
Spruce	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>68</b>	<b>64</b>	<b>4</b>
<b>Additional Trees in the proposed Open Space/ Riparian Area</b>	<b>9</b>	<b>0</b>	<b>9</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>11</b>	
<b>Total Retained and Replacement Trees</b>		<b>15</b>	
<b>Contribution to the Green City Fund</b>		<b>\$59,600</b>	

- The Arborist Assessment states that there is a total of sixty-eight (68) protected trees on the site, excluding Alder and Cottonwood trees. Thirty-two (32) existing trees, approximately 32% of the total trees on the site, are Alder and Cottonwood trees. It was determined that four (4) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional nine (9) protected trees that are located within the proposed riparian area. The trees within the proposed riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of one-hundred and sixty (160) replacement trees on the site.

Since only eleven (11) replacement trees can be accommodated on the site (based on an average of [3] trees per lot for the RF-13 lots), the deficit of one-hundred and forty-nine (149) replacement trees will require a cash-in-lieu payment of \$59,600 representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

- A landscape plan is required for the RM-23 portion of the site. The new trees on the site will consist of a variety of trees including Slender Hinoki Cypress, Raywood Ash, and Magnolia.
- In summary, a total of fifteen (15) trees are proposed to be retained or replaced on the site with a contribution of \$59,600 to the Green City Fund.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 5, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located in the South Newton NCP.</li> <li>• The proposal requires an NCP amendment to redesignate the site to Single Family Small Lots and Row Housing.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The NCP proposes a maximum density of 15 units per acre</li> <li>• The application proposes an overall density of 11 units per acre</li> <li>• Three types of housing are proposed: single family, semi-detached and row housing.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Conveying 151 square metres (1,625 sq. ft.) of riparian area to the City for conservation purposes.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• None proposed.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• None proposed.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• None proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• None proposed.</li> </ul>

BY-LAW VARIANCE AND JUSTIFICATION

## (a) Requested Variance:

- To reduce the minimum lot depth of the "Multiple Residential 23 Zone (RM-23)" from 28 metres (90 ft.) to 27 metres (88 ft.) for proposed Lot 6 and to 26.5 metres (87 ft.) for proposed Lot 7; and
- To reduce the minimum separation distance between the principal dwelling and an accessory building of the "Multiple Residential 23 Zone (RM-23)" from 6 metres (20 ft.) to 5.5 metres (18 ft.) for proposed Lot 7.

## Applicant's Reasons:

- Reducing the required lot depths will allow the subject property to be subdivided and Lots 6 and 7 to be developed as RM-23 lots.

## Staff Comments:

- Under the RM-23 Zone the minimum required lot depth is 28 metres (90 ft.).
- Under Development Application No. 7906-0042-00 road dedication for 64 Avenue was not taken. Through the subject development, Engineering (Transportation) now requires 1.5 metres (5 ft.) of road dedication along 64 Avenue for an ultimate 30 metre (98 ft.) road allowance. As a result of the road dedication, the rear lane must be shifted north to accommodate the minimum lot depth of the RF-SD and RM-23 lots (28 m / 90 ft.), with the exception of Lots 6 and 7, where the lane must jog south to connect with the existing lane to the east.
- Despite the reduced lot depth, Lots 6 and 7 are proposed to be 187 square metres (2,012 sq. ft.) and 202 square metres (2,174 sq. ft.) in area respectively. The proposed lot areas exceed the minimum lot size required under the RM-23 Zone of 165 square metres (1,776 sq. ft.) for an internal lot and 200 square metres (2,215 sq. ft.) for an end lot, respectively.
- The reduced depth of Lot 7 necessitates reducing the distance between the proposed principal dwelling and accessory building. The depth reduction for Lot 6 is not as great and therefore does not require a variance to the minimum 6.0 metre (20 ft.) distance between the principal dwelling and accessory building.

## (b) Requested Variance:

- To vary the Off-Street Parking requirement of the "Single Family Residential (13) Zone (RF-13)" to allow a double garage at the front of the dwelling on lots less than 13.4 metres (44 ft.) for proposed Lots 15-17.



## Applicant's Reasons:

- The proposed single family small lots are exceptionally deep and allowing a double-car front-loaded garage will permit each lot to maximize the total floor area of each dwelling.

## Staff Comments:

- The proposed single family small lots have lot depths that range from 39.8 metres (131 ft.) to 41.4 metres (136 ft.), which are much larger than the minimum lot depth of 28 metres (92 ft.) under the RF-13 Zone.
- The proposed subdivision is required to protect an off-site watercourse with a streamside protection setback. As the streamside protection area is located at the rear of the single family small lots, a lane originating from 139A Street cul-de-sac is not achievable. If a lane were permitted here, a double car garage on a lot less than 13.4 metres (44 ft.) would be permitted at the rear.
- The applicant originally proposed to locate a rear lane originating from the 139A Street cul-de-sac. Staff worked with the applicant to develop a more contextual layout that included the required streamside protection setback and access from a new cul-de-sac. The proposal to allow a double car garage on a lot less than 13.4 metres (44 ft.) in width is in recognition of achieving a more desirable subdivision layout.
- Allowing a double garage to front 64A Avenue on proposed Lots 15-17 will maintain the form and character of the surrounding neighbourhood and ensure a consistent streetscape.
- Staff will work with the applicant's design consultant to ensure the Building Design Guidelines include provisions that will minimize the impact of a double car garage on a lot less than 13.4 metres (44 ft.) in width.

## (c) Requested Variance:

- To reduce the minimum rear yard setback for a principal building from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Lot 14 for the entire width of the building.

## Applicant's Reasons:

- The proposed variance will allow for a more functional floor layout.

## Staff Comments:

- Under the RF-13 Zone, the rear yard setback of the principal building may be reduced to 6.0 metres (20 ft.) for a maximum of 50% of the width of the rear of the principal building.
- The proposed variance would allow 100% of the width of the rear of the principal building to be setback at 6.0 metres (20 ft.).

- The proposed variance is needed in response to the unique shape of the lot which results from the required streamside protection area. The proposed variance will allow for a more functional floor layout, and is considered acceptable as the lot backs onto green space.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan
Appendix III.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	Building Design Guidelines Summary (RF-13 and RF-SD)
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	NCP Amendment Plan
Appendix IX.	Development Variance Permit No. 7916-0258-00

#### INFORMATION AVAILABLE ON FILE

- Environmental Report prepared by Enkon Environmental Ltd. dated June 8, 2018.
- Complete Set of Architectural and Landscape Plans prepared by F. Adab Architects Inc. and M2 Landscape Architecture, respectively, dated December 3, 2018 and November 13, 2018.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

KS/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## SUBDIVISION DATA SHEET

Proposed Zoning: RF-13, RF-SD, RM-23

<b>Requires Project Data</b>	<b>Proposed</b>
<b>GROSS SITE AREA</b>	
Acres	1.49
Hectares	0.60
<b>NUMBER OF LOTS</b>	
Existing	1
Proposed	17
<b>SIZE OF LOTS</b>	
Range of lot widths (metres)	6.8 m to 14.3
Range of lot areas (square metres)	187 m <sup>2</sup> to 488 m <sup>2</sup>
<b>DENSITY</b>	
Lots/Hectare & Lots/Acre (Gross)	28.3 Lots/ha or 11.4 Lots/ac
Lots/Hectare & Lots/Acre (Net)	39.6 Lots/ha or 16.0 Lots/ac
<b>SITE COVERAGE (in % of gross site area)</b>	
Maximum Coverage of Principal & Accessory Building	52%/50%
Estimated Road, Lane & Driveway Coverage	28%/30%
Total Site Coverage	80%
<b>PARKLAND</b>	
Area (square metres)	151 m <sup>2</sup>
% of Gross Site	2.5%
	<b>Required</b>
<b>PARKLAND</b>	
5% money in lieu	YES
<b>TREE SURVEY/ASSESSMENT</b>	YES
<b>MODEL BUILDING SCHEME</b>	YES
<b>HERITAGE SITE Retention</b>	NO
<b>FRASER HEALTH Approval</b>	NO
<b>DEV. VARIANCE PERMIT required</b>	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	YES

## DEVELOPMENT DATA SHEET

Proposed Zoning: RM-23

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		589
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)	50-60%	40-49%
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	50-60%	40-49%
SETBACKS (in metres)		
Front	3.5	3.5
Rear	12.5	12.5
Side #1 (End lot)	1.2	1.2
Side #2 (Internal lot)	0.0	0.0
BUILDING HEIGHT (in metres/storeys)		
Principal	9.5	9.5
Accessory	3	3
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		3
Total		
FLOOR AREA: Residential		6,156 square metres
FLOOR AREA: Commercial	N/A	N/A
Retail		
Office		
Total		
FLOOR AREA: Industrial	N/A	N/A
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA		6,156 square metres

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)	57 uph / 23 upa	52 uph / 20 upa
# of units/ha /# units/acre (net)	57 uph / 23 upa	52 uph / 20 upa
FAR (gross)		
FAR (net)		
<b>AMENITY SPACE (area in square metres)</b>	N/A	N/A
Indoor		
Outdoor		
<b>PARKING (number of stalls)</b>	N/A	N/A
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
BYLAW NO. \_\_\_\_\_ OVER PART OF LOT 37 EXCEPT  
PART IN PLAN BCP15804 SECTION 16 TOWNSHIP 2  
NEW WESTMINSTER DISTRICT PLAN 34345**

FOR THE PURPOSE OF REZONING  
BCGS: 92G.016

SCALE 1:750



(All distances are in metres)

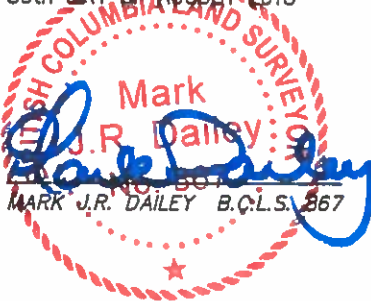
**Note:**

-property dimensions are derived from  
Land Title Office records, and are  
subject to change upon field survey

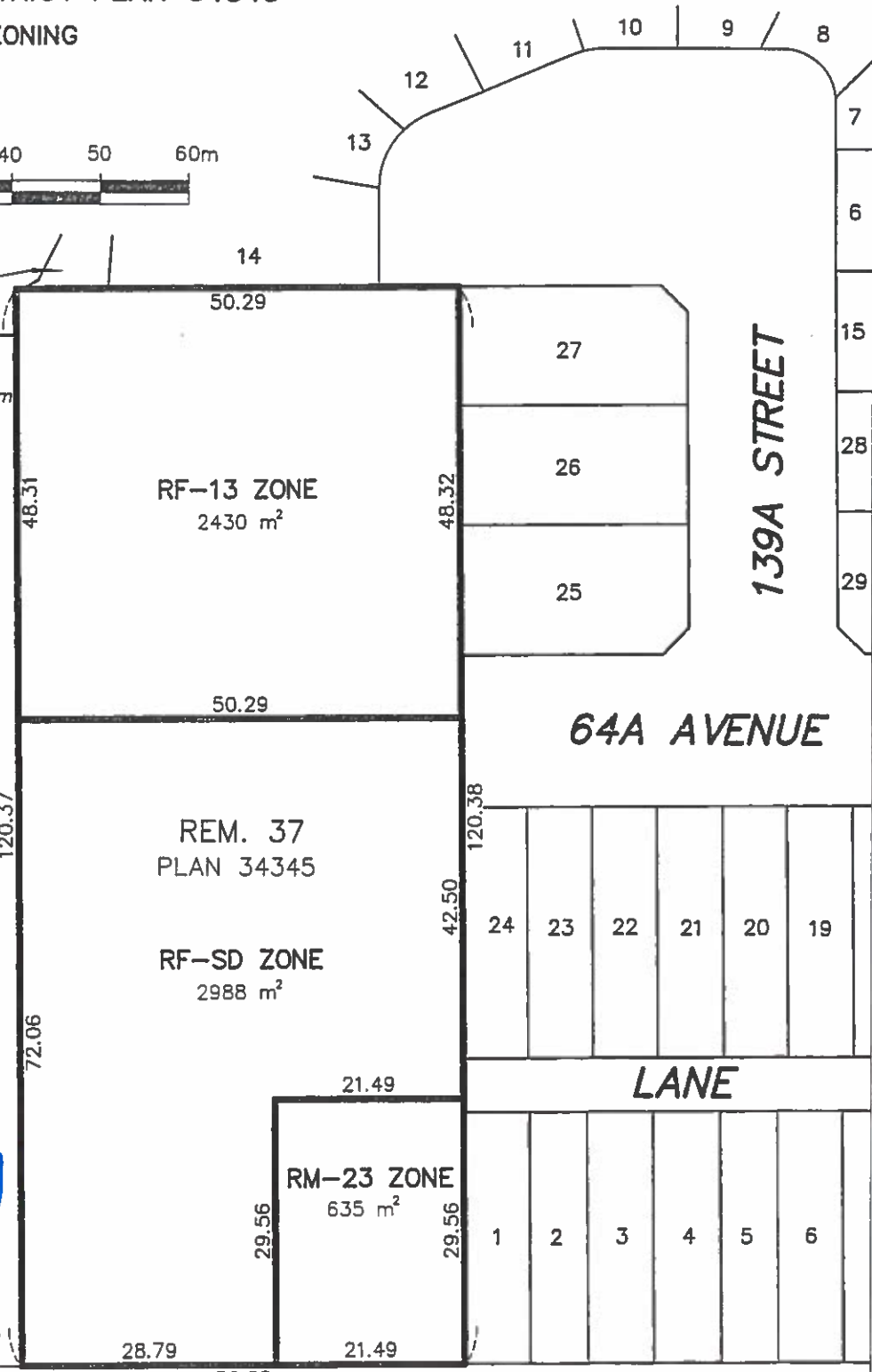


REM. 38

DATE OF SURVEY:  
30th DAY OF AUGUST 2018



© COPYRIGHT  
**DHALIWAL AND ASSOCIATES**  
LAND SURVEYING INC.  
#216 12899-76th Avenue  
Surrey, B.C. V3W 1E6  
Phone: 604 501-6188  
File: 1602004-201  
Z.T.



**64th AVENUE**  
THIS PLAN LIES WITHIN THE  
METRO VANCOUVER REGIONAL DISTRICT









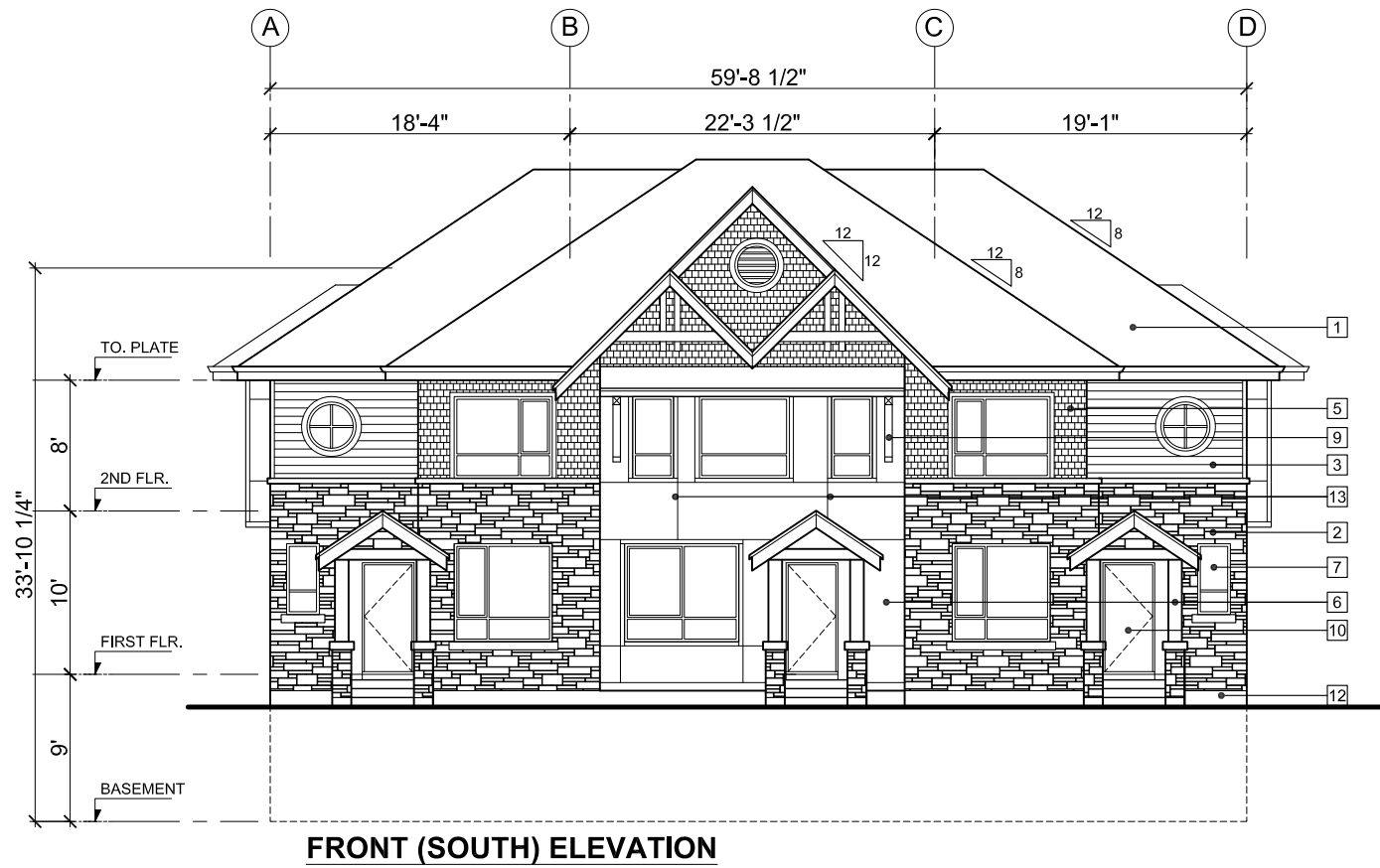




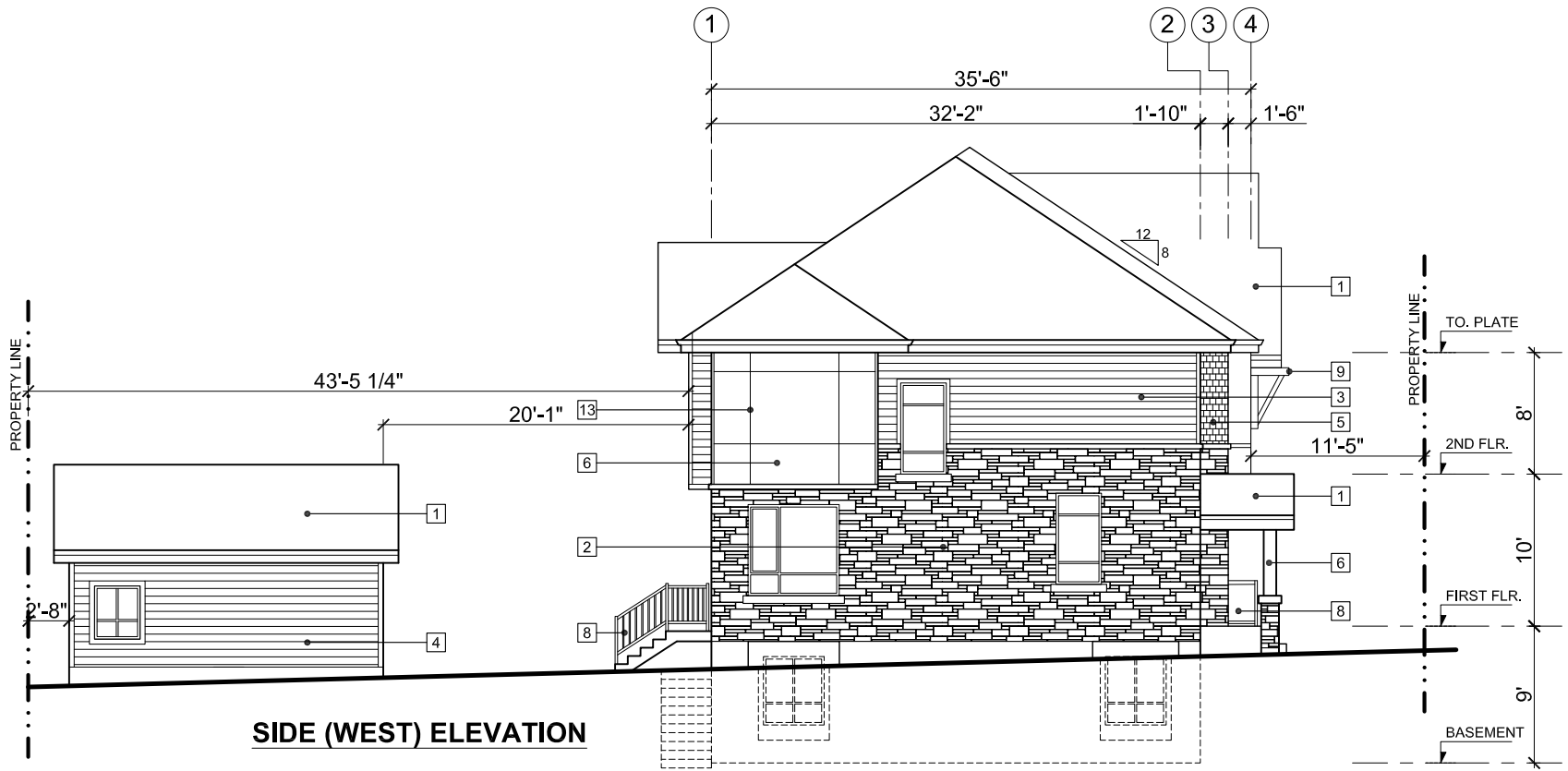


# EXTERIOR FINISHES

- 1 ASPHALT SHINGLE - MOIRE BLACK BY LANDMARK
- 2 CULTURED STONE CSV-449974, BLACK RUNDLE - BY BORAL
- 3 6" HORIZONTAL SIDING / TRIM - CEDAR WOOD - STAINED
- 4 6" HORIZONTAL HARDIE SIDING / TRIM / FASCIA SW 7066 GRAY MATTERS - BY SHERWIN WILLIAMS
- 5 HARDIE SHINGLE SW 7068 GRIZZLE GRAY- BY SHERWIN WILLIAMS
- 6 HARDIE PANEL / FASCIA / BAND BOARD/ BARGE BOARD SW 7004 SNOW BOUND - BY SHERWIN WILLIAMS
- 7 WINDOW VINYL -BLACK
- 8 RAILING ALUMINUM - BLACK
- 9 BRACKETS CEDAR WOOD - STAINED
- 10 ENTRY DOOR CEDAR WOOD - STAINED
- 11 GARAGE DOOR SW 7004 SNOW BOUND - BY SHERWIN WILLIAMS
- 12 EXPOSED CONCRETE PAINTED GRAY
- 13 JOINTS BETWEEN PANELS

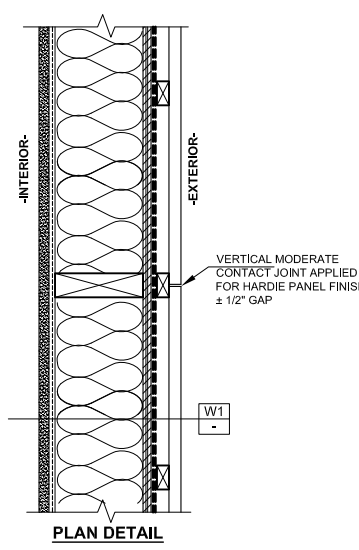


**FRONT (SOUTH) ELEVATION**

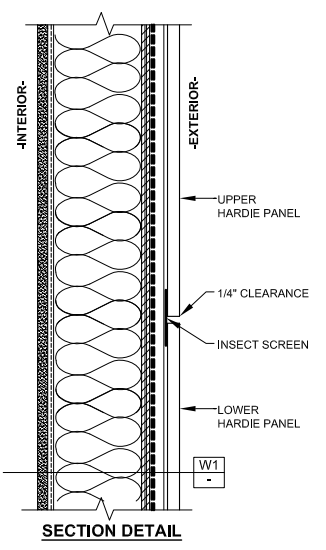


**SIDE (WEST) ELEVATION**

**HORIZONTAL JOINT DETAIL ON HARDIE PANEL**



**VERTICAL JOINT DETAIL ON HARDIE PANEL**



**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
TEL: (604) 987-3003 FAX: (604) 987-3033  
E-MAIL: mfa@multigonfadab.com

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Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

NO.	DATE	REVISION/ ISSUED
1	12-03-18	ISSUED FOR DP

PROJECT TITLE:  
**64 AVE. TRIPLEX**  
13941, 64 AVENUE, SURREY

FOR:  
**CRESCENT CREEK HOMES**  
7231 - 120TH STREET  
DELTA, B.C.

DRAWING TITLE:  
**SOUTH AND WEST ELEVATIONS**

DATE: OCT. 2018	SHEET NO:
SCALE: NTS.	<b>A-3.1</b>
DESIGN: AA.	
DRAWN: A.A.	
PROJECT NO: -	

\\p4-server\data\PROJECTS\64 Ave, Surrey\Triplex\9-Current\A-3.1 Elevations.dwg, 06/12/2018 5:07:13 PM











---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Jan 07, 2019** PROJECT FILE: **7816-0258-00**

---

RE: **Engineering Requirements  
Location: 13941 - 64 Avenue**

### NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.548 m along 64 Avenue toward Arterial Road (ultimate 30.0 m) allowance.
- Dedicate 17.0 m along 64A Avenue toward Limited Local Road (ultimate 17.0 m) allowance and 12.0 m for the cul-de-sac.
- Dedicate 6.0 m toward Residential Lane (ultimate 6.0 m) allowance.
- Dedicate 1.0 m x 1.0 m corner cut at 64A Avenue and lane.
- Dedicate 5.5 m x 5.5 m corner cut at lane intersection.
- Register 0.5 m SRW along 64 Avenue and 64A Avenue.

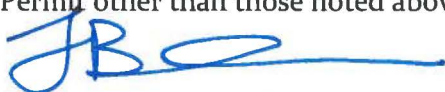
#### *Works and Services*

- Grade property line along 64 Avenue to +/- 300 mm from centerline road elevation.
- Construct 64A Avenue to Limited Local Road standard including cul-de-sac bulb.
- Construct residential lane.
- Construct drainage, sanitary, and water works to service the proposed development and the frontage roads.
- Provide on-site sustainable drainage works to meet the drainage requirements.
- Provide water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone and Subdivision.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are not issues to be addressed for the Development Permit or Development Variance Permit other than those noted above.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager

M51

NOTE: Detailed Land Development Engineering Review available on file





Planning

August 24, 2018

**THE IMPACT ON SCHOOLS**

APPLICATION #: 16 0258 00

**SUMMARY**

The proposed are estimated to have the following impact on the following schools:

17 Single family with suites

**Projected # of students for this development:**

Elementary Students:	9
Secondary Students:	4

September 2017 Enrolment/School Capacity

<b>Hyland Elementary</b>	
Enrolment (K/1-7):	44 K + 383
Operating Capacity (K/1-7)	38 K + 373
<b>Sullivan Heights Secondary</b>	
Enrolment (8-12):	1540
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

**School Enrolment Projections and Planning Update:**

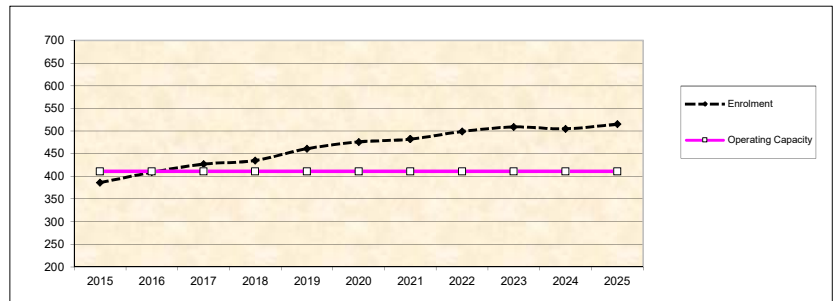
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Hyland Elementary enrolment is expected to grow modestly peaking around 2025. Based on the City's housing projections, like enrolment, construction of new housing will start to increase around 2021 and end in 2025. Post 2025, the City does not envision anymore new housing in the catchment. Any modest growth arising from the building spike will easily be accommodated by portables at the school.

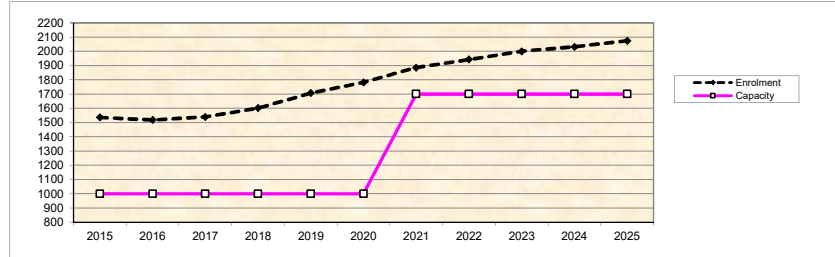
With that said, Hyland may be effected by the future revised land use plans for the Newton Town Center and King George Boulevard. Until further work is done on each plan, by the City, to determine new population counts and type and number of high density housing units, the District can not determine the impact these land use plans will have to the surrounding school catchments. The District will continue to monitor these areas to watch how growth and development evolve in the area.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700 capacity addition at Sullivan Heights. This is one of 3 projects that are planned to address the overcrowding at the secondary level in the Newton area. The two other projects are on the 2019/2020 Five Year Capital Plan waiting for approval from the Ministry to move to the feasibility stage. They are an addition to Frank Hurt Secondary and building a new 1000 capacity secondary school in the area.

**Hyland Elementary**



**Sullivan Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

## **BUILDING GUIDELINES SUMMARY**

Surrey Project #: 7916-0258-00  
Project Location: 13941 64 Ave, Surrey, B.C.  
Design Consultant: Simplex Consultants Ltd., (Tejeshwar Singh, b.t.arch, ASCT, CRD, at.aibc)

**This building scheme draft is proposed for the above noted project and has been filed with the City Clerk. Below is the Residential Character Study and the Design Guidelines summary which highlights the important features and forms the basis of the draft Building Scheme.**

### **1. Residential Character**

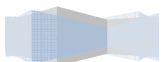
#### **1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:**

The area surrounding the subject property consists majority of town house complexes and single family dwellings. All the homes in the surrounding property are approximately 2-5 years old "west coast modern" style with mid-scale massing characteristics. These homes have 5:12 roof pitches with one to two street facing feature projections. Roof surfaces are either "shake profile" concrete tiles, cedar shakes, or asphalt shingles and the cladding is primarily stucco or hardi siding with stone or brick accents. These newer developments can be used as context homes.

Across the subject property a new Panorama West Coast Living townhouse complex will be developed.

#### **1.2 Features of the Existing and Surrounding Dwelling Homes Significant to the Proposed Building Scheme:**

- 1) Context styles of homes for the proposed building scheme are "West Coast Modern".
- 2) All context homes are 3 storey homes.
- 3) Front entrances are 1 storey in height.
- 4) Massing: Old homes are mostly west coast modern context.
- 5) Exterior cladding: variation of wall cladding materials allows for a wide range of selection for cladding.
- 6) Roof surface: variation of roofing materials allows for a wide range of selection for roofing.
- 7) Roof pitch is a minimum 5:12 for the newer context homes.



**Dwelling Types/Locations:** 3 storey split levels.

**Exterior Treatment /Materials:** Context homes are clad in stucco, or hardi siding, and have a stone or brick accent veneer.

**Roof Pitch and Materials:** A variety of roofing products have been used, and a variety could be permitted.

**Window/Door Details:** Rectangle or arched.

**Streetscape:** The neighborhood is fairly new with a similar character within each dwelling. Homes include West Coast Modern style 2 storey homes that meet modern massing design, modern trim and detailing standards, and modern roofing and construction materials standards. Landscapes range from "modest old urban" to "moderate modern urban".

## 2. Proposed Design Guidelines

### 2.1 Proposed Design Solutions:

**Dwelling Types/Location:** 2 storey or 3 storey split levels.

**Interfacing Treatment with existing dwellings** Strong relationship with neighboring "context homes" including new homes will be of a similar home type and size. Similar massing characteristics, roof types, roof pitches, roofing materials, and siding materials.

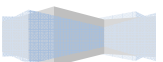
**Restrictions on Dwellings** None.

**Exterior Materials:** Stucco, Hardiplank, Brick, and Stone.

**Colours:** "Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colors such as grey, white, and cream are permitted. "Primary" colors in subdued tones such as navy blue, or forest green can be considered as approved by the consultant. Colours such as pink, rose, peach, salmon are not permitted.

**Roof Pitch:** Minimum roof pitch must be 5:12.

**Roof Materials:** Shake profile concrete roof tiles, and shake profile asphalt shingles with a raised ridge caps are permitted in Grey, Brown, or Black.



**In-ground basements:** Permitted subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

**Landscaping:** Landscaping: Moderate modern urban standard: Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete.

**Tree Planting Deposit:** **\$1,000** (to developer)  
– 50% will be refunded after inspection by developer  
- Remaining 50% one year after completion of construction

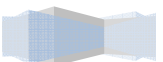
**Compliance Deposit:** **\$5,000** (to developer)

**Summary prepared and submitted by:** Simplex Consultants Ltd.

Date: September 15, 2016

**Reviewed and Approved by:** Tejeshwar Singh, b.t.arch, ASCT, CRD, at.aibc

\_\_\_\_\_  
Date: September 15, 2016



## Tree Preservation Summary

Surrey Project No: 16-0258-00


Address: 13941 - 64 Avenue, Surrey

Registered Arborist: Monica Ardiel & Corey Plester

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	100
<b>Protected Trees to be Removed</b>	96
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	4
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 32 X one (1) = <u>32</u>  - All other Trees Requiring 2 to 1 Replacement Ratio 64 X two (2) = <u>128</u>	160
<b>Replacement Trees Proposed</b>	11
<b>Replacement Trees in Deficit</b>	149
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	9

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	6
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) =  - All other Trees Requiring 2 to 1 Replacement Ratio 6 X two (2) = 12	12
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: December 12, 2018
--	-------------------------



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

CLIENT

FILE NO.

PROJECT TITLE  
TREE PRESERVATION AND PROTECTION PLAN

13941 64 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	APR25/16	MK	LOT PLAN
2	JUL12/16	MK	ADDITIONAL SURVEY
3	JUN06/18	MK	SUBDIVISION PLAN
4	DEC10/18	MK	SUBDIVISION PLAN
5	DEC18/18	MK	KEY&GRADING PLAN



SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

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DRAWN

MK

SCALE

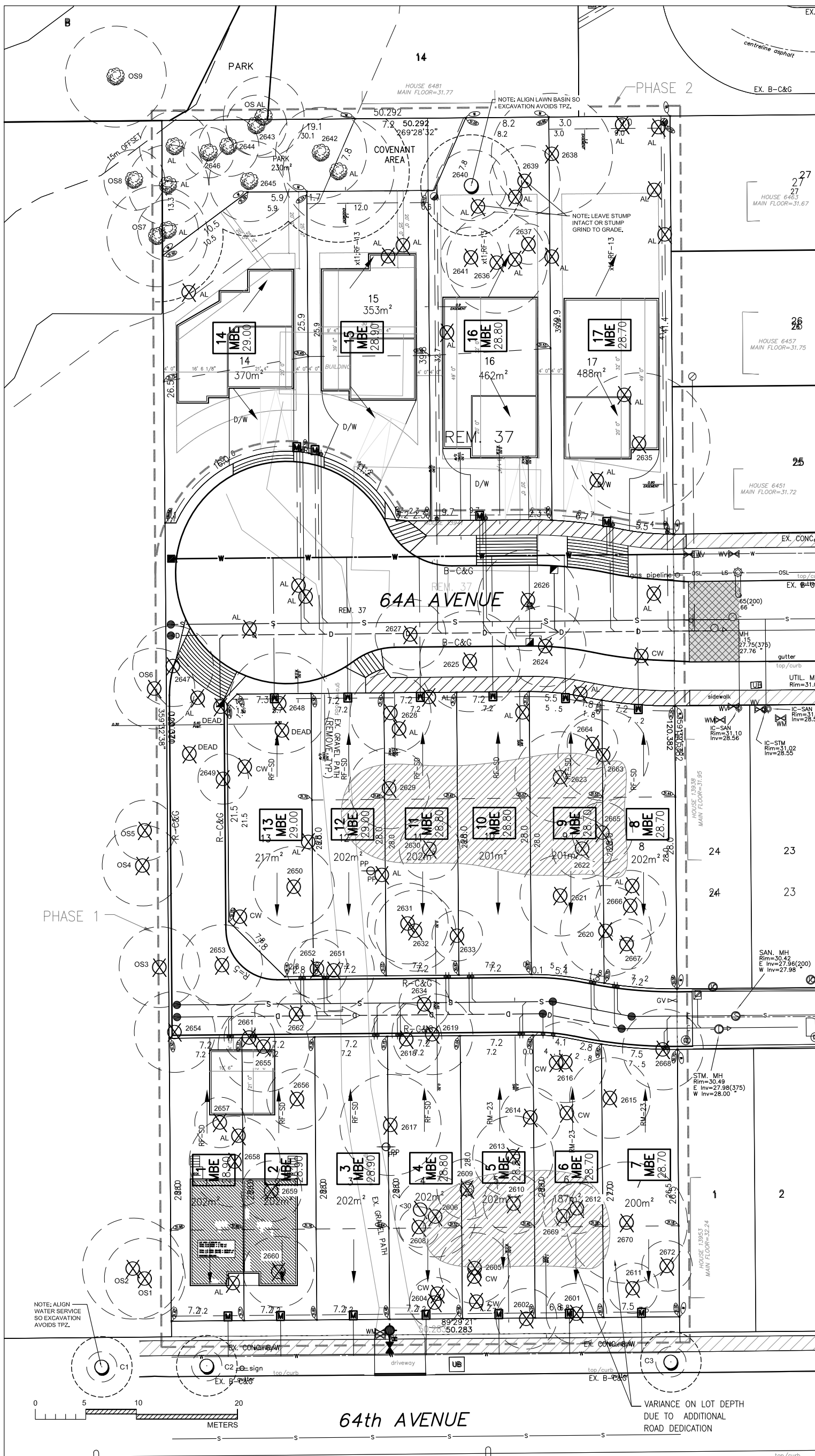
AS SHOWN

DATE

APRIL 13, 2016

T-1

SHEET 1 OF 2



**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- 1.5M NO BUILD ZONE
- MINIMUM NO DISTURBANCE ZONE TO BE ASSESSED BY SURREY'S PARK REC. & CULTURE DEPT

**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

CLIENT

FILE NO.

PROJECT TITLE  
**TREE PRESERVATION AND PROTECTION PLAN**

13941 64 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	APR25/16	MK	LOT PLAN
2	JUL12/16	MK	ADDITIONAL SURVEY
3	JUN06/18	MK	SUBDIVISION PLAN
4	DEC10/18	MK	SUBDIVISION PLAN
5	DEC18/18	MK	KEY&GRADING PLAN

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.



SHEET TITLE

**T2 - TREE PROTECTION PLAN**

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DRAWN

MK

SCALE

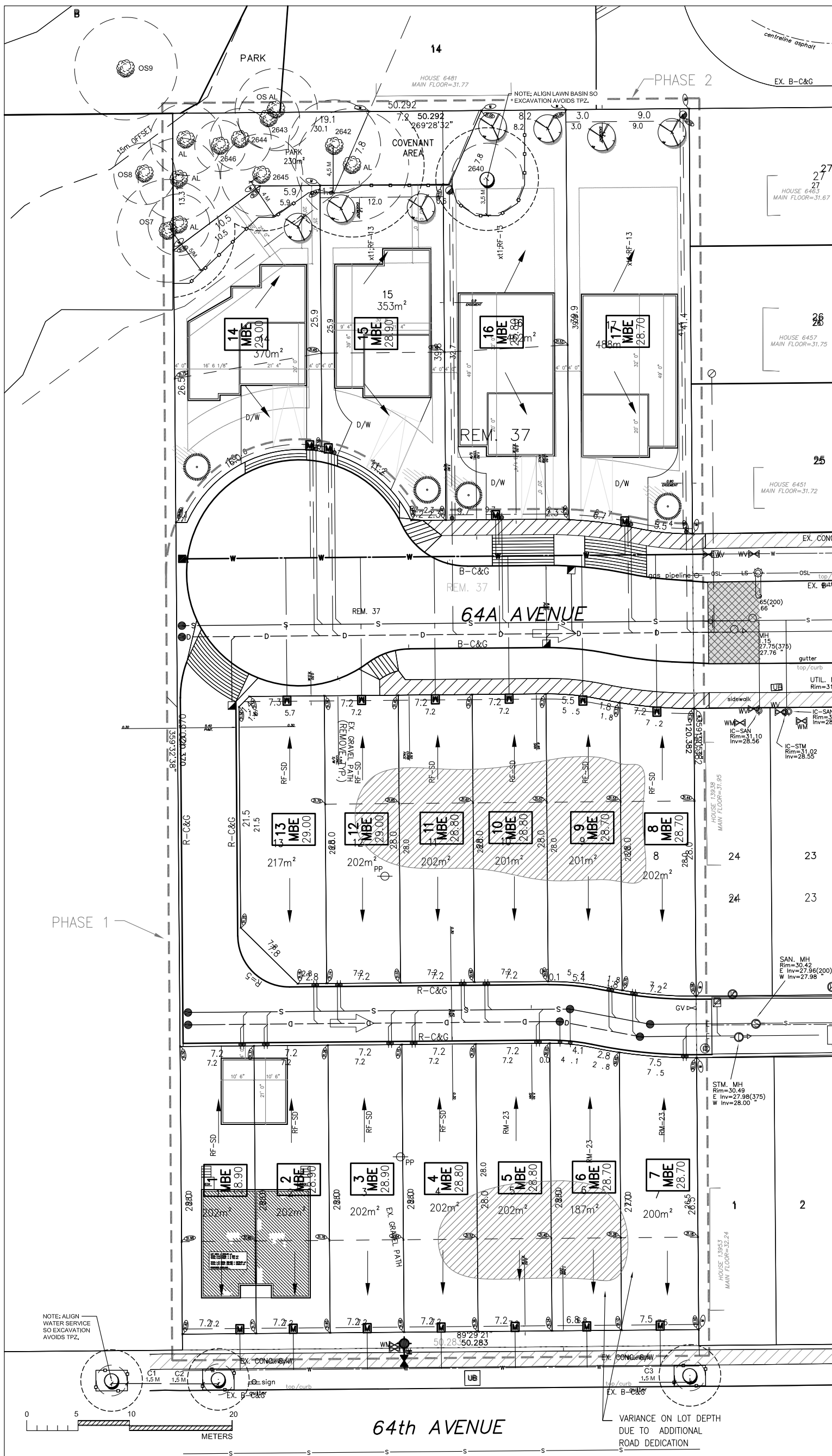
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DATE

APRIL 25, 2016

**T-2**

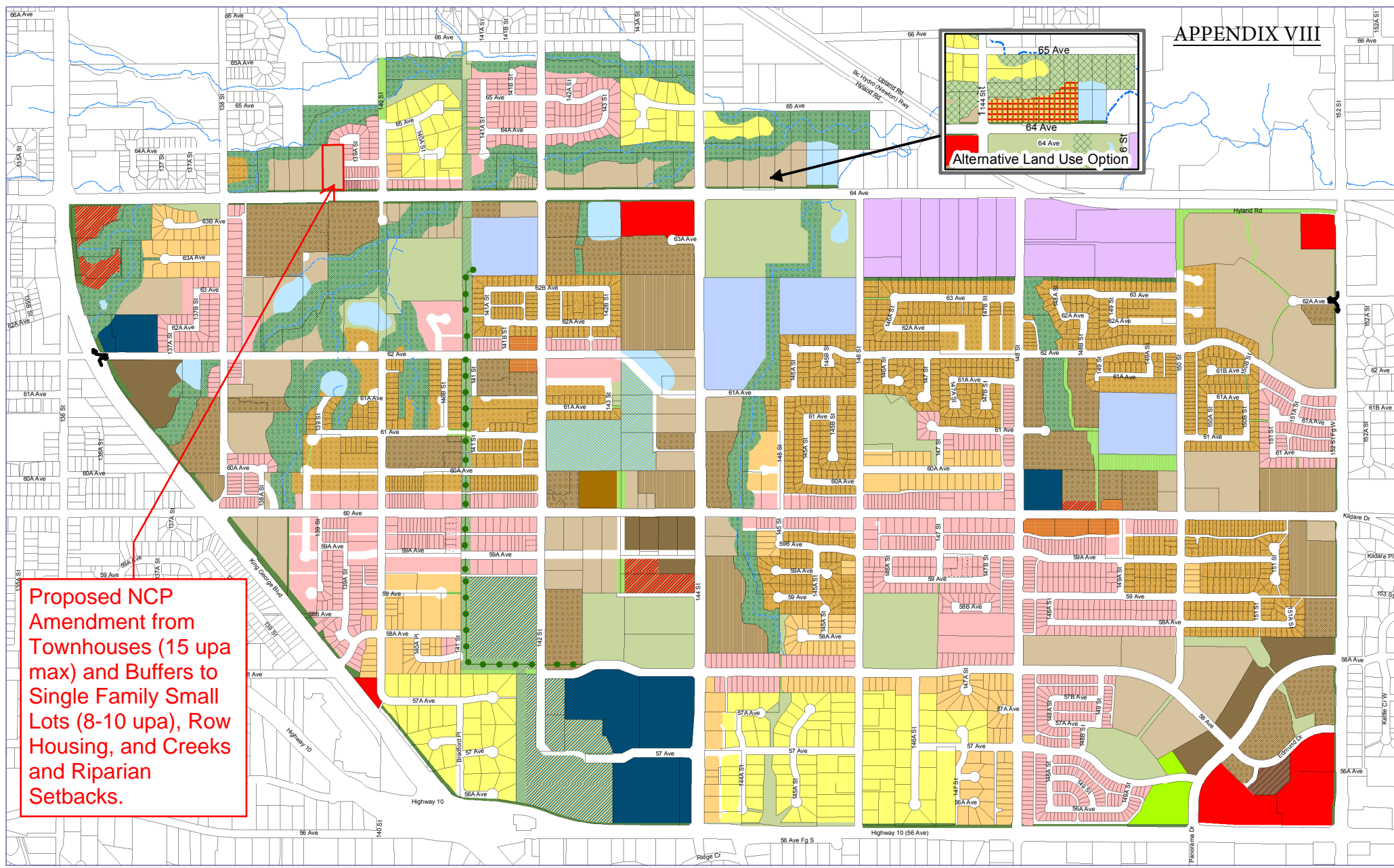
SHEET 2 OF 2



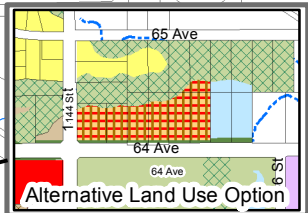
**LEGEND**

- TREE TO BE RETAINED
- TO BE ASSESSED BY SURREY'S PARK REC. & CULTURE DEPT
- TREE PROTECTION FENCING
- 1.5M NO BUILD ZONE
- MINIMUM NO DISTURBANCE ZONE
- DECIDUOUS REPLACEMENT TREE (5 CM. DIA. MINIMUM)
- CONIFEROUS REPLACEMENT TREE (3.0 M. HT. MINIMUM)





**Proposed NCP Amendment from Townhouses (15 upa max) and Buffers to Single Family Small Lots (8-10 upa), Row Housing, and Creeks and Riparian Setbacks.**



# SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN  
City of Surrey Planning & Development Department

- |                       |  |                 |                              |                      |
|-----------------------|--|-----------------|------------------------------|----------------------|
| Apartments 65 upa max | Single Family Small Lots                 | Commercial      | Proposed School and Park     | Buffers              |
| Apartments 45 upa max | Row Housing                              | Institutional   | Parks                        | Detention Ponds      |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Office Park     | Proposed Park and Walkway    | Utility R/W Greenway |
| Townhouses 25 upa max | Single Family Residential                | Industrial      | Recreational                 | WALKWAY              |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre            | Schools         | Creeks and Riparian Set-back |                      |
| Townhouses 15 upa max | Mixed Com/Res Apartments                 | Proposed School |                              |                      |
|                       | Mixed Com/Res Townhouse                  |                 |                              |                      |



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(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7916-0258-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-993-095

Lot 37 Except Part in Plan BCP15804 Section 16 Township 2 New Westminster District Plan 34345

13941 – 64 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection K.2 Subdivision of Part 21A "Multiple Residential 23 Zone (RM-23)", the minimum lot depth is reduced from 28 metres (90 ft.) to 27 metres (88 ft.) for proposed Lot 6;
  - (b) In Subsection K.2 Subdivision of Part 21A "Multiple Residential 23 Zone (RM-23)", the minimum lot depth is reduced from 28 metres (90 ft.) to 26.5 metres (87 ft.) for proposed Lot 7;
  - (c) In Subsection H.5 Off-Street Parking of Part 21A "Multiple Residential 23 Zone (RM-23)", the minimum separation distance between the principal dwelling and an accessory building is reduced from 6.0 metres (20 ft.) to 5.5 metres (18 ft.) for proposed Lot 7;
  - (d) Subsection H.5 Off-Street Parking of Part 16B "Single Family Residential (13) Zone (RF-13)" is varied to permit a front access side-by-side double garage on a lot less than 13.4 metres (44 ft.) in width for proposed Lots 15-17; and
  - (e) In Subsection F. Yards and Setbacks of Part 16B "Single Family Residential (13) Zone (RF-13)", the minimum rear yard setback for a principal building is reduced from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for proposed Lot 14 for the entire width of the building.
5. The siting of buildings and structures shall be in accordance with the drawings numbered 7916-0258-00 (A) through to including 7916-0258-00 (B) (the "Drawings") which is attached hereto and form part of this development variance permit.
6. This development variance permit applies to only the portion of the land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

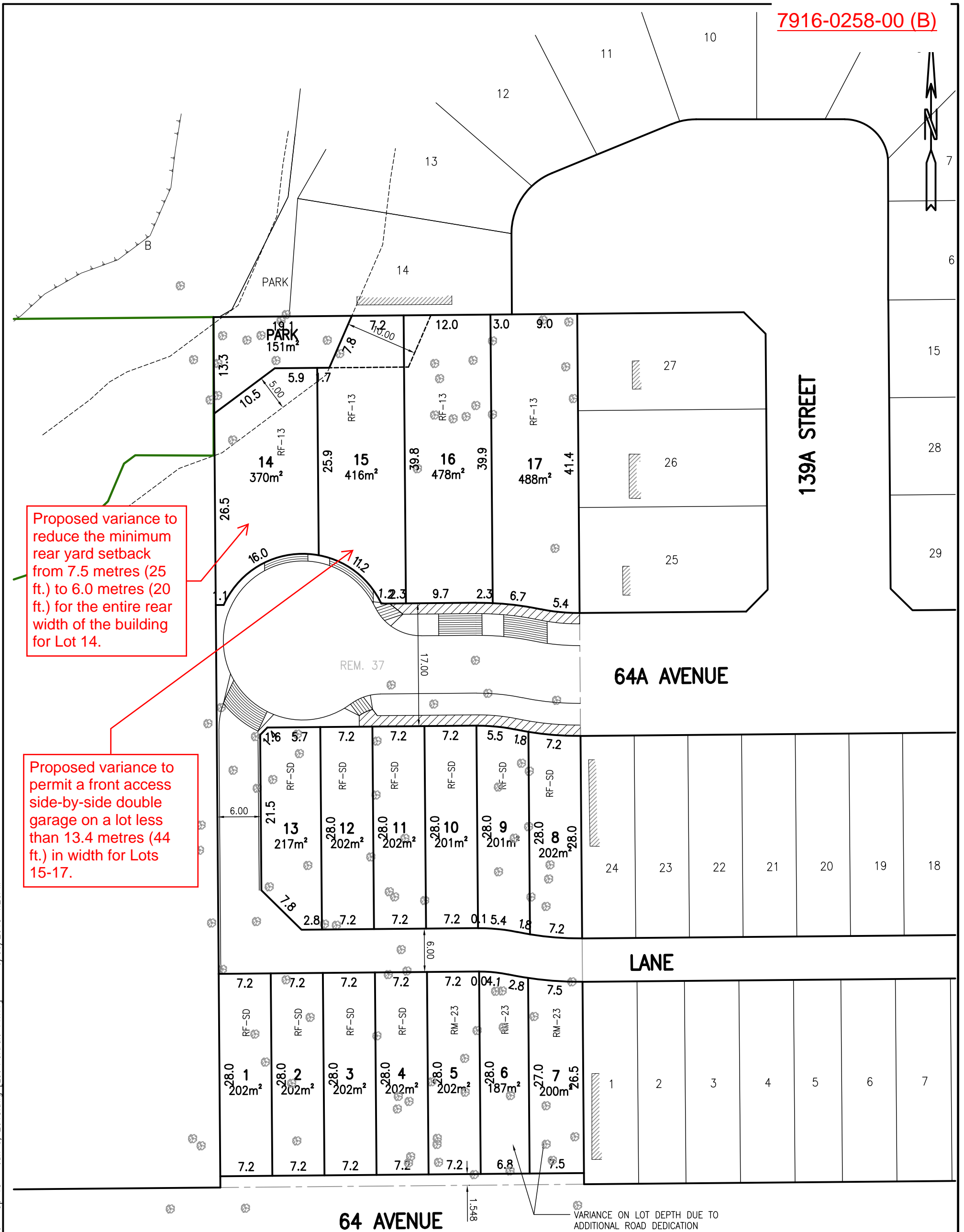
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

\_\_\_\_\_  
Mayor – Doug McCallum

\_\_\_\_\_  
City Clerk





Proposed variance to reduce the minimum rear yard setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for the entire rear width of the building for Lot 14.

Proposed variance to permit a front access side-by-side double garage on a lot less than 13.4 metres (44 ft.) in width for Lots 15-17.

**Hub Engineering Inc.** Member PACIFIC LAND GROUP  
 Engineering and Development Consultants  
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CLIENT:	PROJECT: 13941 - 64 AVE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION		
PROJECT No. 16037	DATE: JUN 2018	LEGAL:	SCALE: 1:500
MUNICIPAL PROJECT No:			

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