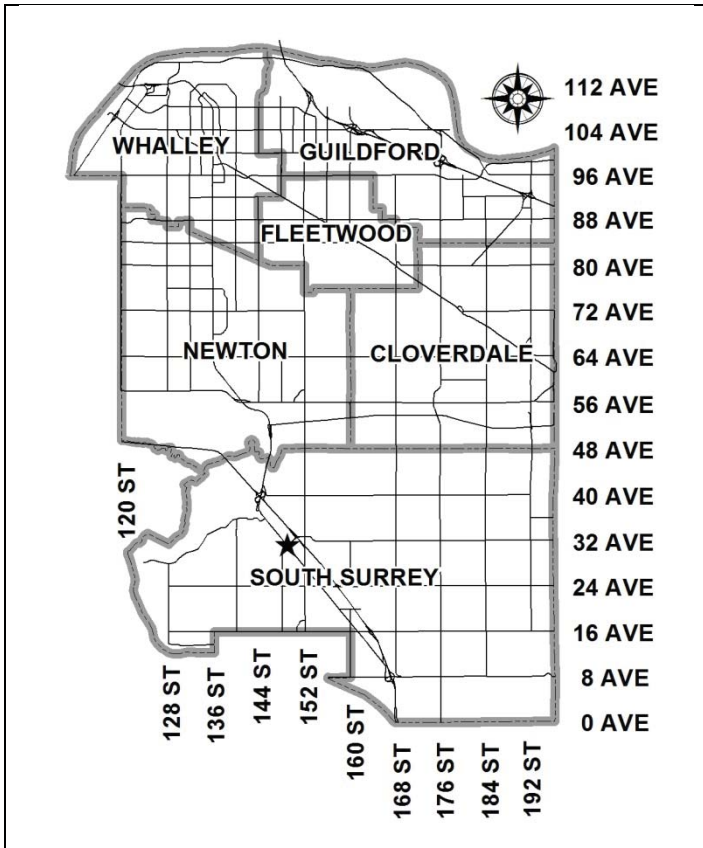


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0245-00

Planning Report Date: October 24, 2016



**PROPOSAL:**

- **Development Permit**

to order to permit the renovation to an existing McDonald's restaurant.

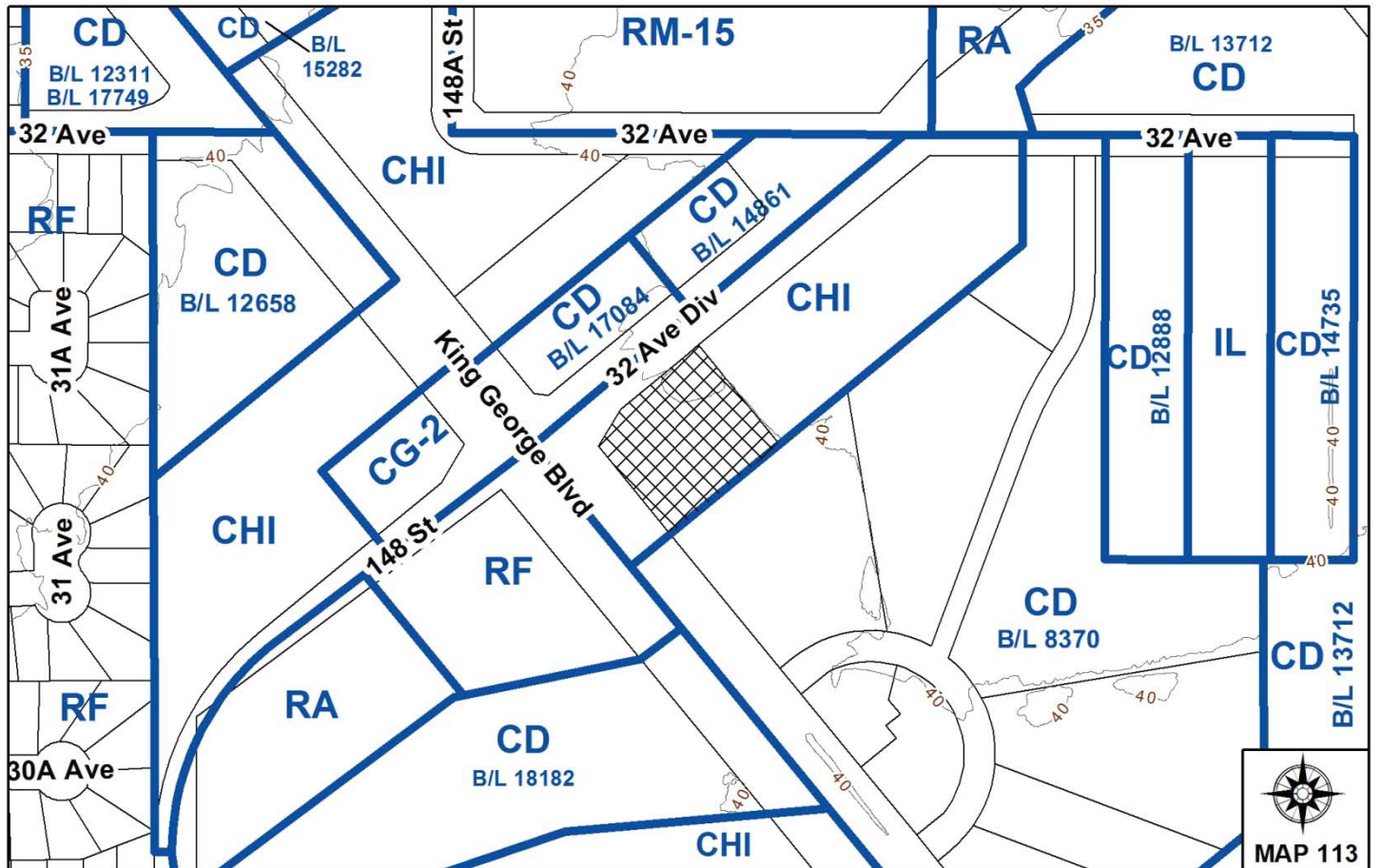
**LOCATION:** 3104 - King George Boulevard

**OWNER:** 384451 B.C. Ltd.

**ZONING:** CHI

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Commercial



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant seeks to vary the Sign By-law to increase the maximum number of fascia signs from two (2) to seven (7), and to permit more than two (2) of these fascia signs to be located on the same façade, through a comprehensive design package.

### RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a new modern design while maintaining elements of the existing building which are high quality and unique to this location in South Surrey.
- While only two (2) fascia signs are permitted under the Surrey Sign By-law, the location and scale of the proposed signage with the façade articulation of the building, is modest and complementary to the building's design.
- The proposed fascia signage is under the maximum sign area permitted under the Sign By-law, and is considered reasonable in relation to the size and scale of the existing building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7916-0245-00 including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's restaurant with drive-through

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
Northwest (Across 32 <sup>nd</sup> Avenue Diversion):	Restaurant and liquor store	Commercial/Commercial	CD By-law No. 17084
Northeast:	Auto dealership	Commercial/Commercial	CHI
Southeast:	South Surrey Auto Mall	Commercial/Commercial	CD By-law No. 8370
Southwest (Across King George Boulevard):	Single family dwelling on acreage	Commercial/Commercial	Split-zoned RF and RA

### DEVELOPMENT CONSIDERATIONS

- The subject site is located at the southeast corner of the King George Boulevard and 32 Avenue Diversion intersection in South Surrey. The property is currently zoned "Highway Commercial Industrial Zone (CHI)", designated "Commercial" in the Official Community Plan (OCP) and "Commercial" in the King George Highway Corridor Local Area Plan (LAP).
- The property has an existing McDonald's restaurant with a drive-through. The 390 square metre (4,200 sq.ft.) restaurant was approved under Development Permit No. 7900-0215-00 on October 16, 2000.
- As part of a branding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intention will be to update all McDonald's restaurants over the coming years to achieve consistent branding and increase visibility of the restaurants with a similar modern form and character of the buildings, and interior designs. In addition to this subject site, there are currently similar Development Permit applications for two other McDonald's restaurants in Cloverdale and City Centre under Development Application Nos. 7916-0181-00 and 7916-0304-00, respectively.
- The applicant is proposing a Development Permit to allow exterior renovations to the existing restaurant. The applicant is also proposing a Comprehensive Sign Design package to allow for the replacement of existing signage and the addition of four (4) fascia signs, for a total of seven (7) new signs.
- The applicant is also proposing to renovate the interior of the restaurant through a Tenant Improvement Building Permit.

### DESIGN PROPOSAL AND REVIEW

- The applicant is proposing a number of exterior modifications and improvements to the existing building, which will provide a more contemporary look to the building.
- The proposed changes to the exterior of the building are intended to implement McDonald's new modern restaurant design while maintaining elements and materials of the existing character of the building. Retaining some of the building's existing design will ensure that the character and high quality design that is unique to this location in South Surrey is maintained. The proposed design retains portions of the metal low-pitched roof, stucco finishing, cultured ledgerstone skirt, aluminum frame glazing storefront, and wood columns. Many of the existing exterior elements and finishes that will be retained will be painted charcoal grey or chestnut brown to implement McDonald's new colour scheme.
- New vertical red "blades" of metal panel with white metal ribbon will be installed onto the fronting (northwest and southwest) elevations as a new key design element to identify the entrances of the restaurant and location of new signage. Similarly, a white metal panel will be installed to identify the two drive-through order pick-up windows on the east façade of the building.

- The existing open patio and wood trellises located on the southwest side of the building will be removed.

### Signage

- Under the original DP, the restaurant installed two "McDonald's" fascia signs comprised of individual channel letters, each facing King George Boulevard (southwest) and 32 Avenue Diversion (northwest). In July of 2014, under Development Variance Permit No. 7914-0108-00, a third fascia sign ("McCafé") was approved on the façade facing 32 Avenue Diversion.
- The applicant proposes four (4) additional fascia signs to the building, for a total of seven (7) signs. The applicant originally proposed ten (10) fascia signs but worked with Planning staff to reduce the total number of signs to seven (7). The applicant indicated that some of the various new signs are considered "sub-brands" identifiable under the McDonald's brand. The existing three (3) signs will be replaced for new signs to be installed on the fronting façades: three (3) on the façade facing King George Boulevard and four (4) facing 32 Avenue Diversion.
- The Sign By-law permits a maximum of two (2) fascia signs per premise and requires that the fascia signs not be located on the same façade. The applicant is therefore proposing a comprehensive sign package for the proposed signage, which includes four (4) variances to the Sign By-law. The variances requested allow for fascia signs to extend above the roof line; four (4) additional fascia signs; to allow more than two (2) fascia signs to be located on the same façade; and to allow more than one fascia sign above the first storey on two (2) façades (see Appendix II for a detailed explanation of the variances).
- The new illuminated fascia signs will consist of "McDonald's" in white individual channel letters and a blue "Open 24 Hours" on the parapet wall. A combination of the yellow golden arch logo with a "McCafé" or a circular "Create Your Taste" sign will be located on each of the red "blades". The combined sign area of all seven (7) new fascia signs on the premise is well below the maximum permitted in the Sign By-law.
- While only two (2) fascia signs are permitted under the Sign By-law, the location and scale of the proposed signage with the façade articulation of the building, is modest and complementary to the building's design. Staff are supportive of the variances as part of a comprehensive sign design package for the subject building.
- The existing free-standing signs located at the two entrances to the site on King George Boulevard and 32 Avenue Diversion, and the directional signage on site will remain unchanged. As well, the existing parking lot, lot lighting, and landscaping on site will remain unchanged.

### PRE-NOTIFICATION

- A Development Proposal Sign was installed on the site on August 18, 2016 to inform adjacent property owners about the proposed development. Staff have not received any comments on this proposal.

ADVISORY DESIGN PANEL

- The proposal was not referred to the Advisory Design Panel (ADP), but was reviewed by staff, including the Acting City Architect, and found to be satisfactory.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Development Permit No. 7916-0245-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

DH/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                    Andrea Scott  
   Lovick Scott Architects Ltd.  
   Address:                    3707 - First Avenue  
   Burnaby, BC V5C 3V6

2.            Properties involved in the Application

(a)      Civic Address:                    3104 - King George Boulevard

(b)      Civic Address:                    3104 - King George Boulevard  
   Owner:                    384451 BC Ltd.  
   Director Information:  
   Bernard Rosenblatt

Officer Information as at March 23, 2016:  
   Bernard Rosenblatt (President, Secretary)  
   PID:     018-575-510  
   Lot 1 Section 22 Township 1 New Westminster District Plan LMP13783

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a fascia sign to extend above the roof line of the building face to which it is attached.	A fascia sign must not extend above the roof life of the building face to which it is attached [Part 1, Section 6(1.3)]	The two (2) proposed golden arch logos are proposed on red “blades” which are complementary to the façade articulation.
2	To allow four (4) additional fascia signs for a total of seven (7) fascia signs.	A maximum of two (2) fascia signs are permitted for each premises [Part 5, Section 27(2)(a)]	The proposed fascia signs are of an appropriate size and scale in relation to the proposed renovated building.
3	To allow more than two (2) fascia signs to be installed on the same building façade (northwest and southwest).	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises [Part 5, Section 27(2)(a)]	Four (4) fascia signs are proposed on the northeast façade and three (3) fascia signs are proposed on the southwest façade, which are appropriately located with the design of the façades.
4	To allow more than one (1) sign to be located above the first storey on two (2) façades of the building.	A maximum of one (1) fascia sign per frontage is permitted above the first storey to identify the name and/or address of the building, provided no more than one (1) fascia sign be permitted on any one façade of the building above the first storey [Part 5, Section 27(2)(a.1)(i)]	The two (2) “McDonald’s” signs located on the northeast and southwest elevations are set back from the principal façade and reasonable in relation to the size and scale of the existing building.



CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7916-0245-00

Issued To: 384451 B.C. LTD.  
("the Owner")

Address of Owner: 1676 - Martin Drive, Unit 300  
Surrey, BC V4A 6E7

**A. General Provisions**

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-575-510  
Lot 1 Section 22 Township 1 New Westminster District Plan LMP13783

3104 - King George Boulevard

(the "Land")

3. This development permit applies to only the portion of the buildings and structures on the Land shown on Schedule A which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

**B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7916-0245-00 (1) through to and including 7916-0245-00 (9) (the "Drawings") which are attached hereto and form part of this development permit.

2. Signage shall be installed in conformance with the Drawings numbered 7916-0245-00 (10) through to and including 7916-0245-00 (14) (the "Signage").
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

#### **C. Variances**

The issuance of a development permit limits activity on the Land to that of strict compliance with all City bylaws, unless specific variances have been authorized by the development permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations or within reports which are inconsistent with City bylaw provisions and which have not been identified as variances below:

1. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as outlined on Schedule A which is attached hereto and forms part of this development permit, and as shown on the comprehensive sign design package Drawing labelled 7916-0245-00 (I) through to and including 7916-0245-00 (M).

#### **D. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

  
\_\_\_\_\_  
Authorized Agent: (Signature)

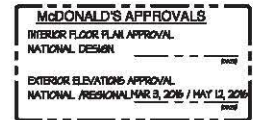
REILEN REYES  
\_\_\_\_\_  
Name: (Please Print)

## Sign By-law Variances

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a fascia sign to extend above the roof line of the building face to which it is attached.	A fascia sign must not extend above the roof life of the building face to which it is attached [Part 1, Section 6(1.3)]	The two (2) proposed golden arch logos are proposed on red “blades” which are complementary to the façade articulation.
2	To allow one (4) additional fascia sign for a total of seven (7) fascia signs.	A maximum of two (2) fascia signs are permitted for each premises [Part 5, Section 27(2)(a)]	The proposed fascia signs are of an appropriate size and scale in relation to the proposed renovated building.
3	To allow more than two (2) fascia signs to be installed on the same building façade (northwest and southwest).	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises [Part 5, Section 27(2)(a)]	Four (4) fascia signs are proposed on the northeast façade and three (3) fascia signs are proposed on the southwest façade, which are appropriately located with the design of the façades.
4	To allow more than more one (1) sign to be located above the first storey on two (2) façades of the building.	A maximum of one (1) fascia sign per frontage is permitted above the first storey to identify the name and/or address of the building, provided no more than one (1) fascia sign be permitted on any one façade of the building above the first storey [Part 5, Section 27(2)(a.1)(i)]	The two (2) “McDonald’s” signs located on the northeast and southwest elevations are set back from the principal façade and reasonable in relation to the size and scale of the existing building.

# McDonald's®

LOT 1, SECTION 22, TOWNSHIP 1, PLAN LMP 13783, NWD PART NE 1/4  
3104 KING GEORGE HIGHWAY, SURREY, B.C.



## DRAWING / CONSULTANT LIST:

### ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.  
3707 1st AVENUE  
BURNABY, B.C., V5C 3V6  
(tel) 604.298.3700  
(fax) 604.298.6081  
(e-mail) ascott@lovickscott.com  
reyes@lovickscott.com

- A0.C COVER SHEET
- A0.1 GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS
- A0.2 WALL & SIGNAGE SCHEDULE
- AS0.0 CONTEXT PHOTOS
- AS1.0 SITE PLAN (EXISTING)
- A1.0 EXISTING / DEMO FLOOR PLAN
- A1.1 PROPOSED FLOOR PLAN
- A1.4 EXISTING / DEMO ROOF PLAN
- A1.5 PROPOSED ROOF PLAN
- A2.0 EXISTING & PROPOSED NORTH ELEVATIONS
- A2.1 EXISTING & PROPOSED WEST ELEVATIONS
- A2.2 EXISTING & PROPOSED SOUTH ELEVATIONS
- A2.3 EXISTING & PROPOSED EAST ELEVATIONS
- A2.4 COLOURED ELEVATIONS
- A2.5 PERSPECTIVES
- A3.0 BUILDING SECTIONS (A&B)
- A 3.1 BUILDING SECTIONS (C)

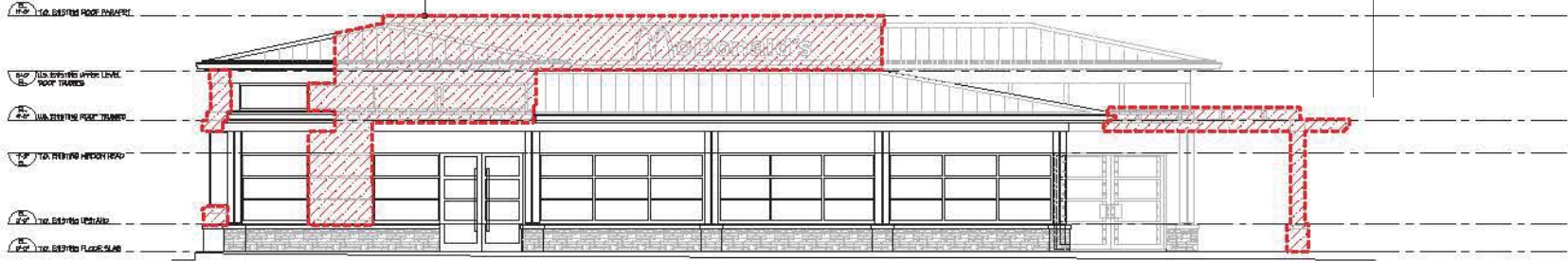




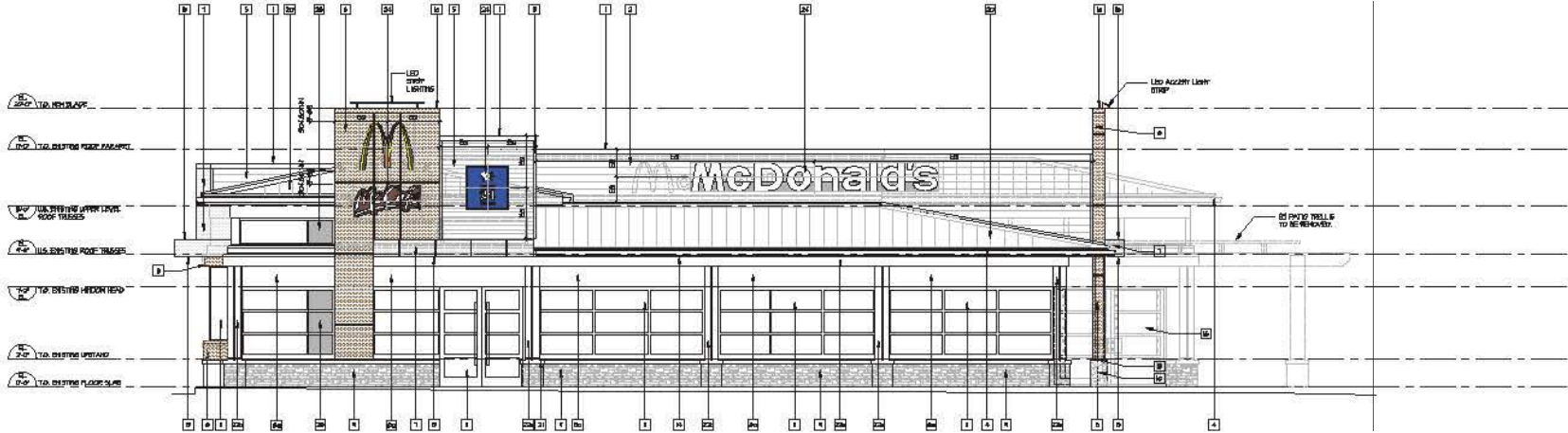




SHAVED AREA DENOTES APPROX. EXTENT OF RENOVATION EXTERIOR TO BE REPAIRED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO TENDER. REFER TO PROPOSED ELEVATION FOR RENOVATION ITEMS TO BE REMOVED, REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.



1 EXISTING NORTH ELEVATION  
A2.0 / SCALE 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
A2.0 / SCALE 1/4" = 1'-0"

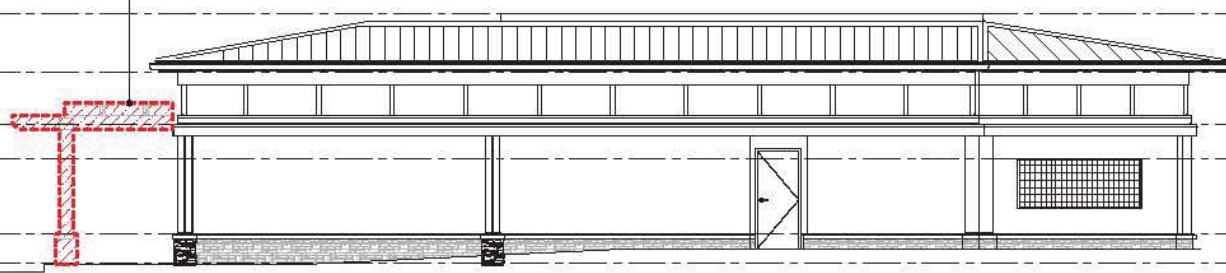
- ELEVATION NOTES:**
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW
  - 1. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED, ARE TO BE REPAIRED AND DISPOSED BY OLC. PATCH & REPAIRS TO BE AS NOTED EXTERIOR FINISHES BY RENOVATOR.
  - 2. DOOR THRESHOLS & ALUMINUM CLASSED DOORS NOTED TO BE REMOVED AND TO BE REPAIRED AND DISPOSED BY OLC, WHERE NOTED TO BE RELOCATED. NEW THRESHOLS TO BE ORDERED BY EXISTING WINDOW SITE VISAS PRIOR TO ORDERING NEW WINDOWS.
  - 3. REMOVE ALL EXISTING ELECTRICAL CONDUITS, JUNCTION BOXES, DISTRIBUTION MALL, MOUNTED OR SOFFIT LIGHTS TO BE REMOVED TO MATCH AND REINSTALL IN SAME LOCATION AFTER.
  - 4. EXISTING EXTERIOR LIGHTING TO MATCH EXISTING LIGHTING NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND NOTES.
  - 5. EXISTING METAL ROOFING SHEATHING, FLASHING, GUTTERS, BAYS & CAP FLASHING NOTED TO BE REMOVED TO BE REPAIRED BY RENOVATOR AS REQUIRED. ALL EXTERIOR DAMAGED TO BE REPAIRED BY RENOVATOR.
  - 6. OLC TO VERIFY ALL EXISTING VAPOR BARRIER, INSULATION AND INSULATOR TO DETERMINE IF REPAIRS WILL BE REQUIRED. IF ANY NOT OK HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
  - 7. EXISTING UNILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. OLC TO PATCH & REPAIR EXTERIOR FINISHES BY RENOVATOR AS NOTED AND COORDINATE PATCHES/SUPPORTS WITH SIGN COMPANY.
  - 8. HIGH WALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
  - 9. PATCH ANY EXISTING DAMAGED SURFACES TO MATCH EXISTING. ALL VOICES AND GROUNDS TO BE SPOT GROUTED PRIOR TO PAINTING.
  - 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO BE PAINTED.
  - 11. REMOVE EXISTING SIGNAGE TO BE REMOVED FROM BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
  - 12. PATCH UP PAINTS OF ROOF RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED PER BUILDING CODES - OLC TO OBTAIN & GROUND CHAIRS PER MANUFACTURER'S INSTRUCTIONS.
  - 13. ALL EXTERIOR WALLS TO BE REMOVED TO BE PAINTED WHITE. REFER TO EXTERIOR FINISHES FOR SPECIFICATIONS AND NOTES.
  - 14. REMOVE ALL EXISTING BRICKWORK AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REPAIRS.
  - 15. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
  - 16. REFER TO EXTERIOR FINISH SPECIFICATION OR DRAWING A/C.

- EXTERIOR FINISHES**
- | MATERIAL  | COLOR  | MATERIAL  | COLOR                      |
|---|--|---|----------------------------|
| 1. CORRUGATED METAL CAP FLASHING                      | CHARCOAL GRAY OR TO MATCH ADJACENT FINISHES AS NOTED | 12. CORRUGATED METAL CAP FLASHING (EXISTING)                | PAINTED DULUX PRIME NEG 40 |
| 2. HORIZONTAL METAL SCREWS                            | CHARCOAL GRAY (AS NOTED)                             | 13. CORRUGATED METAL BASE / TRIM WALL FLASHING              | CHARCOAL GRAY              |
| 3. 4" FIBER CEMENT TRIM - SHIMON + SHIP METHOD        | DULUX PRIME GEMSTONE (BROWN NEG 27)                  | 14. CORRUGATED METAL PANEL GUTTER - ROOF                    | TRIM PAINT                 |
| 4. METAL GUTTER EXISTING                              | PAINTED DULUX PRIME NEG 44                           | 15. METAL PANEL ROOFING - ACCESS                            | TRIM PAINT                 |
| 5. FIBER CEMENT LAP SIDING                            | DULUX PRIME GEMSTONE (BROWN NEG 27)                  | 16. METAL JOISTS & TRIMMER (EXISTING) METAL SHEET           | PAINTED DULUX PRIME NEG 40 |
| 6. METAL PANEL - RED                                  | RED TRIM   | 17. ALUMINUM STANDING SEAM ROOFING FRAMES TO MATCH EXISTING | BRUSHED ANODIZED           |
| 7. METAL PANEL / ROOFING - WHITE                      | WHITE TRIM   | 18. 1" HOLLOW HEAD FLASHING                                 | BRUSHED ANODIZED           |
| 8. BRICK EXISTING                                     | BRICK TRIM   | 19. METAL ROOF EXISTING - DARK GREY                         | PAINTED DULUX PRIME NEG 44 |
| 9. MANUFACTURER (EXISTING) - DARK GREY                | PAINTED DULUX PRIME NEG 40                           | 20. CORRUGATED METAL CAP FLASHING                           | CHARCOAL GRAY              |
| 10. CORRUGATED SHEET                                  | STAINED - 1/2" CHARCOAL GREY                         | 21. HOOD TRIM (EXISTING)                                    | PAINTED DULUX PRIME NEG 44 |
| 11. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 22. MANUFACTURER (EXISTING)                                 | PAINTED DULUX PRIME NEG 44 |
| 12. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 23. STAINED - 1/2" CHARCOAL GREY                            | PAINTED DULUX PRIME NEG 44 |
| 13. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 24. BRICK EXISTING  | BRICK TRIM                 |
| 14. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 25. BRICK EXISTING  | BRICK TRIM                 |
| 15. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 26. BRICK EXISTING  | BRICK TRIM                 |
| 16. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 27. BRICK EXISTING  | BRICK TRIM                 |
| 17. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 28. BRICK EXISTING  | BRICK TRIM                 |
| 18. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 29. BRICK EXISTING  | BRICK TRIM                 |
| 19. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 30. BRICK EXISTING  | BRICK TRIM                 |
| 20. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 31. BRICK EXISTING  | BRICK TRIM                 |
| 21. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 32. BRICK EXISTING  | BRICK TRIM                 |
| 22. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 33. BRICK EXISTING  | BRICK TRIM                 |
| 23. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 34. BRICK EXISTING  | BRICK TRIM                 |
| 24. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 35. BRICK EXISTING  | BRICK TRIM                 |
| 25. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 36. BRICK EXISTING  | BRICK TRIM                 |
| 26. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 37. BRICK EXISTING  | BRICK TRIM                 |
| 27. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 38. BRICK EXISTING  | BRICK TRIM                 |
| 28. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 39. BRICK EXISTING  | BRICK TRIM                 |
| 29. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 40. BRICK EXISTING  | BRICK TRIM                 |
| 30. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 41. BRICK EXISTING  | BRICK TRIM                 |
| 31. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 42. BRICK EXISTING  | BRICK TRIM                 |
| 32. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 43. BRICK EXISTING  | BRICK TRIM                 |
| 33. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 44. BRICK EXISTING  | BRICK TRIM                 |
| 34. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 45. BRICK EXISTING  | BRICK TRIM                 |
| 35. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 46. BRICK EXISTING  | BRICK TRIM                 |
| 36. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 47. BRICK EXISTING  | BRICK TRIM                 |
| 37. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 48. BRICK EXISTING  | BRICK TRIM                 |
| 38. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 49. BRICK EXISTING  | BRICK TRIM                 |
| 39. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 50. BRICK EXISTING  | BRICK TRIM                 |
| 40. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 51. BRICK EXISTING  | BRICK TRIM                 |
| 41. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 52. BRICK EXISTING  | BRICK TRIM                 |
| 42. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 53. BRICK EXISTING  | BRICK TRIM                 |
| 43. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 54. BRICK EXISTING  | BRICK TRIM                 |
| 44. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 55. BRICK EXISTING  | BRICK TRIM                 |
| 45. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 56. BRICK EXISTING  | BRICK TRIM                 |
| 46. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 57. BRICK EXISTING  | BRICK TRIM                 |
| 47. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 58. BRICK EXISTING  | BRICK TRIM                 |
| 48. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 59. BRICK EXISTING  | BRICK TRIM                 |
| 49. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 60. BRICK EXISTING  | BRICK TRIM                 |
| 50. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 61. BRICK EXISTING  | BRICK TRIM                 |
| 51. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 62. BRICK EXISTING  | BRICK TRIM                 |
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| 53. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 64. BRICK EXISTING  | BRICK TRIM                 |
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| 55. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 66. BRICK EXISTING  | BRICK TRIM                 |
| 56. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 67. BRICK EXISTING  | BRICK TRIM                 |
| 57. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 68. BRICK EXISTING  | BRICK TRIM                 |
| 58. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 69. BRICK EXISTING  | BRICK TRIM                 |
| 59. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 70. BRICK EXISTING  | BRICK TRIM                 |
| 60. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 71. BRICK EXISTING  | BRICK TRIM                 |
| 61. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 72. BRICK EXISTING  | BRICK TRIM                 |
| 62. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 73. BRICK EXISTING  | BRICK TRIM                 |
| 63. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 74. BRICK EXISTING  | BRICK TRIM                 |
| 64. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 75. BRICK EXISTING  | BRICK TRIM                 |
| 65. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 76. BRICK EXISTING  | BRICK TRIM                 |
| 66. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 77. BRICK EXISTING  | BRICK TRIM                 |
| 67. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 78. BRICK EXISTING  | BRICK TRIM                 |
| 68. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 79. BRICK EXISTING  | BRICK TRIM                 |
| 69. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 80. BRICK EXISTING  | BRICK TRIM                 |
| 70. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 81. BRICK EXISTING  | BRICK TRIM                 |
| 71. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 82. BRICK EXISTING  | BRICK TRIM                 |
| 72. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 83. BRICK EXISTING  | BRICK TRIM                 |
| 73. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 84. BRICK EXISTING  | BRICK TRIM                 |
| 74. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 85. BRICK EXISTING  | BRICK TRIM                 |
| 75. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 86. BRICK EXISTING  | BRICK TRIM                 |
| 76. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 87. BRICK EXISTING  | BRICK TRIM                 |
| 77. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 88. BRICK EXISTING  | BRICK TRIM                 |
| 78. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 89. BRICK EXISTING  | BRICK TRIM                 |
| 79. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 90. BRICK EXISTING  | BRICK TRIM                 |
| 80. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 91. BRICK EXISTING  | BRICK TRIM                 |
| 81. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 92. BRICK EXISTING  | BRICK TRIM                 |
| 82. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 93. BRICK EXISTING  | BRICK TRIM                 |
| 83. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 94. BRICK EXISTING  | BRICK TRIM                 |
| 84. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 95. BRICK EXISTING  | BRICK TRIM                 |
| 85. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 96. BRICK EXISTING  | BRICK TRIM                 |
| 86. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 97. BRICK EXISTING  | BRICK TRIM                 |
| 87. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 98. BRICK EXISTING  | BRICK TRIM                 |
| 88. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 99. BRICK EXISTING  | BRICK TRIM                 |
| 89. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 100. BRICK EXISTING   | BRICK TRIM                 |
| 90. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 101. BRICK EXISTING   | BRICK TRIM                 |
| 91. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 102. BRICK EXISTING   | BRICK TRIM                 |
| 92. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 103. BRICK EXISTING   | BRICK TRIM                 |
| 93. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 104. BRICK EXISTING   | BRICK TRIM                 |
| 94. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 105. BRICK EXISTING   | BRICK TRIM                 |
| 95. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 106. BRICK EXISTING   | BRICK TRIM                 |
| 96. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 107. BRICK EXISTING   | BRICK TRIM                 |
| 97. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 108. BRICK EXISTING   | BRICK TRIM                 |
| 98. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 109. BRICK EXISTING   | BRICK TRIM                 |
| 99. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING)  | BRUSHED ANODIZED, REPAIR AS IS                       | 110. BRICK EXISTING   | BRICK TRIM                 |
| 100. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 111. BRICK EXISTING   | BRICK TRIM                 |
| 101. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 112. BRICK EXISTING   | BRICK TRIM                 |
| 102. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 113. BRICK EXISTING   | BRICK TRIM                 |
| 103. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 114. BRICK EXISTING   | BRICK TRIM                 |
| 104. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 115. BRICK EXISTING   | BRICK TRIM                 |
| 105. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 116. BRICK EXISTING   | BRICK TRIM                 |
| 106. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 117. BRICK EXISTING   | BRICK TRIM                 |
| 107. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 118. BRICK EXISTING   | BRICK TRIM                 |
| 108. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 119. BRICK EXISTING   | BRICK TRIM                 |
| 109. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 120. BRICK EXISTING   | BRICK TRIM                 |
| 110. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 121. BRICK EXISTING   | BRICK TRIM                 |
| 111. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 122. BRICK EXISTING   | BRICK TRIM                 |
| 112. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 123. BRICK EXISTING   | BRICK TRIM                 |
| 113. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 124. BRICK EXISTING   | BRICK TRIM                 |
| 114. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 125. BRICK EXISTING   | BRICK TRIM                 |
| 115. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 126. BRICK EXISTING   | BRICK TRIM                 |
| 116. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 127. BRICK EXISTING   | BRICK TRIM                 |
| 117. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 128. BRICK EXISTING   | BRICK TRIM                 |
| 118. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 129. BRICK EXISTING   | BRICK TRIM                 |
| 119. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 130. BRICK EXISTING   | BRICK TRIM                 |
| 120. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 131. BRICK EXISTING   | BRICK TRIM                 |
| 121. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 132. BRICK EXISTING   | BRICK TRIM                 |
| 122. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 133. BRICK EXISTING   | BRICK TRIM                 |
| 123. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 134. BRICK EXISTING   | BRICK TRIM                 |
| 124. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 135. BRICK EXISTING   | BRICK TRIM                 |
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| 126. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 137. BRICK EXISTING   | BRICK TRIM                 |
| 127. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 138. BRICK EXISTING   | BRICK TRIM                 |
| 128. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 139. BRICK EXISTING   | BRICK TRIM                 |
| 129. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 140. BRICK EXISTING   | BRICK TRIM                 |
| 130. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 141. BRICK EXISTING   | BRICK TRIM                 |
| 131. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 142. BRICK EXISTING   | BRICK TRIM                 |
| 132. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 143. BRICK EXISTING   | BRICK TRIM                 |
| 133. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 144. BRICK EXISTING   | BRICK TRIM                 |
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| 146. ALUMINUM STANDING SEAM ROOFING FRAMES (EXISTING) | BRUSHED ANODIZED, REPAIR AS IS                       | 157. BRICK EXISTING   | BRICK TRIM                 |
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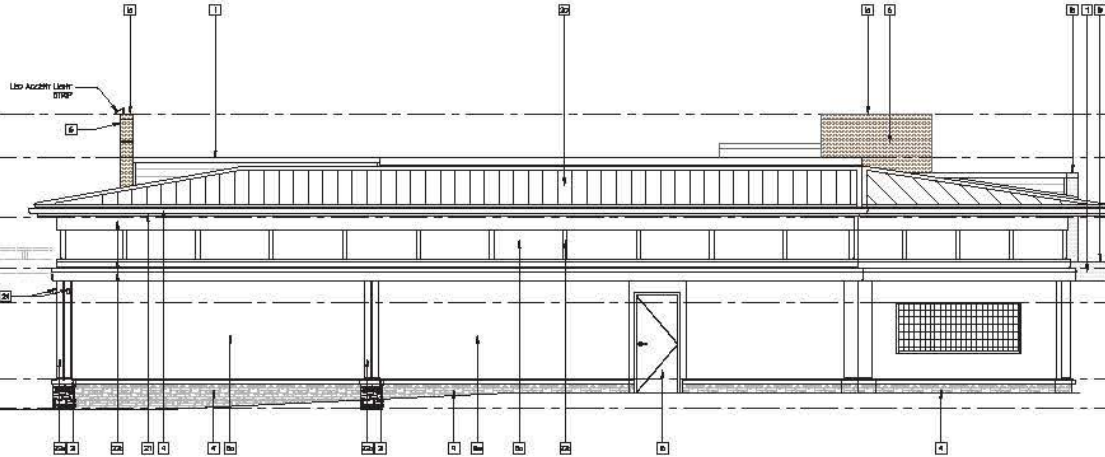




SHAVED AREA DENOTES APPROX. EXTENT OF EXISTING STRUCTURE TO BE REMOVED. O.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO FIXING. REFER TO PROPOSED ELEVATION FOR NEW FINISHES. ITEMS TO REMAIN TO BE REMOVED REPAIRED AND DETAILS FOR FURTHER CLARIFICATION.



1 EXISTING SOUTH ELEVATION  
A22 / SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
A22 / SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED. ARE TO BE REMOVED AND REPLACED BY O.C. PATCH & REPAIRS. ARE AS NOTED EXISTING FINISHED BY THE ARCH.
- 2. EXISTING WINDOWS & ALUMINUM CLASSED DOORS NOTED TO BE REMOVED AND TO BE REPLACED AND OVERLAP BY O.C. WHERE NOTED TO BE REPLACED. NEW HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOWNWELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REPAIRS. (SEE LOCATION ATTEN.)
- 4. EXISTING EXTERIOR LIGHTING TO LAMP ROOF LIGHT DENIES NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND NOTES.
- 5. EXISTING METAL ROOFING SHEATHING, FLASHING, GUTTERS, RAFTERS AND CAP FLASHING NOTED TO BE REMOVED TO BE REPLACED BY O.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING SHEATHING TO BE REMOVED AND INSULATION TO BE REPLACED BY O.C. PATCH & REPAIR. IF ANY ROT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- 6. EXISTING UNILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWING FOR ELECTRICAL ENGINEER'S REQUIREMENTS. O.C. TO PATCH & REPAIR EXISTING FINISHED BY THE ARCH. AS NOTED AND COORDINATE DOWNWELLS/SUPPORTS WITH SHER COMPANY.
- 7. PATCH ANY EXISTING DAMAGED SURFACES TO MATCH EXISTING. ALL VOICES AND GRANITE TO BE SPOT REPAIRED PRIOR TO PAINTING.
- 8. CLEAN AND REPAIR AS NECESSARY. ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 9. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 10. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED WHITE. (SEE LOCATION ATTEN.)
- 11. PROTECT ROOFING OF ROOF RAIL & GUTTER IS CALICULATED WILL BE REQUIRED TO BE CLEANED PER BUILDING CODE 1900 - 10.11.1 & GRADED OVERLAP PER MANUFACTURER'S INSTRUCTIONS.
- 12. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED WHITE. (SEE LOCATION ATTEN.)
- 13. REMOVE ALL EXISTING WINDOW SHIMMS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REPAIRS.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. REFER TO EXTERIOR FINISH SPECIFICATION OR DRAWING A/C.

EXTERIOR FINISHES			
MATERIAL	COLOR	MATERIAL	COLOR
1. UNPAINTED METAL CAP FLASHING	CHARCOAL GR-8070 OR TO MATCH ADJACENT FINISHES AS NOTED OR 1017 WHITE	12. PREFINISHED METAL CAP FLASHING (EXISTING)	PAINTEG DALKY PRHT NEG 40
3. HORIZONTAL METAL SCRE. (C&B)	CHARCOAL GR-8070 (S&M) 20	13. PREFINISHED METAL BASE / TRIM WALL FLASHING	CHARCOAL GR-8070
4. 1/4" FIBER CEMENT TRIM - SMOOTH - 3/8" METH	DALKY PRHT (CHARCOAL GR-8070) NEG 21	14. PREFINISHED METAL PANEL SOFFIT - ALUMI	1017 WHITE
5. METAL GUTTER EXISTING	PAINTEG DALKY PRHT NEG 44	15. METAL PANEL - ROOF - ALUMI	1017 WHITE
6. FIBER CEMENT LAMP SOFFIT	DALKY PRHT (CHARCOAL GR-8070) NEG 21	16. METAL JACKS & TRIMMS (EXISTING) METAL GR	PAINTEG DALKY PRHT NEG 40
7. METAL PANEL - RED	1017 RED	17. ALUMINUM STRENGTHEN DOOR/WINDOW FRAMES TO MATCH EXISTING	BRONZE ANODIZED
8. METAL PANEL - WHITE	1017 WHITE	18. WINDOW HEAD FLASHING	BRONZE ANODIZED
9. STICCO EXISTING	AS NOTED	19. WINDOW SILL FLASHING	BRONZE ANODIZED
10. GUTTER SMOKE	STAINED - 1/4"X4" CHARCOAL GR-8070	20. METAL TRIM EXISTING - DARK GR	PAINTEG DALKY PRHT NEG 44
11. ALUMINUM STRENGTHEN DOOR/WINDOW FRAMES EXISTING	BRONZE ANODIZED. REPAIR AS IS.	21. CONCRETE SMOKE CAP EXISTING	STAINED - 1/4"X4" CHARCOAL GR-8070
		22. HOOD TRIM (EXISTING)	AS NOTED DALKY PRHT NEG 44
		23. HOLLAND GR	AS NOTED DALKY PRHT (CHARCOAL GR-8070) NEG 21
		24. SIGNAGE	SEE RESPONSIBILITY CHART
		25. HANDED/ACCENT STAIRS TO MATCH EXISTING	STAINED - 1/4"X4" CHARCOAL GR-8070
		26. CONCRETE SMOKE CAP (TO MATCH EXISTING)	SEE R3
		27. METAL FRAMA BOARD EXISTING	PAINTEG DALKY PRHT NEG 44
		28. ALUMINUM STRENGTHEN WINDOW FRAMES TO MATCH EXISTING	SEE ONE. AND SPECIFICATIONS
		29. HALL PASS LIGHTING (EXISTING)	TO REMAIN. SEE ELECTRICAL DRAWG.

PROPOSED ELEV. LEGEND:

- 1017 UNIVERSAL PAINTER
- 1017 (SEE O.C. PATCH, ACCESS, HATCHES, ETC. TO BE REMOVED)

- ALL INTERIORS ARE REMOVED  
- REFER TO EXTERIOR FINISH SPECIFICATIONS OR DRAW A/C.  
- ALL INTERIORS FINISHING TO BE O.C. PATCH & REPAIR.  
- SEE O.C. PATCH & REPAIR FOR COMPLETE DETAILS.

REVISION	DATE	DESCRIPTION

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 0G6

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
 BURNABY, B.C. V5C 3V8  
 A B I N @ L O V I C K S C O T T . C O M  
 P: 604 288-8708 F: 604 288-8041  
 MEMBER OF THE AIA, CMAA, AAA, NRTAA & RAC

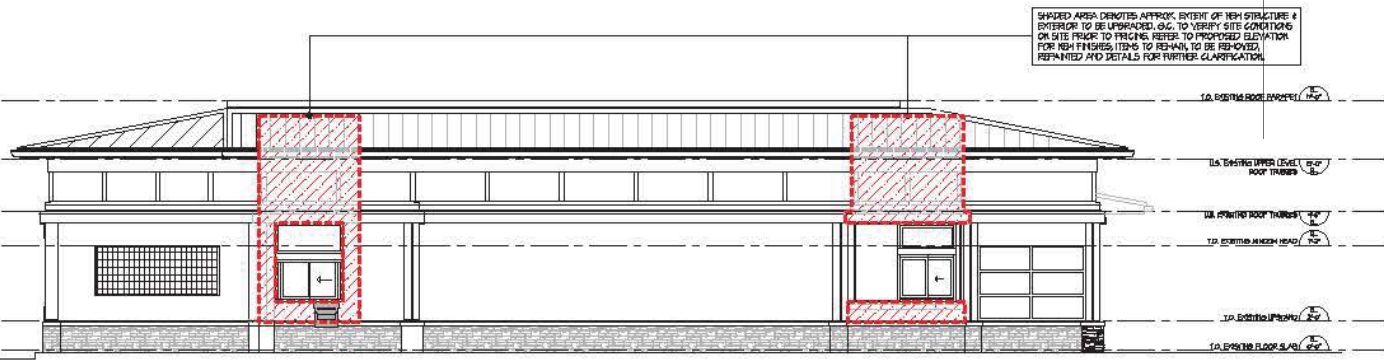
McDonald's Restaurant  
 5104 KING GEORGE HIGHWAY,  
 SURREY, BC

EXISTING & PROPOSED SOUTH ELEVATIONS

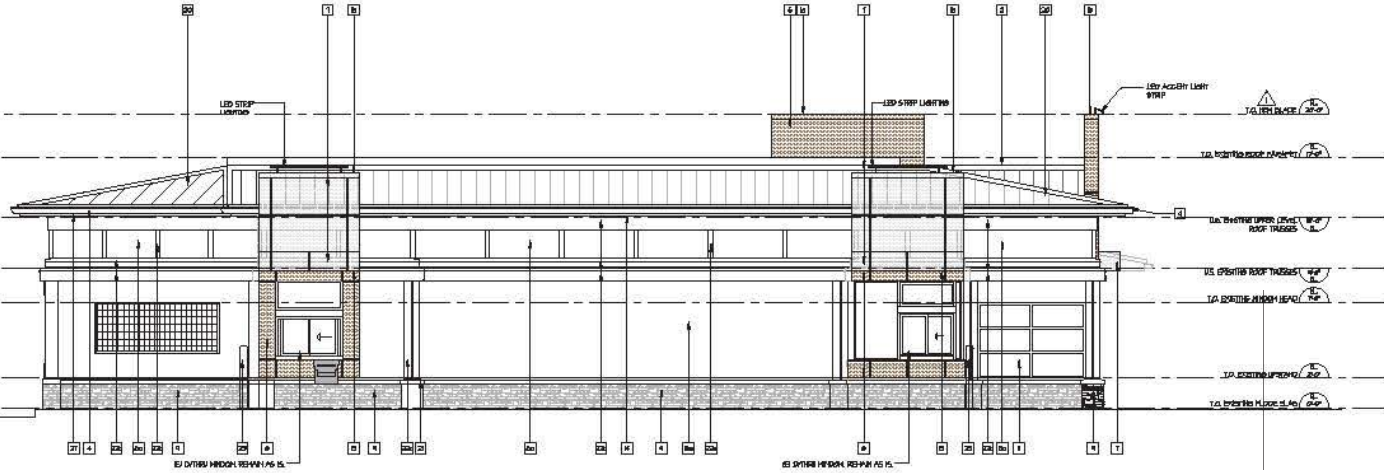
DATE	A22
SCALE	1/4" = 1'-0"
DATE	FEBRUARY 2016

SOUTH: SURREY - 16/04





1 EXISTING EAST ELEVATION  
A23 SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
A23 SCALE 1/4" = 1'-0"

- ELEVATION NOTES:**
- REFER TO ROOF OF WORK BEFORE APPLYING THESE NOTES
  - 1. EXTERIOR WALL GLAZING, SOFFIT GLAZING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY S.C. PATCH & REPAIRWORK AS TO REPAIRS TO BE COVERED BY NEW WORK
  - 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY S.C. PATCH & REPAIRWORK AS TO REPAIRS TO BE COVERED BY NEW WORK
  - 3. REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOORBELLS, HALL LIGHTS OR SOFFIT LIGHTS TO REMAIN PRIOR TO PARTING AND REMOVAL. IN SAME LOCATION AFTER.
  - 4. EXISTING EXTERIOR LIGHTS INCLUDING ROOF LIGHT DECKS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIRED WIRE PANEL AND REPAIR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND NOTES.
  - 5. EXISTING METAL ROOFING SHEATHING, FLASHING, GUTTERS, DRL'S AND CAP FLASHING NOTED TO BE REMOVED TO BE REPAIRED BY S.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
  - 6. S.C. TO VERIFY ALL EXISTING VAPOR BARRIERS, SHEATHING FLASHING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF NOT NOT OR HOLD IN DISPOSED PRODUCT IN ACCORDANCE WITH THE NOTED IMMEDIATELY FOR REDEMPTION INSTRUCTIONS.
  - 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWING FOR ELECTRICAL ENGINEER'S REQUIREMENTS. S.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK. AS NOTED AND COORDINATE BACKLASH SUPPORT WITH BURL COMPANY.
  - 8. HIGH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
  - 9. PATCH ANY EXISTING DAMAGED CONCRETE TO MATCH EXISTING. ALL Voids AND GASKETS TO BE EPDM GROUTED PRIOR TO PARTING.
  - 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
  - 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PARTING. REPLACE SIGNAGE UPON COMPLETION.
  - 12. PRIOR TO PARTING IF ROOF RAIL & GUTTER IS BALANCED WILL BE REQUIRED TO BE CLEANED WITH BURNING HOOPS AND - IN ALL & GRADED CHAIR FOR PER MANUFACTURER'S INSTRUCTIONS.
  - 13. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED SAFETY YELLOW.
  - 14. ALL EXISTING SOFFITS TO REMAIN TO BE PAINTED INTERIOR-GRADE WHITE.
  - 15. REMOVE ALL EXISTING BRICKWORK AND GROUND WALL. MOUNTED FINISHED PRIOR TO PAINTING AND REFINISHED.
  - 16. EXISTING ACCESS PANELS ARE TO BE PARTED TO MATCH ADJACENT SURFACES.
  - 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A-01.

- 12. PREFABRICATED METAL PANEL SYSTEM - ALUMINUM
- 13. METAL PANEL SYSTEM - ALUMINUM
- 14. ALUMINUM STOREFRONT DOOR/SCREEN FRAMES TO MATCH EXISTING
- 15. HORIZONTAL METAL BRINE PANEL
- 16. METAL PANEL SYSTEM - ALUMINUM
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MATERIAL		EXTERIOR FINISHES	
	COLOUR		COLOUR
1	*PREFABRICATED METAL CAP FLASHING	12	PREFABRICATED METAL PANEL SYSTEM - ALUMINUM
2	HORIZONTAL METAL BRINE PANEL	13	PREFABRICATED METAL PANEL SYSTEM - ALUMINUM
3	4" FLOOR GROUND TRIM - BRUSHED 1/2" METAL	14	ALUMINUM STOREFRONT DOOR/SCREEN FRAMES TO MATCH EXISTING
4	METAL GUTTER FINISHING	15	HORIZONTAL METAL BRINE PANEL
5	ROOF GUTTER FINISHING	16	METAL PANEL SYSTEM - ALUMINUM
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**PROPOSED ELEV. LEGEND:**

NO.	INTERNAL NUMBER
1	EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED

McDonald's  
McDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
BURNABY, B.C. V5C 3V8  
A B I N G L O V I C K S C O T T . C O M  
P: 604.888.3708 F: 604.288.0081  
ARCHITECTS INC.

McDonald's Restaurant  
5104 KING GEORGE HIGHWAY,  
SURREY, BC

EXISTING & PROPOSED  
EAST ELEVATIONS

DATE: 16-01-16  
SCALE: 1/4" = 1'-0"  
DATE: FEBRUARY 2016

SOUTH SURREY - 16-014



1 PROPOSED NORTH ELEVATION  
A2.4 SCALE: 1/16"



2 PROPOSED WEST ELEVATION  
A2.4 SCALE: 1/16"



3 PROPOSED SOUTH ELEVATION  
A2.4 SCALE: 1/16"



4 PROPOSED EAST ELEVATION  
A2.4 SCALE: 1/16"

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1		ISSUED FOR IFC			
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**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 6G6

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
 BURNABY, B.C. V5C 3V8  
 A D I N G L O V I C K S C O T T . C O M  
 P: 604.888.3708 F: 604.288.8081  
 MEMBER OF THE AIA, AAA, BAA, HWYAA & RAC

**McDonald's Restaurant**  
 3104 KING GEORGE HIGHWAY,  
 SURREY, BC

COLOURED ELEVATIONS

NO.	DATE	DESCRIPTION
16-014	A2.4	
SCALE	NOT TO SCALE	
DATE	FEBRUARY 2016	
BY	SEP/16/16	

SOUTH: SURREY - 16-014





1 NORTH EAST VIEW  
A25 SCALE 1/8"



2 NORTH WEST VIEW  
A25 SCALE 1/8"



3 SOUTH WEST VIEW  
A25 SCALE 1/8"

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1		REVISED FOR D.P.			
2		ADDRESS #			
3		REVISED FOR D.P.			
4		REVISED FOR TYPING			
5		REVISED FOR D.P.			
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87		REVISED FOR D.P.			
88		REVISED FOR D.P.			
89		REVISED FOR D.P.			
90		REVISED FOR D.P.			
91		REVISED FOR D.P.			
92		REVISED FOR D.P.			
93		REVISED FOR D.P.			
94		REVISED FOR D.P.			
95		REVISED FOR D.P.			
96		REVISED FOR D.P.			
97		REVISED FOR D.P.			
98		REVISED FOR D.P.			
99		REVISED FOR D.P.			
100		REVISED FOR D.P.			

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5G 5G6

DATE: 1/16/14

CONCEPT: 3707 1ST AVENUE BURNABY, B.C. V5G 3V8  
 ARCHITECT: LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
 BURNABY, B.C. V5G 3V8  
 ARCHITECT: LOVICK SCOTT ARCHITECTS  
 P: 604.293.3700 F: 604.293.3051  
 MEMBER OF THE AIA, AIA, BAA, NWTAA & RIBC

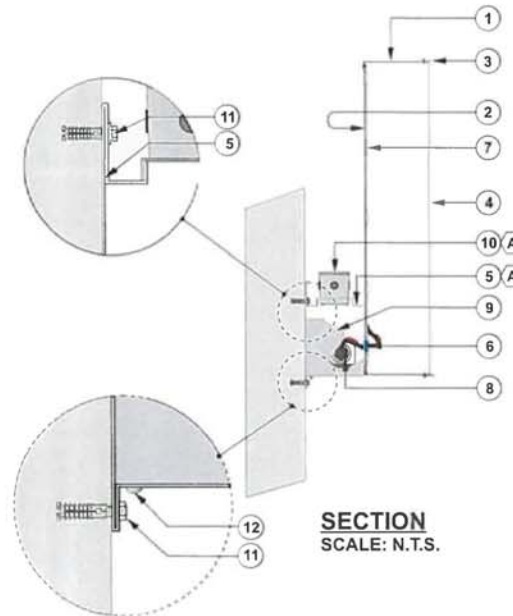
PROJECT: McDonald's Restaurant  
 3104 KING GEORGE HIGHWAY,  
 SURREY, BC

PERSPECTIVES

DATE: 16-014	SCALE: A25
DATE: NOT TO SCALE	DATE: NOT TO SCALE
DATE: FEBRUARY 2016	DATE: SEP/14/16

SOUTH: SURREY - 16-014

Fascia Sign #1



**MCD1C4D7144**  
CHANNEL LETTERS

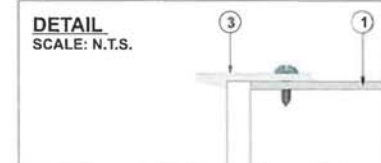
Installation:  Interior:  Exterior:  
Electrical specifications:  
Volts: 120 Amp.: 2.7 Circ.: 1

#	Descriptions:
1	0.040 PRE-PAINTED COIL #140104979
2	0.051 PRE-PAINTED ALUMINUM BACKING B/W
3	1" WHITE RETAINER
4	.118 TK. FLAT WHITE LEXAN FACE SABIC WH9G
5	0.063 FABRICATED ALUMINUM RACEWAY
6	7/8" SNAP IN BUSHING
7	ILLUMINATED WITH LED
8	LED POWER SUPPLY (INSIDE RACEWAY)
9	ON/OFF TOGGLE WEATHER PROOF SWITCH
10	ELECTRICAL JUNCTION BOX
11	TYP. ANCHORS FOR WALL TYPES
12	3/16" ALUMINUM RIVETS
13	SPACE BETWEEN LETTER 'D' AND THE APOSTROPHE IS RECESSED AND CAPPED WITH 0.040 PRE-PAINTED CLEAR SATIN ANODIZED (SILVER) PART #140104979 ALUMINUM

#	Revision(s)	By:	Date:
1	MODIFIED CODE # FOR ITEM #1 & #13	JJ	04.08.2014
2	ADDED SPACE DIMENSION PAGE 2	JB	05.14.2014
3	REVISED POWER SUPPLY TYPE	JB	11.16.2015

**Notes:**  
- 3/4" PLYWOOD BACKING IN WALL SUPPLIED BY OTHERS  
- SEE TECH DRAWING #MCD1C4D7119S FOR RACEWAY PLATES

#	Colors:
A	PAINTED OBSIDIAN GLASS OONN 13/000



Customer Approval: \_\_\_\_\_ Date: / /

Descriptions	Plate #
PLASTIC	MCD1C4D7119-1
ALUMINUM	MCD1C4D7144-1
ALUMINUM	MCD1C4D7119-3 & 4
TRIM MACHINE	MCD1C4D7119ER
CHANNEL BENDER	MCD1C4D7119-2ER
XX	XX
XX	XX

AXYZ & MULTICAM 2D  
MULTICAM 2D  
MULTICAM 2D

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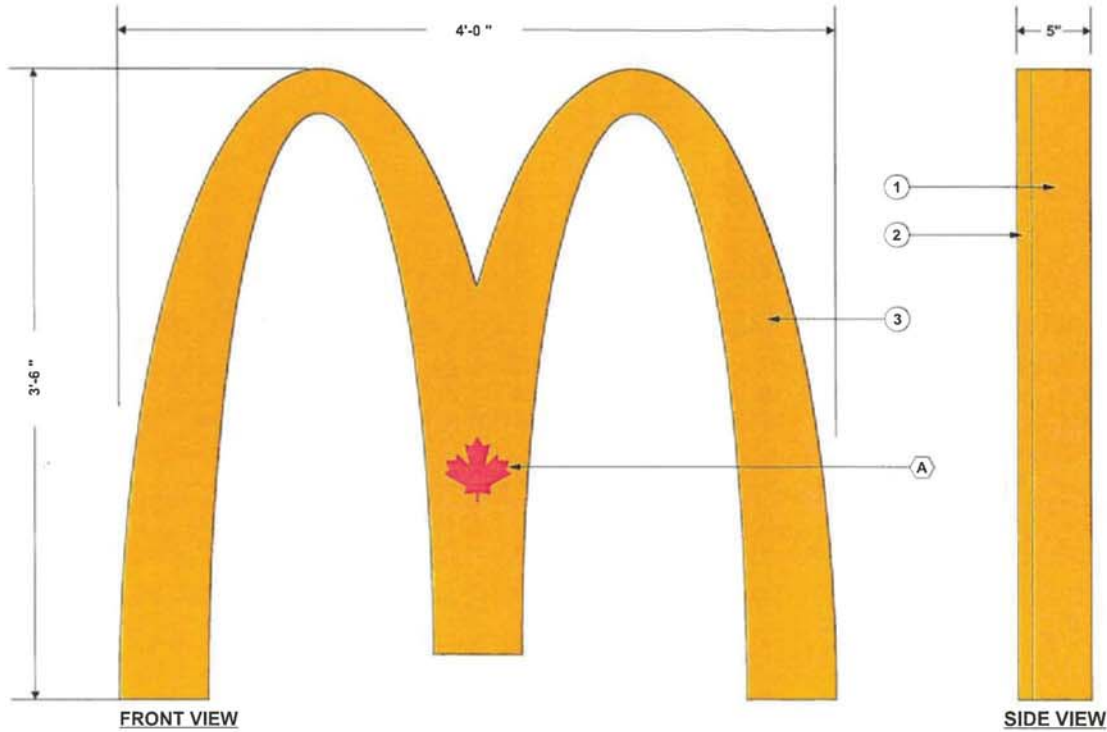


Tel (506) 735-5506 Fax (877) 737-1734 Toll Free 1-800-561-9798

Client:	MCDONALD'S
Site:	VARIOUS
Draftsman:	JESSICA JALBERT
Date:	04.03.2014
Checked By:	LR
Page:	1 / 3
Scale:	1/2" = 1'-0"



Fascia Sign #2



**MCD1S4D7036**

S/F ILLUMINATED ARCH LOGO

Installation:  Interior:  Exterior:

Electrical specifications:

Volts: 120 Amp.: 0.7 Circ.: 1

# Descriptions:

1	0.040" TK. COIL YELLOW SABIC #40-53270-611
2	1" YELLOW SABIC TRIM #Z1031
3	0.118" TK. FLAT YELLOW SABIC YW6G039X POLYCARBONATE FACE WITH VINYL APPLIED ON FIRST SURFACE
* ILLUMINATED WITH WHITE LED	
* SELF-CONTAINED POWER SUPPLY	
* 0.064" TK. PRE-PAINTED BLACK & WHITE ALUMINUM BACKING	

#	Colors:
A	RED VINYL 3630-33

#	Revision(s)	By:	Date:
A	REMOVE "PERMLIGHT" IN DESCRIPTION	JB	10.15.2013

Customer Approval:

Date: / /

PRODUCTION INFORMATION: LL 02.11.2014

FSIMCD1 (Mc Donald)UA2-New IMAGE 2010(Plastic)PlatM Plat\MCD1S4D7036 3'-6"



Read instructions carefully. Do not use this sign for any other purpose. Do not use this sign for any other purpose. Do not use this sign for any other purpose.

Descriptions	Plate #
PLASTIC	MCD1S4D7036-1
ALUMINUM	MCD1S4D7036-2
TRIM MACHINE	MCD1S4D7036ER
CHANNEL (BENDER)	MCD1S4D7036-2ER

AXYZ & MULTICAM 2D  
MULTICAM 2D

XX	XX
XX	XX
XX	XX
XX	XX

ISO 9001:2008 Certified Enterprise

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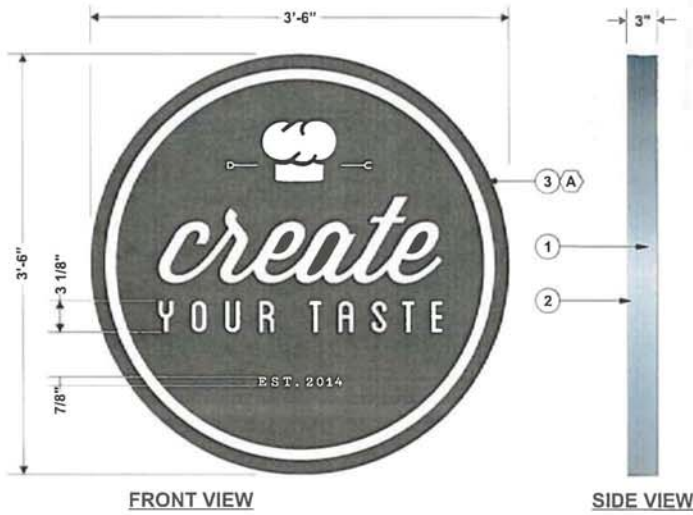


Tel (506) 735-5506 Fax (877) 737-1734 Toll Free 1-800-561-9798

Client:	MC DONALD'S
Site:	VARIOUS
Draftsman:	JESSICA JALBERT
Date:	10.10.2013
Checked By:	LR
Page:	1/2
Scale:	1 1/2" = 1'-0"

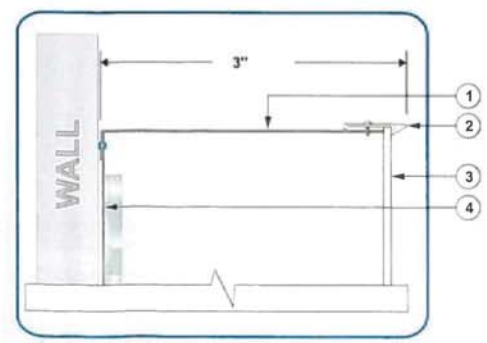
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Fascia Sign #3



MCD00SF4P30009	
S/F ILLUMINATED SIGN	
Installation:	Interior: <input type="checkbox"/> Exterior: <input checked="" type="checkbox"/>
Electrical specifications:	
Volts:	120 Amp.: 0.9 Circ.: 1
#	Descriptions:
1	0.040" TK. COIL ALUMINUM CABINET PRE PAINTED SILVER METALLIC
2	1" METALLIC TRIM RETAINER
3	3/16" TK. ACRYLIC WHITE #2447 FACE WITH VINYL GRAPHICS APPLIED ON 1ST SURFACE
4	0.064" TK. PRE PAINTED WHITE ALUMINUM BACKING
5	ILLUMINATED BY LED MODULE

#	Colors:
A	BLACK OPAQUE VINYL #7725-12



Customer Approval: \_\_\_\_\_ Date: / /

PRODUCTION INFORMATION: LL 01.20.2016	
FSIMCDO0 (McDonald's) Create your taste MCD00SF4P30002 3'-6" Ø (Wall)	
Descriptions:	Plate #:
PLASTIC	MCD00SF4P30002-1
ALUMINUM	MCD00SF4P30002-2
CHANNEL (BENDER)	MCD00SF4P30002-4ER
XX	XX
XX	XX
XX	XX
XX	XX
XX	XX

AXYZ & MULTICAM 2D  
MULTICAM 2D

**ENSEIGNES PATTISON SIGN GROUP**

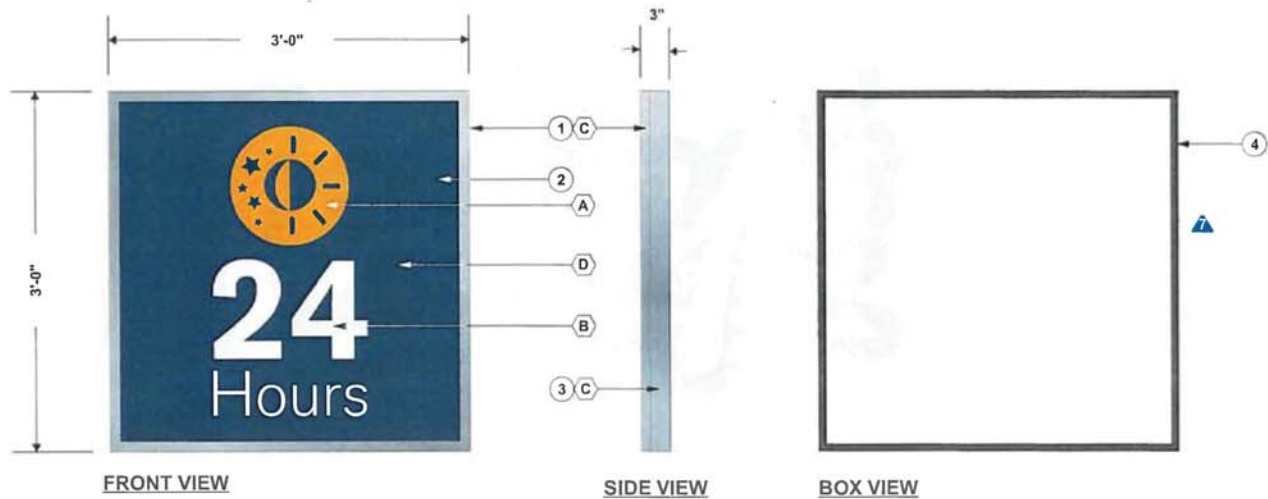
Tel (506) 735-5506 - Fax (877) 737-1734 - Toll Free 1-800-561-9798

Client:	MC DONALD'S
Site:	VARIOUS
Draftsman:	ANNIE CARON
Checked By:	JJ
Page:	1/1
Scale:	1" = 1'-0"

Date: 11.13.2015



Fascia Sign #4



MCD1S3D7017	
S/F ILLUMINATED WALL MOUNTED SIGN	
Installation:	<input type="checkbox"/> Interior: <input checked="" type="checkbox"/> Exterior:
Electrical specifications:	
Volts:	120 Amp.: 0.65 Circ.: 1
# Descriptions:	
2	1 ALUMINUM ANGLE RETAINER 1" X 1" X 1/8"
5	2 3/16" TK. CLEAR FLAT ACRYLIC FACE WITH VINYL APPLICATION ON SECOND SURFACE
3	3 FABRICATED SIGNBOX 0.064" TK. ALUM.
4	4 INSTALL WATERPROOF FOAM GASKET 1/8" X 3/4" ALL AROUND SIGN BOX THEN INSTALL FACE & RETAINER
*	ILLUMINATED WITH LED

**Notes:**  
- SEE TECHNICAL DRAWING FOR MORE DETAIL;

#	Colors:
A	YELLOW VINYL #3630-125
B	WHITE VINYL #3630-20
C	PAINTED GREY COIL AT 70% GLOSS
D	BLUE VINYL #3630-137

#	Revision(s)	By:	Date:
5	CHANGED POWER SUPPLY LOCATION AS BUILT	JB	04.03.2014
4	ADDED GASKET ALL AROUND	JB	04.03.2014
3	REVISED LED LAYOUT AS BUILT	JB	06.11.2014

Customer Approval:	Date: / /
PRODUCTION INFORMATION - LL 11-22-2013	
FSMCD1 (Mc Donald)IA1-New IMAGE 2008PlasticSign Box1 3'-0" X 3'-0" MCD1S3D7017 24 Hours (3'-0" X 3'-0")	Descriptions: Plate #:
	PLASTIC MCD1S3D7017-1
	ALUMINUM MCD1S3D7017-2 MULTICAM 2D
	XX XX
	XX XX
	XX XX
	XX XX
	XX XX
	XX XX

**ENSEIGNES PATTISON SIGN GROUP**

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Client: MCDONALD'S  
 Site: VARIOUS  
 Draftsman: LUC RICHARDSON Date: 10.23.2013  
 Checked By: JJ  
 Page: 1 / 2 Scale: 1" = 1'-0"

## MCD1S9C7012

**S/F ILLUM. SIGN**

Installation:  Interior:  Exterior:

Electrical specifications:

Volts:  120 Amp.:  0.65 Circ.:  1

# Descriptions:

1	1/8"TK. ALUM. FACE
2	1"TK. ACRYLIC CO-EXTRUDED PUSH-THRU LETTERS
*	CABINET FABRICATED WITH 0.090"TK. ALUM. BACKING AND 0.063"TK. ALUM. SIDE
■	ILLUM. WITH WHITE LED



**Notes:**  
 - SEE TECHNICAL DRAWING FOR MORE DETAIL;

#	Colors:
A	MCCAFE BROWN PAINTED TO MATCH PMS #4895 (METAL)
B	WHITE VINYL 3635-70 DIFFUSER APPLIED TO 2nd SURFACE

#	Revision(s)	By:	Date:
1/1	ADD DIFFUSER	LRI	03.12.2013
2/1	CHANGED GEPS12-60 TO GEPS12-60U-NA	JB	01.17.2014

Customer Approval: \_\_\_\_\_ Date: / /

PRODUCTION INFORMATION: LL 01.10.2014

Descriptions:	Plate #:
FAIT EN SOUS-TRAINANCE	
XXXX	XX
XXXX	XX
XXXX	XX
XXXX	XX
XXXX	XX
XXXX	XX

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Client:	MCDONALD'S		
Site:	VARIOUS		
Draftsman:	LUC RICHARDSON	Date:	02.06.2013
Checked By:	JJ		
Page:	1/2	Scale:	1 1/2" = 1'-0"