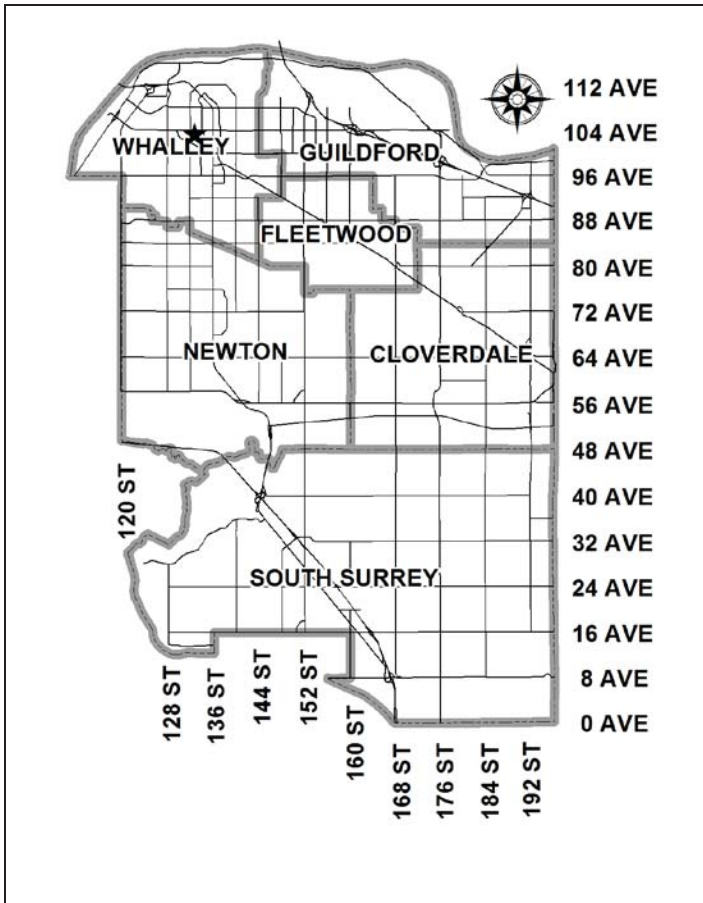


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0240-00

Planning Report Date: July 11, 2016



**PROPOSAL:**

- **Rezoning** from RF and a portion from C-8 to CD (based upon C-35)
- **General Development Permit**

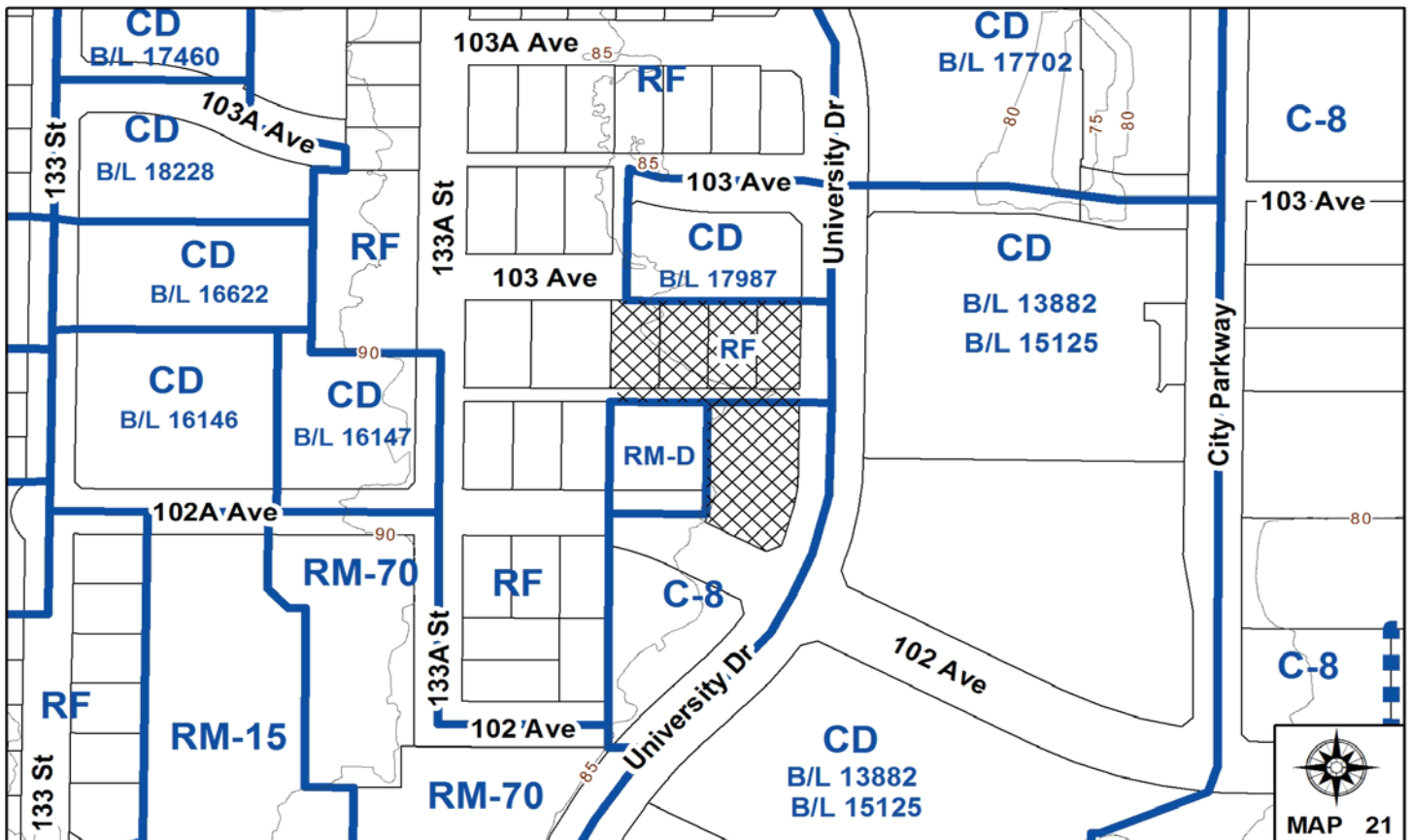
to permit the development of a new Sustainable Energy and Environmental Engineering building for Simon Fraser University.

**LOCATION:** 13408, 13418 and 13400 - 103 Avenue, portion of 13433 - 102A Avenue, 10281 - University Drive and portion of lane

**OWNERS:** Simon Fraser University and City of Surrey

**ZONING:** RF and C-8

**OCP DESIGNATION:** Central Business District



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft General Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- Complies with the “Central Business District” OCP designation.
- The proposed density and building form are appropriate for this part of City Centre.
- The proposed development of a 5-storey academic building for Simon Fraser University (SFU) will strengthen the Academic Precinct in Surrey City Centre.
- The proposed building intended for Sustainable Energy and Environmental Engineering supports key initiatives in the City’s Smart City Strategy, which encourage Clean Technology and Sustainable Energy.
- The proposed expansion for SFU supports the City in furthering its consideration as one of the world’s “Intelligent Communities”.
- A General Development Permit is proceeding concurrently with the proposed rezoning. Once funding is confirmed, SFU intends to submit a Detailed Development Permit application.

### RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" and "Community Commercial Zone (C-8)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft general Development Permit No. 7916-0240-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) demolition of existing structures to the satisfaction of the Planning and Development Department;
  - (e) completion of the partial lane closure south of the four northernmost subject lots;
  - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (h) the applicant to work with the owner to the immediate north (at 13438-103 Avenue and 10299 University Drive) to secure a reciprocal access and parking easement; and
  - (i) the applicant address the shortfall of parking spaces to the satisfaction of the General Manager, Engineering.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: The Fire Department has no concerns regarding the proposed development.

### SITE CHARACTERISTICS

Existing Land Use: The subject site is currently being used for public parking managed by the City.

### Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	The “Prime” mixed-use high-rise development currently under construction, approved under Application No. 7912-0327-00.	Central Business District	CD By-law No. 17987
East (Across University Drive):	North Surrey Recreation Centre, rinks and Central Surrey bus exchange.	Central Business District	CD By-law No. 13882, amended by By-law No. 15125
South (Across 102A Avenue):	Existing public parking lot.	Central Business District	C-8
West:	Duplexes.	Central Business District	RM-D

### DEVELOPMENT CONSIDERATIONS

- Four of the five subject properties are owned by the City, addressed as 13408, 13418 and 13400 - 103 Avenue and 10281 University Drive, with the fifth property owned by Simon Fraser University (SFU), addressed as 13433 - 102A Avenue. The four City-owned properties and the portion of lane are to be sold by the City to SFU. The four City-owned properties are zoned “Single Family Residential Zone (RF)” and the SFU-owned property is zoned “Community Commercial Zone (C-8)”.
- The majority of the subject site is designated “Mixed Use 5.5”, with a small portion south of the new 102A Avenue alignment, designated “Mid to High Rise 3.5 FAR” in the City Centre Plan. The entire subject site is designated “Central Business District” in the Official Community Plan (OCP).

- SFU has submitted a development application which includes a rezoning from RF and C-8 to Comprehensive Development (CD), a General Development Permit and consolidation to allow for the development of a new 5-storey building for Sustainable Energy and Environmental Engineering. The building will house a 400-seat lecture hall, labs, office space, student recreation space and a café, totaling approximately 16,066 square metres (172,933 sq. ft.) of building floor area. The proposed density based upon the net site area is 3.6 floor area ratio (FAR) and 2.8 FAR based upon the gross site area.
- SFU has applied for the federal government's new Post-secondary Institutions Strategic Investment Fund (SIF), which will provide \$2 billion over three years to support excellence in research, innovation and environmental sustainability at campuses across Canada. The SIF will cover up to 50 percent of the project's eligible costs, with the remaining funding to be matched by the provincial government. To comply with eligibility requirements, the building must be substantially completed by the end of April, 2018.
- To be eligible for SIF, the project should comply with one of the three categories below:
  - Improve the scale or quality of facilities for research and innovation, including commercialization spaces used by industry;
  - Improve the scale or quality of facilities for specialized training at colleges focused on industry needs; and/or
  - Improve the environmental sustainability of research and innovation related infrastructure at post-secondary institutions and college training infrastructure.
- The subject proposal complies with the 3<sup>rd</sup> category.
- To this end, SFU is moving forward with a Rezoning and General Development Permit at this stage. The detailed design of the building will be submitted as part of a detailed Development Permit application after the Rezoning By-law has received Third Reading or possibly Final Adoption. The detailed design of the building will then be subject to review by the Advisory Design Panel (ADP).

### Road Network

- The subject site fronts 102A Avenue, which is to be realigned through the subject application. The realigned 102A Avenue aligns with the existing bus exchange on the east side of University Drive and will ultimately connect to King George Boulevard through redevelopment along City Parkway and King George Boulevard. The new 102A Avenue will support the future on-street transit operation, to replace the existing bus exchange.
- A new north-south "green" lane will continue along the west edge of the subject site, a continuation of the dedication provided through the "Prime" development at the north. This new lane will facilitate improved vehicular and pedestrian connections through this area.
- A portion of the existing east-west lane will remain open for the time being, until the lots further west are assembled and redeveloped. The existing duplex lot at 13407/13409 - 102A Avenue will continue to have access to this lane at the northwest corner of the property.

### Vehicular Access

- Vehicular access to the proposed development will be through a shared parking ramp situated on the mixed-use multiple residential and commercial development to the north, called “Prime”, approved under Application No. 7912-0327-00.
- At the time the “Prime” development application was reviewed, there was already discussion about allowing for a “knock out” wall in “Prime’s” parkade level 1, which would connect to the redeveloped City-owned properties to the south. However, even though the design may accommodate the “punch out” wall, there was no formal legal document secured to ensure this was to happen, as at the time, the City did not have any immediate plans for redevelopment.
- The owner of the “Prime” has provided preliminary support of sharing the parkade ramp, subject to an agreement on costs and maintenance responsibilities.
- Two loading bays are proposed at the rear of the development, which will be accessible to the new north-south lane along the west edge of the development.
- SFU’s proposed development is also showing a proposed “knock out” wall to the neighbouring duplex property to the west (addressed as 13407/13409-102A Avenue), which SFU has not currently acquired. This site would also then be deriving its vehicular access from the “Prime” development. The owner of “Prime” has confirmed that he understands the neighbouring duplex lot will also be taking access from the one ramp. However, this will be subject to an acceptable reciprocal access easement agreement, which will include the City as a party.

### Proposed Parking Reduction and Bicycle Parking

- SFU is seeking a reduction in parking, as they expect many of the faculty and students will be utilizing public transit, given the proximity to the Central City SkyTrain Station, the future LRT on City Parkway and 102A Avenue and various bus routes.
- The proposed development is required to provide a total of 351 parking spaces based upon current Zoning By-law requirements broken down as follows:
  - 3 parking spaces for every 100 square metres (1,075 sq.ft.) of gross floor area for universities and colleges (482 spaces);
  - 1 parking space for every 4 seats for a 400-seat theatre (100 spaces); and
  - 3 parking spaces for the proposed café, less than 150 square metres (1,615 sq.ft.) in floor area (3 spaces).

Coupled with the 20% parking reduction permitted in the City Centre and the 25% further discount for shared use, this results in a total of 351 parking spaces required.

- SFU has submitted a parking study, prepared by Bunt and Associates, which reviewed parking ratios of other university and college institutions within the Lower Mainland to demonstrate the appropriate parking ratio for the proposed development. This parking study observed parking demand of other institutions with similar proximity to rapid transit and correlated the overall parking demand to the number of Full Time Equivalent (FTE) students attending SFU. Based upon their findings, Bunt has proposed a parking ratio of 0.22 stall per FTE, which Engineering staff have reviewed and accepted as the appropriate ratio for the proposed development.
- The proposed SFU building is expected to have 320 undergraduate and 195 graduate students for a total of 515 FTE students. This would require 113 parking spaces to accommodate the proposed university expansion.
- Along with the parking requirement for the 400-seat theatre (less the 20% parking reduction permitted in the City Centre), a total of 145 parking spaces are required for the subject application. This total takes into account the 25% discount permitted in the Zoning By-law for shared parking.
- 3 parking spaces will be required for the proposed café use, which will be restricted to a maximum of 150 square metres (1,615 sq.ft.) in size.
- The total required parking will be 148 parking spaces for the development.
- The development is proposing 115 parking spaces overall within a one-level underground parkade. Of the 115 parking spaces, 2 spaces are to be disabled parking spaces and 3 will be “small car” parking spaces.
- The proposed 115 parking spaces equate to a shortfall of 33 parking spaces. The applicant has proposed to mitigate the shortfall by providing transportation demand management on-site, which includes carpooling parking spaces, enhanced bicycle parking and cycling facilities. The applicant will be required to provide cash-in-lieu in exchange for the shortfall as a condition of Final Adoption of the Rezoning By-law. Given the subject site’s proximity to rapid transit and the transit exchange, this shortfall and proposed mitigation is supported by staff.
- The Zoning By-law requires that the proposed development provide 103 bicycle parking spaces for the students. The proposed development will provide 103 bicycle parking spaces, which complies with the Zoning By-law requirement for Colleges and Universities.

#### PROPOSED CD BY-LAW (Appendix IV)

- The applicant is proposing to rezone the subject site to a CD Zone that is based, generally on the “Community Commercial Zone (C-35)”. The following table compares the C-35 Zone and the proposed CD By-law:

**Table 1: Comparison of C-35 Zone and proposed CD Zone**

	<b>C-35 Zone</b>	<b>Proposed CD By-law</b>
<b>Land Uses</b>	<ul style="list-style-type: none"> <li>• Retail stores excluding adult entertainment stores and secondhand stores and pawnshops;</li> <li>• Personal service uses excluding body rub parlours;</li> <li>• General service uses excluding drive-through banks;</li> <li>• Eating establishments excluding drive-through restaurants;</li> <li>• Neighbourhood pubs;</li> <li>• Office uses excluding social escort services and methadone clinics;</li> <li>• Tourist accommodation;</li> <li>• Indoor recreation facilities;</li> <li>• Parking facilities, provided that the parking is contained within a structure;</li> <li>• Entertainment uses excluding arcades and adult entertainment stores;</li> <li>• Cultural uses;</li> <li>• Assembly halls;</li> <li>• Community services;</li> <li>• Child care centres; and</li> <li>• Multiple unit residential building subject to the use forming an integral part of the commercial uses on the lot.</li> </ul>	<ul style="list-style-type: none"> <li>• Universities;</li> <li>• Colleges and Institutes;</li> <li>• Eating establishments, excluding drive-throughs and limited to a maximum size of 150 square metres; and</li> <li>• Office uses excluding social escort services.</li> </ul>
<b>Density (Floor Area Ratio)</b>	3.5 FAR, provided that not more than 67% of the floor area may be used as a multiple unit residential building.	3.8 FAR (net) and no residential proposed.
<b>Lot Coverage</b>	85%	90%
<b>Building Setbacks</b>	Front: 2.0 metres (7 ft.) Rear: 7.5 metres (25 ft.) Side Yard: 3.0 metres (10 ft.) (may be reduced to 0 metre/0 feet if located adjacent a residential lot) Side Yard on Flanking Street: 2.0 metres (7 ft.)	5 metres (16 ft.) along the north, east and south sides, 2 metres (6.6 ft.) for the west, with interior lot lines reduced to 0 metre (0 ft.).
<b>Building Height</b>	N/A	35 metres (5 storeys)



	C-35 Zone	Proposed CD By-law
<b>Off-Street Parking</b>	<ul style="list-style-type: none"> <li>• 3 parking spaces for every 100 square metres (1,075 sq.ft.) of gross floor area;</li> <li>• 11 parking spaces for every 100 square metres (1,075 sq.ft.) of gross floor area for associated assembly hall/gymnasium; and</li> <li>• 3 parking spaces for eating establishments limited to a maximum 150 square metres (1,615 sq.ft.) in size.</li> </ul>	Minimum of 115 parking spaces.

- Larger and more intensive commercial activities such as child care centres, neighbourhood pubs, assembly halls, indoor recreation facilities and large scale restaurants are not permitted in the proposed development, given the parking reduction requested by the applicant. There is also no residential component to the development.
- Eating establishments will be restricted in size, up to a maximum of 150 square metres (1,615 sq.ft.) to minimize peak time parking demands and in keeping with the intent to cater primarily to students and local residents and businesses.
- The proposed CD By-law will allow a maximum density of 3.8 floor area ratio (FAR), which is slightly higher than the 3.5 FAR permitted under the C-35 Zone.
- The maximum lot coverage is proposed at 90%, whereas it is 85% in the C-35 Zone.
- The proposed building setbacks along University Drive and the new 102A Avenue will be 5.0 metres (16 ft.) to create a more urban streetscape. Additional encroachments such as patios, seating and canopies will be permitted to encroach into the setbacks. The setback to the new north-south lane will be 2.0 metres (6.6 ft.). The interior lot lines will be permitted to be 0 metre (0 ft.) to allow for a seamless transition with the future redevelopment of the neighbouring duplex lot to the west (13407/13409-102A Avenue).
- The proposed CD By-law will also allow for a reduction in parking, which has been justified through the provision of a Parking Study prepared by Bunt and Associates (see Proposed Parking Reduction and Bicycle Parking section), allowing for a minimum of 115 parking spaces.

### PRE-NOTIFICATION

Pre-notification letters were mailed out on June 1, 2016. Staff have not received any comments with respect to the proposed development.

DESIGN PROPOSAL AND REVIEW

- The proposed development will be 5 storeys in height, with one level of underground parking.
- The main entrance of the development is proposed from 102A Avenue. A small entry plaza is proposed at this location.
- The vehicular access to the development will be from the “Prime” development to the north, with service access from the new north-south lane at the west.
- The building massing of the proposed SFU building responds to the podium of the “Prime” development by stepping down to a roof terrace on the north side.
- The proposed building materials of the building façades will consist of a combination of insulated panel, clear glass and fritted glass and metal panel.
- An at-grade programmed space is proposed along University Drive to allow for activity to extend to the commercial street edge. A grand atrium extends over three levels to SFU Surrey’s main lecture hall, a café, an exhibition space and the Capstone lab. The Capstone lab is a showcase lab for the university. In this lab, visitors can watch students actively working on individual engineering projects that typically involve physical activities like building prototypes and various mock-ups. The main atrium has been dropped to street level so that it is possible for pedestrians to view into the complex. The atrium will act as a secondary access, which will directly connect to the lecture hall from University Drive.
- The building will be targeting the LEED Gold standard.

TREES AND LANDSCAPE (Appendix V)

- Norman Hol, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject site. The table that follows, provides a summary of the tree retention and removal by tree species:

**Table 2: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
Cherry	1	1	0
<b>Coniferous Trees</b>			
Douglas Fir	1	1	0
Western Red Cedar	1	1	0
<b>Total</b>	<b>3</b>	<b>3</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>TBD</b>	

<b>Total Retained and Replacement Trees</b>	<b>o to be retained + TBD</b>
<b>Contribution to the Green City Fund</b>	<b>TBD</b>

- The Arborist Assessment states that there are a total of 3 protected trees on the site. Of the 3 existing trees, none of the trees are Alder and Cottonwood trees. It was determined that none of the trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication, proposed lot grading, and underground parking.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 6 replacement trees on the site. At this time, as the proposed landscape plans are conceptual, the final number of replacement trees has not yet been confirmed. If there is a deficit in tree replacement, then the application will be required to pay cash-in-lieu, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In addition to replacement trees, boulevard street trees will be planted on University Drive and 102A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The landscape plan proposed is very schematic in nature at this time, to assist in facilitating the General Development Permit.
- A green roof is being proposed to the building along with a seating area.
- Sawcut, light sandblasted finish concrete pavers are proposed throughout, at grade, with a double row of trees along University Boulevard. A single row of trees is proposed along the future 102A Avenue road alignment, with the tree row in the boulevard to be accommodated with the realignment of 102A Avenue.
- As 102A Avenue is not proposed to be realigned immediately, a triangular area will be left as a remainder. The applicant’s landscape architect has proposed to provide some grass cover, small trees and a timber seating bench as an interim design solution.
- More detailed landscape plans will be required at time of detailed Development Permit submission.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VI for location). The District Energy System consists of three primary components:
  - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;

- Distribution piping that links the community energy centres with buildings connected to the system; and
  - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
  - In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
    - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
    - To prevent conflicts with other utilities.
  - Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 17, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

**Table 3: Sustainability Checklist**

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located within the City Centre Plan area.</li> <li>• The proposed development is consistent with the "Mixed-Use 5.5 FAR" designation of the City Centre Plan and the "Central Business District" OCP designation.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposed gross density of the development is 2.8 FAR, with the proposed net density at 3.6 FAR.</li> <li>• The proposed development is mainly an institutional use, with a small commercial component.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The proposed development is to include Low Impact Development Standards (LIDS), such as a green roof, permeable pavement, rain water detention areas and storm detention in the underground</li> </ul>

Sustainability Criteria	Sustainable Development Features Summary
	parkade. • The proposed development will allow for compost and recycling pick-up.
4. Sustainable Transport & Mobility (D1-D2)	• The project includes share parking, parking allocation/size amendments, electric vehicle charging stations and a visible, secure all-weather bicycle parking, as well as Transit Demand Management measures, such as showers and lockers for cyclists, electric vehicle charging stations, car pooling and the identification of this location as being a possible future public bike share station.
5. Accessibility & Safety (E1-E3)	• The design of the project will incorporate Crime Prevention Through Environmental Design “CPTED” principles, such as lighting, visibility of public spaces (public spaces facing streets), elevator vestibules will be open to the ramp and there will be natural daylighting of the main atrium.
6. Green Certification (F1)	• The project will be targeting a LEED Gold standard.
7. Education & Awareness (G1-G4)	• N/A

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheets and Survey Plans
Appendix II.	Proposed Site Plan, Building Elevations and Conceptual Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Proposed CD By-law
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Map Showing District Energy Service Areas

#### INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by Thurber Engineering Ltd. Dated March 14, 2016.
- Parking Study Prepared by Bunt & Associates.

*original signed by Judith Robertson*

Jean Lamontagne  
 General Manager  
 Planning and Development



- (g) Portion of lane  
Owner: City of Surrey  
Portion of Road Dedicated on Plan 1726 Section 27 Block 5 North Range 2 West  
Westminster District

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the site.

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based upon C-35)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		5,734 sq.m.
Road Widening area		1,218 sq.m.
Undevelopable area		
Net Total		4,516 sq.m.
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures		85%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front (102A Avenue)		5 m
Rear (north)		0 m
Side #1 (at lane)		2 m
Side (west next to RM-D lot)		0 m
Side #2 (University Drive)		5 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal		35 metres/5- storeys
Accessory		n/a
<b>NUMBER OF RESIDENTIAL UNITS</b>		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		N/A
<b>FLOOR AREA: Commercial</b>		
Retail		125 sq.m.
Office		
Total		
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		15,941 sq.m.
<b>TOTAL BUILDING FLOOR AREA</b>		16,066 sq.m.



**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		2.8
FAR (net)		3.6
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)	Based on Bunt Report	
Commercial	3	3
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		
Institutional	145	112
Total Number of Parking Spaces	148	115
Number of disabled stalls	2	2
Number of small cars	52 (max 35%)	3
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No. \_\_\_\_\_  
 OVER A PORTION OF ROAD DEDICATED BY PLAN 1726 LYING IN SECTION 27  
 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT  
 BCGS 92G.016**

**LEGEND**

- ⊙ DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- (c) DENOTES CALCULATED

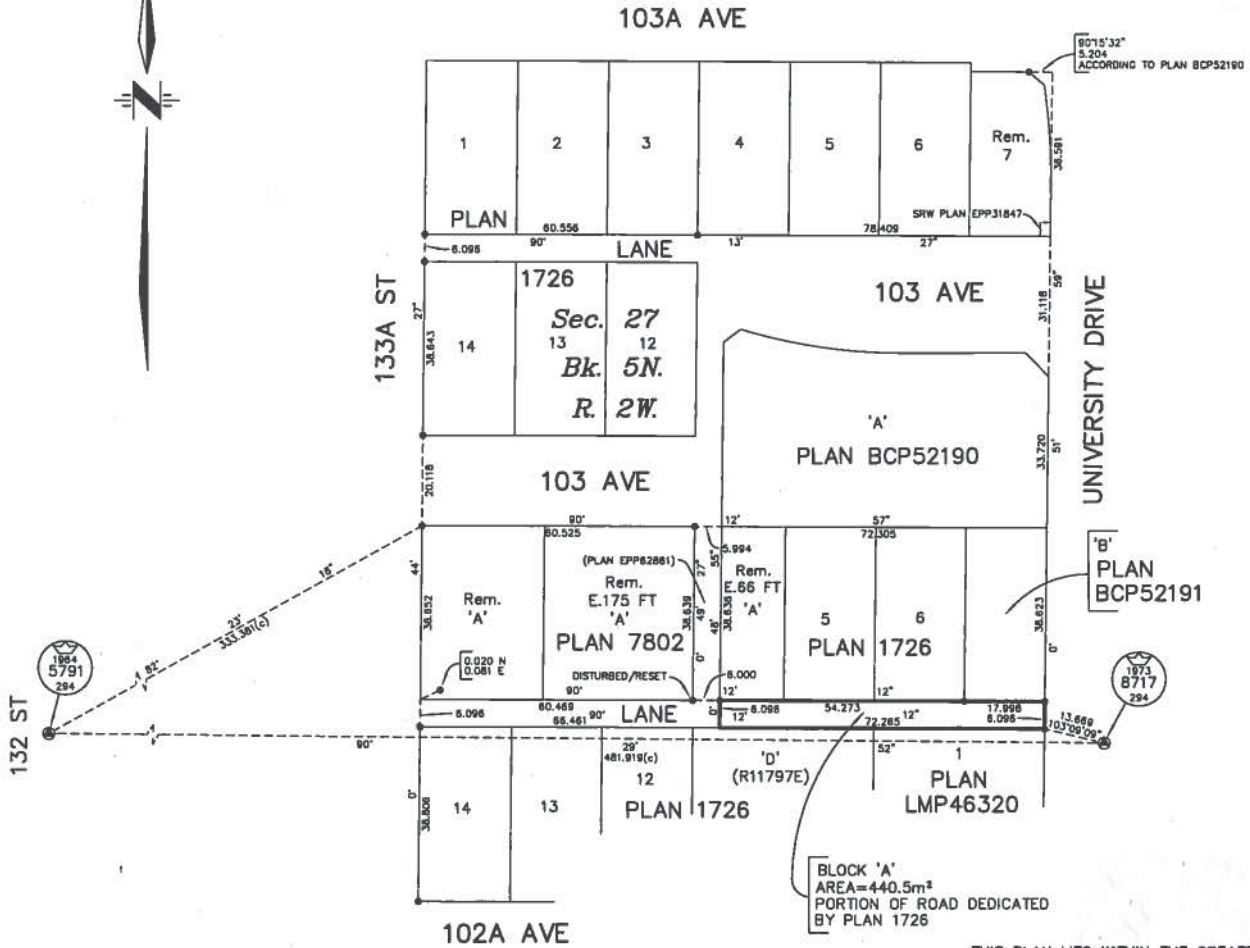
INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.BC.1.GVRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN  
 GEODETIC CONTROL MONUMENTS 5791 AND 8717.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
 OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
 GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED SCALE FACTOR OF 0.9995913  
 WHICH HAS BEEN DERIVED FROM CONTROL MONUMENT 8717.

THE INTENDED PLOT SIZE OF THIS PLAN IS  
 432mm IN WIDTH BY 560mm IN HEIGHT  
 (USE C SIZE SHEET) WHEN PLOTTED AT A SCALE OF 1:750.

BOOK OF REFERENCE	
DESCRIPTION	AREA
(BLOCK 'A')	
PORTION OF ROAD DEDICATED BY PLAN 1726	
OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NWD	440.5 m <sup>2</sup>



THIS PLAN LIES WITHIN THE GREATER  
 VANCOUVER REGIONAL DISTRICT

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY THIS 10th DAY OF JUNE, 2018.

*SE Netherton*  
 SCOTT E. NETHERTON BCLS

CITY OF SURREY  
 SURVEY SECTION  
 13450 - 104 AVE.  
 SURREY, B.C. V3X 3A2  
 TEL. (604) 591-4253  
 FAX. (604) 591-8893

# SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. \_\_\_\_\_ OF PART OF LOT 1 SEC 27 BLOCK 5 NORTH RANGE 2 WEST NWD PLAN LMP46320

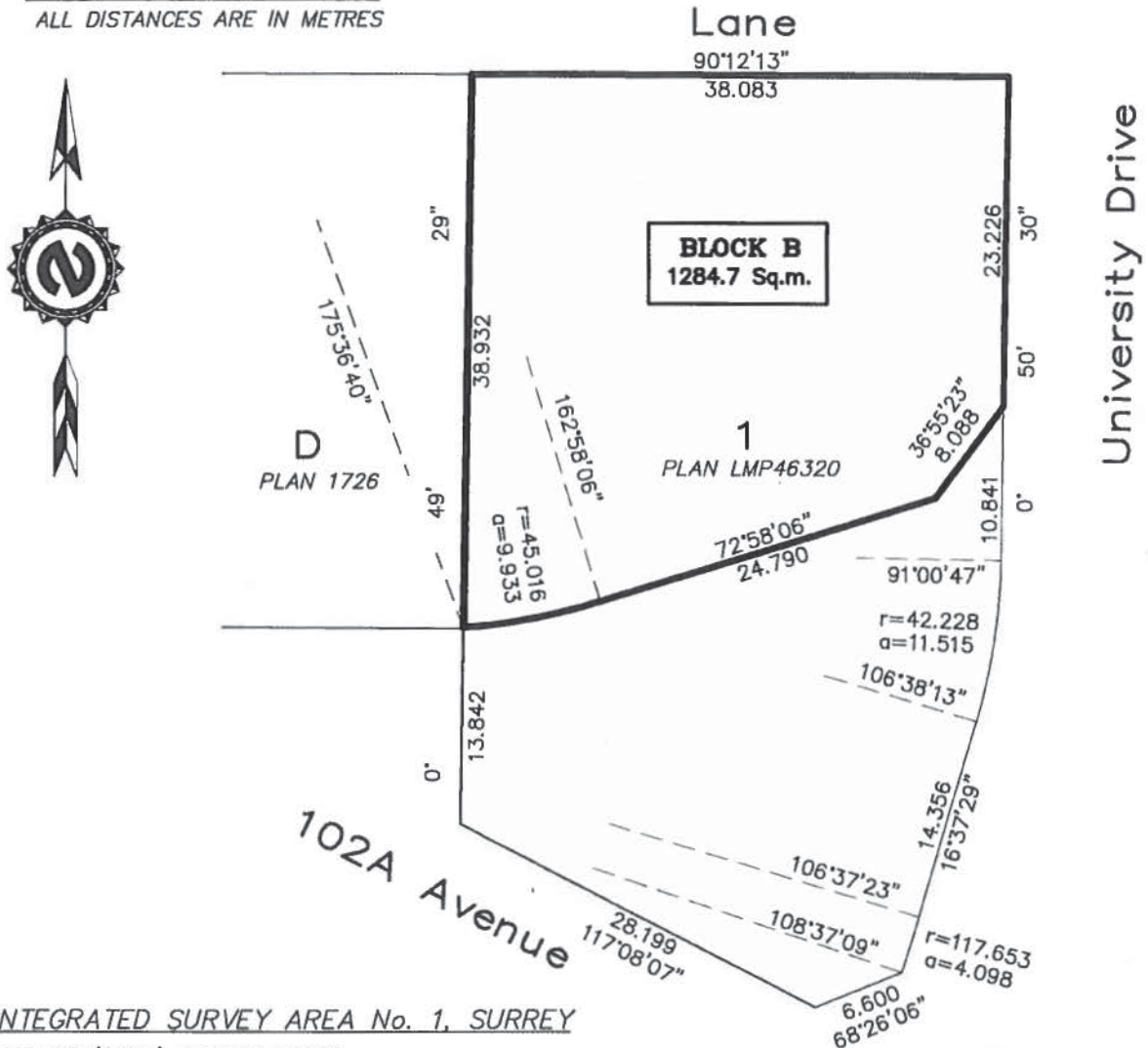
FOR REZONING PURPOSES

SCALE 1 : 500



CIVIC ADDRESS:

13433 102 A Ave., Surrey, BC  
P.I.D. 024-847-003



## INTEGRATED SURVEY AREA No. 1, SURREY

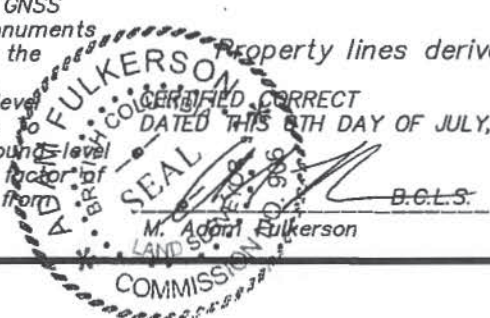
NAD 83 (CSRS) 4.0.0.BC.1.GVRD

Grid bearings are derived from RTK GNSS observations to geodetic control monuments 8717 and 5149 and are referred to the central meridian of UTM Zone 10 N.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995913, which has been derived from control monument 8717.

Property lines derived from field survey.

CERTIFIED CORRECT  
DATED THIS 8TH DAY OF JULY, 2016.



**TARGET**  
LAND SURVEYING  
SURREY B.C.  
604-583-6161

FILE: 7972-BLOCKZONE



# SIMON FRASER UNIVERSITY SUSTAINABLE ENERGY AND ENVIRONMENTAL ENGINEERING (SE3P) BUILDING

ISSUED FOR REVIEW - 2016/06/22

## PROJECT DATA

### LEGAL DESCRIPTION

LOT 2 SECTION 27 BLOCK 5 NORTH RANGE 2 WEST  
NEW WESTMINSTER DISTRICT PLAN EPP62863

### CMIC ADDRESS

10288 University Drive  
SURREY, B.C.

### ZONING

PROPOSED USE: CD

### SITE AREA

TOTAL SITE AREA: 4,340m<sup>2</sup> (46,714ft<sup>2</sup>)

### PROPOSED SITE COVERAGE

3,341m<sup>2</sup> (35,692ft<sup>2</sup>)

### PROPOSED FLOOR AREA

LEVEL 1:	2,835m <sup>2</sup> (30,516ft <sup>2</sup> )
LEVEL 2:	2,787m <sup>2</sup> (29,999ft <sup>2</sup> )
LEVEL 3:	3,109m <sup>2</sup> (33,469ft <sup>2</sup> )
LEVEL 4:	2,394m <sup>2</sup> (25,769ft <sup>2</sup> )
LEVEL 5:	3,386m <sup>2</sup> (36,447ft <sup>2</sup> )
LEVEL 6:	1,555m <sup>2</sup> (16,738ft <sup>2</sup> )

TOTAL FLOOR AREA: 16,066m<sup>2</sup> (172,934ft<sup>2</sup>)

### SETBACK REQUIREMENT

(UNIVERSITY DRIVE):	5m
(102A AVENUE):	5m
(LOT H):	0m
(LOT D2):	0m
(LANE):	2m

### DENSITY

ALLOWABLE FAR:	5.5
ALLOWABLE SITE CAPACITY:	23,870m <sup>2</sup> (256,934ft <sup>2</sup> )
PROPOSED FAR:	3.6

### BUILDING HEIGHT

ALLOWABLE MAX. HEIGHT:	75m (250ft)
PROPOSED HEIGHT:	32m (105ft)

### PARKING REQUIREMENT

REQUIRED PARKING:	148
PROPOSED PARKING:	118

### LOADING REQUIREMENT

REQUIRED LOADING:	2 BAYS 3.4m x 3.0m (11ft x 30ft)
PROPOSED LOADING:	2 BAYS 4.8m x 12.0m (16ft x 39ft)

### BICYCLE STORAGE REQUIREMENT

REQUIRED UNITS:	103
PROPOSED UNITS:	103

### ARCHITECT

BING THOM ARCHITECTS  
1430 BARRARD STREET  
VANCOUVER, BC V6Z 2A6

CONTACT: MICHAEL HEENEY  
EMAIL: mheene@btgroup.com  
TEL: 604-682-1881

### LANDSCAPE

PWL PARTNERSHIP LANDSCAPE ARCHITECTS

5TH FLOOR, EAST ASIATIC HOUSE  
1201 WEST PENDER STREET  
VANCOUVER, BC V6E 2V2

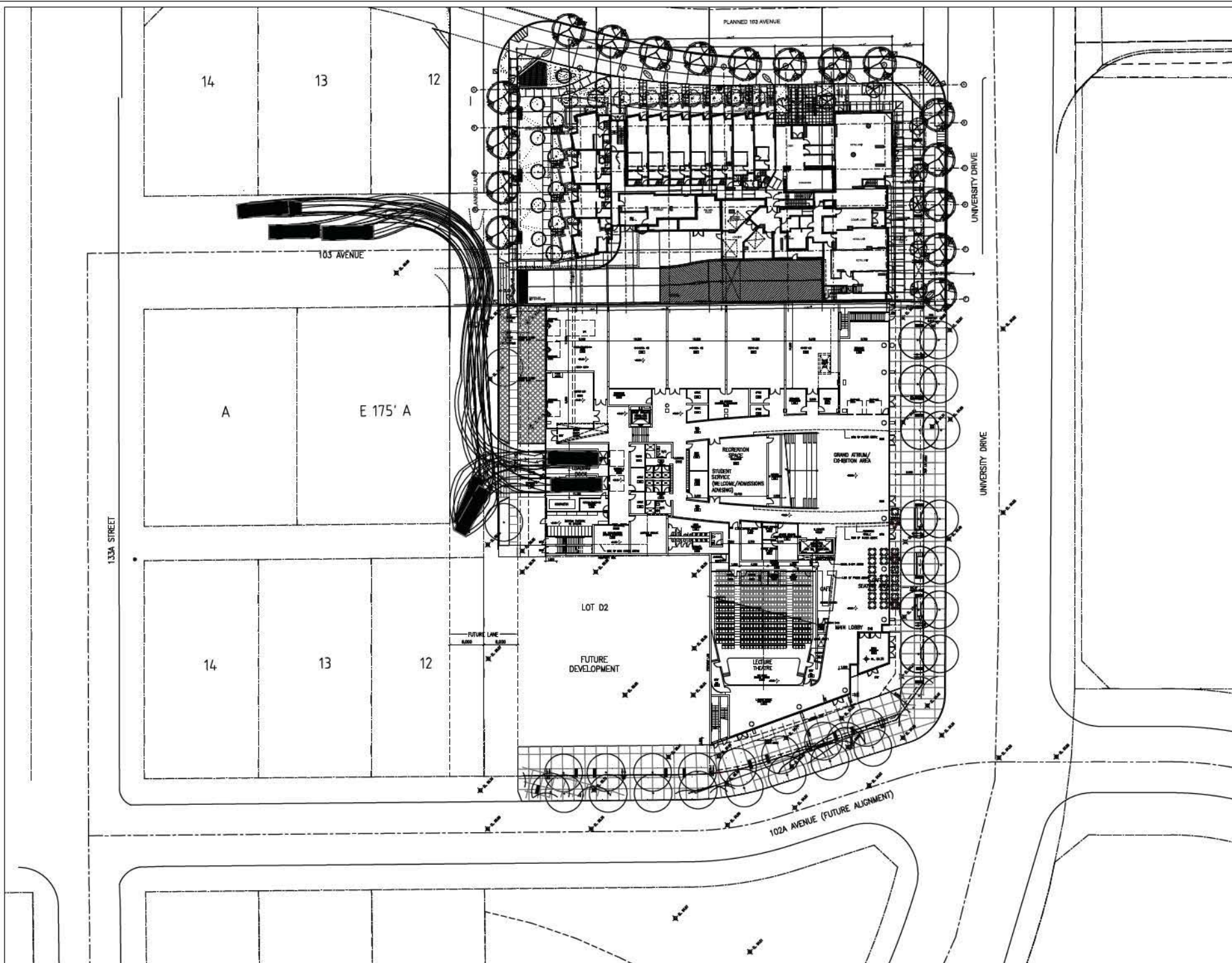
CONTACT: DEREK LEE  
EMAIL: dlee@pwlpartnership.com  
TEL: 604-688-6111

## DRAWING LIST

### ARCHITECTURAL

A-000	TITLE PAGE
A-122A	SITE PLAN (INTERIM 102A AVENUE CONDITION)
A-122B	SITE PLAN (FUTURE 102A AVENUE CONDITION)
A-200	LEVEL P1 PLAN
A-201	LEVEL 1 PLAN
A-202	LEVEL 2 PLAN
A-203	LEVEL 3 PLAN
A-204	LEVEL 4 PLAN
A-205	LEVEL 5 PLAN
A-206	LEVEL 6 PLAN
A-300	SECTION
A-301	SECTION
A-400	EAST ELEVATION
A-401	SOUTH ELEVATION
A-402	WEST ELEVATION
A-403	NORTH ELEVATION
A-404	PERSPECTIVE VIEWS





KEY



1	DATE	BY	CHKD
2	DATE	BY	CHKD
3	DATE	BY	CHKD
REVISIONS			

**BT A**

1000 THOM ARCHITECTS  
 1000 Burrard Street, Vancouver, BC V6Z 2G6  
 (604) 681-1111  
 1000 Burrard Street, Vancouver, BC V6Z 2G6  
 (604) 681-1111

DATE	BY	CHKD

SFU SE3P

SITE PLAN  
 (FUTURE 102A AVENUE CONDITION)

DATE	BY	CHKD





E 175' A

12

1 LEVEL 1 FLOOR PLAN  
SMA 108

KEY



1	DATE FOR REV	ISSUED
2	DATE FOR REV	ISSUED
3	DATE FOR REV	ISSUED
REVISED		

**BT A**  
 100% THROU APPROVED  
 100% BOUNDARY SURVEY BY N2 80  
 100% CIVIL ENGINEERING  
 100% MECHANICAL  
 100% ELECTRICAL  
 100% PLUMBING  
 100% FIRE PROTECTION  
 100% STRUCTURAL  
 100% GEOTECHNICAL  
 100% ENVIRONMENTAL  
 100% LANDSCAPE ARCHITECTURE  
 100% HISTORIC PRESERVATION  
 100% TRANSPORTATION  
 100% UTILITIES  
 100% OTHER

DATE	BY	CHK	APP

SFU SE3P

LEVEL 1 FLOOR PLAN

DATE	BY	CHK	APP





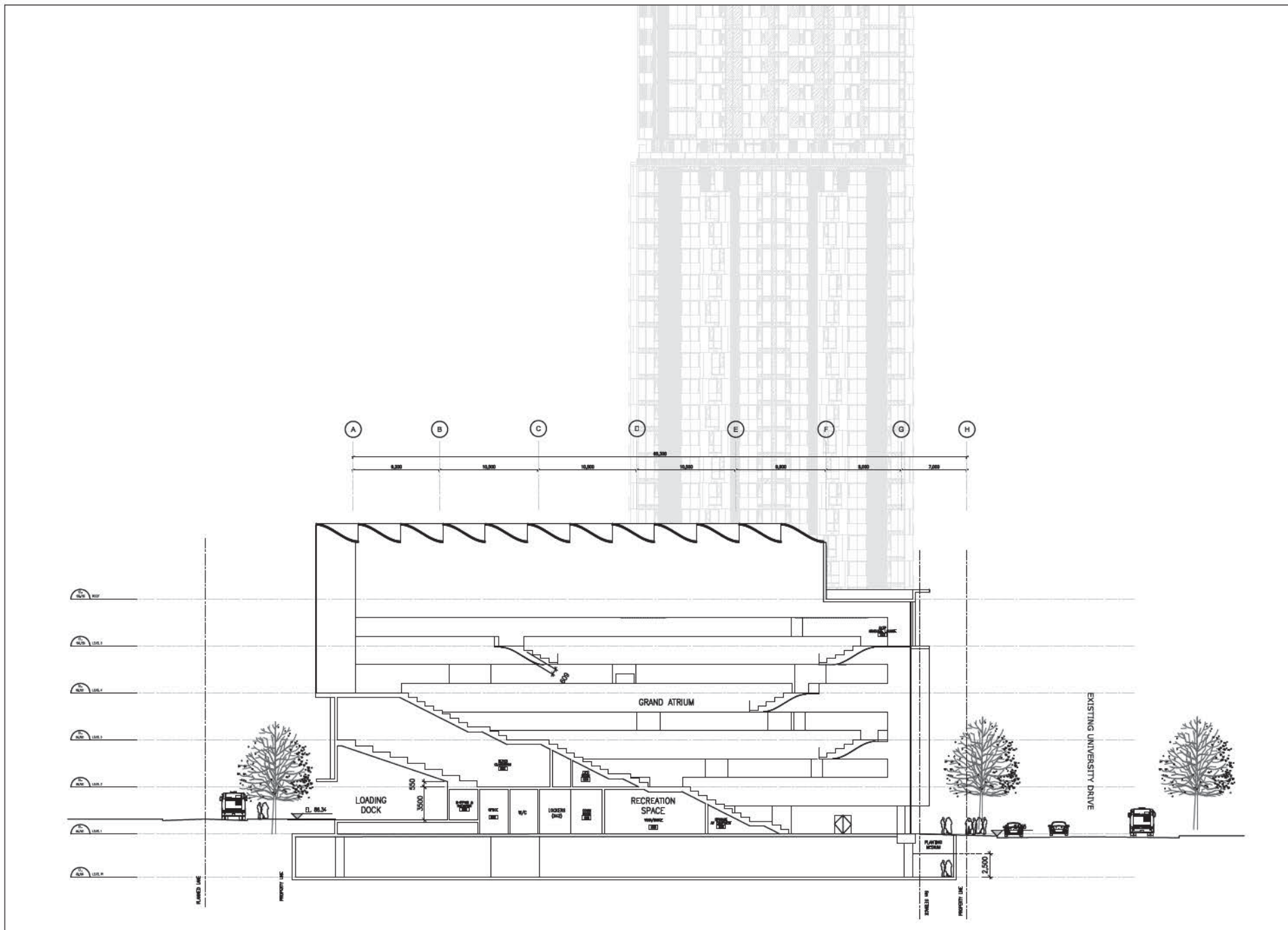












1 SECTION THRU GRAND ATRIUM  
 1/24' 1/8"

KEY

1	WALL AT 100'	100.000	100.000
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3	FLOORING	100.2	100.2
4	FLOORING	100.3	100.3
5	FLOORING	100.4	100.4
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7	FLOORING	100.6	100.6
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26	FLOORING	102.5	102.5
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28	FLOORING	102.7	102.7
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195	FLOORING	119.4	119.4
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250	FLOORING	124.9	124.9
251	FLOORING	125.0	125.0
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255	FLOORING	125.4	125.4
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258	FLOORING	125.7	125.7
259	FLOORING	125.8	125.8
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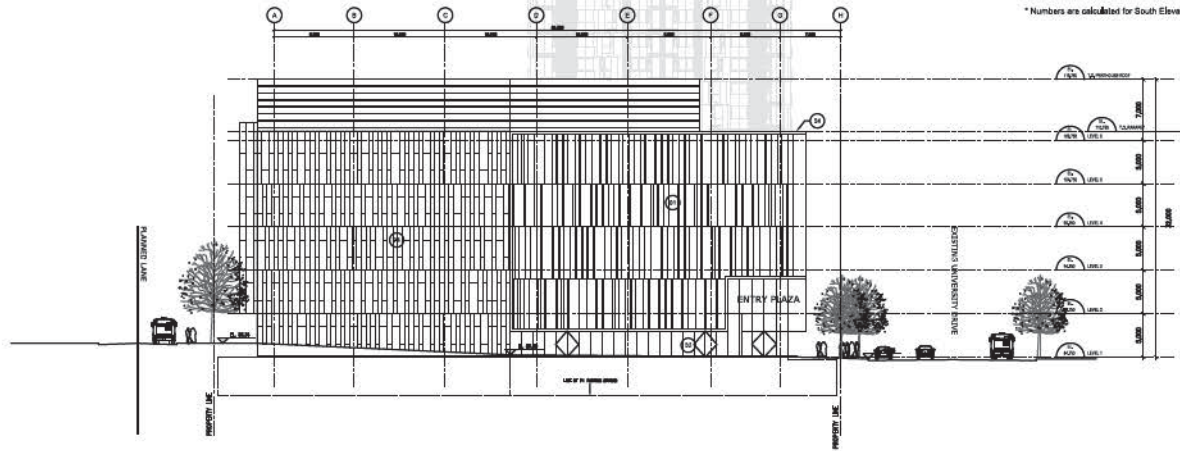
EMR ROOF EL. 199.24

ROOF EL. 193.24

LEGEND

- ① FACADE ASSEMBLY Total area: 10,877.7 sqft (Jagged wall, if applicable)  
25% INSULATED PANELS 7,066.9 sqft (Flat wall, if applicable)  
25% CLEAR GLASS  
55% FRITTED GLASS
- ② CURTAIN WALL Total area: 673.3 sqft
- ③ FINISH CONCRETE W/ REVEAL PATTERN Total area: 8,307.6 sqft
- ④ METAL PANEL Total area: 862.6 sqft
- ⑤ STOREFRONT Total area: 862.6 sqft

\* Numbers are calculated for South Elevation.



1 SOUTH ELEVATION  
REV. 10/18

NO.	DATE	BY	CHK.	DESCRIPTION
1	10/18/18	MM	MM	ISSUED FOR PERMIT
2	10/18/18	MM	MM	ISSUED FOR PERMIT
3	10/18/18	MM	MM	ISSUED FOR PERMIT

SFU SE3P

SOUTH ELEVATION

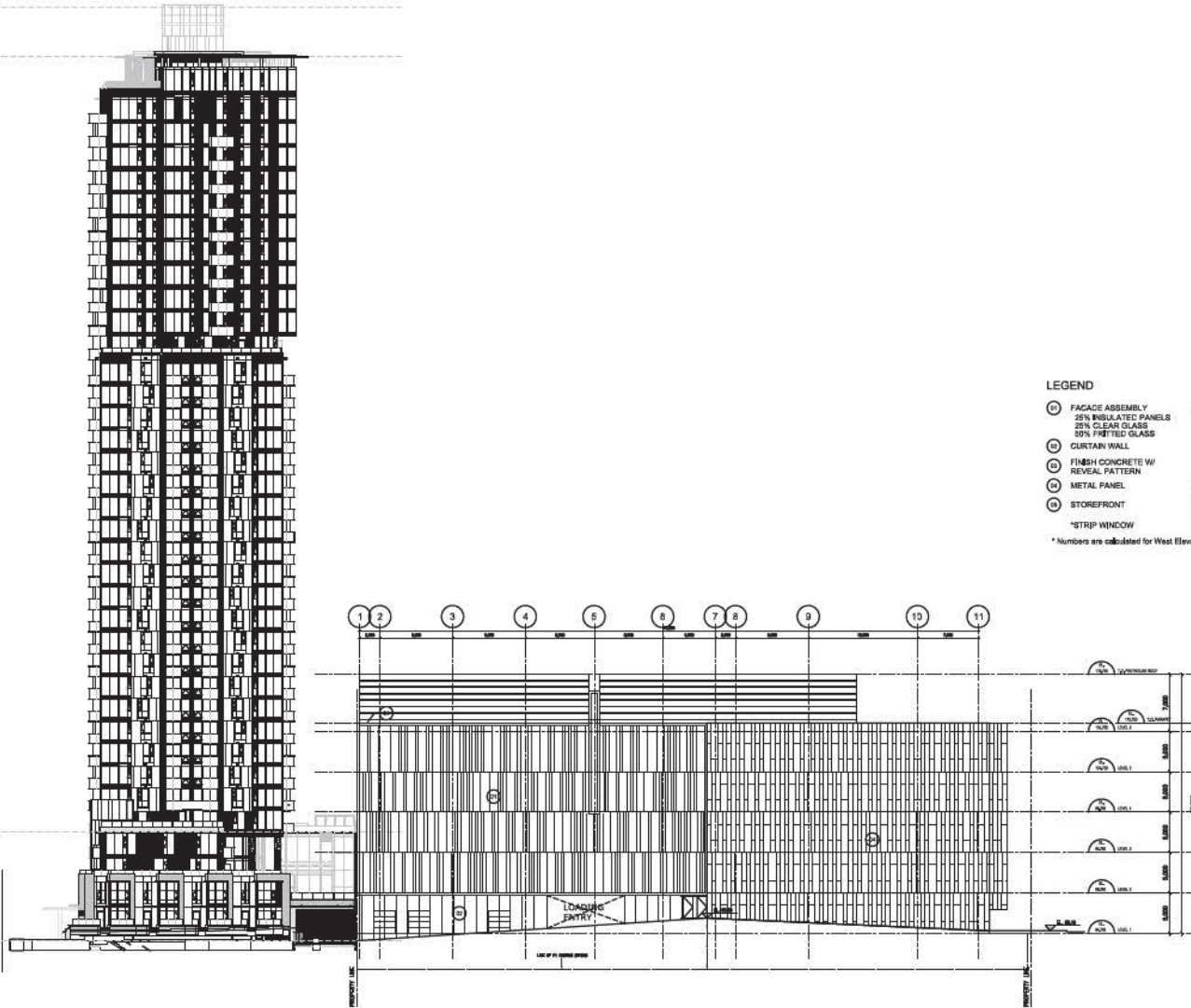
DATE	NO.	REV.
10/18/18	01	2
10/18/18	02	

EMR ROOF EL. 199.24

ROOF EL. 193.24

LEVEL 05 EL. 97.35

MAIN LOBBY EL. 83.87



LEGEND

- ① FACADE ASSEMBLY  
25% INSULATED PANELS  
25% CLEAR GLASS  
50% FINITED GLASS  
CURTAIN WALL  
Total area: 13,006.6 sq ft (strip wall, if applicable)  
9,706.2 sq ft (flat wall, if applicable)
  - ② CURTAIN WALL  
Total area: 9,026.1 sq ft
  - ③ FINISH CONCRETE W/  
REVEAL PATTERN  
Total area: 2,311.2 sq ft
  - ④ METAL PANEL  
Total area: 279.8 sq ft
  - ⑤ STOREFRONT  
Total area: 279.8 sq ft
- \*Numbers are calculated for West Elevation.

LEGEND

- ① FACADE ASSEMBLY  
25% INSULATED PANELS  
25% CLEAR GLASS  
50% FINITED GLASS  
CURTAIN WALL
- ② CURTAIN WALL
- ③ FINISH CONCRETE W/  
REVEAL PATTERN
- ④ METAL PANEL

1 WEST ELEVATION

NO.	DESCRIPTION	UNIT	QTY
1	1" x 4" x 8" WOOD JOIST	SQ FT	
2	1" x 6" x 12" WOOD JOIST	SQ FT	
3	2" x 6" x 12" WOOD JOIST	SQ FT	
4	2" x 8" x 12" WOOD JOIST	SQ FT	
5	2" x 10" x 12" WOOD JOIST	SQ FT	
6	2" x 12" x 12" WOOD JOIST	SQ FT	
7	2" x 14" x 12" WOOD JOIST	SQ FT	
8	2" x 16" x 12" WOOD JOIST	SQ FT	
9	2" x 18" x 12" WOOD JOIST	SQ FT	
10	2" x 20" x 12" WOOD JOIST	SQ FT	
11	2" x 22" x 12" WOOD JOIST	SQ FT	
12	2" x 24" x 12" WOOD JOIST	SQ FT	
13	2" x 26" x 12" WOOD JOIST	SQ FT	
14	2" x 28" x 12" WOOD JOIST	SQ FT	
15	2" x 30" x 12" WOOD JOIST	SQ FT	
16	2" x 32" x 12" WOOD JOIST	SQ FT	
17	2" x 34" x 12" WOOD JOIST	SQ FT	
18	2" x 36" x 12" WOOD JOIST	SQ FT	
19	2" x 38" x 12" WOOD JOIST	SQ FT	
20	2" x 40" x 12" WOOD JOIST	SQ FT	
21	2" x 42" x 12" WOOD JOIST	SQ FT	
22	2" x 44" x 12" WOOD JOIST	SQ FT	
23	2" x 46" x 12" WOOD JOIST	SQ FT	
24	2" x 48" x 12" WOOD JOIST	SQ FT	
25	2" x 50" x 12" WOOD JOIST	SQ FT	
26	2" x 52" x 12" WOOD JOIST	SQ FT	
27	2" x 54" x 12" WOOD JOIST	SQ FT	
28	2" x 56" x 12" WOOD JOIST	SQ FT	
29	2" x 58" x 12" WOOD JOIST	SQ FT	
30	2" x 60" x 12" WOOD JOIST	SQ FT	
31	2" x 62" x 12" WOOD JOIST	SQ FT	
32	2" x 64" x 12" WOOD JOIST	SQ FT	
33	2" x 66" x 12" WOOD JOIST	SQ FT	
34	2" x 68" x 12" WOOD JOIST	SQ FT	
35	2" x 70" x 12" WOOD JOIST	SQ FT	
36	2" x 72" x 12" WOOD JOIST	SQ FT	
37	2" x 74" x 12" WOOD JOIST	SQ FT	
38	2" x 76" x 12" WOOD JOIST	SQ FT	
39	2" x 78" x 12" WOOD JOIST	SQ FT	
40	2" x 80" x 12" WOOD JOIST	SQ FT	
41	2" x 82" x 12" WOOD JOIST	SQ FT	
42	2" x 84" x 12" WOOD JOIST	SQ FT	
43	2" x 86" x 12" WOOD JOIST	SQ FT	
44	2" x 88" x 12" WOOD JOIST	SQ FT	
45	2" x 90" x 12" WOOD JOIST	SQ FT	
46	2" x 92" x 12" WOOD JOIST	SQ FT	
47	2" x 94" x 12" WOOD JOIST	SQ FT	
48	2" x 96" x 12" WOOD JOIST	SQ FT	
49	2" x 98" x 12" WOOD JOIST	SQ FT	
50	2" x 100" x 12" WOOD JOIST	SQ FT	

SFU SE3P

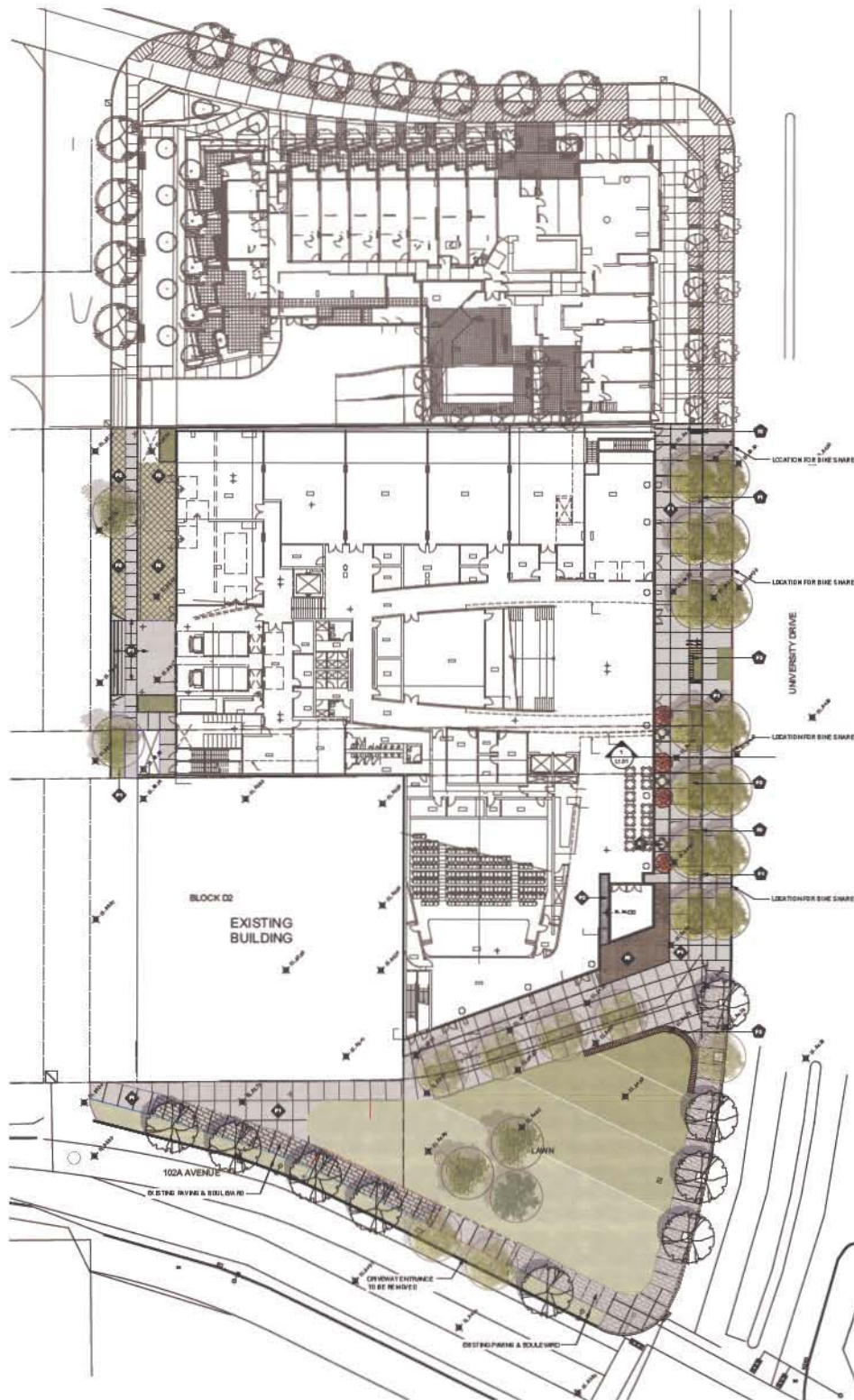
WEST ELEVATION

DATE	BY	REV.	DESCRIPTION
01/15/2024	JM	1	ISSUED FOR PERMIT
01/15/2024	JM	2	ISSUED FOR PERMIT



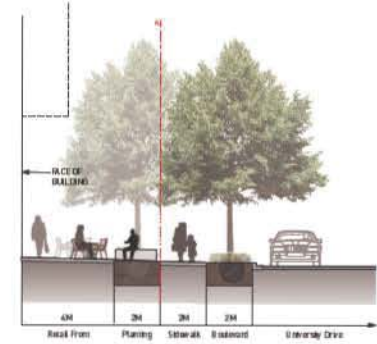


PRECEDENTS

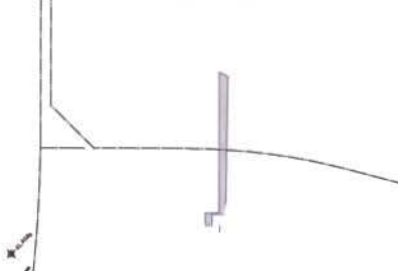


PAVING LEGEND	
KEY	DESCRIPTION
[Symbol]	CONCRETE PAVEMENT
[Symbol]	PERFORATED CONCRETE PAVEMENT
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB AND BENCH
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB AND BENCH WITH PLANTING
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB AND BENCH WITH PLANTING AND BENCH
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB AND BENCH WITH PLANTING AND BENCH WITH PLANTING
[Symbol]	PERFORATED CONCRETE PAVEMENT WITH PERFORATED CURB AND BENCH WITH PLANTING AND BENCH WITH PLANTING AND BENCH WITH PLANTING

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
[Symbol]	BENCH
[Symbol]	BENCH WITH PLANTING
[Symbol]	BENCH WITH PLANTING AND BENCH
[Symbol]	BENCH WITH PLANTING AND BENCH WITH PLANTING
[Symbol]	BENCH WITH PLANTING AND BENCH WITH PLANTING AND BENCH
[Symbol]	BENCH WITH PLANTING AND BENCH WITH PLANTING AND BENCH WITH PLANTING



SECTION 1 - THROUGH STREETSCAPE

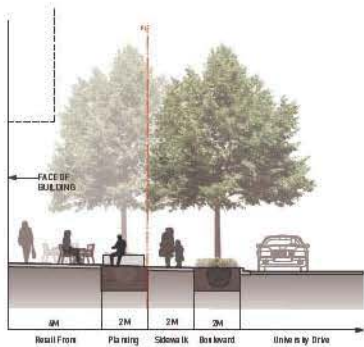


PROJ SFU SE3P

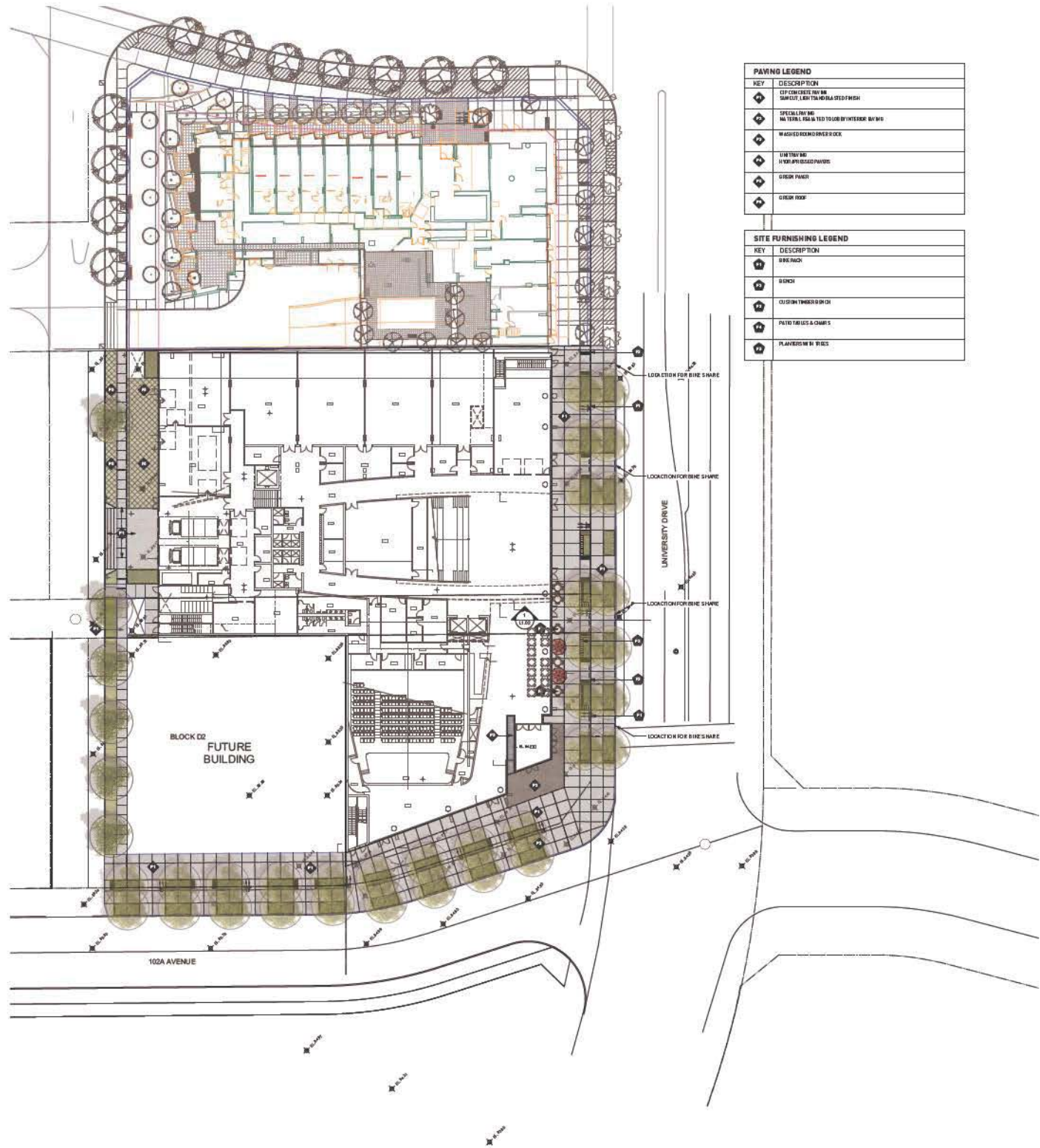
VIEW: Layout and Materials INTERIM CONDITION

DATE: 10/11/2023  
 SCALE: 1:200  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: SFU SE3P

PRECEDENTS



SECTION 1 - THROUGH STREET SCAPE



PAVING LEGEND	
KEY	DESCRIPTION
◆	CONCRETE WITH SURF COAT, LIGHT TO MEDIUM STAIN RESISTANT
◆	SPECIALTY PAVING MATERIALS, MATCHED TO INTERIOR BY MD
◆	WASHED ROUND BERRIES ROCK
◆	UTILITY AND WOOD-ACCENT PAVING
◆	GREEN PAVEMENT
◆	GREEN POOL

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
◆	BENCH
◆	BENCH
◆	CUSTOM TIMBER BENCH
◆	PATIO TABLES & CHAIRS
◆	PLAYERS M & TRICKS



PREPARED BY: [unreadable]  
DATE: [unreadable]

FILE: SFU SE3P

TITLE: Layout and Materials FINAL CONDITION

Scale: 1:200

DATE: 2014

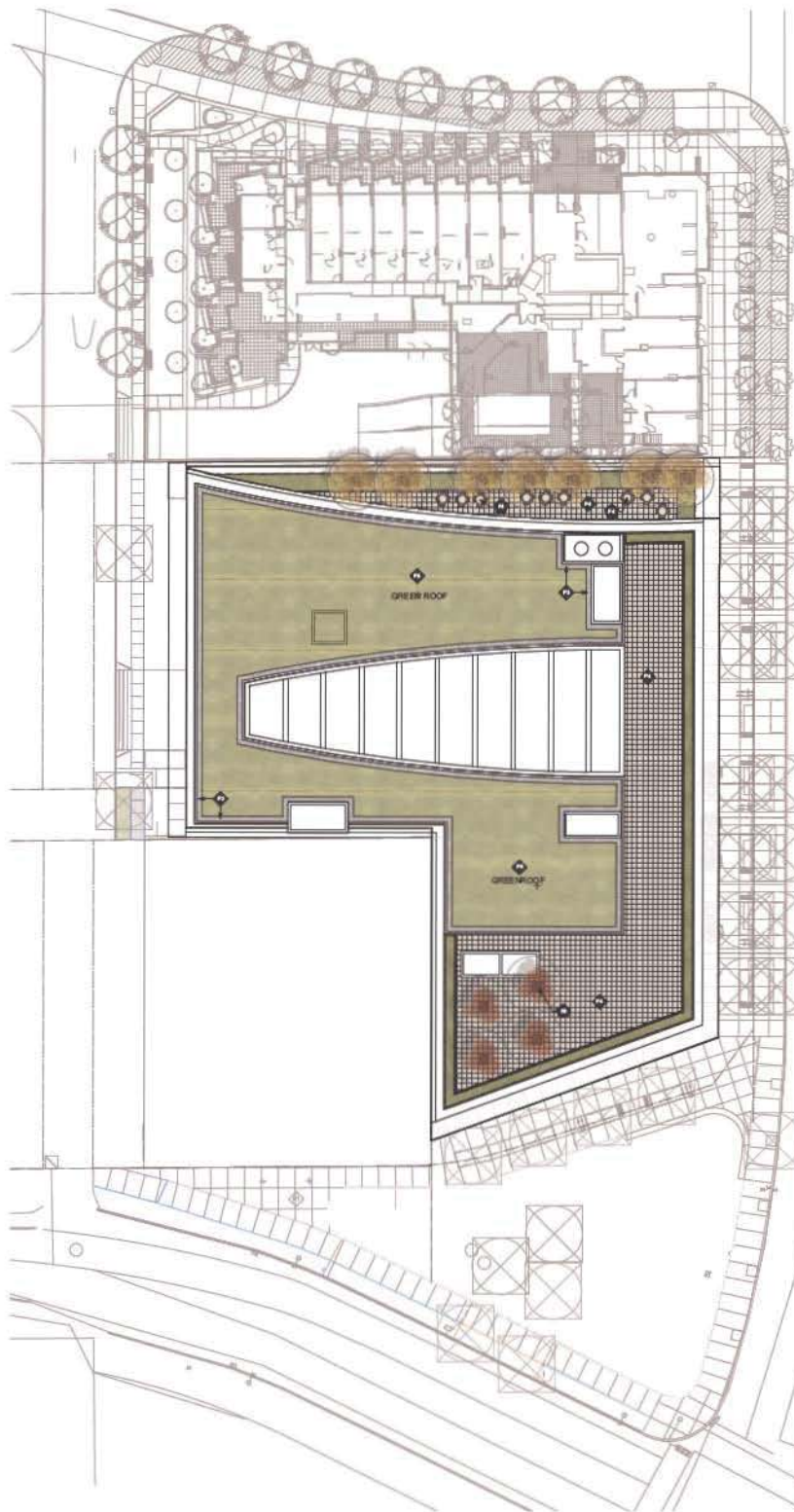
PROJECT: [unreadable]

CLIENT: [unreadable]

ARCHITECT: [unreadable]

DATE: [unreadable]

**PRECEDENTS**



PAVING LEGEND	
KEY	DESCRIPTION
◆	CONCRETE OR BRICK PAVING, 150mm THICK, 100mm BEDDING
◆	SPECIAL FINISH MATERIALS TO MATCH SURROUNDING PAVING
◆	PAVED PERMEABLE PAVING
◆	PAVED PERMEABLE PAVING
◆	PAVED PERMEABLE PAVING
◆	PAVED PERMEABLE PAVING

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
◆	BENCH
◆	BENCH
◆	COLLECTOR LIGHT FIXTURE
◆	PAVING & COMB
◆	PLAYGROUND FIXTURE



SCALE: 1:200

PROJECT: SFU SE3P

DISCIPLINE: Landscape Architecture  
 DRAWING: Layout and Materials  
 CONDITION: INTERIM

DATE: 10/20/2023  
 SCALE: 1:200  
 SHEET: L1.03  
 PROJECT: SFU SE3P  
 DRAWING: LAYOUT AND MATERIALS  
 CONDITION: INTERIM

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **July 6, 2016** PROJECT FILE: **7816-0240-00**

---

RE: **Engineering Requirements  
Location: 13400/08/18 – 103 Avenue, 13433 - 102A Avenue, 10281 University Drive**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

##### Current:

- Dedicate 6.0 m along the west property line for an ultimate 12 m wide Green Lane;
- Provide 0.5 m wide statutory right-of-way along Green Lane; and
- Provide 0.5 m wide statutory right-of-way along University Drive.

##### Future

- Dedicate 20 m for 102A Avenue realignment;
- Dedicate corner cuts at the intersection of University Drive and 102A Avenue;
- Provide 0.5 m wide statutory right-of-way along both sides of realigned 102A Avenue;

#### *Works and Services*

##### Current:

- Construct west side of University Drive to Arterial standard;
- Construct Green Lane within 6 m dedication, as required;
- Construct sanitary sewer diversion;
- Construct storm main in Green Lane and divert existing flows, as required;
- Provide off-site statutory right-of-way for sanitary main; and
- Register restrictive covenant for sustainable drainage, water quality/sediment control, sanitary pump connection, no-build and legal document for District Energy.

##### Future

- Construct 102A Avenue as a full road to Local standard; and
- Construct sanitary main, storm main and water main within realigned 102A Avenue

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT (GENERAL)

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager  
HB4

NOTE: Detailed Land Development Engineering Review available on file



CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015, c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

(a) FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 012-326-879

Lot 5 Block "C" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13408-103 Avenue

Parcel Identifier: 012-326-887

Lot 6 Block "C" Section 27 Block 5 North Range 2 West New Westminster District Plan 1726

13418-103 Avenue

Parcel Identifier: 011-262-303

East 66 Feet of the East 175 Feet Lot "A" Section 27 Block 5 North Range 2 West New Westminister District Plan 7802

13400-103 Avenue

Parcel Identifier: 029-294-827

Lot B Section 27 Block 5 North Range 2 West New Westminister District Plan BCP52191

10281 University Drive

That portion of lane shown on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule A, certified correct by Scott Netherton, B.C.L.S. on the 10<sup>th</sup> day of June, 2016, containing 440.5 square metres, called Block A.

(b) FROM: COMMUNITY COMMERCIAL ZONE (C-8)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Portion of Parcel Identifier: 024-847-003  
Lot 1 Section 27 Block 5 North Range 2 West New Westminster District Plan LMP46320, as shown as Block B, on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule B, certified correct by Adam Fulkerson, B.C.L.S. on the 6<sup>th</sup> day of July, 2016, containing 1,284.7 square metres.

Portion of 13433-102A Avenue

(hereinafter 1.(a) and (b) shall be referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of comprehensive institutional uses such as universities and colleges in the *City Centre*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Universities named under the University Act, R.S.B.C. 1996, c.468, as amended.
2. Colleges and Institutes designated as such under the College and Institute Act, R.S.B.C. 1996, c.52, as amended.
3. Eating establishments, limited to a maximum 150 square metres (1,615 sq.ft.) in size, excluding *drive-through restaurants*.
4. Office uses excluding *social escort services*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

The *floor area ratio* shall not exceed 3.8.

**E. Lot Coverage**

The *lot coverage* shall not exceed 90%.

**F. Yards and Setbacks**

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Setback</b>	<i>Front Yard</i> (102A Avenue)	<i>Rear Yard</i> (North)	<i>Side Yard</i> (West)	<i>Side Yard on Flanking Street</i> (University Drive)
<b>Use</b>				
<i>Principal Buildings and Accessory Buildings and Structures</i>	5.0 m [16 ft.]	5.0 m [16 ft.]	2.0 m [6.6 ft.]	5.0 m [16 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1, the *setback* for *principal buildings and accessory buildings and structures* may be reduced to zero for interior *lot lines*.
3. Notwithstanding Section F.1, canopies may be permitted within any *setback*.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 35 metres [115 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

**H. Off-Street Parking**

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Notwithstanding Section H.1, a minimum of 115 *parking spaces* shall be provided.
4. *Tandem parking* is not permitted.
5. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended the *underground parking facility* may extend up to 0.5 metre (1.6 ft.) of the *front lot line* and the *lot line* along a *flanking street*.

**I. Landscaping**

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within a *building* or within the *underground parking*.

**J. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standard:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
4,500 sq. m. [1.1 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**K. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the Community Commercial Zone (C-35), as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time. The Development Cost Charges shall be based as follows:
  - (a) Development Cost Charges for the portion of building developed for Universities named under the University Act, R.S.B.C. 1996, c.468, as amended, Colleges and Institutes designated as such under the Colleges and Institutes Act, R.S.B.C. 1996, c.52, as amended, shall be based on the rate for Public and Private Schools (Post Secondary); and
  - (b) Notwithstanding Section 8 (a), Development Cost Charges for commercial uses shall be based on the rate for Commercial.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

# SCHEDULE A

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No. \_\_\_\_\_  
OVER A PORTION OF ROAD DEDICATED BY PLAN 1726 LYING IN SECTION 27  
BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT  
BCGS 92G.016**

**LEGEND**

- ⊙ DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- (c) DENOTES CALCULATED

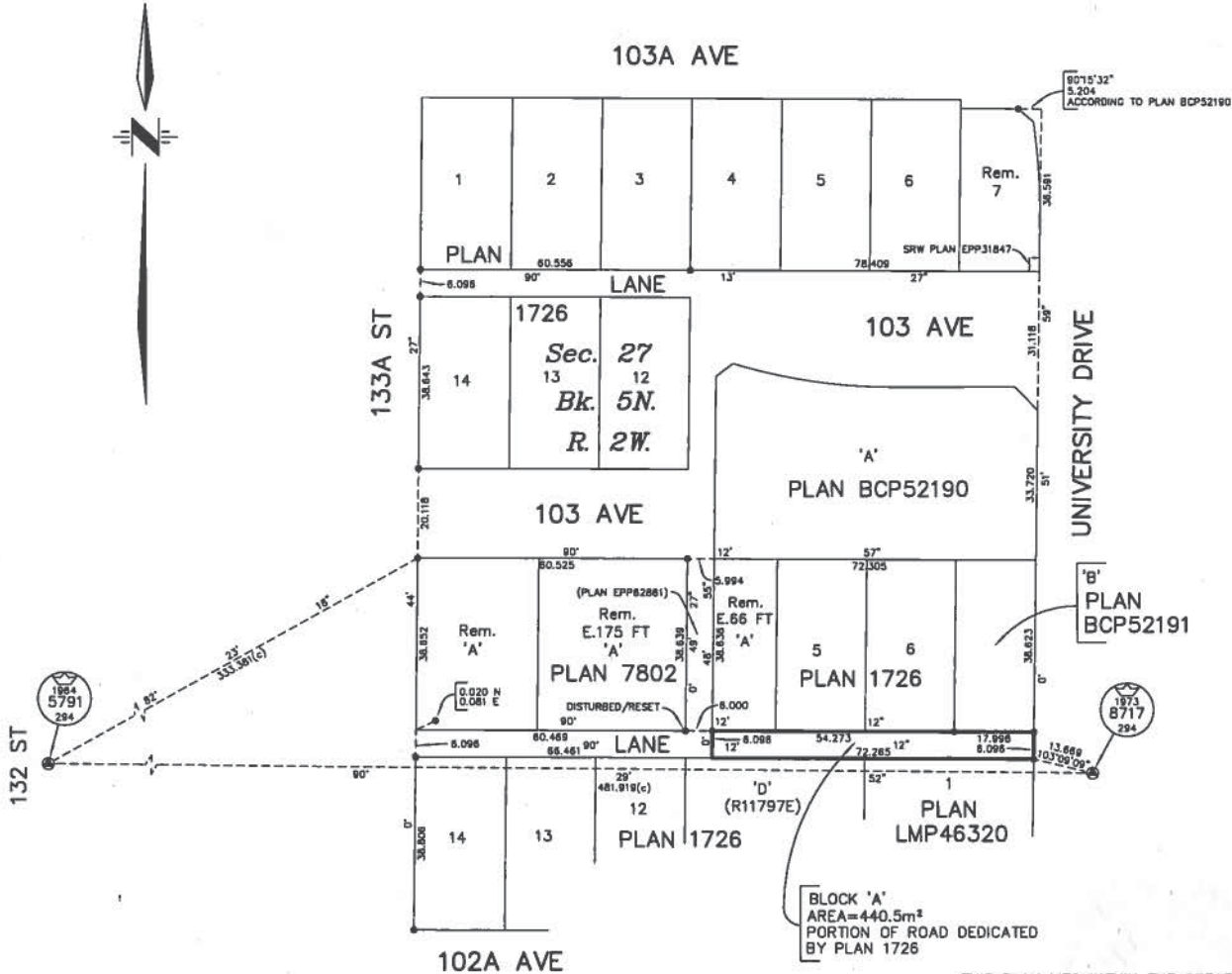
INTEGRATED SURVEY AREA NO. 1, SURREY, NAD83 (CSRS) 4.0.0.8C.1.GYRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN  
GEODETIC CONTROL MONUMENTS 5791 AND 8717.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS  
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED SCALE FACTOR OF 0.9995913  
WHICH HAS BEEN DERIVED FROM CONTROL MONUMENT 8717.

THE INTENDED PLOT SIZE OF THIS PLAN IS  
432mm IN WIDTH BY 560mm IN HEIGHT  
(USE C SIZE SHEET) WHEN PLOTTED AT A SCALE OF 1:750.

BOOK OF REFERENCE	
DESCRIPTION	AREA
(BLOCK 'A')	
PORTION OF ROAD DEDICATED BY PLAN 1726	
OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NWD	440.5 m <sup>2</sup>



THIS PLAN LIES WITHIN THE GREATER  
VANCOUVER REGIONAL DISTRICT

CITY OF SURREY  
SURVEY SECTION  
13450 - 104 AVE.  
SURREY, B.C. V3X 3A2  
TEL. (604) 591-4253  
FAX. (604) 591-8893

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY THIS 10th DAY OF JUNE, 2018.

*SE Netherton*  
SCOTT E. NETHERTON BCLS

# SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. \_\_\_\_\_ OF PART OF LOT 1 SEC 27 BLOCK 5 NORTH RANGE 2 WEST NWD PLAN LMP46320

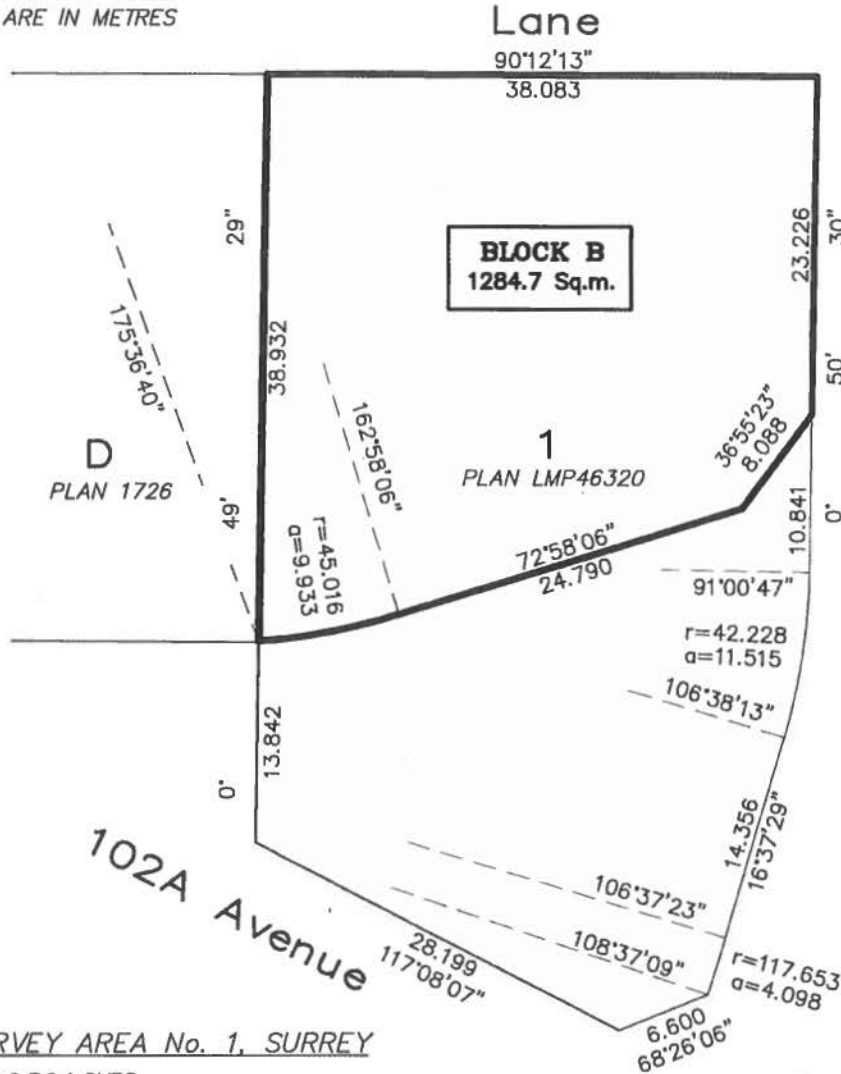
FOR REZONING PURPOSES

SCALE 1 : 500



CIVIC ADDRESS:

13433 102 A Ave., Surrey, BC  
P.I.D. 024-847-003

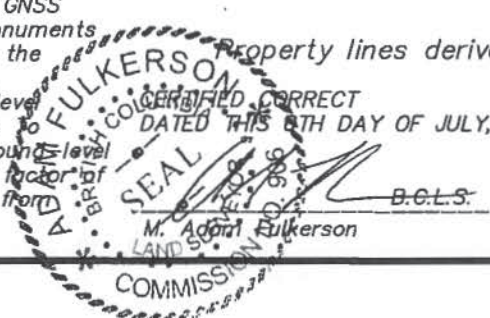


**INTEGRATED SURVEY AREA No. 1, SURREY**

NAD 83 (CSRS) 4.0.0.BC.1.GVRD  
Grid bearings are derived from RTK GNSS observations to geodetic control monuments 8717 and 5149 and are referred to the central meridian of UTM Zone 10 N. This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995913, which has been derived from control monument 8717.

Property lines derived from field survey.

CERTIFIED CORRECT  
DATED THIS 8TH DAY OF JULY, 2016.



**TARGET**  
LAND SURVEYING  
SURREY B.C.  
604-583-6161



## TREE PRESERVATION SUMMARY

Surrey Project No.: 7916-0240-00  
 Project Address: University Drive at 102A Ave, Surrey BC  
 Consulting Arborist: Norman Hol

ON-SITE TREES:	QUANTITY OF TREES
<b>Total Bylaw Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	<b>3</b>
<b>Bylaw Protected Trees to be Removed</b>	<b>3</b>
<b>Bylaw Protected Trees to be Retained</b> (excludes trees in Park dedication areas and ESA's)	<b>0</b>
<b>Replacement Trees Required:</b> Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 3 times 2 = 6 TOTAL:	<b>6</b>
<b>Replacement Trees Proposed</b>	<b>by landscape arch</b>
<b>Replacement Trees in Deficit</b>	<b>N/A</b>
<b>Protected Trees Retained in Proposed Open Space/ Riparian Areas</b>	<b>N/A</b>

OFF-SITE TREES:	QUANTITY OF TREES
<b>Bylaw Protected Off-Site Trees to be Removed</b>	<b>14</b>
<b>Replacement Trees Required:</b> Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0 All Other Bylaw Protected Trees at 2:1 ratio: 14 times 2 = 28 TOTAL:	<b>14</b>
<b>Replacement Trees Proposed</b>	<b>N/A</b>
<b>Replacement Trees in Deficit</b>	<b>N/A</b>

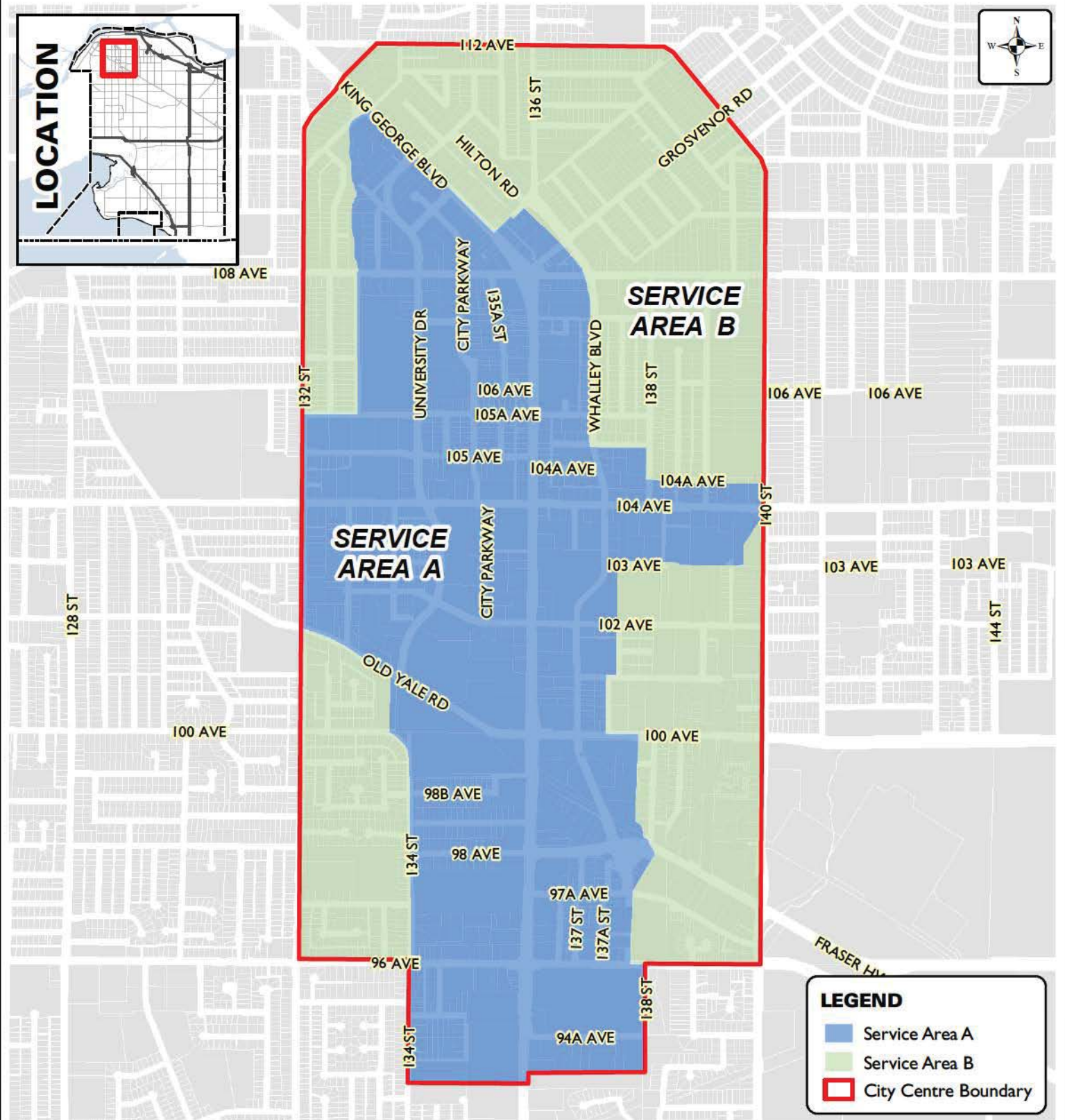
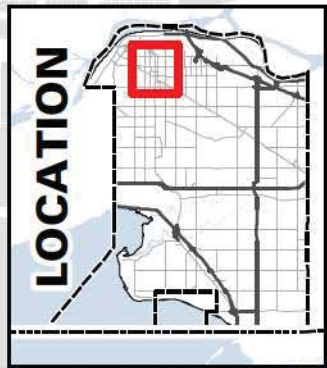
This summary and the referenced documents are prepared and submitted by:



Norman Hol, Consulting Arborist

Dated: June 23, 2016

Direct: 604 813 9194  
 Email: norm@aclgroup.ca



**LEGEND**

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA  
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING  
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.